

TENTATIVE:
SUBJECT TO
REVISION



TOWN OF PALM BEACH

TOWN COUNCIL MEETING

TOWN HALL
COUNCIL CHAMBERS - SECOND FLOOR
360 SOUTH COUNTY ROAD

AGENDA

MAY 13, 2025

9:30 AM

Welcome

For information regarding this agenda and the procedures for public participation at Town Council Meetings, please refer to the end of this agenda.

I. CALL TO ORDER AND ROLL CALL

Danielle H. Moore, Mayor
Bobbie D. Lindsay, President
Lew Crampton, President Pro Tem
Julie Araskog
Ted Cooney
Bridget Moran

II. INVOCATION AND PLEDGE OF ALLEGIANCE

III. MODIFICATIONS TO THE AGENDA

IV. APPROVAL OF AGENDA

V. PRESENTATIONS

- A. Presentation by Laura Beebe, PBC Director of Airports

VI. BOARD AND COMMISSIONS PRESENTATIONS AND APPOINTMENTS

- A. Presentations by the Applicants and Appointments to the Recreation Advisory Commission

VII. COMMENTS OF MAYOR DANIELLE H. MOORE

VIII. COMMENTS OF TOWN COUNCIL MEMBERS

IX. COMMUNICATIONS FROM CITIZENS - 3 MINUTE LIMIT PLEASE

X. APPROVAL OF CONSENT AGENDA

A. MINUTES

1. Town Council Meeting Minutes
Kelly Chumey, CMC, Town Clerk
 - a. April 8, 2025, Town Council Meeting Minutes
 - b. April 9, 2025, Town Council Development Review Meeting Minutes
2. Approval of Major Matters Considered by the Architectural Review Commission at its Meeting of April 23, 2025.
Wayne Bergman, Director of Planning, Zoning and Building

B. RESOLUTIONS

1. RESOLUTION NO. 037-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-009, Royal Poinciana Landscape Improvements to A CUT ABOVE LANDSCAPE & MAINTENANCE, INC. in the amount of \$737,987.50, approving a contingency in the amount of \$110,698 and approving a project budget in the amount of \$848,685.50 and accepting a donation from the Garden Club of Palm Beach in the amount of \$575,000 for the project.
Dean Mealy, II Procurement and Contract Manager
2. RESOLUTION NO. 043-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Adopting An Amendment To The Town Of Palm Beach Retirement System Investment Policy Statement; Providing For Repeal Of Conflicting Resolutions; And Providing An Effective Date.
Bob Miracle, Deputy Town Manager - Finance and Administration
3. RESOLUTION NO. 044-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Authorizing A Retroactive Purchase Order to Hedrick Brothers to Provide Construction Services Related to the Removal and Restoration of

the Temporary Trailer Site at the North Fire Station in the Amount of \$231,618.33, Approving a Contingency of \$34,742 and approving a Project Budget of \$266,360.

Dean Mealy, II, Procurement and Contract Manager

4. RESOLUTION NO. 045-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, authorizing a retroactive purchase order to Chen Moore and Associates for Construction Phase Services for N. County Rd. Drainage - Phase 1 in the Amount of \$187,080, approving a Contingency in the Amount of \$28,062 and Approving a Project Budget in the Amount of \$215,142.

Dean Mealy, II, Procurement and Contract Manager

5. RESOLUTION NO. 047-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements to Janice M Riley, DBA The Paving Lady in the amount of \$1,815,042.90, approving a contingency in the amount of \$272,256 and approving a project budget in the amount of \$2,087,298.90 and authorizing waivers for the following Town Code of Ordinances for related work, Section 42-198, Section 42-199 and Sections 42-226 through 229.

Dean Mealy, II, Procurement and Contract Manager

6. RESOLUTION NO. 048-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, authorizing a Purchase Order for Construction Phase Services to Chen Moore and Associates for 5N and 6N Milling and Paving Improvements in the amount of \$244,030, approving a contingency in the amount of \$36,604 and approving a project budget in the amount of \$280,634.

Dean Mealy, II, Procurement and Contract Manager

7. RESOLUTION NO. 049-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-010 and approving a purchase order to East Coast Construction Group for PAR 3 Balcony Structural Column Repairs in the amount of \$372,778.85, approving a contingency in the amount of \$74,555 and approving a project budget in the amount of \$447,333.

Dean Mealy, II, Procurement and Contract Manager

8. RESOLUTION NO. 050-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding RFP No. 2025-012, Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation to Arbor Tree and Land, Inc. and Ceres Environmental Services, Inc. for a five-year award based on satisfactory work and mutual agreement of extension of contract.

Dean Mealy, II Procurement and Contract Manager

9. RESOLUTION NO. 051-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving a

Purchase Order to Rechten International Truck Sales for a rear steer crane truck in the amount of \$251,195 and approving a contingency in the amount of \$25,111 and approving a project budget in the amount of \$276,306.

Dean Mealy, II Procurement and Contract Manager

10. RESOLUTION NO. 052-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving an extension to Contract Awarded RFP No. 2020-09, Audit Services for the Town of Palm Beach for one year in the amount of \$97,802 to CBIZ CPAs P.C.

Dean Mealy, II Procurement and Contract Manager

11. RESOLUTION NO. 074-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Adopting Revised Fees Related to the Planning, Zoning & Building Department.

Wayne Bergman, Director of Planning, Zoning and Building

C. OTHER

1. Town-wide Undergrounding Project - Review of Project and Dashboard, Summary of Project Status

H. Paul Brazil, P.E., Director of Public Works

2. Donation Acceptance from The Palm Beach Police and Fire Foundation

Nicholas Caristo, Chief of Police

XI. BOARD/COMMISSION ANNUAL REPORT

- A. Annual Report of the Code Enforcement Board

Martin Klein, Chair

- B. Annual Report of the Planning and Zoning Commission

Gail Coniglio, Chair

- C. Annual Report of the Retirement Board of Trustees

Daniel W. Stanton, Chair

XII. REGULAR AGENDA

- A. **Matters Pulled From Consent Agenda: If needed**

- B. **Old Business**

1. Traffic Mitigation Discussion

Kirk Blouin, Town Manager

TIME CERTAIN: 11:30 AM

a. Update on Meeting with Local Contractors Regarding Construction Work Hours and the CMA Ordinance

b. 2025 Traffic Counts Report

c. FDOT Waiver for Work Hours

2. Sustainable Dune Construction Program Reach 8
TIME CERTAIN: 2PM
H. Paul Brazil, P.E., Director of Public Works
3. Flood Vulnerability Assessment Update Presentation
H. Paul Brazil, P.E., Director of Public Works
4. Status Update Regarding Riviera Beach Mooring Permit
H. Paul Brazil, P.E., Director of Public Works

C. New Business

1. Annual Comprehensive Financial Report (ACFR) for Fiscal Year Ended September 30, 2024
TIME CERTAIN: 11:00 AM
Bob Miracle Deputy Town Manager - Finance and Administration
2. 249 Bahama Lane - Three Strikes & Stop Work Order
H. Paul Brazil, P.E., Director of Public Works

XIII. ANY OTHER MATTERS

XIV. ADJOURNMENT

Procedures for Public Participation:

Note 1: **Live Stream audio:** To watch/listen live, visit the 'Public Meetings' webpage on the Town's website at www.townofpalmbeach.com and select the "View Event" or "Click Here to Listen" button.

Note 2: Any citizen is entitled to be heard concerning any matter under the sections entitled 'Communications from Citizens' and 'Public Hearings', subject to the three-minute limitation. The public also can speak to any item listed on the agenda, including the consent agenda, at the time the agenda item comes up for discussion. Citizens desiring to address the Town Council should proceed toward the public microphones when the applicable agenda item is being considered to enable the Town Council President to acknowledge you. In-person or virtual Public Comment is limited to three minutes and must be preceded by your name and address for the record. As a public business meeting, the Town Council President retains the right to limit discussion on any issue.

Alternative public comment is also welcome for Town Council Meetings via four methods:

1. Written to make a virtual public comment, please register for the Microsoft Team meeting. This link will be available prior to the meeting on the Public Meeting page or on the Town's calendar of events, which both can be found at townofpalmbeach.com.
2. Written public comment submittals should be sent to publiccomment@townofpalmbeach.com.

3. Direct written entry into the public meeting record through the eComment portal on the Public Meetings webpage.
4. Mail or in-person submittal of written document to the Town Clerk's Office at Town Hall no later than the Friday prior to the meeting.

Note 3: **Appeals:** If a person decides to appeal any decision made with respect to any matter considered at this meeting, they will need to ensure that a verbatim record of the proceedings is made for such purposes, which shall include the testimony and evidence upon which the appeal is to be based.

Note 4: Disabled persons needing accommodations to participate in this meeting are requested to call the Clerk's Office at (561) 838-5416 at least one day prior to the meeting.

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Presentations

Agenda Title

Presentation by Laura Beebe, PBC Director of Airports

Presenter

ATTACHMENTS:

- ▣ **Presentation by Laura Beebe, Dept. of the Airport**

May 13, 2025

Palm Beach County Department of Airports

Council Meeting

Town of Palm Beach

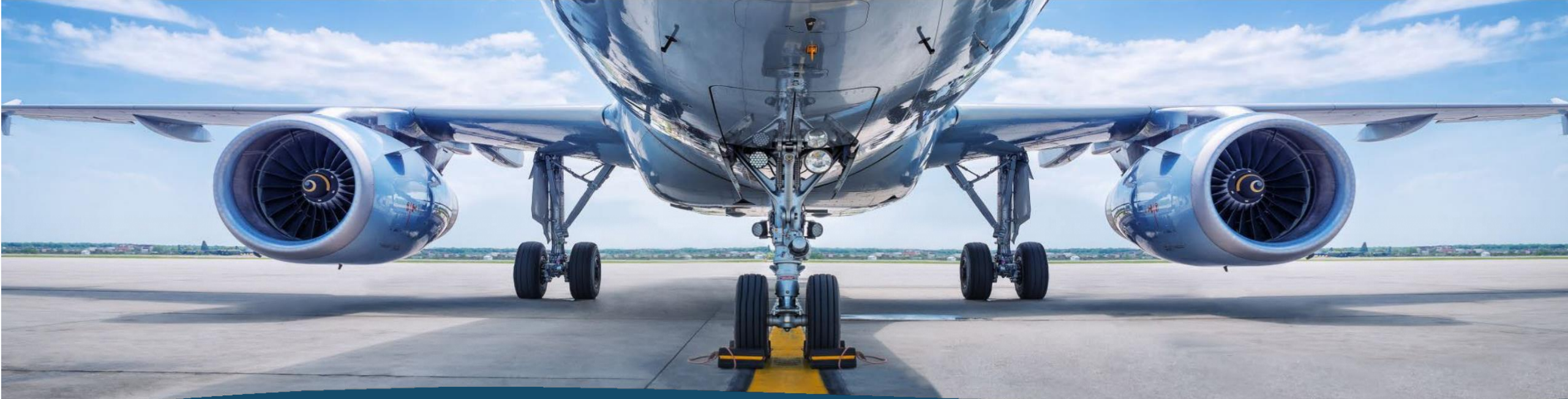
PRESENTED BY:

Laura Beebe

Director of Airports

Palm Beach County Department of Airports





Overview of the Airport System

Palm Beach County's Airport System

Palm Beach International Airport

Commercial Service and General Aviation

PBI

North Palm Beach County General Aviation Airport

Reliever, General Aviation

F45



Palm Beach County Park Airport (Lantana)

Reliever, General Aviation

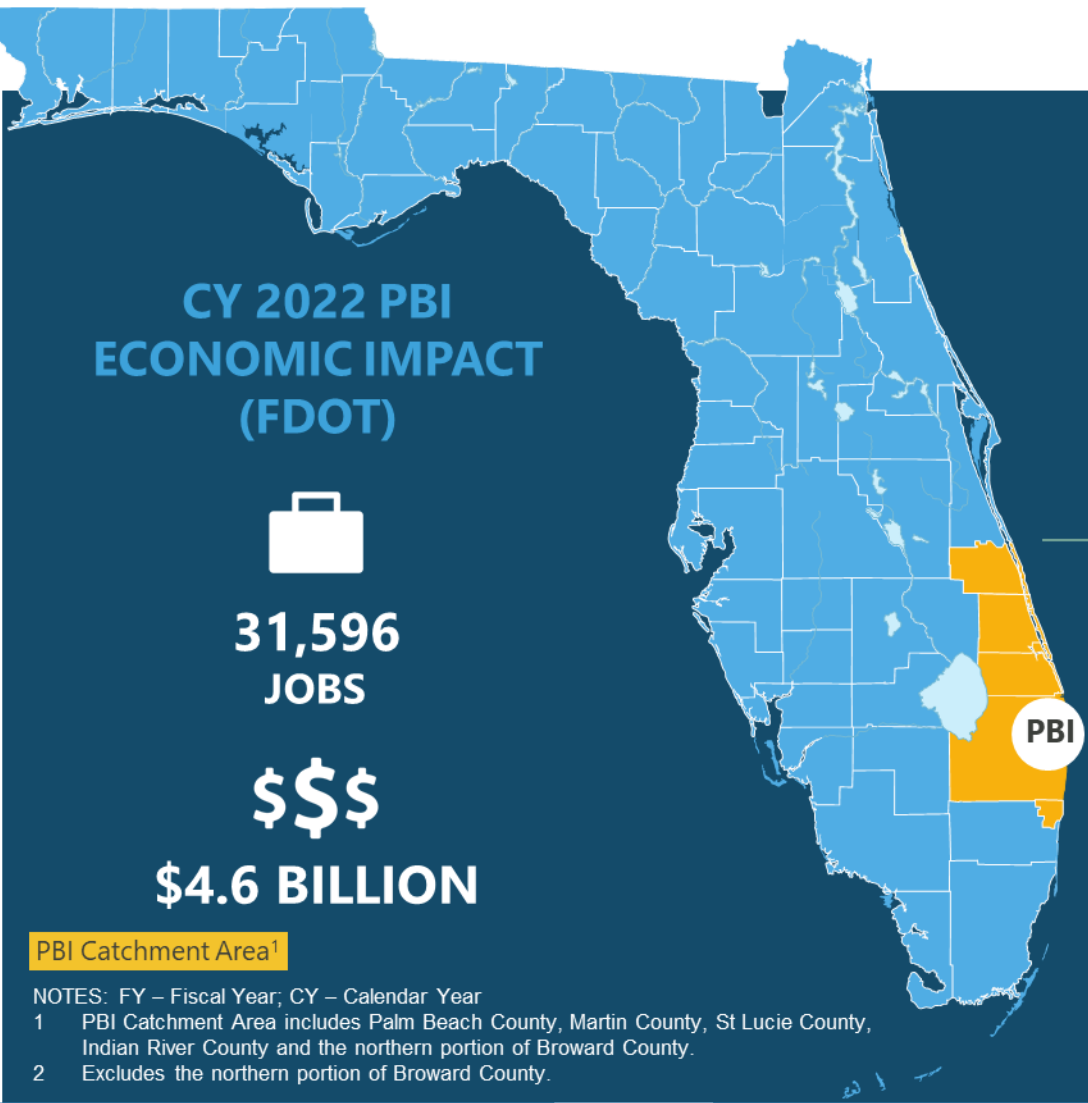
LNA

Palm Beach County Glades Airport (Pahokee)

General Aviation

PHK

Palm Beach County Airport System By the Numbers




KEY ACTIVITY METRICS


PASSENGERS
8.5 M
As of March 2025


14
PASSENGER SERVICE AIRLINES
As of April 2025


NONSTOP SERVICE TO 40 DESTINATIONS
As of April 2025

SOCIOECONOMIC CHARACTERISTICS² (PBI CATCHMENT AREA)


TOTAL POPULATION
2.2M → 2.4M
FY 2023 FY 2030


TOTAL EARNINGS
\$74.3B → \$90.6B
FY 2023 FY 2030

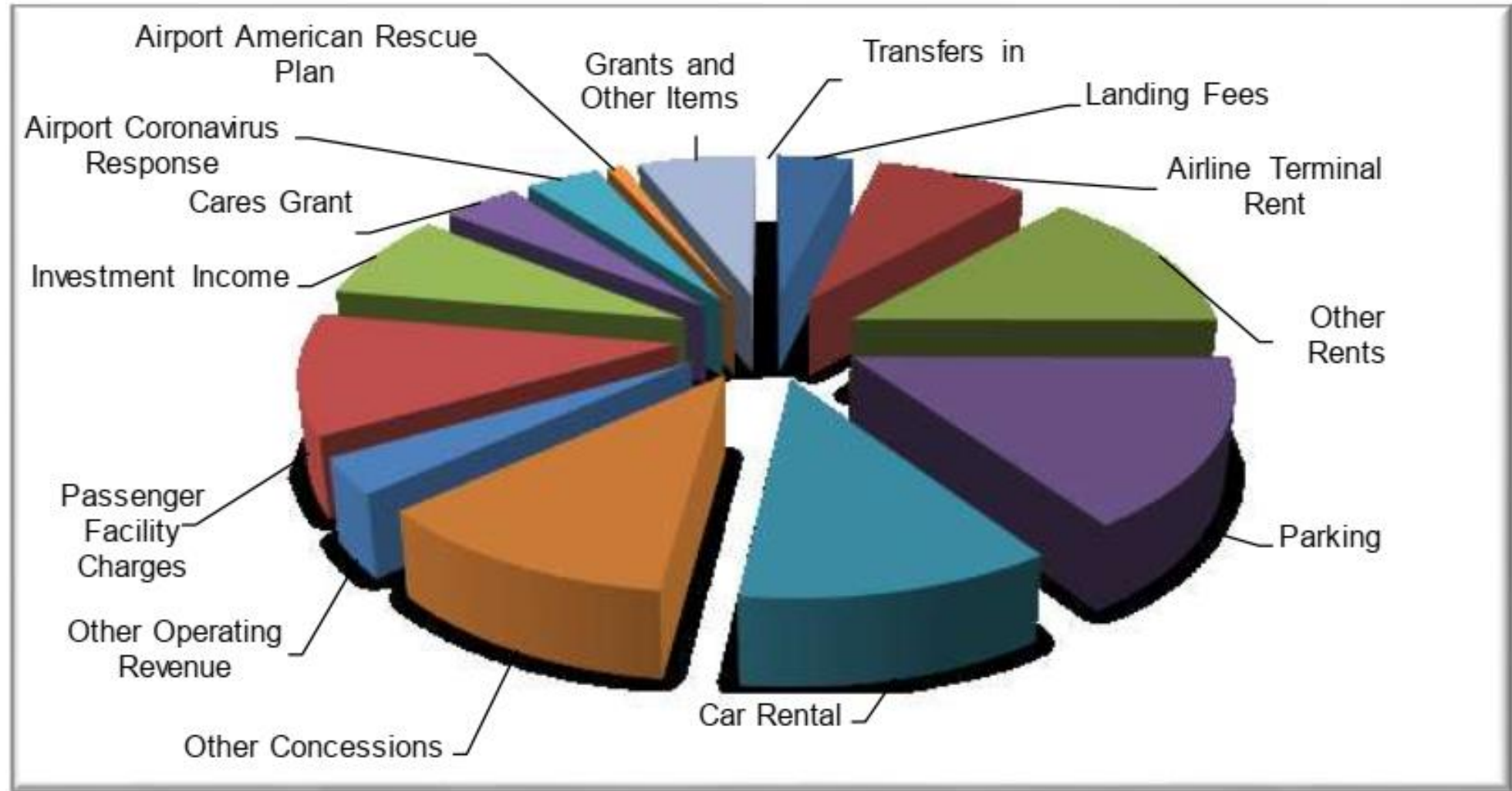

TOTAL PER CAPITA PERSONAL INCOME
\$81,330 → \$90,595
FY 2023 FY 2030

CY 2022 GA Airports Economic Impact	F45	 467 Jobs \$\$\$ \$77.3 Million	LNA	 772 Jobs \$\$\$ \$144 Million	PHK	 33 Jobs \$\$\$ \$5.7 Million
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Airport System Governance & Funding

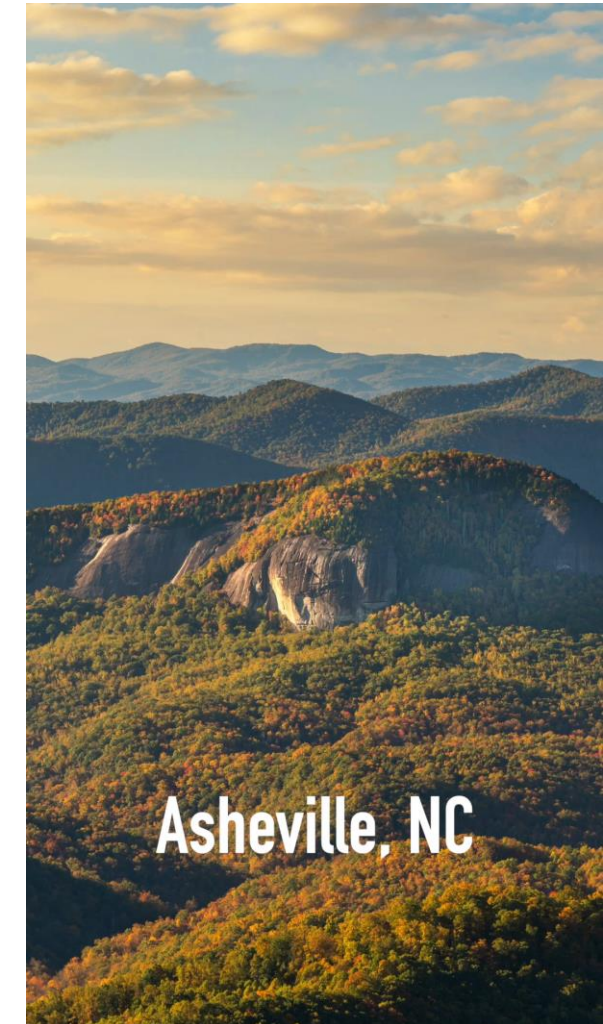
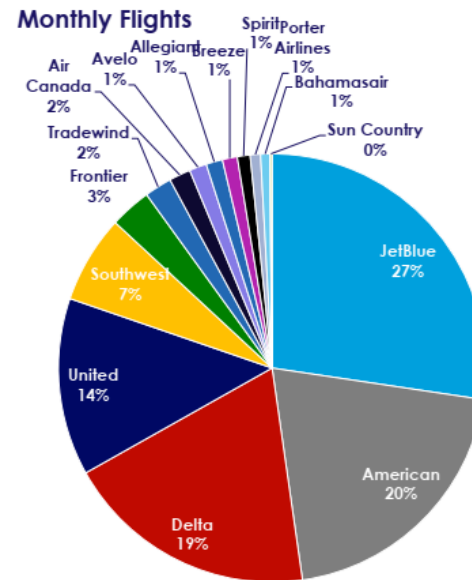
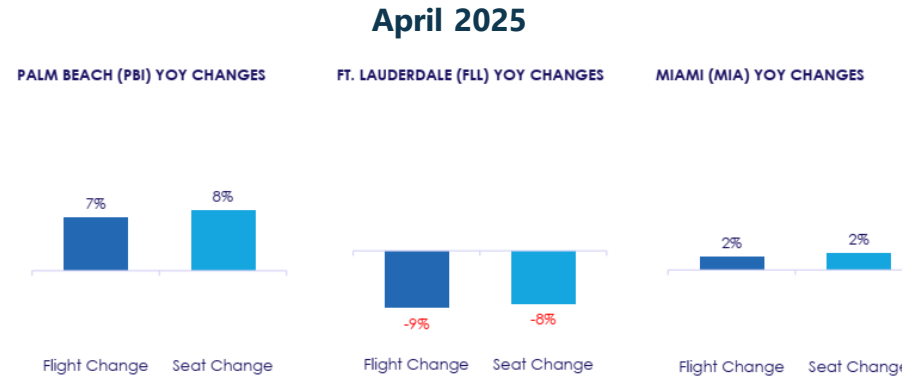
- The County's Airports System is operated and managed by the Palm Beach County Department of Airports
- Policy is established by the Board of County Commissioners
- Operates as an enterprise fund, **no ad valorem tax support**
 - Operations and maintenance are funded by user fees to airlines, businesses and passengers
 - Construction is funded by Federal and State grants, Passenger Facility Charges (PFC), revenue bonds and airport revenues
 - Airport revenues may only be used for the operation, maintenance and improvement of the County's Airport System

Airport Funding by Category



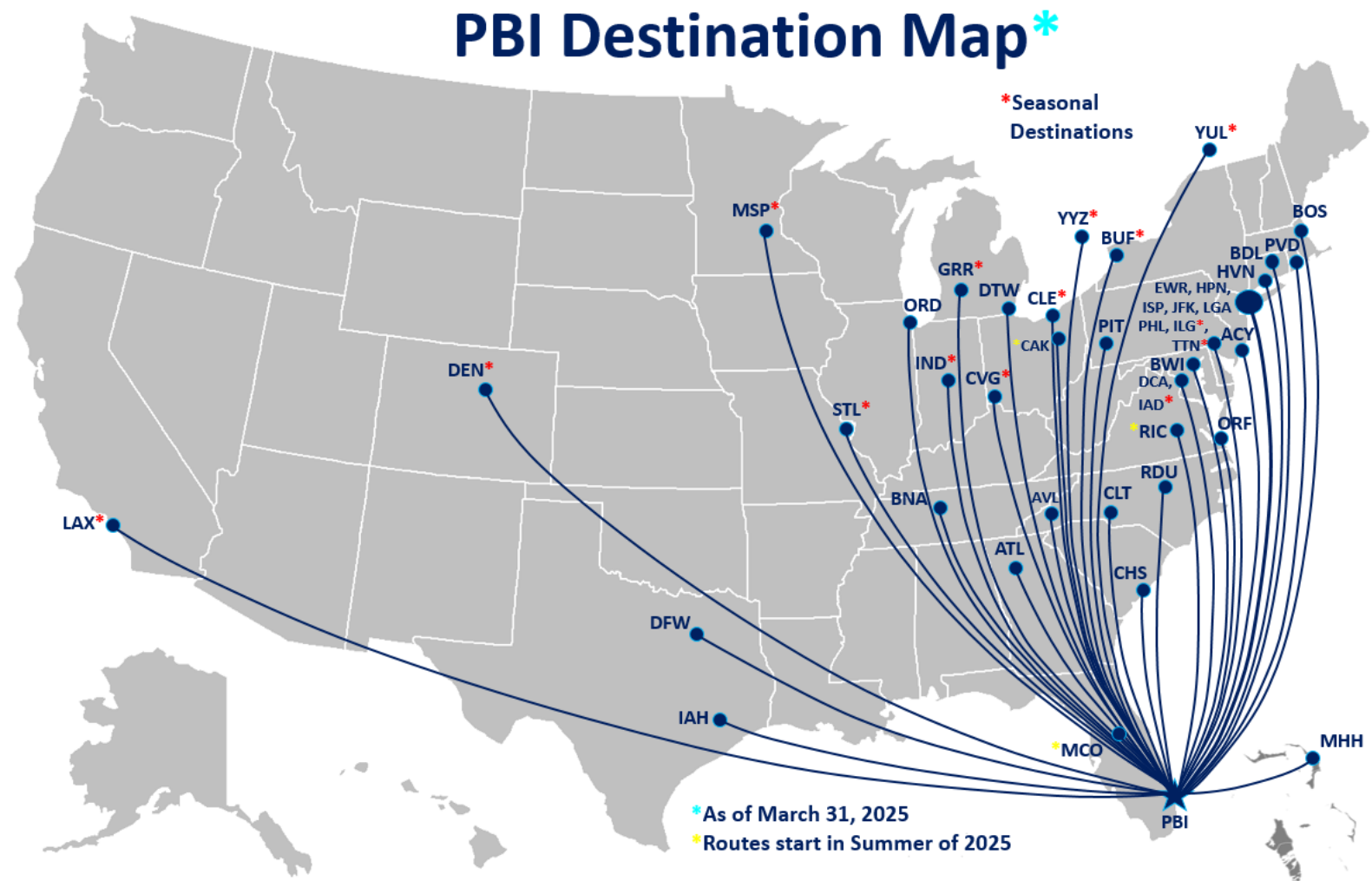
Palm Beach International Airport

- Continued Growth YOY
- New Non-Stop Service
 - Nashville (Southwest)
 - Buffalo (JetBlue)
- Extended Summer Service
 - Houston (United)
 - Charleston/Raleigh Durham (Breeze)
- Nationally Recognized
 - 5th Best Airport in the US
Conde' Nast Traveler
 - 7th Best Medium Airport
J.D. Power North America Airport Satisfaction Survey
 - 3rd Best Domestic Airport
Travel & Leisure



Asheville, NC

PBI Destination Map





Upcoming/Continuing Projects

Concourse Expansion

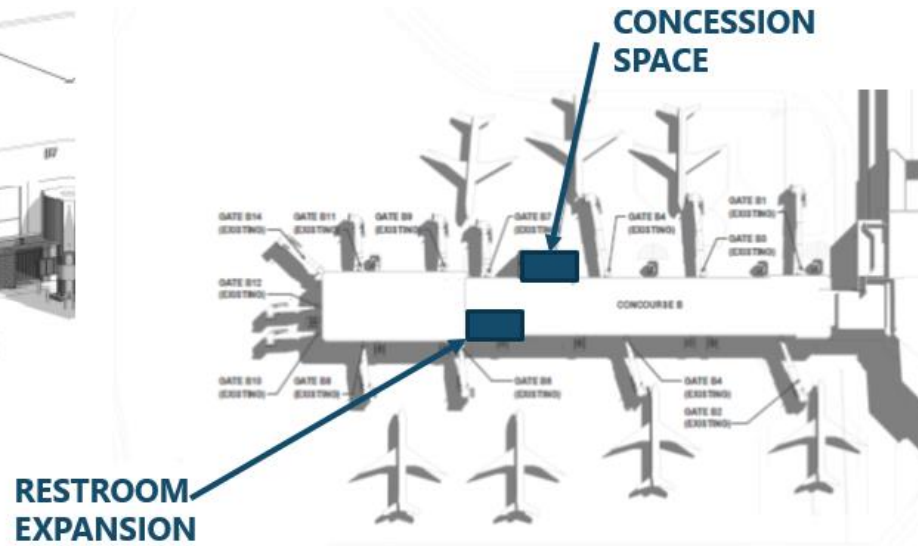
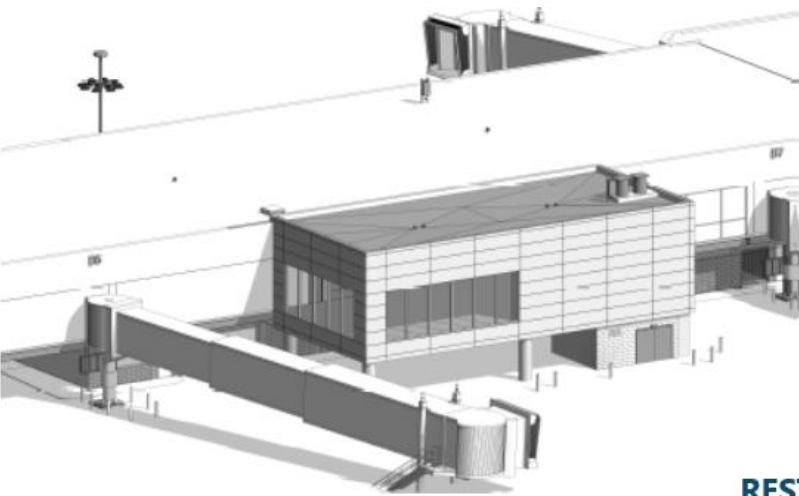
Updated Concessions Program

Consolidated Rental Car Facility Development

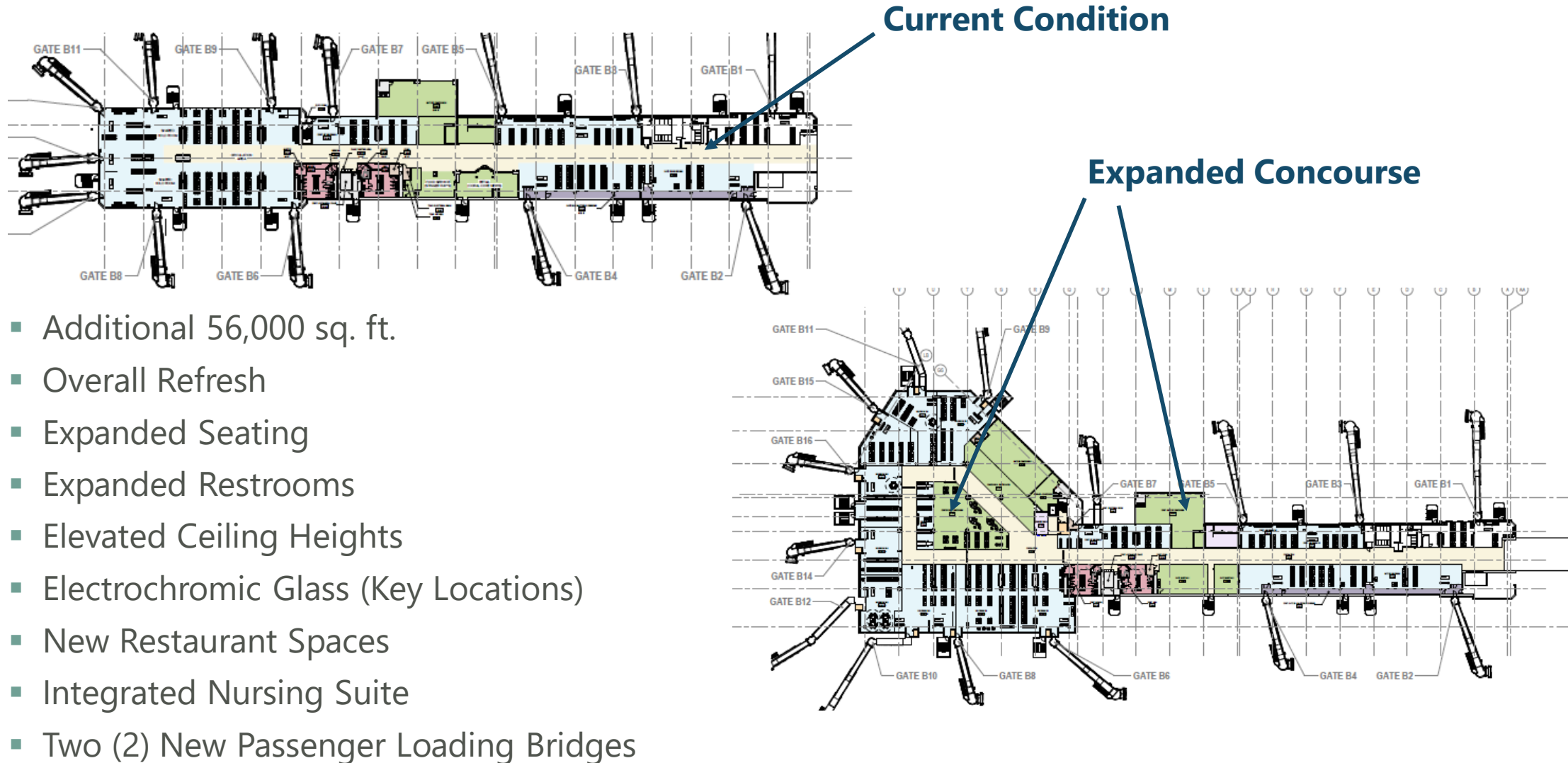
Long-term Planning for Airfield Improvements

Concourse B Expansion

- **Phase I** - expansion of restroom facilities and construction of approximately 3,000 square feet of new shell space for a future sit down restaurant between Gates B5 and B7 (Spring 2025)
- **Phase II** – Interior renovations of existing concourse and water line relocation (Fall 2025)

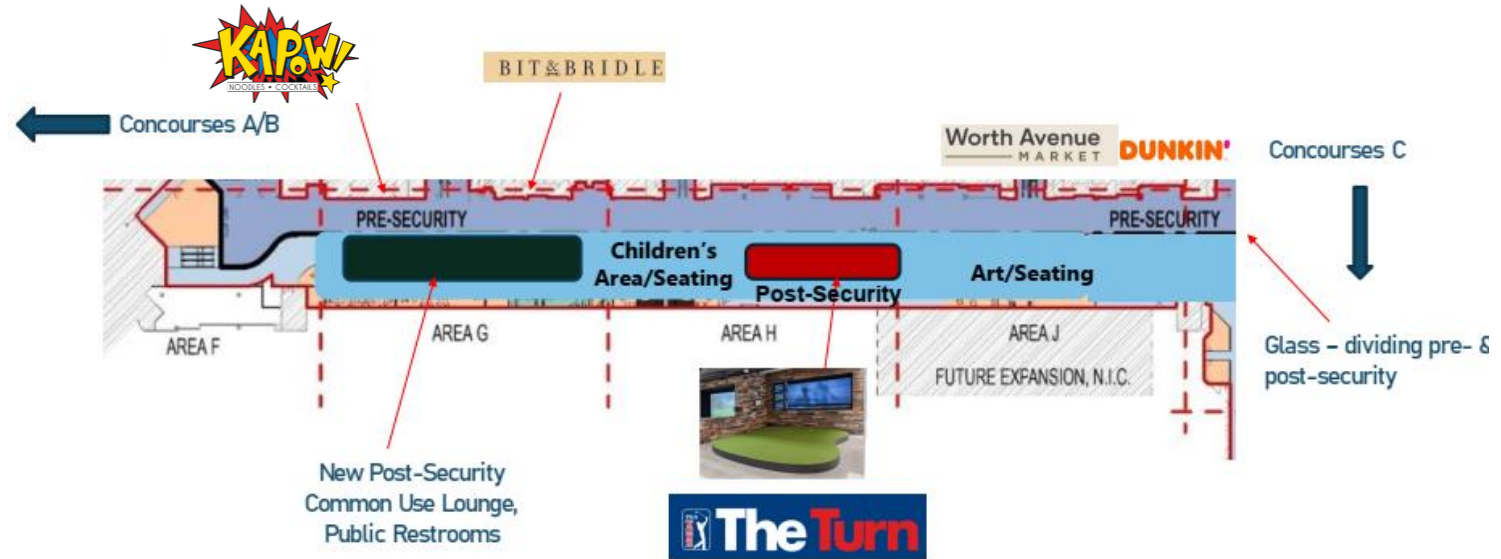


Final Phase of Concourse B Expansion



Main Terminal Modernization - Post-Security Connector

- Connecting Concourses A/B and C through new post-security space
- Replacing the existing skylight
- New terrazzo flooring
- Expanding security checkpoints
- New lounge space & restaurant/entertainment space
- Art Program/Children's Area



New Restaurants & Shops



New Restaurants & Shops



tropical CAFE
SMOOTHIE

PBI Consolidated Rent-A-Car Facility

■ Program Goals

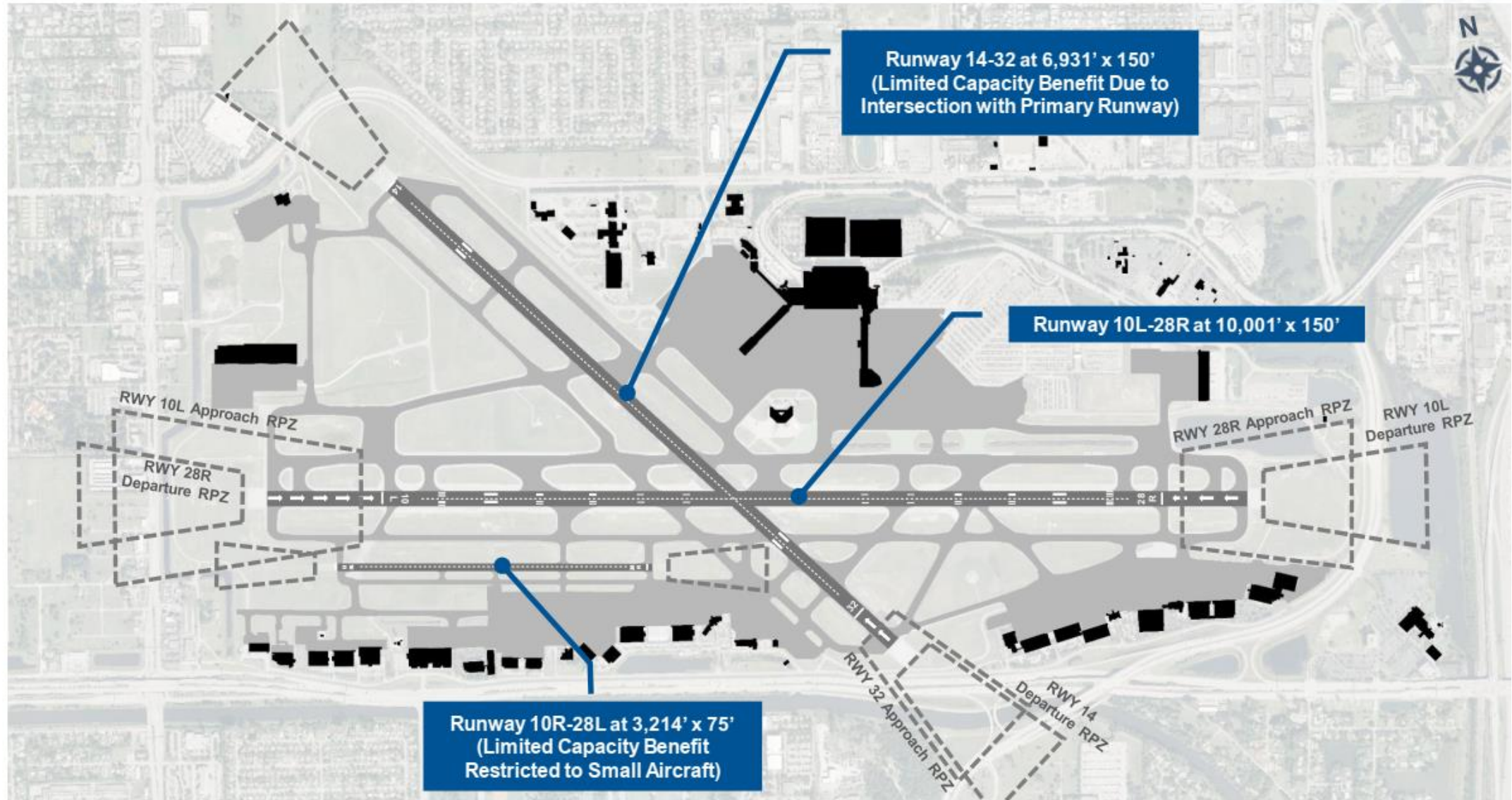
- Consolidating all rental car operations in a single location adjacent to the PBI Terminal Area
- Enabling existing sites to be redeveloped to alternative uses
- Consolidating bus operations (with eventual connection to main terminal)
- Reducing congestion at terminal curbs and emissions
- Improving the passenger experience

■ Next Steps

- Establishment of a Customer Facility Charge (CFC)
- Property Acquisition
- Issuance of CFC Bonds
- Design/Development

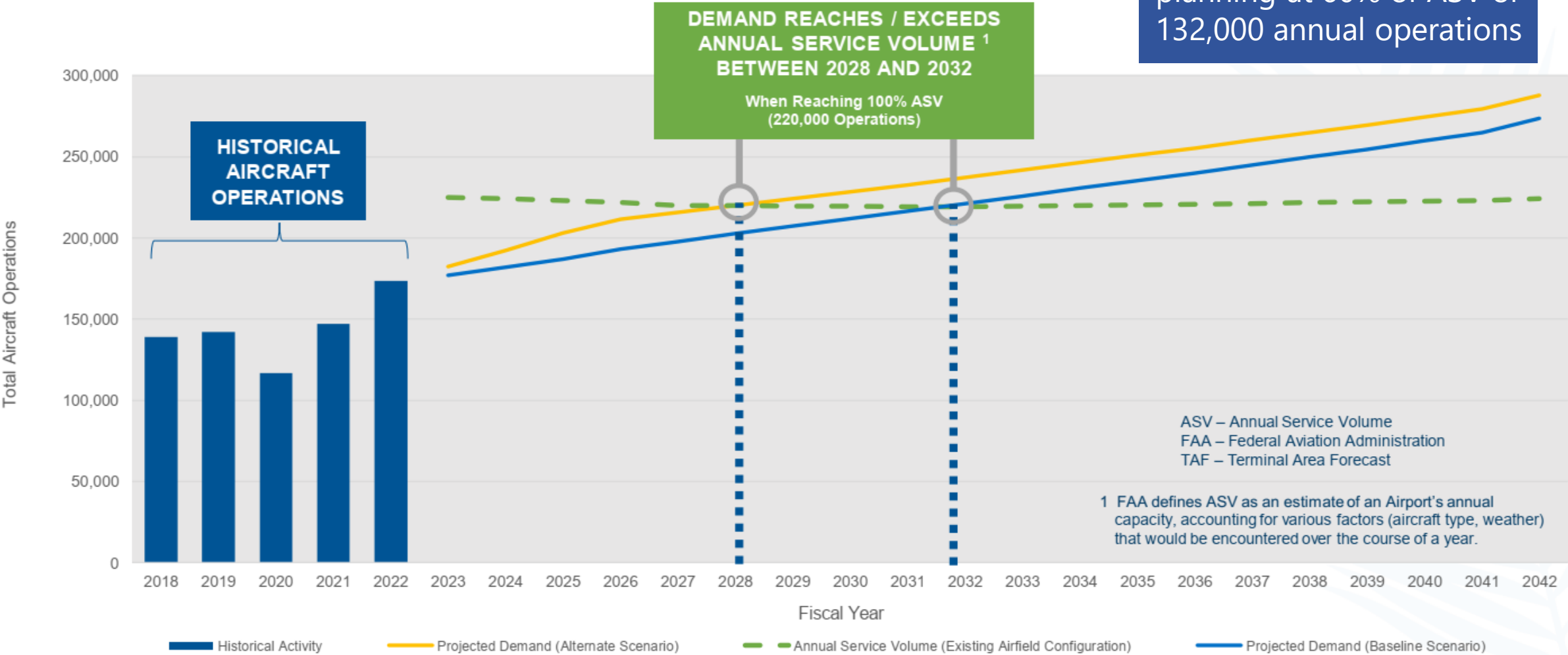


PBI Existing Airfield Limitations and Constraints



Current Demand Projections

FAA recommends starting planning at 60% of ASV or 132,000 annual operations



Impact of No Action

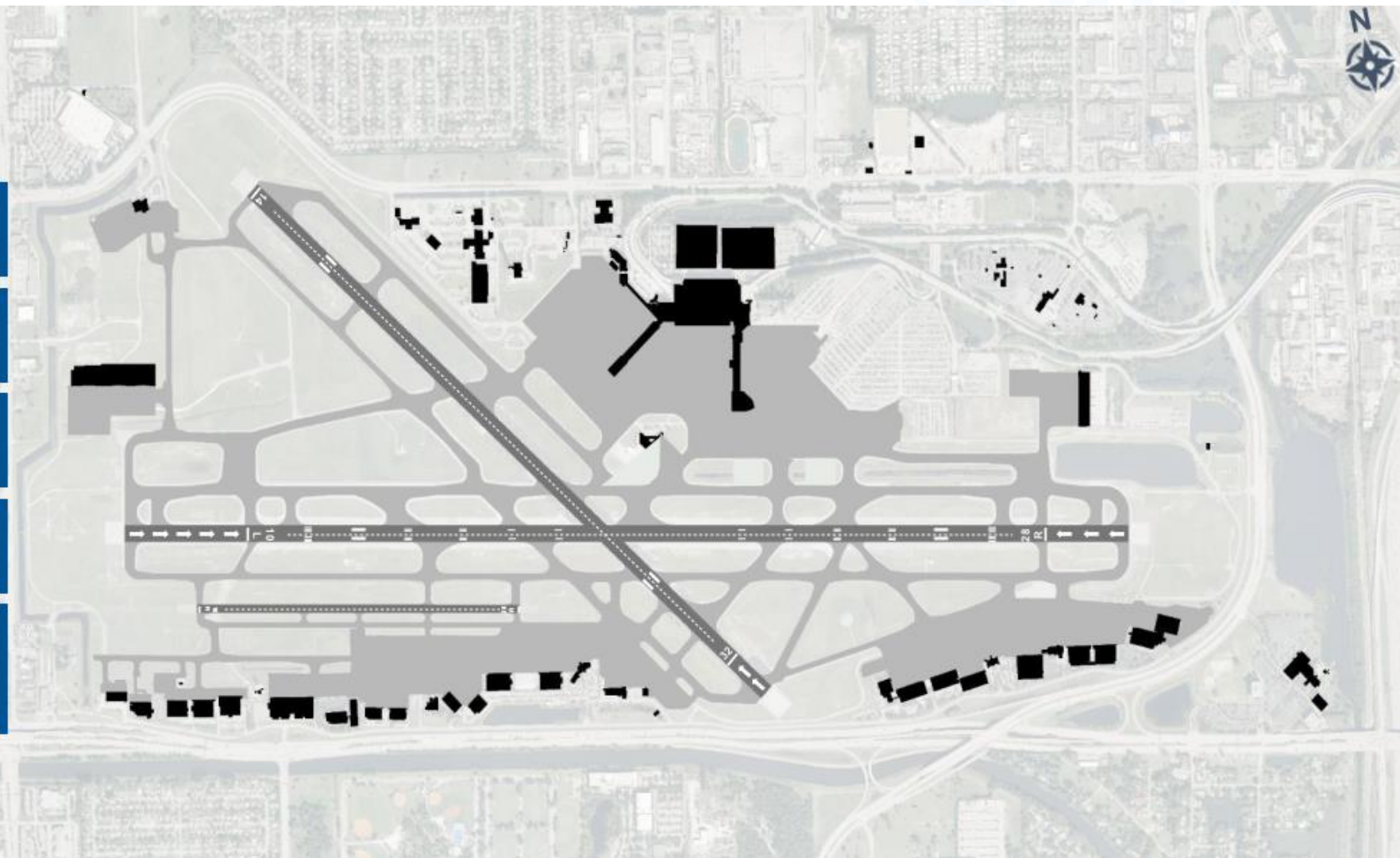
Increased delays

Reduced commercial air service

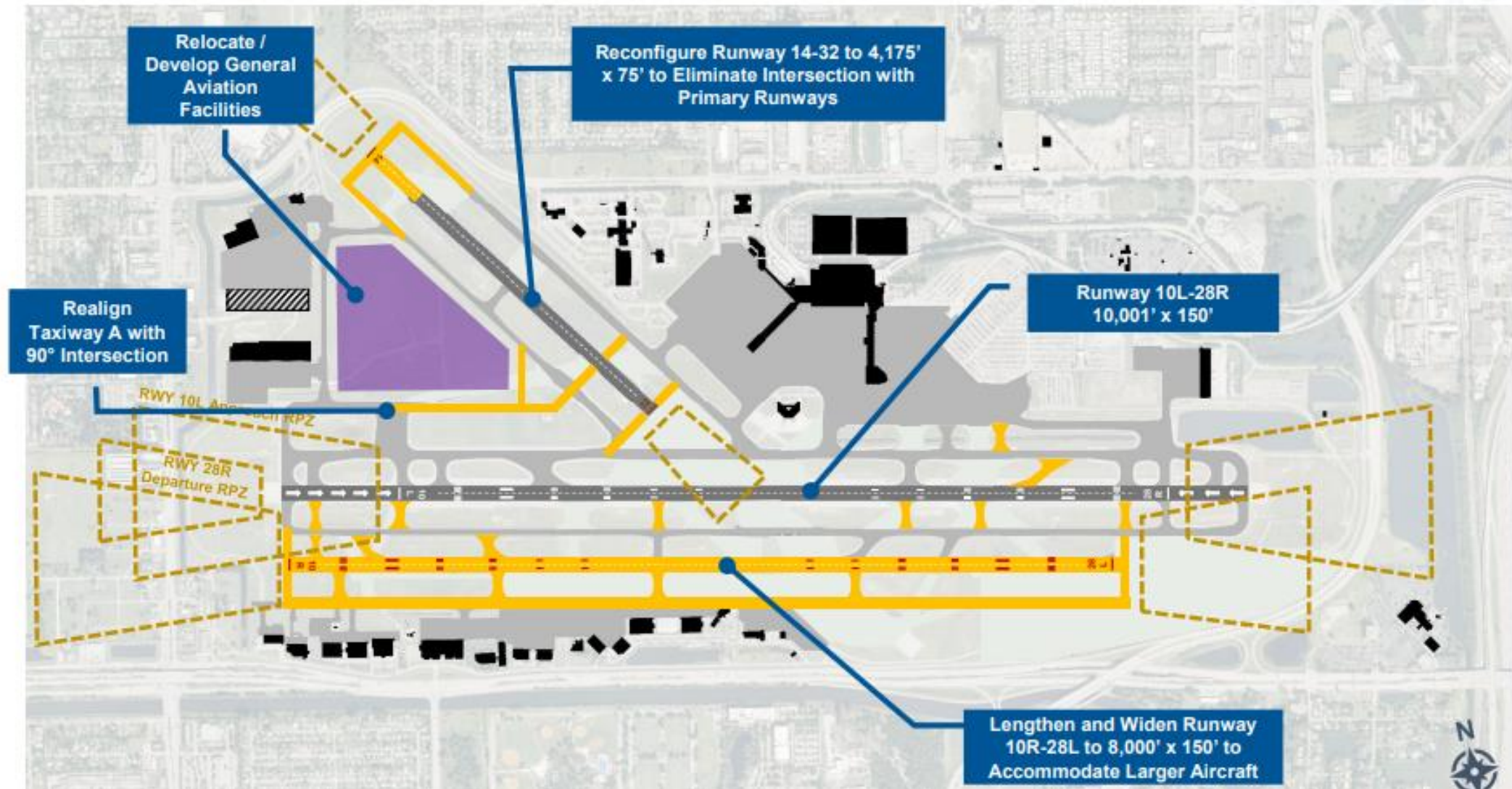
Economic impacts

Increased aircraft emissions

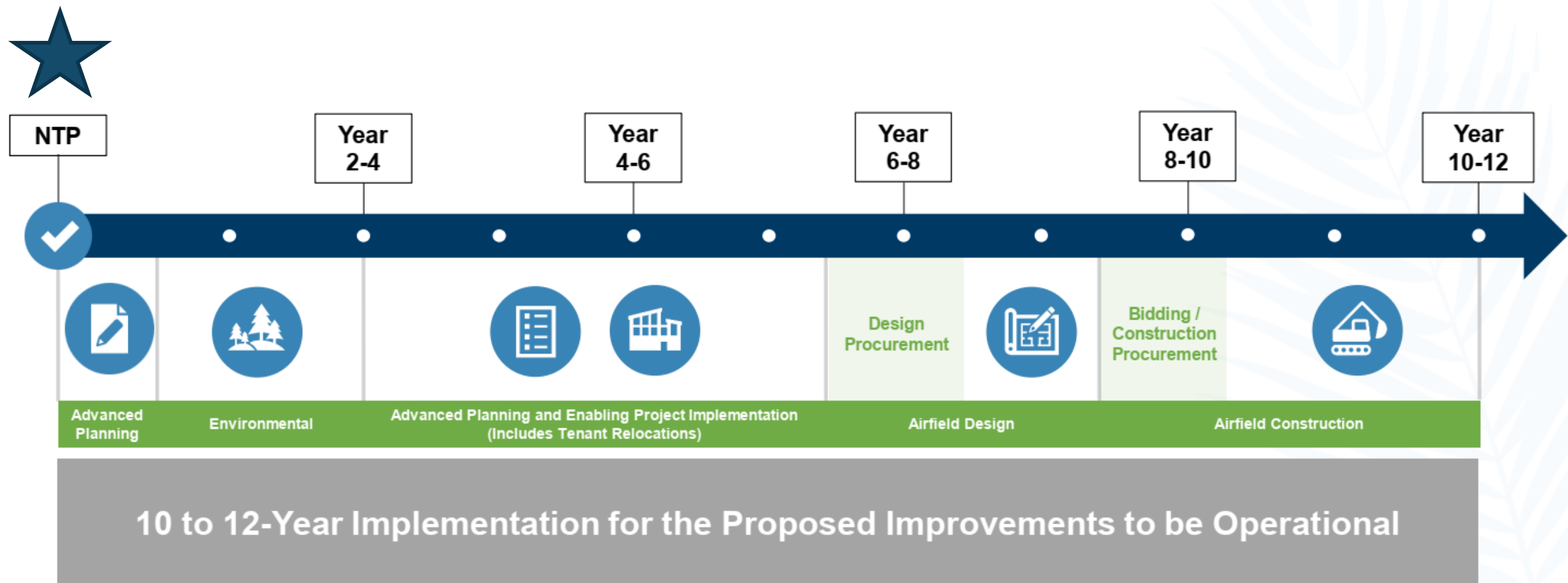
Increased frequency of
alternative headings (fanning)



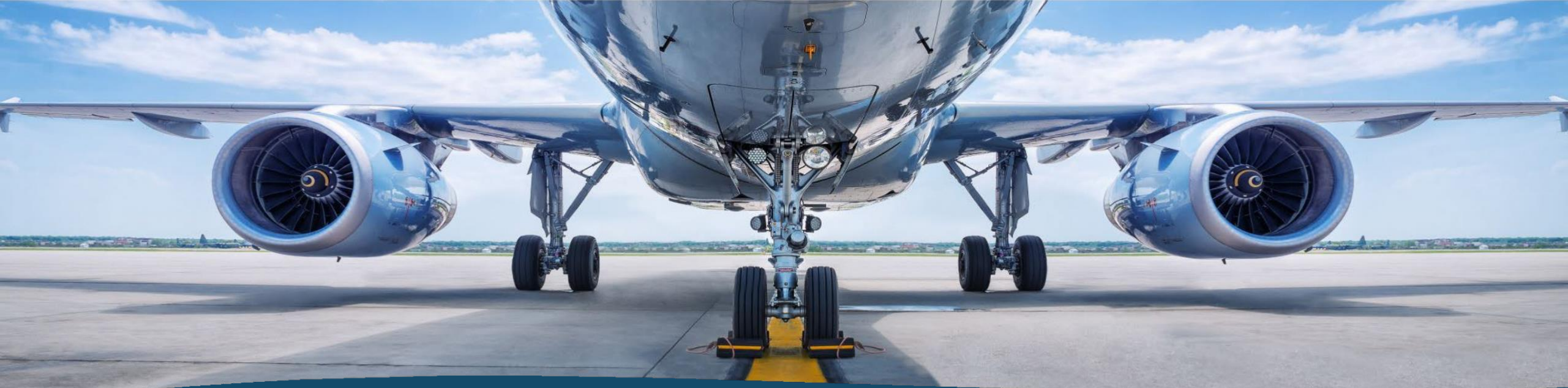
Preliminary Airfield Improvement Project



Projected Timeline for Implementation



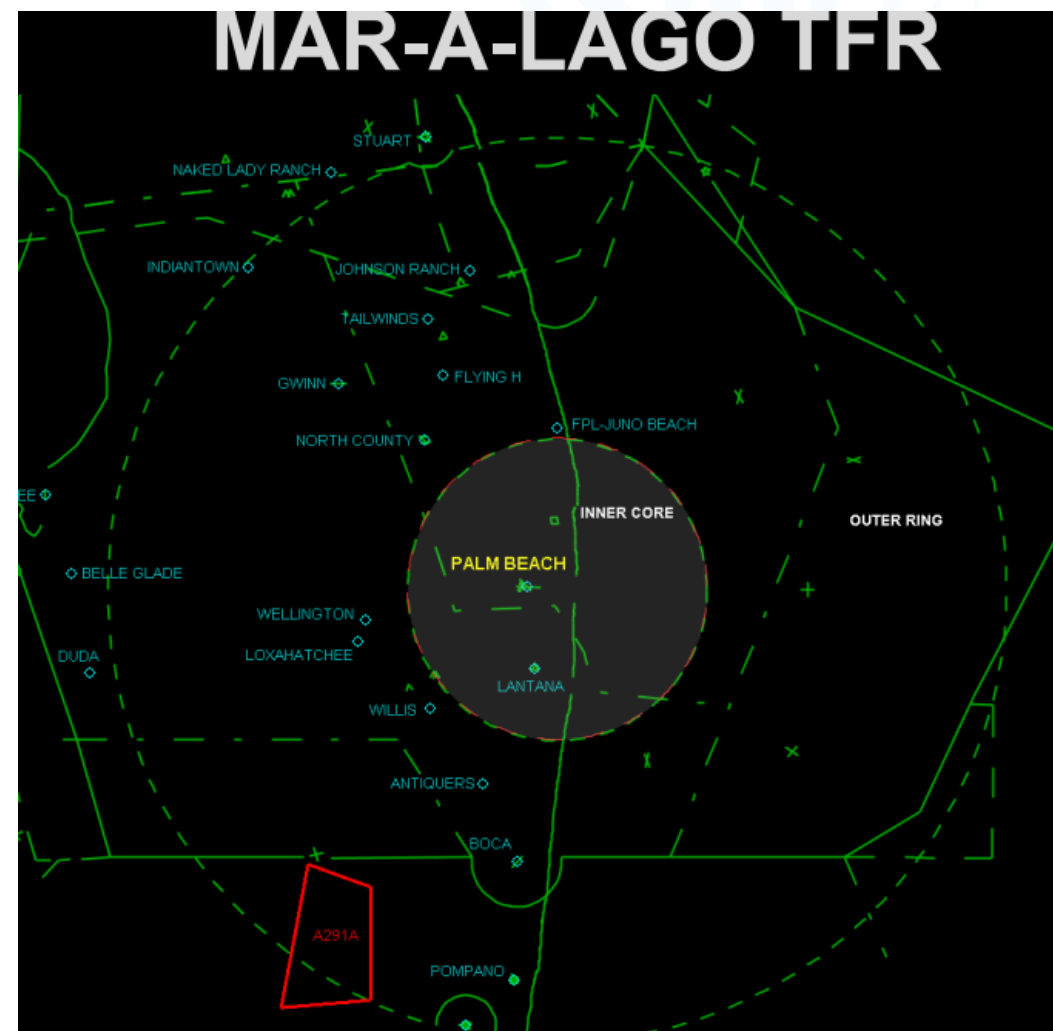
NTP – Notice to Proceed



Temporary Flight Restrictions

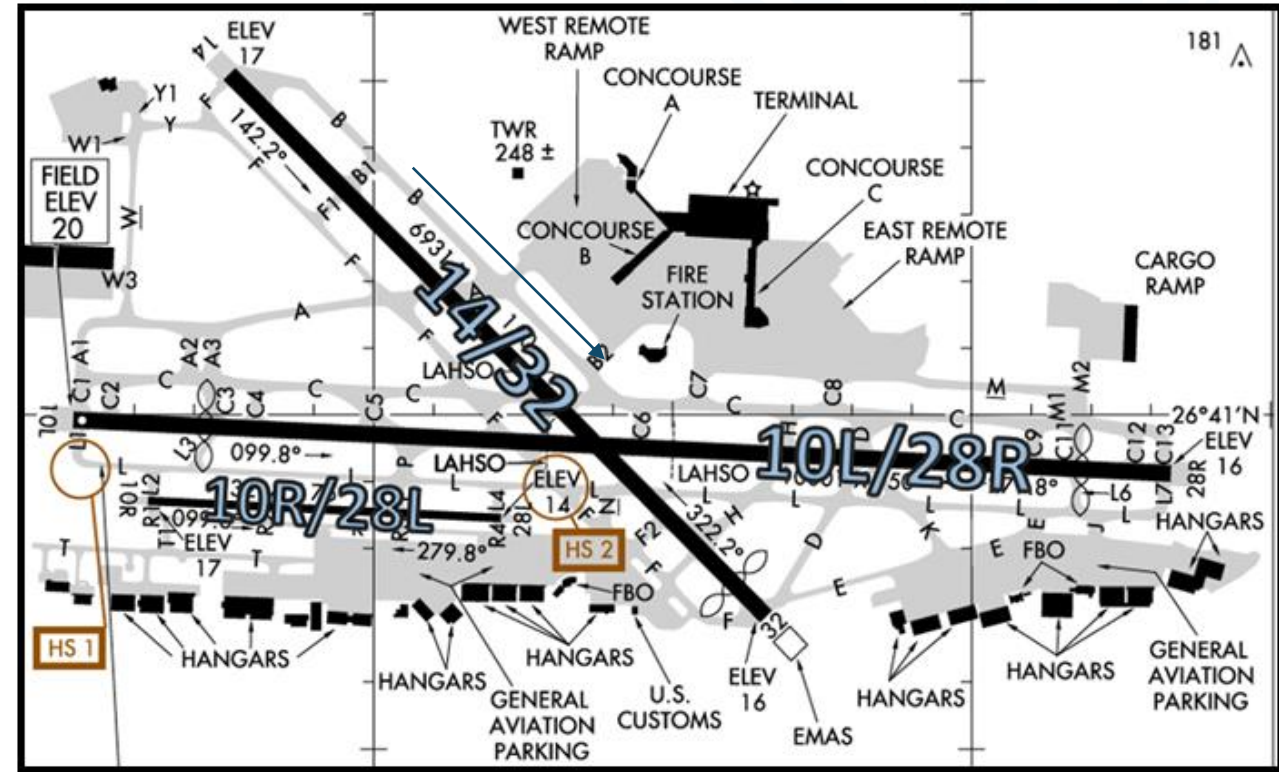
Temporary Flight Restriction (TFR) Overview

- Implemented when President is in Palm Beach County
- Restrictions vary by location
 - 10 NM Inner Core
 - All aircraft operations are prohibited, except:
 - ➔ Certain military aircraft
 - ➔ Approved law enforcement, air ambulance & firefighting operations
 - ➔ Regularly scheduled commercial service/cargo
 - ➔ Gateway operations
 - 10 – 30 NM Outer Core
 - Aircraft can arrive/depart airfields in the outer core, subject to certain requirements
 - No loitering permitted – list of restrictions available on PBI website: <https://www.pbia.org/business/temporary-flight-restrictions/>

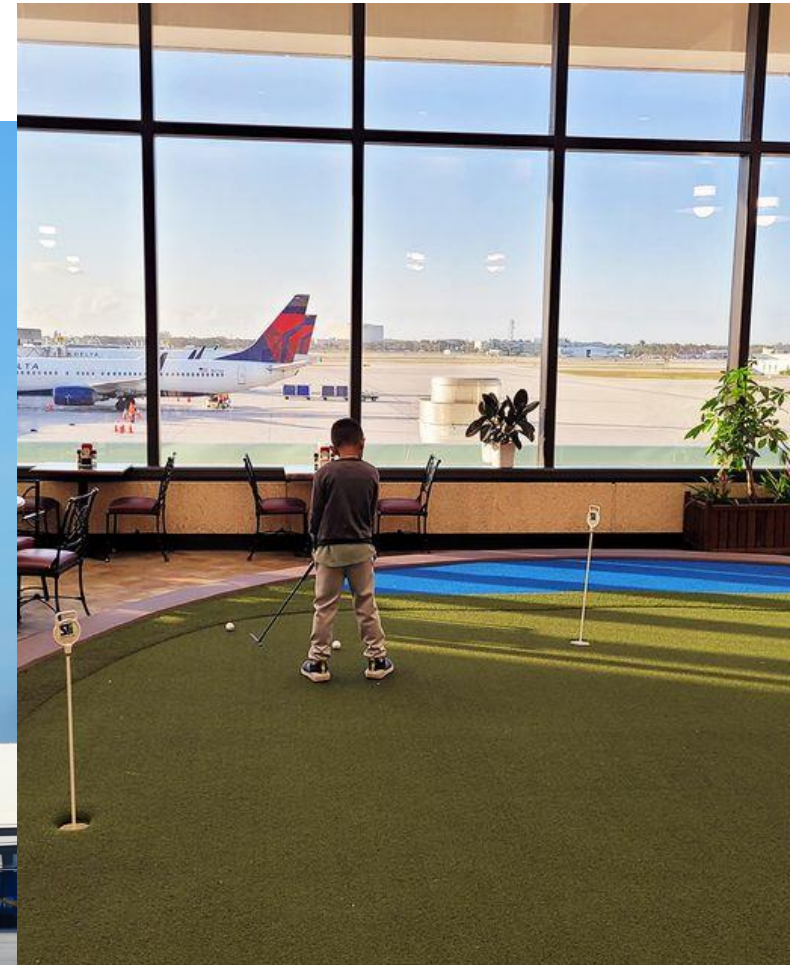
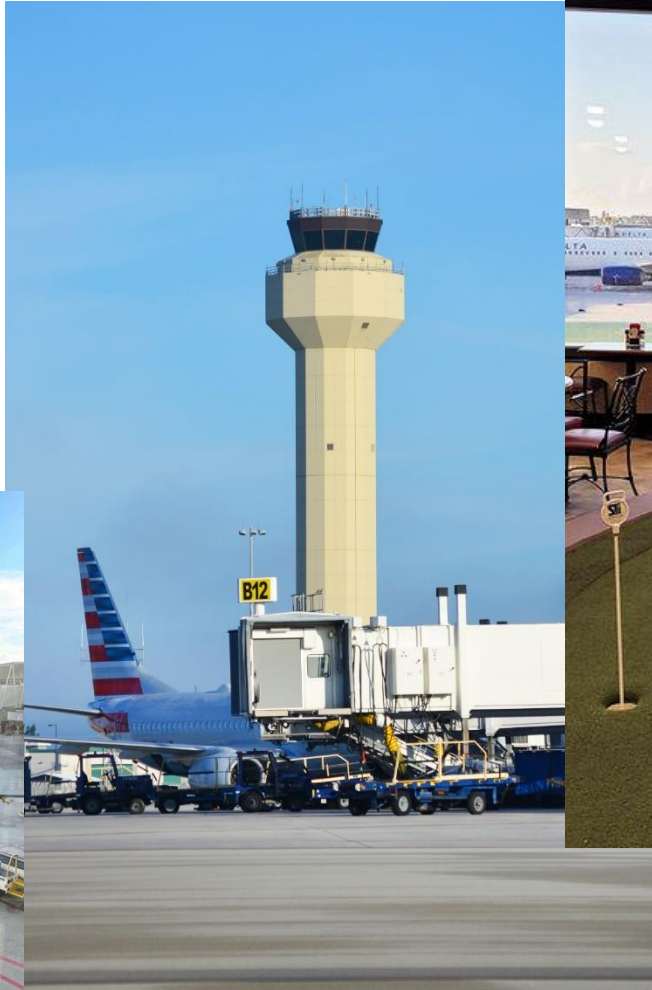


What Happens at PBI during a TFR

- Temporary road closures
- Short pause in aircraft operations on arrival/departure
- No direct overflights over Mar-a-Lago
 - Increased use of Runway 14/32
 - Flight paths change for Runway 10L/28R
 - Requires deviation from traditional departure path to the east
 - Aircraft will depart to the north, or south, of Mar-a-Lago
- GA aircraft must depart through a gateway for TSA screening
- Increased GA aircraft arrivals before, and after, the TFR
 - Increased traffic may result in fanning



Thank you!



TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Board and Commissions Presentations and Appointments

Agenda Title

Presentations by the Applicants and Appointments to the Recreation Advisory Commission

Presenter

ATTACHMENTS:

- ▣ **Memorandum Dated May 5, 2025, from Kelly Churney, Town Clerk**
- ▣ **Attendance Record**
- ▣ **Status Sheet**
- ▣ **Sample Ballot**
- ▣ **Application - Millie Dayton**
- ▣ **Application - Geri Emmett**
- ▣ **Application - Patricia Garvy**
- ▣ **Application - Jordan Geller**
- ▣ **Application - Ellen Howe**
- ▣ **Application - Joan Parker**
- ▣ **Application - Carolyn Ryan**
- ▣ **Application - Patricia Silver**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

FROM: Kelly Churney, CMC, Town Clerk

RE: Recreation Advisory Commission Appointment of Three (3) Regular Members

DATE: May 5, 2025

STAFF RECOMMENDATION

Staff recommends that the Town Council review the attached applications and appoint three (3) regular members to the Recreation Advisory Commission. These members will fill the vacancies created due to the term expirations of Millie Dayton, Grier Pressly and Henry “Budge” Jamison, IV. All members except Grier Pressly are eligible for reappointment.

GENERAL INFORMATION

The Town Clerk’s office has received one (1) application seeking **REAPPOINTMENT** from Millie Dayton, 317 Garden Road, Palm Beach, FL.

The Town Clerk’s office has received seven (7) applications seeking **NEW APPOINTMENT** from:

1. Geri Emmett, 2778 S. Ocean Blvd., Palm Beach, FL;
2. Patricia (Patty) Garvy, 300 Cherry Lane, Palm Beach, FL;
3. Jordan Geller, 2784, S. Ocean Blvd., #203N, Palm Beach, FL;
4. Joan Parker, 44 Cocanut Row, Palm Beach, FL;
5. Carolyn Ryan, 171 El Pueblo Way, Palm Beach, FL;
6. Ellen Howe, 2295 S. Ocean Blvd., PH20, Palm Beach, FL;
7. Patricia Silver, 170 Chilean Ave, Palm Beach, FL.

Ellen Howe served as a member of the Recreation Advisory Commission during the years 2010 to 2021. Joan Parker applied to be a member of the Commission in June, 2022. Carolyn Ryan applied to be a member of the Commission in February, 2024.

Attachments

cc: Carolyn Stone, Deputy Town Manager – Business Enterprise and Culture
Mark Bresnahan, Director of Recreation

Town of Palm Beach, FL - Member Attendance Report - 2024

Recreation Advisory Commission

Member	Jan 26, 2024	Apr 19, 2024	Oct 24, 2024	TOTALS
Devon J Roush	P	P	P	100.0%
David N Missner	P	P	P	100.0%
Henry "Budge" D Jamison IV	P	P	A	66.67%
Millie Dayton	P	P	P	100.0%
Grier Pressly	P	P	P	100.0%
Peter W Harris	P	P	P	100.0%
Susan B Watts	P	P	P	100.0%

Present:	7	7	6	95.24%
Absent:	0	0	1	4.76%
Excused:	0	0	0	0.0%

- * P = Present
- * A = Absent
- * E = Excused
- * C = Canceled

Town of Palm Beach, FL - Member Attendance Report - 2025

Recreation Advisory Commission

Member	Jan 24, 2025	Apr 17, 2025	Oct 23, 2025	TOTALS
David N Missner	E	P		50.0%
Devon J Roush	P	P		100.0%
Susan B Watts	P	P		100.0%
Peter W Harris	P	P		100.0%
Grier Pressly	P	P		100.0%
Millie Dayton	P	P		100.0%
Henry "Budge" D Jamison IV	P	A		50.0%

Present:	6	6	0	85.71%
Absent:	0	1	0	7.14%
Excused:	1	0	0	7.14%

- * P = Present
- * A = Absent
- * E = Excused
- * C = Canceled

Status Sheet

RECREATION ADVISORY COMMISSION (RAC)

Next appointment: **May 13, 2025, Town Council meeting**

Openings advertised via news release: **March 5, 2025**

Deadline to submit applications: **Friday, May 2, 2025, by 5:00 p.m.**

Number of openings: **3 Regular Members**

Applicants

<u>NAME</u>	<u>SEEKING</u>
Millie Dayton	Reappointment
Geri Emmett	New Appointment
Patricia (Patty) Garvy	New Appointment
Jordan Geller	New Appointment
Ellen Howe	New Appointment
Joan Parker	New Appointment
Carolyn Ryan	New Appointment
Patricia Silver	New Appointment

Current members and open seats

<u>NAME</u>	<u>TERM EXPIRES</u>
<u>Regular Members</u>	
Millie Dayton*	April 30, 2025
Grier Pressly***	April 30, 2025
Henry "Budge" D Jamison IV	April 30, 2025
David Missner	April 30, 2026
Devon Roush	April 30, 2026
Peter Harris	April 30, 2027
Susan Watts	April 30, 2027

Highlighted in yellow = term currently expiring/vacant

*=Applied for reappointment

**=Applied for appointment from alternate member to regular member

***=Termed out

**BALLOT FOR APPOINTMENT OF REGULAR MEMBER(S)
TO THE RECREATION ADVISORY COMMISSION
Town Council Meeting on May 13, 2025**

Positions to be filled: 3 Regular Members

Please circle 3 from the list of names appearing below.

Member(s) Who Have Applied for Reappointment

Millie Dayton

Individuals Who Have Submitted Applications
(Listed Alphabetically)

Geri Emmett

Patricia (Patty) Garvy

Jordan Geller

Ellen Howe

Joan Parker

Carolyn Ryan

Patricia Silver

Signature of Town Council Member: _____
Town Council Member

Profile

Millie

First Name

Middle Initial

Dayton

Last Name

317 Garden Road

Home Address

Suite or Apt

Palm Beach

City

FL

State

33480

Postal Code

milliedayton@gmail.com

Email Address

Home: (561) 848-8364

Primary Phone

Mobile: (561) 281-9222

Alternate Phone

Which Boards would you like to apply for?

Recreation Advisory Commission: Submitted

Question applies to multiple boards

Appointment to the Architectural Commission (ARCOM), Landmarks Preservation Commission, Planning and Zoning Commission, Recreation Advisory Commission, & Underground Utilities Task Force (UUTF) requires the applicant to be a registered voter in the Town of Palm Beach. Please attach a copy of BOTH SIDES of your Voter Registration card with your application. Failure to provide the required copy of the voter registration card shall be grounds for rejection of the application.

Question applies to multiple boards

I am a registered voter in the Town of Palm Beach (Initial below)

MCD

Question applies to multiple boards

[Verified - KMC](#)

Upload a Voter Registration Card in one of the accepted formats (Front)

Question applies to multiple boards

Upload a Voter Registration Card in one of the accepted formats (Back)

Occupation

In what area of town do you live?

☒ North

Interests/Experience

Question applies to Recreation Advisory Commission

Why do you wish to be appointed as a member of the Recreation Advisory Commission?

After being born and raised here, I moved back to town almost 20 years ago and couldn't have asked for a more wonderful experience. Palm Beach is a beautiful, safe community and my family has enjoyed a comfortable lifestyle and taken advantage of the many recreational activities available. While I was primarily focused on my children for the last few years, they are older and more independent now and I am turning my attention to how I can give back to the town that has provided me with so much. As someone who loves Palm Beach, participates in many of its activities and wants to serve the wider community I would like to take this opportunity to apply for a position on the Recreation Advisory Commission. I live in Palm Beach year-round and have a keen interest in making sure the town continues to provide the best recreational opportunities to its residents.

Question applies to Recreation Advisory Commission

Please identify how many meetings of the Recreation Advisory Commission you have attended in the past two (2) years? *

☒ 5

Please indicate if there are any periods of time for which you will be unavailable for meetings.

Available year-round

Question applies to multiple boards

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.

Sailfish Club of Florida - Board of Directors 2015-2018, 2019-2022, 2024- current. Executive Committee 2021-2022 Bath and Tennis Club - Chair of Family Activities Committee/Junior Committee 2017-2022 Active participant in the Palm Beach Day Academy community 2009-2020, chairing the Annual Fund for several years and serving as a room parent for my children. Active with Opportunity Early Childhood Education and Family Center. Chaired the Christmas Boutique and Luncheon for several years. Chairwoman for the 75th Anniversary Gala at the Breakers and again in 2015 and 2106. Our entire family is involved through their Thanksgiving Turkey Drive and Angel Family Adoptions at Christmastime. Member of the Preservation Foundation of Palm Beach and through my children have visited and toured Pan's Garden and the Little Red Schoolhouse. I very much enjoy the monthly Landmarks Discovered series with Amanda Skier, watching videos and learning more about Palm Beach architects and the history of the town. Recently joined the Palm Beach Civic Association to become more educated about key town issues.

Please describe your current and past involvement/participation in Town recreation programs and/or facilities.

When I moved back to Palm Beach in 2003, the recreation center was a blessing to our young family. We were there almost every day, enjoying the playground or taking music classes, gymnastics, karate and cooking. Saturdays were for youth soccer on what is now the Oakley Debbs field. As they grew, my children participated in the Junior tennis program and continued to use the field daily for PE class at PBDA and the annual Field Day. I am an avid tennis player and have been a member of the Seaview Open Team for 10 years. I am on the courts almost daily for both clinics and matches. During the construction of the new Mandel Center, my tennis was based at Phipps Ocean Park where I also play socially. Most recently, while my children were home from boarding school learning virtually during COVID, the indoor pickleball courts became our exercise spot! We could drive to Seaview, play and have fun in the Smith Family Fieldhouse, and return to Zoom school all within a class period. Our family has fallen in love with pickleball and I am excited to learn about the ways the town is planning to incorporate the game into its master plan. I am not a golfer but have played a few rounds and walked the Par 3 course with my son. It is a beautiful location and a wonderful asset to our town. In summary, I spend my days enjoying the beautiful town of Palm Beach and would be honored to be considered for the Recreation Advisory Commission.

Are you a member of any of the following organizations? (Check all that apply)

- ☒ Palm Beach Civic Association
- ☒ Preservation Foundation of Palm Beach

Present Occupation

No. of years

Past occupation(s)

High School teacher Guidance Counselor

No. of years

5 years

Please provide details regarding your educational background:

The Groton School - 1988-1991 Middlebury College - B.A. 1995 Boston University M.A. and Ed.M. 2001

Upload a Resume

Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations?

☐ Yes ☒ No

If you are currently serving on a Town board, commission, or committee, please identify in the space below and check the "I Agree" box indicating that you will resign from that position if you are appointed to the position you are seeking in this application.

I agree that I will resign from the board, commission, or committee if I am appointed to the position I am seeking in this application.

☒ I Agree

To enable Town Council to consider potential conflicts of interest, please list the family members who live and/or work in the Town of Palm Beach, including your spouse, parents, siblings or children.

Eric Levine - spouse Cooper, Carter & Chloe Levine - children

Demographics

Some boards and commissions require membership to be racially, politically or geographically proportionate to the general public. The following information helps track our recruitment and diversity efforts.

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Female

Physically Disabled

☐ Yes ☒ No

I hereby certify that I have read the sections of the Town Code of Ordinances for the particular board/commission/committee that I have selected above and have noted the description of the board/commission/committee and its members' duties, and further I have read the regulations concerning absences and conflicts of interests. I certify the information given by me is true and complete to the best of my knowledge and belief. I understand that any falsification of material facts will be grounds for rejection of this application of dismissal after appointment.

☒ I Agree

Millie Dayton

Question applies to Recreation Advisory Commission

Please provide a copy of BOTH SIDES of your Palm Beach County Voter Registration card, which shows your Town of Palm Beach address, with your application.

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RECREATION ADVISORY COMMISSION

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The Recreation Advisory Commission meets three (3) times per year. Meetings begin at 9:00 a.m., and are held in the Town Council Chambers located on the second floor of Town Hall at 360 South County Road, Palm Beach, Florida.

MILLIE C. DAYTON

317 GARDEN ROAD • PALM BEACH • FL • 33480

MILLIEDAYTON@GMAIL.COM • 561 281-9222

COMMUNITY LEADERSHIP

Sailfish Club of Florida , Palm Beach, Florida	
Board of Directors	2015-2018 & 2019-2022
Executive Committee	2021-2022
Bath & Tennis Club , Palm Beach, Florida	
Chair of Junior Committee/Family Activities Committee	2018-2022
Palm Beach Day Academy , Palm Beach, Florida	
Annual Fund Committee	2011-2018
Parent Volunteer	2009-2020
Opportunity Early Childhood Education & Family Center , WPB, Florida	
Chair of Luncheon & Christmas Boutique	2011-2012
Chair of Annual Gala	2014-2016

WORK EXPERIENCE

Newman Preparatory School , Boston, Massachusetts	Sep 1995-May 1999
Courses Taught: French I-IV, Language Arts, World Cultures, SAT Prep., English as a Second Language I-III Varsity Girls Basketball Coach	
Kevin Vigilante for Congress , Providence, Rhode Island	Summer 1994
Estée Lauder Marketing , New York, New York	Summer 1991
Condé Nast Publications , London, England	Summer 1990

EDUCATION

Boston University , Boston, Massachusetts	May 2000-May 2001
Ed.M. School Counseling Practicum for state certification at Boston Latin School. 575 hours.	
Boston University , Boston, Massachusetts	M.A. 2000
Master of Psychology	
Middlebury College , Middlebury, VT	B.A. 1995
Major: <i>French</i> Concentration: <i>Teacher Education</i> Graduating Honors: Magna Cum Laude	
Middlebury Language School , Paris, France	Jan-June 1994
School for Field Studies , Ostional, Costa Rica	Summer 1993
School for Field Studies , Baja, Mexico	Sept-Dec 1992
Harvard University , Cambridge, Massachusetts	Summer 1992
Skidmore College , Saratoga Springs, New York	Sept 1991-May 1992
Groton School , Groton, Massachusetts	Sept 1988-June 1991
Graduating Honors: Cum Laude	

PERSONAL

Mother to Cooper, Carter & Chloe • 5.0 Tennis Player • Comfortable with Technology • Excessively Organized
Proficient in French/Spanish • SCUBA Certified • Pilates Enthusiast • Climbed Mt. Kilimanjaro
Country Music Lover • Decent Cook • True Crime Podcast Listener • Dependable Volunteer and Friend



Profile

Geri		Emmett
First Name	Middle Initial	Last Name

2778 s ocean blvd		
Home Address	Suite or Apt	
Palm Beach	FL	33480
City	State	Postal Code

gemmett500@gmail.com

Email Address

Home: (917) 923-1034	
Primary Phone	Alternate Phone

Which Boards would you like to apply for?

Recreation Advisory Commission: Submitted

Question applies to multiple boards

Appointment to the Architectural Commission (ARCOM), Landmarks Preservation Commission, Planning and Zoning Commission, Recreation Advisory Commission, & Underground Utilities Task Force (UUTF) requires the applicant to be a registered voter in the Town of Palm Beach. Please attach a copy of BOTH SIDES of your Voter Registration card with your application. Failure to provide the required copy of the voter registration card shall be grounds for rejection of the application.

Question applies to multiple boards

I am a registered voter in the Town of Palm Beach (Initial below)

Ge

Question applies to multiple boards

VERIFIED - KMC

Upload a Voter Registration Card in one of the accepted formats (Front)

Question applies to multiple boards

Upload a Voter Registration Card in one of the accepted formats (Back)

Business Owner Duffys

Occupation

In what area of town do you live?

☒ South

Interests/Experience

Question applies to Recreation Advisory Commission

Why do you wish to be appointed as a member of the Recreation Advisory Commission?

I've been a resident of Palm beach since 2001.my son Alexander Emmett went to the rec camps every year. I was a big fan of Dan at Tennis so I'm quite familiar with Seaview and Phipps. I feel as a resident in a business owner, I can add value.

Question applies to Recreation Advisory Commission

Please identify how many meetings of the Recreation Advisory Commission you have attended in the past two (2) years? *

☒ 0

Please indicate if there are any periods of time for which you will be unavailable for meetings.

July and August

Question applies to multiple boards

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.

My board experience is the following.I have been on the board of the Girl Scouts of South East Florida for eight years. I also shared for two years. I am currently the chair of Meals On Wheels of the Palm Beach Beaches. I am also on the board of Duffy's Sports Grill.

Question applies to Recreation Advisory Commission

Please describe your current and past involvement/participation in Town recreation programs and/or facilities.

I took lessons for many years at Seaview and I can probably say I am still a poor beginner, but always hopeful. I was a contributor to the Sea view building. I donated the water fountain in memory of my late husband, Paul Emmett. There is also a bench at Seaview There in his honor. I believe strongly in town recreation programs they are needed.

Geri Emmett

Are you a member of any of the following organizations? (Check all that apply)

- ☒ Palm Beach Civic Association
- ☒ Citizens' Association of Palm Beach

Present Occupation

Business owner

No. of years

10

Past occupation(s)

VP of marketing and product development for a prestige beauty Company.

No. of years

30

Please provide details regarding your educational background:

Our Lady Of Mercy Academy in Syosset, Long Island and all girl Academy college through the SUNY system

[Upload a Resume](#)

Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations?

☐ Yes ☒ No

If you are currently serving on a Town board, commission, or committee, please identify in the space below and check the "I Agree" box indicating that you will resign from that position if you are appointed to the position you are seeking in this application.

I agree that I will resign from the board, commission, or committee if I am appointed to the position I am seeking in this application.

☒ I Agree

To enable Town Council to consider potential conflicts of interest, please list the family members who live and/or work in the Town of Palm Beach, including your spouse, parents, siblings or children.

I am a widow and my children live in West Palm Beach

Demographics

Some boards and commissions require membership to be racially, politically or geographically proportionate to the general public. The following information helps track our recruitment and diversity efforts.

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Female

Physically Disabled

☐ Yes ☒ No

I hereby certify that I have read the sections of the Town Code of Ordinances for the particular board/commission/committee that I have selected above and have noted the description of the board/commission/committee and its members' duties, and further I have read the regulations concerning absences and conflicts of interests. I certify the information given by me is true and complete to the best of my knowledge and belief. I understand that any falsification of material facts will be grounds for rejection of this application of dismissal after appointment.

☒ I Agree

Question applies to Recreation Advisory Commission

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Geri M. Emmett

Ms. Emmett is the Founder and chairwomen of the Duffy's Foundation, a South Florida-based non-profit organization dedicated to improving local communities through charitable contribution, as well as a principle owner in Duffy's Sports Grill the largest privately owned premier chain of sports themed restaurants in Florida.

Founded in 2016 in memory of her late husband, Paul Emmett, the Duffy's Foundation is dedicated to supporting organizations and individuals who positively impact their local

communities. The Duffy's foundation directly supports non-profits, including the local branches of the Girl Scouts of America, American Red Cross, Special Olympics and Meals on Wheels of the Palm Beaches. The Foundation sponsors special causes aimed at increasing awareness and support of important local initiatives including but not limited to The Palm Beach School for Autism through Project Next, Forgotten Soldiers, Dana Farber and Brigham Women's Hospital. The Pillars of the Duffy's foundation will always be for the betterment of people in need, especially the needs of children.

In service of her community and in outreach, Geri is an advisory board member of Brigham and Women's Boston Hospital and Medical Center. She is also part of the Visiting Committee on GI cancers at the Dana Farber Cancer Institute. Geri is currently active with the Girl Scouts of Southeast Florida as not only a pillar support, but, a badge sponsor, in addition to being Vice Chair on the Board of the Girl Scouts of Southeast Florida, she is also a recipient of the 2018 Emerald Awards. Geri was recognized for the Lifetime Achievement Award for Philanthropy. She is also a member of the Tiffany Circle with the Red Cross and a Board of Directors of the Palm Beach Civic Association and Meals on Wheels of the Palm Beaches.

Before 2016 Geri spent thirty years working with Trish McEvoy Beauty, an international prestige retailer of cosmetics, beauty, and fragrances while subsequently assuming her responsibilities at Duffy's.

Married for 30 years, widowed since 2015, Geri's late husband Paul Emmett was the brand founder of the Duffy's Sports Grill

that we have all come to know and love in Florida. A resident of the Palm Beach area for over 22 years, she is the loving mother of Alex Emmett, and stepmother of Jason and Heather.

Profile

Patricia (Patty)CGarvy

First NameMiddle InitialLast Name

300 Cherry Lane

Home AddressSuite or Apt

Palm BeachFL33480

CityStatePostal Code

pattygarvy@gmail.com

Email Address

Mobile: (312) 953-4215

Primary PhoneAlternate Phone

Which Boards would you like to apply for?

Recreation Advisory Commission: Submitted

Question applies to multiple boards

Appointment to the Architectural Commission (ARCOM), Landmarks Preservation Commission, Planning and Zoning Commission, Recreation Advisory Commission, & Underground Utilities Task Force (UUTF) requires the applicant to be a registered voter in the Town of Palm Beach. Please attach a copy of BOTH SIDES of your Voter Registration card with your application. Failure to provide the required copy of the voter registration card shall be grounds for rejection of the application.

Question applies to multiple boards

I am a registered voter in the Town of Palm Beach (Initial below)

PCG

Question applies to multiple boards

Upload a Voter Registration Card in one of the accepted formats (Front)

Question applies to multiple boards

Verified - KMC

Upload a Voter Registration Card in one of the accepted formats (Back)

Retired

Occupation

In what area of town do you live?

☒ North

Interests/Experience

Question applies to Recreation Advisory Commission

Why do you wish to be appointed as a member of the Recreation Advisory Commission?

I am so fortunate to live in Palm Beach and would like to contribute to our town. The Recreation Center is a focal point of our community. I played on the D1 tennis team from October 2015 - April 2023. I am also a golfer.

Question applies to Recreation Advisory Commission

Please identify how many meetings of the Recreation Advisory Commission you have attended in the past two (2) years? *

☒ 1

Please indicate if there are any periods of time for which you will be unavailable for meetings.

Question applies to multiple boards

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.

The Society of the Four Arts Library Committee (2010 to present), The Bath and Tennis Club Board of Directors (2024 - present), Bath and Tennis Club Bridge Chair (2019 - 2024), Bath and Tennis Finance Committee (2021 - present), The Beach Club Tennis Committee (2024 - present), First Serve Board of Directors (previous),

Question applies to Recreation Advisory Commission

Please describe your current and past involvement/participation in Town recreation programs and/or facilities.

I played on the D1 tennis team from October 2015 - April 2023. I have played the Par 3.

Are you a member of any of the following organizations? (Check all that apply)

- ☒ Palm Beach Civic Association
☒ Preservation Foundation of Palm Beach

Patricia (Patty) C Garvy

Present Occupation

Retired

No. of years

Past occupation(s)

JPMorgan Private Bank, Global Investments Specialist, Merrill Lynch Institutional UK/European Equity Sales, Lehman Brothers Institutional International Equity Sales

No. of years

15

Please provide details regarding your educational background:

University of Michigan, B.A. Psychology, 1987 University of Chicago, M.B.A. Finance 1993

Upload a Resume

Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations?

☐ Yes ☒ No

If you are currently serving on a Town board, commission, or committee, please identify in the space below and check the "I Agree" box indicating that you will resign from that position if you are appointed to the position you are seeking in this application.

I agree that I will resign from the board, commission, or committee if I am appointed to the position I am seeking in this application.

☒ I Agree

To enable Town Council to consider potential conflicts of interest, please list the family members who live and/or work in the Town of Palm Beach, including your spouse, parents, siblings or children.

Peter Garvy (spouse)

Demographics

Some boards and commissions require membership to be racially, politically or geographically proportionate to the general public. The following information helps track our recruitment and diversity efforts.

Patricia (Patty) C Garvy

Ethnicity

☒ Asian or Pacific islander

Gender

☒ Female

Physically Disabled

☐ Yes ☒ No

I hereby certify that I have read the sections of the Town Code of Ordinances for the particular board/commission/committee that I have selected above and have noted the description of the board/commission/committee and its members' duties, and further I have read the regulations concerning absences and conflicts of interests. I certify the information given by me is true and complete to the best of my knowledge and belief. I understand that any falsification of material facts will be grounds for rejection of this application of dismissal after appointment.

☒ I Agree

Question applies to Recreation Advisory Commission

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The Recreation Advisory Commission meets three (3) times per year. Meetings begin at 9:00 a.m., and are held in the Town Council Chambers located on the second floor of Town Hall at 360 South County Road, Palm Beach, Florida.

Patricia C. Garvy (Patty)

300 Cherry Ln

Palm Beach, FL 33480

312.953.4215

Professional Experience JPMorgan (2006-2008)
Vice President
Global Investments Specialist/Private Banking

Merrill Lynch (2000 – 2005)
Director
Institutional UK/European Equity Sales

Lehman Brothers (1993 – 2000)
Vice President
Institutional International Equity Sales

College University of Michigan
Ann Arbor, MI
B.A. Psychology, 1987

Graduate University of Chicago
Chicago, IL
M.B.A. Finance, 1993

Volunteer Organizations

The Society of The Four Arts Library Committee (2010 to present)

Bath and Tennis Club Board Of Directors (2024 - present)

Bath and Tennis Club Bridge Chair (2019-2024)

Bath and Tennis Club Finance Committee (2021 - present)

First Serve, Board of Directors (previous)

Town of Palm Beach Application for Service

Please note that pursuant to [FS 119.07](#), the information provided in this application is considered to be a public record, except as provided by law.

Which board/commission/committee are you applying for?

- Recreation Advisory Commission

Recreation Advisory Commission

The [Recreation Advisory Commission](#) acts in an advisory capacity to the Town Council on matters related to recreation programs and facilities within the town.

Membership: 7 regular members

Terms: 3 year terms, no more than 2 consecutive terms

Meetings: 3 in-person meetings per year, no more than 2 unexcused absences allowed per calendar year

Qualifications:

- Members must be registered voters in the town
- Preference is given to candidates who are enrolled or have their children enrolled in a recreation department program or are a regular participant or volunteer at a town recreation department facility

Contact Information

First Name	Jordan
Last Name	Geller
Email Address	circa1971la@gmail.com
Phone Number	561-444-7790
Address	2784 South Ocean Boulevard 203 North
City	Palm Beach
State	33480
ZIP Code	33480

I affirm that I am a registered voter in the Town of Palm Beach.



Demographics

[FS 760.80](#) requires the Town of Palm Beach to maintain and report the following information:

Ethnicity	Caucasian/Non-Hispanic
-----------	------------------------

Gender	Male
--------	------

Physically Disabled	No
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If you are appointed and are currently serving on another board/commission/committee, you are required to resign from that position. Do you understand this requirement?	<ul style="list-style-type: none">• Yes
--	---

If there are any periods of time during which you anticipate that you will be unavailable for meetings, please specify.	N/A
---	-----

Interest/Experience

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.	I have been active in civic matters both in Palm Beach and Beverly Hills. In Beverly Hills, I have participated in community campaigns to reduce density and protect neighborhood quality of life. I am a member of the Beverly Hills Southwest Homeowners Association and was involved in traffic safety advocacy, including commissioning a Safe Streets traffic program and contributing to public discussions on bike lanes and development. I have also regularly attended City Council meetings and contributed written and oral commentary.
---	--

How many meetings of the board you are applying for have you attended in the past two years?	I have not yet attended a Recreation Advisory Commission meeting but am familiar with the work of the commission and its role in maintaining the high quality of recreational opportunities in the Town.
--	--

Why are you interested in serving on this board and what do you hope to accomplish by serving?	Palm Beach offers a unique quality of life that reminds me of the Beverly Hills of my youth—beautiful, community-oriented, and thoughtfully developed. As a physician and long-time resident of South Ocean Boulevard, I see the daily importance of accessible, safe, and high-quality recreational spaces. We frequent the Phipps Tennis Center, Par 3 Golf Course, and bike and walk regularly throughout the town and on South Ocean Boulevard. My goal is to contribute to maintaining and improving these resources for all residents, especially in a way that supports healthy living. I also hope to lend my perspective as a medical doctor who routinely advises patients on the role of recreation in managing chronic conditions like diabetes, obesity, osteoporosis, and prevention of age-related conditions such as falling, dementia and frailty.
--	---

Have you read the applicable sections of the Town Code of Ordinances related to this board?	Yes
---	-----

Background

Please describe your current and previous occupations, along with the number of years you spent in each role.

I am a dual board-certified physician in Endocrinology, Diabetes & Metabolism and Internal Medicine. I have maintained a full-time clinical practice for over 20 years, currently serving patients in California, Florida and New York. I previously served as Clinical Chief of the Division of Endocrinology at Cedars-Sinai Medical Center in Los Angeles, where I also completed my postdoctoral fellowship. In addition to clinical work, I have been actively involved in medical research, publishing in leading journals and speaking at national medical conferences. I continue to run a thriving private practice while also engaging in public health education and community wellness outreach.

Please describe your educational background. Do you have a degree in or have you taken courses in any fields of study relevant to the board you are applying for?

I earned my medical degree from the University of Southern California and completed a fellowship in Endocrinology at Cedars-Sinai Medical Center, along with an NIH-sponsored fellowship in Clinical Research. Prior to medical training, I received a Master of Science in Applied Physiology and a Bachelor of Arts in Sociology from Loyola Marymount University. My academic background also includes certifications in clinical pharmacology, human subjects protection, and clinical investigation.

As a physician who routinely manages lifestyle-related conditions such as obesity, diabetes, and osteoporosis, I have practical, evidence-based insight into the critical role recreational activity plays in promoting active aging, reducing injury risk, and managing chronic disease.

Why do you feel you are qualified to serve on this board?

I live near many of the town’s most popular recreational amenities and believe it’s important that the South Ocean area is well represented on the Commission. With the Par 3 Golf Course, Phipps Tennis Center, beach access, and scenic walking and biking paths all nearby, I see firsthand how essential these resources are to daily life and community well-being.

As a long-time Palm Beach resident and physician focused on preventive care, I bring both personal and professional perspective to the Recreation Advisory Commission. My wife and I have raised our two daughters here, and we enjoy everything from beach days to tennis matches, rounds of golf, and sailing. These shared experiences have deepened my appreciation for the role of recreation in health, connection, and quality of life.

I also serve on the board of directors for our condominium association, where I helped guide the planning and development of our new state-of-the-art fitness center. That process gave me practical insight into how thoughtful recreational design can enhance resident engagement and long-term wellness.

As a member of the Palm Beach Sailing Club, and someone who regularly picks up litter during beach walks, I care deeply about preserving the natural beauty of our coastline. Whether through local health talks at Jupiter Medical Center and the Palm Beach Chamber of Commerce or informal efforts to care for shared spaces, I take pride in giving back to this community and helping protect what makes Palm Beach so special.

You may provide a resume for consideration. However, this is not a requirement.

 CV 9.2024.pdf

In the event you are applying to be a Regular Member and you are not successful, will you accept appointment as an Alternate Member should the Town Council wish to appoint you as an Alternate Member?

Yes

*Have you ever been convicted or pled guilty or nolo contendere to a

No

Signature Agreement

1. I understand the duties, role, and time commitment to the board/commission to which I have applied and have read the regulations concerning absences and [conflicts of interest](#).
2. I understand that I will be required to complete county-mandated ethics training if appointed.
3. I understand that any falsification of material facts will be grounds for rejection of this application or dismissal.

By affixing your signature in the box below, you agree that such signature will be the electronic representation of your signature to be valid and binding upon you for all purposes when you (or your agent) affix below, including on legally binding contracts, just the same as a hand-written signature.

Signature

A handwritten signature in black ink, appearing to be 'BW' with a large loop and a checkmark-like flourish.

Thank you for providing this information. After clicking 'Submit' you will receive a Submission ID number that can be retained for future reference.

You will be updated by our staff, if necessary, as your submission is processed. Please contact the Town Clerk's office at townclerk@townofpalmbeach.com with any questions.

Please note that Board/Commission applications expire on December 15 of each year.

Have a great day!

Jordan Geller, MD Curriculum Vitae

Background

I am a native of Los Angeles, California. I earned my medical degree from the University of Southern California and completed a postdoctoral fellowship at Cedars-Sinai Medical Center in Los Angeles and a concurrent NIH K30 program in Clinical Research. I was the past Clinical Chief of the Division of Endocrinology, Diabetes & Metabolism at Cedars-Sinai Medical Center. I have lectured at national symposia and authored numerous publications in the field of Endocrinology in journals including Nature, Endocrine Practice, JAMA and Endocrine Pathology. I am dual board-certified in Endocrinology, Diabetes and Metabolism and Internal Medicine and have a full time clinical practice. I also serve as an expert reviewer for the California Medical Board. I am licensed in good standing in California, Florida and New York .

Education

- Current with all continuing medical education requirements for the state medical boards in California, Florida and New York
- Postdoctoral fellow, Division of Endocrinology, Diabetes and Metabolism Cedars-Sinai Medical Center, Los Angeles, California. June 2006
- National Institutes of Health K30 Clinical Research Fellow, 2005.
- Human Participants Protection Certificate in Clinical Research, National Institutes of Health, 2005
- Certificate in Clinical Investigation, UCLA General Clinical Research Center
- 2004 Certificate in Principles of Clinical Pharmacology, National Institutes of Health, 2004

- Resident in Internal Medicine, Cedars-Sinai Medical Center, UCLA School of Medicine, Los Angeles California, 2004
- Certificate in Human Subjects Protection Principles, Burns and Allen Research Institute, Cedars-Sinai Medical Center, Los Angeles, CA, 2003
- Doctor of Medicine, University of Southern California Keck School of Medicine, Los Angeles, 2001
- Bachelor of Arts, Cum Laude Loyola Marymount University, Los Angeles, 1993
- Memberships
- Diplomat of the American Board of Internal Medicine
- Diplomat of the American Board of Endocrinology, Diabetes and Metabolism

Honors

- American Thyroid Association Fellow's Track Recipient, Baltimore, 2005
- National Institutes of Health Clinical Research Loan Repayment Program 2004
- California Medical Assoc. Legislative Seminar grant recipient, Sacramento, 2001
- Pathology Honors Program, University of Health Sciences, 1999 American
- Pediatric Society Research Fellowship 1998
- Rutgers University Fellowship for Advanced Alcohol & Drug Studies, 1998
- Leichtling Oncology Research Award University of Health Sciences (deferred), 1998

- Illinois Academy of Family Physicians Externship, 1998
- Summer Research Fellow, Univ. Health Sciences, 1997
- Cum Laude Honors, Loyola Marymount University, 1993
- Outstanding Graduate in Department of Sociology, Loyola Marymount Univ 2003 Presenter,
- Santa Clara University Sociology Research Conference, 1993, 1994
- Dean's List, Santa Monica College, 1989

Publications

- Liu NA, Sacks W and Geller JL, Geller Epocrates Osteoporosis Curriculum 2010; Epocrates, Inc.
- Geller JL, Adams JS. Vitamin D Therapy. Current Osteoporosis Reports 2008
- Cooper OB, Geller JL and Melmed S. Ovarian Hyperstimulation Syndrome caused by an FSH-Secreting Pituitary Adenoma. Nat Clin Pract Endocrinol Metab. Feb 12, 2008
- Geller JL, Hu B, Reed S, Mirocha J and Adams JS. Repair of Vitamin D Insufficiency Increases Bone Mass in Bisphosphonate-Treated Patients. Endo Prac. 2008; 14:3
- Geller JL Vitamin D: The Sunshine Hormone. Food Technology, June 2007
- Geller JL, Adams, JS. Proton Pump Inhibitor Therapy and Hip Fracture Risk. JAMA. 2007; 297:1429
- Geller JL, Azarwindokht K, Kelly MH, et al. Clinical Vignette: Cinacalcet in the Management of Tumor-Induced Osteomalacia. J Bone Min Res. 2007; Mar 12
- Geller JL The Way I see it: Healthcare Reform Begins with Patients. Medical Economics. Dec 15, 2006

- Karakelides H, Geller JL, Schroeter AL, Chen H, Behn PS, Adams JA, Hewison M, Wermers RA. Vitamin D-mediated hypercalcemia in slack skin disease: further evidence for extra-renal expression of 25-hydroxyvitamin D-1 α -hydroxylase in granulomatous disorders. *J Bone Min Res*. 2006 Sep; 14:96-9
- Geller JL, Azer P, Mertens, RB, Weiss LM. Recurrent and Metastatic Pigmented Adrenocortical Carcinoma: case report and review. *Endocr Pathol*. 2006; 17: 297-304.
- Geller JL, Braunstein GB. Dermatological Manifestations of Hypopituitarism. *Clinics in Dermatology*. 2006; 42:266-275.
- Geller JL. Borrowing Against the Bones: The Price of Eucalcemia. *Nutrition and the M.D.* 2006; 32:5
- Geller JL, Adams JS. Statins and Fracture: All Variables Accounted For? *Archives of Internal Medicine* 2006; 166:1041
- Geller JL, Arteaga V, Fan X, Yu J. A Symptomatic Prolactinoma Co-existing within a Rathke's Cleft Cyst Invading Bone: Case Report and Review. *Endocrinol* 2006;91-94.
- Geller, JL, Mertens, RB and Weiss LM. Adrenocortical Carcinoma: Many Questions Remain Unanswered. *The Endocrinologist*, 2005; 15: 309-312.
- Abreu MT, Kam LY, Vasilias EA, Vora P, Adams JS, Yang H, Geller JL, et al. Treatment with Infliximab is Associated With Increased Markers of Bone Formation in Patients With Crohn's Disease. *Journal of Clinical Gastroenterology*, 2006; 40:55-63.
- Geller JL, Hackner D. Prolonged Refractory Streptococcal Toxic Shock Syndrome Complicating Emboli: Case Report and Review. *Annals of Hematology*. 2005 Apr 7
- Bhushan V, Pall V, Le T, Yen YM, Geller JL, Gupta S. *Clinical Science Color Atlas*. Blackwell, 2002

Abstracts

- Geller JL, Reed, S, Mirocha J, Adams JS. Vitamin D Insufficiency and Unresponsiveness to Bisphosphonates. Cleveland Clinic Bone Innovation Summit, May 5, 2006.
- JL. Geller, C. Cutler, M. H. Kelly, J. S. Adams, M. T. Collins. Cinacalcet Is Associated with Decreased Serum FGF-23 and Improved Phosphorous Homeostasis in Patients with Tumor-Induced Osteomalacia. The 27th Annual Meeting of the American Society for Bone and Mineral Research, Nashville, Tennessee, 2005.
- Wermers RA, Karakelides H, Adams JS, Chen H, Geller JL, Hewison M. Vitamin D-Mediated Hypercalcemia in Granulomatous Skin Disease: Evidence for the Extra-renal 1-Hydroxylation of 25-hydroxvitamin D in Involved Skin Granulomata. Endocrine Society 87th Annual Meeting, San Diego, 2005
- Geller JL, Azer P, Mertens, RB, Weiss LM. Recurrent and Metastatic Pigmented Adrenocortical Carcinoma. Endocrine Society 87th Annual Meeting, San Diego, 2005
- Abreu MT, Kam LY, Vasiliauskas EA, Vora P, Adams JS, Yang H, Geller JL, et al. Treatment with Infliximab is Associated With Increased Markers of Bone Formation in Patients With Crohn's Disease. American Society for Bone and Mineral Research, 26th Annual Meeting, Seattle, WA, 2004

Lectures and Seminars

- Endocrine Disrupting Chemicals: Why Low Dose Matters. Million Marker Live Podcast. February 21, 2024
- The Effects of Stress on Our Hormones. March 8, 2023. Jupiter medical Center Mindfulness Center
- Understanding and Managing Thyroid Disorders. February 21, 2023. Jupiter Medical Center Raso Education Center
- Why You Might Need to See an Endocrinologist. Palm Beach Chamber of Commerce. March 30, 2021
- Your Fantastic Plastic Poop and Other Gifts From the Sea. The Surfrider Foundation Palm Beach Chapter. February 17, 2021
- Identification and Treatment of Secondary Causes of Osteoporosis. American Association of Clinical Endocrinologists 13th Annual Meeting and Symposium October 5, 2013
- Hypothyroidism and the Importance of Patient-Physician Dialogue. Abbvie, Inc. Trump Soho, April 17, 2013
- Management of Autoimmune Thyroid Disease in Patients Undergoing IVF Southern California Reproductive Center, June 13, 2011
- The Conundrum of Normocalcemic Hyperparathyroidism Cedars-Sinai Thyroid Grand Rounds, March 24, 2011
- The Spectrum of Primary Hyperparathyroidism. Cedars-Sinai Thyroid Disease Symposium, March 11, 2011
- The Spectrum of Primary Hyperparathyroidism. Cedars-Sinai Thyroid Disease Symposium, March 15, 2009

- Osteoporosis: Not Just Your Grandmother's Disease. Cedar's-Sinai Center for International Health & Telemedicine. January 29, 2009
- Osteoporosis Myths. Tarzana Medical Center Calcium Metabolism Symposium. November 11, 2008
- Common Endocrine Issues in the Hospitalized Patient. Society for Hospital Medicine April 5, 2008
- Key Concepts in Bone Mineral Densitometry Cedars-Sinai Medical Center, Feb 28, 2008
- Exploiting the Calcium-Sensing Receptor in the Management of Hypophosphatemic Osteomalacia. Harbor UCLA Endocrine Clinical Conference, November 7, 2007
- The Top 10 Vitamin D Myths. West Los Angeles VA Hospital Endocrine Grand Rounds, Sept 28, 2007
- A Fast Acting Goiter. Cedars-Sinai Thyroid Cancer Center Multidisciplinary Conference June 28, 2007
- Osteoporosis Myths, Legends, Rumors and Lies. Cedars-Sinai Medical Grand Rounds, June 1, 2007
- Hyperparathyroidism and Beyond: Expanding the Role of Calcium-Sensing Receptor Suppression. Cedars-Sinai Medical Center Endocrine Grand rounds, Feb 13, 2000
- Vitamin D Dysregulation Cedars-Sinai Medical Center Internal Medicine Grand rounds, January 11, 2007.
- Gonadotropin Secreting Pituitary Adenoma with Ovarian Hyperstimulation. Cedars-Sinai Pituitary Center Interdisciplinary Pituitary Case Conference, November 28, 2006.
- ABIM Endocrinology Review. Cedars-Sinai Medical Center, June 19, 2006.

- The Association of Vitamin D Insufficiency with a Declining Response to Bisphosphonates. Cleveland Clinic Bone Innovation Summit. May 4, 2006.
- Principles of Bone Densitometry. Cedars-Sinai Endocrinology Teaching Seminar, May 1, 2006.
- Familial Nonmedullary Thyroid Carcinoma. Cedars-Sinai Medical Center Thyroid Cancer Grand Rounds, January 26, 2006.
- Metastatic Pheochromocytoma: Management. Cedars-Sinai Medical Center Carcinoid and Neuroendocrine Tumor Center Interdisciplinary Conference, November 15, 2005.
- Cinacalcet in the Management of FGF-23-Mediated Hypophosphatemia. American Society for Bone and Mineral Research, Bone and Mineral Working Group, September 26, 2005
- Metastatic Pheochromocytoma: Clinical Presentation. Cedars-Sinai Medical Center Carcinoid and Neuroendocrine Tumor Center Interdisciplinary Conference, July 21, 2005.
- What is “Off-Label?” UCLA K30 Journal Club, June 14th, 2005.
- ABIM Endocrinology Review. Cedars-Sinai Medical Center, May 30, 2005.
- A Case of an Invasive Prolactinoma. Cedars-Sinai Pituitary Center Interdisciplinary Pituitary Case Conference, March 29, 2005.
- Prolactinoma within a Rathke’s Cleft Cyst Invading Bone. Cedars-Sinai Pituitary Center Interdisciplinary Pituitary Case Conference, February 1, 2005.
- Metabolic Bone Disease. Cedars-Sinai Medical Center, Medicine Grand Rounds, December 21, 2004.
- Effect of Oral Alendronate on Bone Mineral Density. UCLA K30 Journal Club July 16, 2004



Town of Palm Beach Application for Service

RECEIVED

* Denotes a required field

Profile

First Name *

Ellen

Middle Initial

Last Name *

Howe

Home Address *

2295 So. Ocean Blvd. Penthouse 20

City * Palm Beach

State * FL

Postal Code * 33480

Email Address *

dr ellenhowe@yahoo.com

Primary Phone *

Home

561-281-6554

Alternate Phone

Home

N/A

Which Boards would you like to apply for? *

Recreation Advisory
Commission ▼

These board-specific questions have been added to your application:

Recreation Advisory Commission

Go to Question

I am a registered voter in the Town of Palm Beach (Initial below) **Go to Question**

Upload a Voter Registration Card in one of the accepted formats (Front) **Go to Question**

Attached

Upload a Voter Registration Card in one of the accepted formats (Back) **Go to Question**

Why do you wish to be appointed as a member of the Recreation Advisory Commission? **Go to Question**

Former member Still very interested

Please identify how many meetings of the Recreation Advisory Commission you have attended in the past two (2) years? **Go to Question**

6 out of 8

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc. **Go to Question**

RAC 11 years excellent attendance

Please describe your current and past involvement/participation in Town recreation programs and/or facilities. **Go to Question**

Tennis, pickleball and Mandel events

Go to Question

Question applies to multiple boards

Appointment to the Architectural Commission (ARCOM), Landmarks Preservation Commission, Planning and Zoning Commission, Recreation Advisory Commission, & Underground Utilities Task Force (UUTF) requires the applicant to be a registered voter in the Town of Palm Beach. Please attach a copy of BOTH SIDES of your Voter Registration card with your application. Failure to provide the required copy of the voter registration card shall be grounds for rejection of the application.

Question applies to multiple boards

I am a registered voter in the Town of Palm Beach (Initial below)

bert

Question applies to multiple boards

Upload a Voter Registration Card in one of the accepted formats (Front)

Choose file

accepted formats: doc, docx, rtf, txt, and pdf

Question applies to multiple boards



Upload a Voter Registration Card in one of the accepted formats (Back)

Choose file

accepted formats: doc, docx, rtf, txt, and pdf

Occupation

Retired

In what area of town do you live?

South

Interests/Experience

Question applies to Recreation Advisory Commission



Why do you wish to be appointed as a member of the Recreation Advisory Commission?

I miss being involved with the RAC
Programs to increase South End residents to
participate at Phipps, I'd like to encourage that.
Consider a kayak platform as been done at the
west end of the Lake Worth bridge, across from
Phipps.

Question applies to Recreation Advisory Commission



Please identify how many meetings of the Recreation Advisory Commission you have attended
in the past two (2) years? * 6 out of 8 meetings

Please indicate if there are any periods of time for which you will be unavailable for meetings.

I will be available for all meetings

Question applies to multiple boards

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.

RAC 11 years 2 terms alternate.
attendance record 95%

Question applies to Recreation Advisory Commission

Please describe your current and past involvement/participation in Town recreation programs and/or facilities.

Tennis (Phipps) Pickleball (Madel Rec Center)
Mandel events as well.

Are you a member of any of the following organizations? (Check all that apply)

None selected ▼

Present Occupation

Retired

No. of years

20 yrs.

Past occupation(s)

Teacher 34 yrs.
Supervisor/Manager Telephone Answering Service
of Boston

No. of years

Please provide details regarding your educational background:

Graduated Needham High School 1968
Barry College 7/74 B.S.
5/9/76 M.S.
South West University 6/96 Ph.D.

Upload a Resume

Choose file

Accepted file types: RTF, DOC, DOCX, PDF, TXT, JPG, JPEG, GIF, PNG

Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations? *

☐ Yes

☒ No

If you are currently serving on a Town board, commission, or committee, please identify in the space below and check the "I Agree" box indicating that you will resign from that position if you are appointed to the position you are seeking in this application. *

I agree that I will resign from the board, commission, or committee if I am appointed to the position I am seeking in this application.

☐ I Agree * N/A

To enable Town Council to consider potential conflicts of interest, please list the family members who live and/or work in the Town of Palm Beach, including your spouse, parents, siblings or children. *

None

Demographics

Some boards and commissions require membership to be racially, politically or geographically proportionate to the general public. The following information helps track our recruitment and diversity efforts.

Ethnicity

Irish

Gender

Female

Physically Disabled

☐ Yes

☒ No

*

I hereby certify that I have read the sections of the Town Code of Ordinances for the particular board/commission/committee that I have selected above and have noted the description of the board/commission/committee and its members' duties, and further I have read the regulations concerning absences and conflicts of interests. I certify the information given by me is true and complete to the best of my knowledge and belief. I understand that any falsification of material facts will be grounds for rejection of this application of dismissal after appointment.

☒ I Agree *

Question applies to Recreation Advisory Commission



Please provide a copy of BOTH SIDES of your Palm Beach County Voter Registration card, which shows your Town of Palm Beach address, with your application.

Please note that the Board/Commission applications will expire on December 15 of each year.

RECREATION ADVISORY COMMISSION

The Recreation Advisory Commission consists of seven members serving three year terms, appointed by the Town Council. Members of the Commission shall possess a knowledge or interest in Town recreation programs and facilities. Each member of the Recreation Advisory Commission is required to be a registered voter in the Town. The Commission acts in an advisory capacity and shall make recommendations to the Town Council on matters relating to Town recreation programs and facilities. Preference is given to candidates who are enrolled or have their children enrolled in a Recreation Department program or are a regular participant or volunteer at a Town Recreation Department facility. Three alternate members may be appointed by the Town Council who shall serve when called upon by the Chair in the absence of any regular member.

The Recreation Advisory Commission meets three (3) times per year. Meetings begin at 9:00 a.m., and are held in the Town Council Chambers located on the second floor of Town Hall at 360 South County Road, Palm Beach, Florida.

Town of Palm Beach Application for Service

Please note that pursuant to [FS 119.07](#), the information provided in this application is considered to be a public record, except as provided by law.

Which board/commission/committee are you applying for?

- Recreation Advisory Commission
- Investment Advisory Committee

Investment Advisory Committee

The [Investment Advisory Committee](#) acts in an advisory capacity to the Town Council on matters related to the Town's investment policy and the investment of surplus funds.

Membership: 5 members

Terms: 2 year terms, members may succeed themselves in office*
*To avoid conflicts of interest, the Town of Palm Beach will not engage in business with any Committee member during their term and for at least two years after their term expires.

Meetings: 4 in-person meetings per year, no more than 1 unexcused absence allowed per 12-month period

Qualifications:

- Members must be residents of the town.
- All members must have prior fixed-income investment experience.

Recreation Advisory Commission

The [Recreation Advisory Commission](#) acts in an advisory capacity to the Town Council on matters related to recreation programs and facilities within the town.

Membership: 7 regular members

Terms: 3 year terms, no more than 2 consecutive terms

Meetings: 3 in-person meetings per year, no more than 2 unexcused absences allowed per calendar year

Qualifications:

- Members must be registered voters in the town
- Preference is given to candidates who are enrolled or have their children enrolled in a recreation department program or are a regular participant or volunteer at a town recreation department facility

Contact Information

First Name	Joan
Last Name	Parker
Email Address	jparker333@icloud.com
Phone Number	9176696649

Address	44 Cocoanut Row
City	Palm Beach
State	Florida
ZIP Code	33480

I affirm that I am a registered voter in the Town of Palm Beach.

For Palm

I affirm that I am a resident of the Town of Palm Beach.

For Palm

Demographics

[FS 760.80](#) requires the Town of Palm Beach to maintain and report the following information:

Ethnicity	Caucasian/Non-Hispanic
Gender	Female
Physically Disabled	No
If you are appointed and are currently serving on another board/commission/committee, you are required to resign from that position. Do you understand this requirement?	<ul style="list-style-type: none"> Yes
If there are any periods of time during which you anticipate that you will be unavailable for meetings, please specify.	I am available from September to June

Interest/Experience

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.	Salvation Army Advisory Board since 2022 Attended once a month meetings in person or on zoom when necessary
How many meetings of the board you are applying for have you attended in the past two years?	Attended one with Susan Watts
Why are you interested in serving	I would like to contribute to the Recreation Center involvement in the Palm Beach

on this board and what do you hope to accomplish by serving?	community i. I currently organize tennis round robins and games five days a week
Have you read the applicable sections of the Town Code of Ordinances related to this board?	Yes

Background

Please describe your current and previous occupations, along with the number of years you spent in each role.	Resume attached. Currently a marketing consultant and working for Palm Beach clients on projects
Please describe your educational background. Do you have a degree in or have you taken courses in any fields of study relevant to the board you are applying for?	Hood College Previously attended highschool at Palm Beach Graham Eckes Boarding school
Why do you feel you are qualified to serve on this board?	I have had a great deal of experience coordinating events and fundraising for the Salvation Army and being involved in community service and over 30 years of a marketing career I was on the Seaview tennis team for ten years and still very active in organizing tennis at the Rec Center .I am a problem solver and creative thinker .
Are you a member of any of the following organizations?	<ul style="list-style-type: none"> Other
If you would like to specify what other organizations you are a member of, please do so here.	English Speaking Union Chamber Music Society
You may provide a resume for consideration. However, this is not a requirement.	

In the event you are applying to be a Regular Member and you are not successful, will you accept appointment as an Alternate Member should the Town Council wish to appoint you as an Alternate Member?

Yes

*Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations?

No

Signature Agreement

1. I understand the duties, role, and time commitment to the board/commission to which I have applied and have read the regulations concerning absences and [conflicts of interest](#).
2. I understand that I will be required to complete county-mandated ethics training if appointed.
3. I understand that any falsification of material facts will be grounds for rejection of this application or dismissal.

By affixing your signature in the box below, you agree that such signature will be the electronic representation of your signature to be valid and binding upon you for all purposes when you (or your agent) affix below, including on legally binding contracts, just the same as a hand-written signature.

1. I understand the duties, role, and time commitment to the board/commission to which I have applied and have read the regulations concerning absences and [conflicts of interest](#).
2. I understand that I will be required to complete county-mandated ethics training if appointed.
3. I understand that I will be required to file the Form 1 Statement of Financial Interests with the Florida Commission on Ethics if appointed.
4. I understand that any falsification of material facts will be grounds for rejection of this application or dismissal.

By affixing your signature in the box below, you agree that such signature will be the electronic representation of your signature to be valid and binding upon you for all purposes when you (or your agent) affix below, including on legally binding contracts, just the same as a hand-written signature.

Signature

A handwritten signature in black ink, appearing to read "Gordon", is written over a large, empty rectangular box intended for a signature.

Thank you for providing this information. After clicking 'Submit' you will receive a Submission ID number that can be retained for future reference.

You will be updated by our staff, if necessary, as your submission is processed. Please contact the Town Clerk's office at townclerk@townofpalmbeach.com with any questions.

Please note that Board/Commission applications expire on December 15 of each year.

Have a great day!

1960's Joan Parker establishes publicity agency specializing in luxury lifestyle, beauty, fashion.

1967 NW Ayer hires Parker as Director of Diamond Information Center (DIC).

1970's NW Ayer buys out Joan Parker publicity agency and names Parker PR Director for all NW Ayer's advertising clients. Parker appointed to Board of Directors.
Launch of Steuben jewelry and Asprey in Trump Tower become clients.

1995 DeBeers moves account from NW Ayer to JW Thompson with Parker and DIC staff.

2002 CEO of DeBeers LV joint venture hires Parker to launch the DeBeers retail brand in US.

2005 - Present

Parker becomes luxury lifestyle communications consultant. Tourneau Palm Beach retail store on Worth Avenue becomes client. Among other projects in art and fashion, retained by Tourneau Palm Beach Worth Avenue for two seasons.

Served on three Board of Directors.

Awards: Women's Economic Alliance Foundation for Directors Choice Awards (1990).
Women's Jewelry Association (WJA) Lifetime Achievement Award (2001).

Speaking engagements: Cosmopolitan Club NY, Four Arts Palm Beach, Litchfield Antiques Show.

Town of Palm Beach Application for Service

Please note that pursuant to [FS 119.07](#), the information provided in this application is considered to be a public record, except as provided by law.

Which board/commission/committee are you applying for?

- Recreation Advisory Commission

Recreation Advisory Commission

The [Recreation Advisory Commission](#) acts in an advisory capacity to the Town Council on matters related to recreation programs and facilities within the town.

Membership: 7 regular members

Terms: 3 year terms, no more than 2 consecutive terms

Meetings: 3 in-person meetings per year, no more than 2 unexcused absences allowed per calendar year

Qualifications:

- Members must be registered voters in the town
- Preference is given to candidates who are enrolled or have their children enrolled in a recreation department program or are a regular participant or volunteer at a town recreation department facility

Contact Information

First Name	Carolyn
Last Name	Ryan
Email Address	carolyn.pressly@gmail.com
Phone Number	9178816374
Address	171 El Pueblo Way
City	Palm Beach
State	FL
ZIP Code	33480

I affirm that I am a registered voter in the Town of Palm Beach.

CAR

Demographics

[FS 760.80](#) requires the Town of Palm Beach to maintain and report the following information:

Ethnicity	Caucasian/Non-Hispanic
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Gender	Female
--------	--------

Physically Disabled	No
---------------------	----

If you are appointed and are currently serving on another board/commission/committee, you are required to resign from that position. Do you understand this requirement?	<ul style="list-style-type: none">• Yes
--	---

If there are any periods of time during which you anticipate that you will be unavailable for meetings, please specify.	No
---	----

Interest/Experience

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.	I serve on the board of the current \$10 million dollar Capital Campaign for Rosarian Academy where my children have attended school for the last five years; I am active in school volunteer (RAFA) and neighborhood committees (North End); and serve on the Youth Leadership Committee at Bethesda-by-the-Sea. Last May I was honored to be nominated and to join the Friends of Recreation board. My husband and I were delighted to pledge our financial support toward the realization of the field lights. While I greatly enjoy being a part of this organization and will gladly continue with Friends of Rec, I value public service and would step down to avoid conflict of interest if selected to service on the recreation commission.
---	---

How many meetings of the board you are applying for have you attended in the past two years?	I have attended in person or via subsequent recording all of the meetings of the last two years.
--	--

Why are you interested in serving on this board and what do you hope to accomplish by serving?	I am particularly excited about the town's golf program. For the past 10 years my family has been avid golfers at the Par 3, enjoying its growth and development under Tony Chatauvet's excellent leadership. At last month's meeting Tony mentioned this season's "Trump bump" for Par 3 usage, and his dreams on the horizon for golf's \$2MM revenue surplus, to put toward faster greens, a shaded range structure, and re-grassing the entire golf course for a more elevated experience. To add to these capital improvements, I would like to see new programs at the Par 3 that offer better availability for our local juniors. In the past, children at PBDA and Rosarian used to do after school clinics at The Breakers, but the program has been dialed down since Covid as membership concurrently swelled, keeping the junior lessons limited to the practice facilities—and off the actual course. While the Breakers' prior partnership has been admirable, I feel it is time that our local Par 3 course supports after school golf programs with broader on-course instruction after school. I was very excited to see that the Par 3 has a brand-new partnership with Bank of America to provide kids 6-18 a free membership to the instrumental Youth on Course program, as well as the invitation to play a round at the Par 3 for just 5 bucks. That is a wonderful offering for all area youth, but let's also offer something to our residents: let's
--	--

Have you read the applicable sections of the Town Code of Ordinances related to this board?

Yes

Background

Please describe your current and previous occupations, along with the number of years you spent in each role.

I currently am an engaged full-time resident and parent; enthusiastically involved in the North End and broader town community; at Rosarian Academy; and at Bethesda-by-the-Sea
-Friends of Recreation, board member
-Owner, Carolyn Pressly Interiors (NYC), 8 years
-Morgan Stanley Financial Analyst, 5 years

Please describe your educational background. Do you have a degree in or have you taken courses in any fields of study relevant to the board you are applying for?

As a summa cum laude graduate of the old journalism school at Washington & Lee University, I am passionate about researching issues and doing my homework. I feel I have the necessary time, energy, and knowledge of the recreation activities to be an engaged and collaborative committee member.

Why do you feel you are qualified to serve on this board?

I come from a service-minded community mentality in my home state of North Carolina and in Bridgehampton, New York. Here in Palm Beach where I live year 'round, each week one or more of our family is out experiencing and enjoying all of the town's recreational facilities.

My husband, Kevin, and I, and our daughters Charlotte (13) and Pressly (11) are newer residents to the island, having moved here in 2020 and visited seasonally since 2014. We have much respect for the culture and history of this town and those who have lived here long enough to tell me about fishing, chasing ducks and walking barefoot trails on Maddock Way. But we understand there is something special about "the Palm Beach way," which has been discussed often this year with regards to how unique the town's character and programming are. Clearly steering this ship requires correct, and elegant, collaborative solutions.

Kevin and I joined the Mandel gym soon after it opened, which deserves a prize for the kindest and most welcoming staff. And outside on the field: Our daughters enjoyed picking up a lacrosse stick for the first time under the excellent coaching of Molly Miller. Yet lacrosse field time became a casualty of other more popular teams and sports, forcing players to drive to Boca or Jupiter in search of leagues and fields. Hopefully now, with town council's conditional passing of the field lights proposal—first ushered through by the rec commission, and something I stood in front of you advocating for earlier this year—more local children will have greater access to field time on our ever-popular field. Now pending ARCOM design review, this field as I noted to you this year, is an example of community growth, cooperation and the need to share and make the best use of our excellent—but limited—resources.

Are you a member of any of the following organizations?

- Palm Beach Civic Association
- North End Property Owners' Association
- Preservation Foundation of Palm Beach
- Other

If you would like to specify what other organizations you are a member of, please do so here.

Friends of Recreation
Four Arts Juniors
The Beach Club
Bethesda by the Sea

If you would like to provide any additional documentation for consideration, please do so here.



Town Council Rec Center Speech May 2025.pdf

In the event you are applying to be a Regular Member and you are not successful, will you accept appointment as an Alternate Member should the Town Council wish to appoint you as an Alternate Member? Yes

*Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations? No

Signature Agreement

1. I understand the duties, role, and time commitment to the board/commission to which I have applied and have read the regulations concerning absences and [conflicts of interest](#).
2. I understand that I will be required to complete county-mandated ethics training if appointed.
3. I understand that any falsification of material facts will be grounds for rejection of this application or dismissal.

By affixing your signature in the box below, you agree that such signature will be the electronic representation of your signature to be valid and binding upon you for all purposes when you (or your agent) affix below, including on legally binding contracts, just the same as a hand-written signature.

Signature

Thank you for providing this information. After clicking 'Submit' you will receive a Submission ID number that can be retained for future reference.

You will be updated by our staff, if necessary, as your submission is processed. Please contact the Town Clerk's office at townclerk@townofpalmbeach.com with any questions.

Please note that Board/Commission applications expire on December 15 of each year.

Have a great day!

CAROLYN PRESSLY-RYAN

carolyn.pressly@gmail.com
(917) 881-6374

171 El Pueblo Way
Palm Beach, FL

OBJECTIVE

To serve on the Town of Palm Beach Recreation Advisory Committee

EXPERIENCE

Palm Beach Island Resident (North End) — 2021-Present

I would try to lend a unique “depth and breadth” perspective to the RAC. My husband and daughters and I feel fortunate to know all major Rec programs, and staff members, in depth. I particularly enjoy youth golf programming and feel this is an underserved area at the Par 3 for our young residents. Three words to describe me are sporty, collaborative, and community-minded.

Friends of Rec Board Member — 2024- Present

Identify and support developmental projects for the Mandel, including an appeal to Town Council to advance F.O.R.’s fully funded field lights proposal

Youth Leadership Team, Bethesda-by-the-Sea — 2022- Present

Liaise with BBTS administration to implement programming for 14-and-under

Flower Guild Member, Bethesda-by-the-Sea — 2020- Present

Contributing member of this unique committee of 120 men and women

Rosarian Academy Capital Campaign & RAFA Volunteer — 2021 - Present

Member of RA’s current capital campaign committee, which liaises with Development and our Principal to raise upwards of \$10MM toward a new athletic field and related resources

Children’s Museum of the East End, Bridgehampton NY — 2013-2020

Chair of the Board (2 years); Trustee, 8 years

Vestry, St. Ann’s Episcopal Church, Bridgehampton NY — 2018-2020

Member of the Church Vestry

Carolyn Pressly Interiors, New York, NY — 2008-2020

Owner of boutique residential studio catering to clients in NYC and the Hamptons. Published in ELLE DECOR, Hamptons Cottage & Garden, NYT, etc.

Morgan Stanley, New York, NY — 2002-2007

Financial Analyst, Global Capital Markets. Analyst to the CFO.

EDUCATION

Washington & Lee University — BA, Business Journalism & Economics 2002

Summa cum laude, Phi Beta Kappa

Salem Academy School for Girls, 1772 (Winston-Salem, NC) — 1995-1998

AFFILIATIONS

Palm Beach Preservation Society; Palm Beach Civic Association; The Bridgehampton Historical Society; The Beach Club (Palm Beach); The Bridgehampton Club (NY); Liberty National Golf Club (NJ); The Dye Preserve (FL); Seaview Tennis D6, D5, D4, D3 and now D2. WMGA competitive golfer.

Carolyn Pressly Ryan

171 El Pueblo Way
Palm Beach, FL
carolyn.pressly@gmail.com

May 1, 2025

Palm Beach Town Council
360 S. County Road
Palm Beach, FL 33480

Dear Town Council:

It is an honor to submit my interest in, and passion for, our unparalleled municipal recreation offerings here in the Town of Palm Beach. Our Par 3 golf course, Seaview & Phipps Ocean tennis courts, and youth recreation field are enjoying unprecedented levels of utilization and demand. The beautiful renovation at Phipps Ocean Park is about to commence, and its expected surge in use is sure to drive future discussion.

I have deep respect for the current Recreation Advisory Commissioners, for outgoing Chairman Greer Pressly's leadership, and for all the work the commissioners are doing on behalf of Palm Beach island residents as usage in all programs continues to grow. Last year I came before you to submit my enthusiasm to follow in the footsteps, if the appropriate time comes, of Susan Watts and Peter Harris who were honorably reappointed. I celebrate their efforts and accomplishments along with their fellow commissioners, as I see that they consistently ask questions and promote policies that put residents first. I have been regularly following the discussions and agenda items, and I applaud the work the commissioners are doing to operate rec services in "the Palm Beach way." I would be humbled and honored to be considered at the appropriate time to add to the work they are spearheading and making possible for our community.

I come from a service-minded community mentality in my home state of North Carolina and in Bridgehampton, New York. Here in Palm Beach where I live year 'round, each week one or more of our family is out experiencing and enjoying all of the town's recreational facilities.

My husband, Kevin, and I, and our daughters Charlotte (13) and Pressly (11) are newer residents to the island, having moved here in 2020 and

visited seasonally since 2014. We have much respect for the culture and history of this town and those who have lived here long enough to tell me about fishing, chasing ducks and walking barefoot on Maddock Way. But we understand there is something special about the Palm Beach way, which has been discussed often this year with regards to how unique the town's character and programming are. Clearly steering this ship requires correct, and elegant, collaborative solutions.

I am particularly excited about the town's golf program. For the past 10 years my family has been avidly golfing at the Par 3, enjoying its growth and development under Tony Chatauvet's excellent leadership. At last month's meeting Tony mentioned this season's "Trump bump" for Par 3 usage, and his dreams on the horizon for the Par 3's \$2MM revenue surplus, to put toward faster greens, a shaded range structure, and re-grassing the entire golf course for a more elevated experience. To add to these capital improvements, I would like to see new programs at the Par 3 that offer better availability for our local juniors. In the past, children at PBDA and Rosarian used to do after school clinics at The Breakers, but the program has been dialed down since Covid as membership concurrently swelled, keeping the junior lessons limited to the practice facilities—and off the actual course. While the Breakers' prior partnership has been admirable, I feel it is time that our local Par 3 course supports after school golf programs with broader on-course instruction after school. I was very excited to see that the Par 3 has a brand-new partnership with Bank of America to provide kids 6-18 a free membership to the instrumental Youth on Course program, as well as the invitation to play a round at the Par 3 for just 5 bucks. That is a wonderful offering for all area youth, but let's also offer something to our residents: let's explore positioning a PGA Junior league or Drive, Chip and Putt league at the Par 3 for our resident golfers. Who among our island youngsters has the longest drive or tightest chip?!

North of the Par 3 at the recreation center itself, Kevin and I joined the Mandel gym soon after it opened, which deserves a prize for the kindest and most welcoming staff. And outside on the field: Our daughters enjoyed picking up a lacrosse stick for the first time under the excellent coaching of Molly Miller. Yet lacrosse field time became a casualty of other more popular teams and sports, forcing players to drive to Boca or Jupiter in search of leagues and fields. Hopefully now, with town council's conditional passing of the field lights proposal, first ushered through the rec commission, and something I stood in front of you advocating for this time last year, more local children will have greater access to field time on our ever-popular field. Now pending ARCOM design review, this field as I noted before you earlier this year, is an example of community growth,

cooperation and the need to share and make the best use of our excellent —but limited — resources.

With regards to the crucial open dialogue with Director Mark Bresnahan and his team, I believe in, and am well-versed in, committee cooperation and open discourse with staff, having chaired and served on non-profit boards and committees in New York and here in Palm Beach. I serve on the board of the current \$10 million dollar Capital Campaign for Rosarian Academy; am active in school volunteer committees; and serve on the Youth Leadership Committee at Bethesda-by-the-Sea. Last May I was honored to be nominated and to join the Friends of Recreation board. My husband and I were delighted to pledge our financial support toward the realization of the field lights. While I greatly enjoy being a part of this organization and will gladly continue with Friends of Rec, I value public service and would step down to avoid conflict of interest if selected to service on the recreation commission.

Finally, as a graduate of the old journalism school at Washington & Lee University, I am passionate about researching issues and doing my homework. I feel I have the necessary time, energy, and knowledge of the recreation activities to be an engaged and compatible committee member. In conclusion, I care passionately about the recreation resources here in Palm Beach, and I would be honored to be considered to join the Advisory Commission if at any point I am called upon. Thank you again for your time and consideration.

Sincerely yours,

Carolyn Pressly Ryan

Town of Palm Beach Application for Service

Please note that pursuant to [FS 119.07](#), the information provided in this application is considered to be a public record, except as provided by law.

Which board/commission/committee are you applying for?

- Recreation Advisory Commission

Recreation Advisory Commission

The [Recreation Advisory Commission](#) acts in an advisory capacity to the Town Council on matters related to recreation programs and facilities within the town.

Membership: 7 regular members

Terms: 3 year terms, no more than 2 consecutive terms

Meetings: 3 in-person meetings per year, no more than 2 unexcused absences allowed per calendar year

Qualifications:

- Members must be registered voters in the town
- Preference is given to candidates who are enrolled or have their children enrolled in a recreation department program or are a regular participant or volunteer at a town recreation department facility

Contact Information

First Name	Patricia
Last Name	Silver
Email Address	pawa46@aol.com
Phone Number	5169917363
Address	170 Chilean Avenue
City	Palm Beach
State	Florida
ZIP Code	33480

I affirm that I am a registered voter in the Town of Palm Beach.

-

Demographics

[FS 760.80](#) requires the Town of Palm Beach to maintain and report the following information:

Ethnicity	Caucasian/Non-Hispanic
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Gender	Female
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Physically Disabled	No
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If you are appointed and are currently serving on another board/commission/committee, you are required to resign from that position. Do you understand this requirement?	<ul style="list-style-type: none">• Yes
--	---

If there are any periods of time during which you anticipate that you will be unavailable for meetings, please specify.	no
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Interest/Experience

If you have served on any boards/commissions/committees in the Town of Palm Beach or elsewhere, please list them and include details such as length of service, attendance record, etc.	Was Chair of the Board of Trustees at the Ross School, East Hampton, NY for 4 years Was Vice Chair of the Parents Association at The Chapin School for 4 year Served as a member of the Board of Directors of my co-op in NYC for 6 years Have served as captain/co-captain of the D5, D6, D7 Town of Palm Beach tennis team
---	---

How many meetings of the board you are applying for have you attended in the past two years?	Attended the first one this week but regularly follow its activities.
--	---

Why are you interested in serving on this board and what do you hope to accomplish by serving?	I am very interested in the opportunities the Town of Palm Beach offers to its residents. The facilities are exemplary and the fees affordable. I feel that particularly in a town where so many residents belong to private clubs it is essential that town recreational facilities be available and top notch.
--	--

Have you read the applicable sections of the Town Code of Ordinances related to this board?	Yes
---	-----

Background

Please describe your current and previous occupations, along with the number of years you spent in each role.	Was a high school English teacher for 9 years after graduation from college. After that I was an executive at the Estee Lauder companies holding positions in Sales Training, Marketing and Product Development as well as training new executives to the company in the Lauder ethos.
---	--

Please describe your educational background. Do you have a degree in or have you taken courses in any fields of study relevant to the board you are applying for?	I have a Bachelor degree from Northwestern University and a Masters degree from the University of Bridgeport in Guidance and Counseling.
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Why do you feel you are qualified to serve on this board?

I am qualified to serve on this Board because of my involvement in recreational activities at the Mandel and occasional golf lessons at Par 3, but most importantly because of my 7 years experience playing on and being captain of a town tennis team. I have worked with Mark Bresnahan and respect the work he has done. In addition, my late husband and I spearheaded the fundraising and building of the East Hampton Rec Center in East Hampton NY because we deeply believed in opportunities for the community.

Are you a member of any of the following organizations?

- Palm Beach Civic Association
- Preservation Foundation of Palm Beach

If you would like to provide any additional documentation for consideration, please do so here.

 PWS BIO 1_02.doc

In the event you are applying to be a Regular Member and you are not successful, will you accept appointment as an Alternate Member should the Town Council wish to appoint you as an Alternate Member?

Yes

*Have you ever been convicted or pled guilty or nolo contendere to a crime other than minor traffic violations?

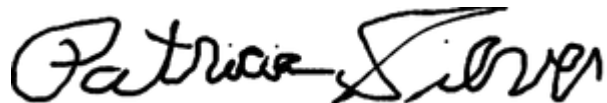
No

Signature Agreement

1. I understand the duties, role, and time commitment to the board/commission to which I have applied and have read the regulations concerning absences and [conflicts of interest](#).
2. I understand that I will be required to complete county-mandated ethics training if appointed.
3. I understand that any falsification of material facts will be grounds for rejection of this application or dismissal.

By affixing your signature in the box below, you agree that such signature will be the electronic representation of your signature to be valid and binding upon you for all purposes when you (or your agent) affix below, including on legally binding contracts, just the same as a hand-written signature.

Signature



Thank you for providing this information. After clicking 'Submit' you will receive a Submission ID number that can be retained for future reference.

You will be updated by our staff, if necessary, as your submission is processed. Please contact the Town Clerk's office at townclerk@townofpalmbeach.com with any questions.

Please note that Board/Commission applications expire on December 15 of each year.

Have a great day!

PATRICIA WALTON SILVER

Patricia Walton Silver has been an educator for 39 years in public school, private school, and the corporate world. She began her career teaching English in a poverty-stricken area on the west side of Chicago. While teaching, she actively worked with students outside of school to help them navigate the difficulties of their environment. From Chicago, she moved to Westchester County, New York, where she taught high school English for five years and served as Chair of the English Department. She was also a Middle School guidance counselor at Pace Academy in Atlanta, Georgia for one year. In 1978, she joined the corporate world of the Estee Lauder Companies. In her 22 years there she worked with Clinique, Prescriptives, and Estee Lauder International holding positions in Education and Training, Product Development, and Marketing. During that time, she developed many training programs and trained the trainers focusing on how to teach specific skill sets in both product knowledge and sales techniques that could immediately be transferable to the selling environment. She also wrote many product presentations, and gave numerous corporate presentations herself. She trained new executives on how to do presentations using video as a teaching tool.

As a result of her interest in teenagers, Patti and her husband David created the PDS Scholarships for East Hampton High School students beginning in 1991. The scholarships included a mentoring component enabling Patti to work with the recipients during their senior year. All of the 13 recipients have graduated from four year colleges and all have gone on to graduate programs and successful careers.

During the interviewing process for scholarship candidates, it became apparent that the Hamptons community needed a recreational center to provide an alternative to school activities. Patti worked closely with her husband, David, to raise money and create what is known today as the East Hampton RECenter. In recognition of their financial contribution to the project, the RECenter pool is named in their honor.

Patti is a founding trustee of The Ross School and has worked tirelessly with the school's founder over the years to guide the school from its infancy to the extraordinary educational community it is today. Patti currently serves as President of the Ross Board of Overseers and is a member of the Ross Institute Board of Trustees. The Silvers have funded scholarships at Ross for minority children and the annual Patti Silver Scholarship was awarded at the first high school graduation of the Ross School. Her older daughter, AiNhi was one of the original six girls in the first fifth grade at Ross, and her younger daughter, Geige, is currently in 11th grade at Ross.

Patti holds a B.S. in education from Northwestern University with a double major in English and German and earned her M.S. in Guidance and Counseling.

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda Minutes

Agenda Title
Town Council Meeting Minutes
Kelly Churney, CMC, Town Clerk

- a. April 8, 2025, Town Council Meeting Minutes
- b. April 9, 2025, Town Council Development Review Meeting Minutes

Presenter

ATTACHMENTS:

- ▣ **April 8, 2025, Town Council Meeting Minutes**
- ▣ **April 9, 2025, Town Council Development Review Meeting Minutes**



TOWN OF PALM BEACH

Minutes of the Town Council Meeting
Held on April 8, 2025

I. **CALL TO ORDER AND ROLL CALL (01:12)**

Council President Lindsay called the Town Council meeting to order at 9:31 a.m. On roll call, all council members were found to be present.

II. **INVOCATION AND PLEDGE OF ALLEGIANCE (01:27)**

Town Clerk Churney gave the invocation, and Council President Lindsay led the Pledge of Allegiance.

III. **MODIFICATIONS TO THE AGENDA (02:10)**

The following modifications were made to the agenda:

- The recognition of Alicia “Maisie” Grace was withdrawn
- A reconsideration to add incumbent members to the Retirement Board of Trustees ballot was added before VIII. A.
- The time certain for the Seaview Park Field Lighting Proposal from Friends of Recreation changed to 11:15 a.m. from 10:30 a.m.

IV. **APPROVAL OF AGENDA (06:50)**

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to approve the agenda, as amended. The motion carried unanimously, 5-0.

V. **RECOGNITIONS**

- A. Recognition of Alicia "Maisie" Grace for her Service on the Architectural Commission (ARCOM) from June 2024 to March 2025
Clerk's note: This item was withdrawn at the Approval of the Agenda, Item VI.

B. [Recognition of Basilica of Saint Edward, R. Rev. Archimandrite Glen J. Pothie \(1:20:52\)](#)

TIME CERTAIN: 11:00AM

Mayor Moore read the proclamation in recognition of Saint Edward's becoming a Minor Basilica.

Father Glen Pothie explained his title and stated that the designation of Minor Basilica ties Saint Edwards to Rome. He noted it was a long process, but in the end, this is a great honor bestowed on Saint Edwards.

Council Member Cooney encouraged everyone to attend a service at Saint Edward. He spoke about his family history with the church.

This discussion lasted approximately 8 minutes. To listen, please click the link on the agenda topic above.

VI. [**SWEARING IN OF ELECTED OFFICIALS \(07:45\)**](#)

A. The Honorable Judge Lisa Small

1. Mayor Danielle H. Moore
2. Julie Araskog
3. Edward A. Cooney

Mayor Moore introduced the Honorable Judge Lisa Small, who administered the Oath of Office to Mayor Moore and Town Council Members Julie Araskog and Edward A. Cooney.

VII. [**ORGANIZATIONAL ITEMS \(20:27\)**](#)

A. Election of Town Council President Pursuant to Section 3.01 of the Town Charter

After the ballots were tallied, Council Member Lindsay was reelected as Town Council President.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to approve the Election of Bobbie D. Lindsay as Town Council President. The motion carried unanimously, 5-0.

B. [Election of Town Council President Pro Tem Pursuant to Section 3.01 of the Town Charter \(21:13\)](#)

After the ballots were tallied, Council Member Crampton was reelected as Town Council President Pro Tem.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve the Election of Lewis S.W. Crampton as Town Council President Pro Tem. The motion carried unanimously, 5-0.

VIII. PRESENTATIONS

A. [Presentation by Rhonda Giger, General Counsel for the Palm Beach County Commission on Ethics \(21:56\)](#)

Ms. Giger gave a short presentation and announced the anniversary of the Palm Beach County Commission on Ethics.

This discussion lasted approximately 5 minutes. To listen, please click the link on the agenda topic above.

B. [Presentation on Living Shoreline Project at 800 Block of North Lake Way \(2:32:52\)](#)

TIME CERTAIN: 12:00 PM

Bobbie D. Lindsay, Town Council President

a. Authorization to Apply for a Florida Inland Navigation District (FIND) Waterways Assistance Program (WAP) Grant for the Town of Palm Beach North Lake Way Living Shoreline Project

RESOLUTION NO. 040-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Authorizing an Application for A Florida Inland Navigation District (FIND) Waterways Assistance Program (WAP) Grant for the Town of Palm Beach North Lake Way Living Shoreline Project.

Beth Dowdle, 301 Chilean Avenue, and chair of the Conservation Committee for the Garden Club of Palm Beach, presented a series of slides describing the proposed area for the living shoreline project west of the Lake Trail and south of Bahama Lane. She explained why this area was an ideal location for planting mangroves and that mangroves fix carbon, clean water, and stabilize and protect the shoreline. She thanked Palm Beach Country Club, who owns the land in front of the project, Town staff, the Mayor, and Town Council, the Garden Club of Palm Beach, the Palm Beach Day Academy, and the Palm Beach County Environmental Resource Management department (“ERM”), and MANG for their interest and endorsement of the project.

A few seventh-grade students and their Palm Beach Day Academy teachers spoke about the importance of mangroves and how they support the environment. The students presented a petition with about 40 signatures in support of the project.

Kim Frisbie, 6 Via Flagler, a Garden Club of Palm Beach member, also spoke about the benefits of mangroves.

Mr. Brazil further discussed the project and the town's procedure if the Town Council decided to proceed with the project.

Council Member Cooney thought it seemed like an outstanding project. He noted it was an evacuation route and asked if it would protect the road. Mr. Brazil said yes. Council Member Cooney suggested seeking a contractor to eliminate the permeated swath in the Palm Beach Country Club's hedge. Council Member Cooney asked for the percentage linear length of the shoreline, and Mr. Brazil said approximately half of the lake front lineal footage is in front of the Palm Beach Country Club. Council Member Cooney said the vista would also have to be preserved, and Mr. Brazil explained that part of the permit conditions would mandate trimming to preserve the vista but reap the benefit of the mangroves.

Council President Pro Tem Crampon thought the project nicely represented Earth Day, which included many benefits the barrier island needed. He said there was a nice exhibit at the Cox Science Center.

Mayor Moore supported the project and thought it was a nice proposal.

Council Member Moran wondered when the grant would be awarded, which she believed was in October. Mr. Brazil said additional donations were anticipated, but the worst-case scenario would be for the town to front the funds and seek reimbursement.

Council President Lindsay was supportive of the project.

A motion was made by Council Member Araskog and seconded by Council Member Cooney to approve Resolution No. 040-2025, with the condition that the staff look for additional grants for this project. The motion carried unanimously, 5-0.

This discussion lasted approximately 27 minutes. To listen, please click the link on the agenda topic above.

IX. [BOARD AND COMMISSION PRESENTATIONS AND APPOINTMENTS \(32:21\)](#)

Council President Lindsay asked the Town Council to consider adding

incumbents John Copeland and Thomas Parker to the ballots. She stated they missed the deadline, were in good standing, and wanted to continue serving on the board.

There was a consensus by the Town Council to add both incumbent members to the ballot.

A. [Presentations By the Applicants and Appointments to the Retirement Board of Trustees \(35:22\)](#)

The following applicants, John W. Copeland, Joshua Harlan, Thomas Parker, and David Sabath, presented to the town council and answered questions about their qualifications. Mark Davies was unable to attend.

Clerk's note: A short break was taken at 10:23 a.m. The meeting resumed at 10:32 a.m.

A motion was made by Council President Pro Tem Crampton and seconded by Council Member Moran to approve the appointments of John W. Copeland and Thomas Parker as members of the Retirement Board of Trustees. The motion carried unanimously, 5-0.

This discussion lasted approximately 19 minutes. To listen, please click the link on the agenda topic above.

X. [COMMENTS OF MAYOR DANIELLE H. MOORE \(54:22\)](#)

Mayor Moore thanked the following employees for their service to the Town:

Alejandro Dominguez (FR), Charles Reeves (FR), Alisa Cox (PW), and Joshua Farrar (FR) for 5 years; Lynne Menniti (PW) for 10 years; Joseph Guelli (PD) and Nicholas Caristo (PD) for 20 years; Terri Bayard (IT) for 25 years; and Joseph Brown (PW) for 30 years.

She announced the following employee retirements:

Hugo Rivero (PW) of 36 years, Lynne Menniti (PW) of 10 years, and Karen Temme (Risk) of 26 years. She also stated that Joseph Brown (PW) had entered the DROP.

Mayor Moore thanked the Palm Beach Civic Association for its Annual Meeting on Monday, April 7, 2025, at which she presented the state of the town. She congratulated Council Members Araskog and Cooney on their reappointments.

Mayor Moore announced:

- Phipps Ocean Park renovation will begin on May 1, 2025.
- Annual Spring Celebration on April 19, 2025, at 10:00 a.m. at Seaview

Park

- A reminder to get the 2025 white parking decal
- A reminder to sign up for Town alerts and news releases using Stay Connected on the Town's website.

Mayor Moore announced that the Town has been awarded the ASCE Palm Beach Branch 2025 Project of the Year for the North Fire Station.

Lastly, she stated that the recent traffic in the town has been good, and the atmosphere was pleasant.

XI. COMMENTS OF TOWN COUNCIL MEMBERS (1:01:58)

Council Member Moran congratulated the newly re-elected council members and the Police Department for their excellent traffic coordination.

Council President Pro Tem Crampton congratulated Mayor Moore and Council Members Araskog and Cooney on their reappointments. He commented on the vibrancy of the Morton and Barbara Mandel Recreation Center and Paul Brazil for participating in the meeting regarding the beach around Sloan's Curve.

Council Member Araskog congratulated the Mayor and Council Member Cooney. She asked to add a discussion under Any Other Matters regarding a memorandum from Joanne O'Connor regarding quasi-judicial and speaking at meetings. She congratulated the mayor on her state of the town and thanked the Palm Beach Civic Association for their meeting. She was proud of Detective Giselle Bido and the Police Department for their selfless and courageous acts. She acknowledged Robert Young and Minnie Pulitzer for their courageous acts as well.

Council Member Cooney thanked the community for allowing him to serve and the town staff for helping him with all his requests. He also commented on the hard-working professional town staff members.

Council President Lindsay was grateful for all the elected members and thanked Mayor Moore for her positive presentation and upbeat message at the Civic Association's Annual State of the Town event.

Council Member Cooney discussed the aggressive and scary traffic situation. While he understands frustrations, he expressed concern about the safety of residents.

Council President Lindsay agreed with Council Member Cooney and expressed concern about underage residents using motorcycles and motorized bikes. She thanked the Police Department for sending a flyer on the issue and putting

information in the newspaper. Council Member Cooney also expressed concern about golf carts overloaded with young children being driven by underage residents.

XII. COMMUNICATIONS FROM CITIZENS - 3 MINUTE LIMIT PLEASE (1:17:41)

Harvey Kinzelberg, 260 N. Ocean Blvd., expressed frustration with the Shore Protection Board for publicly shaming residents who will not sign a perpetual easement.

XIII. APPROVAL OF CONSENT AGENDA (1:20:18)

Council President Lindsay asked if there were any changes to the consent agenda.

Council Member Araskog asked to pull Resolution No. 035-2025 for discussion.

There were no other changes to the agenda.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to approve the consent agenda, as amended. The motion carried unanimously, 5-0.

A. MINUTES

1. Town Council Meeting Minutes
Kelly Churney, CMC, Town Clerk
 - a. March 4, 2025, Town Council Meeting Minutes
 - b. March 5, 2025, Town Council Development Review Meeting Minutes
2. Approval of Major Matters Considered by the Architectural Review Commission at its March 26, 2025, Meeting.
Wayne Bergman, Director of Planning, Zoning, and Building

B. RESOLUTIONS

1. RESOLUTION NO. 034-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving a Change Order to DB Ecological Services, Inc. in the amount of \$27,000 related to Sea Turtle Nesting Monitoring.
Dean Mealy, II, Procurement and Contract Manager
2. RESOLUTION NO. 035-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-011, North County Road Drainage Improvements to Huurr Homes LLC in the amount of \$783,177.38, approving a

contingency in the amount of \$157,435 and establishing a project budget in the amount of \$940,612.

Dean Mealy, II, Procurement and Contract Manager

This item was pulled from the consent agenda and was not included in the approval.

3. RESOLUTION NO. 036-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding SS NO. 2025-006, Worth Ave Media Blasting and Pressure Washing Services to Green Earth Power Washing in the amount of \$263,500, approving a contingency in the amount of \$26,350, and approving a project budget in the amount of \$289,850.

Dean Mealy, II, Procurement and Contract Manager

4. RESOLUTION NO. 038-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding RFQ No. 2025-002, Coastal Engineering Services to the following four firms: Coastal Protection Engineering Services, LLC, Geosyntec Consultants, Cummins Cederberg, Inc., and Moffatt & Nichol.

Dean Mealy, II, Procurement and Contract Manager

C. OTHER

1. Town-wide Undergrounding Project - Review of Project and Dashboard, Summary of Project Status

H. Paul Brazil, P.E., Director of Public Works

XIV. [BOARD/COMMISSION ANNUAL REPORT \(26:12\)](#)

- A.** Annual Report of the Architectural Commission (ARCOM)

Jeffery W. Smith, Chair

Mr. Smith gave the Architectural Commission's annual report and answered the Town Council's questions.

A motion was made by Council President Pro Tem Crampton and seconded by Council Member Araskog to accept the Architectural Commission's (ARCOM) annual report. The motion carried unanimously, 5-0.

This discussion lasted approximately 7 minutes. To listen, please click the link on the agenda topic above.

XV. PUBLIC HEARINGS

- A. [RESOLUTION NO. 032-2025 \(1:29:23\)](#) A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Vacating and Abandoning Portions of Existing Public Utility Easements Within the Property Commonly Known as 100 Ocean Terrace, in the Town of Palm Beach, Florida.

H. Paul Brazil, P.E., Director of Public Works

Patricia Strayer, Public Works Engineer, read the resolution. She stated that they had not received any comments after the public notice was sent, all the utilities had abandoned the easement, and the town staff recommended approval.

Council Member Cooney asked if this was Florida Power and Light's easement. Ms. Strayer said it was a portion of a five-foot easement where the town had retained the portion where public utilities are located.

Council President Lindsay called for public comment. No one indicated a desire to speak.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve Resolution No. 032-2025. The motion carried unanimously, 5-0.

This discussion lasted approximately 3 minutes. To listen, please click the link on the agenda topic above.

XVI. REGULAR AGENDA

A. Matters Pulled From Consent Agenda: If needed

2. [RESOLUTION NO. 035-2025 \(1:32:13\)](#) A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-011, North County Road Drainage Improvements to Huurr Homes LLC in the amount of \$783,177.38, approving a contingency in the amount of \$157,435 and establishing a project budget in the amount of \$940,612.

Dean Mealy, II, Procurement and Contract Manager

Patricia Strayer, Public Works Engineer, presented the resolution and discussed its history, which led to its consideration.

Council Member Moran was in favor of the drainage improvements.

Council Member Araskog expressed traffic concerns when the improvements were being made. Mr. Brazil stated that the best time to make the improvements was during the summer months.

Council Member Cooney said he grew up in the area and discussed safety concerns.

Council President Lindsay agreed with Council Member Cooney and had witnessed the safety concerns.

Council Member Moran understood Council Member Araskog's concerns but did not want to postpone the necessary improvements.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve Resolution No. 035-2025. The motion carried unanimously, 5-0.

This discussion lasted approximately 9 minutes. To listen, please click the link on the agenda topic above.

B. Old Business

1. [Seaview Park Field Lighting Proposal from Friends of Recreation \(1:41:21\)](#)

TIME CERTAIN: 10:30AM

Mark Bresnahan, Director of Recreation

Mr. Bresnahan introduced the Friends of Recreation, who would be making the presentation: Natalie Emerson at 261 Nightingale Trail, Kimberly Goodwin at 201 Ocean Terrace, and Tara Vecellio at 196 Via Del Mar.

Ms. Emerson opened the presentation about adding field lighting at Seaview Park. She answered previous questions about providing field lighting. She stated that the Town Council had asked for data on current youth participation programming at the recreation center, data on what programming would be added if field lighting were approved, engagement, and Q&A with the "Sea" Street residents. She allowed town staff to be involved in the process and to open an RFI process.

Next, Ms. Goodwin discussed youth programming at the youth center and what the calendar would look like if the field lighting were approved.

Mr. Bresnahan did not learn any new information from the RFI. He said if this process were moved forward, the town would consult a lighting expert.

Ms. Emerson stated that the Friends of Recreation have completely funded the cost. She noted that if the quotes were lower than expected, they would be happy to use the money to improve the field drainage.

Council Member Moran asked for specific information about who would be using the lighting. Mr. Bresnahan outlined the uses and said the programming would be focused on youth (14 and under) soccer, lacrosse, and flag football.

Council President Pro Tem Crampton asked if staff would be present when the lights were being used and wondered if staff would be turning off the lights. Mr. Bresnahan stated that staff would be present until 8 p.m. Council President Pro Tem Crampton asked about the maintenance costs for the proposed lights. Mr. Bresnahan responded. Council President Pro Tem Crampton asked about the height of the lights compared to the building. Deputy Town Manager Carolyn Stone responded with the dimensions. Council President Pro Tem Crampton wondered if the staff could commit to a 60% town-serving aspect. Mr. Bresnahan stated he could try, which may result in losing programs. Council President Pro Tem Crampton asked about the timing of the programs to alleviate some of the traffic.

Council Member Cooney thanked the new members of the Friends of Recreation for engaging in the community. He understood the strong merit of keeping local youth off their screens and engaging in outdoor activities. Council Member Cooney wanted to engage a highly competent engineer to reduce light pollution in the community. He asked about the field conditions and wondered if the new lights would affect them. Mr. Bresnahan stated the new drainage had worked very well, and if the lights were approved, it could lead to additional play.

Council Member Araskog asked about the height of the main building. The town staff did not know for certain, but thought it was around 20 feet. Council Member Araskog said she was concerned because the lights would be near the town's gateway. She said many residents did not write comments but were concerned about the aesthetics. She pointed out that the Breakers tennis lights were 19 feet, and this

proposal was 25 feet. She thought additional landscaping should screen the lights, and the lighting height should be lowered. She asked for a 3-D visual to see the conditions and thought it would be helpful for the residents. She questioned if the lights would affect the traffic north and south, adjacent to the lights. Mr. Brazil stated that if the Town Council wanted to proceed, the Town should engage a landscape architect to provide renderings and landscape options.

Mayor Moore asked about the height of the poles in the Tennis Courts, to which Mr. Bresnahan responded that they were 20 feet. Mayor Moore cautioned against raising the town serving requirement since many young residents play on travel teams. She thanked the Friends of Recreation for bringing a proposal forward and thought the project should proceed to the Architectural Commission for design review.

Mr. Brazil said that if the Town Council were to move the project forward, they would have an opportunity to see the proposal several more times.

Council President Lindsay confirmed that the lights would only be used for youth programs. She also asked about the specific months in which the lights would be used. Mr. Bresnahan stated that the primary months would be November, December, January, and February, with a smaller usage in October and March. Mr. Brazil said the preliminary design would be returned to the town council.

Council President Pro Tem Crampton acknowledged the large number of families with young children in the town. He thought that the Architectural Commission should have the opportunity to review the aesthetics and was glad to hear that the town council would get to see the plan again to make a final decision.

Council Member Moran thought this proposal would help keep the community safe, healthy, and vibrant, as the mayor stated.

Council Member Araskog discussed which months the lighting would be used until 8 p.m., since sunset was before 8 p.m. She also thought that traffic should be considered. She reiterated that she was willing to move this forward, but with conditions.

Council President Lindsay called for public comment.

Matt Smith, 1237 N. Ocean Way, and a member of Friends of Recreation, stated that a common complaint was that the kids' programming had to end early in the winter months. He stated that the money had been raised, they engaged the surrounding residents, and they did not hear any opposition. The lighting engineer said 24 feet would be the optimum height for the field activities. He advocated approval.

Council Member Araskog wondered if any remedies could be designed to protect the gateway. Mr. Smith responded.

Ms. Emerson stated that the Friends of Recreation did not want to propose anything that was not aesthetically pleasing. She thought that at this point, the aesthetics would be under the purview of the town council.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to approve the proposal conceptually to allow staff to develop a concept that would return to the Town Council for approval, which would then move to the Architectural Commission, with a final presentation and review by the Town Council. The motion carried unanimously, 5-0.

This discussion lasted approximately 51 minutes. To listen, please click the link on the agenda topic above.

2. [RESOLUTION NO. 033-2025 \(3:38:15\)](#) A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving a Change Order in the amount of \$100,000 for Water Feasibility Study to Kimley-Horn and Associates, Inc.
Dean Mealy, II, Procurement and Contract Manager

Mr. Brazil spoke about the work completed by Kimley-Horn and discussed the work that still needed to be completed.

Council Member Cooney asked about funding, and Mr. Miracle stated there was money in the budget.

Mayor Moore wondered if there were other options, and Mr. Blouin said there were none.

Council Member Araskog asked what they would be completing. Mr.

Brazil responded.

A motion was made by Council Member Cooney and seconded by Council Member Moran to approve Resolution No. 033-2025. The motion carried unanimously, 5-0.

This discussion lasted approximately 8 minutes. To listen, please click the link on the agenda topic above.

3. [Discussion on Traffic Mitigation - Signal Timing County Road Corridor \(3:43:56\)](#)

Kirk Blouin, Town Manager

Mr. Brazil explained that this presentation was educational. He stated it would include Sunset to Royal Poinciana, further south, and how the three lights work together. Subsequently, the town council can discuss whether to extend the initiative.

Adam Kerr of Kimley-Horn explained the signals along the County Road Corridor.

Council Member Cooney spoke about his personal experience with the pedestrian crossings and asked about the timing of the traffic signals. Mr. Kerr responded. Council Member Cooney wondered if the system could be any more efficient. Mr. Kerr stated that the system was state-of-the-art and adjustments were consistently made.

Council Member Araskog said she receives complaints at the intersection of Main Street and County. Mr. Kerr said he adjusted that signal as they noticed it allowed too much time.

Council Member Moran wondered if there was a way to engineer the pedestrian buttons so one overrode the other, and if there was a possibility of eliminating the right on red on Sunset, maybe only during certain hours. Mr. Brazil stated he would investigate the possibilities. Council Member Moran wondered if the mast arm would have a negative effect north of Bradley Place. Mr. Kerr responded that he thought the operations would be better than the operations at County Road. He also noted there is much less volume on the road in that area, and the bridge openings were often the primary cause of the delays. Council Member Moran wondered if there were more visible uniforms for the traffic police to provide additional safety.

Council President Pro Tem Crampton told the Town Council to remember this conversation when they begin to discuss the upcoming

projects at The Breakers; he recommended a construction management agreement and wondered if this study would provide input. Mr. Brazil responded that the Corradino Group.

Council Member Cooney agreed with Council Member Moran's suggestion that law enforcement officers staffing the intersections wear more visible uniforms.

This discussion lasted approximately 27 minutes. To listen, please click the link on the agenda topic above.

4. [Update on North End Beach Nourishment Project \(3:00:11\)](#)

TIME CERTAIN: 1:00 PM

H. Paul Brazil, P.E., Director of Public Works

Mr. Brazil introduced the item and stated that Sara Gutekunst would make a presentation.

Sara Gutekunst, Coastal Coordinator, presented a summary of the Army Corps of Engineers' accomplishments to date.

Mayor Moore inquired about the project management. Mr. Brazil acknowledged that the coordination may have been better and stated he would work with the Army Corps to improve the projects in the future.

Council Member Cooney received complaints from the public and wondered about the duration of the disruption. Ms. Gutekunst stated it was about six weeks. Council Member Cooney acknowledged that it was safely roped off and monitored for safety. He also stated that the dollar savings were worth the disruption.

Council Member Araskog stated that the workmen were professional and courteous.

Council President Lindsay discussed the phone calls she received and outlined the concerns, one of which was that people were walking on the dunes. She recommended roping off the dunes for any similar projects that occur in the future.

Council President Lindsay stated that the native sand was provided free because of inlet dredging maintenance, and the town was

fortunate to receive this benefit. She wondered if the beach's slope was appropriate for the turtles to nest on.

Council Member Moran stated that she found people walking in the dunes in other areas of the beaches. She wondered if signs notifying people to stay out of the dunes could be erected.

Council Member Cooney stated that several visitors to Palm Beach have been less than courteous. A short discussion ensued about littering around the town.

Council President Lindsay called for public comment.

Dragana Connaughton, 267 Merrain Road, spoke about a historic access that the town has used to access the beach, near N. Ocean Blvd. and Onondaga. She wondered why the Army Corps did not use their easement on the north end, which would only affect about five residents. Mr. Brazil responded that the access was used to get equipment on and off the beach. Ms. Connaughton wondered if placing the sand south of the jetty would be more efficient than placing the new wet sand on the existing dry sand. Mr. Brazil responded that the problem with placing sand immediately south of the jetty would be that the ocean could not move the sand. He further explained that the goal with this material is to place it as far south as possible for a positive long-term outcome. Ms. Connaughton wondered if there was a more efficient way to move the sand.

This discussion lasted approximately 37 minutes. To listen, please click the link on the agenda topic above.

C. New Business

1. [Landfill Capacity Information \(3:41:42\)](#)
H. Paul Brazil, P.E., Director of Public Works

Mr. Brazil provided an update on the landfill capacity. He said that over ten years ago, Public Works knew the Okeechobee would be lost as a landfill site. Materials were being taken to Skees to see if it would be successful. Annually, Public Works evaluated the capacity and how the site was managed. With the latest permit renewal, the town had the ability to reduce. Therefore, the town could grind and leave materials onsite, accelerating the decomposition. The operating/capital budget includes starting the trial experience, and the Department of

Environmental Protection was onboard. He said capacity would be approximately 31 years without the reduction, and it is believed that the reduction would improve that. He also said the town was in a good place, environmentally.

This discussion lasted approximately 2 minutes. To listen, please click the link on the agenda topic above.

2. Discussion on Formation of Water Resources TaskForce

Bridget Moran, Town Council Member

Please note: Ms. Moran withdrew her item from the agenda.

XVII. DEVELOPMENT REVIEW MATTERS

A. [Review of Draft Declaration of Use Agreement - ZON-24-0055 \(COA-24-0022\) 120-132 N County Road - Palm Beach Synagogue \(4:49:50\)](#)

TO BE HEARD AFTER THE COMPLETION OF THE REGULAR BUSINESS OR AFTER 2:00 P.M.

Wayne Bergman, Director of Planning, Zoning, and Building

Harvey Oyer, the attorney representing The Palm Beach Synagogue, reviewed the requested declaration of use agreement that he prepared. He discussed some conditions upon which an agreement was not reached. Attorney O'Connor explained the language in the proposed agreement.

Council Member Araskog wondered how the current application could be changed to become effective immediately. Ms. O'Connor responded.

Council Member Cooney asked if the Palm Beach Synagogue provided the holidays listed, which Mr. Oyer confirmed. He wondered if the major holidays in the agreement should reference those in Article III. 2.

Town Attorney O'Connor stated she spoke to Mr. Oyer about the special events and suggested they provide the police department with details on parking, traffic, and police needs, similar to Mar-a-Lago. Mr. Oyer agreed to the suggestion.

Council Member Cooney said there would be some creativity on the parking agreements. He noted that the code requirements were very strict. Attorney O'Connor cautioned against giving away parking spaces. Council Member Cooney referred to the 6:30 start time and stated that he could offer flexibility on that time since the traffic is pretty slow by that time.

Mr. Oyer discussed his request to move the Levy's lecture series from 6:30 to 6 p.m., with no one allowed to arrive until 5:30 p.m.

Council Member Araskog stated she was concerned about the 5:30 p.m. start time and thought it would impact traffic.

Council Member Moran commented on the declaration of use. She said regarding the public right of way, she did not think it should be spelled out in the Declaration of Use Agreement. She suggested striking that out of the agreement. She also felt that valet parking should be required, regardless of the use, anytime more than 72 attendees are expected. She thought that four events per month were too much. She said that residency requirements should be applied to the school attendees. She also felt that more than a gentleman's agreement was needed concerning parking.

Mayor Moore asked what happened to the parking agreement that the Synagogue had with the Archdiocese for the Greens Pharmacy lot. Mr. Oyer said there is an agreement with a neighbor with substantial parking. The agreement has been in place for 25 years and is still in place, but the neighbor does not want any public disclosure or discussion about the agreement.

Council Pro Tem President Crampton agreed that a stronger parking plan was needed. He thought it was a good idea to communicate in advance with the Police Department for special events.

Michael Scharf, 225 Dunbar Road, expressed concern about the strict declaration of use agreement for a town-serving religious institution. He questioned whether other institutions in town had the same restrictions. He stated he would send the town council and staff an outline of his concerns.

Paul Levy, 225 Tangier Avenue, spoke about the Levy Forum series that had been ongoing for three years. He said there had never been a parking problem during those three years.

Clerk's note: A short break was taken at 4:16 p.m. The meeting resumed at 4:23 p.m.

Town Council continued to review the Declaration of Use Agreement by paragraph and offered additional suggestions.

Mr. Oyer had two issues: the timing for special events to begin, and the other

was in section 5 regarding the maximum number of attendees at an event in the social hall, which should be 230. He said that the Levy Lecture was lecture style. He did not want to have a great speaker at the Levy Lecture series and be limited to 230. He added that he would like an allowance for up to the maximum fire code for a seated lecture-style event, so long as parking is available.

Attorney John Eubanks expressed his concerns about the conditional approval and parking. He said the Levy Lectures were huge events, and they did impact parking.

Anita Seltzer, 44 Coconut Row, was confused about when religious services would be held. She said religious services are held on Friday evenings beginning at sundown. She noted that the echo garage, non-exclusive parking agreement, did not mention Friday evenings. She further discussed the frequency of meetings at the Synagogue and the variation in dates. She further shared concerns about the parking impact. She wondered if Sunset Avenue would have to be closed, as she referred to the Corradino Group traffic analysis, which revealed failing service levels on roadways.

The Town Council unanimously approved allowing Attorneys Oyer and O'Connor to incorporate the changes discussed into the Declaration of Use Agreement, which will be returned for review in May.

This discussion lasted approximately 2 hours and 55 minutes. To listen, please click the link on the agenda topic above.

B. [Review of Draft Declaration of Use Agreement and Construction Management Agreement - ZON-24-0043 \(COA-24-0018\) 100, 101, 102, AND 103 Four Arts Plaza - The Society of The Four Arts \(4:38:08\)](#)

TO BE HEARD IMMEDIATELY FOLLOWING ITEM NO. XVII.A

Wayne Bergman, Director of Planning, Zoning, and Building

Harvey Oyer, the attorney representing The Society of the Four Arts, reviewed the requested amendments that he had made to the declaration of use agreement.

Council President Lindsay asked about the unauthorized parking and how it would be enforced. Mr. Oyer said that only permitted parking is allowed, and there have been no issues.

Council Member Araskog asked how many spaces were lost. Mr. Oyer stated he did not have the exact number. The agreement was that all parking numbers at 400 would be changed to 375.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to approve the amended and restated declaration of use agreement with a change for the allowable reservations in Article III, number 3, from 400 spaces to 375. The motion carried unanimously, 5-0.

This discussion lasted approximately 9 minutes. To listen, please click the link on the agenda topic above.

- C. ARC-24-0142 280 El Pueblo Way - ARCOM Decision Appeal TO BE HEARD IMMEDIATELY FOLLOWING ITEM NO. XVII. B** Wayne Bergman, Director of Planning, Zoning, and Building

A motion was made by Council Member Cooney and seconded by Council Member Araskog to defer the appeal to the April 9, 2025, meeting. The motion was carried unanimously, 5-0.

XVIII. ORDINANCES

A. First Reading

1. Proposed Ordinance to Review Chapter 18 of the Town Code Regarding Construction that Deviates from Approved Permit Plans

[ORDINANCE NO. 005-2025 \(4:12:12\)](#) An Ordinance Of The Town Council Of The Town Of Palm Beach, Palm Beach County, Florida, Amending The Town Code Of Ordinances At Chapter 18 - Building And Building Regulations, Article VII.- Construction Site Management By Adding Section 18-354 To Address Construction That Deviates From The Approved Set Of Plans; Amending Section 2-439 of the Town Code Relating to Citation Fine Schedule; Providing For Severability; Providing For Repeal Of Ordinances In Conflict; Providing For Codification; Providing An Effective Date.

Wayne Bergman, Director of Planning, Zoning, and Building

Director Wayne Bergman provided information about when construction substantially deviates from the approved plans. He spoke about the penalties that would be implemented when the situation arises.

Council Member Araskog inquired about the procedure and whether this type of situation would go to Code Enforcement while it is going through the rest of the process. Mr. Bergman thought it should be left up to his department to determine how egregious the problem is, since it is under an active permit. He stated it could be escalated to Code at any time. Council Member Araskog asked if an owner was notified of a problem that escalates, if it would be presented to the Town Council before going to ARCOM and Landmarks, as deemed appropriate. She thought it should be presented to the town council first. Attorney O'Connor cautioned against processes that cause unnecessary delays. She also suggested an amendment to paragraph (a) might be "whenever the building official finds construction being performed in a condition that materially deviates from the approved plans."

Council President Pro Tem Crampton wondered if an outline would be provided to the public on what constitutes a deviation and discusses the fees. Mr. Bergman responded that as part of the permit application, staff would provide the new ordinance, if adopted, and an affidavit that both the owner and contractor would sign to state they acknowledge the process.

Council Member Moran thought notification and clarification should be added for a stop-work order. She also suggested adding who would be notified, which she thought was important. Mr. Bergman explained how the notice would be administered.

Council Member Cooney thought this was an increasing problem in Town. He thought it was worth trying and asked if staff could return to the Town Council if an adjustment were necessary.

Council President Lindsay wondered if there was a significant deviation that would impact a neighbor if staff could ensure notification to the neighbor. Mr. Bergman said the neighbors would automatically be notified of any unresolvable issues outside of a legislative process, such as code enforcement.

Council Member Araskog confirmed two suggested changes that will be made to the Ordinance.

Council President Lindsay called for public comment.

A motion was made by Council Member Araskog and seconded by Council Member Cooney to approve Ordinance No. 005-2025, on first

reading with the following changes: under 18-354(a), the word “materially” will be added between the words “that” and “deviates” in the first paragraph, and in 18-364 (a)(1) the words “and the contractor” will be added between “property” and “involved”. The motion carried unanimously, 5-0.

This discussion lasted approximately 25 minutes. To listen, please click the link on the agenda topic above.

XIX. [ANY OTHER MATTERS \(7:44:45\)](#)

Council Member Araskog asked to discuss Town Attorney O’Connor’s letter on quasi-judicial matters.

Attorney O’Connor advised that the Town Council could appoint members to the town boards. She said the Town Council should be mindful that they are choosing great candidates to fill the roles and should foster their independence. She said there was no issue with the Town Council sitting in their meetings, but they should be mindful not to lobby those board/committee members into taking a certain position on matters.

XX. ADJOURNMENT

A motion was made by Council Member Araskog and seconded by Council Member Cooney to adjourn the April 8, 2025, Town Council Meeting at 6:07 p.m. The motion carried unanimously, 5-0.

APPROVED:

Bobbie D. Lindsay, Town Council President

ATTEST:

Kelly Churney, CMC, Town Clerk

Date



TOWN OF PALM BEACH

Minutes of the Development Review

Town Council Meeting

Held on April 9, 2025

I. **CALL TO ORDER AND ROLL CALL (02:47)**

Council President Lindsay called the Town Council meeting to order at 9:32 a.m. On roll call, all council members were found to be present.

II. **INVOCATION AND PLEDGE OF ALLEGIANCE (03:08)**

Town Clerk Churney gave the invocation, and Council President Lindsay led the Pledge of Allegiance.

III. **COMMENTS OF MAYOR DANIELLE H. MOORE (03:54)**

Mayor Moore mentioned the event at Bethesda-by-the-Sea at 7 p.m. the previous evening, and she noticed that there was no parking problem. She also pointed out the quietness of the island in the morning.

IV. **COMMENTS OF TOWN COUNCIL MEMBERS (06:06)**

The Town Council Members wished everyone a Happy Passover and Happy Easter.

Council Member Cooney urged the Town Council to be more mindful in doing their job as efficiently and effectively as possible.

Council President Lindsay wished everyone a Happy Easter and mentioned that a time-certain agenda item was scheduled from 12:00 noon to 1:00 p.m.

V. **COMMUNICATIONS FROM CITIZENS - 3-MINUTE LIMIT PLEASE (10:17)**

Clay Lifflander, President of the Board of Directors of 2770 S Ocean Blvd., stated that as the most impacted neighbor of the Oko-Ambassador development, he had been working diligently with the developer and now supported the proposed project.

VI. **APPROVAL OF AGENDA (11:44)**

Mr. Bergman announced the following changes to the agenda:

- A 10:00 a.m. time certain was added for Resolution No. 005-2025
- The appeal of the ARCOM Decision for ARC-24-0142, 280 El Pueblo Way, was added from the April 8, 2025, meeting.
- Resolution 006-2025 was recommended to be moved and heard adjacent to the development review projects before X.A.1.d.

Mr. Bergman stated that Attorney Maura Ziska was present to request a deferral of Resolution No. 014-2025, 163 Seminole Avenue, and ZON-24-0067 175 Bradley Place.

Attorney Maura Ziska requested both deferrals, outlined by Mr. Bergman, and explained the reason for the deferrals.

Mr. Bergman stated that Resolution No. 041-2025 had been added to IX.E.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to defer Resolution No. 014-2025 to the November 13, 2025, meeting with the acknowledgment that the attorney representing the owner waived the right to the hearing requirement in section 54-164 of the town's code. The motion was carried unanimously, 5-0.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to defer ZON-24-0067, 175 Bradley Place, to the May 14, 2025, meeting. The motion was carried unanimously, 5-0.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve the amended agenda. The motion was carried unanimously, 5-0.

VII. **CONSENT AGENDA (21:19)**

- A. ZON-24-0094 (ARC-24-0145) 10 SLOANS CURVE DR (COMBO)— SITE PLAN REVIEW** The applicant, Sean Hannity, has filed an application requesting Town Council review and approval for site plan review for modifications to one townhouse unit of the approved Sloan's Curve Planned Unit Development (PUD). The Architectural Commission shall perform design review of the application. *[The Architectural Commission approved the project design. Carried 7-0.]*
- B. ZON-25-0003 (ARC-25-0006) 400 HIBISCUS AVE (COMBO) – SPECIAL EXCEPTION** The applicant Sferra Fine Linens, LLC d/b/a Pratesi (Robert Tomlinson Jr.), has filed an application requesting Town Council review and approval of a special exception for a retail tenant (Pratesi) with greater than three-thousand (3000) square feet of Gross Leasable Area (GLA) in the Commercial – Town Serving (C-TS) zoning district, by combining an existing retail tenant space with a neighboring unit. The Architectural Commission shall perform design review of the

application.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve the consent agenda as presented, and that the projects contained within the consent agenda meet the requirements and criteria of Chapter 134, specifically Sections 134-326 through 134-330 for Site Plan Review, Section 134-229 for Special Exceptions, and Section 134-2010 for Variances. The motion was carried unanimously, 5-0.

VIII. ITEMS PULLED FROM THE CONSENT AGENDA IF NEEDED

IX. RESOLUTIONS (22:03)

- A. Planning and Zoning Commission (PZC) Recommendation on the Application for an Amendment to the Breakers Planned Unit Development (PUD) Amendment

RESOLUTION NO. 006-2025 (3:01:39): A Resolution Of The Town Council Of The Town Of Palm Beach, Palm Beach County, Florida, Amending Resolution No. 6-71, The Breakers Planned Unit Development (PUD-A), As Previously Amended, To Authorize The Demolition Of The Existing Two-Story Family Entertainment Center And The Italian Restaurant And Their Replacement With A New, Three Story Structure With Basement Connected By An Overhead Enclosed Pedestrian Bridge To The Existing Two-Story Beach Club Building, With Related Site Improvements; And To Allow The Construction Of A New Parking Structure Consisting Of One Level Of Subterranean Parking And One At-Grade Surface-Level Parking Area To Replace An Existing Surface Parking Lot.

Attorney Jamie Crowley, representing the applicant, provided an overview of the project and the zoning requests, discussed the proposed hardships associated with the project, and presented the architectural and landscape plans for the proposed project.

Town Attorney O'Connor pointed out the approval conditions that were recommended by staff and that should be included in any approvals. She discussed the conditions of approval that she, the staff, and Mr. Crowley had worked through. She said they included the items that Mr. Crowley mentioned in terms of the town recognizing the vested membership program, limited to 1500 and town-serving, and that the 289 parking spaces in the garage were not to be used to increase the development intensity. She said if, in the future, additional membership was desired, The Breakers understood that they would have to return to the town council. Attorney O'Connor said that if, at any time in the future, the Breakers sought to add a private club, they would need to apply for a special exception. The Breakers has agreed to complete a new master plan and a replat.

Council Member Moran questioned the statement regarding The Breakers agreeing that the membership program would be town-serving

as defined in the town code presently, and as may be amended from time to time. She wondered if that required The Breakers' consent to any amendments. Mr. Crowley stated his interpretation was that they would proactively meet the requirement for new members in the future. Council President Lindsay noted that compliance is achieved through attrition. Attorney O'Connor advised that a more detailed agreement would be drafted before final approval. Mr. Crowley said there are 550 garage parking spaces. The original garage proposed 710 spaces, and the new one had 849. He said that Paul Leone, CEO of The Breakers, agreed at the Planning and Zoning Commission meeting that additional parking would be for use by employees only, above and beyond what is required by the PUD.

Council President Lindsay asked how many employees there were at The Breakers. Paul Leone, CEO of The Breakers, said there were 1700 full-time and over 2300 in total, including part-time and seasonal employees, and all employees were parked on their property.

Council Member Cooney wondered if approval of the family entertainment center should be considered and possibly approved, since it only spoke of the footprint and the use. Town Attorney O'Connor stated that approval could be granted, granted with conditions, or the project could be denied.

Council Member Araskog acknowledged that The Breakers was not a private club, and she thought that should be common knowledge.

Mayor Moore supported the parking garage and was happy to see the proposal. She was excited to see what was created in the new green space. Attorney Crowley and Mr. Leone discussed future plans for the green space to be created once the parking garage is removed.

Council Member Moran supported the application. She noted that seventeen residential units were being eliminated, which would reduce intensity.

Council Member Cooney asked to see the truck route pattern and wondered about the number of vehicular trips. Mr. Leone discussed the plan for truck routes. Council Member Cooney asked Mr. Leone to consider landmarking the three cottages on The Breakers property.

Council President Pro Tem Crampton was supportive of the garage and the new family center. He knew that The Breakers had paid attention to the details. He was concerned about the construction vehicles and off-site impacts. He noted the idea of placing a temporary cement plant on the property. He said the residents deserved maximum protection from the impacts of the construction. He thought the construction management agreement would be important to handle all the details of the job, including but not limited to sights, smells, and lighting that may affect the residents.

Council President Lindsay thought logistics would be important to manage, particularly how workers would enter and exit the property to park in the garage. She thanked Mr. Leone for limiting the club membership.

Council Member Araskog wondered about any extra square footage if the Architectural Commission requested changes to reduce the size of the building. Attorney Crowley responded that it would go back into the PUD. Council Member Araskog asked about using the dirt road, Pine Walk West. Mr. Leone responded. Council Member Araskog asked if the construction would be completed during the summer.

Council Member Cooney asked the team to contact an arborist to protect the Australian Pines when moving trucks onto and off the site. He said he had heard from young families that they would miss the family entertainment center; he asked Mr. Leone to consider allowing town residents to use the center. Council Member Cooney asked where the cars would be parked when the underground parking center was being constructed. Mr. Leone responded. Council President Lindsay agreed with Council Member Cooney's request that town residents continue to be allowed to use the Family Entertainment Center, as it has always been a popular outing for Palm Beach residents and their children.

A motion was made by Council Member Moran and seconded by Council Member Cooney to approve Resolution No. 006-2025 with the following conditions: the family entertainment center receives approval from the Architectural Commission, and with the six proposed conditions of approval outlined in the staff memorandum dated March 27, 2025. The motion carried unanimously, 5-0.

This discussion lasted approximately 60 minutes. To listen, please click the link on the agenda topic above.

- B. [RESOLUTION NO. 005-2025 \(41:50\)](#):** A Resolution Of The Town Council Of The Town Of Palm Beach, Palm Beach County, Florida, Ratifying And Confirming The Determination Of The Landmarks Preservation Commission That The Property Known As **1250 North Ocean Boulevard** Meets The Criteria Set Forth In Ordinance No. 2-84, Also Known As Chapter 54, Article IV Of The Code Of Ordinances Of The Town Of Palm Beach; And Designating Said Property As A Town Of Palm Beach Landmark Pursuant To Ordinance No. 2-84, Also Known As Chapter 54 , Article IV Of The Code Of Ordinances Of The Town Of Palm Beach. *[The property owner is opposed to this designation. The Landmarks Preservation Commission voted 7-0 for Landmarking.][This matter was deferred from the January 15, 2025, Town Council meeting, and then twice more at the applicant's request to the April 9, 2025, Town Council meeting.]*

Council Members Cooney, Moran, Council President Pro Tem Crampton, and Council President Lindsay disclosed ex parte communications.

Council President Lindsay asked for proof of publication, which

Friederike Mittner, Design and Preservation Manager, provided.

Janet Murphy, with MurphyStillings, presented her professional background and experience. She then presented background information on the project and historical information on the property. She outlined how the property met Criteria 1, 3, and 4 for Landmark Designation. She noted that the Landmark Preservation Commission unanimously recommended the home for designation.

Council Member Cooney expressed concern about the large amount of material provided to the council at such a late hour. He stated he would be unable to digest the material in the time given.

A motion was made by Council Member Cooney and was seconded by Council President Pro Tem Crampton to make the designation report part of the record. The motion was carried unanimously, 5-0.

Council Member Araskog also expressed frustration with the late receipt of information.

Council President Lindsay called for public comment.

Attorney James Green, representing the owner, Mrs. Marsha Beeson, introduced his team and stated that Ms. Beeson was present to provide testimony.

Marsha Beeson stated that she owned the home and discussed why she was opposed to the designation.

Attorney James Green introduced Wes Blackman, a certified urban planner, as an expert witness.

When asked by Attorney Green, Mr. Blackman provided his qualifications as an expert witness.

Friederike Mittner, Design and Preservation Manager, provided her qualifications as a preservation planner. She agreed with Mr. Blackman that consistency in decision-making was important. However, that applied to certificates of appropriateness. She said landmarking, by its nature, was an individual endeavor, where each property is looked at specifically, and what the criteria were for that property. She disagreed that this should be compared to any other landmarking decision. She did not believe that maintenance should warrant not landmarking the home. She concurred with the information provided by Murphy Stillings.

Council President Lindsay called for public comment.

Aimee Sunny, of The Preservation Foundation of Palm Beach, provided her qualifications in historic preservation. She agreed that the residence met criteria 1, 3, and 4 as stated by Ms. Murphy. She thought the structure had the historical quality and craftsmanship that would be sought in a landmarked property.

Mr. Blackman stated that 1510 N. Ocean Blvd. was more architecturally

interesting and worthy of landmarking than the subject structure because of its gable roofs, which were visible from the street, and its romantic feel. He noted that the subject structure had a hip roof and a plain front, which were only visible from the west.

Council Member Cooney asked Town Attorney O'Connor to speak about this hearing, as his understanding was that the Town Council would consider each application based on its own merits. He thought there had been a notion that a previous action by the town council had established a precedent. Attorney O'Connor agreed and stated that in the code, with respect to variances, it is expressly spelled out that the town council may not consider the fact that a variance has been granted to another property owner. She also reminded the town council that in the code, section 54.161, the criteria for landmarking state that if a decision is going to be made for landmarking, it only has to meet one of the criteria provided. Council Member Cooney asked Ms. Mittner about the additions and modifications. Ms. Mittner reviewed the changes, believed the home retained its integrity, and thought it had successfully evolved. Mr. Cooney questioned the Hardie board siding that was used. Ms. Mittner responded. Mr. Cooney asked if Ms. Mittner was aware that the National Parks Service, which maintains many of the federally owned incredibly historical structures, has authorized the use of Hardie board in some of its historical resources. Ms. Mittner said she was aware. She also said Aztec flooring materials had been used in some areas. Council Member Cooney asked if the use of Hardie board rendered the structure no longer historically significant, to which Ms. Mittner stated absolutely not. Lastly, Mr. Cooney said that Mr. Blackman's closing comments made a comparison between the Gavigan property and this one, describing one as more interesting than the other, architecturally. He asked if hip roofs were a common feature of Mediterranean Revival architecture, and Ms. Mittner said yes.

Council Member Moran asked about the qualifications of Architect Eugene Bartholomew. Ms. Murphy stated that Mr. Bartholomew was a master builder who worked with Mizner and was prominent in Palm Beach. Council Member Moran asked if someone could speak to the criteria about the condition of the property. Ms. Mittner said the condition of a property should never be taken into consideration. Ms. Murphy added that there was a section in her report about Eugene Bartholomew.

Council Member Cooney stated that Mr. Blackman provided testimony on a statement made by Council President Lindsay, if she had any professional or educational experience in historical preservation. Council President Lindsay said no.

Council Member Araskog pointed out that Council Member Moran was not a member of the Council when Attorney Green raised the decision for 1510 N. Ocean Blvd. Council Member Araskog asked if a structurally compromised home could be repaired. Ms. Mittner said she would assess the general condition of a property if asked. She further stated that there were many structural interventions that could be done to bring a home back to a structurally safe condition.

Council Member Cooney asked if the structure's visibility was a criterion

for landmarking. Ms. Mittner said it was not, and she thought it would still serve the future community as well as future stewards of the property if it were landmarked.

Council President Pro Tem Crampton followed up on Council Member Cooney's statement. He stated that he considered the owner's wishes when making his decision. Council President Pro Tem Crampton stated he would not support the designation.

Mayor Moore lamented that the home could not be seen from the street and thought it was spectacular. She stated she would support the designation if she were a voting member.

Council Member Araskog asked Town Attorney O'Connor if the Town Council needed to follow the law when considering the property for landmarking. Town Attorney O'Connor stated that when they made the decision, they needed to make sure that the property met the outlined criteria.

Council President Lindsay thought the home was different than the home it was compared to at 1510 N. Ocean Blvd.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to approve Resolution No. 005-2025, designating the property at 1250 North Ocean Boulevard as a landmark of the Town of Palm Beach on the basis that it meets criteria Numbers 1, 3, and 4 of Section 54-161 of the Town of Palm Beach Code and in the Landmarks Preservation Ordinance No. 2-84. The motion was carried 4-1, with Council President Pro Tem Crampton dissenting.

This discussion lasted approximately 62 minutes. To listen, please click the link on the agenda topic above.

- C. **RESOLUTION NO. 014-2025:** A Resolution of the Town Council Of The Town of Palm Beach, Palm Beach County, Florida, Ratifying and Confirming the Determination of the Landmarks Preservation Commission that the Property Known as **163 Seminole Ave.** Meets the Criteria Set Forth in Ordinance No. 2-84, Also Known as Chapter 54, Article IV of The Code of Ordinances of the Town of Palm Beach; and Designating said Property as a Town of Palm Beach Landmark Pursuant to Ordinance No. 2- 84, Also Known as Chapter 54, Article IV of The Code of Ordinances of the Town of Palm Beach. (PALM BEACH COUNTY LISTS THE PROPERTY AS 165 SEMINOLE AVENUE) Owner: Dale Coudert, 2012 Steven H. Rose Trust. *[The property owner is supportive of this designation. The Landmarks Preservation Commission voted 7-0 for Landmarking.]*
Clerk's note: This item was deferred to the November 13, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

- D. **RESOLUTION NO. 039-2025 (22:37):** A Resolution Of The Town Council Of The Town Of Palm Beach, Palm Beach County, Florida, Ratifying And

Confirming The Determination Of The Landmarks Preservation Commission That The Property Known As **262 Sunset Ave.** Meets The Criteria Set Forth In Ordinance No. 2-84, Also Known As Chapter 54, Article IV Of The Code Of Ordinances Of The Town Of Palm Beach; And Designating Said Property As A Town Of Palm Beach Landmark Pursuant To Ordinance No. 2-84, Also Known As Chapter 54, Article IV Of The Code Of Ordinances Of The Town Of Palm Beach. *[The Landmarks Preservation Commission recommended the property for designation as a landmark. Carried 7-0.] [The property owner is supportive of the designation.]*

Council Members Cooney and Council President Pro Tem Crampton disclosed ex parte communications. *Please note: Council Member Moran declared a conflict of interest and left the dais during the discussion.*

Janet Murphy, with MurphyStillings, presented background information on the project and historical information on the property. She outlined how the property met Criteria 1 and 3 for Landmark Designation.

Council President Lindsay asked for proof of publication, which Friederike Mittner, Design and Preservation Manager, provided.

A motion was made by Council Member Cooney and seconded by Council Member Araskog to make the designation report part of the record. The motion was carried unanimously, 4-0.

Council President Lindsay called for public comment.

Attorney Jamie Crowley, representing the owner, stated that in this situation, a long deferral paid off. He said he had been working with staff, the Town Council, and his staff and was appreciative of everyone's cooperation. He said that while they are not opposing the designation, it would create a hardship because no parking could be provided on site, and would therefore require a variance. He wanted to note that some relief would be necessary to make this project work.

Aimee Sunny, of The Preservation Foundation of Palm Beach, thanked the owner and attorney for devising an adaptive reuse plan for the property. She believed the property met criteria 1 and 3 in Section 54-161 and further explained why.

Council Member Cooney thanked Attorney Crowley for his management and leadership in exploring creative solutions. He also thanked the owners for working with the town to keep the cottage.

Council President Pro Tem Crampton thanked the attorney and the owners for the flexibility. He asked about any further plans for the building. Mr. Crowley stated that they would present the changes in a later application and discussed the use in coordination with the adjacent hotel.

Council Member Araskog wished the town could make an exception by allowing the building to be converted into a residence.

Council President Lindsay thanked Mr. Crowley for what he had done in support of this project. She felt it would work out to be what would be best

for the town.

A motion was made by Council Member Araskog and seconded by Council Member Cooney to approve Resolution No. 039-2025, designating the property at 262 Sunset Avenue as a landmark of the Town of Palm Beach on the basis that it meets criteria Numbers 1, and 3 of Section 54-161 of the Town of Palm Beach Code and in the Landmarks Preservation Ordinance No. 2-84, with the acknowledgment that the rear accessory structure is deemed non-contributing to the landmark. The motion was carried unanimously, 4-0. (Council Member Moran was recused)

This discussion lasted approximately 12 minutes. To listen, please click the link on the agenda topic above.

Clerk's note: A short break was taken at 11:12 a.m. and resumed at 11:25 a.m.

- E. **[RESOLUTION NO. 041-2025 \(1:42:29\)](#)**: A Resolution Of The Town Council Of The Town Of Palm Beach, Florida, Amending Resolution No. 069-2024, As Amended By Resolution No. 150-2024 Which Declared Zoning In Progress In Regard To The Regulation Of The Location And Limitation Of The Number Of Restaurants, Bars, Night Clubs, Lounges And For-Profit Private Clubs In All Commercial Zoning Districts Of The Town In Which Said Uses Are Special Exception Uses To Extend The Zoning In Progress To July 9, 2025; And Providing An Effective Date.

Director Wayne Bergman explained that the Planning and Zoning Commission requested extending the Zoning In Progress (ZIP) related to Restaurants, Bars, Night Clubs, and Lounges. He stated that Eric Czerniejewski of the Corradino Group had made a presentation to the Planning and Zoning Commission at their most recent meeting.

Eric Czerniejewski of the Corradino Group stated that the December 2024 data was available and he was comfortable with the analysis of that data. However, during discussion with the Planning and Zoning Commission, he felt that December, January, and February would be slightly different given the Presidential events that were occurring during that time. He anticipated that the January data would be available by May 1, 2025. The Corradino Group would take thirty days to review the additional data. He said they would be ready for the July Town Council meeting.

Attorney O'Connor advised the council to keep in mind that there needed to be enough time for the Planning and Zoning Commission to receive and consider the data, and for the staff to receive and consider the data before making any legislative proposal to the council.

Council Member Araskog expressed concern with extending the time for the Zoning in Progress and asked for assurance that the data would be received in time for review. Ms. Hofmeister-Drew stated that the Corradino Group had a

subscription for the data and would continue to collect data even after it was submitted.

Council Member Araskog wondered if the Town Council could legally extend the ZIP. Town Attorney O'Connor stated that they could extend the ZIP while staff continued to gather data. Council Member Araskog supported the extension but asked if the ZIP extension was necessary.

Council President Lindsay understood the delay in collecting the data. She asked if staff could explain the importance of the data to support the delay. Mr. Czerniejewski provided further explanation of the data and how the delay was supported.

Council Member Cooney did not support the ZIP initially and said he would not support the extension. However, he understood the data and agreed it would be essential to allow time for the data to be properly reviewed.

Council President Pro Tem Crampton asked if there was some consistency in the areas considered districts. Ms. Hoffmeister-Drew stated that staff had relied heavily on the information and indicated that there was consistency.

Council President Lindsay called for public comment. There was no one who indicated a desire to speak.

A motion was made by Council Member Araskog and seconded by Council President Pro Tem Crampton to approve Resolution No. 041-2025. The motion carried 4-1, with Council Member Cooney dissenting.

This discussion lasted approximately 25 minutes. To listen, please click the link on the agenda topic above.

X. DEVELOPMENT REVIEWS

A. Variances, Special Exceptions, and Site Plan Reviews

1. Old Business

- a. **ZON-24-0067 (ARC-24-0111) 175 BRADLEY PL (COMBO) SPECIAL EXCEPTIONS AND SITE PLAN REVIEW AND VARIANCES** The applicant, DOCPALMBEACH PPLC, has filed an application requesting Town Council review and approval for a Special Exception for a second floor in the C-TS zoning district and four (4) variances including (1) to not provide the required parking for a new residential unit, (2) to reduce the required open space for two-story buildings, (3) to reduce the required front (west) setback, and (4) to reduce the required rear (east) setback, for the construction of a new second-floor addition for a residential unit to the existing one-story commercial building with existing nonconforming setbacks and landscape open space. The Architectural Commission shall

perform design review of the application. *[The project was deferred at the March 5, 2025, Town Council meeting pending further review by the Architectural Review Commission. Carried 4-0.] [Architectural Commission Recommendation: Implementation of the proposed variance will not cause negative architectural impacts to the subject property. Carried 7-0.][The Architectural Commission approved the project design with conditions. Carried 6-1.]*

Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

- b. [**ZON-24-0091 \(COA-24-0033\) RIGHT-OF-WAY IMPROVEMENTS – WELLS RD/CRESCENT DR/N COUNTY RD \(COMBO\) – SPECIAL EXCEPTION AND SITE PLAN REVIEW \(1:58:19\)**](#) The applicant, Town of Palm Beach, has filed an application requesting Town Council review and approval for Special Exception and Site Plan Review right-of-way and park improvements consisting of hardscape and landscape changes along the intersection of Wells Road, Crescent Drive, and North County Road within the Wells Road Scenic Vista. The Landmarks Preservation Commission shall perform design review of the application. *[The Landmarks Preservation Commission Recommendation: Implementation of the proposed variance will not cause negative architectural impacts to the subject property. Carried 7-0.] [The Landmark Preservation Commission approved the project. Carried 7-0.]*

Council Members Araskog, Cooney, Moran, Council President Pro Tem Crampton, Council President Lindsay, and Mayor Moore disclosed ex parte communications.

Dustin Mizell of Environment Design Group presented the landscape and hardscape plans for the proposed changes in the right-of-way at the intersections of Wells Road, Crescent Drive, and N. County Road. He stated that someone had already provided funding for the proposed stone bench.

Council President Pro Tem Crampton thought the improvements were wonderful and supported the project.

Council Member Cooney agreed there was too much asphalt in this area. He expressed appreciation for the donor. He wondered if the curvature of the proposed area would allow vehicles to proceed too fast and if a more squared-off entry would slow vehicular movement around the corner.

Council Member Araskog thanked the donor. She asked if the sight triangles could be considered and wondered if the work could be completed during the summer. Mr. Mizell said they hoped to complete the project before next season.

Mayor Moore pointed out that during the undergrounding on the west side of the park, the town reclaimed a significant amount of grass that

could be added to the park. She thanked Mr. Mizell for the gift of his design, which he gave to the town. She thought the improvements would result in calmer traffic.

Council Member Moran thanked the donor and Mr. Mizell for the design and improvements. She was excited to see the outcome.

Council President Lindsay sought clarification on the plan and the plantings proposed.

Council Member Cooney thanked Mr. Mizell for the added fountains.

Council President Lindsay called for public comment. No one indicated a desire to speak.

Council Member Araskog asked if a bench that would prevent sleeping could be chosen. Mr. Cooney recommended placing a condition in the approval that outlines the park's hours.

A motion was made by Council President Pro Tem Crampton and seconded by Council Member Cooney that Special Exception No. ZON-24-0091 and Site Plan Review No. ZON-24-0091 meets the criteria set forth in sections 134-229 and 134-329, respectively, of the Town Code and finds that approval of the Site Plan will not adversely affect the public interest, that all zoning requirements governing the use have been met, and that satisfactory provision and arrangement has been made concerning items (1) through (11) of section 134-329. The motion was carried unanimously, 5-0.

This discussion lasted approximately 19 minutes. To listen, please click the link on the agenda topic above.

Clerk's note: A lunch break was taken at 11:59 a.m. and resumed at 1:02 p.m.

The following item was added to the agenda during the approval of the agenda, item VI.

[APPEAL OF ARCOM DECISION FOR ARC-24-0142, 280 EL PUEBLO WAY \(2:17:39\)](#)

Dustin Mizell of Environment Design Group explained the issue with his client's shade area in the rear yard. He explained that the owner would use the artificial turf as a putting green for the family.

Council President Lindsay thought the ordinance counted artificial turf as hardscape. Mr. Bergman stated that the Code treated artificial turf as an impervious surface.

Council Member Cooney stated that this had been discussed at ORS. He remembered that artificial turf still needed approval of either the Architectural Review Commission or the Landmarks Preservation

Commission. He thought Mr. Mizell made a compelling case.

Council Member Moran stated that the commission allowed artificial turf but only in certain areas. She pointed out that the site was over in their landscape calculations and supported the request.

Council Member Araskog was not supportive of the artificial turf. She thought the proposed area was too large for artificial turf.

Council President Pro Tem Crampton recounted his time at the Environmental Protection Agency and spoke about the impacts of the large amounts of artificial turf. He thought the area in question was much smaller and understood the environmental impacts of taking care of natural grass under a shaded area.

Mayor Moore supported the artificial turf proposal. However, she thought that consistency with respect to using artificial turf needed to be addressed for the entire town.

Council President Lindsay asked if the owner had requested a permit before installing the artificial turf, to which Mr. Mizell said no. She acknowledged that the situation was not handled properly. She thought it was a fair compromise to allow some artificial turf, but it needed to be calculated as hardscape in their landscape calculations. She believed she would support the request in this instance.

Council Member Moran thought the code should be amended if the Town Council did not allow the material. She thought the process was followed when a citation was given, and added that she would support the request.

Council Member Araskog asked staff if the aesthetics were considered before they discussed the environmental concerns. Mr. Murphy stated that the areas of the yard were discussed, especially by the landscape architect, about what areas could be substituted due to not being able to grow grass. He said the discussion about aesthetics was robust, and there was a more dominant discussion about the overall disdain for the material.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to grant the appeal as requested. The motion was carried 4-1, with Council Member Araskog dissenting.

This discussion lasted approximately 33 minutes. To listen, please click the link on the agenda topic above.

- c. [**ZON-24-0092 \(ARC-24-0114\) 1010 N LAKE WAY \(COMBO\) - VARIANCES \(2:50:23\)**](#) The applicant, 1010 North Lake Trust LLC, has filed an application requesting Town Council review and approval for

five (5) variances to exceed maximum lot coverage, encroach into side setbacks, and construct a lower equipment screening wall that required, as part of an application for elevation, shifting and renovation of a two-story house, addition of a loggia, new pool, hardscape. The Architectural Commission shall perform design review of the application. *[Architectural Commission Recommendation: Implementation of the proposed variance will not cause negative architectural impacts to the subject property. Carried 7-0.] [The Architectural Commission approved the project design with conditions. Carried 7-0.]*

Council Member Cooney disclosed ex parte communications.

Attorney Maura Ziska, representing the applicant, provided an overview of the project and the zoning requests and discussed the proposed hardships associated with the project. Peter Papadopoulos of Smith and Moore Architects presented the architectural plans for the proposed project.

Council Member Cooney inquired about the hardship for the variance. Ms. Ziska responded. Council Member Cooney knew the property well and remembered that it took the home a long time to sell because the lot was tight. He thought it was a good solution and thanked the owners for not adding any more air-conditioned space.

Council Member Araskog asked about the need for a lower equipment screening wall. Mr. Papadopoulos explained why the wall needed to be lower than what was typically required.

A motion was made by Council Member Araskog and seconded by Council Member Cooney that Variance No. ZON-24-0092 shall be granted and find, in support thereof, that all the criteria applicable to this application as set forth in Section 134-201 (a), items 1 through 7, have been met.

Council President Lindsay called for public comment. No one indicated a desire to speak.

The motion carried unanimously, 5-0.

This discussion lasted approximately 11 minutes. To listen, please click the link on the agenda topic above.

Clerk's note: A lunch break was taken at 2:46 p.m. and resumed at 2:54 p.m.

- d. [**ZON-The Breakers \(COA-24-0032\) 1 S COUNTY RD – THE BREAKERS \(COMBO\) — SITE PLAN REVIEW AND VARIANCE \(4:01:44\)**](#) The applicant, Breakers Palm Beach Inc., has filed an application requesting Town Council review and approval for Site Plan Review for the construction of a new parking structure consisting

of one level of subterranean parking and one at-grade surface-level parking area to replace an existing surface parking lot, including one (1) variance to allow tandem parking spaces associated with a new parking structure facility and surface parking lot. Additional improvements include support buildings, realignments of North Breakers Row, golf course changes, as well as landscape and hardscape modifications. These improvements are generally located where there is an existing surface parking lot and a golf course within the designated Landmarked vista from the original hotel building to South County Road. The application requires the approval of a separate resolution to modify the PUD, and the Landmarks Preservation Commission shall review the application for design. *[The PUD Amendment was not transmitted by the Planning & Zoning Commission on Feb. 4, 2025, and will be considered at the March 6, 2025, Planning & Zoning Commission meeting.][The Town Council deferred this project to the April 9, 2025, Town Council meeting, pending review by the Planning & Zoning Commission and Landmark Preservation Commission.][The Landmark Preservation Commission Recommendation: Implementation of the proposed variances will not cause negative architectural impacts on the subject property.] [The Landmark Preservation Commission approved the project. Carried 7-0.]*

Council Members Cooney, Moran, Council President Pro Tem Crampton, Council President Lindsay, and Mayor Moore disclosed ex parte communications.

Attorney Jamie Crowley, representing the applicant, provided an overview of the project and the zoning requests, discussed the proposed hardships associated with the project, and presented the architectural and landscape plans for the proposed project.

Council President Pro Tem Crampton wondered how much fill would be required. Mr. Crowley stated that they would not need much fill for the project. David Rao of Hart Howerton discussed the balance of the fill when creating the garage. Council President Pro Tem Crampton suggested an alternate road when constructing the garage, as well as a temporary concrete plant. He asked that both be considered. He stated that if he were to approve the request, he would request a construction management agreement.

Council Member Cooney asked to see the above-ground components of the proposal. Mr. Rao reviewed and further explained the plan. He confirmed that the utility plant would be shielded with landscaping. Council Member Cooney asked about the open lawn space and its use. Mr. Leone responded that it would be open lawn space. Council Member Cooney asked about the depth of soil above the subterranean garage. Mr. Rao said it would be three to four feet of soil, deep enough to grow palm trees. Mr. Leone spoke about on-site parking.

Council Member Araskog asked about parking and wondered what would keep more people from coming since there were plenty of parking spaces. Mr. Leone and Mr. Crowley responded that the parking would be for employees only. Council Member Araskog asked to see a

rendering of the final project and the buildings. The renderings were shown and further explained.

Council Member Moran understood the project and supported it.

Council President Lindsay asked how the employees would enter the property to park in the garage. Mr. Leone responded.

Council Member Araskog asked about the hardship for the variance. Mr. Crowley described the hardship.

Council President Lindsay called for public comment.

A motion was made by Council Member Moran and seconded by Council President Pro Tem Crampton that Site Plan Review No. ZON-24-0087, as said application, meets the criteria set forth in sections 134-229 and 134-329, respectively, of the Town Code and finds that approval of the Site Plan will not adversely affect the public interest, that all zoning requirements governing the use have been met, and that satisfactory provision and arrangement has been made concerning items (1) through (11) of section 134-329 and with the condition that a construction management agreement is submitted and approved by the Town Council. The motion was carried unanimously, 5-0.

A motion was made by Council Member Moran and seconded by Council Member Cooney that Variance No. ZON-24-0087 shall be granted and find, in support thereof, that all the criteria applicable to this application as set forth in Section 134-201 (a), items 1 through 7, have been met. The motion was carried unanimously, 5-0.

This discussion lasted approximately 40 minutes. To listen, please click the link on the agenda topic above.

- e. **ZON-24-0079 (ARC-24-0141) 1 S COUNTY RD—THE BREAKERS FAMILY ENTERTAINMENT CENTER (COMBO) – SPECIAL EXCEPTION WITH SITE PLAN REVIEW** The applicant, The Breakers Palm Beach, Inc. (Alex Gilmurray), has filed an application requesting Town Council review and approval for modifications to an existing special exception and permitted uses in an existing hotel Planned Unit Development (PUD) (The Breakers Palm Beach) as it relates to the construction of a new three-story structure with basement that will connect with an overhead enclosed pedestrian bridge to the existing two-story building (Beach Club) to replace an existing two-story building with related site improvements. The application requires the approval of a separate resolution to modify the PUD, and the Architectural Commission shall review the application for design. *[The PUD Amendment was considered and recommended to the Town Council at the March 6, 2025, Planning & Zoning Commission meeting.] [The Architectural Review Commission deferred the project to the April 23, 2025,*

meeting. Carried 7-0.][This project shall be deferred to the May 14, 2025, Town Council meeting, pending the approval of the PUD Resolution No. 006-2025 and Architectural Commission review.]

Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

- f. **ZON-24-0089 (ARC-24-0116) 1 S COUNTY RD (BREAKERS BEACH CLUB) COMBO — SPECIAL EXCEPTION AND SITE PLAN REVIEW** The applicant, Breakers Palm Beach Inc. (Alex Gilmurray), has filed an application requesting Town Council review and approval for a Special Exception with Site Plan Review for modifications to an existing food and beverage operations (Beach Club restaurant). The Architectural Commission shall perform design review of the application. [The Architectural Review Commission approved the project with conditions. Carried 4-3.] [The PUD Amendment was considered and recommended to the Town Council at the March 6, 2025, Planning & Zoning Commission meeting.] [This project shall be deferred to the May 14, 2025, Town Council meeting, pending the approval of the PUD Resolution No. 006-2025 at the April 9, 2025, Town Council meeting.]
Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.
- g. **ZON-24-0035 (HSB-24-0005) 854 SOUTH COUNTY RD (COMBO) - VARIANCE** The applicant, Dustin Mizell, with Environmental Design Group on behalf of owner 854 So County Rd., LLC, has filed an application requesting review and approval for one (1) variance to permit a second guest house with bedrooms and bathrooms on site. The Landmarks Preservation Commission will perform the design review for the proposed structure on-site modifications. [This project shall be deferred to the May 14, 2025 Town Council meeting, pending Landmark Commission design review.]
Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.
- h. **ZON-24-0066 (ARC-24-0108) 1519 N OCEAN WAY (COMBO) – SPECIAL EXCEPTION WITH SITE PLAN REVIEW AND VARIANCES** The applicant, 1519 N Ocean Way #1 LLC & 1519 N Ocean Way #2 LLC (Maura Ziska, Attorney), has filed an application requesting Town Council review and approval for a special exception with site plan review for redevelopment of an existing parcel which is nonconforming to minimum lot width requirements in the R-A zoning district. Additionally, three variances are requested to (1) exceed maximum building height and (2) to exceed maximum overall building height for the portions of the structure located west of the CCCL and (3) to permit improvements (steps) within the 50' ocean bulkhead setback area. The Architectural Commission shall review the application as it pertains to zoning relief/approval. [This project was withdrawn by the applicant.]
Clerk's note: This item was withdrawn at the Approval of the Agenda, Item VI.

- i. **ZON-24-0093 (ARC-24-0128) 203 VIA VIZCAYA (COMBO) - SPECIAL EXCEPTION & VARIANCE** The applicant, PAUL Z. OKEAN (Trustee, under Trust Agreement dated 5/21/91 as the Paul Z. Okean Revocable Living Trust), has filed an application requesting Town Council approval for a special exception for redevelopment of a nonconforming parcel and one (1) variance for deficient landscape open space as it relates to development of a new residence. The Architectural Commission shall perform design review of the application. *[This project shall be deferred to the May 14, 2025 Town Council meeting, pending Architectural Commission design review.]*
Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

2. New Business

- a. **ZON-25-0004 (HSB-24-0009) 335 COCOANUT ROW (COMBO) - VARIANCE (5:12:29)** The applicant, 335 Cocoanut Row Trust, has filed an application requesting Town Council review and approval for one (1) variance to allow landscape open space to increase from existing but still not meet the minimum requirement for the property containing two (2) Historically Significant Buildings. The overall scope of work includes window and door replacement, roof replacement, and landscaping and hardscape modifications with a new pool. The Landmarks Preservation Commission shall perform design review of the application. *[The Landmarks Preservation Commission Recommendation: Implementation of the proposed variance will not cause negative architectural impacts to the subject property. Carried 7-0.] [The Landmark Preservation Commission approved the project with conditions and to return to a future meeting for additional review of the windows. Carried 7-0.]*

Mayor Moore disclosed ex parte communications.

Michael Perry of MP Design and Architecture presented the architectural plans for the proposed project and provided an overview of the project and the zoning requests.

Council President Lindsay called for public comment. No one indicated a desire to speak.

A motion was made by Council Member Cooney and seconded by Council Member Moran that Variance No. ZON-25-0004 shall be granted and find, in support thereof, that all the criteria applicable to this application as set forth in Section 134-201 (a), items 1 through 7, have been met. The motion was carried unanimously, 4-0. (Council Member Araskog was not in the room during the vote)

This discussion lasted approximately 5 minutes. To listen, please click the link on the agenda topic above.

- b. **ZON-25-0005 264-270 S COUNTY RD AND 230/240 ROYAL PALM**

WAY—SPECIAL EXCEPTION (4:41:07) The applicant, CARRIAGE HOUSE PROPERTIES PRTNRS LLC, has filed an application requesting Town Council review and approval for a Special Exception request to modify a previously approved Special Exception with site plan review for a private club to allow for another increased membership. The April 10, 2024, Town Council approval brought membership from 232 members to 307 members pursuant to ZON-24-052. This is seeking another 75 membership increase to 382. This application does not seek to increase the seating or occupancy limitations previously approved by the Town Council.

Council Members Araskog, Cooney, Moran, Council President Pro Tem Crampton, Council President Lindsay, and Mayor Moore disclosed ex parte communications.

Attorney Jamie Crowley, representing the applicant, provided an overview of the request to increase the membership by 75 members.

Mario Pederzoli, of the Carriage House, discussed the history of the Carriage House's membership and the review of the business that has occurred. He pointed out that the business is town-serving.

Council President Pro Tem Crampton thought the Carriage House represented how a strong declaration of use and good management work well. He thought private clubs had a bad reputation, and he was glad that the Carriage House had a positive outcome. He stated he was prepared to support the request.

Council Member Moran asked about the capacity. Mr. Pederzoli responded that the potential capacity was not increased because they took a conservative approach.

Council Member Cooney thought the club had been very successful and an outstanding neighbor. He thought the management team should be commended. However, he wondered if the Town Council would be required to support the next step of membership should the Town Council feel that this approval brought unintended consequences.

Council Member Araskog asked if the next 75 members would hold at least 80% town-serving positions. Due to the waiting list, Mr. Pederzoli stated it would be at that level. Council Member Araskog agreed with Council President Pro Tem Crampton that the club had great membership.

Council President Lindsay called for public comment.

Edith Eglin, 201 Phipps Plaza, supported the project.

Nadine Travers, whose daughter is a member, supported the project.

A motion was made by Council Member Araskog and seconded by Council Member Cooney that Variance No. ZON-25-0005 to modify a previously approved special exception of a private club to allow an increase in membership of an additional 75 members for a total of 382. The motion was carried unanimously, 5-0.

This discussion lasted approximately 31 minutes. To listen, please click the link on the agenda topic above.

- c. [**ZON-25-0006 \(COA-25-0006\) 262 SUNSET AVE \(COMBO\) - SPECIAL EXCEPTION, SITE PLAN REVIEW AND VARIANCE \(5:17:56\)**](#) The applicant, James M. Crowley, Esq., has filed an application requesting Town Council review and approval for a special exception with site plan review for commercial uses greater than 3,000 SF in the C-TS zoning district and one (1) Variance to reduce the minimum off-street parking requirement associated with a change of use for the property under consideration to be landmarked. The scope of work includes a new front porch, new front door, roof replacement, exterior color changes, as well as landscape and hardscape modifications, including a new pool. The Landmarks Preservation Commission shall perform design review of the application.

Council Members Cooney, Moran, Council President Pro Tem Crampton, Council President Lindsay, and Mayor Moore disclosed ex parte communications.

Attorney Jamie Crowley, representing the applicant, provided an overview of the project and the zoning requests, discussed the proposed hardships associated with the project, and presented the architectural plans for the proposed project. Mr. Crowley indicated that the special exception was no longer needed.

Council President Lindsay asked for confirmation from staff that the special exception would not be required. Mr. Bergman said there was no use over 3000 square feet. Therefore, no special exception would be required. Mr. Crowley said the building is not being expanded.

Council Member Cooney asked about the use of the driveway on the side of the building. Mr. Crowley responded that it had been used for parking. Council Member Cooney asked about the garbage, and Mr. Crowley stated he had met with Paul Brazil to come up with some solutions. He noted they would be back with an application once the issue was resolved. Council Member Cooney appreciated the owner and the attorney for finding a solution for the building.

Council President Pro Tem Crampton was pleased that a solution had been found for this jewel of a building.

Council President Lindsay called for public comment. No one indicated

a desire to speak.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton that Variance No. ZON-25-0006 shall be granted and find, in support thereof, that all the criteria applicable to this application as set forth in Section 134-201 (a), items 1 through 7, have been met. The motion was carried unanimously, 4-0. (Council Member Araskog was not in the room during the vote)

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton that Site Plan Review No. ZON-25-0006 be approved, based upon the finding that the approval of the site plan will not adversely affect the public interest and that the Council certified that the specific zoning requirements governing the individual use have been met and that satisfactory provision and arrangement has been made concerning Section 134-329, items 1 through 11. The motion was carried unanimously, 4-0. (Council Member Araskog was not in the room during the vote)

This discussion lasted approximately 12 minutes. To listen, please click the link on the agenda topic above.

e. [**ZON-24-0046 \(ARC-24-0090\) 2720-2730 S OCEAN BLVD-EDGEWATER/AMBASSADOR SITE \(COMBO\) - SPECIAL EXCEPTION\(S\), SITE PLAN REVIEW AND VARIANCES \(5:33:26\)**](#)

The applicant, Palm Beach Edgewater Fee Borrower LLC and Palm Beach Ambassador Fee Borrower LLC, has filed an application requesting Town Council review and approval for two (2) Special Exceptions for 1) five stories in the R-D(2) zoning district, and 2) the construction of a pedestrian tunnel under S Ocean Boulevard, and Site Plan Review for multifamily dwelling(s), for the construction of a new multi-story residential building with five residential levels and a subterranean parking level and rooftop penthouse mechanical equipment to replace an existing three-story building on the lakefront parcel (west site) and for the construction of a new multi-story residential building with five residential levels and a subterranean parking level and rooftop penthouse mechanical equipment to replace one existing five- and one existing eight-story buildings on the oceanfront parcel (east site). Additionally, the project includes the following twenty-one (21) variance requests: 10 for the west lakefront (Edgewater) parcel for 1) to exceed the maximum lot coverage, 2) to exceed the maximum building length, 3) to exceed the maximum amount of fill in a required yard, 4) and 5) to reduce the required minimum side (north and south) yard setbacks, 6) to exceed the maximum height for rooftop mechanical equipment, 7) to permit generators on roofs, 8) to exceed the maximum area for mechanical equipment located on a rooftop, 9) to exceed the maximum overall building height for mechanical screening and 10) to increase the maximum height of walls in required side and front

yards; and 11 for the east oceanfront (Ambassador) parcel for 11) to exceed the maximum lot coverage, 12) to exceed the maximum building length, 13) to exceed the maximum amount of fill in a required yard, 14) and 15) to reduce the required minimum side (north and south) yard setbacks, 16) to exceed the maximum height for rooftop mechanical equipment, 17) to permit generators on roofs, 18) to exceed the maximum area for mechanical equipment located on a rooftop, 19) to exceed the maximum overall building height for mechanical screening, 20) to exceed the maximum building height for building 2 for the portion of the building located east of the CCCL, and 21) to increase the maximum height of walls in required side and front yards. The Architectural Commission (ARCOM) shall perform design review of the application. *[The Architectural Review Commission deferred this matter to the May 28, 2025, meeting with the condition to be reviewed by Town Council for zoning relief prior to design review.]*

Council Members Araskog, Cooney, Moran, Council President Pro Tem Crampton, Council President Lindsay, and Mayor Moore disclosed ex parte communications.

Martin Deloach, Fire Marshal, spoke about the building report, which outlined dangerous conditions.

Council President Lindsay asked for an opinion from Mr. Deloach about how to proceed. She wondered if the code violations should be remediated before they hear any projects. Mr. Deloach stated that the town had deferred situations like this in the past.

Council Member Cooney asked if the building was safe to be occupied at this time. Mr. Deloach stated it was hard to see what could not be seen. He acknowledged that he was not a structural engineer, but he had seen the steel support in the building. He was concerned about the balcony falling off and the damage it could cause. Council Member Cooney asked Mr. Bergman if he had reviewed the building. Mr. Bergman had seen the reports and had sent the building inspectors out with code enforcement. Dangerous conditions were observed, and a structural evaluation was required. He said there was substantial structural deterioration to the building.

Mayor Moore expressed serious concerns about the building not being evacuated.

Council Member Araskog thought the building should be evacuated and stated she did not want to hear the proposed project until the safety concerns had been addressed.

Council Member Moran agreed with her fellow colleagues. She stated that she would not want to go into the building and did not want the town staff to go into it due to the risk of safety.

Council President Pro Tem Crampton thought the Town Council lacked enough necessary information to take any action. He thought the same precedent should be followed as with the Palm Beach Hotel, and he did not believe the project should be heard until all safety concerns had been addressed.

Attorney Harvey Oyer, representing the applicant, asked Jason Kaye with OKO Group to speak about the project.

Mr. Kaye, 4100 NE 2nd Ave., asserted that the safety of the occupants was his highest priority.

Mayor Moore asked about the permits that Mr. Kaye had requested. Mr. Bergman outlined the requests for permits.

Council President Lindsay hesitated to move forward with any project until the safety issues were addressed.

Council Member Araskog asked when the safety concerns were brought to his attention. Mr. Kaye stated he had requested an independent report in October 2024. Mr. Bergman stated that the inspections started in October 2024, and the report was provided around mid-December. He indicated that as soon as he saw the report, he sent the building inspectors, the Fire Marshal, and Code Enforcement officials out to the property.

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to defer the project to the meeting on May 14, 2025. The motion carried unanimously, 5-0.

This discussion lasted approximately 36 minutes. To listen, please click the link on the agenda topic above.

- f. **ZON-24-0065 (COA-24-0025) 70 MIDDLE RD (COMBO) - VARIANCES** The applicant, Jennifer Naegele, has filed an application requesting Town Council review and approval for a total of six (6) variances for the Landmarked property, three (3) variances previously considered by the Landmarks Preservation Commission to 1) increase the lot coverage for the laundry room addition, 2) increase the cubic content ratio ("CCR") for the laundry room and covered terrace additions, 3) reduce the side (north) yard setback for the laundry room and the covered terrace additions, and three (3) new variances, 1) increase the building height and the overall building height for the covered terrace addition and the rooftop steps, 2) reduce the street (south) side yard setback for pool and fountain equipment and increase the distance between the new fountain water's edge and the fountain equipment, and 3) increase the height of site walls associated with a mechanical equipment enclosure in the street (south) side yard

setback for the Landmarked property. The overall scope of work includes the addition of a covered terrace, a laundry room addition, relocation and installation of new mechanical equipment, new rooftop steps, new site walls, landscape, and hardscape modifications. The Landmarks Preservation Commission will perform the design review. *[This project shall be deferred to the May 14, 2025, Town Council meeting, pending Landmark Commission design review.]*

Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

g. **ZON-25-0002 (ARC-24-0040) 1285 N OCEAN BLVD (COMBO) -**

VARIANCE The applicant, M2B Properties LLC, has filed an application requesting Town Council approval for one (1) fill variance as it relates to development of a new residence. The Architectural Commission shall perform design review of the application. *[This project shall be deferred to the May 14, 2025, Town Council meeting, pending Architectural Commission design review.]*

Clerk's note: This item was deferred to the May 14, 2025, Town Council meeting at the Approval of the Agenda, Item VI.

B. Time Extensions and Waivers

1. [Requesting a Waiver of Town Code Section 18-237 For Building Permit Extension at 265 La Puerta Way \(5:29:35\)](#)

Wayne Bergman, Director of the Planning, Zoning, and Building Department, described the waiver for construction work hours and provided recommendations.

Lynn Rogers of TRI General Contractors explained the reason for requesting a waiver from Town Code Section 18-237 for a Building Permit extension.

Council President Lindsay called for public comment. No one indicated a desire to speak.

A motion was made by Council Member Cooney and seconded by Council Member Moran to grant the waiver of Town Code Section 18-237 at 265 La Puerta Way as requested. The motion was carried unanimously, 4-0. (Council Member Araskog was not in the room during the vote)

This discussion lasted approximately 4 minutes. To listen, please click the link on the agenda topic above.

XI. [ANY OTHER MATTERS \(6:09:32\)](#)

There were no other matters discussed at this time.

XII. [ADJOURNMENT \(6:09:44\)](#)

A motion was made by Council Member Cooney and seconded by Council President Pro Tem Crampton to adjourn the meeting at 5:14 p.m. The motion was carried unanimously, 5-0.

APPROVED:

Bobbie D. Lindsay, Town Council President

ATTEST:

Kelly Churney, Town Clerk

Date: _____

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Minutes

Agenda Title

Approval of Major Matters Considered by the Architectural Review Commission at its Meeting of April 23, 2025.

Presenter

Wayne Bergman, Director of Planning, Zoning and Building

ATTACHMENTS:

- **Memorandum Dated April 28, 2025 from Wayne Bergman, Director of Planning, Zoning and Building**
- **Minutes of the Architectural Review Commission Meeting of April 23, 2025**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council

Via: Kirk Blouin, Town Manager

From: Wayne Bergman, Director of Planning, Zoning & Building

Re: Approval of the Architectural Commission Meeting Minutes of April 23, 2025

Date: April 28, 2025

STAFF RECOMMENDATION

Staff recommends that the Town Council approve the major items that ARCOM approved at the regularly scheduled meeting on April 23, 2025.

BOARD OR COMMISSION RECOMMENDATION

The Architectural Commission recommends that the Town Council approve major items considered at the regularly scheduled meeting on April 23, 2025.

GENERAL INFORMATION

These minutes are submitted to the Town Council for approval pursuant to Chapter 18-177 of the Town of Palm Beach Code of Ordinances.

Attachment

kmc



TOWN OF PALM BEACH

PLANNING, ZONING AND BUILDING DEPARTMENT

MINUTES OF THE REGULAR ARCHITECTURAL REVIEW COMMISSION MEETING HELD ON WEDNESDAY, APRIL 23, 2025

Please be advised that in keeping with a directive from the Town Council, the minutes of all Town Boards and Commissions will be "abbreviated" in style. Persons interested in listening to the meeting once it has concluded may access the audio of that item via the Town's website at www.townofpalmbeach.com.

I. **CALL TO ORDER**

Chair Smith called the meeting to order at 9:00 a.m.

II. **ROLL CALL**

Jeffrey W. Smith, Chairman	PRESENT
Richard F. Sammons, Vice Chairman	PRESENT
Betsy Shiverick, Member	PRESENT
Kenn Karakul, Member	PRESENT
Elizabeth Connaughton, Member	PRESENT (Arrived at 9:01 am)
Katherine "KT" Catlin	PRESENT
Claudia Visconti, Member	PRESENT (Arrived at 10:31 am)
David Phoenix, Alternate Member	PRESENT
Sue Patterson, Alternate Member	PRESENT
Kathy Georgas, Alternate Member	PRESENT

Staff Members present were:

Friederike Mittner, Design and Preservation Manager
Sarah Pardue, Design & Preservation Planner
Bradley Falco, Design & Preservation Planner
Kelly Churney, Town Clerk
Lainey Francisco, Assistant Town Attorney

III. **PLEDGE OF ALLEGIANCE**

Chair Smith led the Pledge of Allegiance.

IV. **APPROVAL OF MINUTES**

A. Minutes of the Architectural Review Commission Meeting on March 26, 2025

A motion was made by Ms. Shiverick and seconded by Mr. Karakul to approve the minutes of the March 26, 2025, meeting as presented. The motion was carried unanimously, 7-0.

V. **APPROVAL OF THE AGENDA**

Ms. Pardue announced the following changes to the agenda:

- ARCS-25-0814, 393 N Lake Way will be withdrawn from the agenda and reviewed at the staff level.

A motion was made by Ms. Shiverick and seconded by Mr. Sammons to approve the amended agenda. The motion was carried unanimously, 7-0.

VI. **ADMINISTRATION OF THE OATH TO PERSONS WHO WISH TO TESTIFY**

Ms. Churney administered the oath and continued to do so throughout the meeting, as necessary.

VII. **COMMENTS FROM THE ARCHITECTURAL REVIEW COMMISSION MEMBERS**

There were none.

VIII. **COMMUNICATIONS FROM CITIZENS REGARDING NON-AGENDA ITEMS (3 MINUTE LIMIT PLEASE)**

No one indicated a desire to speak.

IX. **PROJECT REVIEW**

A. **CONSENT AGENDA**

1. **EXTPLAN-25-0002 260 MIRAFLORES DR.** The applicant, KEAN Development of Palm Beach, Inc. (Giorgio Citarella, Agent), has filed an application requesting an Extension of Time for a previously issued Architectural Commission approval for the construction of a new two-story single-family residence with final hardscape, landscape, swimming pool and spa. (ORIGINALLY ARC-24-009 AND APPROVED AT THE APRIL 24, 2024 MEETING)
2. **ARC-24-0027 (ZON-24-0034) 203 S LAKE TRL (COMBO)** The applicants, Darlene & Gerald Jordan, have filed an application requesting Architectural Commission review and approval for a new two-story single-family residence with one-story pool house and padel court, with final hardscape, landscape and swimming pool improvements; with (2) special exceptions required as it pertains to the proposed padel court and the location of a vehicular gate. Town Council shall review the application as it pertains to zoning relief/approval.
3. **ARC-25-0006 (ZON-25-0003) 400 HIBISCUS AVE (COMBO)** The applicant, Sferra Fine Linens, LLC d/b/a Pratesi (Robert Tomlinson Jr.), has filed an application requesting Architectural Commission review and approval for storefront window and door replacements, new awnings, façade renovations, signage, and courtyard modification of existing commercial tenant spaces, with Special Exception approval required by the Town Council for the expanded Gross Leasable Area. Town Council shall review the application as it pertains to zoning relief/approval.

4. **ARC-25-0798 150 WOODBRIDGE RD.** The applicant, Wayne Julius Safro (Environment Design Group), has filed an application requesting Architectural Commission review and approval for the modification of entry piers and the addition of pedestrian gates.
5. **ARC-25-0010 130 SEASPRAY AVE.** The applicants, Victor and Julia Tolkan (Kirchoff and Associates representatives) have filed an application requesting Architectural Commission review and approval of a mirrored and slightly modified design of a new two-story single-family residence with final hardscape landscape and swimming pool that previously received approvals at this location.

This item was pulled from consent and was not included in the approval of the consent agenda.

A motion was made by Mr. Karakul and seconded by Ms. Shiverick to approve the amended consent agenda. The motion carried unanimously, 7-0.

ITEMS PULLED FROM CONSENT:

5. **ARC-25-0010 130 SEASPRAY AVE.** The applicants, Victor and Julia Tolkan (Kirchoff and Associates representatives) have filed an application requesting Architectural Commission review and approval of a mirrored and slightly modified design of a new two-story single-family residence with final hardscape landscape and swimming pool that previously received approvals at this location.

Ms. Mittner provided staff comments on the project.

Several members disclosed ex parte communications.

Ms. Catlin discussed the reasons she thought the project was different than the mirrored image that was stated. She thought the project should be presented as a new project.

Mr. Smith thought the design was better than the original design.

Tom Kirchhoff of Kirchhoff & Associates Architects presented the architectural, landscape, and hardscape plans for the site.

Ms. Catlin asked how the front-loaded garage was less prominent on the street.

Cory Meyer of Nievera Williams discussed the site's landscape and how it would buffer the garage. Mr. Kirchhoff discussed the increase in green space with the new design.

Mr. Sammons did not have a problem with one garage door facing the street. He provided a few recommendations for the design of the garage.

A motion was made by Ms. Shiverick and seconded by Mr. Phoenix to approve the project as presented. The motion carried unanimously, 7-0.

B. MAJOR PROJECTS-OLDBUSINESS

1. **ARC-24-0141 (ZON-24-0079) 1 S COUNTY RD – THE BREAKERS FAMILY ENTERTAINMENT CENTER (COMBO)** The applicant, The Breakers Palm Beach, Inc. (Alex Gilmurray), has filed an application requesting ARCOM review and approval for the demolition of an existing two-story building (Family Entertainment Center & The Italian Restaurant structure) and the construction of a new, three-story structure with basement to replace same that will connect with an overhead enclosed pedestrian bridge to the existing two-story building (Beach Club) at The Breakers Palm Beach Resort, with related site improvements. The proposal requires an amendment to the existing Breakers PUD and special exception approvals and site plan to be reviewed by Town Council.

Mr. Falco provided staff comments on the project.

Several members disclosed ex parte communications.

David Rao of Hart Howerton presented the architectural, landscape, and hardscape plans for the site.

Mr. Sammons thought the height, scale, and mass looked better. He thought the folly was a bit small and thought it could be taller. He liked the design and thought the details on the center element and other elements needed refinement.

Ms. Catlin liked the design. She questioned the mosaic above the front door and wondered if it should be wider. Mr. Rao said it would not be tile but a shell or coral material. She wondered about parking for the service vehicles and if more greenery should be added to the area. Mr. Rao stated that it would not be visible to the public, and the parking was necessary.

Ms. Shiverick thought the design was very different from the hotel. She thought the proposed building should relate more to the classic architecture of the main hotel. She thought the design should be simpler. Mr. Rao further explained the design approach.

Mr. Phoenix thought the building looked better. He agreed with Ms. Shiverick's comments about the fish's details in the design. However, he thought that some of the details may look dated a few years down the road, and a simpler design would stay more classic.

Ms. Patterson liked the building's whimsical charm. She thought The Breakers were always very mindful of design. She supported the design and thought it would elevate the hotel.

Ms. Connaughton agreed with Ms. Shiverick and wished the design was more simplified.

Ms. Catlin suggested removing the fish from the arches and the appliqué from the building while keeping the details on the benches.

Mr. Sammons further discussed his request for details to be refined.

Mr. Karakul thought the building had improved. He thought a few areas should be restudied, but overall, it was a good design.

Mr. Smith recommended keeping the whimsy in stone material. He was not in favor of the murals and recommended limiting the color. Mr. Rao discussed the caliber of the materials proposed.

Ms. Connaughton discussed the importance of seeing all the details.

Ms. Patterson thought it would help if the elevations showed the details; she thought they were lost in the larger elevations. Mr. Rao agreed and stated he would return with material samples.

Mr. Smith called for public comment. No one indicated a desire to speak.

Attorney Jamie Crowley stated that they would be happy to come back with a refinement of the details and advocated the ability to move forward to the Town Council.

Mr. Phoenix thought the landscaping plans should be returned for approval. A short discussion ensued about the portion of the project that should be restudied.

A motion was made by Mr. Karakul and seconded by Mr. Sammons that the proposed project ARC-24-0141 located at 1 South County Road has met the criteria set forth in Section 18-205 and to approve the project with the conditions that details on the main entrance, venetian arcade, main arcade and landscaping return to the meeting on July 23, 2025. The motion carried 5-2, with Mses. Shiverick and Connaughton dissenting.

2. **ARC-24-0098 301 POLMER PARK RD.** The applicant, Patrick Carney, has filed an application requesting Architectural Commission review and approval for the construction of a new, split-level, two-story, single-family residence of over 10,000 square feet; with final hardscape, landscape and swimming pool improvements.

Mr. Falco provided staff comments on the project.

Several members disclosed ex parte communications.

Patrick O'Connell of Patrick Ryan O'Connell Architect presented the architectural plans, and Dustin Mizell of Environment Design Group presented the landscape and hardscape plans for the site.

Ms. Catlin wondered if the neighbor to the north had been consulted about the relocation of the new bathroom. Mr. O'Connell stated that he had not spoken to him. Ms. Catlin suggested that the neighbor be notified of the change. She also

requested that the truck logistics plan identify N. County Road rather than N. Lake Way.

Mr. Sammons thought the project was mundane and confusing. He commented on the columns and lack of string course on the east façade. He thought the fenestration needed restudy and the urns needed a plinth. He thought the rear façade was the least successful and thought a courtyard should be considered where the living room is in this location. He recommended raising the oval windows. He liked the details but thought the mass and scale needed to be reconsidered.

Mr. Phoenix liked the finials but agreed with Mr. Sammons that they needed a plinth. He found the front door too fancy and the fountain very contemporary.

Ms. Connaughton thought a few changes to the details would help elevate the project. She thought the home was too thick, especially for a home in Florida. She liked Mr. Sammons' comment about adding a courtyard. She expressed concern about where the master bedroom and loggia met.

Ms. Patterson agreed with the comments. She also agreed with Ms. Catlin's comment about the bathroom's location on the north side of the property, especially since the door would face their property. Mr. O'Connell stated he could agree to remove that element from the plan.

Ms. Shiverick agreed that the cabana bath should be removed, the fountain was too contemporary, and the muntin patterns should be regulated; she recommended four over six windows.

Ms. Connaughton recommended switching the locations of the cabana bath and the dining pavilions.

Mr. Smith did not believe that the cabana bath would be problematic for the neighbor. He also did not believe that the commission should be commenting on interior floor plans.

Mr. Smith called for public comment.

Robert Fromer, 340 Polmer Park, representing six other neighbors on the street, asked that the commission restrict any construction accessing the property from N. Lake Way. Mr. Smith stated that the commission did not have that purview; that was the Public Works Department.

Attorney M. Timothy Hanlon, representing six other neighbors on the street, stated that the neighbors would like to be involved in the pre-construction meetings so that they could work out any details. He also stated that he had negotiated five conditions with Attorney Lynch, and if the project were to be approved, he would like those five conditions stated in the approval.

Attorney Frank Lynch stated that the neighbors initially asked for his client to provide access to N. Lake Way, and Public Works said no. He read the five conditions that he and Attorney Hanlon agreed to, which were that all construction

vehicles will be parked onsite with access only from N. Lake Way during construction, perform all sitework during the summer through October, all excavators and dump trucks will access the site through N. Lake Way, remove the existing site wall and landscaping affecting the site triangle for Polmer Park, and all service vehicles will be parked on the driveway post construction.

A motion was made by Ms. Shiverick and seconded by Ms. Catlin that ARC-24-0098 at 301 Polmer Park Road be deferred for further study to the meeting on May 28, 2025. The motion carried 6-1, with Mr. Smith dissenting.

Clerk's note: A short break was taken at 10:35 a.m. The meeting resumed at 10:50 a.m.

3. **ARC-24-0040 (ZON-25-0002) 1285 N OCEAN BLVD (COMBO)** The applicant, M2B Properties LLC, has filed an application requesting Architectural Commission review and approval for construction of a new, two-story single-family residence with final hardscape, landscape, and swimming pool requiring a variance for fill. Town Council shall review the application as it pertains to zoning relief/approval.

Ms. Mittner provided staff comments on the project.

Mr. Phoenix and Ms. Georgas disclosed ex parte communications.

Gregory Palmer of Harrison Design provided an overview of the project and its site plans.

Ms. Sammons was in favor of the changes. He did not believe the half columns were necessary. He recommended increasing the size of the master bathroom and closet to align with the wall. Mr. Palmer stated that he could not increase the size due to the cubic content ratio limitation. He asked about the mid-level cornice; he recommended reducing it in size.

Mr. Phoenix supported the shutter color. He thought the house was beautiful and would set a high bar for North Ocean Boulevard.

Ms. Catlin liked the changes and thought that by lowering the height, the design fell into place. She suggested slightly lowering the height of the chimneys.

Ms. Connaughton thought the improvements were wonderful. However, she questioned what aligned with the entablature and thought the pilasters felt a little wide on the bottom.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Mr. Sammons and seconded by Ms. Catlin that the proposed project ARC-24-0040 located at 1285 N. Ocean Blvd. has met the criteria set forth in Section 18-205 and that the project be approved with the following conditions: the half columns on the side porches will be eliminated, the center bay columns will be adjusted in width and the chimney height will be reduced by 8 inches. The motion carried unanimously, 7-0.

A motion was made by Ms. Shiverick and seconded by Ms. Catlin that the implementation of the proposed variances will not cause a negative architectural impact on the subject property. The motion carried unanimously, 7-0.

4. **ARC-24-0128 (ZON-24-0093) 203 VIA VIZCAYA (COMBO)** The applicant, PAUL Z. OKEAN (Trustee, under Trust Agreement dated 5/21/91 as the Paul Z. Okean Revocable Living Trust), has filed an application requesting Architectural Commission review for the design of a new, two-story, single-family residence with final hardscape, landscape, and swimming pool improvements, with special exception approval required for redevelopment of a nonconforming parcel and a variance request for deficient landscape open space. Town Council shall review the application as it pertains to zoning relief/approval.

Mr. Falco provided staff comments on the project.

Several members disclosed ex parte communications.

Attorney Jamie Crowley from Gunster, representing the owner, stated he was still working with Attorney John Eubanks and the neighbor to resolve the drainage in the alley. He stated that there was no objection to the architecture from the neighbor. Jonathan Parks of Solstice presented the architectural plans for the project, and Andres Paradelo of Paradelo Burgess Design Studio presented the landscape and hardscape plans for the site.

Mr. Sammons asked about the lack of ornamentation in the design. Mr. Parks discussed the comments he received and how he addressed them. Mr. Sammons thought the design was lovely, but thought the front façade needed additional dimension. He also asked about the parapet wall that was over the cantilever; he thought the parapet should follow the wall. Mr. Sammons provided some suggestions on how to modify the design.

Ms. Visconti asked about the white Chattahoochee gravel. Mr. Paradelo responded. She asked about the vines proposed; Mr. Paradelo described the material and location for the vines. She asked about the height of the proposed walls. Mr. Paradelo responded. Ms. Visconti asked about the relocated Gumbo and the area surrounding the tree. Mr. Paradelo explained the design. Ms. Visconti asked about the proposed vehicular gate. Mr. Paradelo discussed the design and material for the gate. Ms. Visconti confirmed that there would be hedging in front of the chain link fence at the rear, to which Mr. Paradelo provided confirmation.

Ms. Shiverick thought the project looked nice and suggested adding a little relief over the front door, like Wyeth's design at the Norton. She asked about the height of the fountain and wondered if the back wall was too high. Mr. Parks further explained the design.

Mr. Phoenix thought the plans looked better. He did not believe the proposed sconces were appropriate and recommended restudying the element. He

recommended using a different material around the front entry with sconces added. He did not like the pecky cypress on the garage door and on the wall facing south, or the chain-link fence.

Mr. Karakul asked about the reduction in scale on the front façade; he liked the previous rendition of the design.

Ms. Catlin thought that many recommendations were personal preferences, but agreed that the structural issues should be addressed.

A motion was made by Ms. Catlin and seconded by Ms. Shiverick that the proposed project ARC-24-0128 located at 203 Via Vizcaya has met the criteria set forth in Section 18-205 and that the project be approved with the following conditions: the back wall of the fountain shall be reduced, the light fixtures shall be restudied and approved at the staff level in coordination with the chair, and the front entry detail shall be restudied to provide some relief and will return at the meeting on May 28, 2025.

Mr. Smith called for public comment. No one indicated a desire to speak.

The motion carried 6-1, with Mr. Karakul dissenting.

A motion was made by Ms. Catlin and seconded by Ms. Shiverick that the implementation of the proposed variances will not cause a negative architectural impact on the subject property. The motion carried unanimously, 7-0.

5. **ARC-24-0129 288 QUEENS LANE** The applicant, Steven Rosenberg, has filed an application requesting Architectural Commission review and approval for the construction of a one-story addition on an existing single-family residence. *This application has been deferred to the May 28, 2025, meeting.*
Clerk's note: This item was deferred to the meeting on May 28, 2025, at Item V. Approval of the Agenda.

6. **ARC-24-0071 224 VIA MARILA** The applicant, Adrian Tauro, has filed an application requesting Architectural Commission review and approval for construction of a new, two-story single-family residence and attached accessory structure with final hardscape, landscape, and swimming pool. *This application has been deferred to the May 28, 2025, meeting.*
Clerk's note: This item was deferred to the meeting on May 28, 2025, at Item V. Approval of the Agenda.

C. MAJOR PROJECTS-NEW BUSINESS

None

D. MINOR PROJECTS - OLD BUSINESS

1. **ARC-24-0137 (ZON-24-0086) 500 S COUNTY RD (COMBO)** The applicant, THE EVERGLADES CLUB INC, has filed an application requesting Architectural Commission review and approval for the design of a new concession stand

and maintenance and upgrades to the golf course that will require a special exception and site plan review. Town Council shall review the application as it pertains to zoning relief/approval.

Ms. Mittner provided staff comments on the project.

Several members disclosed ex parte communications.

Jason Drobot of Brasseur and Drobot Architects presented the site's architectural plans.

Ms. Shiverick liked the options, and she was in favor of option 2.

Ms. Visconti agreed and suggested adding Confederate Jasmine to the building.

Ms. Patterson thought Mr. Drobot did a great job. She preferred the folly and thought it was more interesting and fun.

Mr. Sammons thought that if the folly was chosen, it should be moved away from the Spanish-style building.

Attorney Maura Ziska stated that the board would prefer the folly design.

Mr. Phoenix stated that he liked the folly design and found it attractive. He agreed that it could be moved away from the building, as Mr. Sammons suggested.

Ms. Connaughton thought the proposed folly next to the building was a bit awkward. She agreed it should be moved and provided suggestions for the windows at the end of the folly design.

Mr. Smith liked both solutions.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Ms. Visconti and seconded by Mr. Karakul that the proposed project ARC-24-0137 located at 500 S. County Road has met the criteria set forth in Section 18-205 and that the project be approved with the following conditions: the folly design was preferred with its location moved to the end of the wall. The motion carried unanimously, 7-0.

2. **ARC-24-0113 1600 S OCEAN BLVD.** The applicant, PB Pavilion Trust (Peter A. Flanagan, Robert G. Simes, & Michael Vineberg as Trustees), has submitted an application requesting Architectural Commission (ARCOM) review and approval for modifications to the existing landscape and hardscape and modifications to the driveway gates and pedestrian gate at an existing single-family residence with ARCOM approved renovations and additions underway.

Mr. Falco provided staff comments on the project.

Mr. Phoenix and Ms. Catlin and Georgas disclosed ex parte communications.

Cory Meyer of Nievera Williams presented the site's landscape and hardscape plans.

Ms. Visconti thought the design had improved. She asked about a portion of the curves in the gate and provided a recommendation for the design.

Mr. Smith asked about the center portion at the top of the gate design. He thought it looked clunky and should be reduced. Mr. Meyer said it could be removed to allow only the scrolls on top.

Mr. Sammons provided a recommendation for the two panels on the side of the gate. He recommended adding a stone frieze to the caps on the piers. He recommended a modification to the kick of the gate.

Mr. Karakul asked about the side pieces of the gate design. Mr. Meyer responded. Mr. Karakul thought they were overdone.

Ms. Visconti recommended removing the side panels and attaching the gates to the piers.

A motion was made by Ms. Visconti and seconded by Mr. Karakul that the proposed project ARC-24-0113 located at 1600 S. Ocean Blvd. has met the criteria set forth in Section 18-205 and that the project be approve with the following conditions: the filigree side panels are removed and the gate enlarged to attach to the piers, the rectangle piece of the upper panel is removed, the center bar in the gate is removed and the filigree at the top engages the sides. The motion carried unanimously, 7-0.

3. **ARC-24-0125 936 N LAKE WAY** The applicant, Pamela Cline, has filed an application requesting Architectural Commission review and approval for new garage door and pedestrian gate designs, driveway material changes, and landscape modifications.

Ms. Mittner provided staff comments on the project.

Several members disclosed ex parte communications.

Michael Perry of MP Design & Architecture presented the architectural plans, and Cory Meyer of Nievera Williams presented the site's landscape and hardscape plans.

Ms. Visconti questioned the pedestrian gate; she recommended removing the stucco surround and adding a lower pedestrian gate. She suggested making the surround out of a hedge in the same shape to replace the stucco.

Ms. Catlin liked the stucco detailing and garage doors. She was not in favor of the pattern of the gate and thought it should be lowered. She thought the proposed gate was not appealing.

Mr. Sammons thought the grid could work if properly designed. He thought the stucco should be thicker at the top. He was not in favor of the garage door design.

Mr. Karakul was not in favor of the garage door design and did not add interest to the home. He wondered if doors should be added where the gate is proposed. He thought a more subtle design would be better.

Ms. Connaughton agreed with the suggestion to add a door where the gate was located. She was also not in favor of the garage door design.

Ms. Patterson was not in favor of the squares on the garage doors. She agreed with Mr. Karakul to have a solid gate design.

Mr. Phoenix was not in favor of the garage door design. He suggested changing the gate so that it would look like a wow element with ornamentation. He thought the whole design was a missed opportunity for an incredible feature.

Ms. Shiverick wondered if an artist was looking at the gate design. She liked the gate and supported Ms. Visconti's suggestion to add vines to the stucco. She recommended using plain garage doors.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Ms. Visconti and seconded by Ms. Shiverick that ARC-24-0125 at 936 N. Lake Way be deferred to the meeting on May 28, 2025, for a restudy of the pedestrian gate, garage doors, and to request a sample of the gate be brought to the commission. The motion carried unanimously, 7-0.

4. **ARC-24-0144 147 DUNBAR RD** The applicant, Susan Pappas Trust, has filed an application requesting Architectural Commission review and approval for the installation of two vehicular gates.

Ms. Pardue provided staff comments on the project.

Several members disclosed ex parte communications. *Clerk's note: Ms. Visconti declared a conflict of interest and left the dais during the discussion.*

Peter Coyle of SMI Landscape Architecture presented the site's landscape and hardscape plans.

Mr. Sammons asked if the piers existed, to which Mr. Coyle confirmed they existed but would be rebuilt to narrow the opening. Mr. Sammons thought the pier cap needed to be restudied and the architrave removed.

Mr. Smith asked why one pier was larger than the other pier. Mr. Coyle responded.

Ms. Shiverick asked about the gates' functionality. Mr. Coyle stated that they slide open. She was not in favor of the gates in this location.

Mr. Phoenix asked about the way the gates slide and thought the pilasters should be

the same size.

Mr. Smith thought three gates were excessive.

Chris Pappas, owner, discussed the caps on top of the piers and stated that they matched the existing caps. Mr. Pappas discussed the need for the gates.

Mr. Sammons suggested making the piers the same size as the existing columns.

A motion was made by Mr. Karakul and seconded by Mr. Sammons that the proposed project ARC-24-0144 located at 147 Dunbar Road has met the criteria set forth in Section 18-205 and that the project be approved with the following conditions: the outer east and west piers are narrowed to match the existing smaller piers, and the vehicular opening is kept at 12 feet. The motion carried 5-2, with Mses. Shiverick and Connaughton dissenting.

5. **ARC-25-0001 640 ISLAND DR.** The applicant, 640 Florida Land Trust, has filed an application requesting Architectural Commission review and approval for fenestration changes, modification of entry gates with landscape and hardscape improvements.

Ms. Pardue provided staff comments on the project.

Several members disclosed ex parte communications.

Bryan Brown of Bryan Brown Architects presented the architectural modifications, and Cory Meyer of Nievera Williams Design presented the site's landscape and hardscape plans.

Ms. Visconti asked about the pilasters and wondered if they existed. Mr. Brown responded. She recommended lowering the main gate to the same height. She asked about the size of the proposed opening of the vehicular gate. Mr. Meyer stated that they were 18 feet wide. She provided a suggestion for moving the pilasters.

Mr. Smith recommended eliminating the side panels and reducing the pilasters. He thought they should be simplified, and the vehicular gate should be reduced.

Mr. Phoenix agreed with the suggestion to narrow the vehicular gate and restudy the pilasters. He did not support the front door and sconces at the front entry.

Ms. Patterson thought the pilasters were too big and overwhelmed the front of the property. She recommended designing a smaller entry. Mr. Brown stated that they could be slimmed down.

Mr. Phoenix recommended leaving the existing gates and pilasters. He thought the sconces and front door should be restudied.

Ms. Connaughton thought the proposed elements were incongruent with the architecture.

Mr. Brown stated they were trying to improve the design. Mr. Smith recommended starting with narrowing the driveway.

Ms. Catlin thought the proposal did not match the style of the home. She was not in favor of the sconces, and the changes did not enhance the existing home.

Ms. Georgas thought the existing front door looked better than the proposed one.

Ms. Visconti provided further suggestions for the piers. She thought the proposed vehicular gate looked too modern and recommended a solid front door without metal grillwork.

Mr. Sammons thought the drawing and the details did not reflect the proposal. He agreed to hide the piers and provided further suggestions.

Mr. Karakul asked about the material for the fencing. Mr. Meyer stated that they were wood fence panels that provided access to the rear yard.

Mr. Phoenix appreciated the effort to clean up the building. He recommended a solid, paneled front door with gas lanterns.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Ms. Shiverick and seconded by Mr. Sammons to defer the project ARC-25-0001 located at 640 Island Drive to the meeting on May 28, 2025. The motion carried unanimously, 7-0.

Clerk's note: A short break was taken at 12:48 p.m. and resumed at 1:03 p.m.

6. **ARCS-24-0681 160 ROYAL PALM WAY(PALM HOUSE HOTEL)** The applicant, LR Palm House LLC (Natalie LeClerc, General Manager), has filed an application requesting ARCOM review and approval for signage on the hotel's front façade and for the approval of the design of the previously approved bollard lights in the rear courtyard. *This application has been deferred to the May 28, 2025 meeting.*

Clerk's note: This item was deferred to the meeting on May 28, 2025, at Item V. Approval of the Agenda.

7. **ARCS-24-0622225VIALINDA**. The applicant, John and Heather Rogers, have filed an application requesting Architectural Commission review and approval for window and door replacement. *This application has been deferred to the May 28, 2025 meeting.*

Clerk's note: This item was deferred to the meeting on May 28, 2025, at Item V. Approval of the Agenda.

8. **ARC-25-0005 2252 IBIS ISLE RD.** The applicant, Andrew & Gail Marks (Madison Worth Architecture), has filed an application requesting Architectural Commission review and approval for modifications to a vehicular gate with landscape and hardscape modifications. *This application has been withdrawn*

by the applicant.

Clerk's note: This item was withdrawn at Item V. Approval of the Agenda.

E. MINOR PROJECTS-NEWBUSINESS

1. **ARC-25-0008 (ZON-25-0013) 401 BRAZILIAN AVE (COMBO)** The applicant, Marlene Perlmutter (Nievera Williams Design), has filed an application requesting Architectural Commission review and approval for sitewide landscape and hardscape improvements, with related variances for the placement of pool and mechanical equipment and reduction in required overall landscape open space. Town Council shall review the application as it pertains to zoning relief/approval.

Ms. Pardue provided staff comments on the project.

Mr. Phoenix and Mses. Catlin and Georgas disclosed ex parte communications.

Cory Meyer of Nievera Williams Design presented the site's landscape and hardscape plans.

Ms. Visconti asked about the remaining plants. Mr. Meyer responded. She asked about the hardscape around the pool and thought it should be reduced to improve the greenspace calculations. She thought the material for the driveway contrasted too much. She recommended considering another material.

Mr. Sammons supported moving the equipment. He wondered why the niches in the wall did not align with any element.

Ms. Shiverick asked about the material for the pool deck; Mr. Meyer responded.

Mr. Connaughton wondered if the landscape could be increased somewhere else if the pool deck remained.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Mr. Sammons and seconded by Ms. Connaughton that the proposed project ARC-25-0008 located at 401 Brazilian Avenue has met the criteria set forth in Section 18-205 and that the project be approve with the following conditions: the niches will be centered with the architecture and the hardscape of the rear terrace will be reduced to allow for more greenspace. The motion carried unanimously, 7-0.

A motion was made by Mr. Sammons and seconded by Ms. Connaughton that the implementation of the proposed variances will not cause a negative architectural impact on the subject property. The motion carried unanimously, 7-0.

2. **ARC-25-0009 (ZON-25-0007) 218 TANGIER AVE (COMBO)** The applicants, William A. Miller 2005 Trust (William A. Miller, Trustee) & Elaine G. Miller 2005 Trust (Elaine G. Miller, Trustee), have filed an application requesting Architectural Commission review and approval for a one-story addition to an

existing single-story residence, requiring a variance related to the angle of vision requirement. Town Council shall review the application as it pertains to zoning relief/approval.

Mr. Falco provided staff comments on the project.

Several members disclosed ex parte communications.

Harold Smith of Smith and Moore Architects presented the architectural plans, and Cory Meyer of Nievera Williams presented the site's landscape and hardscape plans.

Mr. Karakul thought the changes were sensitive, and he supported the project.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Mr. Karakul and seconded by Mr. Sammons that the proposed project ARC-25-0009 located at 218 Tangier Avenue has met the criteria set forth in Section 18-205 and that the project be approved as presented. The motion carried unanimously, 7-0.

A motion was made by Ms. Visconti and seconded by Ms. Catlin that the implementation of the proposed variances will not cause a negative architectural impact on the subject property. The motion carried unanimously, 7-0.

3. **ARC-25-0011 (ZON-25-0011) 261 MIRAFLORES DR (COMBO)** The applicant, Fernanda Niven (Maura Ziska, Representative), has filed an application requesting Architectural Commission review and approval for a one-story garage addition to an existing single-story residence, with related setback and angle of vision variances. Town Council shall review the application as it pertains to zoning relief/approval.

Mr. Falco provided staff comments on the project.

Several members disclosed ex parte communications.

Caroline Forrest of MHK Architecture presented the project's architectural plans, and Cory Meyer of Nievera Williams Design presented the site's landscape and hardscape plans.

Mr. Sammons supported the design.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Ms. Shiverick and seconded by Ms. Connaughton that the proposed project ARC-25-0011, located at 261 Miraflores Drive, has met the criteria set forth in Section 18-205 and that the project be approved as presented. The motion carried unanimously, 7-0.

A motion was made by Ms. Visconti and seconded by Ms. Catlin that the implementation of the proposed variances will not cause a negative architectural impact on the subject property. The motion carried unanimously, 7-0.

4. **ARCS-25-0704 223 VIA TORTUGA** The applicants, Harry and Gail Theodoracopulos, have filed an application requesting Architectural Commission review and approval for roof replacement from barrel to “S” tile.

Ms. Mittner provided staff comments on the project.

Mr. Phoenix and Ms. Georgas disclosed ex parte communications.

Dan Dunkelberger of Gulfstream Roofing presented the proposed replacement for the roof material.

Mr. Smith thought the material was a downgrade and did not support the proposal.

Ms. Visconti preferred the barrel tile for Palm Beach.

Ms. Patterson was not in favor of the s-tile. Mr. Phoenix agreed.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Ms. Visconti and seconded by Ms. Shiverick that project ARCS-25-0704, located at 223 Via Tortuga, be denied based on failure to comply with Section 18-205 (a) 1 of the Town Code. The motion carried unanimously, 7-0.

5. **ARCS-25-0723 100 CASA BENDITA** The applicant, Villa Bendita LLC (EDG representative), has filed an application requesting Architectural Commission review and approval for gates and sitewide hardscape and landscape modifications.

Ms. Mittner provided staff comments on the project.

Several members disclosed ex parte communications.

Dustin Mizell of Environment Design Group presented the site’s landscape and hardscape plans.

Ms. Visconti asked about the path, which was a ramp, and its function. Mr. Mizell responded and discussed the purpose.

Ms. Shiverick asked about the age of the home. Mr. Smith was the architect and discussed the age of the home. Mr. Mizell stated he would return to the commission with the gate.

Mr. Phoenix thought the approval of the gates should be part of the current proposal.

Mr. Smith called for public comment. No one indicated a desire to speak.

A motion was made by Mr. Karakul and seconded by Ms. Catlin that project ARCS-25-0723, located at 100 Casa Bendita, has met the criteria set forth in Section 18-205 and that the project be approved as presented. The motion carried unanimously, 7-0.

6. **ARCS-25-0814 393 N LAKE WAY** The applicant, Judith Robinson (SKA Architect and Planner representatives), has filed an application requesting Architectural Commission review and approval of new roofing materials and window modifications.

Clerk's note: This item was withdrawn by staff at Item V. Approval of the Agenda.

X. **UNSCHEDULED ITEMS**

Ms. Churney stated that:

- Richard Sammons had declared a continuing conflict of interest for 150 Worth Avenue at the February 26, 2025, meeting
- Claudia Visconti had declared a conflict of interest for 260 Colonial Lane and 147 Dunbar Road at the February 26, 2025, meeting
- Richard Sammons had declared a conflict of interest for 175 Bradley Place at the March 26, 2025, meeting

All forms required by the state were filled out correctly and submitted.

- XI. **NEXT MEETING DATE:** Wednesday, May 28, 2025

XII. **ADJOURNMENT**

A motion was made by Ms. Visconti and seconded by Ms. Shiverick to adjourn the meeting at 1:56 p.m. The motion was carried unanimously, 7-0.

The next meeting will be held on Wednesday, May 28, 2025, at 9:00 a.m. in the Town Council Chambers, 2nd floor, Town Hall, 360 S. County Road.

Respectfully Submitted,

Jeffrey Smith, Chairman
ARCHITECTURAL COMMISSION

kmc

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 037-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-009, Royal Poinciana Landscape Improvements to A CUT ABOVE LANDSCAPE & MAINTENANCE, INC. in the amount of \$737,987.50, approving a contingency in the amount of \$110,698 and approving a project budget in the amount of \$848,685.50 and accepting a donation from the Garden Club of Palm Beach in the amount of \$575,000 for the project.

Presenter

Dean Mealy, II Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 037-2025**
- ▣ **Plans/Specifications**
- ▣ **Bid Tab**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 037-2025, awarding ITB No. 2025-009, Royal Poinciana Landscape Improvements to A CUT ABOVE LANDSCAPE & MAINTENANCE, INC. in the amount of \$737,987.50, approving a contingency in the amount of \$110,698 and approving a project budget in the amount of \$848,685.50 and accepting a donation from the Garden Club of Palm Beach in the amount of \$575,000 for the project

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 037-2025 awarding ITB No. 2025-009, Royal Poinciana Landscape Improvements to A CUT ABOVE LANDSCAPE & MAINTENANCE, INC. in the amount of \$737,987.50, approving a contingency in the amount of \$110,698 and approving a project budget in the amount of \$848,685.50 and accepting a donation from the Garden Club of Palm Beach in the amount of \$575,000 for the project.

SUMMARY EXPLANATION/BACKGROUND

The Garden Club of Palm Beach has devoted a considerable amount of time addressing a new landscape beautification project on Royal Poinciana Way, an iconic entry point to Palm Beach.

Initially approved by the Town Council on September 11, 2024, and subsequently reviewed by the Landmarks Preservation Commission, the plan will provide new plants, trees and walking paths in the two medians along Royal Poinciana Way between N County Road and Cocoanut Row. The beautification project was developed by SMI Landscape Architecture, along with the Garden Club and Town Staff participation.

The project was formally bid by Procurement and Contract Management. The Town received four bids for the project, of which three were found to be responsive to the bidding documents. One bidder failed to bid on sixty percent of the overall project. In a review of the initial bid submissions, it was determined to secure additional quotes for two specific line items with the goal of better pricing. There were two significant issues; one involved lowering the required height of a tree from 14'-16' to 10'-12' and the other was the size of the Fukien Tea tree from seven gallons to three gallons due to lack of availability.

The initial all-inclusive bid tab with the larger trees and larger Fukien Tea was priced at \$883,641.10. The revised responsive, responsible low bid is now \$737,987.50.

FUNDING/FISCAL IMPACT

The funding for this award will be from a donation in the amount of \$575,000 from the Garden Club of Palm Beach and the remaining from unbudgeted Capital Improvement Fund in the amount of \$273,685.50.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 037-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AWARDING ITB NO. 2025-009, ROYAL POINCIANA
LANDSCAPE IMPROVEMENTS TO A CUT ABOVE
LANDSCAPE & MAINTENANCE, INC. IN THE AMOUNT OF
\$737,987.50, APPROVING A CONTINGENCY IN THE AMOUNT
OF \$110,698 AND APPROVING A PROJECT BUDGET IN THE
AMOUNT OF \$848,685.50 AND ACCEPTING A DONATION
FROM THE GARDEN CLUB OF PALM BEACH IN THE
AMOUNT OF \$575,000 FOR THE PROJECT**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 037-2025, awarding ITB No. 2025-009, Royal Poinciana Landscape Improvements to A CUT ABOVE LANDSCAPE & MAINTENANCE, INC. in the amount of \$737,987.50, approving a contingency in the amount of \$110,698 and approving a project budget in the amount of \$848,685.50.

Section 2. The Town Manager is hereby authorized to execute the contract and purchase order on behalf of the Town of Palm Beach for these improvements.

Section 3. The Town Council accepts a donation of \$575,000 for this project.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member

ROYAL POINCIANA WAY PALM BEACH, FLORIDA

100% CONSTRUCTION DOCUMENTS / BID PLANS

TREE DISPOSITION, LANDSCAPE, HARDSCAPE, IRRIGATION & ELECTRICAL

INDEX OF DRAWINGS		
SHT #	DWG#	SHEET TITLE
1	1	COVER
2	GN-1	GENERAL NOTES (MEASUREMENT OF PAYMENTS)
3-4	TD-1&2	TREE DISPOSITION/DEMO PLAN
5	TD-3	TREE DISPOSITION CHART
6-7	HP-1&2	HARDSCAPE PLAN
8	HP-3	HARDSCAPE DETAILS
9-10	LP-1&2	LANDSCAPE PLAN
11	LP-3	LANDSCAPE SPECIFICATIONS & PLANT SCHEDULE
12	LP-4	WEST MEDIAN LANDSCAPE LAYOUT PLAN
13	LP-5	EAST MEDIAN LANDSCAPE LAYOUT PLAN
14	LP-6	NOTES & LANDSCAPE DETAILS
15-16	IRR-1&2	IRRIGATION PLAN
17	IRR-3	IRRIGATION SPECIFICATIONS
18	IRR-4	IRRIGATION LEGEND & NOTES
19-21	IRR-5&6	IRRIGATION DETAILS
22	EP-1	ELECTRICAL LAYOUT
23-24	EP-2&3	ELECTRICAL PLANS
25-26	ED-1&2	ELECTRICAL DETAILS

AGENCY COMMISSION/COUNCIL

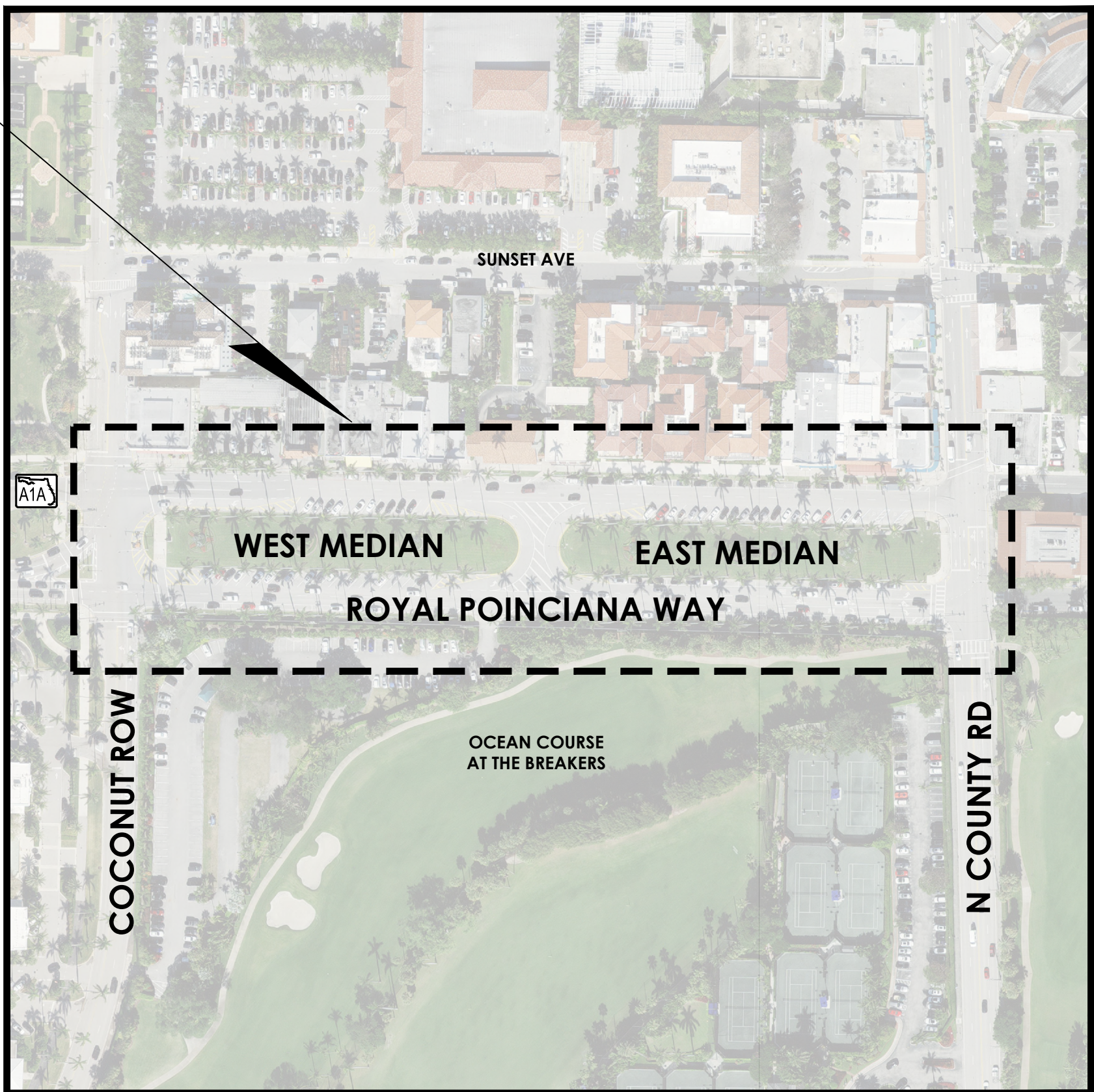
Danielle Moore
Bobbie Lindsay

Julie Araskog
Ted Cooney
Lew Crampton
Bridget Moran

Mayor
President

Council Member
Council Member
President Pro Tem
Council Member

PROJECT LOCATION



SCALE: NTS



TOWN OF PALM BEACH
360 SOUTH COUNTY ROAD
PO BOX 2029
Phone: 561-838-5400

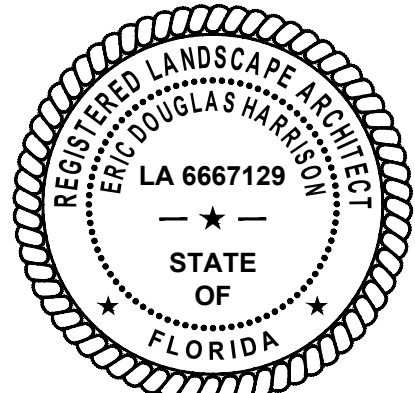


Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!

cma
chen moore and associates

500 West Cypress Creek Road,
Suite 600
Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com

REGISTRATION
ERIC DOUGLAS HARRISON, RLA
REGISTRATION NO. 6667129
DATE: 1/23/2025



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PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER

DRAWING NUMBER

COVER

1 OF 26

Plot Date: 1/23/2025 3:10:54 PM Username: ddlez Layout Name: GN-1
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD\Sheets Filename: 24-0431.00060 - General Notes.dwg

GENERAL CONDITIONS: MEASUREMENT OF PAYMENT

1 MOBILIZATION (10%) - BID ITEM - GC-1

A. The quantity to be paid under this Section shall be on a lump sum basis. The Contractor's Lump Sum Unit Price shall include full compensation for all work related to mobilization and demobilization and the work items listed below, and any other related work, except for any work designated to be paid for separately or to be specifically included in the costs of other work under the Contract.

B. Payment shall be made at the basis of a percentage of the Lump Sum Unit Price whereas the Contractor will receive 50% of the total contract price at the start of the project, 75% after 25% of project completion, and 100% after 50% of project completion.

C. Payment shall be made at the Contract Lump Sum Unit Price and shall include, but not be limited to, furnishing all materials, labor, and equipment for the preparatory work and operations in mobilizing for beginning work on the project, including those operations necessary for the movement of personnel, equipment, supplies and incidentals to the project site, shop drawing submittal, preparation of pre-construction video, establishment of temporary provisions, controls, and, compliance with permit conditions and adherence to State and local laws and regulations, progress meeting attendance, utility protection and coordination, and locating all existing utilities within the project area in accordance with the project specifications and TOWN Standards.

2. MAINTENANCE OF TRAFFIC - BID ITEM GC-2

"Traffic Regulation" and all other references to traffic control and maintenance in this document and any regulatory requirements.

A. Payment for maintenance of traffic will be made at the lump sum price named in the Bid Schedule. Payment for maintenance of traffic will be made in equal monthly amounts during the duration of the contract time.

B. Payment for maintenance of traffic shall include all materials, plans, and documents the CONTRACTOR is required to prepare for this section. This plan shall include a Maintenance of Traffic (MOT) plan that shall meet all requirements of FDOT and other authorities having jurisdiction. MOT plans shall be signed and sealed by a Professional Engineer registered in the State of Florida.

3. BOND & INSURANCE REQUIREMENTS (3%) - BID ITEM GC-3

A. Payment for bonds and insurance will be made at the lump sum price named in the Bid Schedule. The CONTRACTOR may request payment for this bid item after the Initial Notice to Proceed has been issued.

B. Bonds and Insurance are limited to 3% of the Total Bid Price. Any amount in excess of 3% will be moved to Line Item, Mobilization. However, the total bid amount will not change. The 3% ceiling on Bonds and Insurance is not responsiveness, just an instruction on the amount the TOWN will pay for Bonds and Insurance. CONTRACTOR will record the required public construction bond with the Clerk of the Court in the Public Records of Palm Beach County and provide a certified copy of the recorded bond(s). CONTRACTOR shall provide a Certified copy of the bond within 10-days of the award of the contract. Proof of bond shall be provided prior to the commencing of Work and submittal of first invoice. in accordance with Sec. 255.05, Fla. Stat.

4. CLEARING & GRUBBING/SITE WORK/GRADING (EAST & WEST MEDIAN) - BID ITEM GC-4

Landscape Clearing & Grubbing -
The Contract Unit Price for this item shall constitute full compensation for the furnishing of all labor, materials, supervision, and necessary equipment and services to completely remove and dispose of all timber, brush, stumps, roots, rubbish, debris, and all other obstructions resting on or protruding through the surface of the existing ground and the surface of excavated areas. Remove roots and other debris to a depth of at least 12 inches [300 mm] below the ground surface. Completely remove and dispose of all stumps as indicated on the Contract drawings, as specified herein and as directed by the ENGINEER. The quantity of landscape clearing and grubbing to be paid for under this item shall be included with the actual square footage of landscape clearing and grubbing performed and accepted. Payment will be made at the unit price bid for the actual ACERAGE (AC) of clearing and grubbing performed.

5. STORMWATER POLLUTION PREVENTION/SILT FENCE & TEMPORARY CONSTRUCTION FENCING - BID ITEM GC-5 & GC-7

Fencing - The Contract Unit Price for this item shall constitute full compensation for the furnishing of all labor, materials, supervision, and necessary equipment and services to complete the installation of fencing, as indicated on the Contract drawings, as specified herein and as directed by the ENGINEER. The quantity of fencing to be paid for under this item shall be the actual number of linear feet of fencing installed and accepted. Payment will be made at the unit price bid for the actual Liner Feet (LF) of fencing installed.

6. TREE PRESERVATION FENCING - BID ITEM GC-6

A. Measurement for payment to furnish and install tree protection fencing will be based upon the number of linear feet of such fencing actually constructed, all in accordance with the requirements of the Contract Documents.

B. Payment for furnishing and installing tree protection fencing will be made at the unit price per linear foot of fencing named in the Bid Schedule which price shall constitute full compensation for fencing installed.

7. FURNISH AND INSTALL CONCRETE SIDEWALK - BID ITEM C-1 & C-2

A. Measurement and payment for concrete slabs and related concrete blocks will be based upon the actual number of square yards constructed as shown in the drawings, all in accordance with the requirements of the Contract Documents.

B. Payment for this item will be made at the unit price per square yard named in the Bid Schedule (Item Response Form) and detailed on the drawings which price shall constitute full compensation for completing said work.

C. Raised Header Curb - The Contract Unit Price for this item shall constitute full compensation for furnishing all materials, labor, equipment and tools for the complete construction of flush header curb as shown on the construction Drawings, specified herein and as directed by the ENGINEER. This item includes, but is not limited to, grading, the installation of curb pad, forming, saw cutting of pavement, cleanup of all areas disturbed by this construction providing temporary sidewalks and walkways interrupted during construction activities, temporary restoration of mailboxes, temporary restoration of driveways, temporary restoration of roads, and temporary restoration of structures. Payment for this item is per Linear Foot (LF) of curb actually constructed as determined by measurement along the centerline of the curb in place.

8. FURNISH AND INSTALL ADA DETACTABLE WARNING - BID ITEM C-3

Furnish and Install ADA Detectable Warning - The Contract Unit Price for this item shall constitute full compensation for furnishing all materials, labor, equipment and tools for the complete installation of approved ADA detectable warning materials as shown on the construction Drawings, specified herein and as directed by the ENGINEER. This item includes, but not limited to all preparation, placement, cleanup, and restoration. Payment for this item will be based upon the actual quantity, at the unit price as (EA), of such detectable warning installed.

9. TREES, SHRUBS & GROUNDCOVER - BID ITEM L-1 TO L-7

Trees, Plants and Groundcover - The Contract Unit Price for this item shall constitute full compensation for the furnishing of all labor, materials, supervision, and necessary equipment and services to complete the installation of all landscape material, as indicated on the Contract drawings, as specified herein and as directed by the ENGINEER. Payment under this item shall be the actual number of plants and/or square footage of sod installed and accepted. Payment will be made at the unit price bid for each (EA) tree, shrub, groundcover or Square Footage (SF) of sod installed. CONTRACTOR shall use all means necessary for preventing dust, debris or other construction refuse from landscape installation operations from being a nuisance to adjacent property of the CITY.

10. IRRIGATION - BID ITEM L-8 TO L-12

Irrigation - The Contract Unit Price for this item shall constitute full compensation for the furnishing of all labor, materials, supervision, and necessary equipment and services to complete the installation of all Irrigation material, as indicated on the Contract drawings, as specified herein and as directed by the ENGINEER. Payment under this item shall be the actual number of installed irrigation heads, valves, controller & rain sensor. Payment will be made at the unit price bid for each (EA) installed. CONTRACTOR shall use all means necessary for preventing dust, debris or other construction refuse from landscape installation operations from being a nuisance to adjacent property of the CITY.

11. TRENCH SAFETY COMPLIANCE AND CONDUIT 630 -2-11 - BID ITEM ELE-4

The quantity to be paid for under this Section shall be on a lump sum basis. The work specified in this Section consists of furnishing and installing adequate trench and trench safety measures and any special shoring measures for trench safety act compliance. The work also includes the conduit (and all appurtenances necessary for interconnection with the existing conduit system) installation, supply, maintenance and removal of any temporary security fencing required during the course of construction. Measurement is for the straight line HORIZONTAL DISTANCE of the trench or bore, from pull box to pull box, with no allowance for sweeps or vertical distance.

A. Payment shall be made at the basis of a percentage of the Lump Sum Unit Price. The percent completion of the project shall be based on the percent of the total project actually constructed and not on the percent of the Contract price completed.

B. The contract Lump Sum Unit Price shall include compensation for required labor, materials, and equipment necessary for complying with the Trench Safety Act and providing any required Special Shoring, as well as the supply, maintenance, and removal of temporary site security fencing during the construction activities in accordance with the Contract Documents.

12. ELECTRICAL REMOVAL, REPAIRS, MODIFICATIONS, AND INSTALLATION OF LOAD CENTER BID ITEM ELE-2 715-7-11 AND BID ITEM ELE-3 715-7-41

A. The quantity to be paid under this Section shall be on a lump sum basis. The Contractor's Lump Sum Unit Price shall include full compensation for all work related to electrical modifications including but not limited to tie in with the existing conduit system, interconnection with the existing nightmaster, installation, removal and reworking of the existing and proposed load center(s), reworking and installation of the proposed 20A fused disconnect for the police equipment.

B. The contract Lump Sum Unit Price shall include compensation for required labor, materials, and equipment necessary for any electrical modifications. The Unit price will include but not be limited to the enclosures, transformers, panel boards, breakers, safety switches, H.O.A. switches panel boards, breakers, lightning arrestor, contactors, photo electric switch, grounding, fused disconnect, spare fuses, and the concrete pad (if required). Payment will be made at the unit price bid for the actual equipment installed.

13. PULL AND SPLICE BOX 635-2-11 BID ITEM ELE-5

A. The quantity to be paid under this Section shall be on a lump sum basis. The Contractor's Lump Sum Unit Price shall include full compensation for all work related to the pull boxes including: box covers with lifting slots and a flush-seating lockdown mechanism. Use penta-head lockdown lag bolts. Lockdown bolts and lifting slots are Type 316, 304, or 302 passivated stainless steel or brass. Lockdown bolt assembly is designed to prevent seizing and can be removed without damaging the cover or box body. Lockdown bolt threaded insert/nut assembly is field replaceable.

B. The contract Lump Sum Unit Price shall include compensation for required labor, materials, and equipment necessary for any pull boxes and ancillary equipment. Payment will be made at the unit price bid for the actual equipment installed.

14. CONDUCTORS, INSULATED, #8 AND OTHERS AS REQUIRED BID ITEM 715-1-12 ELE-1

A. The quantity to be paid under this Section shall be on a lump sum basis. The Contractor's Lump Sum Unit Price shall include full compensation for all work related to conductors.

B. The contract Lump Sum Unit Price shall include compensation for required labor, materials, and equipment necessary for any conductors, connections, and ancillary equipment. Payment will be made at the unit price bid for the actual equipment installed.

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Check positive response codes before you dig!



CLIENT

Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

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1/17/25

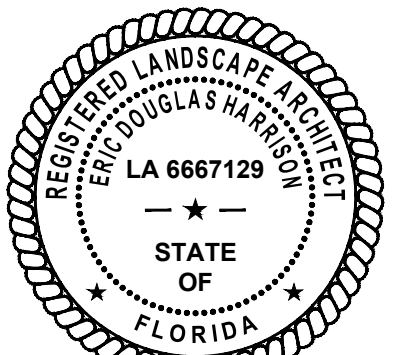
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DRAWING TITLE
GENERAL NOTES
(MEASUREMENT
OF PAYMENT)

DRAWING NUMBER
GN-1
2 OF 26



CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

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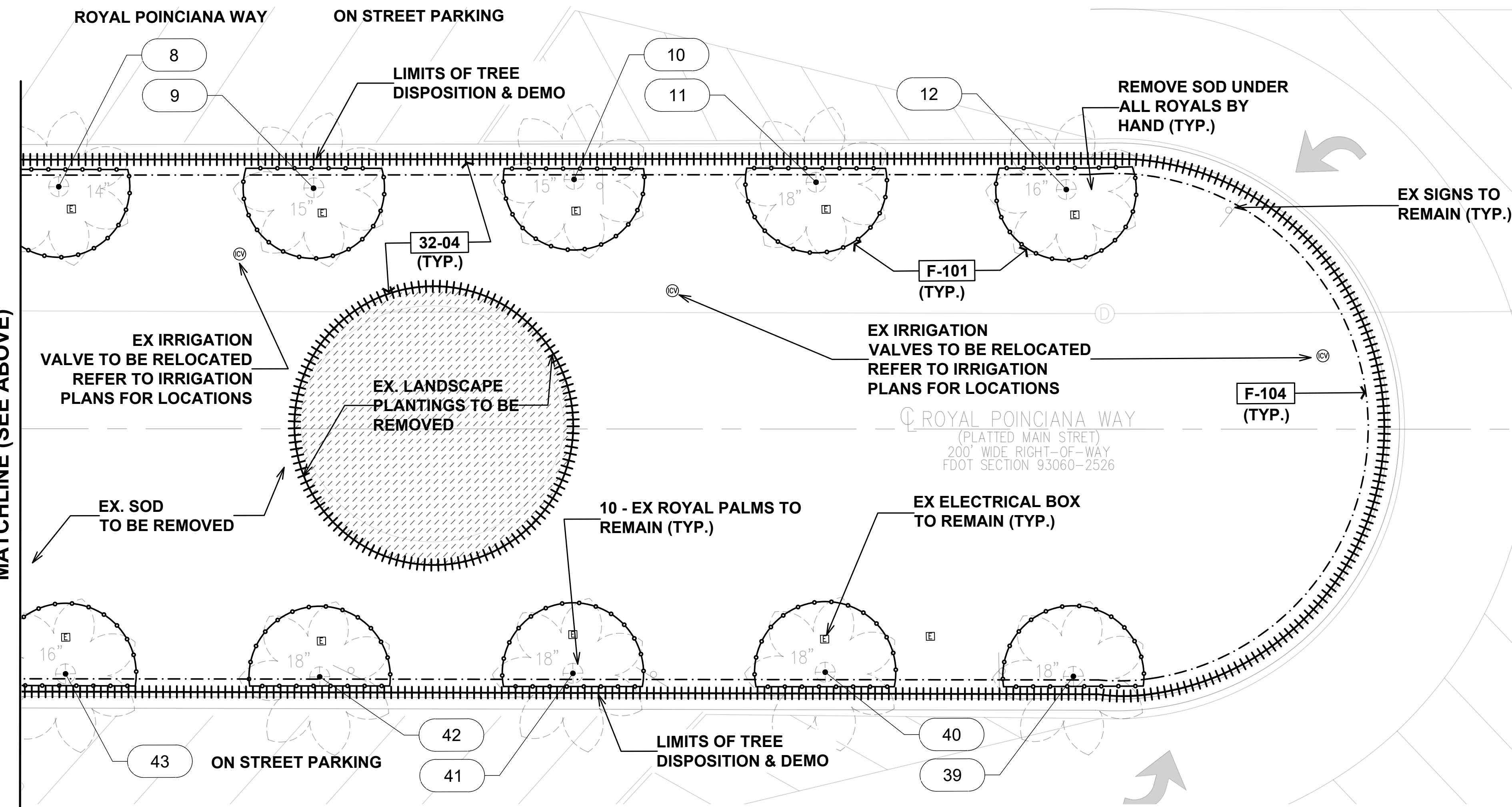
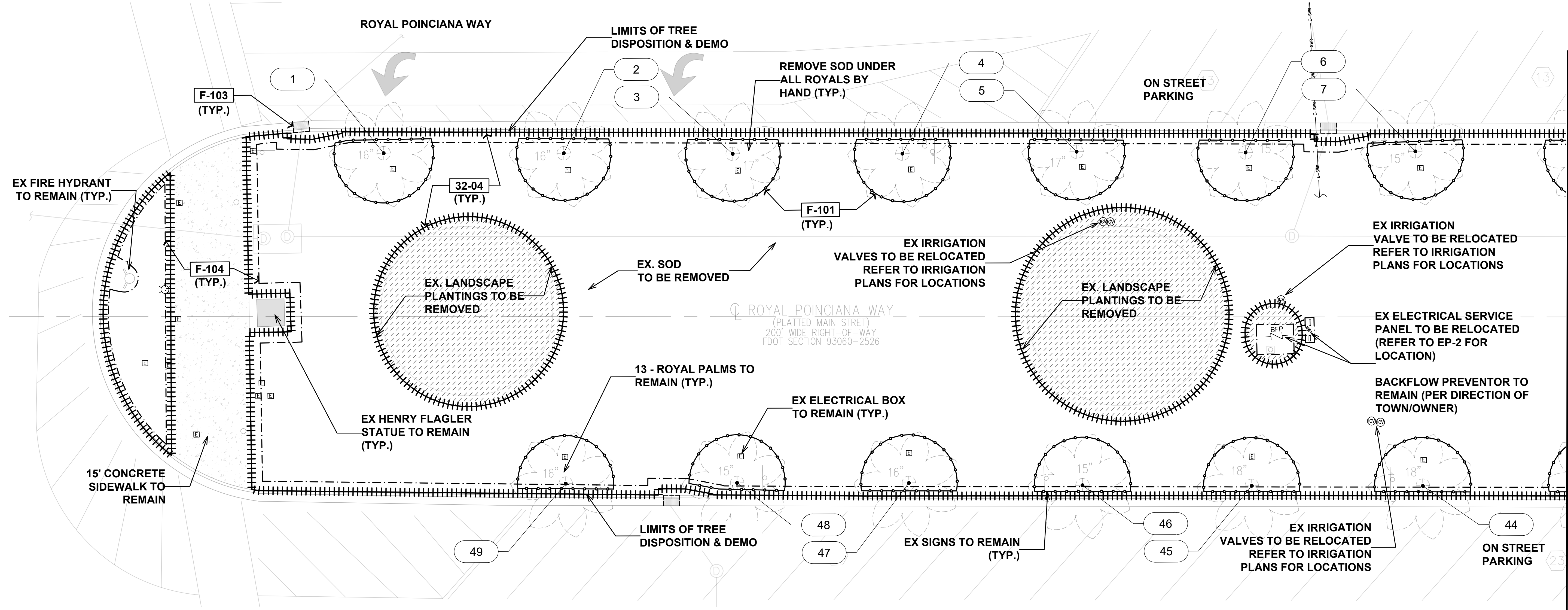
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DRAWING TITLE

**TREE DISPOSITION
& DEMO PLAN**

DRAWING NUMBER

TD-1
3 OF 26



PLANT LEGEND:

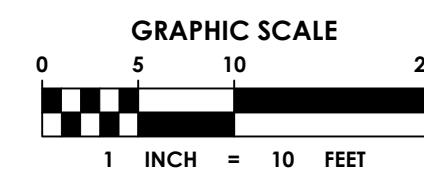
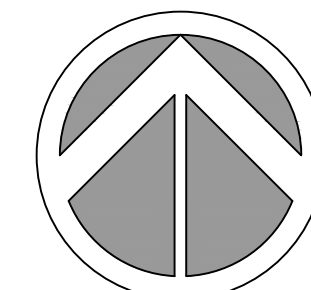
SYMBOL	DESCRIPTION
	EXISTING TREE OR PALM TO REMAIN
	TREE OR PALM ID NUMBER

REFERENCE NOTES SCHEDULE WEST ZONE

CODE	DESCRIPTION	QTY
32 EXTERIOR IMPROVEMENTS		
32-04	LIMITS OF TREE DISPOSITION DEMO	29,172 sf
FENCE		
F-101	TREE PROTECTION FENCING	1,163 lf
F-103	SILT FENCE	21 lf
F-104	TEMPORARY CONSTRUCTION FENCING	1,120 lf

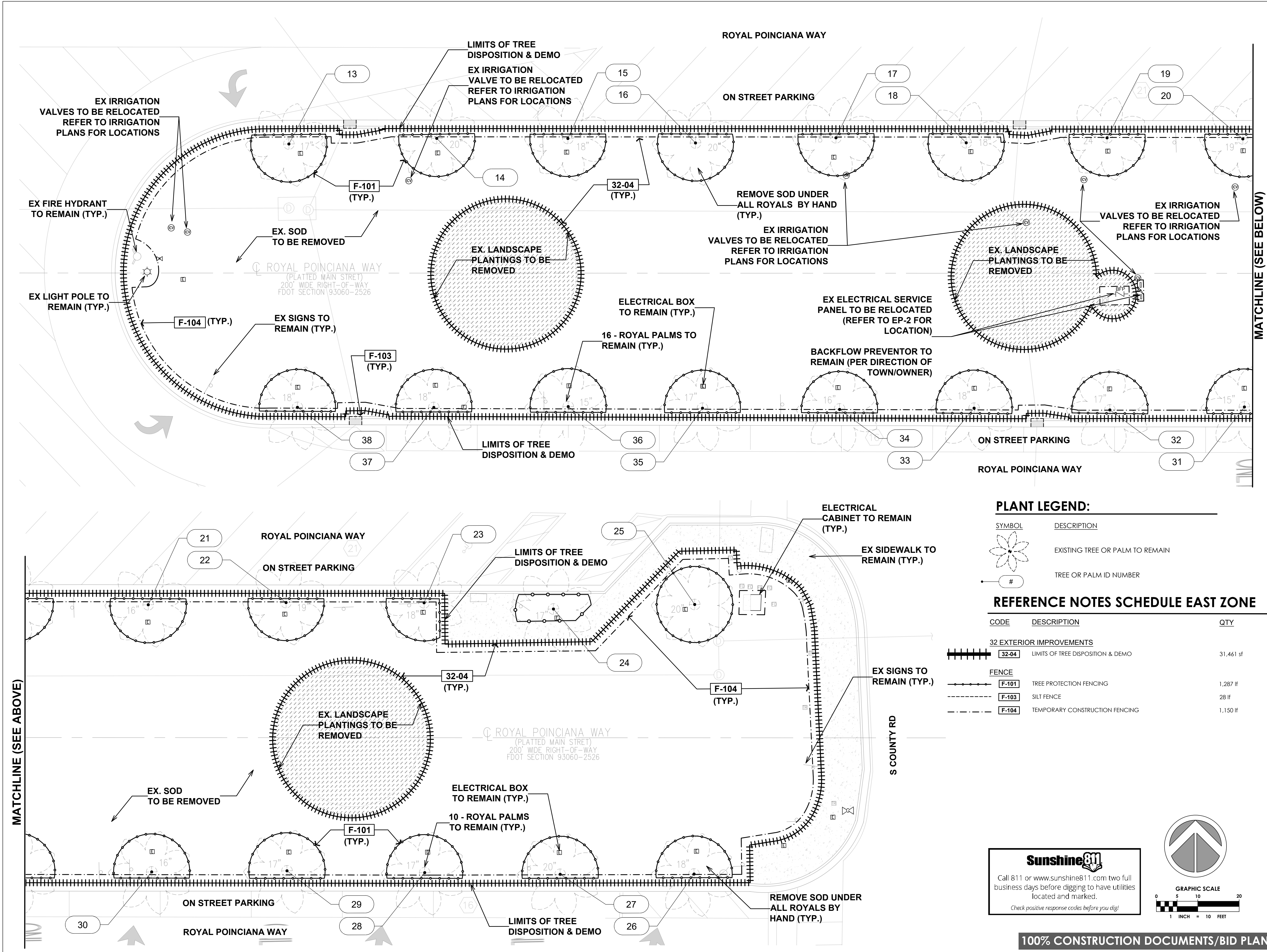


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100% CONSTRUCTION DOCUMENTS/BID PLANS

Plot Date: 1/23/2025 10:14:30 AM Username: cferguson Layout Name: TD-2
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD Sheets
Filename: 24-0431.00060 - Tree Disposition.dwg



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chen moore and associates
500 West Cypress Creek Road
Suite 600
Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com

REGISTRATION
ERIC DOUGLAS HARRISON, RLA
REGISTRATION NO. 6667129
DATE: 1/23/2025

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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

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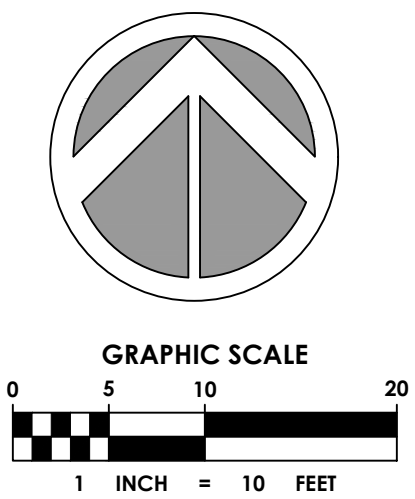
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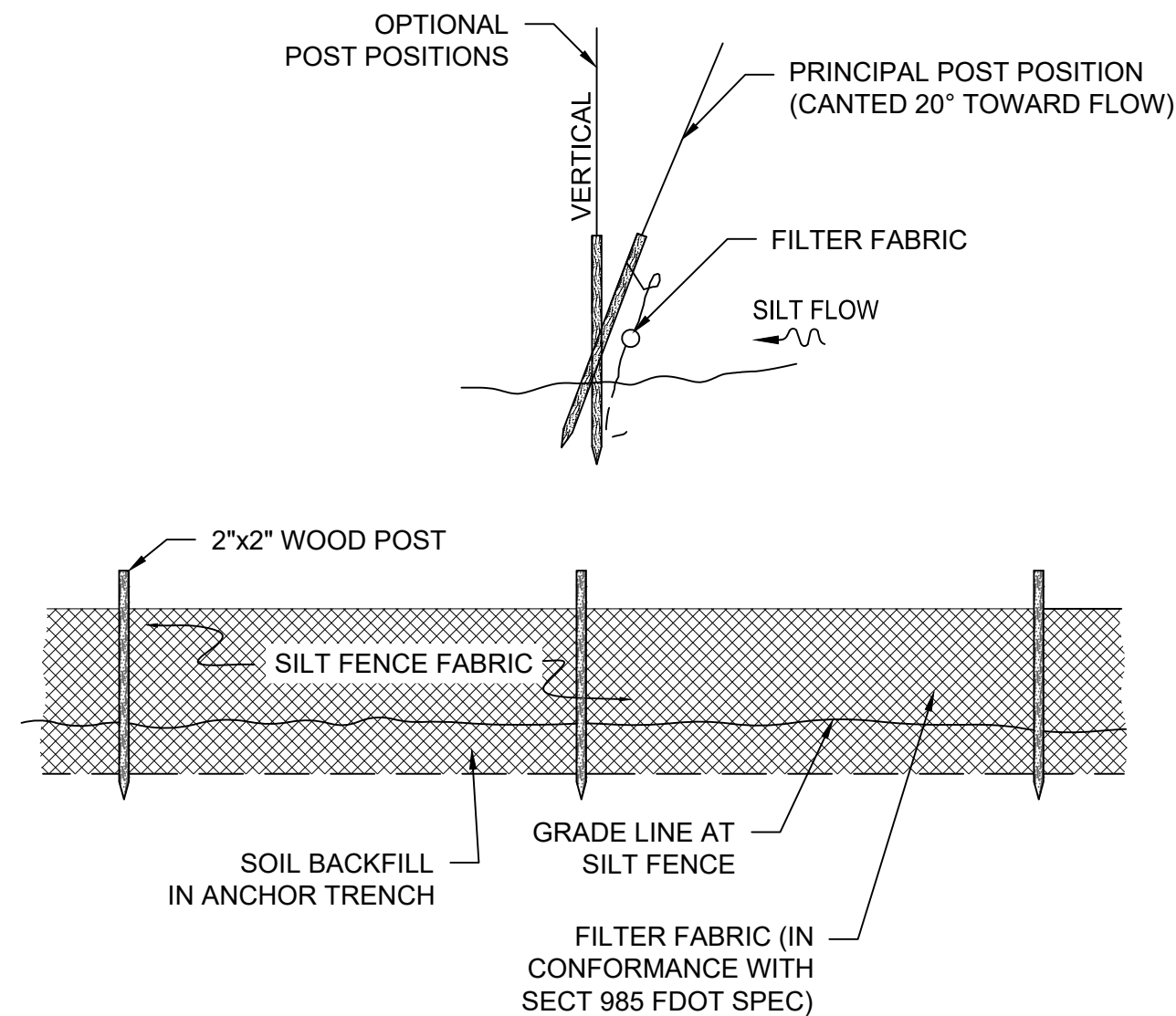
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TREE DISPOSITION & DEMO PLAN

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TD-2
4 OF 26

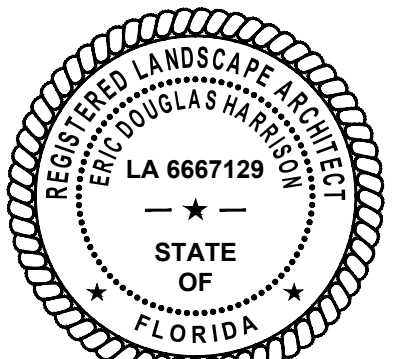
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Tree ID#	Common Name	Scientific Name	DBH (in.)	Canopy Diameter	Disposition	Condition
1	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
2	ROYAL PALM	ROYSTONEA REGIA	16	17	Remain	Fair (41% to 60%)
3	ROYAL PALM	ROYSTONEA REGIA	17	16	Remain	Fair (41% to 60%)
4	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
5	ROYAL PALM	ROYSTONEA REGIA	17	17	Remain	Fair (41% to 60%)
6	ROYAL PALM	ROYSTONEA REGIA	15	16	Remain	Fair (41% to 60%)
7	ROYAL PALM	ROYSTONEA REGIA	15	18	Remain	Fair (41% to 60%)
8	ROYAL PALM	ROYSTONEA REGIA	14	19	Remain	Fair (41% to 60%)
9	ROYAL PALM	ROYSTONEA REGIA	15	20	Remain	Fair (41% to 60%)
10	ROYAL PALM	ROYSTONEA REGIA	15	18	Remain	Fair (41% to 60%)
11	ROYAL PALM	ROYSTONEA REGIA	18	19	Remain	Fair (41% to 60%)
12	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
13	ROYAL PALM	ROYSTONEA REGIA	17	17	Remain	Fair (41% to 60%)
14	ROYAL PALM	ROYSTONEA REGIA	20	18	Remain	Fair (41% to 60%)
15	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
16	ROYAL PALM	ROYSTONEA REGIA	20	17	Remain	Fair (41% to 60%)
17	ROYAL PALM	ROYSTONEA REGIA	18	20	Remain	Fair (41% to 60%)
18	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
19	ROYAL PALM	ROYSTONEA REGIA	24	16	Remain	Fair (41% to 60%)
20	ROYAL PALM	ROYSTONEA REGIA	19	17	Remain	Fair (41% to 60%)
21	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
22	ROYAL PALM	ROYSTONEA REGIA	19	18	Remain	Fair (41% to 60%)
23	ROYAL PALM	ROYSTONEA REGIA	18	19	Remain	Fair (41% to 60%)
24	ROYAL PALM	ROYSTONEA REGIA	17	18	Remain	Fair (41% to 60%)
25	ROYAL PALM	ROYSTONEA REGIA	20	18	Remain	Fair (41% to 60%)
26	ROYAL PALM	ROYSTONEA REGIA	18	17	Remain	Fair (41% to 60%)
27	ROYAL PALM	ROYSTONEA REGIA	20	18	Remain	Fair (41% to 60%)
28	ROYAL PALM	ROYSTONEA REGIA	17	17	Remain	Fair (41% to 60%)
29	ROYAL PALM	ROYSTONEA REGIA	17	18	Remain	Fair (41% to 60%)
30	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
31	ROYAL PALM	ROYSTONEA REGIA	15	20	Remain	Fair (41% to 60%)
32	ROYAL PALM	ROYSTONEA REGIA	17	17	Remain	Fair (41% to 60%)
33	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
34	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
35	ROYAL PALM	ROYSTONEA REGIA	17	19	Remain	Fair (41% to 60%)
36	ROYAL PALM	ROYSTONEA REGIA	15	20	Remain	Fair (41% to 60%)
37	ROYAL PALM	ROYSTONEA REGIA	18	16	Remain	Fair (41% to 60%)
38	ROYAL PALM	ROYSTONEA REGIA	18	17	Remain	Fair (41% to 60%)
39	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
40	ROYAL PALM	ROYSTONEA REGIA	18	19	Remain	Fair (41% to 60%)
41	ROYAL PALM	ROYSTONEA REGIA	18	18	Remain	Fair (41% to 60%)
42	ROYAL PALM	ROYSTONEA REGIA	18	20	Remain	Fair (41% to 60%)
43	ROYAL PALM	ROYSTONEA REGIA	16	18	Remain	Fair (41% to 60%)
44	ROYAL PALM	ROYSTONEA REGIA	18	17	Remain	Fair (41% to 60%)
45	ROYAL PALM	ROYSTONEA REGIA	18	16	Remain	Fair (41% to 60%)
46	ROYAL PALM	ROYSTONEA REGIA	15	18	Remain	Fair (41% to 60%)
47	ROYAL PALM	ROYSTONEA REGIA	16	19	Remain	Fair (41% to 60%)
48	ROYAL PALM	ROYSTONEA REGIA	15	16	Remain	Fair (41% to 60%)
49	ROYAL PALM	ROYSTONEA REGIA	16	17	Remain	Fair (41% to 60%)
	TOTAL NUMBER OF PALMS TO BE REMAIN	49				



1. MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS INDEX, 600 SERIES, 2020-21 EDITION OF THE STANDARD PLANS.
2. NO EXCAVATIONS WILL BE CONDUCTED WITHIN THE ROADWAY OF ROYAL POINCIANA WAY. MOVEMENTS OF CONSTRUCTION VEHICLES AND STAGING OF EQUIPMENT SHALL BE FOR NO LONGER THAN 60 MINUTES. OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH FDOT DESIGN STANDARD INDEX 602.
3. TAKE RESPONSIBILITY FOR ACQUIRING FDOT AND TOWN OF PALM BEACH RIGHT OF WAY PERMITS. AS A CONDITION OF THE TOWN ROW PERMIT REQUIREMENTS, TAKE RESPONSIBILITY FOR SUBMITTING WEEKLY TRAFFIC UPDATES TO THE TOWN FOR THE DURATION OF THE PROJECT.



CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

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DATE OF ISSUE
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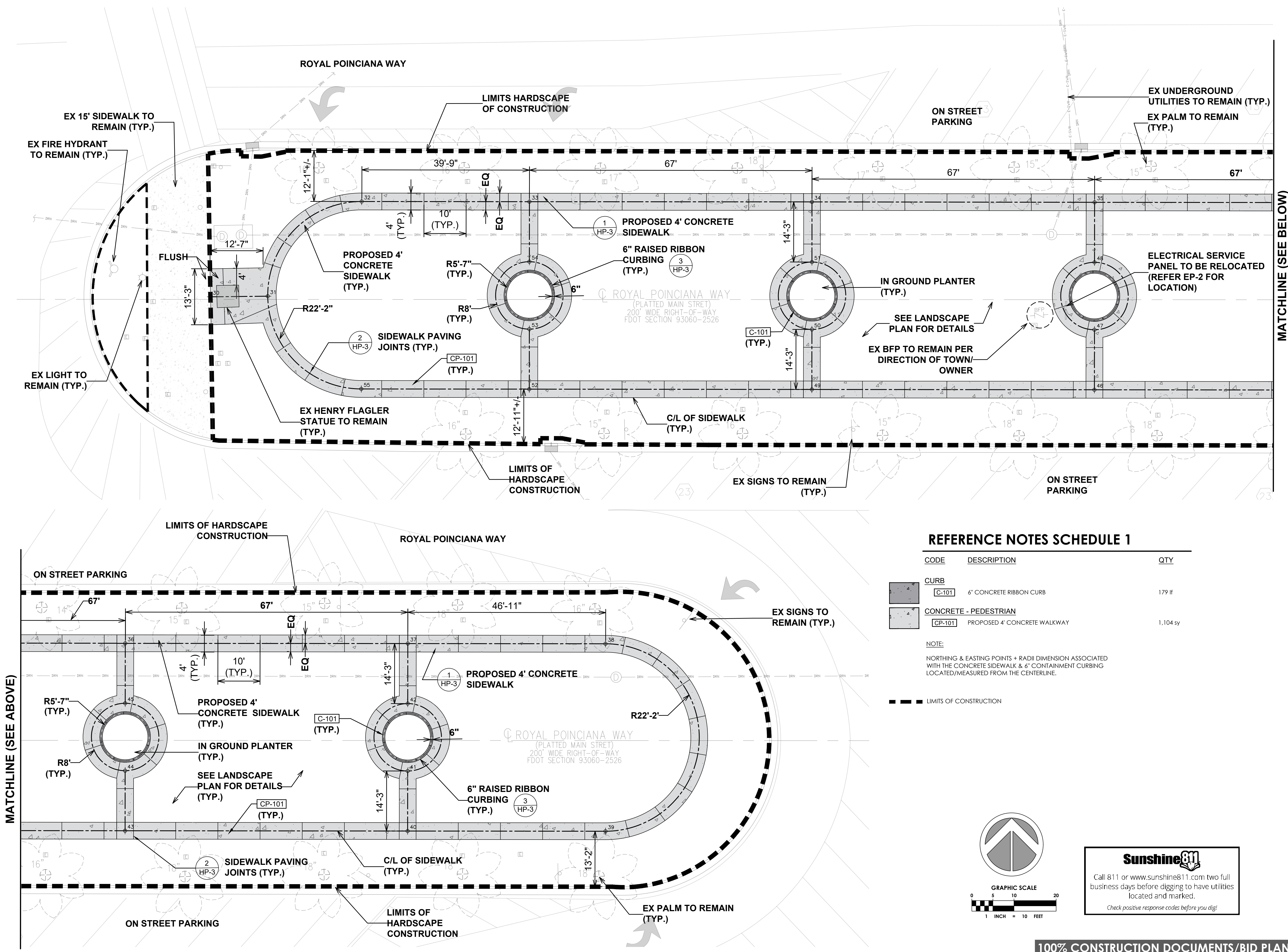
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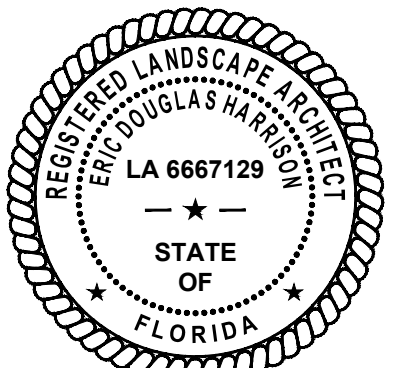
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HARDSCAPE PLAN

DRAWING NUMBER

HP-1
6 OF 26





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CLIENT
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Project Manager:
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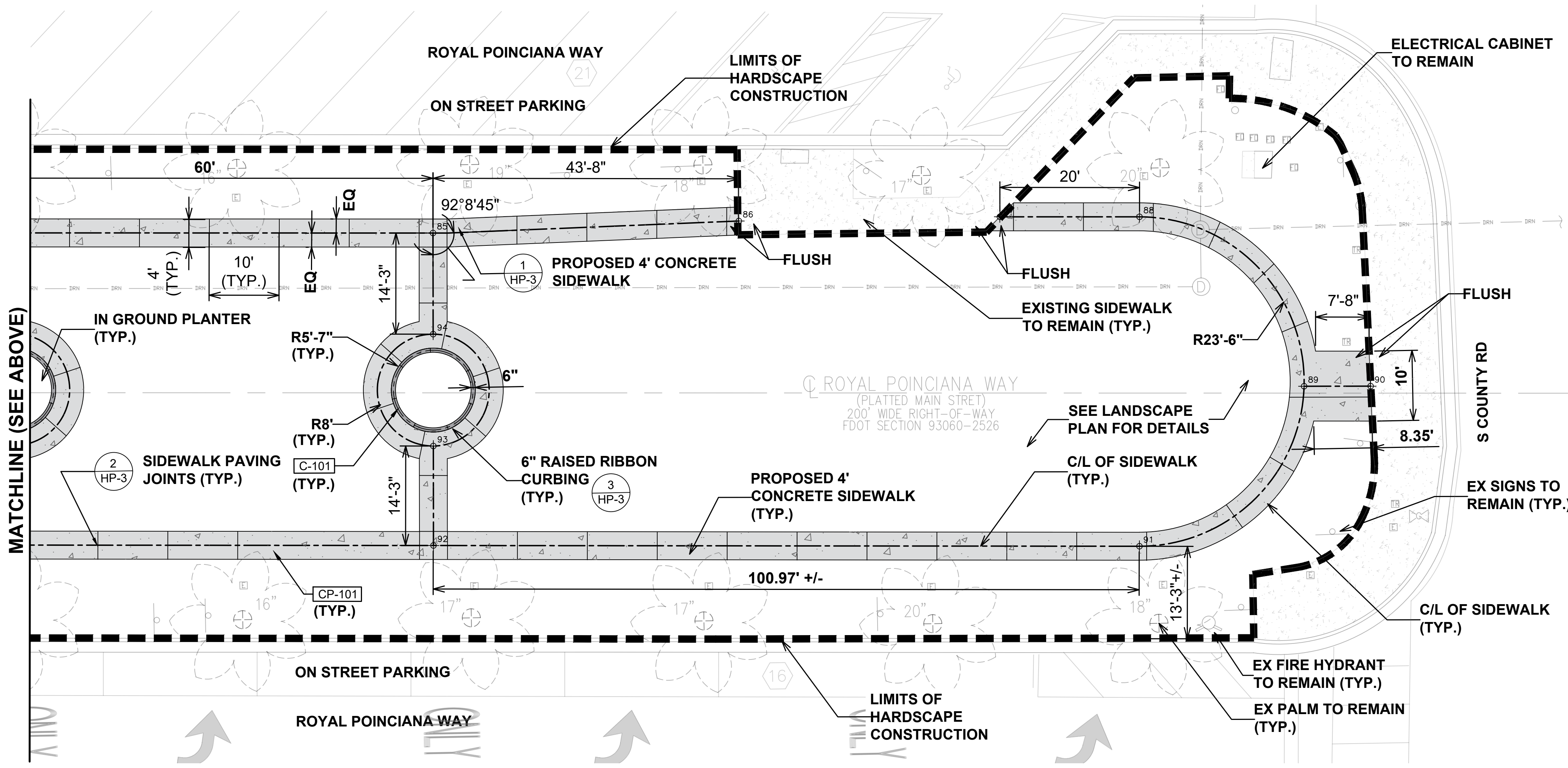
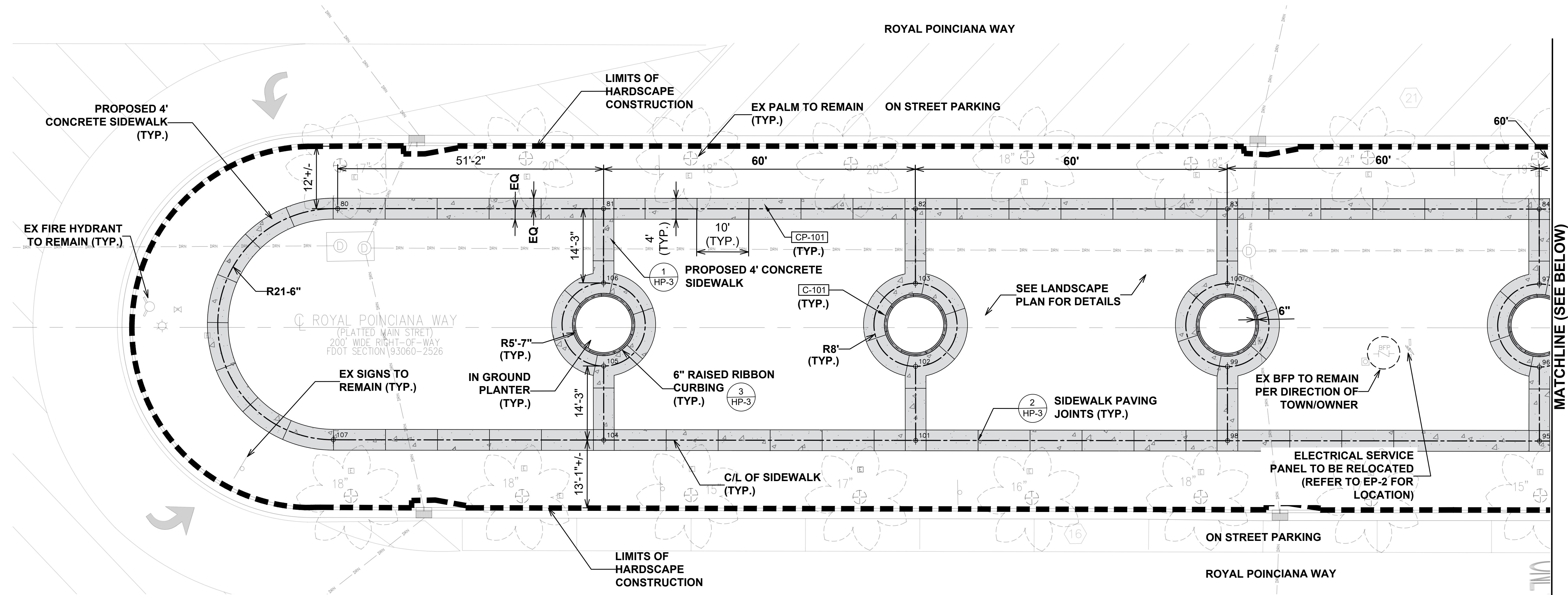
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HARDSCAPE PLAN

DRAWING NUMBER

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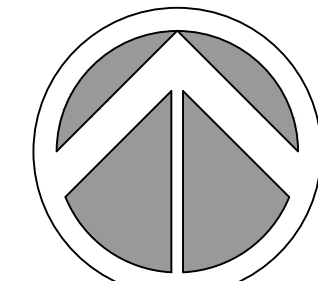
REFERENCE NOTES SCHEDULE 2

CODE	DESCRIPTION	QTY
CURB		
C-101	6" CONCRETE RIBBON CURB	179 lf
CONCRETE - PEDESTRIAN		
CP-101	PROPOSED 4' CONCRETE WALKWAY	1,128 sy

NOTE:

NORTHING & EASTING POINTS + RADII DIMENSION ASSOCIATED WITH THE CONCRETE SIDEWALK & 6" CONTAINMENT CURBING LOCATED/MEASURED FROM THE CENTERLINE.

--- LIMITS OF CONSTRUCTION



GRAPHIC SCALE
0 5 10 20
1 INCH = 10 FEET



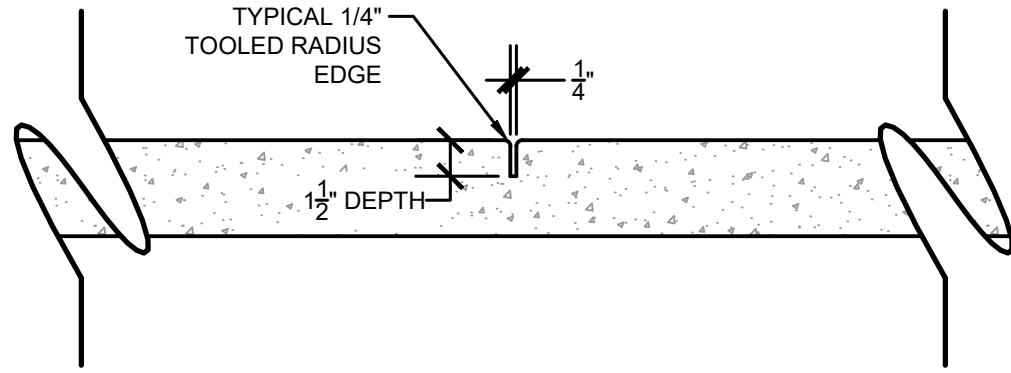
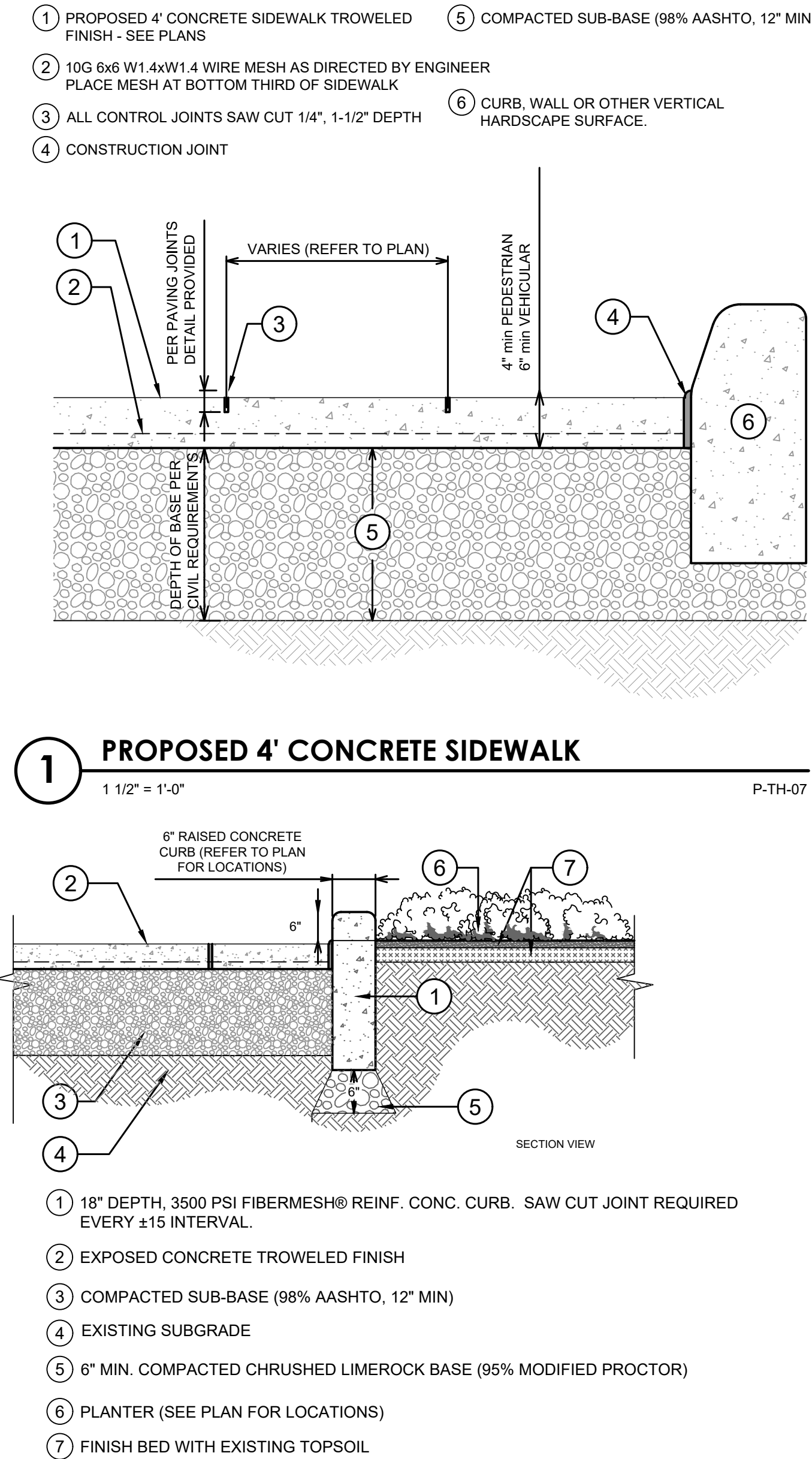
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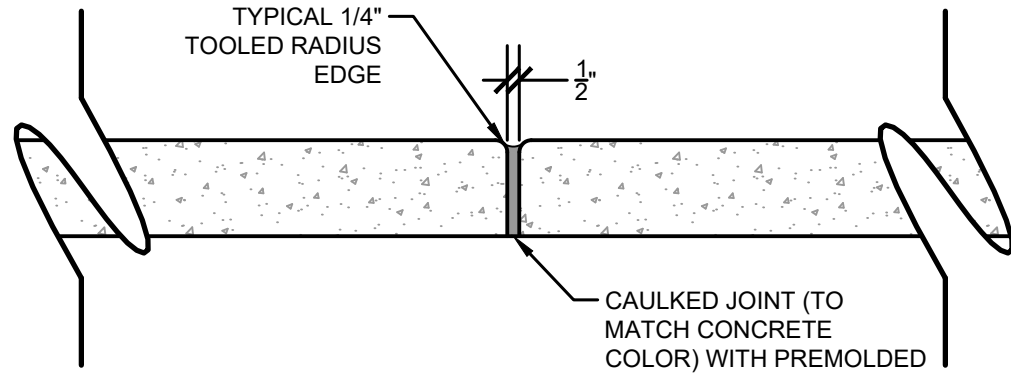
NORTHERN/EASTERN POINT SCHEDULE:

POINT	NORTHING	EASTING
30	N 867934.3398	E 969277.6534
31	N 867934.2237	E 969291.2139
32	N 867956.2620	E 969313.9148
33	N 867955.4616	E 969353.6793
34	N 867954.1393	E 969420.6666
35	N 867952.7648	E 969487.6627
36	N 867951.3900	E 969554.6512
37	N 867950.0686	E 969621.6314
38	N 867949.1253	E 969668.4965
39	N 867904.6658	E 969667.6533
40	N 867905.6099	E 969620.7435
41	N 867919.8407	E 969621.0300
42	N 867935.8376	E 969621.3450
43	N 867906.9522	E 969553.7629
44	N 867921.1889	E 969554.0466
45	N 867937.1858	E 969554.3653
46	N 867908.3066	E 969486.7738
47	N 867922.5373	E 969487.0603
48	N 867938.5341	E 969487.3791
49	N 867909.6548	E 969419.7901
50	N 867923.8857	E 969420.0708
51	N 867939.8825	E 969420.3858
52	N 867911.0031	E 969352.8036
53	N 867925.2339	E 969353.0839
54	N 867941.2308	E 969353.3990
55	N 867911.8047	E 969312.9794
80	N 867946.5583	E 969796.5148
81	N 867945.5785	E 969847.6625
82	N 867944.3996	E 969907.6579
83	N 867943.2515	E 969967.6185
84	N 867942.0875	E 970027.6246
85	N 867940.9242	E 970087.5957
86	N 867941.8142	E 970131.3579
87	N 867941.7049	E 970168.7000
88	N 867941.3185	E 970188.6708
89	N 867916.6435	E 970211.7453
90	N 867916.4783	E 970221.2588
91	N 867894.2139	E 970187.7618
92	N 867896.2396	E 970086.8126
93	N 867910.4670	E 970087.0626
94	N 867926.4646	E 970087.3424
95	N 867897.4433	E 970026.8263
96	N 867911.6745	E 970027.0748
97	N 867927.6717	E 970027.3736
98	N 867898.6473	E 969966.8270
99	N 867912.8819	E 969967.0846
100	N 867928.8794	E 969967.3683
101	N 867899.8509	E 969906.8495
102	N 867914.0893	E 969907.0998
103	N 867930.0869	E 969907.3812
104	N 867901.0549	E 969846.8502
105	N 867915.2968	E 969847.1101
106	N 867931.2944	E 969847.3898
107	N 867902.0989	E 969794.8222

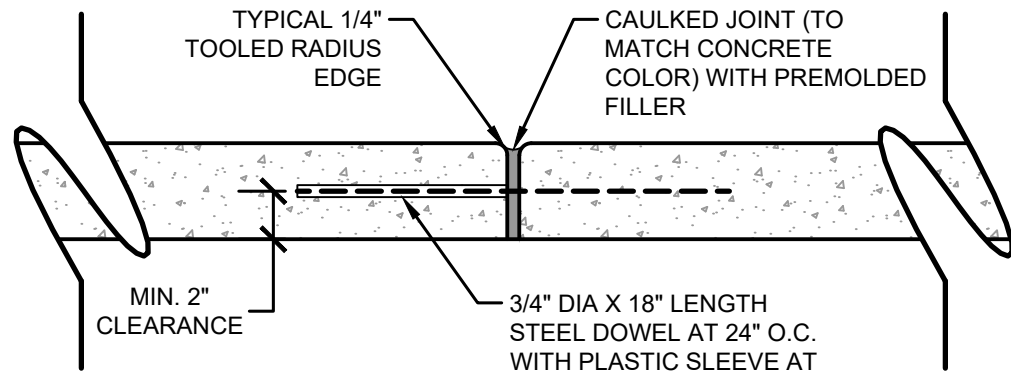
HARDSCAPE DETAILS:



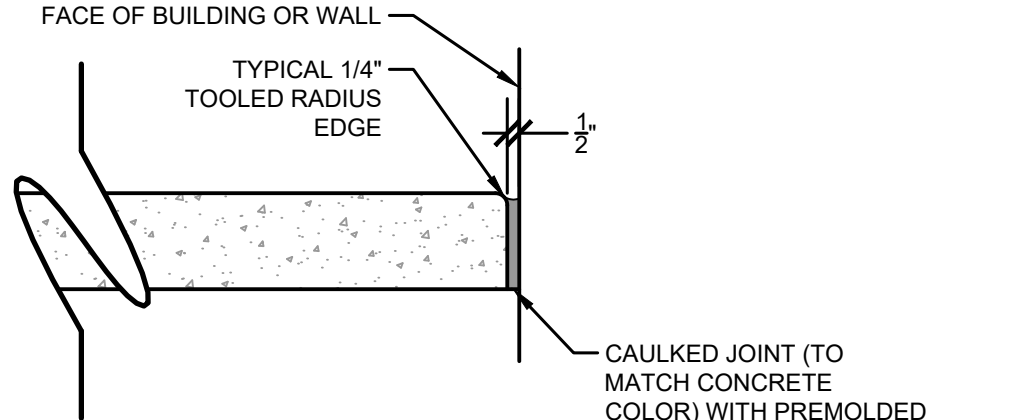
TOOLED CONTROL JOINT



CONSTRUCTION JOINT



DOWELED CONSTRUCTION JOINT



CONSTRUCTION JOINT AT BUILDING OR WALL

GENERAL NOTES

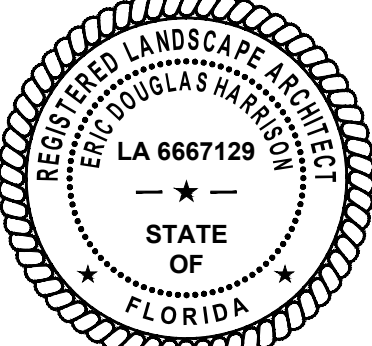
- ALL WALKWAYS SHALL BE ACCESSIBLE ROUTES WITH RUNNING SLOPES NOT TO EXCEED 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:50 AS PER 402.2 FBC.
- ELEVATION CHANGES IN ACCESSIBLE ROUTE SHALL COMPLY WITH 303 FBC. SPECIAL ATTENTION TO BE PAID AT POINTS WHERE NEW WALKS MEET EXISTING.
- CONTRACTOR TO PROVIDE AN EXPANSION JOINT WHERE PROPOSED CONCRETE MEETS EXISTING CONCRETE.
- PROVIDED QUANTITIES ARE ESTIMATES. ACTUAL QUANTITIES WILL VARY AND SHALL BE VERIFIED BY GENERAL CONTRACTOR.
- BOUNDARY OF TREE PRESERVATION SHOWN FOR INFORMATIONAL PURPOSES ONLY. ACTUAL LOCATION, BOUNDARY AND QUANTITY OF TREE PRESERVATION FENCING TO BE QUANTIFIED BY GENERAL CONTRACTOR. ANY TREES WITHIN AN AREA OF IMPACT BY CONSTRUCTION RELATED ACTIVITY SHALL BE PROTECTED PER DETAIL PROVIDED ON TD-3.

EXISTING CONDITIONS/SURVEY NOTES

- THE SURVEY DEPICTED HEREON IS CLASSIFIED AS A TOPOGRAPHIC AND TREE SURVEY AND IS IN COMPLIANCE WITH CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE.
- ENGENUITY GROUP, INC. AND THE CERTIFYING SURVEYOR ACCEPT NO RESPONSIBILITY FOR RIGHT-OF-WAYS, EASEMENTS RESTRICTIONS OR OTHER MATTERS AFFECTING TITLE TO THE LANDS SURVEYED OTHER THAN THOSE RECITED IN THE CURRENT DEED AND/OR OTHER INSTRUMENT OF RECORD FURNISHED BY THE CLIENT.
- UNDERGROUND UTILITIES WERE NOT SEARCHED FOR OR LOCATED BY ENGENUITY GROUP, INC.
- THE SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER. OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.
- LAST DATE OF FIELD SURVEY: JULY 25, 2024
- ALL DISTANCES SHOWN HEREON ARE IN U.S. FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.
- ADDITIONS OR DELETIONS TO THE SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- ACCURACY STATEMENT: A FIELD SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATE STATUTES FOR TOPOGRAPHIC SURVEYS. THE ACCURACY OF CONTROL DATA WAS VERIFIED BY REDUNDANT MEASUREMENTS OF TRAVERSE CLOSURES AND EXCEEDS COMMERCIAL/HIGH RISK: LINEAR: 1 FOOT IN 10,000 FEET.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND REFERENCE THE FOLLOWING BENCHMARK: TR 10 RM 1 ELEVATION=15.910 (NAVD 1988) AT PALM BEACH, 0.2 MILE EAST ALONG A PRIVATE DRIVEWAY FROM THE JUNCTION OF NORTH COUNTY ROAD, ABOUT 0.5 MILE NORTH OF THE INTERSECTION OF ROYAL PALM WAY, SET IN THE TOP OF THE WEST END OF THE CONCRETE SEAWALL WHICH IS ALONG THE NORTH SIDE OF THE BREAKERS HOTEL, 1.8 FEET NORTH OF THE NORTHWEST CORNER OF THE NORTHEAST WING OF THE HOTEL, 1.9 FEET EAST OF THE WEST END OF THE SEAWALL AND 3.3 FEET ABOVE THE LEVEL OF THE SIDEWALK.
- THE FOLLOWING CONVERSION MAY BE USED TO CONVERT FROM THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) (PER U.S ARMY CORPS OF ENGINEERS CORPSCON VERSION 6.0.1).
NGVD 29 - 1.574 = NAVD 88.
- THIS SURVEY IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM TRANSVERSE MERCATOR, FLORIDA EAST ZONE 901, NORTH AMERICAN DATUM OF 1983 (1990 ADJUSTMENT).

PAVING AND GRADING NOTES

- ALL SIDEWALKS SHALL MEET ALL A.D.A. REQUIREMENTS (5% MAX. LONGITUDINAL SLOPE AND 2% MAX. TRANSVERSE SLOPE).
- ALL NON-DIRECTIONAL WALKING SURFACES (OPEN AREAS/PLAZAS) SHALL BE CONSTRUCTED WITH 2% MAXIMUM SLOPE IN ANY GIVEN DIRECTION.
- ALL CONNECTIONS TO EXISTING SIDEWALK SHALL BE MATCHED IN ELEVATION AND SAWCUT WITH A CLEAN JOINT.
- BACKFILL MATERIAL UNDER PAVED AREAS SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- INSTALL DETECTABLE WARNING IN ACCORDANCE WITH FDOT SPECIFICATION 527
- PLACE DETECTABLE WARNING ACROSS THE FULL WIDTH OF THE WALKWAY TO A MINIMUM OF TWO (2) FEET MEASURE PERPENDICULAR TO THE CURB LINE AND NO GREATER THAN FIVE (5) FEET FROM THE BACK OF THE CURB OR EDGE OF PAVEMENT



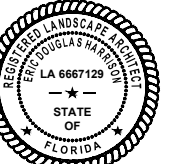
PROJECT INFORMATION

**ROYAL
POINCIANA WAY**

REVISIONS

**HARDSCAPE
DETAILS**

REGISTRATION
ERIC DOUGLAS HARRISON, RLA
REGISTRATION NO. 6667129
DATE: 1/23/2025



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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL
POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

VERIFY SCALES
0

REVISIONS

DATE OF ISSUE
1/17/25

DESIGNED BY
ESF/EDH

DRAWN BY
ESF/EDH

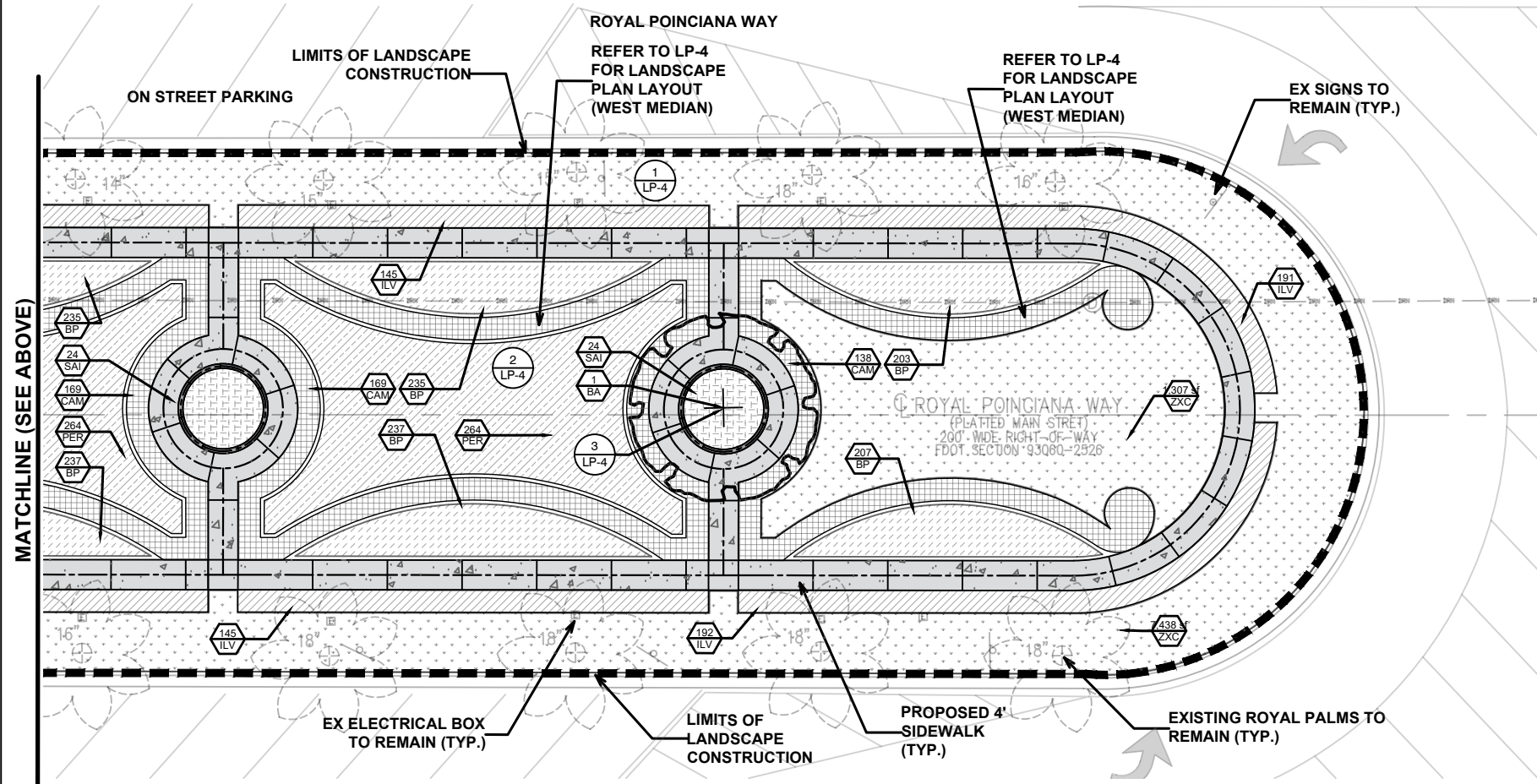
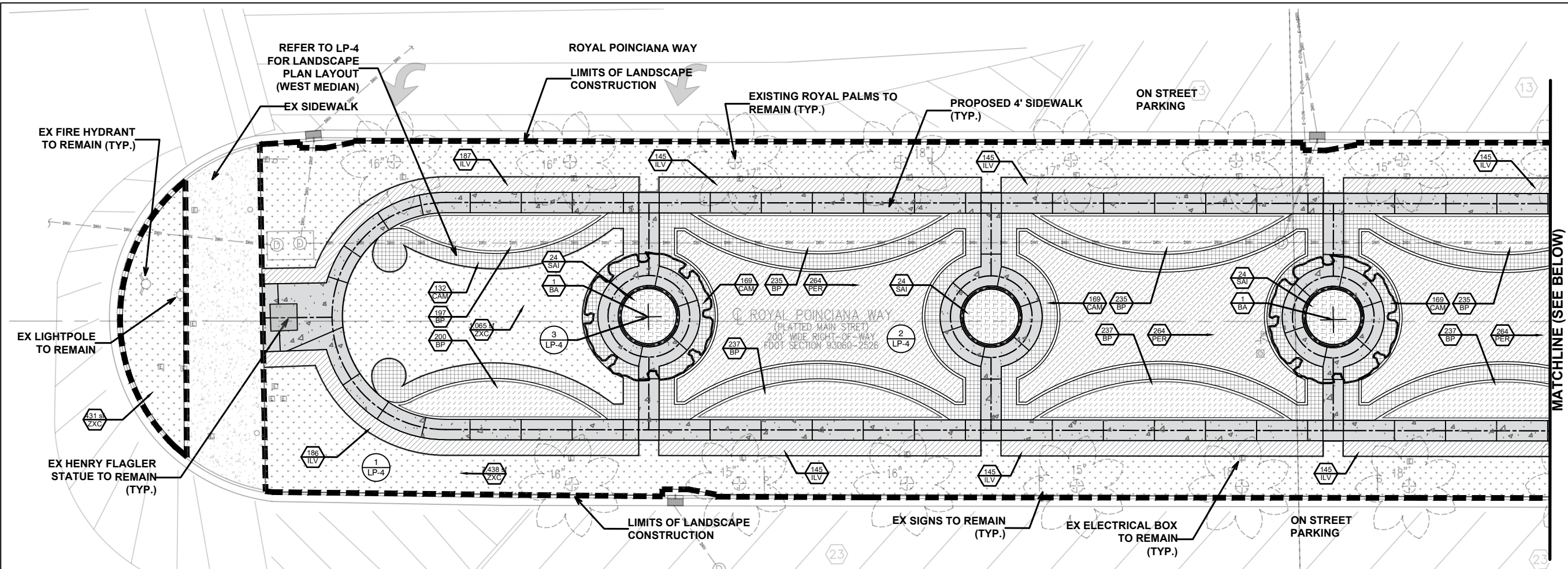
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DRAWING TITLE








LANDSCAPE PLAN

DRAWING NUMBER

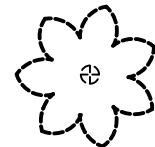
P-1



PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>
<u>TREES</u>			
	BA	Lignum Vitae	Bulnesia arborea
<u>SHRUB AREAS</u>			
	CAM	Fukien Tea	Carmona microphylla
	ILV	Yaupon Holly	Ilex vomitoria
	PER	See Perennial Mix Chart	Perennial Mix
	SAI	Indigo Spires Sage	Salvia x Indigo Series
<u>GROUND COVERS</u>			
	BP	Purple Prince Coral Creeper	Barleria repens 'Purple Prince'
<u>SOD</u>			
	ZXC	CitraZoy® Zoysia	Zoysia x 'CitraZoy'

EXISTING PLANT LEGEND:



Existing Royal Palms to Remain



GRAPHIC SCALE

0 5 10 20

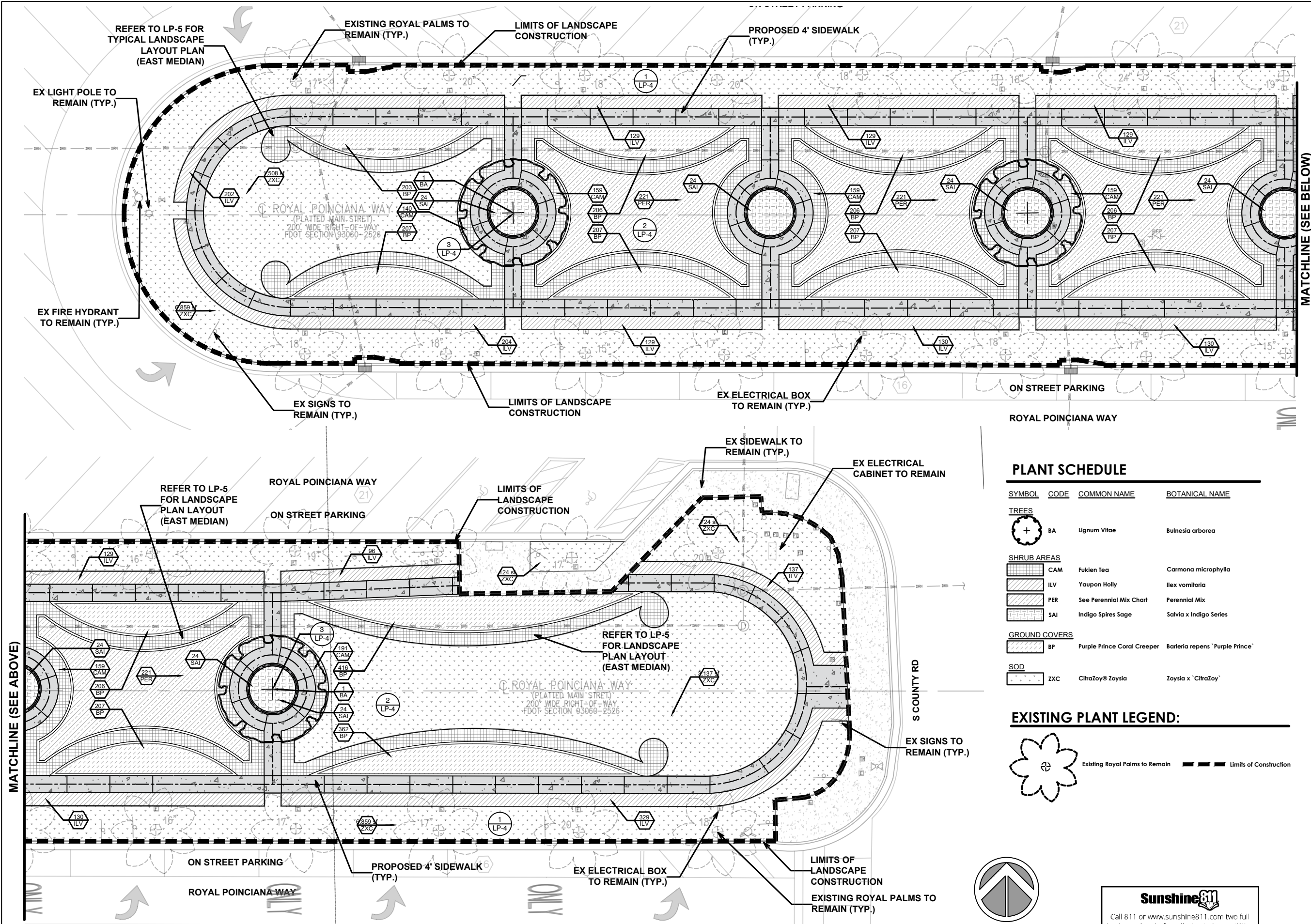
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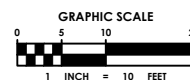
100% CONSTRUCTION DOCUMENTS/BID PLANS



PLANT SCHEDULE

SYMBOL	CODE	COMMON NAME	BOTANICAL NAME
TREES			
	BA	Lignum Vitae	Bulnesia arborea
SHRUB AREAS			
	CAM	Fukien Tea	Carmona microphylla
	ILV	Yaupon Holly	Ilex vomitoria
	PER	See Perennial Mix Chart	Perennial Mix
	SAI	Indigo Spires Sage	Salvia x Indigo Series
GROUND COVERS			
	BP	Purple Prince Coral Creeper	Barleria repens 'Purple Prince'
SOD			
	ZXC	CitraZoy® Zoysia	Zoysia x 'CitraZoy'

EXISTING PLANT LEGEND:



Sunshine811

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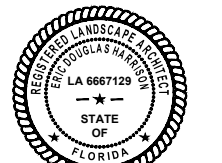
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100% CONSTRUCTION DOCUMENTS/BID PLANS

cma
chen moore and associates

500 West Cypress Creek Road
Suite 600
Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com

REGISTRATION
ERIC DOUGLAS HARRISON, RLA
REGISTRATION NO. 6667129
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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

VERIFY SCALES
0 1" = 1" (NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY)

REVISIONS

DATE OF ISSUE
1/17/25

DESIGNED BY
ESF/EDH

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ESF/EDH

CHECKED BY
ESF/EDH

DRAWING TITLE

LANDSCAPE PLAN

DRAWING NUMBER

LP-2
10 OF 26

Plot Date: 1/23/2025 3:13:21 PM Username: eferguson Layout Name: LP-3 Filename: 24-0431.00060 - Landscape Plan.dwg
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD Sheets

LANDSCAPE NOTES

1. GENERAL
- 1.1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:

1.1.1. THESE GENERAL NOTES, CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.

1.1.2. ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES AND REGULATIONS.
- 1.2. SOURCE OF BASE INFORMATION PROVIDED IS ASSUMED TO BE CORRECT. IF SITE DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY. IF CONTRACTOR CONTINUES WORK WITHOUT THE PROPER NOTIFICATION, CONTRACTOR DOES SO AT HIS OWN RISK.
- 1.3. THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT REQUIRED FOR THE WORK AS SHOWN ON THE CONSTRUCTION DOCUMENTS DESCRIBED HEREIN.
- 1.4. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUB-CONTRACTORS AS REQUIRED TO COMPLETE THE WORK OF THIS PROJECT.
- 1.5. CONTRACTOR SHALL VERIFY LOCATIONS OF PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER CONTRACTS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
- 1.6. CONTRACTOR TO NOTIFY "SUNSHINE STATE ONE CALL OF FLORIDA, INC." AT 1-800-432-4770 TWO FULL BUSINESS DAYS PRIOR TO DIGGING FOR UNDERGROUND UTILITY LOCATIONS.
- 1.7. CONTRACTOR IS RESPONSIBLE FOR DETERMINING ALL UTILITY LOCATIONS AND INSTALLING FACILITIES SO AS TO NOT CONFLICT. THE LOCATION OF EXISTING UTILITIES OR SITE FEATURES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS. ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF THE CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE LANDSCAPE ARCHITECT AND THE OWNER.
- 1.8. CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS, INCLUDING BUT NOT LIMITED TO, WATER, SANITARY SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE TV COMPANIES.
- 1.9. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
- 1.10. PERFORM EXCAVATION IN THE VICINITY OF UNDERGROUND UTILITIES WITH CARE AND BY HAND. IF NECESSARY, THE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OF DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AND AT NO EXPENSE TO THE OWNER.
- 1.11. THE SUCCESSFUL BIDDER SHALL FURNISH TO THE OWNER A UNIT PRICE BREAKDOWN FOR ALL MATERIALS. THE OWNER MAY, AT ITS DISCRETION, ADD OR DELETE FROM THE MATERIALS UTILIZING THE UNIT PRICE BREAKDOWN SUBMITTED.
- 1.12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL PERMIT CONDITIONS.

2. PRE-CONSTRUCTION RESPONSIBILITY

2.1. UPON RECEIPT OF NOTICE OF AWARD, THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, ALL AFFECTED UTILITY OWNERS, THE OWNER, THE LANDSCAPE ARCHITECT, ANY OTHER PERTINENT PARTIES AND HIMSELF.

2.2. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES ONSITE. LOCATION TO BE DETERMINED BY THE OWNER. JANITORIAL SERVICES SHALL BE PROVIDED BY CONTRACTOR THROUGHOUT THE DURATION OF PROJECT.

2.3. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL PREPARE AN EXISTING CONDITIONS VIDEO RECORDING AND VERIFY THE SIZE, LOCATION, ELEVATION, AND MATERIAL OF ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION.

2.4. IF UPON EXCAVATION, AN EXISTING UTILITY IS FOUND TO BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION OR TO BE OF A SIZE OR MATERIAL DIFFERENT FROM THAT SHOWN ON THE PLANS; THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.

2.5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR THE FIELD LOCATIONS AND FOR ANY TREES PROPOSED FOR RELOCATION. THIS SHALL BE DONE IN A TIMELY MANNER TO MINIMIZE IMPACT ON CONSTRUCTION SCHEDULE. ANY DELAY CAUSED BY THE CONTRACTOR BY THE RELOCATION OF TREES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

2.6. CONTRACTOR SHALL VERIFY LIMITS OF CONSTRUCTION AS NOTED ON THE PLANS. ANY WORK PERFORMED OUTSIDE OF THE AGREED UPON LIMITS OF CONSTRUCTION SHALL BE DONE AT THE EXPENSE OF THE CONTRACTOR.

3. SITE DEMOLITION

3.1. ITEMS SHALL REMAIN UNLESS OTHERWISE NOTED ON THE PLAN(S). REMOVE DESIGNATED ITEMS SHOWN ON THE PLAN TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS OTHERWISE NOTED.

3.2. ALL HARDSCAPE DESIGNATED FOR REMOVAL SHALL BE SAW CUT, LEAVING UNIFORM EDGES TO THE GREATEST EXTENT POSSIBLE. MATERIAL EDGES TO REMAIN SHALL BE SHORED UP AND PROTECTED DURING CONSTRUCTION TO PRESERVE EDGE INTACT. REPAIRS TO DAMAGED EDGES SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

3.3. NO EXISTING MATERIAL SHALL BE USED IN NEW CONSTRUCTION UNLESS NOTED ON THE PLANS OR APPROVED DURING THE SHOP DRAWING APPROVAL PROCESS.

3.4. SALVAGE EXISTING MATERIALS AS INDICATED ON THE PLANS. SALVAGED MATERIALS SHALL BE HANDLED WITH CARE AND STORED ON-SITE OR AS DIRECTED BY OWNER. CLEAN ALL DEBRIS AND CONSTRUCTION MATERIAL FROM SALVAGED ITEMS; REUSE AS DIRECTED BY OWNER'S REPRESENTATIVE.

3.5. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF AS REQUIRED BY LOCAL, STATE OR FEDERAL LAWS.

3.6. CONTRACTOR SHALL PROTECT ADJACENT WATER BODIES, COASTAL DUNE SYSTEMS AND PROPERTIES FROM DAMAGE BY SEDIMENTATION OR OTHER POTENTIAL CONSTRUCTION RELATED CAUSES.

3.7. ALL IRRIGATION IN DEMOLITION AREA TO BE CAPPED AND ADJUSTED AS NECESSARY TO ENSURE OVERALL SYSTEM IS NOT AFFECTED.

4. TREE PRESERVATION

4.1. ALL TREES TO BE PRESERVED AS INDICATED ON THE TREE DISPOSITION PLAN SHALL BE PROTECTED BY A TREE PROTECTION BARRICADE, UNLESS OTHERWISE NOTED ON PLAN.

4.2. TREE PROTECTION BARRICADES SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AROUND THE DRIP LINE OF EXISTING TREES TO BE PRESERVED IN PLACE, AS SHOWN ON PLAN. PRESERVATION BARRICADES SHALL BE LEFT IN PLACE THROUGHOUT DURING ALL PHASES OF CONSTRUCTION.

4.3. PRIOR TO ANY CONSTRUCTION A TREE PROTECTION BARRICADE INSPECTION SHALL BE CONDUCTED BY THE LANDSCAPE ARCHITECT, OWNER OR GOVERNING MUNICIPALITY. REFER TO PLANS FOR TREE PRESERVATION BARRICADE FENCING DETAIL.

4.4. IF EXCAVATION IN THE VICINITY OF A PROTECTED TREE IS REQUIRED, CONTRACTOR SHALL ROOT PRUNE TREES, UNDER THE SUPERVISION OF A CERTIFIED ARBORIST IN ACCORDANCE TO THE FOLLOWING CONDITIONS:

4.4.1. ROOT PRUNE TREES A MINIMUM OF EIGHT (8) WEEKS PRIOR TO CONSTRUCTION. PRIOR TO ROOT PRUNING, THOROUGHLY WATER THE ROOT ZONE WITH AT LEAST 2 TO 3 INCHES OF WATER FOR 2 TO 3 DAYS PRIOR TO ROOT PRUNING. SEE BELOW FOR RELOCATION TIMELINE.

1. PROVIDE TEMPORARY IRRIGATION FOR EACH TREE THROUGHOUT THE DURATION OF CONSTRUCTION.

2. ROOT PRUNE TREES, SHOWN ON PLAN IN AREAS WHERE ROOTS WILL CONFLICT WITH CONSTRUCTION ACTIVITY. PRUNING OF ROOTS SHOULD BE DONE IN A MANNER TO PRESERVE THE GREATEST AMOUNT OF THE ROOT BASE AS POSSIBLE.

3. BACKFILL TRENCH WITH PLANTING SOIL.

4. FERTILIZE WITHIN THE ROOT ZONE (SEE BELOW).

4.4.2. ROOT PRUNING SHALL BE ACCOMPLISHED BY DIGGING A TRENCH AROUND THE TREE IN AREAS WHERE PROPOSED SITE WORK WILL BE PERFORMED. TRENCHING SHALL BE AT A MINIMUM OF 24" DEEP. ROOT PRUNE ONLY WITH A MECHANICAL ROOT-PRUNING SAW OR A TRENCHER WITH A MAXIMUM TRENCH WIDTH OF 8".

4.4.3. ALL EXPOSED ROOTS SHALL BE CUT OFF SMOOTHLY, WITH SHARP INSTRUMENTS. BACKFILL TRENCHES WITH SOIL CONSISTING OF 30% SILICA SAND AND 70% MUCK. WATER THOROUGHLY AFTER ROOT PRUNING, AND ONCE WEEKLY DURING THE ROOT REGENERATION PERIOD, WITH A SOLUBLE FERTILIZER THAT HAS A 20.20.20 ANALYSIS AT MANUFACTURER'S RECOMMENDED RATE.

4.5. THE CONTRACTOR SHALL FIELD STAKE THE LIMIT OF ROOT PRUNING. LIMITS OF ROOT PRUNING SHALL BE APPROVED BY

- THE LANDSCAPE ARCHITECT PRIOR TO ANY EXCAVATION. DO NOT ROOT PRUNE FOR IRRIGATION OR ELECTRICAL LINES WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.
- 4.6. ROOT PRUNING SHALL OCCUR IN ACCORDANCE WITH TREE RELOCATION NOTES AS NOTED ON PLANS.

5. PLANTING SOIL

5.1. ALL TREES SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

5.2. ALL TREES AND SHRUBS SHALL BE PLANTED WITH A MINIMUM OF 6" TOPSOIL AROUND AND BENEATH THE ROOTBALL.

5.3. MINIMUM TOPSOIL SHALL BE 2" FOR SODDED GRASS AREAS.

5.4. PLANTING SOIL MIX SHALL BE A WEED FREE MIX AS FOLLOWS:

5.4.1. TREES: 40% SAND, 40% MUCK

5.4.2. PALMS: 80% SAND & 20% MUCK

5.4.3. TURF: 80% SAND, 20% MUCK

6. LANDSCAPE PLANTING

6.1. THIS PLAN HAS BEEN DESIGNED TO MEET OR EXCEED ALL APPLICABLE CODES.

6.2. THE PLANTING PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL EXISTING CODES AND APPLICABLE DEED RESTRICTIONS.

6.3. PLANT MATERIAL: ALL PLANT MATERIAL SHALL BE FLORIDA #1 OR BETTER AS ESTABLISHED BY "GRADES AND STANDARDS FOR NURSERY PLANTS" OF THE STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE.

6.4. ALL PLANT MATERIAL SHALL BE TRUE TO THE BOTANICAL NAME, GENUS, SPECIES AND/OR HYBRID DESIGNATION.

6.5. ALL TREES, SHRUBS AND GROUNDCOVERS SHALL BE OF THE SIZES (HEIGHT & SPREAD) AS SPECIFIED IN THE PLANT LIST. CONTAINER SIZE IS FOR REFERENCE PURPOSES ONLY. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE MINIMUM SIZES AT INSTALLATION, AS SPECIFIED IN THE PLANT LIST.

6.6. QUANTITIES LISTED ON THE PLANT LIST ARE FOR ESTIMATING PURPOSES. CONTRACTOR SHALL VERIFY ALL QUANTITIES. MULCH, TOPSOIL, FERTILIZER, ETC. SHALL BE INCLUDED IN THE UNIT COST OF THE PLANTS.

6.7. WHERE THERE IS A DISCREPANCY EITHER IN QUANTITIES, PLANT NAMES, SIZES OR SPECIFICATIONS BETWEEN THE PLAN OR PLANT LIST, THE PLAN TAKES PRECEDENCE.

6.8. ALL SUBSTITUTIONS AND CHANGES SHALL BE APPROVED IN WRITING PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN PLANS, SITE AND SPECIFICATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT, THE OWNER AND/OR GOVERNING MUNICIPALITY.

6.9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING FINAL GRADING OF ALL ASSOCIATED PLANTING AREAS.

6.10. AFTER FINAL GRADE, LANDSCAPE AREAS ARE TO BE RAKED TO A DEPTH OF 6". ALL ROCK AND FOREIGN INORGANIC MATERIALS SHALL BE REMOVED AND DISPOSED OF PROPERLY OFF-SITE.

6.11. ALL PLANTING HOLES TO BE HAND DUG EXCEPT WHERE MACHINE DUG HOLES WILL NOT ADVERSELY AFFECT EXISTING TREES, DAMAGE UTILITIES OR OTHER IMPROVEMENTS.

6.12. ALL PLANTING BEDS IN OPEN AREAS AND AROUND BUILDING FOUNDATIONS SHALL BE EXCAVATED TO A DEPTH OF TWENTY-FOUR INCHES (24") AND BACK FILLED WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

6.13. ALL PLANTING BEDS IN MEDIANS, HARDSCAPE AREAS OR AREAS ENCOMPASSED BY IMPERVIOUS MATERIAL SHALL BE EXCAVATED TO A DEPTH OF THIRTY-SIX INCHES (36") OR UNTIL NATIVE SOILS ENCOUNTERED TO ENSURE DRAINAGE. BACK FILL WITH SOIL MIX AS SPECIFIED IN SECTION 5.00. PLANTING BED SHALL BE FREE FROM ROCK, CONSTRUCTION DEBRIS OR OTHER EXTRANEIOUS MATERIAL.

6.14. EXCAVATE PLANTING PITS TO A DEPTH SO THAT THE TRUNK FLARE AND FIRST ORDER LATERAL ROOT(S) WILL BE PLANTED AT FINISH GRADE OR SLIGHTLY HIGHER. ADVENTITIOUS ROOTS ARE NOT CONSIDERED FIRST ORDER ROOTS.

6.15. BURLAP, SYNTHETIC STRING, CORDS AND/OR LIFTING ROPES SHALL BE REMOVED FROM THE ROOTBALLS BEFORE ANY TREES ARE PLANTED. THE TOP 1/3RD OF BURLAP MUST BE REMOVED FROM HE TOP OF THE ROOTBALLS. THE TOP 1/3RD OF WIRE BASKETS SHALL BE COMPLETELY REMOVED AND THE BOTTOM 2/3RDS SHALL BE CUT BEFORE THE TREES ARE INSTALLED.

6.16. NO PLUNGING OF ANY TREE OR PALM WILL BE ACCEPTED.

6.17. NO PLANT MATERIAL WILL BE ACCEPTED SHOWING EVIDENCE OF CABLE, CHAIN MARKS, EQUIPMENT SCARS, OR OTHERWISE DAMAGED.

6.18. PLANT MATERIAL WILL NOT BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN CRACKED, BROKEN OR OTHERWISE DAMAGED.

6.19. ALL TREES SPECIFIED AS FIELD GROWN OR B&B TREES SHALL BE ROOT-PRUNED AT THE NURSERY A MINIMUM OF (8) WEEKS PRIOR TO PLANTING.

6.20. ALL PLANT MATERIAL PLANTED WITHIN THE SIGHT DISTANCE TRIANGLE AREAS SHALL BE MAINTAINED TO PROVIDE UNOBSTRUCTED CROSS-VISIBILITY AT A HORIZONTAL LEVEL BETWEEN 30 INCHES AND 8 FEET ABOVE ADJACENT STREET GRADE.

6.21. NO CANOPY TREES SHALL BE PLANTED WITHIN 12 FEET OF A LIGHT POLE. NO PALM SPECIES SHALL BE PLANTED WITHIN 6 FEET OF A LIGHT POLE.

6.22. GROUND COVER PLANTINGS SHALL PROVIDE NOT LESS THAN 50 PERCENT COVERAGE IMMEDIATELY UPON PLANTING AND 100 PERCENT COVERAGE WITHIN 6 MONTHS AFTER PLANTING.

6.23. TREES AND PALMS SHALL BE MAINTAINED TO ALLOW FOR CLEAR PASSAGE 8' IN ALL PEDESTRIAN AREAS.

6.24. ALL LANDSCAPE MATERIAL SHALL BE SETBACK A MINIMUM OF 10' FROM ANY FIRE HYDRANT.

6.25. CONTRACTOR SHALL REMOVE ALL NURSERY STAKES, CONDUIT, FLAGGING AND NURSERY TAPE PRIOR TO STAKING.

6.26. CONTRACTOR SHALL STAKE & GUY ALL TREES AND PALMS AT TIME OF PLANTING AS PER THE APPROPRIATE DETAIL. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND/OR REPAIR OF ALL STAKING AND GUYING DURING WARRANTY PERIOD AND REMOVAL & DISPOSAL OF STAKING AFTER ESTABLISHMENT,WARRANTY PERIOD.

6.27. TREES THAT CANNOT STAND WITHOUT THE SUPPORT OF STAKES AND/OR GUYS SHALL BE REJECTED.

7. TURF GRASSES

7.1. ALL AREAS NOT USED FOR BUILDINGS, VEHICULAR USE AREAS, WALKWAYS OR PLANTING BEDS SHALL BE GRASSED. GRASSING SHALL EXTEND TO ANY ABUTTING STREET PAVEMENT EDGE AND TO THE MEAN WATERLINE OF ANY ABUTTING CANAL, LAKE OR WATERWAY. REFER TO PLANTING SCHEDULE FOR ESTIMATED QUANTITY AND SPECIES.

8. MULCH & FERTILIZER

8.1. ALL PLANTING BEDS AND WATER BASINS FOR TREES SHALL BE COVERED WITH MULCH SHALL BE SHREDDDED GRADE "A" EUCALYPTUS OR MELALEUCA MULCH, MANUFACTURED BY ACTION NURSERY PRODUCTS, INC., FORT MYERS, FL 33911, OR APPROVED EQUAL.

8.2. INDIVIDUAL TREES PLANTED IN LAWN AREAS SHALL BE MULCHED WITH A MINIMUM 3" DIAMETER MULCH RING.

8.3. MULCH SHALL NOT BE INSTALLED WITHIN 3" OF TREE TRUNKS.

8.4. FERTILIZER SHALL CONFORM AS FOLLOWS:

A. FERTILIZER CONTENT SHALL CONFORM TO THE FOLLOWING

CONSTITUENT	PERCENT	PRESENT BY WEIGHT
NITROGEN (N)	10	(50PERCENT IN SLOW RELEASE FORM)
PHOSPHORUS (P)	5	-----
POTASSIUM (K)	8	(50 PERCENT IN SLOW RELEASE FORM

(A) 50 PERCENT OF NITROGEN SHALL BE DERIVED FROM NATURAL ORGANIC SOURCE OF UREAFORM. 50 PERCENT OF NITROGEN SHALL BE DERIVED FROM SLOW RELEASE NITROGEN.

(B) AVAILABLE PHOSPHORUS SHALL BE DERIVED FROM SUPERPHOSPHATE, BONE MEAL, OR TANKAGE.

(C) POTASSIUM SHALL BE DERIVED FROM SULFUR-COATED POTASSIUM. 50 PERCENT OF POTASSIUM SHALL BE DERIVED FROM SLOW RELEASE POTASSIUM.

B. FERTILIZER SHALL BE DELIVERED IN MANUFACTURER'S STANDARD CONTAINER PRINTED WITH MANUFACTURER'S NAME, MATERIAL WEIGHT AND GUARANTEED ANALYSIS.

C. CONTROLLED-RELEASE FERTILIZER SHALL BE EQUAL TO THE FOLLOWING:

PRODUCT	MANUFACTURER
PALM MIX AND GENERAL FERTILIZER	ATLANTIC F.E.C.- 18375 S.W. 260 STREET HOMESTEAD, FL 33031

AGRIFORM 20-10-5 PLANTING TABLES SIERRA CHEMICAL CO., MILPITAS, CA 95035.

1. WATERING

1.1. ALL LANDSCAPED AREAS WILL BE IRRIGATED BY AN UNDERGROUND, AUTOMATIC, RUST-FREE IRRIGATION SYSTEM PROVIDING 100% COVERAGE AND 50% SPRAY OVERLAP. THE SYSTEM SHALL BE MAINTAINED IN GOOD WORKING ORDER AND DESIGNED TO MINIMIZE WATER ON IMPERVIOUS SERVICES AND NOT OVERSPRAY WALKWAYS. A RAIN SENSOR DEVICE SHALL BE INSTALLED TO OVERRIDE THE IRRIGATION CYCLE OF THE SYSTEM WHEN ADEQUATE RAINFALL HAS OCCURRED.

1.2. ALL PLANT MATERIAL SHALL BE WATERED AT TIME OF PLANTING IN ACCORDANCE WITH STANDARD NURSERY PRACTICES. IN ADDITION, CONTRACTOR WILL CONTINUE THE WATERING OF PLANT MATERIAL UNTIL SUBSTANTIAL COMPLETION AND THE LANDSCAPE IS TURNED OVER TO THE OWNER.

2. PROJECT CLOSOUT

2.1. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER. UPON FINAL CLEAN UP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

2.2. THE CONTRACTOR SHALL RESTORE, REPLACE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT, ANY PUBLIC OR PRIVATE PROPERTY DAMAGED BY THE WORK OF THE CONTRACTOR, HIS EQUIPMENT, EMPLOYEES OR THOSE OF HIS SUB-CONTRACTORS. THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT OF THE EXISTING ADJACENT AREAS. THE RESTORATION WORK SHALL BE AT THE CONTRACTOR'S EXPENSE. SUITABLE MATERIALS AND METHODS SHALL BE USED FOR SUCH RESTORATION.

2.3. WHERE MATERIAL OR DEBRIS HAS WASHED OR FLOWED INTO OR BEEN PLACED IN WATER COURSES, DITCHES, DRAINS, CATCH BASINS, OR ELSEWHERE AS A RESULT OF THE CONTRACTOR'S OPERATIONS, SUCH MATERIAL OR DEBRIS SHALL BE REMOVED AND SATISFACTORILY DISPOSED OF DURING PROGRESS OF THE WORK. THESE AREAS SHALL BE KEPT IN A CLEAN AND NEAT CONDITION.

2.4. THE CONTRACTOR SHALL MAINTAIN ACCURATE AND COMPLETE RECORDS OF WORK ITEMS COMPLETED.

2.5. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE LANDSCAPE ARCHITECT OF RECORD COMPLETE SETS OF "AS-BUILT" CONSTRUCTION DRAWINGS. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONED LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS INCLUDING PRODUCT/EQUIPMENT AS SPECIFIED OR REVISED DURING THE SHOP DRAWING SUBMITTAL PROCESS. AS-BUILT DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA REGISTERED LAND SURVEYOR.

3. GUARANTEE

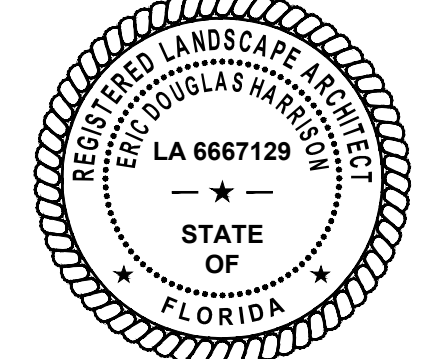
3.1. ALL NEW PLANT MATERIAL SHALL BE GUARANTEED FOR 1 YEAR FROM TIME OF FINAL ACCEPTANCE OF PROJECT. ANY PLANT MATERIAL NOT IN A HEALTHY GROWING CONDITION WILL BE REPLACED IN KIND BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITHIN 10 DAYS OF NOTIFICATION.

3.2. FOR ALL REPLACEMENT PLANT MATERIAL, THE WARRANTY PERIOD SHALL BE EXTENDED AN ADDITIONAL 90 DAYS BEYOND THE ORIGINAL WARRANTY PERIOD. REPLACEMENT MATERIAL SHALL BE REPLACED IN KIND AS IT RELATES TO SPECIES, QUANTITY AND SIZE.

3.3. ALL TREES THAT LEAN OR ARE BLOWN OVER, CAUSED BY WINDS LESS THAN 74 MPH AS DETERMINED BY THE NATIONAL HURRICANE CENTER, WILL BE RE-SET AND BRACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>REMARKS</u>	
TREES									
	BA	6	Lignum Vitae	Bulnesia arborea	FG	14' - 16' HT, 4" CAL	Yes		
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>SPACING</u>	<u>REMARKS</u>
SHRUB AREAS									
	CAM	1,912	Fukien Tea	Carmona microphylla	7 gal		No	24" o.c.	DENSLEY FOLIATED
	ILV	3,919	Yaupon Holly	Ilex vomitoria	3 gal		Yes	14" o.c.	DENSLEY FOLIATED
	PER	1,940	See Perennial Mix Chart	Perennial Mix	3 gal		No	24" o.c.	PHILLIPE VIOLET AFRICAN IRIS SCARLET SAGE WILD ALAMANDA WHITE GRAFFITI ASIAN SNOW JASMINE
	SAI	240	Indigo Spires Sage	Salvia x Indigo Series	3 gal		No	24" o.c.	
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON NAME</u>	<u>BOTANICAL NAME</u>	<u>CONT</u>	<u>SIZE</u>	<u>NATIVE</u>	<u>REMARKS</u>	
GROUND COVERS									
	BP	5,541	Purple Prince Coral Creeper	Barleria repens `Purple Prince`	1 gal	3"-4" HT	No		
SOD									
	ZXC	22,604 sf	CitraZoy® Zoysia	Zoysia x `CitraZoy`	Sod				

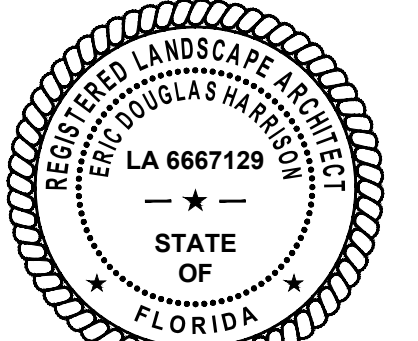


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PROJECT INFORMATION

ROYAL
POINCIANA WAY

REVISIONS



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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

VERIFY SCALES
0 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
1/17/25

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ESF/EDH

DRAWN BY
ESF/EDH

CHECKED BY
ESF/EDH

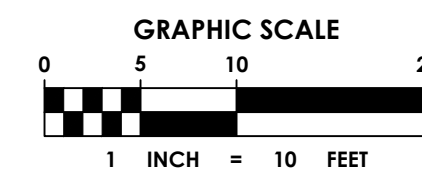
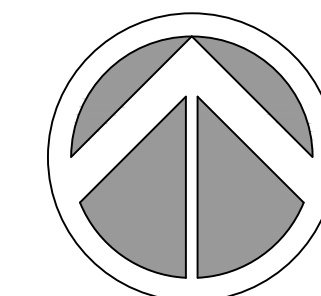
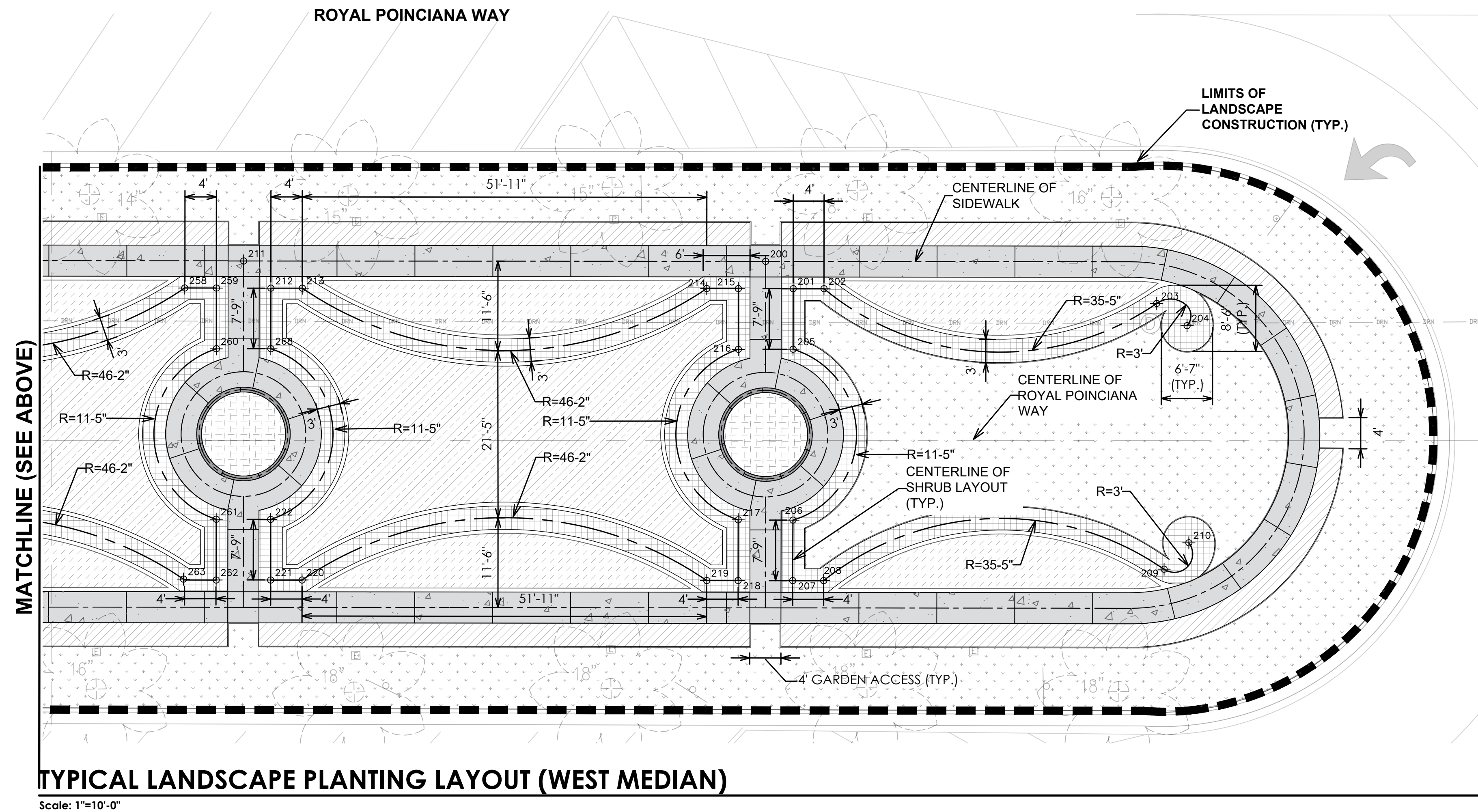
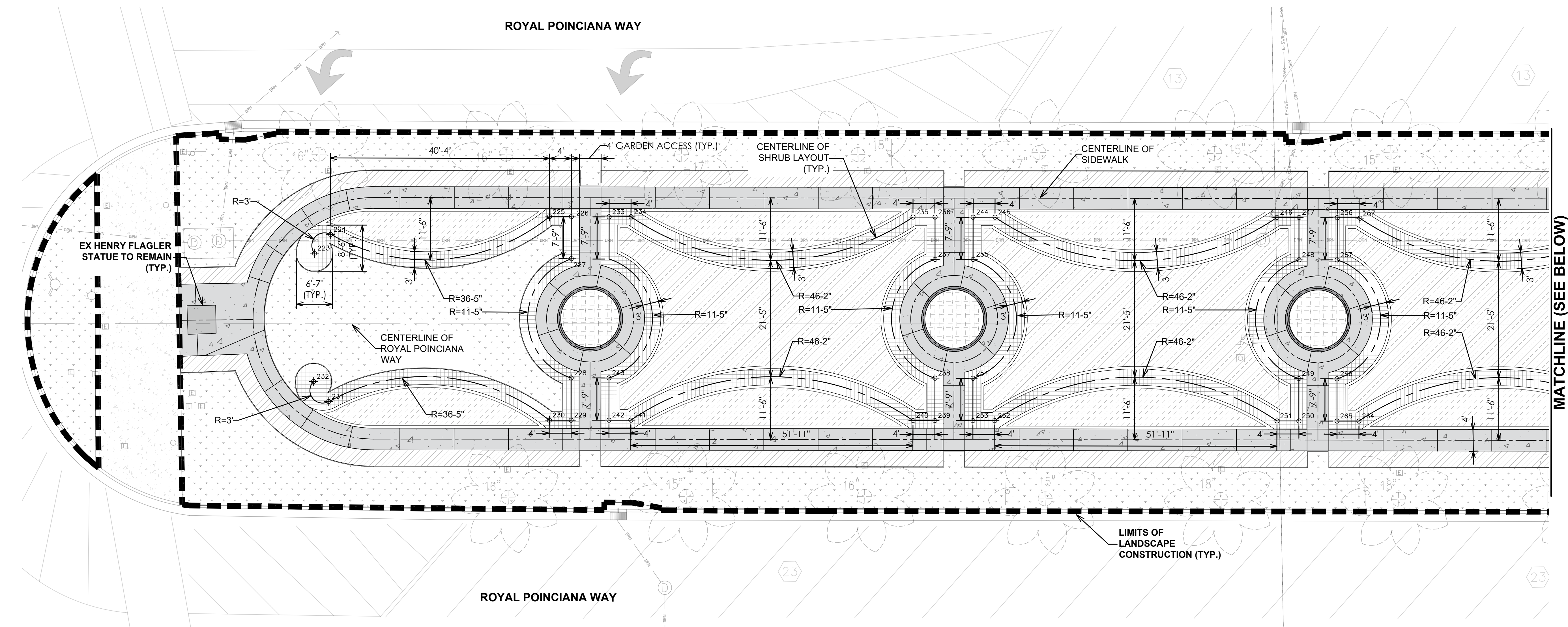
DRAWING TITLE

**WEST MEDIAN
LANDSCAPE
LAYOUT PLAN**

DRAWING NUMBER

LP-4

12 OF 26



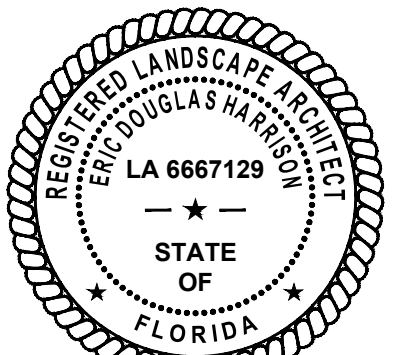
Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

GENERAL NOTE:

- ALL DIMENSIONS & NORTHERN/EASTING POINTS SHOWN ON PLANS ARE NOT FINAL. CHANGES MAY OCCUR INFELD THAT REQUIRE ADJUSTMENTS OR INFELD LAYOUT TO GET CORRECT PORTIONS.
- REFER TO SHEET LP-6 FOR NORTHERN AND EASTING POINTS SCHEDULE.



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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

VERIFY SCALES
0 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE
1/17/25

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DRAWING TITLE

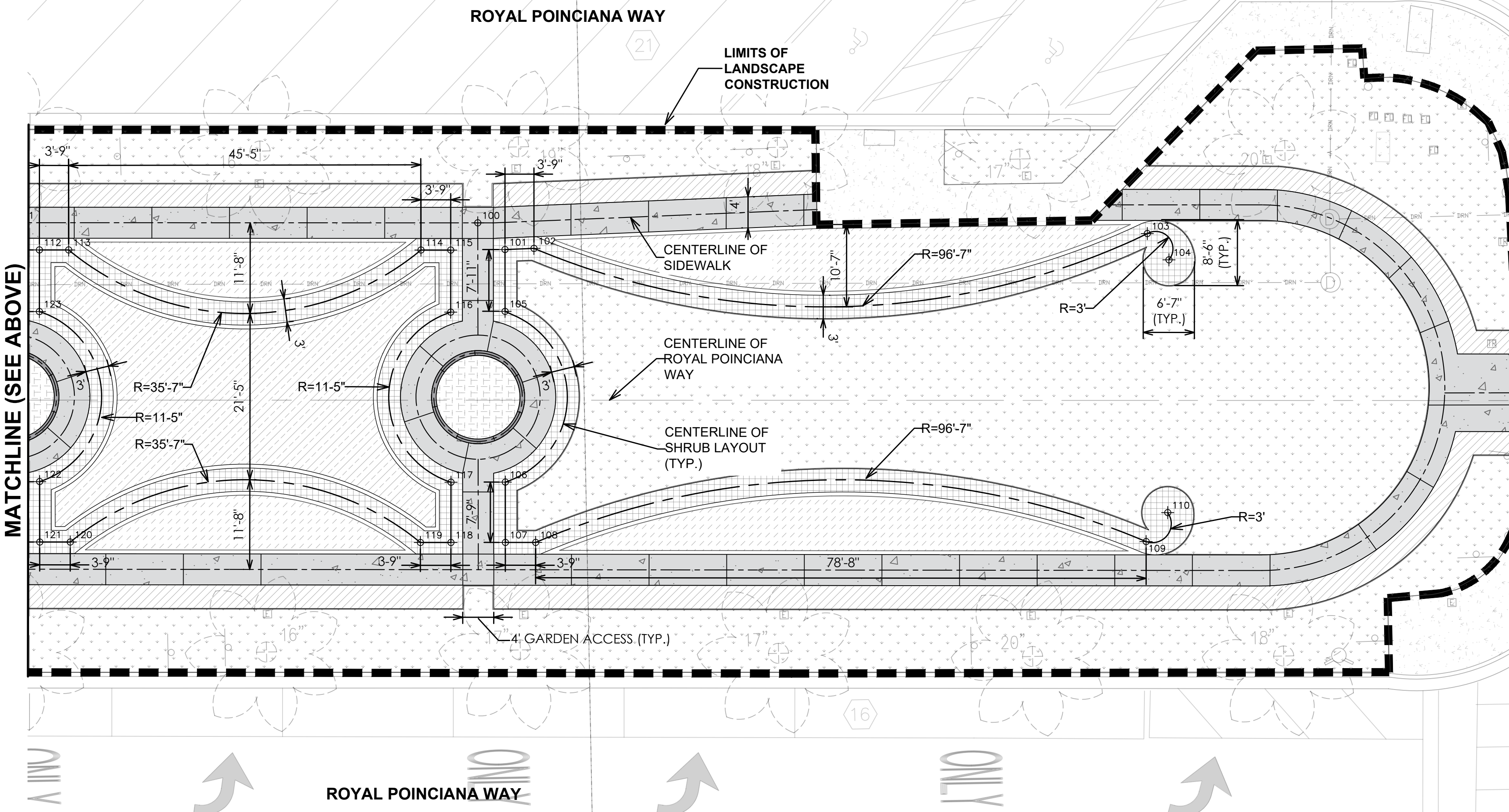
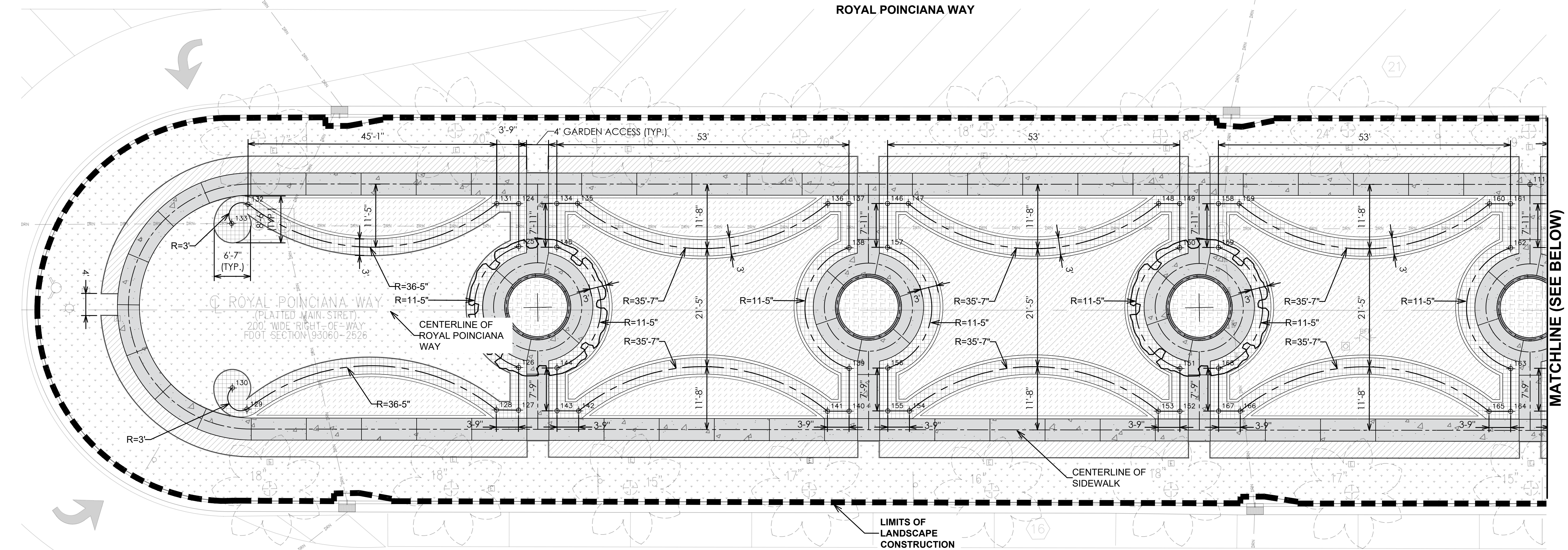
**EAST MEDIAN
LANDSCAPE
LAYOUT PLAN**

DRAWING NUMBER

LP-5

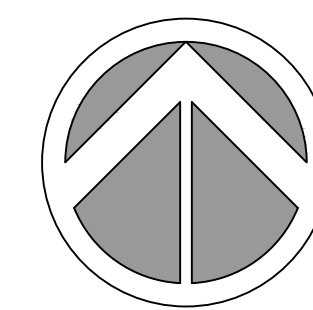
13 OF 26

ROYAL POINCIANA WAY

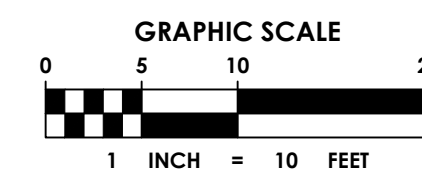


TYPICAL LANDSCAPE PLANTING LAYOUT (EAST MEDIAN)

Scale: 1"=10'-0"



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!



Plot Date: 1/23/2025 10:15:03 AM Username: eferguson Layout Name: LP-6
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD Sheets Filename: 24-0431.00060 - Landscape Plan.dwg

NORTHING/EASTING POINT SCHEDULE

POINT	DESCRIPTION	NORTHING	EASTING	POINT	DESCRIPTION	NORTHING	EASTING
100	East Median	N 867940.9242	E 970087.5957	208	West Median	N 867908.9631	E 969628.2933
101		N 867937.4153	E 970091.0331	209		N 867909.5966	E 969672.0042
102		N 867937.4985	E 970094.7682	210		N 867912.9242	E 969675.2438
103		N 867937.9049	E 970173.8129	211		N 867951.3900	E 969554.6512
104		N 867934.4651	E 970176.5376	212		N 867947.8313	E 969558.0779
105		N 867929.4534	E 970090.8952	213		N 867947.7615	E 969562.1105
106		N 867907.4577	E 970090.5097	214		N 867946.7211	E 969614.0017
107		N 867899.6849	E 970090.3679	215		N 867946.6395	E 969618.0578
108		N 867899.6079	E 970094.5885	216		N 867938.8458	E 969617.9084
109		N 867898.2234	E 970172.9122	217		N 867916.9724	E 969617.4779
110		N 867901.9009	E 970175.7595	218		N 867909.1783	E 969617.3217
111		N 867942.0803	E 970027.6382	219		N 867909.2557	E 969613.2922
112		N 867938.5134	E 970031.0617	220		N 867910.3104	E 969561.3668
113		N 867938.4406	E 970034.8303	221		N 867910.3844	E 969557.3316
114		N 867937.5630	E 970080.2150	222		N 867918.1667	E 969557.4871
115		N 867937.4876	E 970084.0410	223		N 867946.2185	E 969302.7546
116		N 867929.4843	E 970083.8955	224		N 867949.6310	E 969305.7803
117		N 867907.5709	E 970083.5086	225		N 867952.1091	E 969346.1341
118		N 867899.8100	E 970083.3528	226		N 867952.0294	E 969350.1436
119		N 867899.8860	E 970079.4234	227		N 867944.3138	E 969349.9898
120		N 867900.7959	E 970034.3161	228		N 867922.3490	E 969349.5545
121	West Median	N 867900.8747	E 970030.3882	229		N 867914.5715	E 969349.4004
122		N 867908.6618	E 970030.5232	230		N 867914.6549	E 969345.4088
123		N 867930.5715	E 970030.9082	231		N 867918.8669	E 969304.8550
124		N 867942.0882	E 969844.1766	232		N 867922.6053	E 969302.1405
125		N 867934.3078	E 969844.0224	233		N 867951.8922	E 969357.1097
126		N 867912.3517	E 969843.5882	234		N 867951.8224	E 969361.1424
127		N 867904.6048	E 969843.4280	235		N 867950.7821	E 969413.0335
128		N 867904.7181	E 969839.4005	236		N 867950.7004	E 969417.0897
129		N 867905.7167	E 969794.1698	237		N 867942.9067	E 969416.9403
130		N 867909.6237	E 969791.5855	238		N 867921.0334	E 969416.5097
131		N 867942.1676	E 969840.1718	239		N 867913.2392	E 969416.3535
132		N 867942.8981	E 969795.0612	240		N 867913.3166	E 969412.3241
133		N 867939.4722	E 969792.0537	241		N 867914.3714	E 969360.3986
134		N 867941.9845	E 969851.0774	242		N 867914.4453	E 969356.3634
135		N 867941.9117	E 969854.8460	243		N 867922.2276	E 969356.5189
136		N 867941.0341	E 969900.2307	244		N 867950.5441	E 969424.0953
137		N 867940.9587	E 969904.0567	245		N 867950.4743	E 969428.1280
138		N 867932.9554	E 969903.9111	246		N 867949.4339	E 969480.0191
139		N 867911.0420	E 969903.5243	247		N 867949.3523	E 969484.0753
140		N 867903.2811	E 969903.3685	248		N 867941.5586	E 969483.9259
141		N 867903.3571	E 969899.4391	249		N 867919.6852	E 969483.4954
142		N 867904.2670	E 969854.3318	250		N 867911.8910	E 969483.3391
143		N 867904.3458	E 969850.4038	251		N 867911.9685	E 969479.3097
144		N 867912.1329	E 969850.5389	252		N 867913.0232	E 969427.3843
145		N 867934.0426	E 969850.9239	253		N 867913.0972	E 969423.3491
146		N 867940.8331	E 969911.0648	254		N 867920.8795	E 969423.5045
147		N 867940.7602	E 969914.8334	255		N 867942.7784	E 969423.9390
148		N 867939.8827	E 969960.2181	256		N 867949.1769	E 969491.1017
149		N 867939.8072	E 969964.0441	257		N 867949.0150	E 969495.2633
150		N 867931.8039	E 969963.8985	258		N 867948.0668	E 969547.0255
151		N 867909.8906	E 969963.5117	259		N 867947.9851	E 969551.0817
152		N 867902.1297	E 969963.3558	260		N 867940.1915	E 969550.9323
153		N 867902.2056	E 969959.4265	261		N 867918.3181	E 969550.5017
154		N 867903.1155	E 969914.3192	262		N 867910.5239	E 969550.3455
155		N 867903.1944	E 969910.3912	263		N 867910.7176	E 969546.1546
156		N 867910.9814	E 969910.5263	264		N 867911.6561	E 969494.3906
157		N 867932.8912	E 969910.9112	265		N 867911.7301	E 969490.3554
158		N 867939.6643	E 969971.0589	266		N 867919.5124	E 969490.5109
159		N 867939.5914	E 969974.8275	267		N 867941.4113	E 969490.9454
160		N 867938.7139	E 970020.2122	268		N 867940.0656	E 969557.9216
161		N 867938.6384	E 970024.0382				
162		N 867930.6351	E 970023.8926				
163		N 867908.7218	E 970023.5058				
164		N 867900.9609	E 970023.3500				
165		N 867901.0368	E 970019.4206				
166		N 867901.9467	E 969974.3133				
167		N 867902.0256	E 969970.3853				
168		N 867909.8126	E 969970.5204				
169		N 867931.7224	E 969970.9054				
200		N 867950.0686	E 969621.6314				
201		N 867946.4975	E 969625.0882				
202		N 867946.4166	E 969629.0480				
203		N 867943.7181	E 969671.6982				
204		N 867940.7941	E 969675.5485				
205		N 867938.7276	E 969624.9294				
206		N 867916.7988	E 969624.5028				
207		N 867909.0411	E 969624.3221				

LANDSCAPE DETAILS:

1

SOD (AS SPECIFIED)

2

PLANTING MIX:
80% SILICA SAND, 20% ORGANIC

3

SIDEWALK OR CURB

4

SUB-BASE

5

NATIVE SOIL

1

2

3

4

5

1

SOD PLANTING

1

CALIPER MEASUREMENT IS 6" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER OR LESS.

2

CALIPER MEASUREMENT IS 12" FROM TOP OF ROOT BALL FOR TREES WITH 6" CALIPER GREATER.

REFER TO PLANT SCHEDULE FOR INDIVIDUAL SIZES.

1

DO NOT PRUNE CENTRAL LEADER

2

PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING USING ACCEPTABLE NURSERY PRACTICES OR AS DIRECTED BY THE LANDSCAPE ARCHITECT

3

PROTECT TRUNK WITH 3 LAYERS OF BURLAP MINIMUM

4

1" WIDE MIN. NYLON STRAPPING AT EQUAL SPACING (3 PER TREE) GUY WIRES SHALL NOT TO BE USED

5

FLUORESCENT MARKING FLAG

6

FINISH GRADE

7

3" LAYER OF SPECIFIED MULCH; DO NOT INSTALL WITHIN 3" OF TREE TRUNK

8

FERTILIZER TABLET IF APPLICABLE

9

CONSTRUCT TEMPORARY 3" WATERING BASIN

10

2"x4"x8" STAKE; SET 2" BELOW FINISH GRADE

11

SPECIFIED SOIL MIX

12

EXISTING SOIL

13

2X DIAMETER OF THE ROOTBALL

14

SET CROWN OF ROOT BALL SLIGHTLY ABOVE SURROUNDING FINISH GRADE. REMOVE TOP 2/3 OF BURLAP FROM ROOTBALL. TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION

15

SET ROOTBALL ON UNDISTURBED SOIL

16

REMOVE TOP 2/3 OF BURLAP/WIRE BASKET FROM ROOTBALL

17

CLEAR TRUNK; REFER TO PLANT SCHEDULE

3

LARGE TREE PLANTING: 2" CALIPER AND GREATER

ROOTBALL (TYP.)

CANOPY (TYP.)

MULCH BED (TYP.)

ON CENTER SPACING (TYP.)
REFER TO PLANT SCHEDULE

1

PLANT MATERIAL SHALL NOT BE PRUNED PRIOR TO INSTALLATION; AFTER PLANTS HAVE BEEN INSTALLED, EACH PLANT SHALL BE PRUNED FOR UNIFORMITY

2

SET CROWN OF ROOT SLIGHTLY ABOVE SURROUNDING FINISH GRADE; TRUNK TAPER SHALL BE VISIBLE AT TIME OF INSTALLATION

3

3" LAYER OF SPECIFIED MULCH; DO NOT INSTALL WITHIN 3" OF TREE TRUNK

4

CONSTRUCT TEMPORARY 3" WATERING BASIN

5

FINISH GRADE

6

FERTILIZER TABLET IF APPLICABLE.

7

BACKFILL WITH SPECIFIED SOIL MIX

8

EXISTING SOIL

9

2X DIAMETER OF THE ROOTBALL

2

SHRUB/GROUND COVER PLANTING & SPACING

Sunshine811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

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REGISTRATION NO. 6667129
DATE: 1/23/2025

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CLIENT
Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

**ROYAL
POINCIANA WAY**

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
PO 240844

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DRAWING TITLE

**NOTES &
LANDSCAPE
DETAILS**

DRAWING NUMBER
LP-6
14 OF 26

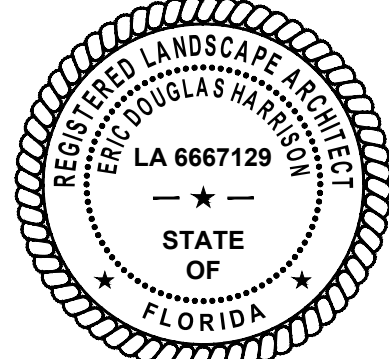
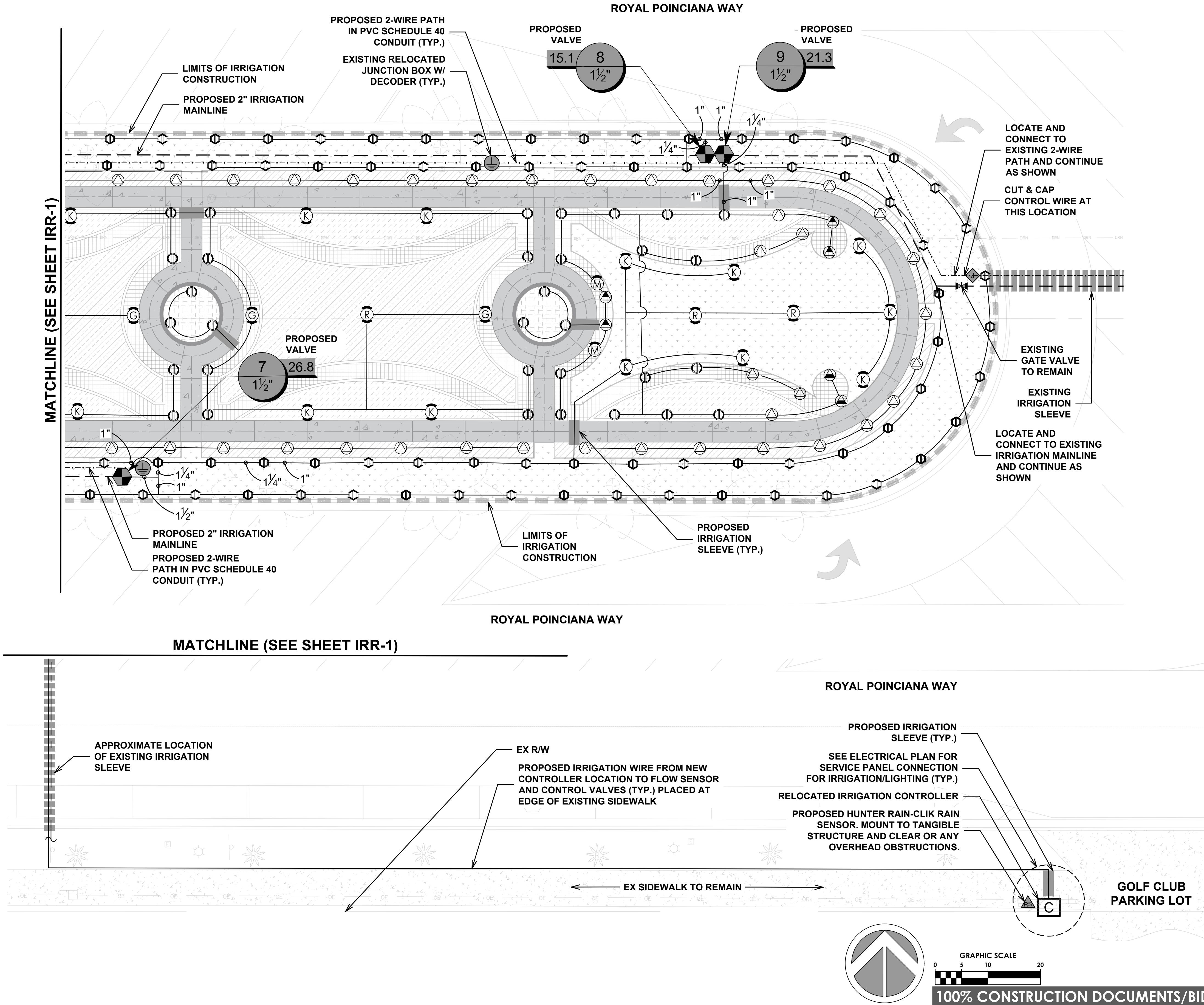
100% CONSTRUCTION DOCUMENTS/BID PLANS

IRRIGATION SCHEDULE: WEST MEDIAN

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter MP Strip PROS-06-PRS40-CV LST Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.
	Hunter MP Strip PROS-06-PRS40-CV RST Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip.
	Hunter MP1000 PROS-06-PRS40-CV M Turf Rotator, 6" (15.24 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.
	Hunter MP2000 PROS-06-PRS40-CV K Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP2000 PROS-06-PRS40-CV R Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP800SR PROS-06-PRS40-CV ADJ Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)
	Hunter MP Strip PROS-12-PRS40-CV LST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP Strip PROS-12-PRS40-CV RST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP Strip PROS-12-PRS40-CV SST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP1000 PROS-12-PRS40-CV M Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc on PRS40 body.
	Hunter MP2000 PROS-12-PRS40-CV G Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.
	Hunter MP2000 PROS-12-PRS40-CV K Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.
	Hunter MP2000 PROS-12-PRS40-CV R Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.
	Hunter MP800SR PROS-12-PRS40-CV ADJ Shrub Rotator, 12.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, OR = Orange adj arc 90 to 210.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Existing Remote Control Valve Existing remote control valve to remain.
	Hunter ICV-G-FS with ICD-100 Existing remote control valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with single station decoder.
	Hunter HQ-33DR Existing Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 2-piece body.
	Existing Leemco LGT2SS304X Stainless steel gate valve.
	Existing Zurn 950XL Double Check Valve Assembly
	Relocated Existing Hunter A2C-75D-M 2-Wire Decoder Controller with 75 station capacity, with PED-SS stainless pedestal.
	Existing Junction Box Standard size valve box with wire splice.
	Existing Junction Box with Decoder Grounding 10" round valve box with 5/8" x 8" copper grounding rod, 10 ohms resistance or less, install minimum of 8" from irrigation mainline, decoders, or remote control valves.
	Hunter RAIN-CLIK Rain Sensor, with conduit installation, mount as noted. Normally closed switch.
	Existing Hunter ICV-G w FS-100-B, ICD-100, ICD-SEN 1" remote control master valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with 1" brass flow sensor and sensor decoder.
	Water Meter 1-1/2" Existing Water Meter per City

	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: HDPE PE4710 DR 11 4" pipe sleeve for irrigation mainline, lateral lines, and wire conduit.
	Pipe Sleeve: PVC Schedule 40 2-wire path, 12 gauge, twisted pair. Color coded per valve schedule.
	Valve Callout Valve Number Valve Flow Valve Size



CLIENT

Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440

Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL
POINCIANA WAY

PROJECT NUMBER
24-0431.00060

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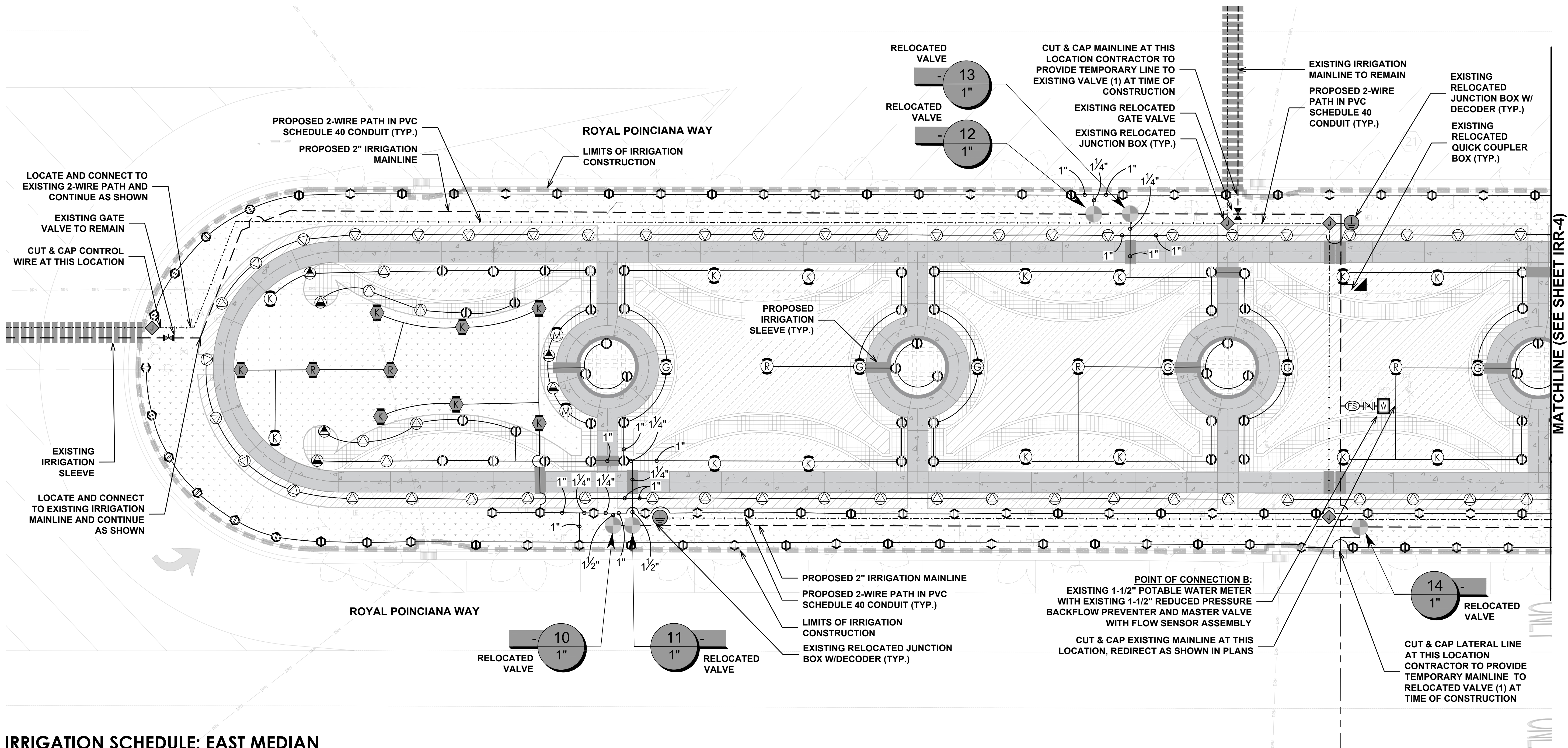
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IRRIGATION PLAN

DRAWING NUMBER
IRR-2
16 OF 26

Plot Date: 1/23/2025 10:15:21 AM Username: jcooper Layout Name: IRR-3
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD\Sheets
Filename: 24-0431.00060 - Irrigation Plan.dwg



IRRIGATION SCHEDULE: EAST MEDIAN

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter MP2000 PROS-06-PRS40-CV K Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP2000 PROS-06-PRS40-CV R Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP800SR PROS-06-PRS40-CV ADJ Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body, ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)
	Hunter MP Strip PROS-12-PRS40-CV LST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP Strip PROS-12-PRS40-CV RST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP Strip PROS-12-PRS40-CV SST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP1000 PROS-12-PRS40-CV M Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc on PRS40 body.
	Hunter MP2000 PROS-12-PRS40-CV G Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle, K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.



SYMBOL



MANUFACTURER/MODEL/DESCRIPTION
Existing Remote Control Valve Existing remote control valve to remain.
Hunter ICV-G-FS with ICD-100 Existing remote control valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with single station decoder.
Hunter HQ-33DRC Existing Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 2-piece body.
Existing Leemco LG122SS304X Stainless steel gate valve.
Existing Zurn 950XL Double Check Valve Assembly
Existing Junction Box Standard size valve box with wire splice.
Existing Hunter ICV-G w FS-100-B, ICD-100, ICD-SEN 1" remote control master valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with 1" brass flow sensor and sensor decoder.



Water Meter 1-1/2"
Existing Water Meter per City

Irrigation Lateral Line: PVC Schedule 40

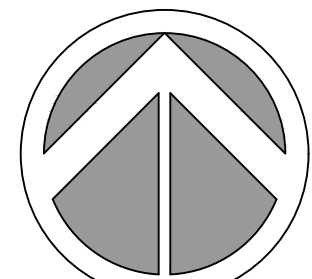
Irrigation Mainline: PVC Schedule 40

Pipe Sleeve: HDPE PE4710 DR 11
4" pipe sleeve for irrigation mainline, lateral lines, and wire conduit.

Pipe Sleeve: PVC Schedule 40
2-wire path, 12 gauge, twisted pair, Color coded per valve schedule.



Valve Callout
Valve Number
Valve Flow
Valve Size



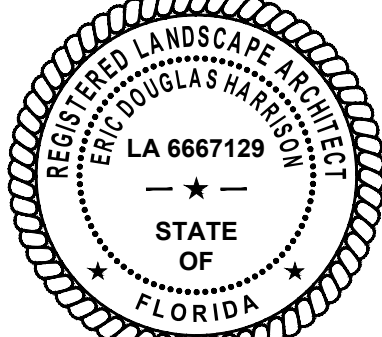
GRAPHIC SCALE
0 5 10 20
1 INCH = 10 FEET

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REGISTRATION NO. 6667129
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Project Manager:
Mike Roach, PE

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POINCIANA WAY**

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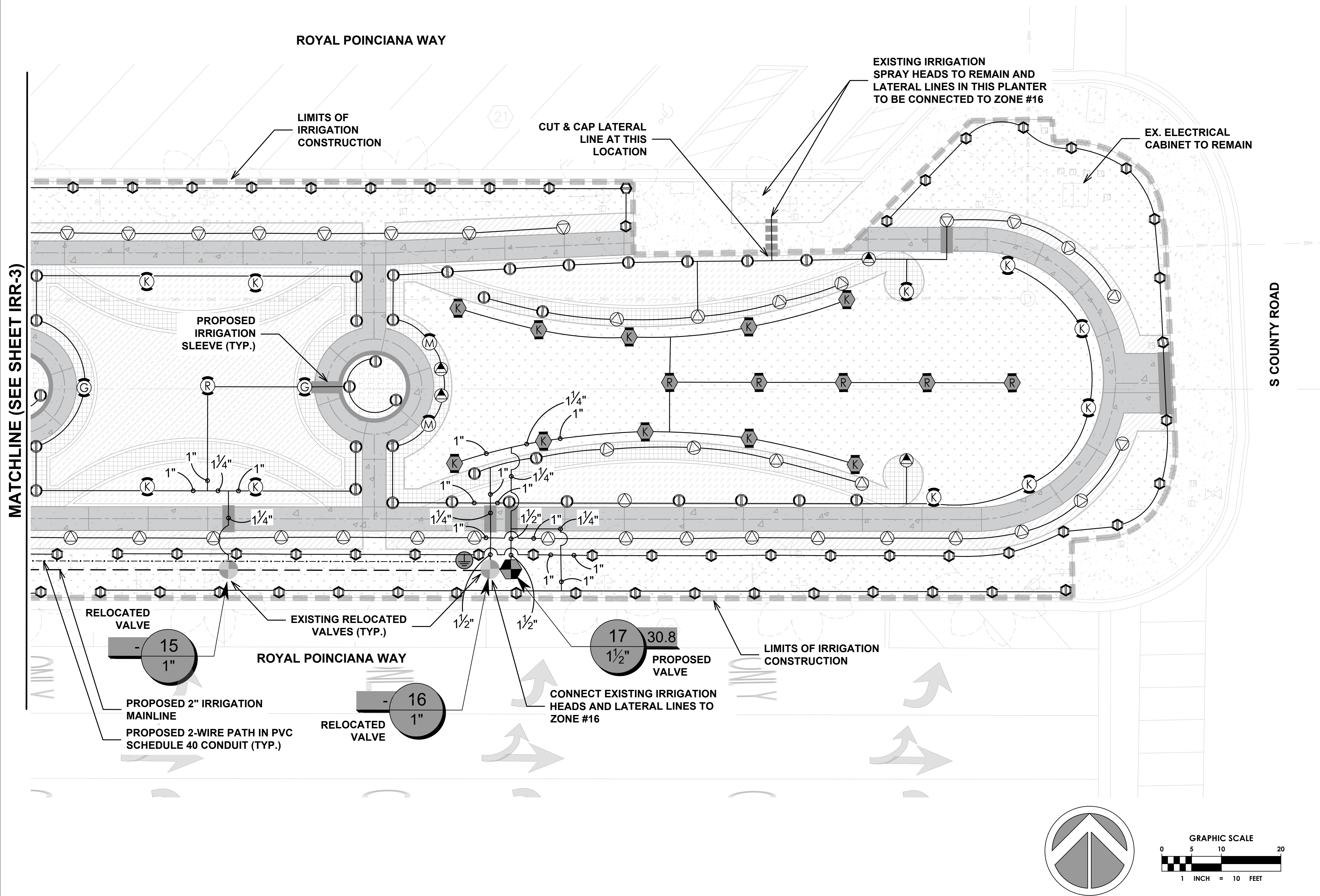
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IRRIGATION PLAN

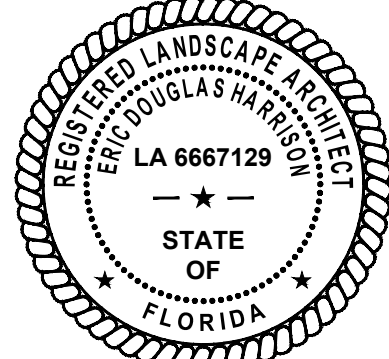
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IRR-3
17 OF 26



IRRIGATION SCHEDULE: EAST MEDIAN

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter MP2000 PROS-06-PRS40-CV K Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP2000 PROS-06-PRS40-CV R Turf Rotator, 6" (15.24 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.
	Hunter MP800SR PROS-06-PRS40-CV ADJ Turf Rotator, 6.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)
	Hunter MP Strip PROS-12-PRS40-CV LST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
	Hunter MP Strip PROS-12-PRS40-CV RST Shrub Rotator, 12" (30.48 cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip, on PRS40 body.
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	Hunter MP1000 PROS-12-PRS40-CV M Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc on PRS40 body.
	Hunter MP2000 PROS-12-PRS40-CV G Shrub Rotator, 12" (30.48 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.
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	Hunter MP800SR PROS-12-PRS40-CV ADJ Shrub Rotator, 12.0" pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. OR = Orange adj arc 90 to 210.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Existing Remote Control Valve Existing remote control valve to remain.
	Hunter ICV-G-FS with ICD-100 Existing remote control valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with single station decoder.
	Hunter HQ-33DRC Existing Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet. 2-piece body.
	Existing Leemco LGT22S304X Stainless steel gate valve.
	Existing Zurn 950XL Double Check Valve Assembly
	Existing Junction Box Standard size valve box with wire splice.
	Existing Hunter ICV-G w FS-100-B, ICD-100, ICD-SEN 1" remote control master valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet with 1" brass flow sensor and sensor decoder.
	Water Meter 1-1/2" Existing Water Meter per City
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: HDPE PE4710 DR 11 4" pipe sleeve for irrigation mainline, lateral lines, and wire conduit.
	Pipe Sleeve: PVC Schedule 40 2-wire path, 12 gauge, twisted pair. Color coded per valve schedule.
	Valve Callout Valve Number Valve Flow Valve Size



CLIENT

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Public Works
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West Palm Beach, FL 33401
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Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

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IRRIGATION PLAN

IRRIGATION SPECIFICATIONS

1. GENERAL

1.1. THE SYSTEM HAS BEEN DESIGNED TO CONFORM WITH THE REQUIREMENTS OF ALL APPLICABLE CODES. SHOULD ANY CONFLICT EXIST, THE REQUIREMENTS OF THE CODES SHALL PREVAIL. IT IS THE RESPONSIBILITY OF THE OWNER/INSTALLATION CONTRACTOR TO INSURE THE ENTIRE SYSTEM IS INSTALLED ACCORDING TO ALL APPLICABLE LAWS, RULES, REGULATIONS AND CONVENTIONS. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.

1.2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.

1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.

1.4. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE AND VERIFY PROPER CLEARANCE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.

1.5. THE CONTRACTOR MUST SUBMIT FOR APPROVAL, PRIOR TO INSTALLATION, COPIES OF THE MANUFACTURER'S CUT SHEETS/SPECIFICATIONS FOR ALL COMPONENTS TO BE USED IN THE IRRIGATION SYSTEM.

1.6. THE IRRIGATION CONTRACTOR SHALL BE CERTIFIED AS A CERTIFIED IRRIGATION CONTRACTOR BY THE IRRIGATION ASSOCIATION. THE CERTIFICATION SHALL BE CURRENT AND IN GOOD STANDING.
2. SCOPE OF WORK

2.1. THE WORK SPECIFIED IN THIS SECTION CONSISTS OF FURNISHING ALL COMPONENTS NECESSARY FOR THE INSTALLATION, TESTING, AND DELIVERY OF A COMPLETE, FULLY FUNCTIONAL AUTOMATIC LANDSCAPE IRRIGATION SYSTEM THAT COMPLETELY COMPLIES WITH THE 100% IRRIGATION PLANS, SPECIFICATIONS, NOTES, DETAILS AND ALL APPLICABLE LAWS, REGULATIONS, CODES AND ORDINANCES. THIS WORK SHALL INCLUDE, BUT NOT BE LIMITED TO, THE PROVIDING OF ALL REQUIRED MATERIAL (PIPE, VALVES, FITTINGS, CONTROLLERS, WIRE, PRIMER, GLUE, ETC.), LAYOUT, PROTECTION OF THE PUBLIC, EXCAVATION, ASSEMBLY, INSTALLATION, BACK FILLING, COMPACTING, REPAIR OF ROAD SURFACES, CONTROLLER AND LOW VOLTAGE FEEDS TO VALVES, CLEANUP, MAINTENANCE, GUARANTEE AND AS-BUILT PLANS.

2.2. ALL IRRIGATED AREAS SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE FROM A FULLY AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR AS SHOWN. THE RAIN SENSOR SHALL BE INSTALLED TO PREVENT ITS ACTIVATION BY ADJACENT HEADS. ALL WATERING PROCEDURES SHALL CONFORM TO LOCAL CODES, AS WELL AS THIS PROJECT'S REGIONAL WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS. ZONES ARE PRIORITIZED FIRST BY PUBLIC SAFETY AND THEN BY HYDRAULIC CONCERNS. THIS SEQUENCING WILL BE A MANDATORY PUNCH LIST ITEM. THESE PLANS HAVE BEEN DESIGNED TO SATISFY/EXCEED THE FLORIDA BUILDING CODE (FBC) APPENDIX F AND THE FLORIDA IRRIGATION SOCIETY STANDARDS AND SPECIFICATIONS FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS. FOURTH EDITION.

2.3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES 72 HOURS PRIOR TO COMMENCEMENT OF WORK.

2.4. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTION, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE DESIGN. SUCH OBSTRUCTIONS, OR DIFFERENCES, SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.

2.5. IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING SITE ITEMS DAMAGED BY THEIR WORK. IRRIGATION CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES AND LATERALS THROUGH WALLS, UNDER ROADWAYS AND PAVING, ETC.

2.6. THE CONTRACTOR SHALL TAKE IMMEDIATE STEPS TO REPAIR, REPLACE, OR RESTORE ALL SERVICES TO ANY UTILITIES WHICH ARE DISRUPTED DUE TO THEIR OPERATIONS. ALL COSTS INVOLVED IN DISRUPTION OF SERVICE AND REPAIRS DUE TO NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
3. SUBMITTALS

3.1. THE CONTRACTOR SHALL PROVIDE FOR APPROVAL PRIOR TO INSTALLATION, MANUFACTURER'S PRODUCT DESCRIPTION SHEETS/SPECIFICATIONS FOR ALL MAJOR COMPONENTS OF THE IRRIGATION SYSTEM. MODEL NUMBERS SHALL BE HIGHLIGHTED OR CIRCLED.

3.2. NO SUBSTITUTIONS OR DEVIATIONS FROM THE SPECIFIED BRANDS, MODELS, OR SIZES SHALL BE PERMITTED, EXCEPT WITH WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF RECORD.

3.3. ANY MAJOR DESIGN CHANGES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO CONSTRUCTION; CONTRACTOR PROCEEDS WITH CHANGES AT OWN RISK. DESIGN CHANGES, SUBSTITUTIONS, OR DEVIATIONS NOT APPROVED BY THE LANDSCAPE ARCHITECT OF RECORD WILL RESULT IN REJECTION AND REPLACEMENT OF MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
4. POST CONSTRUCTION DOCUMENTATION

4.1. DOCUMENTATION:

4.1.1. PROVIDE THE MANUFACTURERS' RECOMMENDED OPERATING INSTRUCTIONS FOR ALL MAJOR COMPONENTS INCORPORATED INTO THE IRRIGATION SYSTEM.

4.1.2. PROVIDE SYSTEM OPERATION MANUALS, MAINTENANCE SCHEDULES, RECOMMENDED SCHEDULE OF OPERATION INCLUDED AVERAGE APPLICATION RATES WITH SEASONAL ADJUSTMENTS FOR EACH ZONE.

4.1.3. PROVIDE ALL REQUIRED TESTING AND INSPECTION CERTIFICATES TO THE OWNER OR OWNER'S REPRESENTATIVE

4.2. AS-BUILT DRAWINGS: PROVIDE RECORD DRAWINGS AND PLANS SHOWING ALL CHANGES IN THE DESIGN TO INDICATE THE ACTUAL INSTALLATION AND LOCATION OF ALL EQUIPMENT AND MATERIALS. THE FOLLOWING SPECIFIC ITEMS MUST BE INCLUDED:

4.2.1. LOCATION AND SIZE OF MAINLINE PIPING, LATERAL PIPING, AND PIPE SLEEVING.

4.2.2. ISOLATION VALVES

4.2.3. REMOTE CONTROL VALVE LOCATIONS, SIZES, NUMBER, AND AREA OF COVERAGE SHOWN USING DIFFERENT COLORS.

4.2.4. SPLICE BOXES AND LOW VOLTAGE WIRING PATH.

4.2.5. CONTROLLER AND RAIN SHUTOFF DEVICES.

4.2.6. POINT OF CONNECTION INCLUDING THE TYPE OF WATER SOURCE, SIZE, FLOW RATE, AND OPERATING PRESSURE.

4.2.7. DATE AND SCALE.

4.2.8. CONTRACTOR'S NAME, ADDRESS, AND TELEPHONE NUMBER.

4.2.9. THE AS-BUILT DRAWINGS SHALL BE SIGNED BY A FLORIDA REGISTERED LANDSCAPE ARCHITECT OR PROFESSIONAL ENGINEER.

4.3. CONTRACTOR SHALL FURNISH FIVE EXTRA UNITS OF EACH TYPE OF POPUP SPRAY AND EMITTER THAT MATCH PRODUCTS INSTALLED AND THAT ARE PACKAGED WITH PROTECTIVE COVERING FOR STORAGE AND IDENTIFIED WITH LABELS DESCRIBING CONTENTS. INCLUDE TOOLS TO SERVICE THESE PRODUCTS.

5. FINAL ACCEPTANCE

5.1. FINAL ACCEPTANCE OF THE IRRIGATION SYSTEM WILL BE GIVEN AFTER THE FOLLOWING DOCUMENTS AND CONDITIONS HAVE BEEN COMPLETED AND APPROVED. FINAL PAYMENT WILL NOT BE RELEASED UNTIL THESE CONDITIONS ARE SATISFIED.

5.1.1. FINAL WALK-THRU AND CORRECTION OF ALL PUNCH LIST ITEMS.

5.1.2. COMPLETION AND ACCEPTANCE OF AS-BUILT RECORD DRAWINGS.

5.1.3. TURNOVER OF ALL REQUIRED PARTS AND TOOLS AS OUTLINED IN THE PROJECT SPECIFICATIONS.

6. GUARANTEE

6.1. FULLY WARRANT THE LANDSCAPE IRRIGATION SYSTEM FOR A PERIOD OF ONE (1) YEAR AFTER THE WRITTEN FINAL ACCEPTANCE.

6.2. DURING THE WARRANTY PERIOD, ENFORCE MANUFACTURER'S AND SUPPLIER'S WARRANTIES. MALFUNCTIONS, DEFICIENCIES, BREAKS, DAMAGES, DISREPAIR OR OTHER DISORDERS DUE TO MATERIALS, WORKMANSHIP, OR INSTALLATION BY THE CONTRACTOR AND HIS SUPPLIERS SHALL BE IMMEDIATELY AND PROPERLY CORRECTED.

6.3. REPAIR DAMAGES PROMPTLY WHICH ARE CAUSED BY SYSTEM MALFUNCTION.

7. POINT OF CONNECTION (P.O.C.)

7.1. THE POC'S ARE EXISTING 1-1/2" WATER METERS, UTILIZING AN EXISTING MUNICIPAL POTABLE WATER MAIN. THE POC SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 60 GPM AT 60 PSI. CONTRACTOR SHALL VERIFY THESE MINIMUM CONDITIONS CAN BE MET PRIOR TO BEGINNING IRRIGATION SYSTEM INSTALLATION.

7.2. ALL EXISTING WATER METERS ARE MAINTAINED BY THE CITY OF WEST PALM BEACH UTILITIES. CONTRACTOR TO PROVIDE COORDINATION AND ANY NECESSARY PERMITTING FOR WORK RELATED TO WATER METERS.

7.3. IF THE CONDITIONS CAN NOT BE MET, THE CONTRACTOR MUST NOTIFY THE DESIGNER PRIOR TO PROCEEDING WITH THE WORK. IF THE CONTRACTOR DOES NOT DO SO, THE CONTRACTOR PROCEEDS AT THEIR OWN RISK AND BECOMES RESPONSIBLE FOR ANY FUTURE WORK REQUIRED TO MAKE THE SYSTEM PERFORM AS REQUIRED.

8. PIPING

8.1. MAINLINE PIPE: PVC SCHEDULE 40, NON-GASKETED, SOLVENT WELD, WITH PVC SCHEDULE 40 FITTINGS.

8.2. LATERAL PIPE: PVC SCHEDULE 40, NON-GASKETED, SOLVENT WELD, WITH PVC SCHEDULE 40 FITTINGS.

8.3. THREADED PIPE: PVC SCHEDULE 80.

8.4. PIPE LOCATIONS SHOWN ON THE PLAN ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD, WHEN LAYING OUT MAINLINES PLACE A MAXIMUM OF 12" AWAY FROM EITHER THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR OTHER HARDSCAPE TO ALLOW FOR EASE IN LOCATING AND PROTECTION FROM PHYSICAL DAMAGE. INSTALL ALL LATERAL PIPE NEAR EDGES OF PAVEMENT OR AGAINST BUILDINGS WHENEVER POSSIBLE TO ALLOW SPACE FOR PLANT ROOT BALLS. ALWAYS INSTALL PIPING INSIDE PROJECT PROPERTY BOUNDARY.

8.5. PIPES SHALL ALWAYS BE PLACED IN PLANTING BEDS. IF IT IS NECESSARY TO HAVE PIPING UNDER HARDSCAPES, SUCH AS ROADS, WALKS, AND PATIOS, THE PIPES MUST BE SLEEVED USING SCH 40 PVC WITH THE SLEEVE DIAMETER BEING TWICE THE SIZE OF THE PIPE IT IS CARRYING WITH A MINIMUM SLEEVE SIZE OF 2".

8.6. PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.

8.7. CONTRACTOR TO ENSURE ALL MAINLINE PIPING IS PROPERLY RESTRAINED USING MECHANICAL JOINT FITTINGS, RESTRAINING COLLARS, THREADED RODS, THRUST BLOCKS, ETC., AS AND WHERE REQUIRED. CONTRACTOR SHALL REFER TO PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PRACTICES FOR FURTHER DIRECTION.

8.8. PVC PIPE JOINT COMPOUND AND PRIMER: SLOW-DRYING, HEAVY DUTY CEMENT AND TINTED (PURPLE) PRIMER THAT IS COMPATIBLE WITH THE CEMENT. THE PVC CEMENT SHALL BE WELD-ON 2711 GREY AND THE PRIMER SHALL BE WELD-ON P70 PURPLE PRIMER, OR APPROVED EQUALS.

8.9. MAIN LINE PIPE DEPTH MEASURED TO THE TOP OF PIPE SHALL BE 18" MINIMUM, 36" MINIMUM AT VEHICULAR CROSSINGS.

8.10. LATERAL LINE DEPTHS MEASURED TO TOP OF PIPE SHALL BE 12" MINIMUM, 30" MINIMUM AT VEHICULAR CROSSINGS.

9. LAYOUT

9.1. LAY OUT IRRIGATION SYSTEM MAINLINES AND LATERAL LINES. MAKE THE NECESSARY ADJUSTMENTS AS REQUIRED TO TAKE INTO ACCOUNT ALL SITE OBSTRUCTIONS AND LIMITATIONS PRIOR TO EXCAVATING TRENCHES.

9.2. STAKE ALL SPRINKLER HEAD LOCATIONS. ADJUST LOCATION AND MAKE THE NECESSARY MODIFICATIONS TO NOZZLE TYPES, ETC. REQUIRED TO INSURE 100% HEAD TO HEAD COVERAGE. REFER TO THE EDGE OF PAVEMENT DETAIL ON THE IRRIGATION DETAIL SHEET.

9.3. SPRAY HEADS SHALL BE INSTALLED 4" FROM SIDEWALKS OR CURBED ROADWAYS AND 12" FROM UNCURBED ROADWAYS.

9.4. SHRUB HEADS SHALL BE INSTALLED ON 3/4" SCH 40 PVC RISERS. THE RISERS SHALL BE SET AT A MINIMUM OF 18" OFF SIDEWALKS, ROADWAY CURBING, BUILDING FOUNDATIONS, AND/OR ANY OTHER HARDSCAPED AREAS. SHRUB HEADS SHALL BE INSTALLED TO A STANDARD HEIGHT OF 4" BELOW MAINTAINED HEIGHT OF PLANTS AND SHALL BE INSTALLED WITHIN PLANTED MASSES TO BE LESS VISIBLE AND OFFER PROTECTION. PAINT ALL SHRUB RISERS WITH FLAT BLACK OR FOREST GREEN PAINT, UNLESS IRRIGATION SYSTEM WILL BE INSTALLED FROM A REUSE WATER SYSTEM WITH PURPLE PVC RISERS.

9.5. LOCATE VALVES PRIOR TO EXCAVATION. INSURE THAT THEIR LOCATION PROVIDES FOR EASY ACCESS AND THAT THERE IS NO INTERFERENCE WITH PHYSICAL STRUCTURES, PLANTS, TREES, POLES, ETC. VALVE BOXES MUST BE PLACED A MINIMUM OF 12" AND A MAXIMUM OF 15" FROM THE EDGE OF PAVEMENT, CURBS, ETC., AND THE TOP OF THE BOX MUST BE 2" ABOVE FINISH GRADE. NO VALVE BOXES SHALL BE INSTALLED IN TURF AREAS WITHOUT APPROVAL BY THE IRRIGATION DESIGNER; ONLY IN SHRUB BEDS. NEVER INSTALL VALVE BOXES WITHIN A SPORTS FIELD OR DESIGNATED PLAY AREA.

10. ELECTRICAL POWER SUPPLY

10.1. ELECTRICAL SUPPLY FOR PROPOSED CONTROLLER IS EXISTING. CONTRACTOR TO REMOVE EXISTING CONTROLLER AND TURN OVER ALL EXISTING EQUIPMENT TO THE TOWN OF PALM BEACH.

10.2. ALL ELECTRICAL INSTALLATION TO COMPLY WITH THE NATIONAL ELECTRICAL CODE AND ANY AND ALL OTHER APPLICABLE ELECTRICAL CODES, LAWS AND REGULATIONS. A LICENSED ELECTRICIAN SHALL PERFORM ALL ELECTRICAL HOOK-UPS. POWER FOR THE CONTROLLER SHALL BE 120 VOLT, 20 AMP.

11. CONTROL WIRING

11.1. IRRIGATION CONTROL WIRE PATH SHALL BE TWISTED PAIR, SOLID-CORE, COLOR-CODED RED/BLUE PAIRS, ENCLOSED IN A COLOR-CODED PE SLEEVE SUITABLE FOR DIRECT BURIAL AND CONTINUOUS OPERATION AT RATED VOLTAGES. WIRING FROM DECODERS TO SOLENOIDS SHALL BE THERMOPLASTIC SOLID COPPER, SINGLE CONDUCTOR, LOW VOLTAGE IRRIGATION CONTROLLER WIRE SUITABLE FOR DIRECT BURIAL AND CONTINUOUS OPERATION AT RATED VOLTAGES.

11.2. ALL CONTROL WIRING SHALL BE PLACED IN 1" PVC SCHEDULE 40 GRAY ELECTRICAL CONDUIT. AT TURNS IN DIRECTION UTILIZE JUNCTION BOXES. VALVE AND JUNCTION BOX LOCATIONS MAY BE COMBINED.

11.3. TAPE AND BUNDLE CONTROL WIRES EVERY 10" AND RUN ADJACENT TO THE MAINLINE. AT ALL TURNS IN DIRECTION MAKE A 2' COIL OF WIRE. AT ALL VALVE BOXES COIL WIRE AROUND A 3/4" PIECE OF PVC PIPE TO MAKE A COIL USING 32 LINEAR INCHES OF WIRE. MAKE ELECTRICAL CONNECTIONS WITH 3M DBY/R CONNECTORS.

11.4. NUMBER ALL WIRES USING AN ELECTRICAL BOOK OF NUMBERS ACCORDING TO THE PLANS. NUMBER WIRES IN ALL VALVE BOXES, JUNCTION BOXES AND AT THE CONTROLLER.

11.5. WIRE SIZED, NUMBERED AND COLORED AS FOLLOWS:

#12 TWISTED PAIR: RED/BLUE

#12 COMMON, DECODER TO VALVE: BLACK

#12 CONTROL, DECODER TO VALVE: RED

12. GROUNDING

12.1. CONTRACTOR TO UTILIZE 4" X 96" X 0.06" COPPER GROUNDING PLATES, 5/8" X 10" COPPER CLAD GROUNDING RODS, 'ONE STRIKE' CAD WELLS AT ALL CONNECTION POINTS, #6 BARE COPPER WIRE, AND EARTH CONTACT MATERIAL. INSTALL THESE AND OTHER REQUIRED COMPONENTS AS OUTLINED IN THE DETAIL. CONTRACTOR TO VERIFY THAT THE EARTH TO GROUND RESISTANCE DOES NOT EXCEED 10 OHMS. CONTRACTOR SHALL PROVIDE A WRITTEN CERTIFICATION ON A LICENSED ELECTRICAL CONTRACTORS LETTER HEAD SHOWING THE DATE OF THE TEST, CONTROLLER LOCATION, AND TEST RESULTS. EACH CONTROLLER SHALL BE SO GROUNDED AND TESTED.

12.2. GROUNDING FOR DECODERS AND 2-WIRE PATH SHALL BE PROVIDED FOR EVERY 400 LINEAR FEET. DECODER GROUNDING SHALL INCLUDE A LINE SURGE PROTECTOR DECODER AND GROUNDING AS DESCRIBED IN 12.1, ABOVE TO ACHIEVE 10 OHMS OR LESS.

13. VALVES

13.1. SEQUENCE ALL VALVES SO THAT THE FARTHEST VALVE FROM THE P.O.C. OPERATES FIRST AND THE CLOSEST TO THE P.O.C. OPERATES LAST. THE CLOSEST VALVE TO THE P.O.C. SHOULD BE THE LAST VALVE IN THE PROGRAMMED SEQUENCE.

13.2. ADJUST THE FLOW CONTROL ON EACH RCV TO ENSURE SHUT OFF IN 10 SECONDS AFTER DEACTIVATION BY THE IRRIGATION CONTROLLER.

13.3. USING 3" HIGH NUMBER STENCILS, PAINT THE VALVE NUMBER IN WHITE ON THE LID OF EACH VALVE BOX.

14. EQUIPMENT

14.1. BUBBLERS SHALL BE INSTALLED USING SCH 80 NIPPLES AND SHALL BE PLACED AT THE BASE OF TREES FOR LOW LEVEL WATERING.

14.2. ALL POP-UP HEADS AND SHRUB RISERS SHALL BE PRESSURE COMPENSATING. ALL POP-UP HEADS SHALL BE MOUNTED ON FLEX-TYPE SWING JOINTS.

14.3. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS, AND IN ACCORDANCE WITH LOCAL AND STATE LAWS.

15. TRENCHING

15.1. EXCAVATE STRAIGHT AND VERTICAL TRENCHES WITH SMOOTH, FLAT OR SLOPING BOTTOMS. TRENCH WIDTH AND DEPTH SHOULD BE SUFFICIENT TO ALLOW FOR THE PROPER VERTICAL AND HORIZONTAL SEPARATION BETWEEN PIPING AS SHOWN IN THE PIPE INSTALLATION DETAIL ON THE DETAIL SHEET.

15.2. PROTECT EXISTING LANDSCAPED AREAS. REMOVE AND REPLANT ANY DAMAGED PLANT MATERIAL UPON JOB COMPLETION. THE REPLACEMENT MATERIAL SHALL BE THE SAME GENUS, SPECIES, AND SIZE OF THE MATERIAL IT IS REPLACING. THE FINAL DETERMINATION AS TO WHAT NEEDS TO BE REPLACED AND THE ACCEPTABILITY OF THE REPLACEMENT MATERIAL SHALL BE SOLELY DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.

16. INSTALLATION

16.1. CUT ALL PIPE SQUARE AND DEBURR. CLEAN PIPE AND FITTINGS OF FOREIGN MATERIAL. THEN APPLY A SMALL AMOUNT OF PRIMER WHILE ENSURING THAT ANY EXCESS IS WIPED OFF IMMEDIATELY. PRIMER SHOULD NOT PUDDLE OR DRIP FROM PIPE OR FITTINGS. NEXT APPLY A THIN COAT OF PVC CEMENT. FIRST APPLY A THIN LAYER TO THE PIPE, THEN A THIN LAYER INSIDE THE FITTING, AND FINALLY ANOTHER VERY THIN LAYER ON THE PIPE. INSERT THE PIPE INTO THE FITTING. INSURE THAT THE PIPE IS INSERTED TO THE BOTTOM OF THE FITTING, THEN TURN THE PIPE A 1/4 TURN AND HOLD FOR 10 SECONDS. MAKE SURE THAT THE PIPE DOESN'T RECEDE FROM THE FITTING. IF THE PIPE ISNT AT THE BOTTOM OF THE FITTING UPON COMPLETION, THE GLUE JOINT IS UNACCEPTABLE AND MUST BE DISCARDED.

16.2. PIPES MUST CURE A MINIMUM OF 30 MINUTES PRIOR TO HANDLING AND PLACING INTO TRENCHES. A LONGER CURING TIME MAY BE REQUIRED; REFER TO THE MANUFACTURER'S SPECIFICATIONS. THE PIPE MUST CURE A MINIMUM OF 24 HOURS PRIOR TO FILLING WITH WATER.

17. BACKFILLING

17.1. THE BACKFILL 6" BELOW AND 6" ABOVE ALL PIPING SHALL BE CLEAN SAND. ALL OTHER TRCNCH BACKFILL CAN BE NATIVE MATERIAL BUT SHALL NOT CONTAIN ANYTHING LARGER THAN 2" IN DIAMETER.

17.2. CONTRACTOR SHALL BACKFILL ALL PIPING, BOTH MAINLINE AND LATERALS, PRIOR TO PERFORMING ANY PRESSURE TESTS. THE PIPE SHALL BE BACKFILLED WITH THE EXCEPTION OF 2' ON EACH SIDE OF EVERY JOINT (BELL FITTINGS, 90'S, TEES, 45'S, ETC.). THESE JOINTS SHALL NOT BE BACKFILLED UNTIL ALL PIPING HAS SATISFACTORILY PASSED ITS APPROPRIATE PRESSURE TEST AS OUTLINED BELOW.

18. TESTING & FLUSHING

18.1. LEAKAGE TESTING

18.1.1. REMOVE ALL REMOTE CONTROL VALVES AND CAP USING A THREADED CAP. FILL MAINLINE WITH WATER AND PRESSURIZE THE SYSTEM TO 125 PSI. MONITOR THE SYSTEM PRESSURE AT TWO GAUGE LOCATIONS; THE GAUGE LOCATIONS MUST BE AT OPPOSITE ENDS OF THE MAINLINE. WITH THE SAME RESPECTIVE PRESSURES, MONITOR THE GAUGES FOR TWO HOURS.

18.1.2. PVC SOLVENT-WELD PIPE CONNECTIONS SHALL HAVE NO LEAKAGE. GASKETED PIPING SHALL LOSE NO MORE WATER THAN ALLOWED PER THE FLORIDA STATE BUILDING CODE, VOLUME II PLUMBING, PART VI, APPENDIX 'F'. REFER TO THIS SECTION FOR THE FORMULA TO BE USED TO CALCULATE THE MAXIMUM ALLOWABLE WATER LOSS DURING THE TESTING TIME.

18.1.3. REPAIR ALL LEAKS AND RETEST MAINLINE PIPING UNTIL THE TEST IS SUCCESSFUL.

18.1.4. LATERAL PIPE MUST BE FILLED AND VISUALLY CHECKED FOR LEAKS. ANY LEAKS DETECTED MUST BE REPAIRED. NO PRESSURE TEST OF THE LATERAL LINES IS REQUIRED.

18.2. FLUSHING:

18.2.1. PRIOR TO THE PLACEMENT OF HEADS, FLUSH ALL LINES FOR A MINIMUM OF 10 MINUTES OR UNTIL LINES ARE COMPLETELY CLEAN OF DEBRIS, WHICHEVER IS LONGER.

18.2.2. USE SCREENS IN HEADS AND ADJUST HEADS FOR PROPER COVERAGE AVOIDING EXCESS WATER ON WALLS, WALKS AND PAVING.

18.3. OPERATIONAL TESTING:

18.3.1. UPON COMPLETION OF BACKFILLING, FINISH GRADING AND CONTOURING, TEST THE ENTIRE SYSTEM FOR PROPER OPERATION, INCLUDING ELECTRICALLY ACTUATING THE REMOTE CONTROL VALVES. RUN EACH ZONE UNTIL WATER BEGINS TO PUDDLE OR RUN OFF. THIS WILL ALLOW DETERMINATION OF THE NUMBER OF IRRIGATION START TIMES NECESSARY TO MEET THE WEEKLY EVAPOTRANSPIRATION REQUIREMENTS OF THE PLANTING MATERIAL IN EACH ZONE. IN SANDY SOILS NO PUDDLING WILL OCCUR. IN THESE CASES, CALCULATE THE REQUIRED RUN TIMES.

18.3.2. ONCE THE MAINLINE AND LATERAL LINES HAVE PASSED THEIR RESPECTIVE TESTS AND THE SYSTEM IS COMPLETELY OPERATIONAL, A COVERAGE TEST AND DEMONSTRATION OF THE SYSTEM IS REQUIRED. THE IRRIGATION CONTRACTOR MUST DEMONSTRATE TO THE OWNER OR HIS/HER REPRESENTATIVE THAT PROPER COVERAGE IS OBTAINED AND THAT THE SYSTEM WORKS AUTOMATICALLY FROM THE CONTROLLER. THIS DEMONSTRATION REQUIRES THAT EACH ZONE BE TURNED ON IN THE PROPER SEQUENCE AS SHOWN ON THE PLANS FROM THE CONTROLLER. EACH ZONE WILL BE INSPECTED FOR PROPER COVERAGE AND FUNCTION. THE DETERMINATION OF PROPER COVERAGE AND FUNCTION WILL BE SOLELY DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE.

cma

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REGISTRATION
ERIC DOUGLAS HARRISON, RLA
REGISTRATION NO. 6667129
DATE: 1/23/2025

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CLIENT

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PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER

VERIFY SCALES
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DATE OF ISSUE
1/17/25

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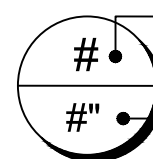
DRAWING TITLE

IRRIGATION SPECIFICATIONS

DRAWING NUMBER
IRR-5
19 OF 26

100% CONSTRUCTION DOCUMENTS/BID PLANS

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	ARC	PSI	GPM	RADIUS
	Hunter MP Strip PROS-06-PRS40-CV LST	2	LCS	40	0.22	5'x15'
	Hunter MP Strip PROS-06-PRS40-CV RST	1	RCS	40	0.22	5'x15'
	Hunter MP1000 PROS-06-PRS40-CV M	4	90-210	40		14'
	Hunter MP2000 PROS-06-PRS40-CV K	28	90-210	40		19'
	Hunter MP2000 PROS-06-PRS40-CV R	9	360	40	1.48	19'
	Hunter MP800SR PROS-06-PRS40-CV ADJ	311	Adj	40		10'
	Hunter MP Strip PROS-12-PRS40-CV LST	10	LCS	40	0.22	5'x15'
	Hunter MP Strip PROS-12-PRS40-CV RST	16	RCS	40	0.22	5'x15'
	Hunter MP Strip PROS-12-PRS40-CV SST	182	SST	40	0.44	5'x30'
	Hunter MP1000 PROS-12-PRS40-CV M	8	90-210	40		14'
	Hunter MP2000 PROS-12-PRS40-CV G	16	210-270	40		19'
	Hunter MP2000 PROS-12-PRS40-CV K	47	90-210	40		19'
	Hunter MP2000 PROS-12-PRS40-CV R	10	360	40	1.48	19'
	Hunter MP800SR PROS-12-PRS40-CV ADJ	158	Adj	40		10'
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
	Existing Remote Control Valve Existing remote control valve to remain.	13				
	Hunter ICD-100 Existing remote control valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with single station decoder.	4				
	Hunter HQ-33DRC Existing Quick coupler valve, yellow rubber cover, red brass and stainless steel, with 3/4" NPT inlet, 2-piece body.	2				
	Existing Leemco LGT22SS304X Stainless steel gate valve.	4				
	Existing Zurn 950XL Double Check Valve Assembly	2				
	Relocated Existing Hunter A2C-75D-M 2-Wire Decoder Controller with 75 station capacity, with PED-SS stainless pedestal.	1				
	Existing Junction Box Standard size valve box with wire splice.	9				
	Existing Junction Box with Decoder Grounding 10" round valve box with 5/8" x 8" copper grounding rod, 10 ohms resistance or less. Install minimum of 8' from irrigation mainline, decoders, or remote control valves.	2				
	Hunter RAIN-CLIK Rain Sensor, with conduit installation, mount as noted. Normally closed switch.	1				
	Existing Hunter ICD-100 1" remote control master valve, glass-filled nylon construction, globe configuration, NPT threaded inlet/outlet, with 1" brass flow sensor and sensor decoder.	2				
	Water Meter 1-1/2" Existing Water Meter per City	2				
	Irrigation Lateral Line: PVC Schedule 40	9,181 l.f.				
	Irrigation Mainline: PVC Schedule 40	1,282 l.f.				
	Pipe Sleeve: HDPE PE4710 DR 11 4" pipe sleeve for irrigation mainline, lateral lines, and wire conduit.	547.8 l.f.				
	Pipe Sleeve: PVC Schedule 40 2-wire path, 12 gauge, twisted pair. Color coded per valve schedule.	262.0 l.f.				
	Valve Callout Valve Number Valve Flow Valve Size					

GENERAL NOTES

- EXISTING CONDITIONS PRESENTED ARE BASED ON G.I.S. INFORMATION, FIELD VISITS, AND RECORD DRAWINGS PROVIDED BY UTILITY COMPANIES.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING SITE FEATURES AND UTILITIES.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO ENSURE PROPER SAFETY AND WORKMANSHIP WHEN WORKING IN THE VICINITY OF EXISTING UTILITY LINES.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH FPL ON ANY WORK IN THE VICINITY OF OVERHEAD OR UNDERGROUND POWER LINES.
- CONTRACTOR SHALL VERIFY PROPER CLEARANCE BELOW EXISTING OVERHEAD POWER LINES PRIOR TO WORKING WITHIN THE VICINITY THE POWER LINES.
- MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO THE IRRIGATION SPECIFICATIONS AND DETAILS.
- IF IT IS NECESSARY TO HAVE PIPING UNDER HARDSCAPE ITEMS, SUCH AS ROADS, WALKS AND PATIOS, THE PIPES MUST BE SLEEVED WITH THE SLEEVE DIAMETER BEING AT LEAST TWICE THE SIZE OF THE PIPE IT IS CARRYING.
- ANY MAJOR DESIGN CHANGES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT OF RECORD PRIOR TO CONSTRUCTION; CONTRACTOR PROCEEDS WITH CHANGES AT OWN RISK.
- NO SUBSTITUTIONS SHALL BE PERMITTED, EXCEPT WITH WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF RECORD.
- CONTRACTOR TO REPLACE ALL TURF AND SHRUBS DAMAGED FROM THE REMOVAL OF EXISTING IRRIGATION SYSTEM AND THE INSTALLATION OF PROPOSED IRRIGATION SYSTEM.
- CONTRACTOR TO PHASE THE DEMOLITION OF EXISTING IRRIGATION SYSTEM AND THE INSTALLATION OF PROPOSED IRRIGATION SYSTEM BY MEDIAN IN ORDER TO LIMIT CONSTRUCTION ACTIVITY AND IMPACTS TO THE VISUAL APPEARANCE OF TURF AREAS ALONG ROYAL PALM WAY. CONTRACTOR TO SUBMIT PHASING PLAN TO TOWN OF PALM BEACH FOR APPROVAL.
- THE CONTRACTOR TO PROVIDE PROTECTIVE MEASURES FOR ALL DECORATIVE POTS AND STATUE WITHIN THE LIMITS OF CONSTRUCTION FOR THE DURATION OF THE PROJECT. ANY DAMAGE TO THESE ITEMS AS A RESULT OF THE CONSTRUCTION ACTIVITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR REPLACEMENT IN KIND.

MAINTENANCE OF TRAFFIC

- MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) DESIGN STANDARDS INDEX 600 SERIES, 2020-21 EDITION OF THE STANDARD PLANS.
- NO EXCAVATIONS WILL BE CONDUCTED WITHIN THE ROADWAY OF ROYAL POINCIANA WAY. MOVEMENTS OF CONSTRUCTION VEHICLES AND STAGING OF EQUIPMENT SHALL BE FOR NO LONGER THAN 60 MINUTES. OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH FDOT DESIGN STANDARD INDEX 602.
- CONTRACTOR RESPONSIBLE FOR ACQUIRING FDOT AND TOWN OF PALM BEACH RIGHT OF WAY PERMITS. AS A CONDITION OF THE TOWN ROW PERMIT REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING WEEKLY TRAFFIC UPDATES TO THE TOWN FOR THE DURATION OF THE PROJECT.

VALVE SCHEDULE

	NUMBER	MODEL	SIZE	TYPE	GPM	PSI
EXISTING	1	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	24.49	42.6
	2	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	24.2	42.3
	3	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	19.02	42.9
	4	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	17.91	42.8
	5	Hunter ICDV-G-FS with ICD-100	1-1/2"			1.5
EXISTING PROPOSED	6	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	25.57	46.4
	7	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	26.79	45.0
	8	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	15.14	42.2
	9	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	21.26	42.3
	10	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	28.48	43.2
	11	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	27.81	42.8
	12	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	15.13	42.8
	13	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	19.51	43.3
	14	Hunter ICDV-G-FS with ICD-100	1-1/2"			1.5
	15	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	15.76	44.5
	16	Hunter ICDV-G-FS with ICD-100	1-1/2"	Shrub Rotary	28.29	44.4
	17	Hunter ICDV-G-FS with ICD-100	1-1/2"	Turf Rotary	30.85	43.6

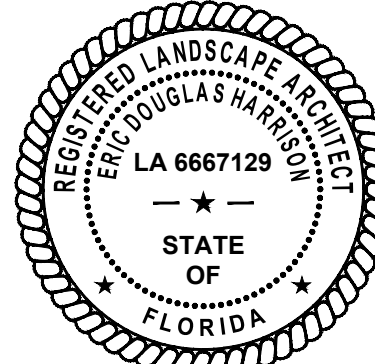
AREAS AND QUANTITIES HAVE BEEN PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR TO PROVIDE TOTAL QUANTITIES REQUIRED FOR COMPLETE IRRIGATION SYSTEM AND SITE RESTORATION. TOWN OF PALM BEACH MAY MODIFY QUANTITIES AS NECESSARY.

FDOT GENERAL NOTES

- GOVERNING STANDARD PLANS:
FLORIDA DEPARTMENT OF TRANSPORTATION, FY 2024-25 STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REVISIONS (IRS).
WEBSITE: <https://www.fdot.gov/design/standardplans>
- GOVERNING STANDARD SPECIFICATIONS:
FLORIDA DEPARTMENT OF TRANSPORTATION, JULY 2024 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
WEBSITE: <https://www.fdot.gov/programmanagement/implemented/specbooks>
- CONTRACTOR SHALL REPAIR ALL DAMAGE DONE TO FDOT PROPERTY DURING DEMOLITION, RELOCATION &/OR INSTALLATION ACTIVITIES AT HIS SOLE EXPENSE.
- ANY PLANT MATERIAL SUBSTITUTION WITHIN OR IMPACTING THE FDOT RIGHT OF WAY WHETHER REQUESTED BY THE CONTRACTOR, OWNER, LANDSCAPE ARCHITECT OR OTHER WILL NEED TO GET APPROVAL FROM THE FDOT DISTRICT LANDSCAPE ARCHITECT.
- OWNERSHIP OF ALL SUITABLE EXCAVATED MATERIALS, AS DETERMINED BY THE DEPARTMENT, SHALL REMAIN IN THE DEPARTMENT UNTIL A FINAL ACCEPTANCE OF THE PERMITTED PROJECT IS FULFILLED. EXCAVATED MATERIALS SHALL BE HAULED BY THE PERMITTEE, AT THEIR COST & EXPENSE FROM THE SITE TO THE PALM BEACH OPERATIONS CENTER OR STOCKPILED IN THOSE AREAS AS DIRECTED BY THE DEPARTMENT, INCLUDING ASPHALT MILLINGS.

FDOT IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL USE THE LOWEST QUALITY WATER AVAILABLE WHICH ADEQUATELY AND SAFELY MEETS THE WATER NEEDS OF THE SYSTEM. STORM WATER, RECLAIM WATER, OR GREY WATER IRRIGATION SHALL BE USED WHENEVER POSSIBLE.
- FDOT REQUIRES 24-HOUR EMERGENCY ACCESS TO WATER SOURCE.
- CONTRACTOR SHALL PROVIDE FDOT DISTRICT OPERATIONS MANAGER WITH A SET OF "AS- BUILT" IRRIGATION PLANS.
- SLEEVING MUST BE 36" BELOW THE ROADWAY. VERIFY WITH FDOT MAINTENANCE THAT SLEEVING/DIRECTIONAL BORE IS PERMITTED AT THIS TIME. A NEWLY RESURFACED ROAD CANNOT BE DISTURBED FOR 5 YEARS.
- PERMITTEE'S REPRESENTATIVE & AN FDOT INSPECTOR MUST BE ON SITE DURING ALL BORING ACTIVITIES. UPON COMPLETION OF THE BORING ACTIVITIES, PERMITTEE SHALL PROVIDE ALL DOCUMENTATION TO BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 555 OR 556, WHICHEVER IS APPLICABLE.
- PERMITTEE'S CONTRACTORS THAT ARE PERFORMING DIRECTIONAL DRILLING AND/OR JACK AND BORE ACTIVITIES SHALL PROVIDE THE DEPARTMENT (PERMITS OFFICE) PROOF OF A PROPER STATE CONTRACTOR'S LICENSE AND CERTIFICATE OF LIABILITY INSURANCE PRIOR TO ANY COMMENCEMENT OF PERMITTED WORK.
- PERMITTEE WILL ENSURE THAT ALL LOCATES HAVE BEEN PERFORMED PRIOR TO SCHEDULING OF ANY BORING ACTIVITIES. THIS SHALL INCLUDE SOFT DIGS TO VERIFY VERTICAL & HORIZONTAL ALIGNMENT.
- SHOULD THE IRRIGATION SYSTEM NOT BE FUNCTIONAL FOR A PERIOD OF TIME DURING CONSTRUCTION, ENSURE THAT MEASURES ARE TAKEN TO WATER THE EXISTING PLANT MATERIAL AND SOD. THIS MAY INCLUDE PORTIONS OF THE MEDIAN OUTSIDE THE RENOVATION AREA DEPENDING ON HOW THE SYSTEM IS ZONED.



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CLIENT

Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440

Project Manager:
Mike Roach, PE

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER

24-0431.00060

CLIENT PROJECT NUMBER

VERIFY SCALES

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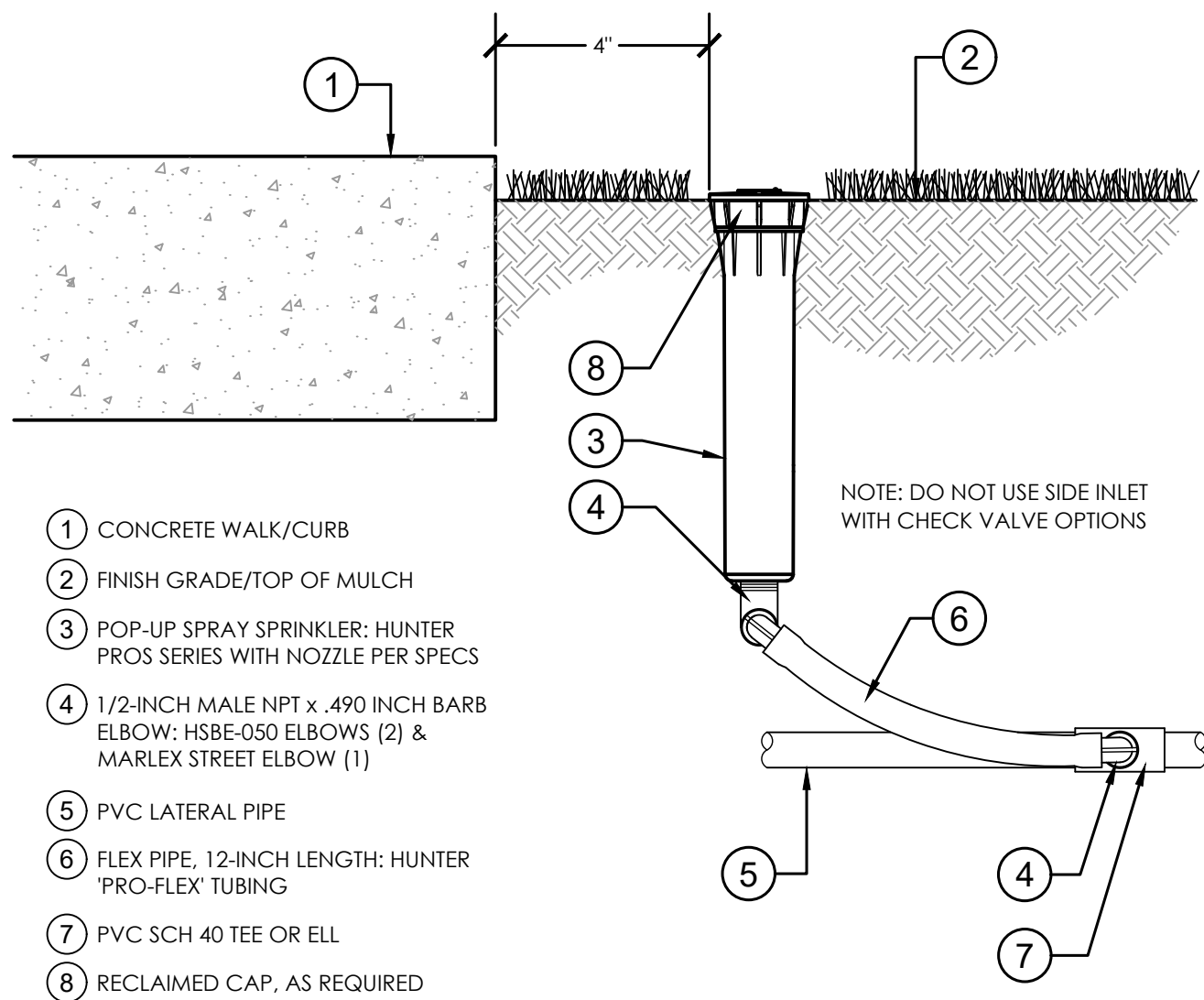
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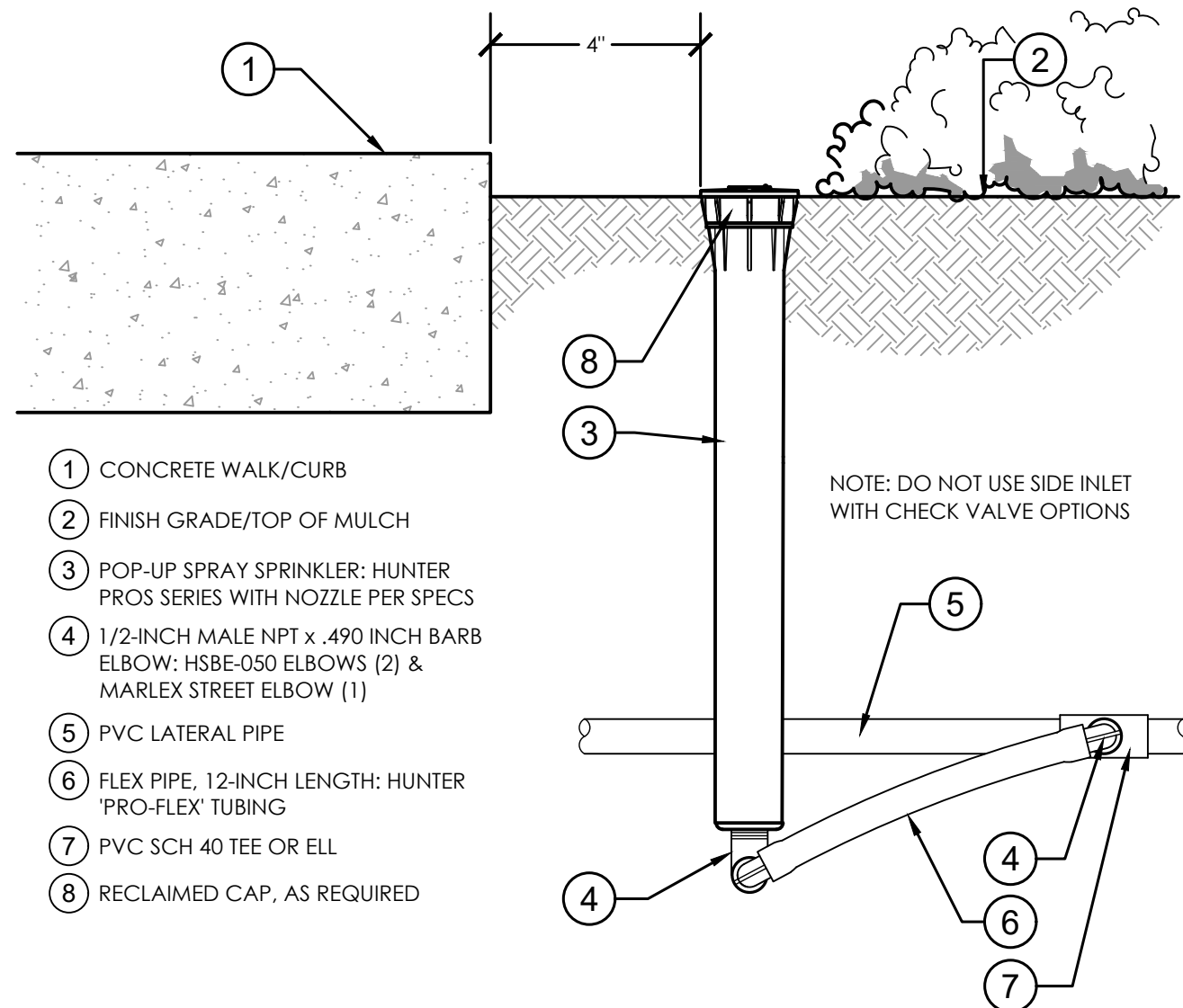
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DRAWING NUMBER

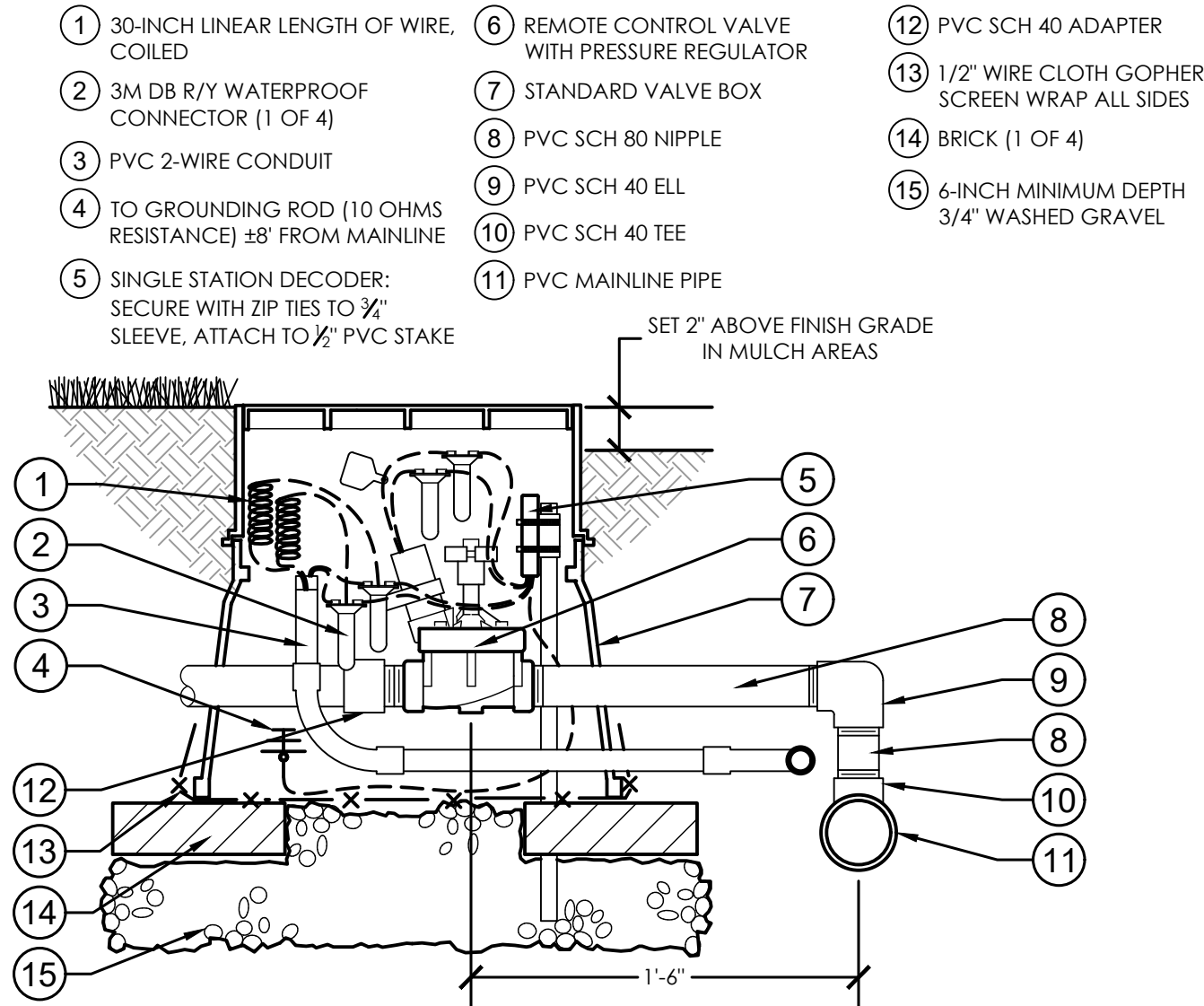
IRR-6
20 OF 26



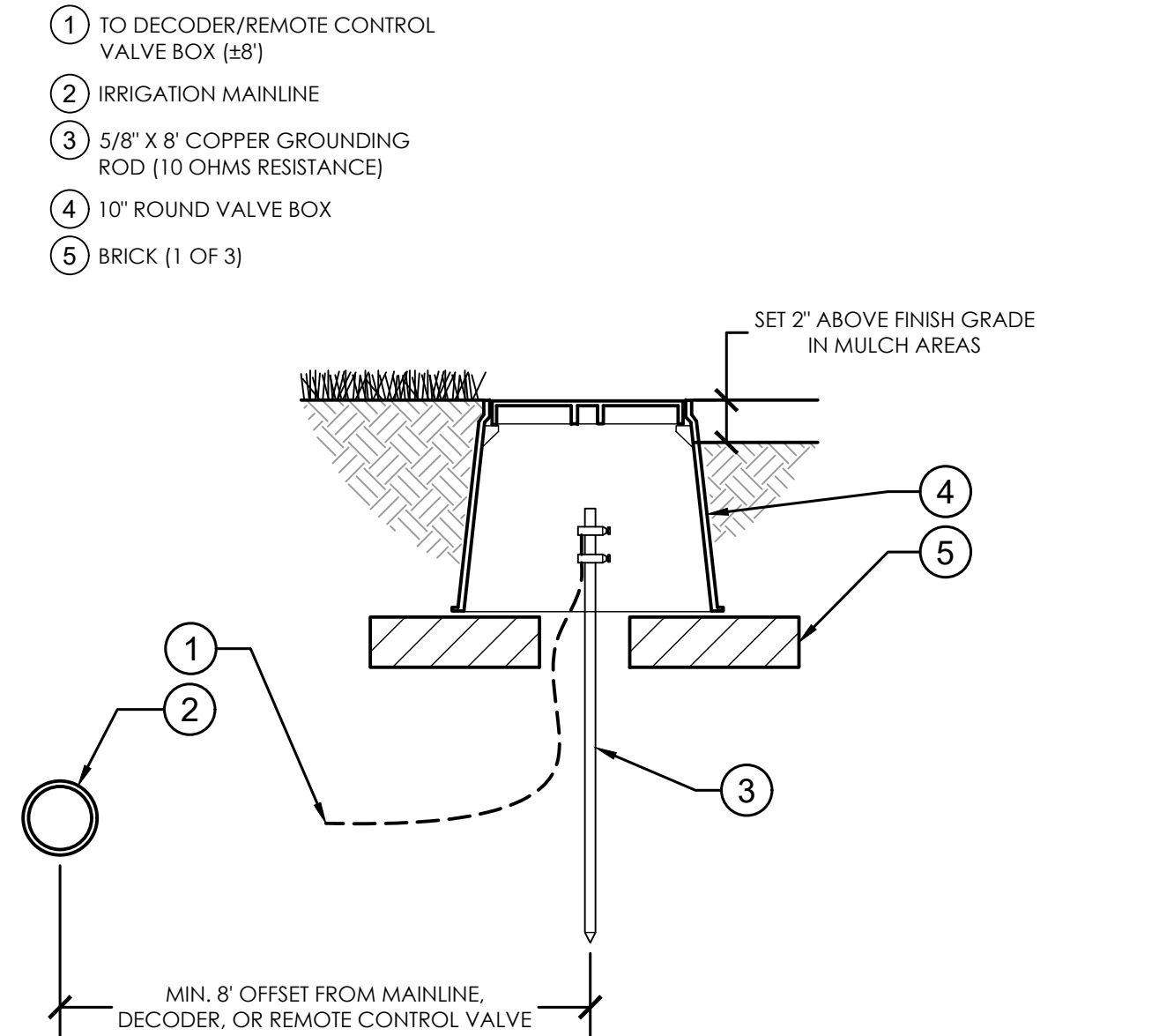
1 6" POP-UP SPRAY



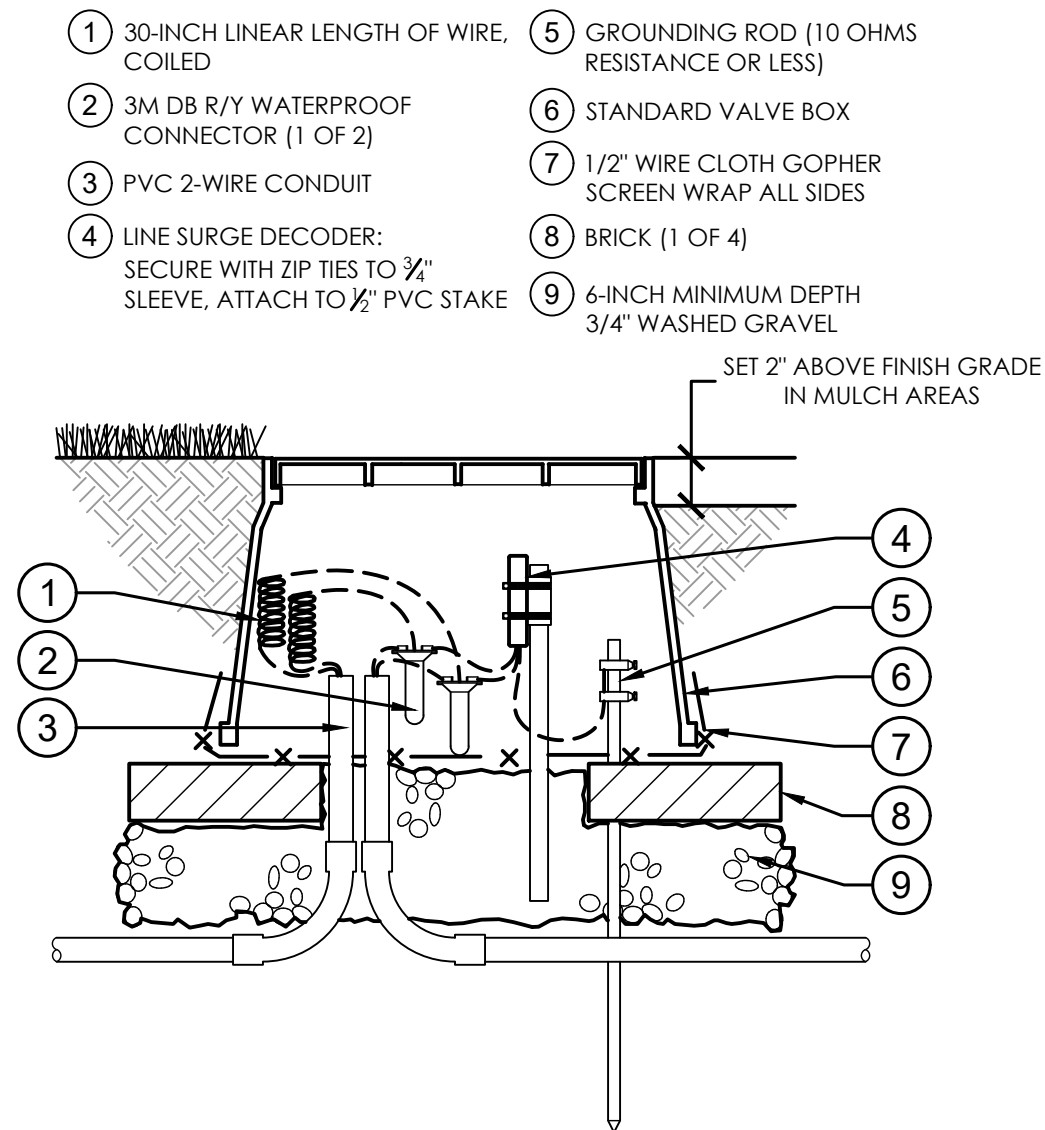
2 12" POP-UP SPRAY



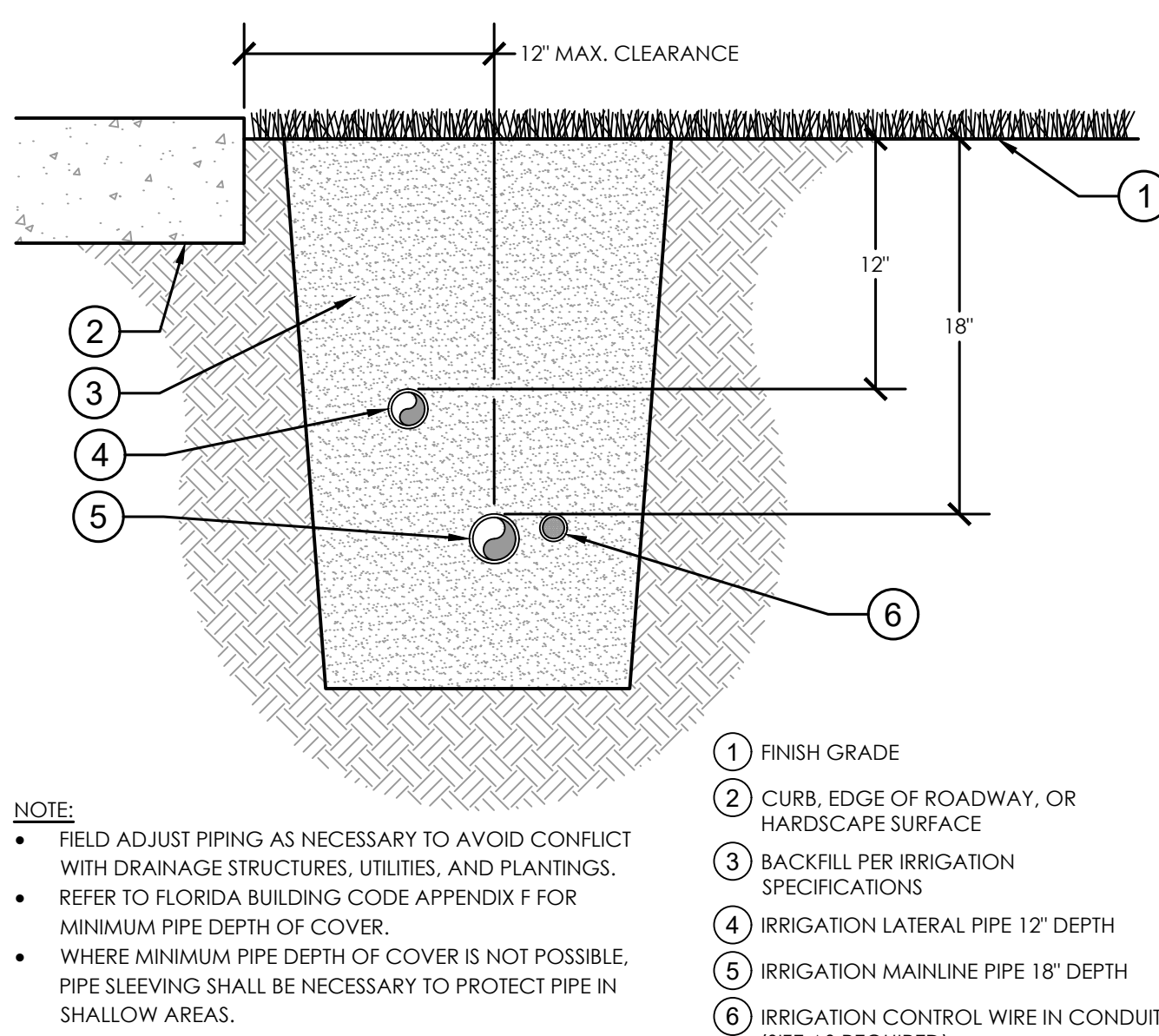
3 REMOTE CONTROL VALVE WITH DECODER



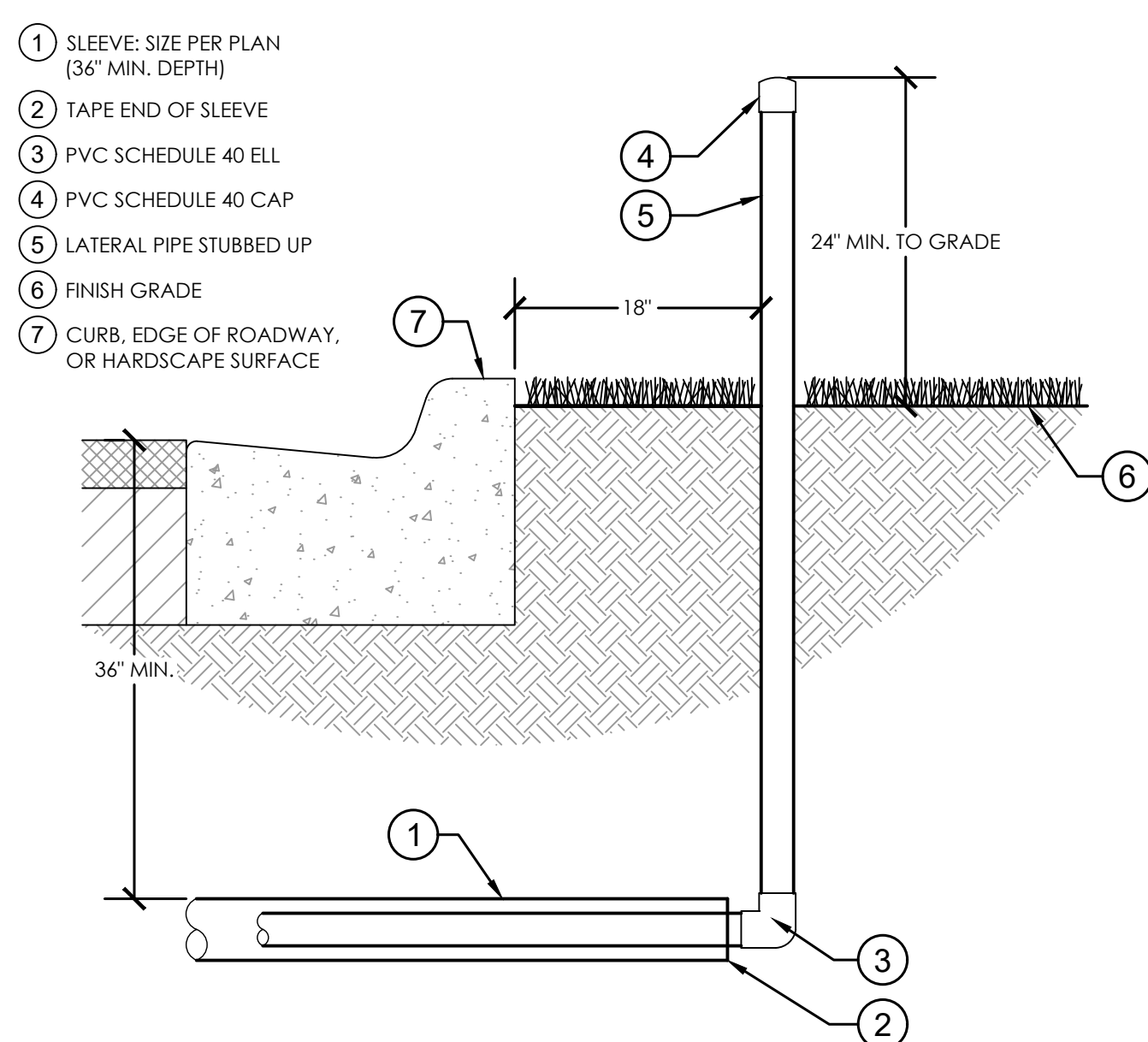
4 DECODER GROUNDING



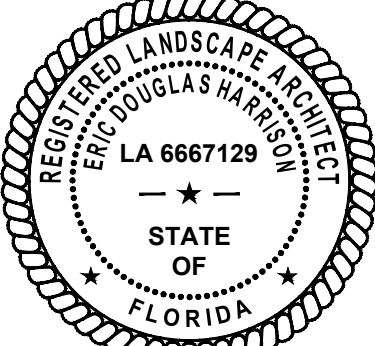
5 DECODER GROUNDING AND JUNCTION BOX
1 1/2" = 1'-0"



6 MAINLINE AND LATERAL PIPING



7 PIPE SLEEVING



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CLIENT

Town of Palm Beach
Public Works
951 Okeechobee Road, Suite A
West Palm Beach, FL 33401
561.838.5440
Project Manager:
Mike Roach, PE

PROJECT INFORMATION

**ROYAL
POINCIANA WAY**

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER

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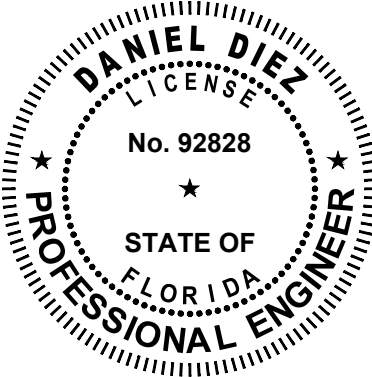
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DETAILS**

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**TOWN OF PALM
BEACH**

PROJECT INFORMATION

**ROYAL
POINCIANA WAY**

####

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
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**ELECTRICAL
PLAN**

DRAWING NUMBER

EP-1
22 OF 5

SEE SHEET EP-2 TOP
FOR ENLARGED PLAN

SEE SHEET EP-3 TOP
FOR ENLARGED PLAN

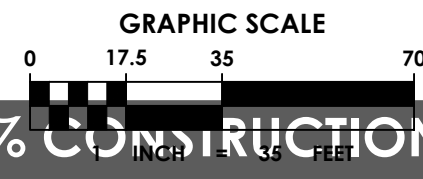
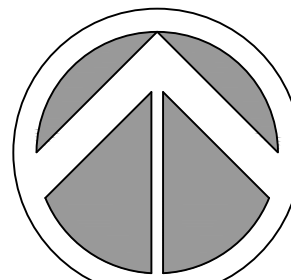
SEE SHEET EP-2 BOTTOM
FOR ENLARGED PLAN

SEE SHEET EP-3 BOTTOM
FOR ENLARGED PLAN



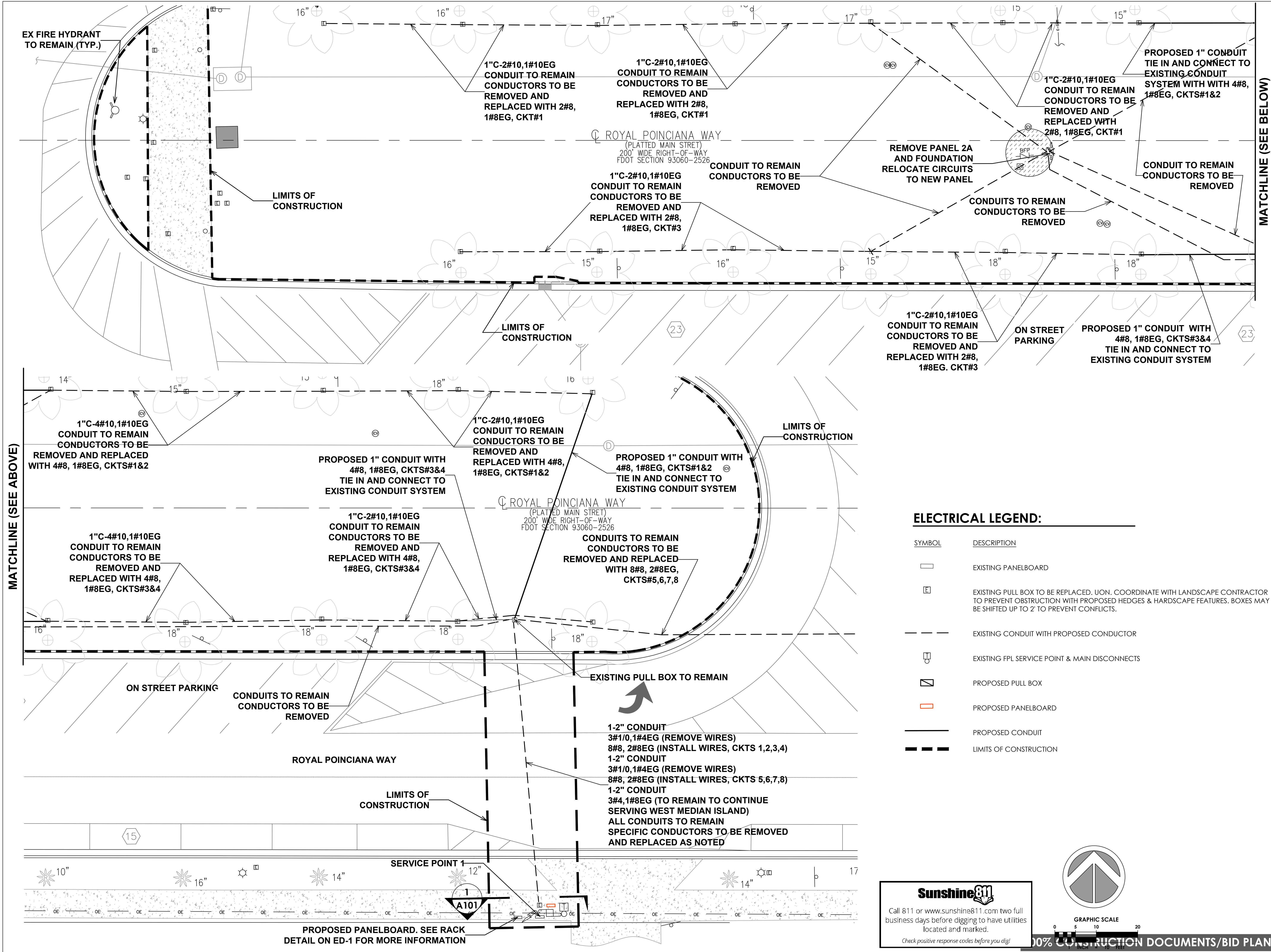
Call 811 or www.sunshine811.com two full
business days before digging to have utilities
located and marked.

Check positive response codes before you dig!



100% CONSTRUCTION DOCUMENTS/BID PLANS

Plot Date: 1/23/2025 9:39:40 AM Username: ddiez Layout Name: EP-2
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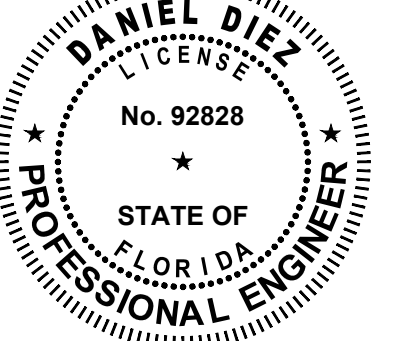
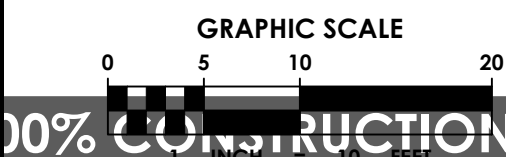
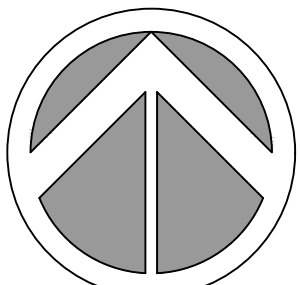


ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	EXISTING PANELBOARD
	EXISTING PULL BOX TO BE REPLACED. UON. COORDINATE WITH LANDSCAPE CONTRACTOR TO PREVENT OBSTRUCTION WITH PROPOSED HEDGES & HARDSCAPE FEATURES. BOXES MAY BE SHIFTED UP TO 2' TO PREVENT CONFLICTS.
	EXISTING CONDUIT WITH PROPOSED CONDUCTOR
	EXISTING FPL SERVICE POINT & MAIN DISCONNECTS
	PROPOSED PULL BOX
	PROPOSED PANELBOARD
	PROPOSED CONDUIT
	LIMITS OF CONSTRUCTION



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
Check positive response codes before you dig!



CLIENT

TOWN OF PALM BEACH

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
#####

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DATE OF ISSUE
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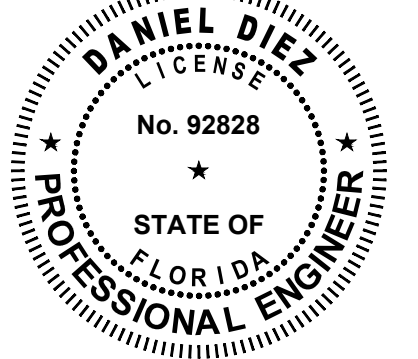
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ELECTRICAL PLAN

DRAWING NUMBER
EP-2
2 OF 5



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TOWN OF PALM
BEACH

PROJECT INFORMATION

ROYAL
POINCIANA WAY

PROJECT NUMBER
24-0431.00060
CLIENT PROJECT NUMBER

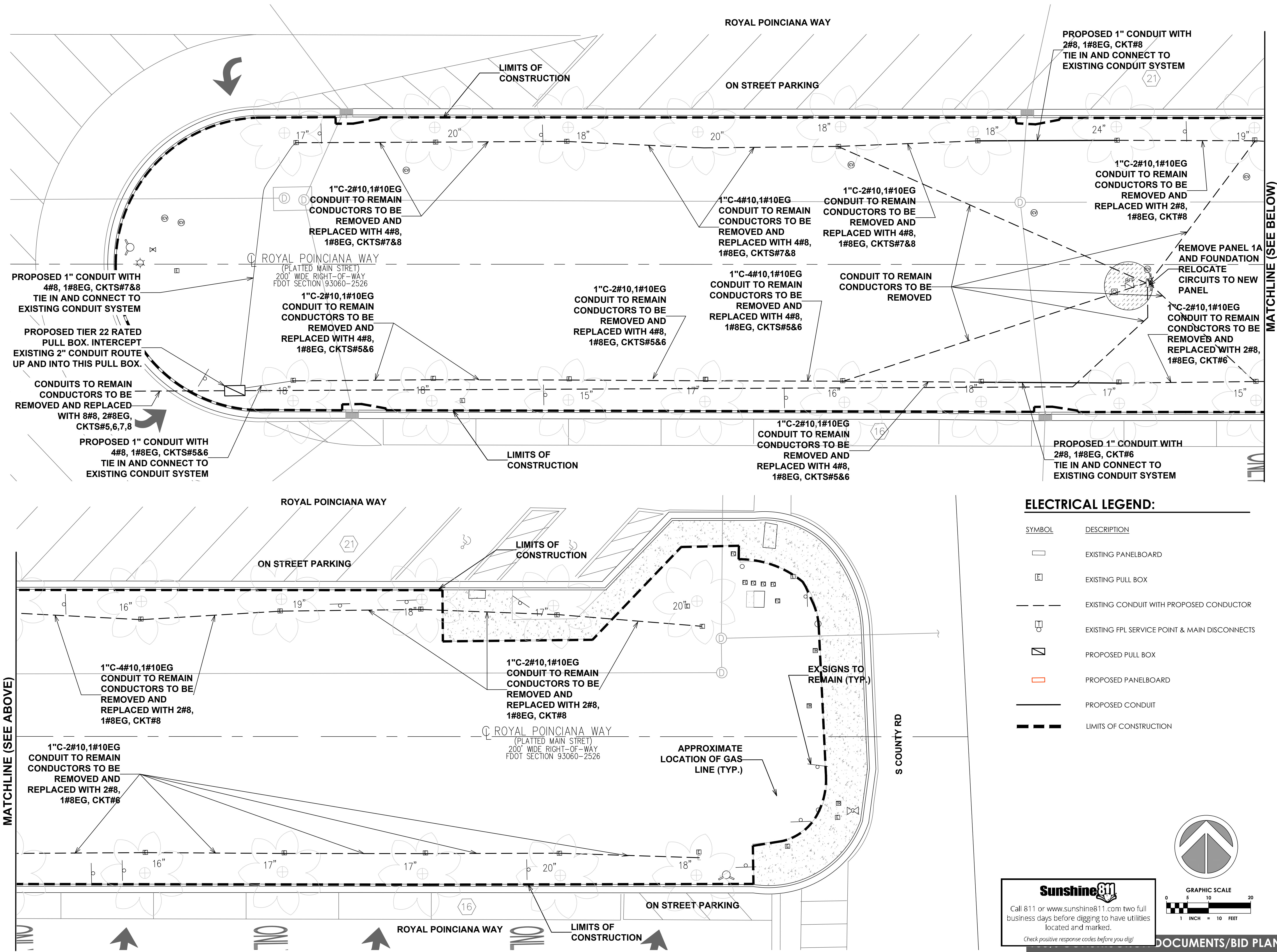
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0 5 10 15 20
1" = 100'
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ELECTRICAL
PLAN

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EP-3
3 OF 5



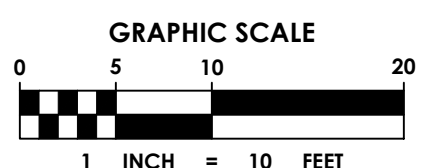
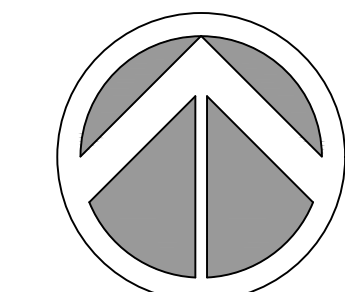
ELECTRICAL LEGEND:

SYMBOL	DESCRIPTION
	EXISTING PANELBOARD
	EXISTING PULL BOX
	EXISTING CONDUIT WITH PROPOSED CONDUCTOR
	EXISTING FPL SERVICE POINT & MAIN DISCONNECTS
	PROPOSED PULL BOX
	PROPOSED PANELBOARD
	PROPOSED CONDUIT
	LIMITS OF CONSTRUCTION

Sunshine811

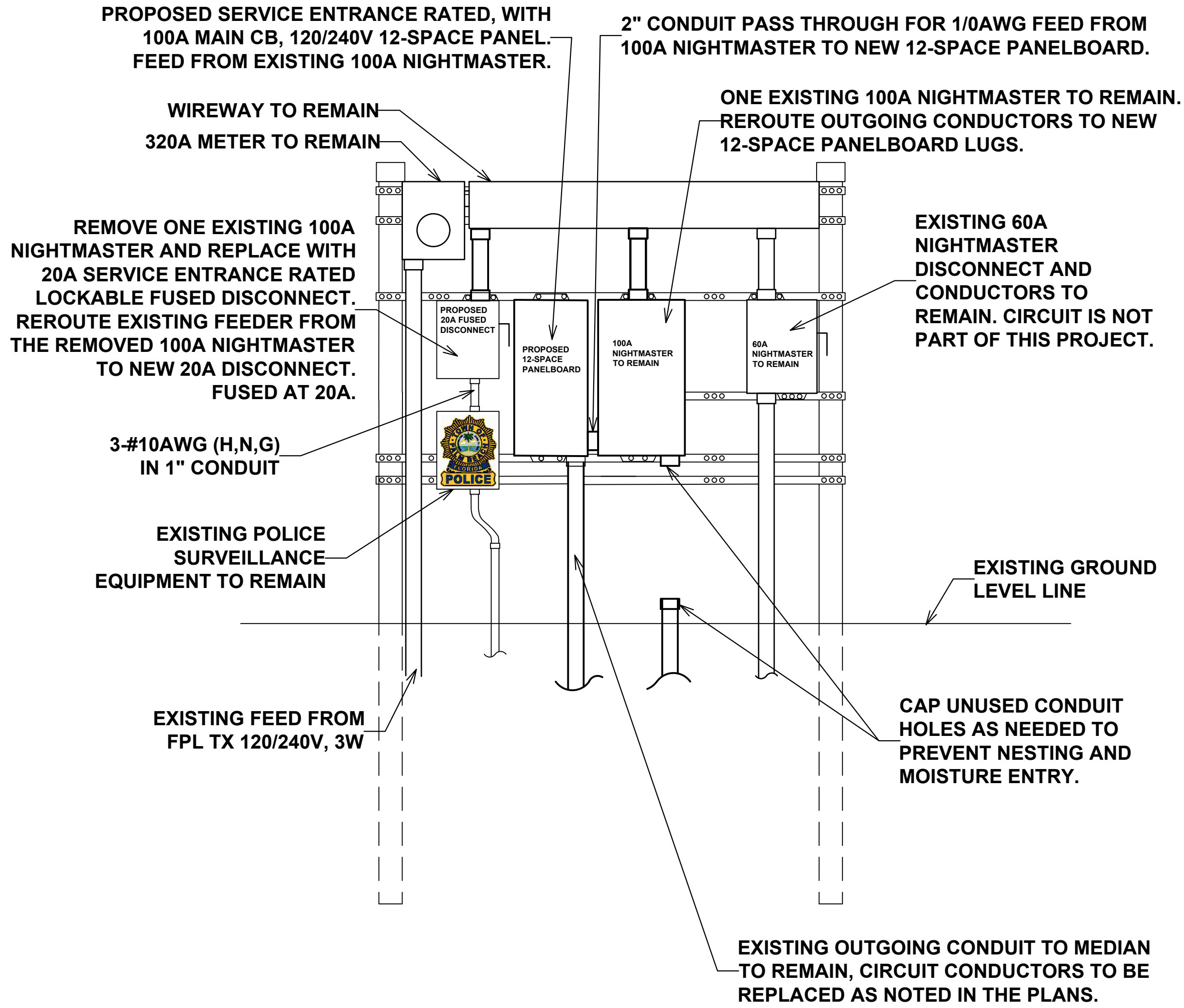
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DOCUMENTS/BID PLANS

Plot Date: 1/23/2025 9:39:42 AM Username: ddiez Layout Name: ED-1
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD Sheets Filename: 24-0431.00060 - Electrical Plan.dwg



SERVICE DISCONNECT RACK
NOT TO SCALE

1
EP-2

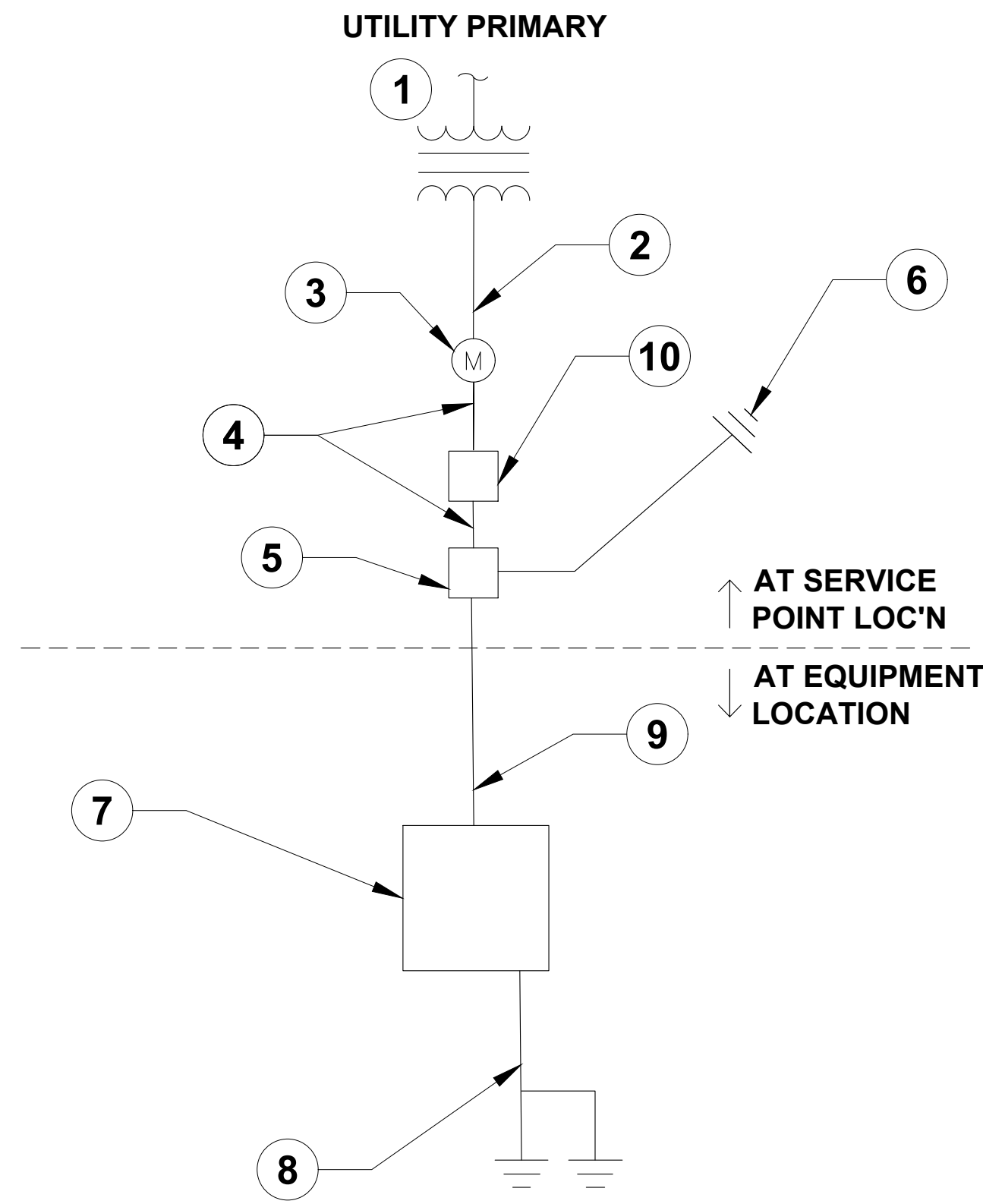
120/240V, 1ø, 3W 25 KAIC MIN. WITH GROUND BAR				PANEL SCHEDULE								125A BUS SURFACE MOUNTED NEMA TYPE1			
POLE NO.	KVA	BKR TRIP	BKR POLE	VOLT	LOAD DESCRIPTION	TYPE	POLE NO.	KVA	BKR TRIP	BKR POLE	VOLT	LOAD DESCRIPTION	TYPE		
1	0.800	20	1	120	CHRISTMAS LTG		2	0.800	20	1	120	CHRISTMAS LTG			
3	0.800	20	1	120	CHRISTMAS LTG		4	0.800	20	1	120	CHRISTMAS LTG			
5	0.800	20	1	120	CHRISTMAS LTG		6	0.800	20	1	120	CHRISTMAS LTG			
7	0.800	20	1	120	CHRISTMAS LTG		8	0.800	20	1	120	CHRISTMAS LTG			
9		20	1	120	SPACE		10		30	2	240	SPD			
11		20	1	120	SPACE		12								
TOTAL CONNECTED LOAD				6.4 KVA											
TOTAL DEMAND LOAD				6.4 KVA											
TOTAL DEMAND LOAD				53 AMPS											

PANEL INFORMATION:

- 12 SPACE MINIMUM.
- BREAKERS TO BE 22KAIC RATED MINIMUM. BRANCH CIRCUITS TO BE GFCI TYPE.
- NEMA 4X

20A FUSED DISCONNECT (FOR POLICE EQUIPMENT) INFORMATION:

- DISCONNECT SHALL BE ABLE TO BE LOCKED IN BOTH THE ON AND OFF POSITIONS.
- FUSE TO BE 30KAIC RATED MINIMUM, SLOW-BLOW TYPE.
- NEMA 4X



ONE LINE DIAGRAM FOR REPLACEMENT PANELBOARD
NOT TO SCALE

GENERAL NOTES

- ELECTRICAL INSTALLATIONS SHALL COMPLY WITH THE LATEST ADOPTED REQUIREMENTS/ADDITIONS OF THE FDOT, THE NATIONAL ELECTRIC CODE (NFPA 70), THE NATIONAL ELECTRICAL SAFETY CODE (ANSI C2) AND ALL STATE AND LOCAL LAWS, CODES, AND STANDARDS CURRENTLY ADOPTED AND ENFORCED BY ALL AUTHORITIES HAVING JURISDICTIONS.
- ASCERTAIN THAT ALL ELECTRICAL SYSTEM COMPONENTS FURNISHED BY CONTRACTOR ARE COMPATIBLE IN ALL RESPECTS WITH FDOT STANDARDS AND SPECIFICATION, AND MEET ALL FDOT REQUIREMENTS.
- COLOR CODE ALL PHASE WIRING BY THE USE OF COLORED WIRE INSULATION AND/OR COLORED TAPE, WHERE TAPE IS USED, THE WIRE INSULATION SHALL BE BLACK. PHASE CONDUCTORS SHALL BE USED FOR SINGLE-PHASE, THREE WIRE SYSTEMS, NEUTRAL CONDUCTORS SHALL BE WHITE OR NEUTRAL GRAY.
- ALL BRANCH CIRCUIT CONDUCTORS CONNECTED TO A PARTICULAR PHASE SHALL BE IDENTIFIED WITH THE SAME COLOR. THE COLOR CODING SHALL BE CONTINUOUS AND EXTEND TO THE POINT OF UTILIZATION.
- ALL POWER AND CONTROL CIRCUIT CONDUCTORS SHALL BE COPPER; ALUMINUM WILL NOT BE ACCEPTED. THIS INCLUDES WIRE, CABLE, BUSSES, TERMINALS, SWITCH/PANEL COMPONENTS ETC.
- EQUIPMENT CABINETS SHALL NOT BE USED AS PULL/JUNCTION BOXES. ONLY WIRING TERMINATIONS AT THE EQUIPMENT SHALL BE BROUGHT INTO THESE ENCLOSURES.
- SPLICES AND JUNCTION POINTS SHALL BE PERMITTED ONLY IN JUNCTION BOXES. EQUIPPED WITH REMOVABLE COVERS, AND AT EASILY ACCESSIBLE LOCATIONS.
- ALL EXPOSED CONDUITS SHALL BE RIGID STEEL PVC COATED.
- PROVIDE ALL ELECTRICAL MATERIALS, TOOLS, AND TRANSPORTATION, AND PERFORM ALL SERVICES AND LABOR REQUIRED TO INSTALL A COMPLETE AND OPERABLE ITEM OR SYSTEM AS INDICATED.
- ELECTRICAL MATERIALS SHALL BE NEW AND SHALL BE ETL OR UL LISTED AND LABELED. INSTALL ELECTRICAL MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- INVESTIGATE THE EXISTING UTILITIES IN THE PROJECT AREA BEFORE ANY EXCAVATION OR BORING AND BE RESPONSIBLE FOR RESEARCHING AND INVESTIGATING THE EXISTING UTILITIES IN THE WORK AREA. THE UTILITIES SHOWN IN THE PLANS ARE THE BEST INFORMATION AVAILABLE TO THE ENGINEER AND DRAWN FOR THE CONTRACTORS INFORMATION. FIELD VERIFY THE UTILITES BEFORE ANY DIGGING, EXCAVATION, OR BORINGS.
- ALL STEEL CONDUITS FITTINGS, NUTS, BOLTS, ETC. SHALL BE GALVANIZED.
- BOTH ENDS OF ALL CONTROL CONDUCTORS SHALL BE IDENTIFIED AS TO THE CIRCUIT, TERMINAL BLOCK, AND TERMINAL NUMBER.
- UNDERGROUND CONDUIT SHALL BE PVC SCH. 40 UNLESS OTHERWISE NOTED. UNDERGROUND CONDUIT SHALL TRANSITION TO PVC-COATED RGS CONDUIT WITH PVC TO RGS CONDUIT FITTINGS. CONDUIT SHALL BE PVC-COATED RGS ABOVE GRADE THROUGH AND INCLUDING THE FIRST 90 DEGREE FITTING UNDERGROUND UNLESS OTHERWISE NOTED.
- UNDERGROUND CONDUITS SHALL BE INSTALLED A MINIMUM OF 36" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED.
- ALL LIQUID-TIGHT, FLEXIBLE CONDUIT SHALL BE METALLIC.
- EXISTING SERVICE CONNECTION POINT: COORDINATE WITH FPL TO DE-ENERGIZE EQUIPMENT RACK PRIOR TO BEGINNING WORK.
- PROVIDE NEW LABEL AT ALL MAIN SERVICE DISCONNECTS INDICATING "MAIN SERVICE DISCONNECT."
- REPLACE ANY SUBSTANDARD OR RUSTING COMPONENTS ON EXISTING RACK.
- THE CONTRACT LUMP SUM PRICE SHALL INCLUDE BUT NOT BE LIMITED TO: DEMOLITION OF EXISTING, GROUNDING, CONDUIT/WIRING, PULL BOXES, INTEGRATION OF PROPOSED EQUIPMENT WITH EXISTING EQUIPMENT, FIELD ADJUSTMENTS AND ANY ADDITIONAL APPURTENANCES REQUIRED FOR A COMPLETE, FUNCTIONING, AND COMPLIANT INSTALLATION.

SPECIFIC NOTES

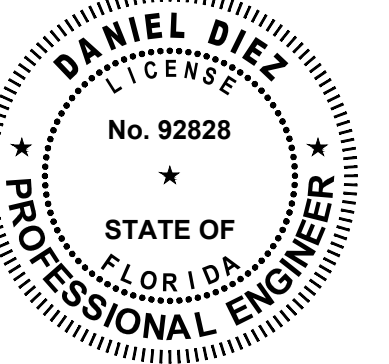
- EXISTING FPL 120/240V, 50kVA, TRANSFORMER.
- EXISTING SERVICE FROM FPL DISTRIBUTION TO SERVICE EQUIPMENT RACK.
- EXISTING 320A FEED-THROUGH METER BASE AS PER FPL STANDARDS AND REQUIREMENTS. VERIFY GROUNDING FOR THE METER BASE PER POWER COMPANY REQUIREMENTS.
- EXISTING FEEDER CONDUCTORS TO REMAIN, REROUTE AND ADJUST AS NECESSARY.
- PROPOSED 12-SPACE MINIMUM PANELBOARD WITH 100A MAIN SERVICE ENTRANCE RATED CIRCUIT BREAKER. FEED FROM EXISTING 100A NIGHTMASTER.
- VERIFY GROUNDING AND SUPPLEMENT WITH ADDITIONAL GROUND RODS. IF GROUND RESISTANCE TEST REVEALS A FAILING CONDITION, AT EXISTING RACK.
- RECONNECT EXISTING RECEPTACLE(S) TO THE NEW CIRCUIT CONDUCTORS AT EACH TREE, INSIDE THE EXISTING PULL BOX.
- CONNECT EACH RECEPTACLE EQUIPMENT GROUND TERMINAL TO THE GROUNDED CONDUCTOR.
- PROPOSED CONDUCTORS FROM PANELBOARD TO CHRISTMAS LIGHT RECEPTACLES.
- EXISTING 100A NIGHTMASTER TO REMAIN. REROUTE OUTGOING FEEDER TO SUPPLY POWER TO THE NEW 12-SPACE PANELBOARD.

100% CONSTRUCTION DOCUMENTS/BID PLANS

cma
chen moore and associates

500 West Cypress Creek Road
Suite 600
Ft. Lauderdale, FL 33309
954.730.0707
www.chenmoore.com

REGISTRATION
DANIEL DIEZ, PE
LICENSE NO. 92828
DATE: 1/23/2025



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CLIENT

TOWN OF PALM BEACH

PROJECT INFORMATION

ROYAL POINCIANA WAY

####

PROJECT NUMBER
24-0431.00060

CLIENT PROJECT NUMBER
####

VERIFY SCALES
0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

REVISIONS

DATE OF ISSUE

####

DESIGNED BY

DD

DRAWN BY

VRK

CHECKED BY

DD

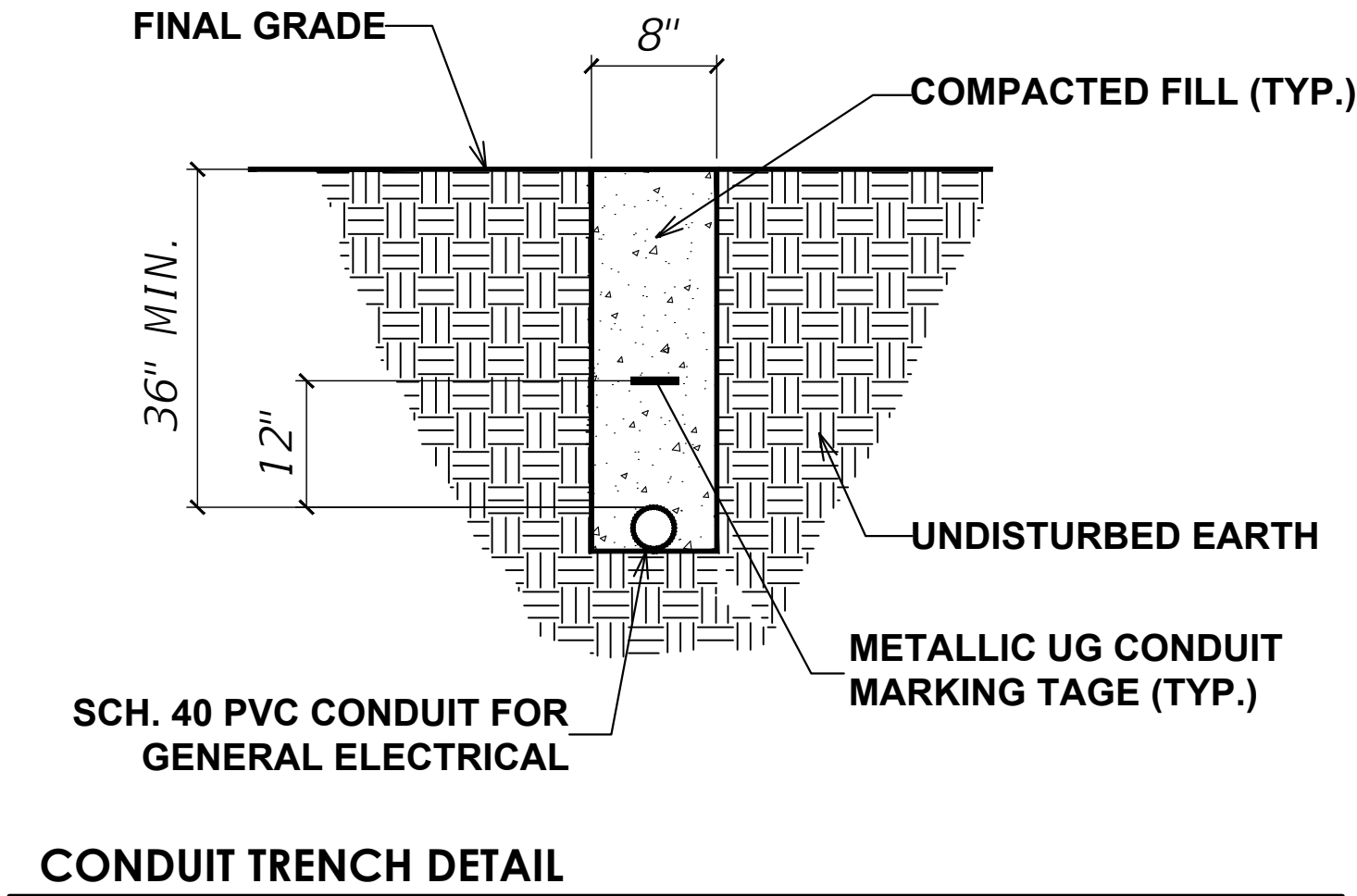
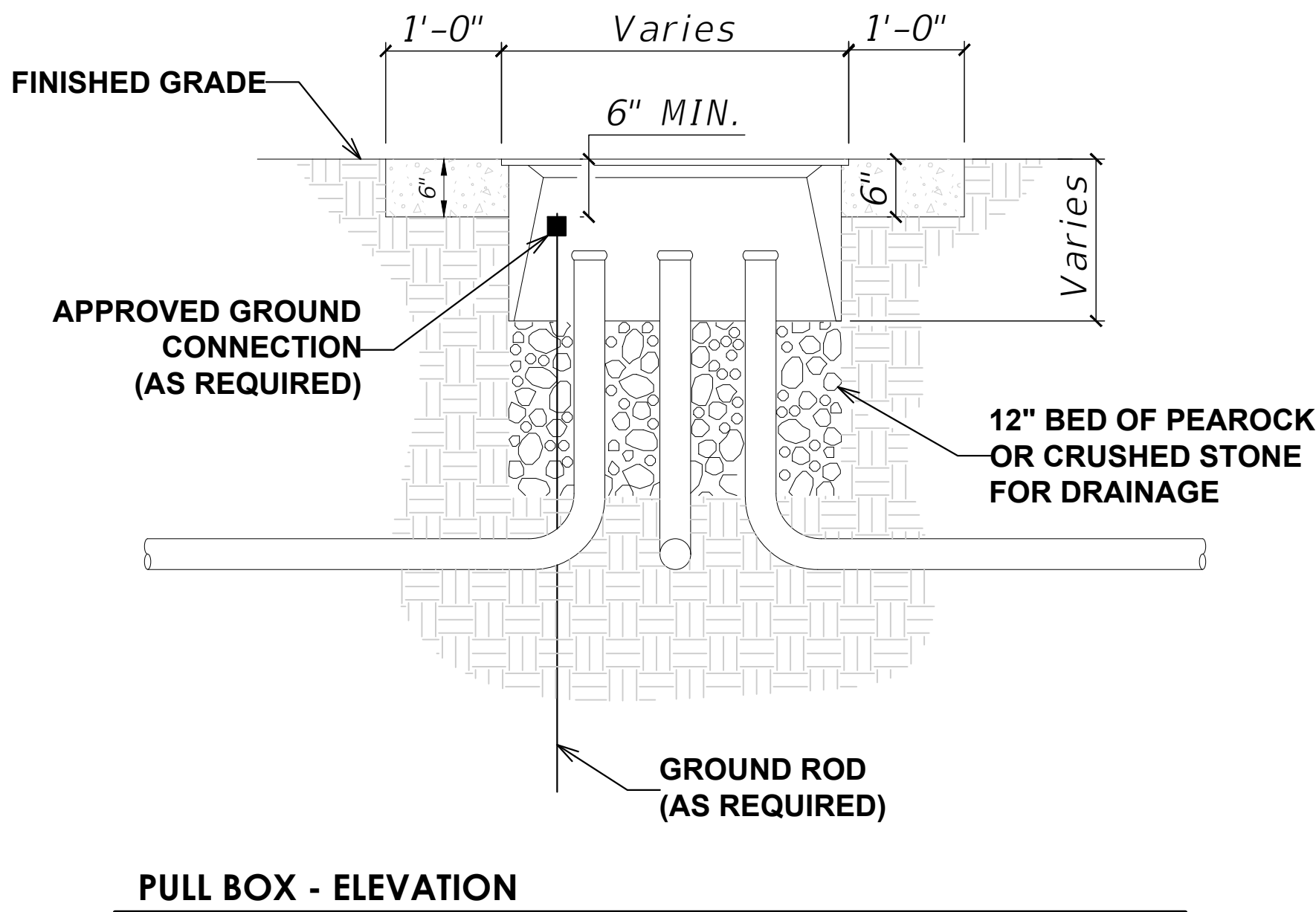
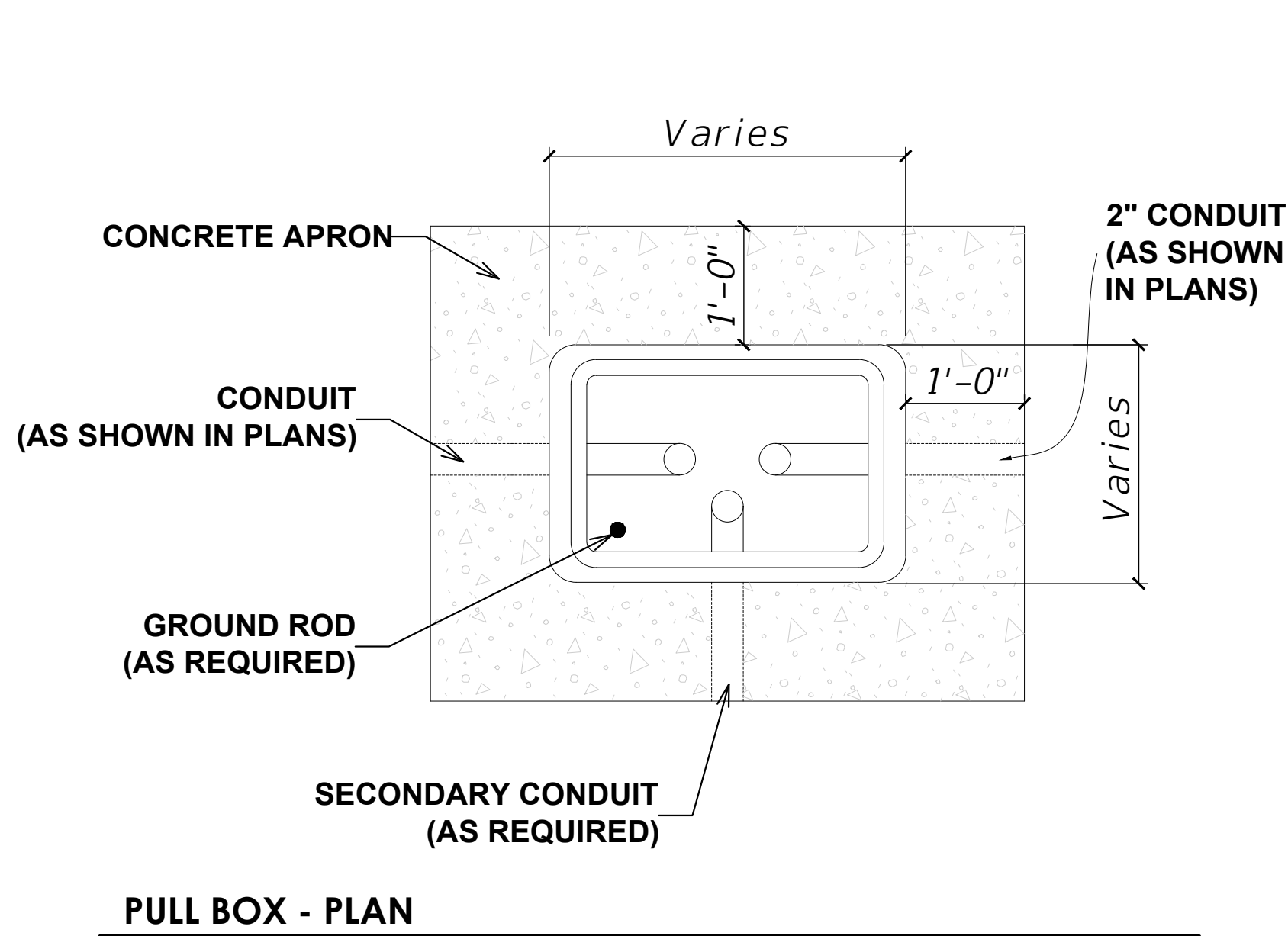
DRAWING TITLE

ELECTRICAL PLAN DETAILS

DRAWING NUMBER

ED-1
4 OF 5











Plot Date: 1/23/2025 9:39:42 AM Username: ddiez Layout Name: ED-2
Folder Path: V:\Projects\2024\24-0431.00060 - Royal Poinciana Way Median\Design\CAD Sheets Filename: 24-0431.00060 - Electrical Plan.dwg



NOTES

- DE-ENERGIZE ENTIRE SYSTEM BEFORE WORK BEGINS, COORDINATE WITH FPL TO DE-ENERGIZE EQUIPMENT RACK AS NEEDED. COORDINATE WITH POLICE DEPARTMENT REGARDING LENGTH OF OUTAGE OF THE EXISTING POLICE EQUIPMENT LOCATED AT THE EQUIPMENT RACK.
- INSTALL A 1'-0" WIDE (MIN.) CONCRETE APRON AROUND ALL BOXES USING CLASS NS CONCRETE. SLOPE THE APRON AWAY FROM THE BOX.
- WHERE MULTIPLE PULL BOXES ARE PLACED SIDE BY SIDE, MAINTAIN AT LEAST 8" BETWEEN THE PULL BOXES.
- RECTANGULAR BOXES SHOWN, OTHERS SIMILAR.
- DETAILS NOT TO SCALE.

ARC FLASH SAMPLE LABELS

<div> WARNING</div>										<div> WARNING</div>										<div> WARNING</div>										<div> WARNING</div>										<div> WARNING</div>																																																											
Arc Flash and Electric Shock Risk										Arc Flash and Electric Shock Risk										Arc Flash and Electric Shock Risk										Arc Flash and Electric Shock Risk										Arc Flash and Electric Shock Risk																																																											
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<div> SKM Systems Analysis, Inc.</div>										SKM Systems Analysis, Inc. 1 Pearl St. Redondo Beach, CA 90277 (310) 698-4700										<div> SKM Systems Analysis, Inc.</div>										SKM Systems Analysis, Inc. 1 Pearl St. Redondo Beach, CA 90277 (310) 698-4700										<div> SKM Systems Analysis, Inc.</div>										SKM Systems Analysis, Inc. 1 Pearl St. Redondo Beach, CA 90277 (310) 698-4700										<div> SKM Systems Analysis, Inc.</div>										SKM Systems Analysis, Inc. 1 Pearl St. Redondo Beach, CA 90277 (310) 698-4700										<div> SKM Systems Analysis, Inc.</div>										SKM Systems Analysis, Inc. 1 Pearl St. Redondo Beach, CA 90277 (310) 698-4700									
Job#:		232874		Prepared on:		01/22/25		By:		Engineer		Job#:		232874		Prepared on:		01/22/25		By:		Engineer		Job#:		232874		Prepared on:		01/22/25		By:		Engineer		Job#:		232874		Prepared on:		01/22/25		By:		Engineer																																																					
Warning: Changes in equipment settings or system configuration will invalidate the calculated values and PPE requirements										Warning: Changes in equipment settings or system configuration will invalidate the calculated values and PPE requirements										Warning: Changes in equipment settings or system configuration will invalidate the calculated values and PPE requirements										Warning: Changes in equipment settings or system configuration will invalidate the calculated values and PPE requirements										Warning: Changes in equipment settings or system configuration will invalidate the calculated values and PPE requirements																																																											

ARC FLASH CALCULATION EQUIPMENT SETTINGS BASIS:

LIGHTING PANELBOARD MAIN PROTECTIVE EQUIPMENT:
100A MAIN BREAKER - SQUARE D QO-VH 2-POLE 100A

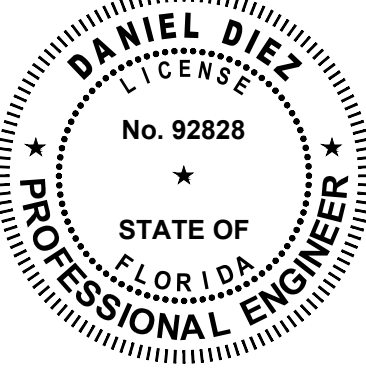
POLICE MAIN PROTECTIVE EQUIPMENT:
FUSED DISCONNECT - USING 20A BUSSMAN STD, HRC FUSE



Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Check positive response codes before you dig!

REGISTRATION
DANIEL DIEZ, PE
LICENSE NO. 92828
DATE: 1/23/2025



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CLIENT

TOWN OF PALM BEACH

PROJECT INFORMATION

ROYAL POINCIANA WAY

PROJECT NUMBER
24-0431.00060
CLIENT PROJECT NUMBER

VERIFY SCALES
0 1"
IF NOT ONE INCH ON THIS SHEET,
ADJUST SCALES ACCORDINGLY
REVISIONS

DATE OF ISSUE

DESIGNED BY
DD
DRAWN BY
VRK
CHECKED BY
DD
DRAWING TITLE

ELECTRICAL PLAN DETAILS

DRAWING NUMBER
ED-2
5 OF 5



Town of Palm Beach

ITB No. 2025-009

Royal Poinciana Landscape Improvements

A CUT ABOVE LANDSCAPE &
MAINTENANCE, INC.

			Total Cost	\$737,987.50	
#	Items	Unit of Measure	Quantity	Unit Price	Total Price
1	GENERAL CONDITIONS: (7)				\$737,987.50
					\$108,625.00
#1-1	GC-1 MOBILIZATION	LS	1	\$22,000.00	\$22,000.00
#1-2	GC-2 MAINTENANCE OF TRAFFIC	LS	1	\$10,000.00	\$10,000.00
#1-3	GC-3 BONDS & INSURANCE	LS	1	\$13,000.00	\$13,000.00
#1-4	GC-4 CLEARING & GRUBBING/SITE WORK/GRADING (EAST & WEST MEDIAN ONLY)	AC	1.39	\$25,000.00	\$34,750.00
#1-5	GC-5 STORMWATER POLLUTION PREVENTION/SILT FENCING	LF	49	\$15.00	\$735.00
#1-6	GC-6 TREE PRESERVATION FENCING	LF	2450	\$5.00	\$12,250.00
#1-7	GC-7 TEMPORARY CONSTRUCTION FENCING	LF	2270	\$7.00	\$15,890.00
2	SITE IMPROVEMENTS: (3)				\$105,909.00
#2-1	C-1 4' CONCRETE SIDEWALK/PAD - 4" DEPTH & BASE/SUB-BASE MATERIAL	SY	1117	\$77.00	\$86,009.00
#2-2	C-2 6" CONCRETE RIBBON CURB W REINFORCEMENT	LF	358	\$50.00	\$17,900.00
#2-3	C-3 FDOT DETECTABLE WARNING (20SF EA)	EA	2	\$1,000.00	\$2,000.00
3	LANDSCAPE IMPROVEMENTS: (21)				\$446,991.00
#3-1	L-1 LIGNUM VITAE SPECIMEN, AS SHOWN ON PLAN (SINGEL TRUNK), 10-12 feet high	EA	6	\$7,200.00	\$43,200.00
#3-2	L-2 FUKIEN TEA, #3, 24" O.C., 3 gallons in size and 10-12 inches wide	EA	1912	\$18.00	\$34,416.00
#3-3	L-3 SCHILLINGS HOLLY, #3, 14" O.C.	EA	3923	\$18.00	\$70,614.00
#3-4	L-4 CORAL CREEPER, #1, 12" O.C.	EA	5541	\$9.00	\$49,869.00
#3-5	L-5 SALVIA X INDIGO SPIRES, #3, 24" O.C.	EA	240	\$18.00	\$4,320.00
#3-6	L-6.1 PERENNIAL MIX, #3, 24" O.C. PHILLIPE VIOLET	EA	324	\$18.00	\$5,832.00
#3-7	L-6.2 PERENNIAL MIX, #3, 24" O.C. AFRICAN IRIS	EA	324	\$15.00	\$4,860.00
#3-8	L-6.3 PERENNIAL MIX, #3, 24" O.C. SCARLET SAGE	EA	323	\$18.00	\$5,814.00
#3-9	L-6.4 PERENNIAL MIX, #3, 24" O.C. WILD ALLAMANDA	EA	323	\$22.00	\$7,106.00
#3-10	L-6.5 PERENNIAL MIX, #3, 24" O.C. WHITE GRAFFITI STAR CLUSTER	EA	323	\$18.00	\$5,814.00
#3-11	L-6.6 PERENNIAL MIX, #3, 24" O.C. ASIAN SNOW JASMINE	EA	323	\$21.00	\$6,783.00
#3-12	L-7 ZOYSIA X 'CITRAZOY'	SF	24852	\$2.00	\$49,704.00
#3-13	L-8 HUNTER MP PROS-06-PRS40-CV SPRAY HEAD	EA	355	\$70.00	\$24,850.00
#3-14	L-9 HUNTER MP PROS-12-PRS40-CV SPRAY HEAD	EA	447	\$75.00	\$33,525.00
#3-15	L-10 HUNTER ICV-G-FS WITH ICD-100	EA	4	\$7,250.00	\$29,000.00
#3-16	L-11 HUNTER HQ-33DRC	EA	2	\$750.00	\$1,500.00
#3-17	L-12 HUNTER RAIN-CLIK	EA	1	\$250.00	\$250.00
#3-18	L-13 IRRIGATION LATERAL LINE: PVC SCHEDULE 40	LF	9181	\$4.00	\$36,724.00
#3-19	L-14 IRRIGATION MAINLINE: PVC SCHEDULE 40	LF	1282	\$15.00	\$19,230.00
#3-20	L-15 PIPE SLEEVE: 4" HDPE PE4710 DR 11	LF	548	\$20.00	\$10,960.00
#3-21	L-16 PIPE SLEEVE: PVC SCHEDULE 40	LF	262	\$10.00	\$2,620.00
4	SITE ELECTRICAL: (5)				\$76,462.50
#4-1	ELE-1 CONDUCTORS, F&I, INSULATED, NO. 8	LF	9310	\$3.75	\$34,912.50
#4-2	ELE-2 LOAD CENTER, F&I, SECONDARY VOLTAGE	EA	1	\$16,000.00	\$16,000.00
#4-3	ELE-3 LOAD CENTER, REMOVE, SECONDARY VOLTAGE	EA	2	\$1,500.00	\$3,000.00
#4-4	ELE-4 CONDUIT, FURNISH & INSTALL, OPEN TRENCH	LF	350	\$55.00	\$19,250.00
#4-5	ELE-5 PULL AND SPLICE BOX, F&I, 13" X 24" COVER SIZE	EA	1	\$3,300.00	\$3,300.00
5	ALTERNATE				\$45,000.00
#5-1	L-1 LIGNUM VITAE SPECIMEN, AS SHOWN ON PLAN (MULTI TRUNK)	EA	6	7,500.00	45,000.00

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 043-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Adopting An Amendment To The Town Of Palm Beach Retirement System Investment Policy Statement; Providing For Repeal Of Conflicting Resolutions; And Providing An Effective Date.

Presenter

Bob Miracle, Deputy Town Manager - Finance and Administration

ATTACHMENTS:

- ▢ **Memorandum Dated April 30, 2025 from Robert Miracle, Deputy Town Manager - Finance and Administration**
- ▢ **Resolution No. 043-2025**
- ▢ **Exhibit A**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025_____

To: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

From: Robert Miracle, Deputy Town Manager – Finance and Administration

Re: Resolution amending the Town's Investment Policy Statement for the Retirement System

Date: April 30, 2025

STAFF RECOMMENDATION

Staff recommends approval of Resolution No. 043-2025 amending the Town's Retirement System investment statement.

GENERAL INFORMATION

The investment policy for the Town of Palm Beach Retirement System is being amended to reflect the change the asset targets and ranges that the Retirement Board uses in their investment strategy.

This was approved by the TOPB Retirement Board on March 14, 2025. Below is what our Investment Manager, Dave West from Mariner, prepared for the Retirement Board approval:

The Board investment consultant has completed a periodic review of the Investment Policy Statement.

The Summary of recommendations and amendments approved by the Committee below:

Proposed amendments to the asset allocation targets and ranges.

- Establish a core allocation target of 10% for Private Debt; permissible range: 0-13% (TA).
- Reduce the Private Equity target to 3%; permissible range: 0-5%.
- Reduce the Core Real Estate target to 8%; permissible range: 0-15%.
- Remove upper limit on cash equivalents.
- Apply allocation macros for the major investment areas: Equity, Fixed Income, Real Estate, Cash, and Alternatives.

Amendments to Broad Market Fixed Income: Establish an intermediate duration benchmark (BB Intermediate "A" or Better Index) thereby reducing volatility exposures to market interest rate risk.

Amendments to benchmarking: Establish PME (Public Market Equivalent) benchmarking for all private investments.

Policy Table

The Board has established the following asset allocation targets for the total fund:

Asset Class	Target	Range	Benchmark Index
Domestic Equity	38%	33% - 43%	Russell 3000
International Equity	15%	10% - 20%	MSCI-ACWI ex US
Pvt. Equity ²	3%	0% - 5%	PME
Total Equity	56%	43% - 68%	
Broad Market Fixed Income	14%	10% - 27%	BB-Int. Agg. "A" or Better
Non-Core Fixed Income ¹	5%	0% - 10%	Strategy Index ³
Pvt. Debt ¹	10%	0% - 13%	PME
Total Fixed Income	29%	10% - 57%	
Real Estate Core / Value-Added Real Estate ¹	8%	0% - 15%	NFI-ODCE Fund Index (EW)
Total Real Estate	8%	0% - 15%	
Alternatives ²	3%	0% - 5%	Strategy Index ³
Total Alternatives	3%	0% - 5%	
Total Liquid Reserves	4%	4% - Discretionary	90-day T-Bill

Note: Allocation to Pvt. Equity shall be based on invested capital.

1. Absent of a full allocation, all or a portion of the target allocation will remain in domestic fixed income with the corresponding allowable range adjustment around the revised domestic fixed income target.

2. Absent of a full allocation, all or a portion of the target allocation will remain in domestic equity with the corresponding allowable range adjustment around the revised domestic equity target.

3. The "strategy index" for alternative assets is defined as the most appropriate index, combination of indices, or absolute return target for the investment(s) in question. The strategy index will be determined at the time of engagement based on the specific investment's long-term objective, prospectus, and/or governing documents and reflected in performance evaluation reports.

FUNDING/FISCAL IMPACT

N/A

TOWN ATTORNEY REVIEW

This resolution has been reviewed by the Town Attorney for legal form and sufficiency.

Attachments

cc: JoAnne O'Connor, Town Attorney
Carolyn Stone, Deputy Town Manager for Business Enterprise and Culture

RESOLUTION 043-2025

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, ADOPTING AN AMENDMENT TO THE TOWN OF PALM BEACH RETIREMENT SYSTEM INVESTMENT POLICY STATEMENT; PROVIDING FOR REPEAL OF CONFLICTING RESOLUTIONS; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Board of Trustees of the Town of Palm Beach Retirement System adopted a revised Investment Policy Statement at its meeting on March 14, 2025; and,

WHEREAS, the revised Investment Policy Statement is subject to the approval of Town Council in accordance with the Section 82-57 of the Code of Ordinances of the Town of Palm Beach; and,

WHEREAS, the Town Council desires to approve the proposed revised Investment Policy Statement for the Town of Palm Beach Retirement System.

NOW THEREFORE, the Town Council of the Town of Palm Beach, Palm Beach County, Florida hereby resolves:

Section 1. The foregoing recitals are hereby ratified and confirmed.

Section 2. The Town of Palm Beach Retirement System Investment Policy Statement attached hereto as Exhibit "A", is hereby approved and adopted.

Section 3. This Resolution hereby repeals all resolutions in conflict herewith.

Section 4. This Resolution shall become effective immediately upon its adoption.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this ____ day of _____ 2025.

Danielle H. Moore, Mayor

Bobbie Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

Julie Araskog, Town Council Member

Ted Cooney, Town Council Member

ATTEST:

Kelly Churney, Town Clerk

Bridget Moran, Town Council Member

EXHIBIT “A”

I. PURPOSE OF INVESTMENT POLICY STATEMENT

The Pension Board of Trustees (“Board”) maintains that an important determinant of future investment returns is the expression and periodic review of the Town of Palm Beach Retirement System (“the Retirement System”) investment objectives. To that end, the Board has adopted this statement of Investment Policy and directs that it applies to all assets under their control.

In fulfilling their fiduciary responsibility, the Board recognizes that the retirement system is an essential vehicle for providing income benefits to retired participants or their beneficiaries. The Board also recognizes that the obligations of the Retirement System are long-term and that investment policy should be made with a view toward performance and return over a number of years. The general investment objective is to obtain a reasonable total rate of return - defined as interest and dividend income plus realized and unrealized capital gains or losses - commensurate with the Prudent Investor Rule and any other applicable ordinances and statutes.

Reasonable consistency of return and protection of assets against the inroads of inflation are paramount. However, interest rate fluctuations and volatility of securities markets make it necessary to judge results within the context of several years rather than over short periods of five years or less.

The Board will employ investment professionals to oversee and invest the assets of the Retirement System. Within the parameters allowed in this document and their agreements with the Board, the investment management professionals shall have investment discretion over their mandates, including security selection, sector weightings and investment style.

The Board, in performing their investment duties, shall comply with the fiduciary standards set forth in Employee Retirement Income Security Act of 1974 (ERISA) at 29 U.S.C. s. 1104(a) (1) (A) – (C). In case of conflict with other provisions of law authorizing investments, the investment and fiduciary standards set forth in this section shall prevail.

II. TARGET ALLOCATIONS

In order to provide for a diversified portfolio, the Board has engaged investment professional(s) to manage and administer the fund. The investment manager(s) are responsible for the assets and allocation of their mandate only and may be provided an addendum to this policy with their specific performance objectives and investment criteria.

The Board has established the following asset allocation targets for the total fund:

Asset Class	Target	Range	Benchmark Index
Domestic Equity	38%	33% - 43%	Russell 3000
International Equity	15%	10% - 20%	MSCI-ACWI ex US
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3. The "strategy index" for alternative assets is defined as the most appropriate index, combination of indices, or absolute return target for the investment(s) in question. The strategy index will be determined at the time of engagement based on the specific investment's long-term objective, prospectus, and/or governing documents and reflected in performance evaluation reports.

The Board of Trustees, with assistance from the Consultant, will monitor the aggregate asset allocation of the portfolio, and will rebalance to the target asset allocation based on market conditions. If at the end of any calendar quarter, the allocation of an asset class falls outside of its allowable range, barring extenuating circumstances such as pending cash flows or allocation levels viewed as temporary, the asset allocation will be rebalanced into the allowable range. To the extent possible, contributions and withdrawals from the portfolio will be executed proportionally based on the most current market values available. The Board does not intend to exercise short-term changes to the target allocation.

The Office of the Town Finance Director is authorized to move funds as required within the existing investment structure and its established investments as required for the maintenance of the target allocation, and for the management of Retirement System Cash Flow.

III. INVESTMENT PERFORMANCE OBJECTIVES

The following performance measures will be used as objective criteria for evaluating the effectiveness of the Investment Managers.

A. Total Portfolio Performance

1. The performance of the total portfolio will be measured for rolling three and five year periods. The Target Index for the Retirement System is defined in the TARGET ASSET ALLOCATION table including within this policy.
2. On a relative basis, it is expected that the total portfolio performance will rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.
3. On an absolute basis, the objective is that the return of the total portfolio will equal or exceed the actuarial earnings assumptions as scheduled (effective with the September 30, 2016 actuarial valuation, the assumed rate of investment return was decreased to 7.4% and was further decreased by 10 basis points each year thereafter until the assumed rate reached 7.1% effective with the September 30, 2019 actuarial valuation. The assumed rate was then reduced to 6.8% effective with the September 30, 2020 actuarial valuation. Effective with the September 30, 2021 actuarial valuation, the assumed rate of investment return was decreased 20 basis points to 6.6% with further decreases of 20 basis points each year thereafter until the assumed rate reaches 6.0% effective with the September 30, 2024 actuarial valuation). The assumed rate of return will provide inflation protection by meeting Consumer Price Index plus at least 3%.

B. Equity Performance

The combined equity portion of the portfolio, defined as common stocks and convertible bonds, is expected to perform at a rate at least equal to the respective indices indicated in the target allocation table. Individual components of the equity portfolio will be compared to the specific benchmarks defined in each Investment Manager addendum. All portfolios are expected to rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.

C. Fixed Income Performance

The overall objective of the fixed income portion of the portfolio is to add stability and liquidity to the total portfolio. The fixed income portion of the portfolio is expected to perform at a rate at least equal to the respective indices indicated in the target allocation table. Individual components of the equity portfolio will be compared to the specific benchmarks defined in each Investment Manager addendum. All portfolios are expected to

rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.

D. Non-Core Fixed Income Performance

The overall objective of the non-core fixed income portion of the portfolio, Non-core fixed income shall be defined as investments in various classes of fixed income securities oriented towards credit. Some of these strategies may not be liquid allowing the Retirement System to take advantage of illiquidity premiums available in these market investments. The portfolio is expected to perform at a rate at least equal to a blended index comprised of the Strategy Index³ as defined in the Asset Allocation Table.

E. Real Estate Performance

The overall objective of the real estate portfolio of the portfolio, if utilized, is to add diversification and another stable income stream to the total fund. The real estate portion of the total fund, defined as core, open ended private real estate, is expected to perform at a rate at least equal to the NFI-ODCE Fund Index (EW) and rank in the top 50th percentile of the appropriate peer universe over 5-year time periods.

F. Alternative and Other Non-Traditional Asset Performance

The overall objective of the alternative and/or "other asset" portion of the portfolio, if utilized, is to reduce the overall volatility of the portfolio and enhance returns. This portion of the fund will be benchmarked as outlined in the manager addendum.

IV. INVESTMENT GUIDELINES

A. Authorized Investments

Pursuant to the investment powers of the Board of Trustees as set forth in the Florida Statutes and local ordinances, the Board of Trustees sets forth the following investment guidelines and limitations:

1. Equities:
 - a. Must be traded on a national exchange or electronic network; and
 - b. Not more than five percent (5%) of the Retirement System's assets, at the time of purchase, shall be invested in the common stock, capital stock or convertible stock of any one issuing company, nor shall the aggregate investment in any one issuing company exceed 5% of the outstanding capital stock of the company; and
 - c. Additional criteria may be outlined in the manager's addendum.
2. Fixed Income:
 - a. All directly held fixed income investments shall have a rating of in the Top Three ratings classifications as reported by a major credit rating service; and
 - b. The value of bonds issued by any single corporation shall not exceed 5% of the total fund; and

- c. Additional criteria may be outlined in the manager's addendum.
- 3. Money Market:
 - a. The money market fund or STIF options provided by the Retirement System's custodian; and
 - b. Have a minimum rating of Standard & Poor's A1 or Moody's P1.
- 4. Pooled Funds:

Investments made by the Board may include pooled funds. For purposes of this policy pooled funds may include, but are not limited to, mutual funds, commingled funds, exchange-traded funds, limited partnerships and private equity. The asset classification of the fund will be based upon its investment objective and may be interpreted consistent with the Florida Department of Management Services Division of Retirement. Pooled funds may be governed by separate documents which may include investments not expressly permitted in this Investment Policy Statement. In the event of investment by the Retirement System into a pooled fund, the Board will adopt the prospectus or governing policy of that fund as the stated addendum to this Investment Policy Statement.

B. Trading Parameters

When feasible and appropriate, all securities shall be competitively bid. Except as otherwise required by law, the most economically advantageous bid shall be selected. Commissions paid for purchase of securities must meet the prevailing best-execution rates. The responsibility of monitoring best price and execution of trades placed by each manager on behalf of the Retirement System will be governed by the Portfolio Management Agreement between the Retirement System and the Investment Managers.

C. Limitations

All directly held equity and fixed income securities must be readily marketable. Commingled funds must be independently appraised at least annually.

- 1. The Board and its Investment Managers shall comply with the applicable requirements of Chapter 2023-28, Laws of Florida, including Section 112.662, along with regulations adopted by the Department of Management Services. The term "pecuniary factor" is defined as a factor that a named fiduciary "prudently determines is expected to have a material effect on the risk or returns of an investment based on appropriate investment horizons consistent with the investment objectives and funding policy of the investment program. The term does not include the consideration of the furtherance of any social, political, or ideological interests." [112.662(1)]. In selecting Investment Managers, only pecuniary factors may be considered and the interests of the participants and beneficiaries of the system may not be subordinated to other objectives, including sacrificing investment return or undertaking additional investment risk to promote any nonpecuniary factor. The weight given to any pecuniary factor must appropriately reflect a prudent assessment of its impact on risk or returns. [112.662(2)]. Only pecuniary factors may be considered when voting proxies. [112.662(3)]

D. Absolute Restrictions

No investments shall be permitted in;

1. Any investment not specifically allowed as part of this policy.
2. Illiquid investments, as described in Chapter 215.47, Florida Statutes.

V. COMMUNICATIONS

- A. On a monthly basis, the custodian shall supply an accounting statement that will include a summary of all receipts and disbursements and the cost and the market value of all assets.
- B. On a quarterly basis, the Investment Managers shall provide a written report affirming compliance with the security restrictions of Section IV (as well as any provisions outlined in the Investment Manager's addendum). In addition, the Investment Managers shall deliver a report each quarter detailing the Retirement System's performance, forecast of the market and economy, portfolio analysis and current assets of the Retirement System. Written reports shall be delivered to the Board within 30 days of the end of the quarter. A copy of the written report shall be submitted to the person designated by the Town and shall be available for public inspection. The Investment Managers will provide immediate written and telephone notice to the Board of any significant market related or non-market related event, specifically including, but not limited to, any deviation from the standards set forth in Section IV or their Investment Manager addendum.
- C. If the Fund owns investments, that complied with section IV at the time of purchase, which subsequently exceed the applicable limit or do not satisfy the applicable investment standard, such excess or noncompliant investments may be continued until it is economically feasible to dispose of such investment in accordance with the prudent man standard of care, but no additional investment may be made unless authorized by law or ordinance. An action Retirement System outlining the investment 'hold or sell' strategy shall be provided to the Board immediately.
- D. The Investment Consultant shall evaluate and report on a quarterly basis the rate of return net of investment fees and relative performance of the Retirement System.
- E. The Board will meet periodically to review the Investment Consultant performance report. The Board will meet with the investment manager and appropriate outside consultants to discuss performance results, economic outlook, investment strategy and tactics and other pertinent matters affecting the Retirement System on a periodic basis.
- F. At least annually, the Board shall provide the Investment Managers with projected disbursement needs of the Retirement System so that the investment portfolio can be structured in such a manner as to provide sufficient liquidity to pay obligations as they come due. To this end the Investment Managers should, to the extent possible, attempt to match investment maturities with known cash needs and anticipated cash-flow requirements.

- G. The Board shall timely comply with the reporting requirement of Section 112.662 by filing a comprehensive report by December 15 of each odd-numbered year. [112.662(4)]. Investment managers and the Board's Investment Consultant shall assist in the preparation of required reports and shall annually confirm to the Board their compliance with Chapter 2023-28.

VI. COMPLIANCE

- A. It is the direction of the Board that the Retirement System assets are held by a third-party custodian, and that all securities purchased by, and all collateral obtained by the Retirement System shall be properly designated as Retirement System assets. No withdrawal of assets, in whole or in part, shall be made from safekeeping except by an authorized member of the Board or their designee. Securities transactions between a broker-dealer and the custodian involving purchase or sale of securities by transfer of money or securities must be made on a "delivery vs. payment" basis to ensure that the custodian will have the security or money in hand at conclusion of the transaction.
- B. The investment policy shall require all approved institutions and dealers transacting repurchase agreements to execute and perform as stated in the Master Repurchase Agreement. All repurchase agreement transactions shall adhere to the requirements of the Master Repurchase Agreement.
- C. At the direction of the Board operations of the Retirement System shall be reviewed by independent certified public accountants as part of any financial audit periodically required. Compliance with the Board's internal controls shall be verified. These controls have been designed to prevent losses of assets that might arise from fraud, error, or misrepresentation by third parties or imprudent actions by the Board or employees of the Retirement System sponsor, to the extent possible.
- D. The Board acknowledges the importance of continuing education for the Trustees. Education will be provided on an on-going basis by the Fund's actuary, attorney, custodian, investment manager(s), consultant, and administrator. In addition, the Trustees are encouraged to attend educational conferences in connection with their duties and responsibilities.
- E. With each actuarial valuation, the Board shall determine the total expected annual rate of return for the current year, for each of the next several years and for the long term thereafter. This determination shall be filed promptly with the Department of Management Services, the Retirement System's sponsor, and the consulting actuary.
- F. The proxy votes must be exercised for the exclusive benefit of the participants of the Retirement System. Each Investment Manager shall provide the Board with a copy of their proxy voting policy for approval. On a regular basis, at least annually, each manager shall report a record of their proxy vote.
- G. The Investment Consultant will provide Investment Managers for consideration based solely on pecuniary factors as defined by Florida Statutes §112.662.

- H. If a Request for Proposals document is issued for Investment Manager services, the solicitation document must include the following: The Board of Trustees may not request documentation of or consider a vendor's social, political, or ideological interests when determining if the vendor is a responsible vendor. Additionally, the Board of Trustees may not give preference to a vendor based on vendor's social, political, or ideological interests.

VII. CRITERIA FOR INVESTMENT MANAGER REVIEW

The Board wishes to adopt standards by which judgments of the ongoing performance of a portfolio manager may be made.

- Four (4) consecutive quarters of relative under-performance verses the benchmark index.
- Three (3) year trailing return below the top 50th percentile within the appropriate peer group and under performance verses the benchmark index.
- Five (5) year trailing return below the top 50th percentile and under performance verses the benchmark index.
- Three (3) year downside volatility greater than the index (greater than 100), as measured by down market capture ratio.
- Five (5) year downside volatility greater than the index (greater than 100), as measured by down market capture ratio.
- Style consistency or purity drift from the mandate.
- Management turnover in portfolio team or senior management.
- Investment process change, including varying the index or benchmark.
- Failure to adhere to the IPS or other compliance issues.
- Investigation of the firm by the Securities and Exchange Commission (SEC).
- Significant asset flows into or out of the company.
- Merger or sale of firm.
- Fee increases outside of the competitive range.
- Servicing issues – key personnel stop servicing the account without proper notification.
- Failure to attain a 60% vote of confidence by the Board.

Nothing in this section shall limit or diminish the Board's right to terminate the manager at any time for any reason.

VIII. APPLICABLE TOWN ORDINANCES

If at any time this document is found to conflict with the Town Ordinances or applicable Florida Statutes, the Ordinances and Statutes shall prevail.


IX. REVIEW AND AMENDMENTS

It is the Board's intention to review this document at least annually subsequent to the actuarial report and to amend this statement to reflect any changes in philosophy, objectives, or guidelines. In this regard, the Investment Manager's interest in consistency in these matters is

recognized and will be taken into account when changes are being considered. If, at any time, the Investment Manager feels that the specific objectives defined herein cannot be met, or the guidelines constrict performance, the Board should be notified in writing. By initialing and continuing acceptance of this Investment Policy Statement, the Investment Managers concur with the provisions of this document. By signing this document, the Chairman attests that this policy has been recommended by the Investment Consultant, reviewed by the Retirement System's legal counsel for compliance with applicable law, and approved by the Board of Trustees.

X. FILING OF THE INVESTMENT POLICY

Upon adoption by the Board, the investment policy shall be promptly filed with the Florida Department of Management Services, the Town, and the Retirement System's actuary. The effective date of the Investment Policy shall be 31 days following the filing date with the Town.



For the Town of Palm Beach Retirement System
Daniel Stanton, Chairman

3/30/25
Date

Approved as to form and legal sufficiency:



Janice Rustin
Counsel to the Board of Trustees

3/31/25
Date

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 044-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Authorizing A Retroactive Purchase Order to Hedrick Brothers to Provide Construction Services Related to the Removal and Restoration of the Temporary Trailer Site at the North Fire Station in the Amount of \$231,618.33, Approving a Contingency of \$34,742 and approving a Project Budget of \$266,360.

Presenter

Dean Mealy, II, Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 044-2025**
- ▣ **Proposal**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 044-2025, authorizing a retroactive purchase order to Hedrick Brothers to provide construction services related to the removal and restoration of the temporary trailer site at the North Fire Station in the amount of \$231,618.33, approving a contingency of \$34,742 and approving a project budget of \$266,360

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommend the Town Council approve Resolution No. 044-2025, authorizing a retroactive purchase order to Hedrick Brothers to provide construction services related to the removal and restoration of the temporary trailer site at the North Fire Station in the amount of \$231,618.33, approving a contingency of \$34,742 and approving a project budget of \$266,360.

SUMMARY EXPLANATION/BACKGROUND

The dormitory trailer that was used to house fire staff during the construction at North Fire has been sold to the Town of Jupiter. The trailer was officially removed from the site on April 12, 2025.

With the removal of the dormitory trailer, sitework was required to finalize the Fire Station and related grounds. Work consists of:

- Installation of new drain basin and tie in drainage
- Install approximately 160lf of 10' wide new paving, milling and resurfacing
- Bring site back to grade and preparation for landscaping
- Striping and signage
- New 6" sanitary service to main
- Remove and replace 50lf of sidewalk
- Remove and replace curb
- Install concrete parking area for emergency vehicle
- ADA ramp and crosswalk at Wells Road
- Remove and replace 125' of curb on Wells Road
- Hedrick Brother general conditions

- Survey – Final completion
- Contractor's Fee
- General Liability
- Payment and Performance Bond

FUNDING/FISCAL IMPACT

Funding for this award will be from the Capital Improvement Fund.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 044-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AUTHORIZING A RETROACTIVE PURCHASE ORDER TO
HEDRICK BROTHERS TO PROVIDE CONSTRUCTION
SERVICES RELATED TO THE REMOVAL AND
RESTORATION OF THE TEMPORARY TRAILER SITE AT
THE NORTH FIRE STATION IN THE AMOUNT OF \$231,618.33,
APPROVING A CONTINGENCY OF \$34,742 AND APPROVING
A PROJECT BUDGET OF \$266,360**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 044-2025, approving a retroactive purchase order to Hedrick Brothers to provide construction services related to the removal and restoration of the temporary trailer site at the North Fire Station in the amount of \$231,618.33, approving contingency of \$34,742 and approving a project budget of \$266,360.

Section 2. The Town Manager is hereby authorized to execute the Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



TOPB N Fire Station New Work at Temp Dormatory		Cost
Barricades		\$ 4,121.10
Sanitary Facilities - 165.00 per cleaning 2x week		\$ 1,650.00
Dumpsters - Dump & return - \$400 Each		\$ 800.00
Misc Tools		\$ 1,500.00
Erosion prevention (allowance)		\$ 2,200.00
Malone Electrical		\$ 11,400.00
Remove all electric & conduit		incl
Remove electric at storage unit AC		incl
Remove electric from trailer		incl
Remove temp electric in electric room piping		incl
Hook up light pole		incl
Low Voltage Allowance		\$ 3,500.00
JW Fire		\$ 3,630.00
Demo fire piping at trailer		
Repair FFC face to East		
KCL Plumbing		\$ 13,000.00
Install Sand/Oil/Grease sepaprator		
WPB fees for moving test tap?		
Move WPB test tap		
Roof drain connections		
Take sanitary to the road - Allowance		\$ 7,000.00
Rood		\$ 5,100.00
Additional Fox Tail Palms (per Jason)		
Deevan Inc.		\$ 39,600.00
Install new drain basin and tie in drain		\$ 8,500.00
Install approx 160lf of 10' wide new paving		\$ 23,200.00
Demo and haul away asphalt		incl
Bring site back to grade and prep for landscaping		incl
Striping allowance		\$ 1,500.00

Wm D. Adeimy		
Remove 50lf of sidewalk	\$	3,750.00
Install additional curb	\$	4,950.00
Install 8" concrete parking area	\$	6,800.00
Install new handicap ramp	\$	2,750.00
Demolish and install sidewalk at east and west side	\$	5,500.00
Demolish and install 125' of curb on N side	\$	6,250.00
Increase to 10" slab	\$	1,360.00
Fence allowance	\$	3,000.00
Approx 50' @ 60xlf (allowance for PVC)	incl	
<i>Allowance for Aluminum reinforcement inside PVC</i>	\$	4,500.00
Hedrick Brothers		
Daniel Jones	\$	9,000.00
Chris Laliberte	\$	23,000.00
Sandy Scanlon - (10 hrs x week)	\$	4,250.00
Julian Osorio - (5 hrs x week)	\$	3,550.00
Final Clean Allowance	\$	1,500.00
<i>Survey</i>	\$	4,700.00
TOTAL	\$	211,561.10
<i>Contractor's Fee - 8%</i>	\$	16,924.89
<i>General Liability - 1.3%</i>	\$	2,970.32
<i>P&P Bond - .07</i>	\$	162.02
	\$	231,618.33

TOPB N Fire House – Wells Road Work

Qualifications

Qualifications

Organized by 16 Construction Divisions

Division 01 – General Requirements

1. Permits Obtained by Others:

- "The Contractor assumes no liability for delays, costs, or compliance issues arising from permits, licenses, or bonds obtained by the Owner or other parties. The Contractor's responsibility is limited to permits explicitly required under its scope of work."

2. Survey and As-Built Costs Beyond Base Scope:

- "Certified surveys and as-built drawings are excluded from the base contract price unless specifically itemized. Any additional surveying or documentation required due to Owner or jurisdictional agency requests shall be at the Owner's expense."

3. Access Restrictions:

- "Delays or additional costs due to restricted access to residences or work areas, as determined by property owners or regulatory authorities, are excluded from this contract and shall be addressed via change order."

4. Dumpster Usage:

- "The Contractor has included two dumpster 'dump and returns' in the base scope. Additional dumpsters required due to debris generated by fire station staff or other unforeseen sources are not included and shall be at the Owner's expense. Note: Fire station staff are discouraged from using onsite dumpsters due to limited capacity."

5. Project Management Time:

- "The Contractor has included 10 hours for the project administrator and 5 hours for the project manager in the base scope. Any changes or additional work requiring increased involvement of these roles will include additional time and costs, to be addressed via change order."

6. Force Majeure:

- "The Contractor shall not be liable for delays, costs, or damages resulting from acts of God, weather events, labor disputes, or other circumstances beyond our reasonable control."

7. Third-Party Actions:

- "The Contractor is not responsible for costs or delays caused by the actions or inactions of the Owner, Engineer, utility companies, or other contractors not under our direct supervision."

8. Changes in Scope or Design:

- "Any deviations, field changes, or additional work not approved in writing by the Contractor prior to execution are excluded from the base contract price and shall be subject to a change order with additional compensation."
- 9. Unforeseen Conditions and Changes:**
- "Any changes in the work or unforeseen conditions will be presented to the Town for review. If deemed legitimate, additional schedule time, general conditions, and markup will be added to the contract price via change order. Legitimacy shall be determined based on the following criteria: (a) the condition could not reasonably have been foreseen based on provided plans, specifications, and site inspections; (b) the condition materially impacts the scope, cost, or schedule; and (c) written notification is provided to the Town within 5 business days of discovery, with a detailed proposal submitted within 10 business days thereafter, subject to Town approval within 5 business days of receipt."

Division 02 – Existing Conditions

- 10. Accuracy of Existing Utility Information:**
- "The Contractor shall not be liable for inaccuracies or omissions in the location, size, or condition of existing underground or overhead utilities as shown on the provided plans or surveys. Any additional costs or delays resulting from unforeseen utility conflicts, relocations, or damages shall be the responsibility of the Owner."
- 11. Pre-Construction Site Conditions:**
- "The Contractor is not responsible for pre-existing site conditions, including but not limited to soil stability, underground obstructions, or environmental hazards, not disclosed in the provided geotechnical reports or construction documents. Additional costs arising from such conditions shall be subject to a change order."
- 12. Conflicts with Existing or Proposed Improvements:**
- "The Contractor shall not be liable for costs or delays resulting from conflicts between proposed improvements and existing or other proposed structures not identified in the construction documents provided by the Owner or Engineer."
- 13. Damage Caused by Others:**
- "The Contractor is not responsible for damage to private property, utilities, or adjacent facilities caused by third parties, including utility companies, subcontractors not under our direct control, or Owner-directed activities."
- 14. Unidentified Items for Demolition:**
- "The Contractor is not liable for costs associated with the removal, support, or preservation of structures, utilities, or landscaping not identified in the provided survey or construction documents. Such additional work shall be subject to Owner approval and compensation."
- 15. Asbestos or Hazardous Materials:**
- "The identification, removal, and disposal of asbestos, hazardous materials, or contaminated soils are excluded from this contract unless specifically included in the scope of work. Any such work required shall be at the Owner's expense."
- 16. Sidewalk Removal:**

- "The Contractor has included the removal of approximately 50 LF of sidewalk in the base scope. Any additional sidewalk removal beyond this amount is not included and shall be addressed via change order."

17. Asphalt Removal and Grading:

- "The Contractor has included the removal of asphalt and bringing the site to grade as specified in the plans, including disposal costs. Additional asphalt removal or grading beyond this scope is not included."

Division 03 – Concrete

18. Truck Parking Area:

- "The Contractor has included a 10" slab with road mesh at the truck parking area (approximately 381.01 SF) as specified. Any changes to slab thickness, additional reinforcement, or finishes (e.g., coatings) are not included."

Division 04 – Masonry

(No specific qualifications apply from your scope.)

Division 05 – Metals

(No specific qualifications apply from your scope.)

Division 06 – Wood, Plastics, and Composites

(No specific qualifications apply from your scope.)

Division 07 – Thermal and Moisture Protection

(No specific qualifications apply from your scope beyond joint sealing, handled by Waterproofing Company.)

Division 08 – Openings

(No specific qualifications apply from your scope.)

Division 09 – Finishes

(No specific qualifications apply from your scope.)

Division 10 – Specialties

(No specific qualifications apply from your scope.)

Division 11 – Equipment



(No specific qualifications apply from your scope.)

Division 12 – Furnishings

(No specific qualifications apply from your scope.)

Division 13 – Special Construction

(No specific qualifications apply from your scope.)

Division 14 – Conveying Equipment

(No specific qualifications apply from your scope.)

Division 15 – Mechanical (Plumbing)

19. Unknown Utility Service Locations:

- "The Contractor is not responsible for locating or repairing water, sewer, or other utility services not accurately depicted in the provided plans. Costs for repairs or temporary service provisions due to unforeseen service disruptions shall be the Owner's responsibility."

20. Storm Drain Redirection:

- "Redirection of storm drains found connected to the sanitary system is excluded from the base contract price, as noted in the construction documents, and shall be treated as additional work compensable by the Owner."

21. Plumbing Scope Limits:

- "The Contractor has included funds to relocate the water test tap and connect roof drains to the catch basin, as well as an allowance for extending the sanitary line out to the road, which is believed to be potentially necessary. Temporary water rerouting and any additional plumbing work beyond these items and the allowance are not included and shall be addressed via change order."

Division 16 – Electrical

22. Electrical Scope Limits:

- "The Contractor has included funds to remove temporary trailer electrical components (e.g., wiring and connections to the trailer) and to hook up one light in the base scope. Any additional electrical scope beyond these items, including additional lighting or power connections, is not included and shall be at the Owner's expense."

23. Low Voltage Work Allowance:

- "The Contractor has included a \$3,500 allowance for any unforeseen low voltage work (e.g., damage to existing systems). Additional low voltage requirements exceeding this amount are not included and shall be subject to a change order."



Additional Divisions

Division 31 – Earthwork

24. Construction Entrance:

- "The Contractor excludes the installation of a construction entrance, as it is deemed unnecessary due to the small site size (0.20 acres total disturbed area) and all parking being located outside the construction area."

25. Unforeseen Erosion Control Measures:

- "The Contractor shall not be liable for additional erosion control measures beyond those specified in the contract documents provided at the time of bidding. Any additional Best Management Practices (BMPs) required due to site conditions or regulatory changes shall be at the Owner's expense."

26. Permitting Delays or Costs:

- "Costs or delays associated with obtaining or complying with the Notice of Intent (NOI), NPDES permits, or other environmental permits not explicitly assigned to the Contractor are excluded and shall be the responsibility of the Owner."

27. Turbidity or Water Quality Violations:

- "The Contractor is not liable for fines, penalties, or additional remediation costs due to turbidity or water quality violations caused by pre-existing site conditions, acts of nature, or third-party actions beyond our control."

28. Catch Basin Scope:

- "The Contractor has included the installation of the catch basin as shown on the plans, including all specified piping connections (e.g., downspouts). Please note that the catch basin's functionality may be impacted by the current elevation of inverts, and any modifications, additional drainage structures, or corrective work required due to invert elevations are not included and shall be at the Owner's expense."

Division 32 – Exterior Improvements

29. Paving Scope Limits:

- "The Contractor has included approximately 160 LF of 10' wide new paving at Wells Road and N County (not to FDOT specifications) in the base scope. Additional paving beyond this scope or upgrades to FDOT specifications are not included."

30. Curb Installation:

- "The Contractor has included the installation of curb as shown on the plans and approximately 125 LF of curb in the base scope. Additional curb beyond these quantities is not included."

31. Restoration Beyond Specified Scope:

- "Restoration of private property (e.g., landscaping, paving, irrigation) is limited to the condition specified in the contract documents. Enhancements beyond this standard or demanded by property owners are excluded and shall be paid for by the Owner."



32. Temporary Relocation of Landscaping:

- "Costs for temporary storage, protection, and reinstallation of landscaping or trees beyond the quantities or items specified in the contract are excluded and shall be subject to a change order."

33. Landscaping Scope Limits:

- "The Contractor has included funds to install additional Fox Tail Palms as a buffer to the neighbor's house. No additional landscaping (e.g., irrigation, sod) beyond this scope is included and shall be at the Owner's expense."

34. Fencing Allowance:

- "The Contractor has included a \$3,000 allowance for PVC fencing and an additional \$4,500 allowance for reinforcement (e.g., posts). Any fencing, reinforcement costs, or gates exceeding these amounts are not included and shall be subject to a change order."

Division 34 – Transportation

35. Traffic Management Beyond Base Plan:

- "Additional traffic control measures, including flagmen or lane closure adjustments, beyond those outlined in the base Maintenance of Traffic (MOT) plan are excluded. Costs due to unforeseen traffic demands or coordination with other project phases shall be borne by the Owner."

36. Striping Allowance:

- "The Contractor has included a \$1,500 allowance for striping at the stop sign. Additional striping or marking work (e.g., crosswalks, lane lines) exceeding this amount is not included and shall be addressed via change order."



TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 045-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, authorizing a retroactive purchase order to Chen Moore and Associates for Construction Phase Services for N. County Rd. Drainage - Phase 1 in the Amount of \$187,080, approving a Contingency in the Amount of \$28,062 and Approving a Project Budget in the Amount of \$215,142.

Presenter

Dean Mealy, II, Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 045-2025**
- ▣ **Proposal**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 045-2025, authorizing a retroactive purchase order to Chen Moore and Associates for Construction Phase Services for N. County Rd. Drainage – Phase 1 in the amount of \$187,080, approving a contingency in the amount of \$28,062 and approving a project budget in the amount of \$215,142

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 045-2025, authorizing a retroactive purchase order to Chen Moore and Associates for Construction Phase Services for N. County Rd. Drainage – Phase 1 in the amount of \$187,080, approving a contingency in the amount of \$28,062 and approving a project budget in the amount of \$215,142

SUMMARY EXPLANATION/BACKGROUND

Procurement and Contract Management issued ITB No. 2025-11 for North County Road Drainage Improvements. Town Council approved the award at the April 7, 2025, meeting. To get the contractor on board and complete all the required backup for the contract and payment and performance bonds, Construction Phase Services were pushed to the May 13, 2025, Town Council Meeting.

Construction Phase Services are required for oversight of the project. Chen Moore and Associates was the design engineer for the project and has provided below for construction phase services of the project:

- Review and approval of shop drawings and technical submittals
- Respond to contractor requests for information
- Pre-construction and Progress Meetings
- Onsite Inspections and Oversight
- As-built Review
- Material Testing Review
- Certification

FUNDING/FISCAL IMPACT

Funding for this award will be from the Capital Improvement Fund.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 045-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AUTHORIZING A RETROACTIVE PURCHASE ORDER TO
CHEN MOORE AND ASSOCIATES FOR CONSTRUCTION
PHASE SERVICES FOR N. COUNTY RD. DRAINAGE – PHASE
1 IN THE AMOUNT OF \$187,080, APPROVING A
CONTINGENCY IN THE AMOUNT OF \$28,062 AND
APPROVING A PROJECT BUDGET IN THE AMOUNT OF
\$215,142**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 045-2025, authorizing a retroactive purchase order to Chen Moore and Associates for Construction Phase Services for N. County Rd. Drainage – Phase 1 in the amount of \$187,080, approving a contingency in the amount of \$28,062 and approving a project budget in the amount of \$215,142.

Section 2. The Town Manager is hereby authorized to execute the Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member

500 S. Australian Ave., Suite 850
West Palm Beach, FL 33401
Office: +1 (561) 746-6900



March 31, 2025

SENT VIA EMAIL
(DMealy@TownofPalmBeach.com)

Dean Mealy, II
Purchasing Manager
Town of Palm Beach
360 S. County Road
Palm Beach, FL 33480

Subject: **NORTH COUNTY ROAD DRAINAGE IMPROVEMENTS CONSTRUCTION PHASE SERVICES**
CMA Proposal: 25-0431.P0004

Dear Mr. Mealy:

Chen Moore and Associates (CMA) is pleased to submit the attached Agreement for Professional Services to provide construction services associated with the North County Road Drainage Improvements Project. This proposal defines the scope of work, schedule, and compensation for the construction services associated with this project.

I. SCOPE OF SERVICES

The Scope of Services is comprised of the following tasks:

- Task 1.1** – Review and Approval of Shop Drawings and Technical Submittals
- Task 1.2** – Respond to Contractor Requests for Information (RFI's)
- Task 1.3** – Pre-Construction and Progress Meetings
- Task 2.1** – Onsite Inspections and Oversight
- Task 3.1** – As-Built Review
- Task 3.2** – Material Testing Review
- Task 3.3** – Certification

Below is a description of the services included with each of these essential tasks:

Task 1.1 – Review and Approval of Shop Drawings and Technical Submittals

For scoping purposes, it is assumed there will be up to 20 shop drawings and technical submittals by the Contractor that will require review. The review will include comparison of the Contractor's submitted documents to the requirements of the Contract Documents. The review also includes up to one re-submittal review for correction and revision by the Contractor per submittal package. In addition, any substantial deviation from the project requirements will be documented and returned to The Town's Project Manager (TOWN) with instructions on how to proceed based on the severity and nature of the deficiencies encountered.

Task 1.2 – Respond to Contractor Requests for Information (RFIs)

CMA will answer and address the contractor's Requests for Information (RFI) which requires interpretation of the plans. This task includes only those RFIs that are directly related to any original products prepared by CMA for the construction of this project and excludes interpretation of any documents originally created by the TOWN, the Contractor, or their sub-contractors and suppliers. For scoping purposes, it is assumed that a total of ten (10) RFI's will be reviewed.

Task 1.3 – Pre-Construction and Progress Meetings

At the outset of the project, CMA will facilitate and conduct a Pre-Construction Meeting with the Town and the Contractor to review critical elements of the project and review considerations with respect to schedule, working hours, tree preservation, maintenance of traffic, staging and communication. Once NTP has been issued, CMA will facilitate progress meetings as often as twice a month to review project progress and discuss any concerns. All meetings are assumed to be one hour in length. CMA will provide a sign-in sheet, agenda and summary for each meeting. The Pre-Construction Meeting will be attended by four (4) staff members from CMA: the Principal Engineer (Engineer of Record), Senior Engineer, Associate Engineer, and Senior Construction Specialist. Depending on the content of the meeting, the Progress Meetings will be attended by at a minimum two (2) staff members from CMA: the Senior Construction Specialist and the Associate Engineer. Based on the schedule, it is assumed that up to 28 progress meetings will be held.

Task 2.1 – On-Site Inspections and Oversight

During the construction of the project, a designate of the Engineer of Record will be routinely on-site to perform inspections and observation of the work in progress. The objective of the site inspection is to assure the Engineer that the construction is being completed in substantial accordance with the contract documents. This task is directly related to the ultimate Certification of Construction at the conclusion of the project and is only intended to provide information to the Engineer of Record.

For scoping purposes, it is assumed there will be four categories of CMA staff members performing periodic site visits: Senior Construction Specialist, Associate Engineer, Senior Engineer, and Principal Engineer (Engineer of Record). It is assumed that active construction duration will be 7 months. During construction activities it is assumed the hours will be distributed as follows:

- Senior Construction Specialist (20 hours per week)
- Associate Engineer (8 hours per week)
- Senior Engineer (2 hours per week)
- Principal Engineer (1 hour per week)

It is assumed that the time allocated for on-site inspections and oversight will also encompass several non-construction related coordination items, including the following:

- Resident coordination
- Updates for Town Staff regarding road closures to include on the Town website
- Coordination with utility companies during construction

- This time allocation assumes work progresses on weekdays and during normal working hours. Night work and weekend work is not planned but will be coordinated with the Town staff if needed.

Near the conclusion of the construction phase, CMA will attend one Substantial Completion Inspection in order to allow for Certification of Construction. The Consultant's team will attend the site meeting. Any punch-lists or correspondence related to the Substantial Completion Inspection will be forwarded to the Engineer of Record. One Final Completion walk-through will be held including the Engineer of Record, or his designate.

Task 3.1 – As-Built Review

CMA will review as-built drawings prepared by others, provide comments and/or recommended corrections, and prepare a record drawing. The intent of this sub-task is to allow the Engineer of Record to assure himself that all aspects of the project were constructed in substantial conformance to the Plans and Specifications, thereby allowing him to certify the construction.

Task 3.2 – Material Testing Review

CMA will review material testing performed by the Contractor.

Task 3.3 – Certification

Upon completion of the Final Inspection CMA will issue a certificate that the project was completed in substantial accordance with the plans. The certificate will be signed and sealed by the Engineer of Record and delivered to the TOWN five (5) working days after the final set of as-builts are completed.

II. SCHEDULE

Construction is slated for May 2025 – November 2025.

III. EXCLUSIONS

The services outlined below are not included as part of the scope of work, although additional service agreements can be executed to assist the TOWN with these services if necessary:

- Topographic Surveys
- Underground investigations
- Community workshops
- Public Information Mailings
- Contract Interpretation
- Construction Document Reproduction

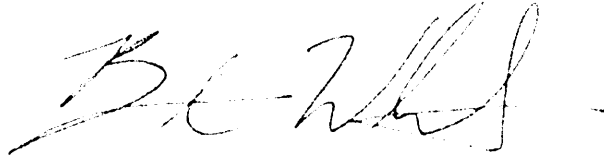
IV. COMPENSATION

CMA will be compensated for the services described on a time and material basis in the amount of **\$187,080.00** per attached Exhibit A.

Mr. Mealy
RE: North County Road Drainage Improvements Construction Phase Services
Page 4 of 4

Should you have any questions, please do not hesitate to contact me at my office at (561) 746-6900, my cell phone at (561) 329-1797 or send me an electronic message at bwhitfield@chenmoore.com.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Brent Whitfield", with a horizontal line extending to the right.

CHEN MOORE AND ASSOCIATES
Brent Whitfield / Principal Engineer

Attachment(s): Exhibit A

Cc. Julie Parham - Town of Palm Beach
Dennis Polski - Town of Palm Beach
Brad Childers - CMA
Alessandro Bologna - CMA

EXHIBIT A - FEE PROPOSAL
Town of Palm Beach
NORTH COUNTY ROAD DRAINAGE IMPROVEMENTS CONSTRUCTION PHASE SERVICES

Chen Moore and Associates Project #

25-0431.P0004

Hourly Rate	Professional Staffing							Total	weeks
	Senior CAD Technician	Clerical	Project Landscape Architect	Associate Engineer	Senior Construction Specialist	Senior Engineer	Principal Engineer		
	\$85.00	\$60.00	\$120.00	\$135.00	\$150.00	\$215.00	\$330.00		
TASK 1 – Pre-Construction Services and Coordination									
1.1 Review and Approval of Submittals (Up to 20)				40	4	10	4	\$9,470.00	
1.2 Contractor RFI Responses (Up to 10)				20	10	10	4	\$7,670.00	
1.3A Pre-Construction Meeting				8	3	3	2	\$2,835.00	
1.3B Progress Meetings (Up to 28)				56	28	14	8	\$17,410.00	
Task 1 Total	\$0	\$0		\$16,740	\$6,750	\$7,955	\$5,940	\$37,385.00	
TASK 2 – Onsite Inspections and Oversight									
2.1A Onsite Inspections (Assume 28 weeks / part time)				112	560	56	28	\$120,400.00	
2.1B Review of Pay Applications (Assume 10)				20	10	5	5	\$6,925.00	
2.1C Review and Process Change Orders (Assume 2)				12	8	4	2	\$4,340.00	
2.1D Substantial and Final Completion Walk-Throughs				8	12	8	4	\$5,920.00	
Task 2 Total	\$0	\$0		\$20,520	\$88,500	\$15,695	\$12,870	\$137,585.00	
TASK 3 – Project Close-Out									
3.1 As-Built Review and Record Drawing Preparation				24		12	2	\$6,480.00	
3.2 Material Testing Review				8		6	2	\$3,030.00	
3.3 Certification				8		4	2	\$2,600.00	
Task 3 Total	\$0	\$0		\$5,400	\$0	\$4,730	\$1,980	\$12,110.00	
SUMMARY									
TASK 1 – Pre-Construction Services and Coordination								\$37,385	
TASK 2 – Onsite Inspections and Oversight								\$137,585	
TASK 3 – Project Close-Out								\$12,110	
TOTAL								\$187,080	

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 047-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements to Janice M Riley, DBA The Paving Lady in the amount of \$1,815,042.90, approving a contingency in the amount of \$272,256 and approving a project budget in the amount of \$2,087,298.90 and authorizing waivers for the following Town Code of Ordinances for related work, Section 42-198, Section 42-199 and Sections 42-226 through 229.

Presenter

Dean Mealy, II, Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 047-2025**
- ▣ **Bid Tab**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 047-2025, awarding ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements to Janice M Riley, DBA The Paving Lady in the amount of \$1,815,042.90, approving a contingency in the amount of \$272,256 and approving a project budget in the amount of \$2,087,299.33 and authorizing waivers for the following Town Code of Ordinances for related work, Section 42-198, Section 42-199 and Sections 42-226 through 229

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 047-2025, awarding ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements to Janice M Riley, DBA The Paving Lady in the amount of \$1,815,042.90, approving a contingency in the amount of \$272,256 and approving a project budget in the amount of \$2,087,299.33 and authorizing waivers for the following Town Code of Ordinances for related work, Section 42-198, Section 42-199 and Sections 42-226 through 229.

SUMMARY EXPLANATION/BACKGROUND

Procurement and Contract Management (PCM) issued ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements. Town of Palm Beach Phases 5N and 6N: Milling and Paving Improvements: The general location of the proposed work within Phase 5N is bordered north by Country Club Road from the Intracoastal Waterway to N. County Road. Bordered on the south by Plantation Road. And proximately 200 feet south of Southland Road and to the north edge of Palm Beach Country Club and includes Ocean Lane. The general location of the proposed work within Phase 6N is bordered on the north by N Woods Road from the Intracoastal Waterway to N. County Road. Bordered on the south by Kawama Lane/ Chateaux Drive and includes Bermuda Lane and Casa Bendita. Work includes the adjustment or replacement of existing manhole rims, storm inlet grates, valve boxes prior to resurfacing and includes the milling and resurfacing of the listed streets. Work also includes the removal and replacement of selected curbing and driveways throughout the limits.

The Town modified the original scope to include sidewalks and aprons so that the project could be fully completed as the work was being completed.

Chen Moore and Associates developed the bid plans for the project with an Engineer's Opinion of Cost of \$3,856,500 which included contingency.

PCM posted the bid documents on the e-bidding platform. In addition, PCM actively contacted firms known to provide this service. Thirty-five firms reviewed the solicitation online. Four firms began the process of submitting by the designated date and time. Three firms submitted, of which one firm was new to the Town bidding platform, The Stout Group, LLC . Janice M. Riley, DBA The Paving Lady and Ranger Construction Industries, Inc. also submitted.

The bid table reflected the following:

Phase 5N

Janice M Riley DBA The Paving Lady		The Stout Group, LLC		Ranger Construction Industries, Inc.
\$1,014,969.00		\$1,757,193.78		\$1,835,790.50

Phase 6N

Janice M Riley DBA The Paving Lady		The Stout Group, LLC		Ranger Construction Industries, Inc.
\$800,073.90		\$1,220,515.68		\$1,291,569.51

Chen Moore and Associates reviewed the bid submittal and found them to be responsive and responsible to the bid document.

FUNDING/FISCAL IMPACT

Funding for this award will be from the Capital Improvement Fund. The low responsive, responsible bid including contingency is \$1,669,200 under the Engineer's Opinion of Cost.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 047-2025

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, AWARDDING ITB NO. 2025-16, PHASE 5N AND 6N MILLING AND PAVING IMPROVEMENTS TO JANICE M RILEY, DBA THE PAVING LADY IN THE AMOUNT OF \$1,815,042.90, APPROVING A CONTINGENCY IN THE AMOUNT OF \$272,256 AND APPROVING A PROJECT BUDGET IN THE AMOUNT OF \$2,087,298.90 AND AUTHORIZING WAIVERS FOR THE FOLLOWING TOWN CODE OF ORDINANCES FOR RELATED WORK, SECTION 42-198, SECTION 42-199 AND SECTIONS 42-226 THROUGH 229

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH, PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 047-2025, awarding ITB No. 2025-16, Phase 5N and 6N Milling and Paving Improvements to Janice M Riley, DBA The Paving Lady in the amount of \$1,815,042.90, approving a contingency in the amount of \$272,256 and approving a project budget in the amount of \$2,087,298.90.

Section 2. Town Council authorizing waivers for the following Town Code of ordinances for related work, section 42-198, section 42-199 and sections 42-226 through 229 Public Works Staff and Town Manger's office will coordinate any work that may be extremely disruptive to the public during daytime hours. This coordination would include notifying adjacent businesses and residents in advance of any changes in work.

Section3. The Town Manager is hereby authorized to execute the contract and Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

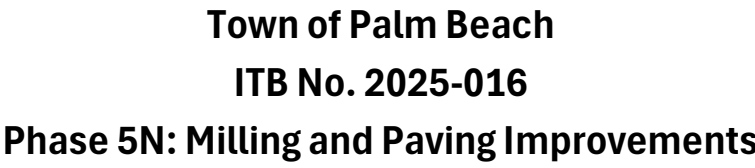
ATTEST:


Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



<div><div></div><div><div>Town of Palm Beach</div><div>ITB No. 2025-016</div><div>Phase 5N: Milling and Paving Improvements</div></div></div>				Janice M Riley DBA The Paving Lady			The Stout Group, LLC			Ranger Construction Industries, Inc.						
Total Cost				\$1,014,969.00			\$1,757,193.78			\$1,835,790.50						
#	Items	Unit of Measure	Quantity	Multiplier	Unit Price	Total Cost	Multiplier	Unit Price	Total Cost	Multiplier	Unit Price	Total Cost				
						\$1,014,969.00							\$1,757,193.78			\$1,835,790.50
1						\$143,460.00							\$441,454.78			\$389,296.00
#1-1	GC-1 General Conditions	LS	1	1	\$31,165.64	\$31,165.64	1	\$100,000.00	\$100,000.00			1	\$103,934.00	\$103,934.00		
#1-2	GC-2 Performance and Payment Bond (2%)	LS	1	1	\$19,460.00	\$19,460.00	1	\$34,454.78	\$34,454.78			1	\$27,476.00	\$27,476.00		
#1-3	GC-3 Mobilization and Demobilization	LS	1	1	\$9,815.95	\$9,815.95	1	\$100,000.00	\$100,000.00			1	\$50,675.00	\$50,675.00		
#1-4	GC-4 Layout, Survey & Record Exhibits (Input Unit Price of \$14,000.00)	AL	1	1	\$14,000.00	\$14,000.00	1	\$14,000.00	\$14,000.00			1	\$14,000.00	\$14,000.00		
#1-5	GC-5 Professional Videotaping (Pre-Construction Video)	LS	1	1	\$4,294.48	\$4,294.48	1	\$7,000.00	\$7,000.00			1	\$4,677.00	\$4,677.00		
#1-6	GC-6 NPDES	LS	1	1	\$15,950.92	\$15,950.92	1	\$1,000.00	\$1,000.00			1	\$18,412.00	\$18,412.00		
#1-7	GC-7 Maintenance Of Traffic	LS	1	1	\$36,503.07	\$36,503.07	1	\$150,000.00	\$150,000.00			1	\$133,420.00	\$133,420.00		
#1-8	GC-8 Testing and Inspections	LS	1	1	\$6,134.97	\$6,134.97	1	\$30,000.00	\$30,000.00			1	\$6,015.00	\$6,015.00		
#1-9	GC-9 Protect Private Property, Driveways, Landscaping, Etc.	LS	1	1	\$6,134.97	\$6,134.97	1	\$5,000.00	\$5,000.00			1	\$30,687.00	\$30,687.00		
2						\$871,509.00							\$1,315,739.00			\$1,446,494.50
#2-1	C-1 Mill And Resurface Existing Asphalt	SY	51972	1	\$12.94	\$672,517.68	1	\$14.50	\$753,594.00			1	\$22.00	\$1,143,384.00		
#2-2	C-2 Full Depth Restoration	SY	90	1	\$215.26	\$19,373.40	1	\$100.00	\$9,000.00			1	\$491.60	\$44,244.00		
#2-3	C-3 Asphalt Leveling	SY	949	1	\$9.30	\$8,825.70	1	\$250.00	\$237,250.00			1	\$46.15	\$43,796.35		
#2-4	C-4 Asphalt Overbuild	TN	0	1	\$236.00	\$0.00	1	\$250.00	\$0.00			0	\$200.00	\$0.00		
#2-5	C-5 Adjust Valve Box Riser Ring, Contractor Provides Ring	EA	11	1	\$159.51	\$1,754.61	1	\$1,000.00	\$11,000.00			1	\$1,105.00	\$12,155.00		
#2-6	C-6 Adjust Valve Box Riser Ring, Ring Provided By Utility	EA	0	1	\$115.00	\$0.00	1	\$1,500.00	\$0.00			0	\$600.00	\$0.00		
#2-7	C-7 Adjust Storm Water Inlet Riser Ring or Pavement Grade Method	EA	3	1	\$184.05	\$552.15	1	\$2,500.00	\$7,500.00			1	\$982.00	\$2,946.00		
#2-8	C-8 Adjust Storm Water Inlet Remove And Reinstall	EA	2	1	\$184.05	\$368.10	1	\$2,500.00	\$5,000.00			1	\$1,841.25	\$3,682.50		
#2-9	C-9 Adjust Manhole Ring, Riser Ring or Pavement Grade Method	EA	2	1	\$398.77	\$797.54	1	\$2,500.00	\$5,000.00			1	\$1,350.25	\$2,700.50		
#2-10	C-10 Adjust Manhole Ring, Remove And Reinstall	EA	0	1	\$1,400.00	\$0.00	1	\$2,500.00	\$0.00			0	\$1,600.00	\$0.00		
#2-11	C-11 Provide Concrete Type “D” Curb	LF	0	1	\$35.00	\$0.00	1	\$50.00	\$0.00			0	\$146.00	\$0.00		
#2-12	C-12 Provide Concrete Type “F” Curb	LF	0	1	\$60.00	\$0.00	1	\$50.00	\$0.00			0	\$175.00	\$0.00		
#2-13	C-13 Provide Concrete Drop Curb	LF	0	1	\$45.00	\$0.00	1	\$50.00	\$0.00			0	\$148.00	\$0.00		
#2-14	C-14 Provide Concrete Flush Header Curb	LF	253	1	\$40.49	\$10,243.97	1	\$50.00	\$12,650.00			1	\$108.65	\$27,488.45		
#2-15	C-15 Provide Valley Gutter Curb	LF	0	1	\$50.00	\$0.00	1	\$50.00	\$0.00			0	\$148.00	\$0.00		
#2-16	C-16 Remove Concrete Curb	LF	253	1	\$12.27	\$3,104.31	2	\$30.00	\$15,180.00			1	\$24.55	\$6,211.15		
#2-17	C-17 Site Concrete	CY	28	1	\$197.20	\$5,521.60	1	\$700.00	\$19,600.00			1	\$306.87	\$8,592.36		
#2-18	Concrete Sidewalk (6")	SF	1000	1	\$17.25	\$17,250.00	1	\$30.00	\$30,000.00			1	\$12.89	\$12,890.00		
#2-19	C-19 Excavatable Flowable Fill	CY	10	1	\$429.45	\$4,294.50	1	\$350.00	\$3,500.00			1	\$270.05	\$2,700.50		
#2-20	C-20 Sodding (Including Fertilizer and Water)	SF	100	1	\$18.40	\$1,840.00	1	\$15.00	\$1,500.00			1	\$61.35	\$6,135.00		
#2-21	C-21 Install Temporary to Permanent Striping with Necessary RPMs	LS	1	1	\$17,158.77	\$17,158.77	1	\$15,000.00	\$15,000.00			1	\$11,050.00	\$11,050.00		
#2-22	C-22 Double Yellow Thermoplastic Striping with Necessary RPMs	LF	4144	1	\$2.81	\$11,644.64	1	\$3.00	\$12,432.00			1	\$3.09	\$12,804.96		
#2-23	C-23 Single Yellow Thermoplastic Striping	LF	0	1	\$2.02	\$0.00	1	\$3.00	\$0.00			0	\$1.35	\$0.00		
#2-24	C-24 Single White Thermoplastic Striping	LF	6241	1	\$0.96	\$5,991.36	1	\$3.00	\$18,723.00			1	\$1.35	\$8,425.35		
#2-25	C-25 24 in. White Thermoplastic Striping Stop Bars (Stop Bar Only)	EA	23	1	\$85.89	\$1,975.47	1	\$400.00	\$9,200.00			1	\$116.61	\$2,682.03		
#2-26	C-26 Furnish and Install Blue Raised Pavement Markers for Fire Hydrants	EA	17	1	\$13.50	\$229.50	1	\$10.00	\$170.00			1	\$9.85	\$167.45		
#2-27	C-27 Furnish and Install (1 Each) White Raised Pavement Marker for FPLTransformers	EA	34	1	\$13.50	\$459.00	1	\$10.00	\$340.00			1	\$9.85	\$334.90		
#2-28	C-28 Furnish and Install (2 Each) White Raised Pavement Markers for FPLSwitch Gear	EA	10	1	\$26.99	\$269.90	1	\$10.00	\$100.00			1	\$19.65	\$196.50		
#2-29	C-29 Pavement Core Test	EA	40	1	\$122.70	\$4,908.00	1	\$400.00	\$16,000.00			1	\$196.40	\$7,856.00		
#2-30	C-30 Site Concrete Removal	SF	250	1	\$7.36	\$1,840.00	1	\$30.00	\$7,500.00			1	\$11.45	\$2,862.50		
#2-31	C-31 Grind Concrete	SF	0	1	\$10.50	\$0.00	1	\$50.00	\$0.00			0	\$500.00	\$0.00		
#2-32	C-32 Furnish and Install Manhole Frame and Lid	EA	0	1	\$1,560.00	\$0.00	1	\$3,000.00	\$0.00			0	\$2,200.00	\$0.00		
#2-33	C-33 Furnish and Install Stormwater Type C Inlet	EA	0	1	\$14,000.00	\$0.00	1	\$2,000.00	\$0.00			0	\$20,508.00	\$0.00		
#2-34	C-34 Furnish and Install Stormwater Type E Inlet with Hood	EA	2	1	\$10,429.45	\$20,858.90	1	\$20,000.00	\$40,000.00			1	\$22,095.00	\$44,190.00		
#2-35	C-35 Temporary Supplemental Dewatering	Day	5	1	\$3,680.98	\$18,404.90	1	\$3,000.00	\$15,000.00			1	\$2,515.00	\$12,575.00		
#2-36	C-36 Night Work in Commercial Corridors	SY	0	1	\$21.65	\$0.00	1	\$200.00	\$0.00			0	\$22.00	\$0.00		
#2-37	C-37 Traffic Monitoring Site Inductive Loop Assembly, Furnish & Install, 2Loops	EA	0	1	\$10,140.00	\$0.00	1	\$4,000.00	\$0.00			0	\$4,000.00	\$0.00		
#2-38	C-38 Furnish and Install Traffic-Rated Electrical Pull Box	EA	0	1	\$5,950.00	\$0.00	1	\$4,000.00	\$0.00			0	\$4,000.00	\$0.00		
#2-39	C-18 Concrete Sidewalk (4")	SF	2100	1	\$14.75	\$30,975.00	1	\$25.00	\$52,500.00			1	\$8.90	\$18,690.00		
#2-40	Concrete Driveway Apron (6")	SF	600	1	\$17.25	\$10,350.00	1	\$30.00	\$18,000.00			1	\$12.89	\$7,734.00		
				Apparent Awardee												



Town of Palm Beach

ITB No. 2025-016

Phase 6N: Milling and Paving Improvements

Total Cost				Janice M Riley DBA The Paving Lady			The Stout Group, LLC			Ranger Construction Industries, Inc.		
				\$800,073.90			\$1,220,515.68			\$1,291,569.51		
#	Items	Unit of Measure	Quantity	Multiplier	Price	Total Cost	Multiplier	UnitPrice	TotalCost	Multiplier	Price	Total Cost
				\$800,073.90			\$1,220,515.68			\$1,291,569.51		
1				\$143,107.97			\$428,931.68			\$235,976.00		
#1-1	GC-1 General Conditions	LS	1	1	\$31,165.64	\$31,165.64	1	\$100,000.00	\$100,000.00	1	\$51,967.00	\$51,967.00
#1-2	GC-2 Performance and Payment Bond (2%)	LS	1	1	\$16,200.00	\$16,200.00	1	\$23,931.68	\$23,931.68	1	\$19,260.00	\$19,260.00
#1-3	GC-3 Mobilization and Demobilization	LS	1	1	\$9,815.95	\$9,815.95	1	\$100,000.00	\$100,000.00	1	\$29,815.00	\$29,815.00
#1-4	GC-4 Layout, Survey & Record Exhibits (Input Unit Price of \$12,000.00)	AL	1	1	\$12,000.00	\$12,000.00	1	\$12,000.00	\$12,000.00	1	\$12,000.00	\$12,000.00
#1-5	GC-5 Professional Videotaping (Pre-Construction Video)	LS	1	1	\$4,294.48	\$4,294.48	1	\$7,000.00	\$7,000.00	1	\$3,118.00	\$3,118.00
#1-6	GC-6 NPDES	LS	1	1	\$15,950.92	\$15,950.92	1	\$1,000.00	\$1,000.00	1	\$18,412.00	\$18,412.00
#1-7	GC-7 Maintenance Of Traffic	LS	1	1	\$36,503.07	\$36,503.07	1	\$150,000.00	\$150,000.00	1	\$66,709.00	\$66,709.00
#1-8	GC-8 Testing and Inspections	LS	1	1	\$11,042.94	\$11,042.94	1	\$30,000.00	\$30,000.00	1	\$4,009.00	\$4,009.00
#1-9	GC-9 Protect Private Property, Driveways, Landscaping, Etc.	LS	1	1	\$6,134.97	\$6,134.97	1	\$5,000.00	\$5,000.00	1	\$30,686.00	\$30,686.00
2				\$656,965.93			\$791,584.00			\$1,055,593.51		
#2-1	C-1 Mill And Resurface Existing Asphalt	SY	42036	1	\$13.67	\$574,632.12	1	\$14.50	\$609,522.00	1	\$21.90	\$920,588.40
#2-2	C-2 Full Depth Restoration	SY	3	1	\$394.38	\$1,183.14	1	\$100.00	\$300.00	1	\$1,887.00	\$5,661.00
#2-3	C-3 Asphalt Leveling	SY	189	1	\$29.56	\$5,586.84	1	\$250.00	\$47,250.00	1	\$90.80	\$17,161.20
#2-4	C-4 Asphalt Overbuild	TN	0	1	\$236.00	\$0.00	1	\$250.00	\$0.00	0	\$200.00	\$0.00
#2-5	C-5 Adjust Valve Box Riser Ring, Contractor Provides Ring	EA	8	1	\$159.51	\$1,276.08	1	\$1,000.00	\$8,000.00	1	\$1,105.00	\$8,840.00
#2-6	C-6 Adjust Valve Box Riser Ring, Ring Provided By Utility	EA	0	1	\$115.00	\$0.00	1	\$1,500.00	\$0.00	0	\$600.00	\$0.00
#2-7	C-7 Adjust Storm Water Inlet Riser Ring or Pavement Grade Method	EA	3	1	\$184.05	\$552.15	1	\$2,500.00	\$7,500.00	1	\$982.00	\$2,946.00
#2-8	C-8 Adjust Storm Water Inlet Remove And Reinstall	EA	0	1	\$1,500.00	\$0.00	1	\$2,500.00	\$0.00	0	\$1,841.25	\$0.00
#2-9	C-9 Adjust Manhole Ring, Riser Ring or Pavement Grade Method	EA	0	1	\$1,500.00	\$0.00	1	\$2,500.00	\$0.00	0	\$1,350.25	\$0.00
#2-10	C-10 Adjust Manhole Ring, Remove And Reinstall	EA	0	1	\$1,400.00	\$0.00	1	\$2,500.00	\$0.00	0	\$1,600.00	\$0.00
#2-11	C-11 Provide Concrete Type “D” Curb	LF	0	1	\$35.00	\$0.00	1	\$50.00	\$0.00	0	\$146.00	\$0.00
#2-12	C-12 Provide Concrete Type “F” Curb	LF	0	1	\$60.00	\$0.00	1	\$50.00	\$0.00	0	\$175.00	\$0.00
#2-13	C-13 Provide Concrete Drop Curb	LF	0	1	\$45.00	\$0.00	1	\$50.00	\$0.00	0	\$148.00	\$0.00
#2-14	C-14 Provide Concrete Flush Header Curb	LF	267	1	\$40.49	\$10,810.83	1	\$50.00	\$13,350.00	1	\$96.25	\$25,698.75
#2-15	C-15 Provide Valley Gutter Curb	LF	33	1	\$49.08	\$1,619.64	1	\$50.00	\$1,650.00	1	\$148.00	\$4,884.00
#2-16	C-16 Remove Concrete Curb	LF	300	1	\$12.27	\$3,681.00	1	\$30.00	\$9,000.00	1	\$24.55	\$7,365.00
#2-17	C-17 Site Concrete	CY	16	1	\$196.32	\$3,141.12	1	\$700.00	\$11,200.00	1	\$270.05	\$4,320.80
#2-18	C-18 Concrete Sidewalk	SF	0	1	\$17.25	\$0.00	1	\$350.00	\$0.00	0	\$12.89	\$0.00
#2-19	C-19 Excavatable Flowable Fill	CY	1	1	\$1,840.49	\$1,840.49	1	\$350.00	\$350.00	1	\$644.45	\$644.45
#2-20	C-20 Sodding (Including Fertilizer and Water)	SF	100	1	\$18.40	\$1,840.00	1	\$15.00	\$1,500.00	1	\$61.35	\$6,135.00
#2-21	C-21 Install Temporary to Permanent Striping with Necessary RPMs	LS	1	1	\$16,650.06	\$16,650.06	1	\$15,000.00	\$15,000.00	1	\$10,660.00	\$10,660.00
#2-22	C-22 Double Yellow Thermoplastic Striping with Necessary RPMs	LF	4464	1	\$2.81	\$12,543.84	1	\$3.00	\$13,392.00	1	\$3.09	\$13,793.76
#2-23	C-23 Single Yellow Thermoplastic Striping	LF	1192	1	\$0.96	\$1,144.32	1	\$3.00	\$3,576.00	1	\$1.35	\$1,609.20
#2-24	C-24 Single White Thermoplastic Striping	LF	5048	1	\$0.96	\$4,846.08	1	\$3.00	\$15,144.00	1	\$1.35	\$6,814.80
#2-25	C-25 24 in. White Thermoplastic Striping Stop Bars (Stop Bar Only)	EA	20	1	\$85.89	\$1,717.80	1	\$400.00	\$8,000.00	1	\$116.61	\$2,332.20
#2-26	C-26 Furnish and Install Blue Raised Pavement Markers for Fire Hydrants	EA	23	1	\$13.50	\$310.50	1	\$10.00	\$230.00	1	\$9.85	\$226.55
#2-27	C-27 Furnish and Install (1 Each) White Raised Pavement Marker for FPLTransformers	EA	8	1	\$13.50	\$108.00	1	\$10.00	\$80.00	1	\$9.85	\$78.80
#2-28	C-28 Furnish and Install (2 Each) White Raised Pavement Markers for FPLSwitch Gear	EA	4	1	\$26.99	\$107.96	1	\$10.00	\$40.00	1	\$19.65	\$78.60
#2-29	C-29 Pavement Core Test	EA	40	1	\$122.70	\$4,908.00	1	\$400.00	\$16,000.00	1	\$196.40	\$7,856.00
#2-30	C-30 Site Concrete Removal	SF	150	1	\$7.36	\$1,104.00	1	\$30.00	\$4,500.00	1	\$19.06	\$2,859.00
#2-31	C-31 Grind Concrete	SF	0	1	\$10.50	\$0.00	1	\$50.00	\$0.00	0	\$500.00	\$0.00
#2-32	C-32 Furnish and Install Manhole Frame and Lid	EA	0	1	\$1,560.00	\$0.00	1	\$3,000.00	\$0.00	0	\$2,200.00	\$0.00
#2-33	C-33 Furnish and Install Stormwater Type C Inlet	EA	0	1	\$14,000.00	\$0.00	1	\$20,000.00	\$0.00	0	\$20,508.00	\$0.00
#2-34	C-34 Furnish and Install Stormwater Type E Inlet with Hood	EA	0	1	\$17,810.00	\$0.00	1	\$20,000.00	\$0.00	0	\$22,095.00	\$0.00
#2-35	C-35 Temporary Supplemental Dewatering	Day	2	1	\$3,680.98	\$7,361.96	1	\$3,000.00	\$6,000.00	1	\$2,520.00	\$5,040.00
#2-36	C-36 Night Work in Commercial Corridors	SY	0	1	\$21.65	\$0.00	1	\$200.00	\$0.00	0	\$21.90	\$0.00
#2-37	C-37 Traffic Monitoring Site Inductive Loop Assembly, Furnish & Install, 2Loops	EA	0	1	\$10,140.00	\$0.00	1	\$4,000.00	\$0.00	0	\$4,000.00	\$0.00
#2-38	C-38 Furnish and Install Traffic-Rated Electrical Pull Box	EA	0	1	\$5,950.00	\$0.00	1	\$4,000.00	\$0.00	0	\$4,000.00	\$0.00
				Apparent Awardee								

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 048-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, authorizing a Purchase Order for Construction Phase Services to Chen Moore and Associates for 5N and 6N Milling and Paving Improvements in the amount of \$244,030, approving a contingency in the amount of \$36,604 and approving a project budget in the amount of \$280,634.

Presenter

Dean Mealy, II, Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 048-2025**
- ▣ **Proposal**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 048-2025, authorizing a Purchase Order for Construction Phase Services to Chen Moore and Associates for 5N and 6N Milling and Paving Improvements in the amount of \$244,030, approving a contingency in the amount of \$36,604 and approving a project budget in the amount of \$280,634

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 048-2025, authorizing a Purchase Order for Construction Phase Services to Chen Moore and Associates for 5N and 6N Milling and Paving Improvements in the amount of \$244,030, approving a contingency in the amount of \$36,604 and approving a project budget in the amount of \$280,634.

SUMMARY EXPLANATION/BACKGROUND

Chen Moore and Associates are being engaged to provide Construction Oversight for Phases (5N) and (6N) Milling and Paving related to the Townwide Electric Utility Undergrounding Project.

The Scope of Services to be provided comprises of the following:

- Task 1- Meetings and Coordination
- Task 2 – Resident Outreach
- Task 3 – Construction Observation
- Task 4 – Pay Application, Submittal Review, and Project Closeout

FUNDING/FISCAL IMPACT

Funding for this award will be from the Capital Improvement Fund.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 048-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AUTHORIZING A PURCHASE ORDER FOR CONSTRUCTION
PHASE SERVICES TO CHEN MOORE AND ASSOCIATES FOR
5N AND 6N MILLING AND PAVING IMPROVEMENTS IN THE
AMOUNT OF \$244,030, APPROVING A CONTINGENCY IN THE
AMOUNT OF \$36,604 AND APPROVING A PROJECT BUDGET
IN THE AMOUNT OF \$280,634**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 048-2025, authorizing a Purchase Order for Construction Phase Services to Chen Moore and Associates for 5N and 6N Milling and Paving Improvements in the amount of \$244,030, approving a contingency in the amount of \$36,604 and approving a project budget in the amount of \$280,634.

Section 2. The Town Manager is hereby authorized to execute the Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



April 25, 2025

SENT VIA EMAIL
(DMealy@TownofPalmBeach.com)

Dean Mealy, II
Purchasing Manager
Town of Palm Beach
360 S. County Road
Palm Beach, FL 33480

Subject: **PAVING OVERSIGHT – PROJECT PHASE 5N and 6N**
CMA Proposal: P25.431.00XX

Dear Mr. Mealy:

Chen Moore and Associates (CMA) is pleased to submit the attached proposal for professional services to provide construction oversight of paving operations related to Phases 5 North (5N) and 6 North (6N) of the Townwide Electric Utility Undergrounding project. The focus of CMA's effort will be providing a person to act as a liaison with Town Staff, the Contractor, and residents of field operations.

It is assumed that the work to be performed by the Town's selected contractor will be focused entirely on milling and paving streets that had been impacted by the undergrounding which is generally as follows:

- Phase 5N is bordered on the north by Country Club Road from the Intracoastal Waterway to N. County Road. Bordered on the south by Plantation Road. And proximately 200 feet south of Southland Road and to the north edge of Palm Beach Country Club and includes Ocean Lane.
- Phase 6N is bordered on the north by N Woods Road from the Intracoastal Waterway to N. County Road. Bordered on the south by Kawama Lane/ Chateaux Drive and includes Bermuda Lane and Casa Bendita. Work includes the adjustment or replacement of existing manhole rims, storm inlet grates, valve boxes prior to resurfacing and includes the milling and resurfacing of the listed streets. Work also includes the removal and replacement of selected curbing and driveways throughout the limits.
- Outside the limits of Phase 5N and 6N, the work also includes the removal and replacement of concrete sidewalk and concrete driveway aprons within the 400 Block of Australian Avenue, 400 Block of Chilean Avenue, 200-400 Block of Seaview Avenue, and Coconut Row from Seaview Avenue to Brazilian Avenue.

The work will also include all necessary public notice and maintenance of traffic in accordance with the Town's requirements and standard procedures.

I. SCOPE OF SERVICES

The Scope of Services is comprised of the following tasks:

- Task 1 – Meetings and Coordination
- Task 2 – Resident Outreach
- Task 3 – Construction Observation
- Task 4 – Pay Application, Submittal Review, and Project Closeout

Below is a description of the services included with each of these tasks:

Task 1 – Meetings and Coordination

The Consultant will prepare for and attend a kick-off meeting with the Town and the Contractor to establish lines of communication, expectations, and procedures for the performance of the paving work. In the kickoff meeting the technical specifications, standards, and construction requirements for the work will be reviewed in detail.

After the kickoff meeting, the Consultant will prepare for and attend up to four (4) progress meetings to review the work completed, discuss any issues or concerns, and maintain progress. The Consultant will prepare an agenda and meeting summary for the kickoff meeting and each progress meeting to document the status of the work. In addition to formal meetings, the Consultant will review and record all correspondence associated with the work in cooperation with the Town.

Task 2 – Resident Outreach

The Consultant will coordinate with Town Staff and Code Enforcement to make sure that any landscaping that is in the right of way and in conflict with the paving operation is trimmed in advance of equipment mobilization. The Consultant will coordinate to make sure that residents are contacted, and door hangers are placed at all affected residences to alert everyone to the upcoming milling and paving operations and potential for short-term roadway closures. The Consultant will provide staff to respond to resident phone calls or field meetings to address questions or concerns with the construction activities. The Consultant will inform Town staff of resident concerns and respond to all inquiries directly in cooperation with Town staff directives.

The Consultant will also coordinate with the Contractor and Town staff to make sure that workable Maintenance of Traffic (MOT) plans are prepared for road closures and traffic management during equipment mobilization, milling and paving. The Consultant will ensure that MOT plans are prepared in sufficient advance of mobilization such that Town staff can post notifications of the changes in traffic patterns for public information.

Task 3 – Construction Observation

The Consultant will provide routine field inspections during the set-up of MOT, field oversight of milling and paving crews, and inspection of cleanup and demobilization during each day of construction activities. The Consultant's field inspector will also prepare a daily report for each day's inspections to document activities for the Town's reference.

Task 4 – Pay Application, Submittal Review, and Project Closeout

The Consultant will provide a thorough review of each payment application submitted by the Contractor, and after coordinating all comments will provide a recommendation for payment to the Town. For the purposes of this proposal, it is assumed there will be six (6) payment applications reviewed. The Consultant will also review any additional submittals such as change order requests or shop drawings for potential substitutions. Considering the existing contract will already be in place and the work is not complex, it is assumed that no more than eight (8) submittals will require review by the Consultant. Once all paving has been completed, the Consultant will provide review of all records and documentation to the Town.

II. SCHEDULE

Based on the nature of the construction observation element of the proposed effort, the schedule is largely dependent on the means and methods of the selected contractor and how the work proceeds. For the purposes of this proposal, it is assumed that the work can be completed in less than six (6) months and assumes one (1) month for administrative elements. If the Contractor is able to find efficiencies in the process, it is anticipated the work could be completed sooner.

III. EXCLUSIONS

The services outlined below are not included as part of the scope of work, although additional service agreements can be executed to assist the Town with these services if necessary:

1. Procuring field survey of topographic features.
2. Grading and drainage design.
3. Designing the replacement or rehabilitation of existing facilities.
4. Permitting for any activities related to the work.
5. Storage of samples or laboratory testing and related coordination.

IV. COMPENSATION

CMA will be compensated for the services described on an hourly basis in the amount of **\$244,030.00** per attached Exhibit A.

Should you have any questions, I can be reached via email at bchilders@chenmoore.com.

Respectfully submitted,



Brad Childers, PE
Project Engineer
Chen Moore and Associates
Attachments: Exhibit A: Detailed Fee Estimate

EXHIBIT A - FEE PROPOSAL
Town of Palm Beach
PAVING OVERSIGHT – UNDERGROUNDING PROJECT PHASE 5N and 6N

Chen Moore and Associates Project # P25.431.00XX

	Principal Engineer \$330.00	Project Director \$215.00	Project Manager \$180.00	CMA Project Engineer \$190.00	Associate Engineer \$135.00	Senior Const Specialist \$150.00	Clerical \$120.00	Total
Hourly Rate								
TASK 1 – Meetings and Coordination								
1.1 Kickoff meeting (Prepare/Attend/Document)		2		2	6	2		\$1,920.00
1.2 Up to 4 progress meetings (Prepare/Attend/Document)		10		10	10	10		\$6,900.00
Task 1 Total Fee	\$0	\$2,580	\$0	\$2,280	\$2,160	\$1,800	\$0	\$8,820.00
Task 1 Total Hours	0	12	0	12	16	12	0	52
TASK 2 – Resident Outreach								
2.1 Pre-mobilization coordination with Town staff and residents		8		8	24			\$6,480.00
2.2 Coordination with residents during mob/demob		4		4	20			\$4,320.00
2.3 Coordinate public notification of MOT with Town		4		8	24			\$5,620.00
Task 2 Total Fee	\$0	\$3,440	\$0	\$3,800	\$9,180	\$0	\$0	\$16,420.00
Task 2 Total Hours	0	16	0	20	68	0	0	104
TASK 3 - Construction Observation								
3.1 On-site field observations (Up to 960 hours assuming 8 hours/day for 6 months)		20		40	80	880		\$154,700.00
3.2 Prepare Documentation / Review Reports and Videos / Track Progress		6		12	30	120		\$25,620.00
Task 3 Total Fee	\$0	\$5,590	\$0	\$9,880	\$14,850	\$150,000	\$0	\$180,320.00
Task 3 Total Hours	0	26	0	52	110	1000	0	1188
TASK 4 – Pay Application, Submittal Review, and Project Closeout								
4.1 Review Pay Applications (Up to 6)		6		4	24	28		\$9,490.00
4.2 Review Submittals (Up to 8)		12		4	24	32		\$11,380.00
4.3 Project Closeout (Including Substantial, Punch List, and Final)		12		8	20	72		\$17,600.00
Task 4 Total Fee	\$0	\$6,450	\$0	\$3,040	\$9,180	\$19,800	\$0	\$38,470.00
Task 4 Total Hours	0	30	0	16	68	132	0	246

TOTAL FEE

\$244,030.00

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 049-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding ITB No. 2025-010 and approving a purchase order to East Coast Construction Group for PAR 3 Balcony Structural Column Repairs in the amount of \$372,778.85, approving a contingency in the amount of \$74,555 and approving a project budget in the amount of \$447,333.

Presenter

Dean Mealy, II, Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 049-2025**
- ▣ **Bid Tab**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 049-2025, awarding ITB No. 2025-010 and approving a purchase order to East Coast Construction Group for Par 3 Balcony Structural Column Repairs in the amount of \$372,778.85, approving a contingency in the amount of \$74,555 and approving a project budget in the amount of \$447,333.85.

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 049-2025, awarding ITB No. 2025-010 and approving a purchase order to East Coast Construction Group for Par 3 Balcony Structural Column Repairs in the amount of \$372,778.85, approving a contingency in the amount of \$74,555 and approving a project budget in the amount of \$447,333.85.

SUMMARY EXPLANATION/BACKGROUND

Town Recreation staff noticed wood rotting on the base of several columns on the second floor of the Par 3 clubhouse last year. Engineering staff were engaged and CPZ Architects was hired to inspect the columns, assess the problem and prepare repair plans. CPZ and their subconsultants found severe corrosion in the columns likely due to a combination of factors; dissimilar materials, wood pressure treatment chemicals and the corrosive coastal environment. They prepared detailed repair plans for the columns and associated flooring, along with specifications that were competitively bid under ITB No. 2025-010.

Procurement and Contract Management issued the solicitation through the online bidding platform and reached thirteen firms. Seven firms participated in the pre-bid meeting held at Par 3 to review the site and ask questions of both CPZ Architects and Town Staff.

East Coast Construction Group was the only firm to submit a responsive and responsible bid. It should be noted that East Coast Construction Group recently completed the Public Works Building with solid performance.

CPZ and Town Engineering Staff reviewed the bid submittal and found East Coast Construction Group responsive.

FUNDING/FISCAL IMPACT

The funding for this award will be from the Recreational Capital Program.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 049-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AWARDING ITB NO. 2025-010 AND APPROVING A
PURCHASE ORDER TO EAST COAST CONSTRUCTION
GROUP FOR PAR 3 BALCONY STRUCTURAL COLUMN
REPAIRS IN THE AMOUNT OF \$372,778.85, APPROVING A
CONTINGENCY IN THE AMOUNT OF \$74,555 AND
APPROVING A PROJECT BUDGET IN THE AMOUNT OF
\$447,333**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 049-2025, awarding ITB No. 2025-010 and approving a purchase order to East Coast Construction Group for PAR 3 Balcony Structural Column Repairs in the amount of \$372,778.85, approving a contingency in the amount of \$74,555 and approving a project budget in the amount of \$447,333.

Section 2. The Town Manager is hereby authorized to execute the contract and purchase order on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

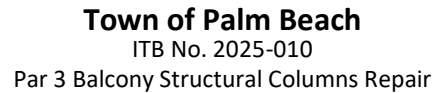
ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



						East Coast Construction Group	
						\$372,778.85	
#	Items	Selected	Lowest	QuantityRequired	Unit	UnitPrice	TotalCost
1	General Conditions (2)						
#1-1	GENERAL CONDITIONS	\$0	\$17,000.00	1	EA	\$17,000.00	\$17,000.00
#1-2	BOND & INSURANCE REQUIREMENTS	\$0	\$17,500.00	1	EA	\$17,500.00	\$17,500.00
2	Existing Conditions/ Demolition (13)						
#2-1	MOBILIZATION	\$0	\$6,100.00	1	EA	\$6,100.00	\$6,100.00
#2-2	FALL PROTECTION	\$0	\$5,488.00	280	LF	\$19.60	\$5,488.00
#2-3	PROTECTION OF ADJACENT FINISHES	\$0	\$3,202.50	750	SF	\$4.27	\$3,202.50
#2-4	TEMPORARY SUPPORT	\$0	\$2,736.00	72	EA	\$38	\$2,736.00
#2-5	PHOTOGRAPHY & VIDEO - ALLOWANCE	\$0	\$300	1	LS	\$300	\$300
#2-6	REMOVE & STORE EXISITING RAILINGS	\$0	\$22,960.00	280	LF	\$82	\$22,960.00
#2-7	REMOVE & STORE MOTORIZED SCREENS	\$0	\$19,800.00	36	EA	\$550	\$19,800.00
#2-8	REMOVE COLUMN BASE	\$0	\$19,800.00	36	EA	\$550	\$19,800.00
#2-9	REMOVE TILE & BEDDING	\$0	\$21,008.00	520	SF	\$40.40	\$21,008.00
#2-10	REMOVE GUTTERS	\$0	\$3,125.00	250	LF	\$12.50	\$3,125.00
#2-11	REMOVE DOWNSPOUTS	\$0	\$1,350.00	6	EA	\$225	\$1,350.00
#2-12	STORAGE CONTAINER, 2 EA	\$0	\$2,700.00	3	MO	\$900	\$2,700.00
#2-13	SCISSOR LIFT	\$0	\$13,014.00	3	MO	\$4,338.00	\$13,014.00
3	Concrete (3)						
#3-1	CONCRETE REPAIRS	\$0	\$18,000.00	36	EA	\$500	\$18,000.00
#3-2	DRILL & EPOXY THREADED ROD	\$0	\$11,988.00	36	EA	\$333	\$11,988.00
#3-3	MISC REPAIR ALLOWANCE	\$0	\$19,000.00	1	EA	\$19,000.00	\$19,000.00
4	Metals (4)						
#4-1	RAILING REPAIRS - ALLOWANCE	\$0	\$16,240.00	280	LF	\$58	\$16,240.00
#4-2	REINSTALL RAILINGS	\$0	\$7,560.00	280	LF	\$27	\$7,560.00
#4-3	STAINLESS STEEL HOLD DOWN BRACKETS	\$0	\$9,900.00	36	EA	\$275	\$9,900.00
#4-4	MISC., PLATES, BOLTS, HARDWARE, ECT.	\$0	\$1,950.00	1	EA	\$1,950.00	\$1,950.00
5	Wood & Plastics (2)						
#5-1	COLUMN BASES	\$0	\$28,692.00	36	EA	\$797	\$28,692.00
#5-2	WOOD BLOCKING / NAILERS	\$0	\$1,350.00	36	EA	\$37.50	\$1,350.00
6	Finishes (8)						
#6-1	SANDBLAST RAILINGS	\$0	\$3,506.60	985	SF	\$3.56	\$3,506.60
#6-2	REPAINT RAILINGS	\$0	\$14,528.75	985	SF	\$14.75	\$14,528.75
#6-3	PAINT COLUMNS	\$0	\$10,800.00	36	EA	\$300	\$10,800.00
#6-4	PAINT STUCCO	\$0	\$5,000.00	500	SF	\$10	\$5,000.00
#6-5	STUCCO	\$0	\$4,500.00	500	SF	\$9	\$4,500.00
#6-6	TILE BEDDING	\$0	\$5,200.00	520	SF	\$10	\$5,200.00
#6-7	TILE	\$0	\$18,980.00	520	SF	\$36.50	\$18,980.00
#6-8	FINAL TOUCH UP,PUNCH OUT AND CLEAN - ALLOWANCE	\$0	\$3,500.00	1	LS	\$3,500.00	\$3,500.00
7	Electrical (3)						
#7-1	DISCONNECT MOTORIZED SCREENS	\$0	\$18,000.00	36	EA	\$500	\$18,000.00
#7-2	RECONNECT MOTORIZED SCREENS	\$0	\$18,000.00	36	EA	\$500	\$18,000.00
#7-3	RECONNECT MOTORIZED SCREENS	\$0	\$0	36	EA	No Bid	No Bid
						Apparent Awardee	

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 050-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, awarding RFP No. 2025-012, Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation to Arbor Tree and Land, Inc. and Ceres Environmental Services, Inc. for a five-year award based on satisfactory work and mutual agreement of extension of contract.

Presenter

Dean Mealy, II Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 050-2025**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 050-2025, awarding RFP No. 2025-012, Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation to Arbor Tree and Land, Inc. and Ceres Environmental Services, Inc. for a five-year award based on satisfactory work and mutual agreement of extension of contract

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 050-2025, awarding RFP No. 2025-012, Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation to Arbor Tree and Land, Inc. and Ceres Environmental Services, Inc. for a five-year award based on satisfactory work and mutual agreement of extension of contract.

SUMMARY EXPLANATION/BACKGROUND

The current award for Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation is at the end of the five-year award period.

Procurement and Contract Management issued RFP No. 2025-012 for Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation on April 3, 2025. The solicitation closed and was evaluated by the Selection Committee comprising of the following:

VOTING

Chet Purves
Jeff Coleman
Paul Colby

NON-VOTING

Chief Sean Baker
Melissa Ladd (financials)
Duke Basha and Carlos E. Santana – facilitators

For Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation, the Town only received two proposals, both from known firms.

The current incumbent is Arbor Tree and Land, Inc. (ATL) is recommended for primary award designation based on the following:

- ATL fits the primary designation based on historical responses to previous Town emergency situations. They specifically state a four-hour response time. Ceres Environmental Services, Inc. proposed a twenty-four-hour response time.
- ATL does not anticipate using subcontractors under this award. Their response teams and equipment are internal to their corporation.

FUNDING/FISCAL IMPACT

Funding will be noted for each occurrence of engagement.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 050-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
AWARDING RFP NO. 2025-012, DISASTER DEBRIS SERVICES,
FIRST PASS, CUT AND TOSS, SAND AND VEGETATION TO
ARBOR TREE AND LAND, INC. AND CERES
ENVIRONMENTAL SERVICES, INC. FOR A FIVE-YEAR
AWARD BASED ON SATISFACTORY WORK AND MUTUAL
AGREEMENT OF EXTENSION OF CONTRACT**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 050-2025, RFP No. 2025-012, Disaster Debris Services, First Pass, Cut and Toss, Sand and Vegetation to Arbor Tree and Land, Inc. and Ceres Environmental Services, Inc. for a five-year award based on satisfactory work and mutual agreement of extension of contract.

Section 2. The Town Manager is hereby authorized to execute the contract and purchase order on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 051-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving a Purchase Order to Rechten International Truck Sales for a rear steer crane truck in the amount of \$251,195 and approving a contingency in the amount of \$25,111 and approving a project budget in the amount of \$276,306.

Presenter

Dean Mealy, II Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 051-2025**
- ▣ **Proposal**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 051-2025, approving a Purchase Order to Rechten International Truck Sales for a rear steer crane truck in the amount of \$251,195 and approving a contingency in the amount of \$25,111 and approving a project budget in the amount of \$276,306.

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 051-2025, approving a Purchase Order to Rechten International Truck Sales for a rear steer crane truck in the amount of \$251,195 and approving a contingency in the amount of \$25,111 and approving a project budget in the amount of \$276,306.

SUMMARY EXPLANATION/BACKGROUND

The current unit used by Public Works has reached the end of the useful life and is scheduled for replacement in the FY26 Equipment Replacement Cycle. This piece of equipment is used for the collection and hauling of the vegetative debris placed by residents and businesses.

Due the uncertainty of material costs and availability, it is recommended we make this particular purchase ahead of schedule.

The quote secured is from the Florida Sheriff's Association Cooperative Contract which provides the best pricing to all government agencies within the State of Florida.

FUNDING/FISCAL IMPACT

The funding for this award will be from the Equipment Replacement Fund.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 051-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
APPROVING A PURCHASE ORDER TO RECHTIEN
INTERNATIONAL TRUCK SALES FOR A REAR STEER
CRANE TRUCK IN THE AMOUNT OF \$251,195 AND
APPROVING A CONTINGENCY IN THE AMOUNT OF \$25,111
AND APPROVING A PROJECT BUDGET IN THE AMOUNT OF
\$276,306.**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 051-2025, approving a Purchase Order to Rechtiem International Truck Sales for a rear steer crane truck in the amount of \$251,195 and approving a contingency in the amount of \$25,111 and approving a project budget in the amount of \$276,306.

Section 2. The Town Manager is hereby authorized to execute the Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



Rechtien International Trucks, Inc

FLORIDA SHERIFF'S ASSOCIATION CONTRACT - FSA23-VEH21.0 Heavy Trucks (FSA2025)

Customer: CITY OF BOYNTON BEACH
Specification: 46 Region: SOUTHERN
Model: MV607 Base Price:

REAR LOADER TRUCK (PETERSEN RS-3)

	Quantity	Unit Cost	extended
	1	\$ 83,205.00	\$ 83,205.00
Contract Options: All Contract Options include a discount from manufacturer MSRP			
1CAG FRAME RAILS, 120,000 PSI	1	\$ 682.00	\$ 682.00
2ASC AXLE, FRONT, NON-DRIVING (MERITOR MFS-12-122A) 12,000LB	1	\$ 297.00	\$ 297.00
3ADC SUSPENSION, FRONT, PARABOLIC, 12,000LB	1	\$ 148.00	\$ 148.00
4EDN AIR DRYER (BENDIX AD-9SI)	1	\$ 360.00	\$ 360.00
4722 DRAIN VALVE (BENDIX DV-2) AUTOMATIC, WITH HEATER	1	\$ 132.00	\$ 132.00
5PSA STEERING GEAR (SHEPPARD M100 ARD) POWER	1	\$ 96.00	\$ 96.00
5708 TILTING STEERING WHEEL COLUMN	1	\$ 100.00	\$ 100.00
7BLW EXHAUST SYSTEM SINGLE, HORIZ. AFTTRM, RIGHT SIDE VERTICAL TAIL	1	\$ 1,702.00	\$ 1,702.00
8XHD BATTERY DISCONNECT SWITCH, 300 AMP, CAB MOUNTED	1	\$ 238.00	\$ 238.00
8XDU BATTERY BOX, STEEL, ALUMINUM COVER, 14", LEFT SIDE, UNDER CAB	1	\$ 369.00	\$ 369.00
8WPZ TEST EXT. LIGHTS, PRE-TRIP INSPECTION, CYCLE ALL LIGHTS	1	\$ 34.00	\$ 34.00
8WRB HEADLIGHTS ON WITH WIPERS	1	\$ 34.00	\$ 34.00
8XPA HEADLIGHTS LED, W/DAYTIME RUNNING, AUTOMATIC TWILIGHT	1	\$ 790.00	\$ 790.00
8XHN AIR HORN	1	\$ 75.00	\$ 75.00
8WXD ALARM, PARKING BRAKE, HORN SOUNDS WHEN PARK BRK. NOT ENGAGED	1	\$ 34.00	\$ 34.00
9WAC (9WBZ) BUG SCREEN, MOUNTED BEHIND GRILLE	1	\$ 105.00	\$ 105.00
10VAA (10WBS) KEYS - ALL ALIKE, ADDITIONAL 3 KEYS	1	\$ 46.00	\$ 46.00
10WUE MUD FLAPS, FRONT WHEELS (2) RUBBER, BEHIND FRONT WHEELS	1	\$ 61.00	\$ 61.00
12EXV ENGINE, CUMMINS B6.7 260 HP., 660 LB. FT., EPA 2024	1	\$ 2,430.00	\$ 2,430.00
12XBM ENGINE CONTROL, REMOTE MOUNTED PROVISION	1	\$ 48.00	\$ 48.00
13BCS TRANSMISSION, AUTOMATIC, ALLISON 3000RDS	1	\$ 5,278.00	\$ 5,278.00
13WYH TRANSMISSION TCM LOCATED INSIDE CAB	1	\$ 125.00	\$ 125.00
16GHU GRAB HANDLE, CAB INTERIOR (2) SAFETY YELLOW	1	\$ 26.00	\$ 26.00
16SDC (16SGH) GRAB HANDLE, EXTERIOR (2), MOUNTED ON B-PILLAR	1	\$ 189.00	\$ 189.00
16VLK CAB REAR SUSPENSION, AIR FOR MID CAB HEIGHT	1	\$ 458.00	\$ 458.00
16WJU WINDOW, POWER (2) AND POWER DOOR LOCKS	1	\$ 294.00	\$ 294.00
16136 AIR CONDITIONER, PROVISION FOR SECOND AC COMPRESSOR	1	\$ 669.00	\$ 669.00
60ABC BODY INTG, REMOTE START/STOP	1	\$ 450.00	\$ 450.00
60ACW (60ABM) BODY INTG., I/O EXP. HARNESS IN CAB WIRE HARNESS	1	\$ 62.00	\$ 62.00
60AAA (60AAG) BODY INTEGRATION POWER MODULE	1	\$ 552.00	\$ 552.00
7372135809 11R 22.5 TIRES LOAD RANGE G	6	\$ 98.00	\$ 588.00
SAFETY TRIANGLES AND 5LB. FIRE EXTINGUISHER	1	\$ 233.00	\$ 233.00
NEWTAG COUNTY/CITY TAG	1	\$ 313.00	\$ 313.00
			\$ -

Non-Contract Options: All Non-Contract Options include a discount from manufacturer MSRP

AIR TNK (2) Mounted Between the Rails, One on Each Side- Clean CA	1	\$ 262.00	\$ 262.00
RS-3 PETERSEN RS-3 Rear Steer Loader Grapple	1	\$ 164,360.00	\$ 164,360.00
PETERSEN INDUSTRIES DISCOUNT	1	\$ (15,550.00)	\$ (15,550.00)
2025 GOVERNMENT TARIFFS	1	\$ 3,900.00	\$ 3,900.00

		\$ -	
Total:		\$ 252,705.00	\$ 253,195.00
**Florida Waste Tire Fee		\$ 1.00	\$ -
**Florida Waste Battery Fee		\$ 1.50	\$ -
Total Purchase Order Amount:		\$ 252,705.00	\$ 253,195.00

Cab Color: 9219 STD WHITE
Body Color: ORANGE

FSA BASE & OPTIONS PRICES SUBJECT TO CHANGE BASED ON MARKET CONDITIONS

Prepared By: Carlos Correa Authorized Agent Signature: _____

Rechtien International Date Signed: _____
3787 Interstate Park Rd.

Riviera Beach, FL 33404
office: 561-882-9050 cell: 954.422.4760 fax: 561-882-0218 email: ccorrea@rechtien.com

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 052-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, approving an extension to Contract Awarded RFP No. 2020-09, Audit Services for the Town of Palm Beach for one year in the amount of \$97,802 to CBIZ CPAs P.C.

Presenter

Dean Mealy, II Procurement and Contract Manager

ATTACHMENTS:

- ▣ **Memorandum dated May 1, 2025 from Dean Mealy, II, Town Procurement and Contract Manager**
- ▣ **Resolution No. 052-2025**
- ▣ **Proposal**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Robert Miracle, CPA Deputy Town Manager, Finance and Administration

FROM: Dean Mealy, II NIGP-CPP, CPPO Town Procurement and Contract Manager

RE: Resolution No. 052-2025, approving an extension to Contract Awarded RFP No. 2020-09, Audit Services for the Town of Palm Beach for one year in the amount of \$97,802 to CBIZ CPAs P.C.

DATE: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council approve Resolution No. 052-2025, approving an extension to Contract Awarded RFP No. 2020-09, Audit Services for the Town of Palm Beach for one year in the amount of \$97,802 to CBIZ CPAs P.C.

SUMMARY EXPLANATION/BACKGROUND

Procurement and Contract Management issued RFP 2020-09 for audit services. Due to the changes to staffing during the past eighteen months in the Finance Department, it was determined to seek an extension for a period of one year to the current agreement with CBIZ CPAs P.C. The one year extension reflects a two percent price increase.

When solicitations are issued, either ITB's or RFP's, the general terms are for a period of five years. We are permitted to extend an award based on operational needs.

It would be the plan to reissue this solicitation next year. CBIZ CPAs P.C, previously Marcum Accounting and Advisors, have provided the Town with outstanding services.

FUNDING/FISCAL IMPACT

Funding for this award will be from the Finance Operating Budget.

TOWN ATTORNEY REVIEW

This format has been utilized by the Town in previous recommendations and was approved by the Town Attorney.

RESOLUTION NO. 052-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF
PALM BEACH, PALM BEACH COUNTY, FLORIDA,
APPROVING AN EXTENSION TO CONTRACT AWARDED
RFP NO. 2020-09, AUDIT SERVICES FOR THE TOWN OF
PALM BEACH FOR ONE YEAR IN THE AMOUNT OF \$97,802
TO CBIZ CPAS P.C.**

NOW, BE IT RESOLVED BY THE TOWN COUNCIL OF THE TOWN OF PALM BEACH,
PALM BEACH COUNTY, FLORIDA, as follows:

Section 1. The Town Council of the Town of Palm Beach hereby approves Resolution No. 052-2025, approving an extension to Contract Awarded RFP No. 2020-09, Audit Services for the Town of Palm Beach for one year in the amount of \$97,802 to CBIZ CPAs P.C.

Section 2. The Town Manager is hereby authorized to execute the Purchase Orders on behalf of the Town of Palm Beach for these improvements.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May 2025

Danielle H. Moore, Mayor

Bobbie D. Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Edward A. Cooney, Town Council Member

Kelly Churney, CMC, Town Clerk

Bridget Moran, Town Council Member



CBIZ CPAs P.C.

525 Okeechobee Boulevard
Suite 750
West Palm Beach, FL 33401

P: 561.653.7300

April 10, 2025

Town of Palm Beach, Florida
Attn: Kirk Blouin, Town Manager
360 South County Road
Palm Beach, FL 33480

Re: Addendum to the Engagement Letter dated July 20, 2020, Between the Town of Palm Beach, Florida and CBIZ CPAs P.C for Financial Auditing Services (Agreement under RFP No. 2020-09, inclusive of the Agreed Upon Procedures for the Solid Waste Facility). This addendum serves the sole purpose of acknowledging the extension of the audit services.

This letter serves as an addendum to our understanding of the services we, CBIZ CPAs P.C. ("CBIZ"), are to provide to the Town of Palm Beach, Florida (the "Town," "you," or "your"), with all previous terms of the referenced engagement letter remaining in effect. This addendum formally acknowledges the extension of the audit services contract for the fiscal year ending September 30, 2025. The fee for the audit services for the fiscal year ending September 30, 2025, is as follows:

- Financial Statement Audit - \$ 91,219
- SWF Agreed Upon Procedures - \$ 1,422
- Single Audit (if required) - \$ 5,161

We appreciate the opportunity to be of continued service to the Town. If you have any questions, please let us know.

Very truly yours,

A handwritten signature in black ink, appearing to read "Moises D. Ariza".

Moises D. Ariza, CPA, CGMA
Shareholder, CBIZ CPAs P.C

ACCEPTED

This letter correctly sets forth the agreement of the Town of Palm Beach.

Authorized Signature: _____

Title: _____

Date Signed: _____

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Resolutions

Agenda Title

RESOLUTION NO. 074-2025 A Resolution of the Town Council of the Town of Palm Beach, Palm Beach County, Florida, Adopting Revised Fees Related to the Planning, Zoning & Building Department.

Presenter

Wayne Bergman, Director of Planning, Zoning and Building

ATTACHMENTS:

- ▣ **Memorandum Dated April 17, 2025, from Wayne Bergman, Director of Planning, Zoning and Building**
- ▣ **Resolution No. 074-2025**
- ▣ **Exhibit "A"**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council

Via: Kirk Blouin, Town Manager

From: Wayne Bergman, Director of Planning, Zoning & Building

Re: Resolution 074-2025 - Master Fee Schedule

Date: April 17, 2025

STAFF REQUEST & RECOMMENDATION

Staff requests that the Town Council review the proposed changes to the Master Fee Schedule involving Planning, Zoning & Building fees. Staff further recommend that the Town Council approve Resolution No. 074-2025 to implement the revised fees.

GENERAL INFORMATION

The PZB Department is recommending several minor changes to the Master Fee Schedule, which is updated on a regular basis. Many fees and processes have been reviewed as part of the continuing setup and implementation of EnerGov / EPL, the department's new software. A new step-fee schedule is being proposed for Traffic Concurrency Determination and Escrow Peer Reviews.

FUNDING/FISCAL IMPACT

A minor change to revenue is expected with the proposed changes.

REQUESTED ACTION

Resolution No. 074-2025 is ready for your consideration and approval.

Attachments: Draft Resolution No. 074-2025 w/ Revised Master Fee Schedule

RESOLUTION NO. 074-2025

**A RESOLUTION OF THE TOWN COUNCIL OF THE
TOWN OF PALM BEACH, PALM BEACH COUNTY,
FLORIDA, ADOPTING REVISED FEES RELATED TO THE
PLANNING, ZONING & BUILDING DEPARTMENT**

WHEREAS, the Town Council has adopted the Town of Palm Beach Master Fee Schedule; and

WHEREAS, Town staff has proposed revisions to several of the Fees contained within the Master Fee Schedule, and

NOW, THEREFORE BE IT RESOLVED BY THE TOWN COUNCIL of the Town of Palm Beach, Palm Beach County, Florida, as follows:

Section 1: The Town of Palm Beach Master Fee Schedule is revised with the changes found in Exhibit “A” (attached).

Section 2: This resolution shall become effective immediately.

PASSED AND ADOPTED in a regular, adjourned session of the Town Council of the Town of Palm Beach assembled this 13th day of May, 2025.

Danielle H. Moore, Mayor

Bobbie Lindsay, Town Council President

Lewis S.W. Crampton, Council President Pro Tem

ATTEST:

Julie Araskog, Town Council Member

Kelly Churney, CMC, Town Clerk

Edward A. Cooney, Town Council Member

Bridget Moran, Town Council Member

Town of Palm Beach Master Fee Schedule (Revised 05/05/2025)

Fee Categories

Business Tax Receipts
 Data Processing Services (Labels)
 Development Review Fees (Includes Architectural and Landmark Reviews) Environmental & Sanitation Fees
 Liens & Open Permit Searches Notarization Services
 Parking Meter Fees
 Permits, Construction (Includes Dune Construction)
 Permits, Parking & Transportation (Includes Parking Placards) Permits, Other
 Public Safety Services, Alarms (Fire and Burglar) Public Safety Services, Fire-Rescue
 Public Safety Services, Police Records Request Fees Recreation Fees
 Returned Check Fees Rights-of-Way Fees
 Violations, Fines, Penalties, & Late Fees (All)

Department Codes & Contact Information

Code Enforcement Department (CE)	(561) 227-7080
Finance Department (FIN)	(561) 838-5444
Fire-Rescue Department (FR)	(561) 838-5420
Police Department (PD)	(561) 838-5454
Public Works Department (PW)	(561) 838-5440
Planning, Zoning, & Building Department(PZB)	(561) 838-54301
Town Clerk's Office (TCO)	(561) 838-5416

Fee Category	Fee	Dept.
BUSINESS TYPE:		
Abstractors of Title	\$489.00	PZB
Accountant/Auditor/C.P.A., Firm (includes one professional)	\$489.00	PZB
Accountant/Auditor/C.P.A.	\$489.00	PZB
Adult Entertainment	\$1,413.00	PZB
Administrative Office	\$396.00	PZB
Answer Phone (support business services)	\$489.00	PZB
Apartments (see Rental Dwellings)		
Architect	\$489.00	PZB

Art Gallery, up to 400 sq ft	\$208.00	PZB
Art Gallery, 401 - 2,000 sq ft	\$489.00	PZB
Art Gallery, 2,001 - 4,000 sq ft	\$564.00	PZB
Art Gallery, 4,001 - 8,000 sq ft	\$1,129.00	PZB
Art Gallery, over 8,000 sq ft	\$1,697.00	PZB
Artist	\$376.00	PZB
Astrologer, Phrenologist, Crystal Reading, Palm Reader, Soothsayer, Fortune Teller and Clairvoyant	\$512.00	PZB
Bakery	\$245.00	PZB
Bank, Trust Company	\$1,415.00	PZB
Barber	\$187.00	PZB
Barber, Shop (includes one Barber)	\$187.00	PZB
Beauty, Shop (see Cosmetology Salon)		
Bicycle Shop Rentals	\$187.00	PZB
Bicycle Shop, Sales (see Merchants)		
Boat Dealer (Yacht Broker)	\$376.00	PZB
Broadcasting Station (Radio or TV)	\$543.00	PZB
Broker	\$489.00	PZB
Brokerage/Investment Company (includes one Broker)	\$1,415.00	PZB
Business Office Only (two people maximum)	\$245.00	PZB
Car Rental Agency	\$753.00	PZB
Catering	\$245.00	PZB
Chiropractor	\$489.00	PZB
Coin-Operated Machines (inside, exclusive of news racks)	\$130.00	PZB
Consultant	\$489.00	PZB
Contractor Office (Construction)	\$543.00	PZB
Cosmetologist	\$187.00	PZB
Cosmetology Salon (includes one Cosmetologist)	\$187.00	PZB
Dance Instructor	\$245.00	PZB
Dance Studio/School	\$489.00	PZB
Dentist	\$489.00	PZB
Dining Room, 40 chairs or less (hotel, business, etc.)	\$245.00	PZB
<i>Plus, for each chair up to 40</i>	\$3.83	PZB

Dining Room, over 40 chairs (hotel, business, etc.)	\$489.00	PZB
<i>Plus, for every chair</i>	\$3.83	PZB
Dining, Club (see Dining Room)		
Electric Light Company	\$424.00	PZB
Employment Agency	\$489.00	PZB
Engineer	\$489.00	PZB
Facialist, Registered (FA) or Specialist (FB)	\$55.25	PZB
Full Specialist	\$55.25	PZB
Full Registration	\$55.25	PZB
Gas Company	\$424.00	PZB
Golf Course	\$543.00	PZB
Health Studio	\$489.00	PZB
Hotel, 10 rooms or less	\$74.00	PZB
Hotel, more than 10 rooms	\$74.00	PZB
<i>Plus, each additional room</i>	\$9.00	PZB
Insurance Broker, Company/Agency	\$489.00	PZB
Insurance Salesperson	\$245.00	PZB
Interior Decorator	\$489.00	PZB
Interior Designer	\$489.00	PZB
Jeweler	\$850.00	PZB
Law Firm (includes one Lawyer)	\$489.00	PZB
Lawyer	\$489.00	PZB
Massage Therapist	\$489.00	PZB
Massage Establishment (includes one Massage Therapist)	\$489.00	PZB
Merchant, up to 400 sq ft	\$208.00	PZB
Merchant, 401 - 2,000 sq ft	\$489.00	PZB
Merchant, 2,001 - 4,000 sq ft	\$564.00	PZB
Merchant, 4,001 - 8,000 sq ft	\$1,129.00	PZB
Merchant, over 8,000 sq ft	\$1,697.00	PZB
Mortgage Broker	\$489.00	PZB
Mortgage Company	\$489.00	PZB
Motor Scooter and Motorcycle Rental	\$1,530.00	PZB

Music Service	\$489.00	PZB
Nail Registration (FV) or Nail Specialist (FT)	\$55.25	PZB
Newspaper (see Publisher)		
Nightclub, with Dance Floor	\$1,412.00	PZB
Nightclub, without Dance Floor	\$925.00	PZB
Nurse	\$489.00	PZB
Nursing Agency (includes one Nurse)	\$489.00	PZB
Optician	\$489.00	PZB
Optometrist	\$489.00	PZB
Parking Garage	\$489.00	PZB
Parking Lot (see Chapter 22, Article VI, Parking Lots for further provisions)	\$245.00	PZB
Pharmacist (Individual)	\$489.00	PZB
Pharmacy (includes one Pharmacist)	\$489.00	PZB
Photographer	\$245.00	PZB
Physician	\$489.00	PZB
Printing Company	\$489.00	PZB
Profession, Not Listed	\$489.00	PZB
Property Management	\$245.00	PZB
Public Relations	\$489.00	PZB
Publisher	\$489.00	PZB
Real Estate Broker	\$489.00	PZB
Rental Dwellings, per unit (minimum two units)	\$48.00	PZB
Repair Shop (other than Auto Repair)	\$489.00	PZB
Restaurant, 40 chairs or less	\$245.00	PZB
<i>Plus, for each chair up to 40</i>	\$4.00	PZB
Restaurant, more than 40 chairs	\$489.00	PZB
<i>Plus, for each chair</i>	\$4.00	PZB
Savings and Loan Association	\$1,415.00	PZB
School, Private	\$489.00	PZB
Security Agency, Private (includes one Security Officer)	\$245.00	PZB
Security Officer, Private	\$36.00	PZB
Service Station (includes Auto Repair)	\$543.00	PZB

Services, Not Listed	\$245.00	PZB
Swimming Pools, Public	\$489.00	PZB
Talent Agency	\$489.00	PZB
Taxicabs, each Company or Stand	\$376.00	PZB
Telecommunications Company (formerly Telegraph)	\$424.00	PZB
Telephone Company	\$424.00	PZB
(nothing in this chapter will be construed as requiring a license tax for coin-operated telephones)		
Theater	\$1,697.00	PZB
<i>Plus, for each seat</i>	\$2.60	PZB
Travel Bureau/Agency	\$489.00	PZB
Trust Agency	\$1,415.00	PZB
Unclassified, Business Not Listed	\$397.00	PZB
Veterinarian	\$489.00	PZB
Veterinary Establishment	\$489.00	PZB
TRANSFER FEE:		
Transfer BTR to New Owner or Location	10% of Fee, Max. \$25.00	PZB
Technology Fee (a 2% technology fee is added to all transactions).	2% of Fee	PZB
DATA PROCESSING SERVICES (LABELS)		
Data Processing/Address Labels Services	\$50.00	PZB
Labels	\$5.00/sheet	PZB
eRecording Fee (up to 6 pages)	\$100 + \$10/pg thereafter	PZB
DEVELOPMENT REVIEW FEES		
Technology Fee (a 2% technology fee is added to all transactions).	2% of Fee	PZB
Agreement, Declaration of Use	\$2500.00 Plus Actual Town Attorney Fees	PZB
Address Change	\$500.00	PZB
Administrative Approval or Commission Approval After-the-fact	200% of total fees	PZB
Agreement, Kitchen	\$500.00	PZB
Agreement, Other (Restrictive Covenant, Deed Restriction, etc)	\$500.00	PZB
Agreement, Unity of Title	\$750.00	PZB
ARCHITECTURAL REVIEW FEES:		
Appeal, Administrative Decision	\$2,000.00	PZB

ARCOM Application, Minor	\$1,500.00	PZB
ARCOM Application, Administrative Review	\$350.00	PZB
ARCOM Application deferral, Major or Minor	\$500.00	PZB
ARCOM Resubmittal Fee, Major	\$1,000.00	PZB
ARCOM Resubmittal Fee, Minor	\$500.00	PZB
ARCOM Time Extension Request	\$500.00	
ARCOM Appeal of Administrative Review	\$2,000.00	PZB
Clarification Hearing Request, by Applicant	\$1,000.00	PZB
Comp Plan, FLUM Amendment, Small-Scale	\$5,000.00	PZB
Comp Plan, FLUM Amendment, Large-Scale	\$6,000.00	PZB
Comp Plan, Text Amendment	\$5,000.00	PZB
DEP Permit Zoning Determination Letter Request	\$500.00	PZB
Development Review - Town Council Time Extension Request	\$500.00	PZB
Development Review Consultant Reports & Escrow	As Quoted	PZB
Historically Significant Building Application	750 \$1000	PZB
Historically Significant Building Resubmittal	\$250.00	PZB
Historically Significant Building Time Extension Request	\$500.00	PZB
Historically Significant Building Determination Letter	\$250.00	
Historically Significant Building, Administrative Review	\$150.00	PZB
Historically Significant Building, Administrative Review Appeal	\$2000.00	PZB
Landmark COA Application	750 \$1000	PZB
Landmark COA Amendment	750 \$1000	PZB
Landmark Application Deferral	\$500.00	PZB
Landmark COA Resubmittal Fee	\$250.00	PZB
Landmark COA Time Extension Request	\$500.00	PZB
Landmark COA Application, Administrative Review	\$150.00	PZB
Landmarks COA Appeal of Board Determination	\$2,000.00	PZB
Landmarks Commission Appeal of Administrative Review	\$2,000.00	PZB
Landmark Tax Abatement Fee	\$1,500.00	PZB
MISCELLANEOUS FEES:-		
Landmark Manual, Owner, first one	No Charge	PZB
Landmark Manual, Owner, all subsequent ones	Actual Cost	PZB

Landmark Manual, Non-Owners	Actual Cost	PZB
Landmark Plaque, Owner, first one	No Charge	PZB
Landmark Plaque, Owner, all subsequent ones	Actual Cost	PZB
DEVELOPMENT REVIEW PLANNING & ZONING FEES:		
Lot Split Application	\$3,000.00	PZB
Outdoor Café Permit, Annual, Plus Per Seat Below	\$1,000.00	PZB
Outdoor Café - Per Seat	\$50.00	PZB
PUD Application Planned Unit Development Amendment	\$6,000.00	PZB
Planning Verification Letter (per parcel or address)	\$500.00	PZB
Plat	\$5,000.00	PZB
Replat	\$5,000.00	PZB
Site Plan Review, Administrative	\$1,500.00	PZB
Site Plan Review, All SFD; and PUD/MFD/Commercial, 200 sq ft or less	\$2,250.00	PZB
Site Plan Review, PUD, MFD/Commercial, over 200 sq ft	\$5,000.00	PZB
Site Plan Review, Resubmittal	\$1,000.00	PZB
Special Exception	\$3,000.00	PZB
Special Exception, MFD/Commercial	\$3,500.00	PZB
Special Exception, Resubmittal	\$1,000.00	PZB
Special Exception, Use, Modification, and/or Expansion	\$2,000.00	PZB
SQUARE FOOTAGE FEE - Commercial/Other, New Construction	.50 per sq ft - Max. \$75k	PZB
SQUARE FOOTAGE FEE - Residential Single Family over 10,000 sq.ft., New Construction	.15 per sq ft - Max. \$75k	PZB
Subdivision, Preliminary	\$5,000.00	PZB
Subdivision, Final	\$5,000.00	PZB
Subdivision, Impact Study	Minimum 2% of Estimate of Sub-Division Improvements Plus Either \$300/Platted Lot or \$10/FF/Lot, Whichever is Greater	PZB
Town Council Resubmittal	\$1,000.00	PZB
Town Council Deferral	\$500.00	PZB
TRAFFIC CONCURRENCY DETERMINATIONS AND ESCROW	As Quoted	PZB
Parking Study Review	\$9,000.00	PZB

Traffic Impact Assessment Review (less than 20 peak hour trips)	\$5,500.00	PZB
Traffic Impact Study Review (more than 20 peak hour trips)	\$9,000.00	PZB
Valet Parking Analysis Review	\$6,000.00	PZB
Variance, SFD	\$1,250.00	PZB
Variance, Flood	\$2,500.00	PZB
Variance, MFD/Commercial	\$2,000.00	PZB
Variance, Resubmittal	\$1,000.00	PZB
Variance, Uses or Structures	\$3,000.00	PZB
Waiver, Dimensional	\$2,000.00	PZB
Zoning Code, Text Amendment-Proposed	\$1,500.00	PZB
Zoning Code, Text Amendment-Studied	\$5,000.00	PZB
Zoning Code, Zoning District Change	\$5,000.00	PZB
Zoning Verification Letter (per parcel or address)	\$500.00	PZB
ENVIRONMENTAL & SANITATION FEES		
Technology Fee (a 2% technology fee is added to all transactions).	2% of Fee	PZB
HISTORIC TREES:		
Annual Inspection and Maintenance, per tree	\$221.00	PW
INDUSTRIAL WASTE SURCHARGE RATES**:		
BOD (biochemical oxygen demand in mg/L)	\$0.40/pound	PW
TSS (total suspended solids in mg/L)	\$0.40/pound	PW
OG (oil and grease in mg/L)	\$7.30/pound	PW
<p>**Monthly surcharges shall be calculated as follows:</p> <p>$IWS = 8.34(V)(\\$0.40x(BOD-400) + \\$0.40y(TSS-400) + \\$7.30z(OG-100))$</p> <p>IWS= Monthly industrial surcharge rate</p> <p>V= Volume of industrial flow in million gallons per month based on metered water X= Capital and operating costs per pound of BOD greater than 400 mg/L Y= Capital and operating costs per pound of TSS greater than 400 mg/L</p> <p>Z= Capital and operating costs per pound of oil and grease greater than 100 mg/L</p>		
SANITARY SEWER CAPITAL CONNECTION FEES (Based on Water Meter Size):		
5/8"	\$550.00	PW
3/4"	\$825.00	PW
1"	\$1,375.00	PW
1 1/2"	\$2,750.00	PW

2"	\$4,400.00	PW
3"	\$8,250.00	PW
4"	\$13,750.00	PW
6"	\$27,500.00	PW
8"	\$44,000.00	PW
SEWER CONNECTION FEES (SANITARY OR STORM):		
Connections:		
<i>Up to 5" pipe</i>	\$150.00	PW
<i>Up to 12" pipe</i>	\$180.00	PW
<i>13" to 18" pipe</i>	\$225.00	PW
<i>Larger than 18"</i>	\$300.00	PW
<i>Connection Re-inspections (post failed inspections):</i>	\$300.00	PW
Construction Catch Basin	\$150.00	PW
Construct Manhole	\$150.00	PW
De-Watering to Gravity System:		
<i>Up to 2" Discharge, per month</i>	\$150.00	PW
<i>Up to 6" Discharge, per month</i>	\$180.00	PW
<i>Larger than 6" discharge, per month</i>	\$225.00	PW
De-watering to Pump Station (cost per 1000 gallons; contractor must submit pumping calculations)	Rate TBD by Public Works PW	PW
Initial Cap-off and connection fee	\$150.00	PW
Cap-off and connection re-inspection fee	\$300.00	PW
Disconnect or Cap Off	\$150.00	PW
Inspection of Building Sewer Lateral Flushing Operation for Discontinuing the Use of Detention and Screening Chambers, Where Required	\$150.00	PW
Re-Inspection Fee	\$300.00	PW
Occupancy Fee, if required	Rate TBD by Town Council	PW
Private Sanitary Sewer Lateral Locate (Existing)	\$250.00	PW
SPECIAL TRASH PICK-UPS (White Goods, etc.):		
1/4 Truck	\$105.60	PW
1/2 Truck	\$211.20	PW

3/4 Truck	\$316.80	PW
Full Truck	\$420.00	PW
SPECIAL VEGETATIVE TRASH PICK-UPS (Ficus Hedge Collection & Disposal):		
Collection & Disposal Fee - First 100' of Hedge Material (3-hour crew minimum)	\$700.00	PW
Collection & Disposal Fee - Each Additional Hour	\$300.00	PW
SPECIAL GARBAGE COLLECTION (Multi-Family Weekend Service):		
Weekend Service (Fee for Condo Weekend Service is Based on Assessment Rate Set by the Town Council Every September)		PW
LIENS & OPEN PERMIT SEARCHES		
Lien Searches (within 7 days)	\$100.00	FIN
Lien Searches, expedited (within 2 days)	\$200.00	FIN
Open Permit Searches (within 7 days)	\$100.00	PZB
Open Permit Searches, expedited (within 2 days)	\$200.00	PZB
NOTARIZATION SERVICES		
Notarization, per document, Residents, Employees, & Town Project or Contract Documents	No Charge	Notaries
Notarization, per document, All Other Individuals & Documents	\$10.00	Notaries
PARKING METER FEES		
Bradley Place (100 Block), Peruvian (200 and 300 Blocks), Phipps Ocean Park	\$5.00/hour	FIN
Royal Palm Way (100 Block), North County (100, 200 & 300 Blocks), Sunrise (100 Block), South Ocean Blvd (Mid-Town Beach), 100 Blocks of Brazilian, Australian, Chilean, Peruvian and Hammon	\$7.00/hour	FIN
Royal Palm Way/Recreation Center Lot	\$3.00/hour	FIN
PERMITS, CONSTRUCTION		
Technology Fee (a 2% technology fee is added to all transactions).	2% of Permit Fee	PZB
Agreement, Construction Management (Commercial/Multi-Family)	\$500.00	PZB
Agreement, Electrical Release	\$150.00	PZB
Agreement, Hold-Harmless	\$500.00	PZB
Agreement, Mechanical Equipment Screening	\$250.00	PZB
Annual License/Registration Fee - Private Providers, Contract Plan Reviewers/Inspectors for EPL Access	\$2,500.00	PZB
(BCAIF) Building Code Administrators & Inspectors Fund Surcharge (F.S. 468.631)	1.5% of Permit Fee, Minimum \$2.01	PZB
Building Board of Adjustments, Appeal of Building Official Determination	\$1,000.00	PZB

Certificate of Completion	\$200.00	PZB
Construction Permit Fee, including Conservation, Tent and Landscape Permits	Town plan review and Town inspections - 2.8% of Construction Value, Minimum \$100.00;	PZB
	Private Provider plan review and Town inspections - 2.59% of Construction Value, Minimum \$100.00	
	Town plan review and Private Provider inspections - 2.1% of Construction Value, Minimum \$100.00;	
	Private Provider plan review and Private Provider inspections - 1.89%, Minimum \$100.00	
Waiver of Construction Hours	1% of remaining value of work to complete project	PZB
Project /Permit Time Extension	1% of remaining value of work to complete project	PZB
Construction Permit, Reactivation Fee, Processing Fee, Re-inspection Fee, Re-issuance Fee, and Renewal Fee	\$200.00	PZB
Construction Permit, Issuance Fee	70% of Permit Fee Calculation	PZB
Construction Permit, Plan Review Fee, each permit	30% of Permit Fee Calculation, Min. \$75.00	PZB
Construction Permit, Refund Processing Fee	\$200.00	PZB
Construction, Permit Revision Fee (includes one page)	\$150 + \$50/pg. thereafter	PZB
Construction Permit, Transfer Fee	\$200.00	PZB
Construction Product Approval Review	\$2,000.00	PZB

Flood Zone Certification (FIRM) Letter	\$100.00	PZB
(HMWR) Department of Business and Professional Regulation Surcharge (F.S. 553.721)	1.0% of Permit Fee, Minimum \$2.00	PZB
Preliminary Plan Review Fee (separate from Plans Examination Fee)	\$1,500.00	PZB
Special Inspector Overtime (up to 4 hours)	\$300.00	PZB
Tent Permit, Extension Fee (Use over 15 days)	\$1,500/month, or portion thereof	PZB
Tent Permit, Re-inspection Fee for Multiple Events, Per Event	\$100.00	PZB
Work Completion Bond	135% of Construction Value	PZB
Work Completion Bond Processing Fee	\$200.00	PZB
PERMITS, PARKING & TRANSPORTATION (Includes Parking Placards)		
Parking, Construction (see Rights-of-Way Fees section)		
Parking Permit, Residential	\$50.00	FIN
Parking Permit, Group, Temporary (required to have 2 visitor/service permits before issuance)	No Charge	CE
Parking Permit, Valet, annual permit application fee, for each staging area	\$400.00	FIN
Parking Permit, Valet, Temporary, application fee, for each staging area	\$50.00	FIN
Parking Permit, Valet, transfer fee for revocable annual valet permit	\$300.00	FIN
Parking Permit, Visitor/Service	\$50.00	FIN
Parking Placard, 1 month period	\$165.00	FIN
Parking Placard, 4 month period	\$554.00	FIN
Parking Placard, 6 month period	\$777.00	FIN
Parking Placard, 12 month period	\$1,454.00	FIN
Vehicle Permit, Limousine, per vehicle	\$225.00	FIN
Vehicle Permit, Taxi Cab, per vehicle (also requires certificate of public convenience permit)	\$225.00	FIN
Vehicle Permit, Taxi Cab, Transfer Fee, per vehicle (see above condition)	\$225.00	FIN
PERMITS, OTHER		
Auction Permit	\$200.00	TCO
Charitable Solicitation Permit		
Application Fee, 60 days or greater from event	\$500.00	TCO
Application Fee, less than 60 days from event	\$750.00	TCO

Closing Out/Distress Sale Permit	\$30.00	TCO
Commercial Motion Picture Filming Permit	\$1,500.00, in addition to \$1,000.00/day filming fee	TCO
Door-to-Door Solicitation (requires Livescan fingerprinting, additional \$50 fee)	\$50.00	CE
Erection and Display of Unattended Symbols Relating to Religious Holidays Permit	\$150.00	TCO
Garage Sale Permit	\$30.00	FIN
Milestone Inspection Report Review Fee, Phase I or Phase II	\$500.00	
Newsrack Administration Fee	\$25.00	FIN
Parade Permit	\$360.00	CE
Temporary Animal Permit		
Application Fee, 60 days or greater from event	\$300.00	TCO
Application Fee, less than 60 days from event	\$500.00	TCO
Special Events Permits		
Application Fee, 60 days or greater from event	\$500.00	TCO
Application Fee, less than 60 days from event	\$750.00	TCO
Damage Deposit Fees - All Locations	\$2,500.00	TCO
Usage Fees, residents-all locations	\$500.00/hour	TCO
Usage Fees, non-residents - all locations	\$750.00/hour	TCO
Technology Fee (a 2% technology fee is added to all transactions).	2% of Permit Fee	PZB
PUBLIC SAFETY SERVICES, ALARMS (FIRE & BURGLAR)		
REGISTRATION FEES:		
Security Alarms, per year	\$50.00	FIN
Direct Connect Business, Under 1000 sq ft, per year	\$100.00	FIN
Direct Connect Business, 1000+ sq ft, per year	\$250.00	FIN
Direct Connect Residential, annual fee (service available 10/1/2014)	\$100.00	FIN
Direct Connect Residential, one-time Administrative Fee for initial set-up	\$100.00	FIN
FALSE ALARM FEES, BURGLAR:		
3-4 times, each instance	\$150.00	FIN
5-10 times, each instance	\$300.00	FIN
11-15 times, each instance	\$750.00	FIN
16 or more times, each instance	\$1,000.00	FIN

FALSE ALARM FEES, DIRECT CONNECT BURGLAR:		
16-17 times, each instance	\$150.00	FIN
18-23 times, each instance	\$300.00	FIN
24-28 times, each instance	\$750.00	FIN
29 or more times, each instance	\$1,000.00	FIN
FALSE ALARM FEES, FIRE:		
3-4 times, each instance	\$250.00	FIN
5-10 times, each instance	\$500.00	FIN
11-15 times, each instance	\$1,000.00	FIN
16 or more times, each instance	\$1,750.00	FIN
PUBLIC SAFETY SERVICES, FIRE-RESCUE		
ANNUAL FIRE & LIFE SAFETY INSPECTION FEES:		
Educational Schools and Day Care		
<i>Small 50 students or less</i>	\$125.00	FR
<i>Large 51 students or greater</i>	\$250.00	FR
Lodging, Rooming Houses, Hotels, Dormitories, and Condominiums		
<i>Condo Small 20 units or less</i>	\$125.00	FR
<i>Condo Large 21 units or greater</i>	\$250.00	FR
<i>Hotel, Transient Lodging Small 10 rooms or less</i>	\$125.00	FR
<i>Hotel, Transient Lodging Large 11 rooms or more</i>	\$250.00	FR
Marinas and Docks	\$75.00	FR
Mercantile, Business and Retail		
<i>Business Small 4,000 sq ft or less</i>	\$125.00	FR
<i>Business Large 4,001 sq ft or greater</i>	\$250.00	FR
<i>Retail Small 4,000 sq ft or less</i>	\$125.00	FR
<i>Retail Large 4,001 sq ft or greater</i>	\$250.00	FR
Restaurants, Cafes, Public Eating Places, Dining, Nightclub, Theater, Assembly		
<i>Small 40 chairs or less</i>	\$150.00	FR
<i>Large 41 chairs or greater</i>	\$250.00	FR
Unclassified Businesses or Properties	\$125.00	FR
Re-inspection Fee	\$125.00	FR

EMS TRANSPORTATION FEES:		
Basic Life Support Transportation Fee	\$750.00	FR
Advanced Life Support-Level 1 Transportation Fee	\$750.00	FR
Advanced Life Support-Level 2 Transportation Fee	\$850.00	FR
Ambulance Ground Mileage, in Addition to Transportation Fee	\$12.00/mile	FR
FIRE PREVENTION FEES:		
Technical Fire Inspections	\$250.00	FR
Fixed Fire Suppression Systems	\$250.00	FR
Hazardous, Flammable or Explosive Materials		
<i>Fire hydrant flow test witness</i>	\$275.00	FR
<i>Bonfire permit</i>	\$300.00	FR
<i>Fireworks and pyrotechnic displays Permit Fee</i>	\$2,000.00	FR
<i>Hot work operation permit</i>	\$100.00	FR
Public assembly plans review and inspection	\$75.00	FR
MISCELLANEOUS FEES:		
Meeting Room Rental-South Fire Station	\$28.00/hr.	FR
Meeting Room Rental Deposit-South Fire Station (required for rental)	\$200.00	FR
SPECIAL ASSIGNMENT (OFF-DUTY) DETAILS FEE:		
Special Assignment Details (3 hour minimum)	\$80.00/hr.	FR
Special Assignment Details (3 hour minimum) - Premium Days (as defined by Res. No. 176-2015)	\$110.00/hr.	FR
Technology Fee	2% of Permit Fee	PZB
PUBLIC SAFETY SERVICES, POLICE		
FINGERPRINTING FEES:		
Fingerprinting-physical card, Town Resident Civilians (except employee applicants)	\$30.00	PD
Fingerprinting-Livescan, Town Required (except employee applicants)	\$50.00	PD
Fingerprinting, Children	No Charge	PD
MISCELLANEOUS FEES:		
Identification Cards, each (good for 1 year)	\$50.00	PD
Passport Photos, for 2 photos	\$15.00	PD
SPECIAL ASSIGNMENT (OFF-DUTY) DETAILS FEE:		
Special Assignment Details (3 hour minimum)	\$80.00/hr.	PD

Special Assignment Details (3 hour minimum) - Premium Days (as defined by Res. No. 176-2015)	\$110.00/hr.	PD
RECORDS REQUEST FEES		
These costs vary by department and scope of the request.	Based on actual costs	TC
NOTE: All Duplication Fees are Subject to F.S. Ch. 119, as May be Amended From Time to Time		
RECREATION FEES		
The Town of Palm Beach is proud to offer the best recreational programs and facilities around! As our recreation programs and fees fluctuate, please check out www.palmbeachrecreation.com , www.golfonthecean.com , or www.townofpalmbeachmarina.com		
RETURNED CHECK FEES		
Check Amount \$0.01 to \$50.00	\$25.00	FIN
Check Amount \$50.01 to \$300.00	\$30.00	FIN
Check Amount \$300.01 to \$800.00	\$40.00	FIN
Check Amount Greater than \$800.00	5% of check	FIN
If payment is not received within 30 days, the Town may file a civil action against the check writer for three times the amount of the check.		
RIGHTS-OF-WAY FEES		
Technology Fee (a 2% technology fee is added to all transactions).	2% of Permit Fee	PZB
ABANDONMENTS & EASEMENTS:		
Abandonment of Streets Rights of Way & Easements Application	\$1,200.00	PW
PUBLIC WORKS AGREEMENTS:		
Preparation and/or Review (Stormwater Management, Stormwater Management Recertifications, Driveway/Walkway)	\$100.00	PW
Preparation and/or Review (Easement Installation & Removal, Wall Maintenance, ROW Installation & Maintenance, etc.)	\$250.00	PW
Recordation (up to 6 pages)	\$100 + \$10/pg. thereafter	PW
CONSTRUCTION PARKING - METERED SPACES (Excludes Worth Avenue):		
Per Vehicle (3 vehicles maximum)	\$48.00	PW
Per Month (3 vehicles maximum)	\$1056.00/vehicle	PW
CONSTRUCTION PARKING - MID-TOWN BEACH & PHIPPS OCEAN PARK:		
Per Vehicle (3 vehicles maximum)	\$48.00/day	PW
Per Month (3 vehicles maximum)	\$1056.00/vehicle	PW

CONSTRUCTION PARKING - NON-METERED SPACES (Excludes Worth Avenue):		
Up to 3 Days, per vehicle (3 vehicles maximum)	\$180.00	PW
4 or More Days, per vehicle	\$36.00/per day	PW
Per Month	\$540.00/per vehicle	PW
CONSTRUCTION PARKING - NON-METERED SPACES, ADDITIONAL PERMITS (Excludes Worth Avenue):		
During 3 Week Close-Out Period, per vehicle	\$90.00/per week	PW
Owner's Permit, per month, (1 vehicle maximum)	\$90.00/per vehicle	PW
CONSTRUCTION PARKING - WORTH AVENUE ONLY:		
Per Space, Per Month or Any Lesser Period (2 spaces max., active loading/unloading and essential construction activities only)	\$360.00	PW
DRIVEWAY APPROACH, USE, & EXCAVATION PERMIT FEES:		
.	\$180.00	PW
Driveway Approach, 20+ lineal ft width, per lineal ft	\$3.60	PW
Delivery of Materials (2 hours or less, will not block a major roadway or a moving lane of traffic.)	\$30.00	PW
ROW Use, up to 3 days	\$180.00	PW
ROW Use, 4 or more days, per day	\$36.00	PW
ROW Use, per month	\$540.00	PW
ROW Excavation*, up to 3 days	\$180.00	PW
ROW Excavation*, 4 or more days, per day until ROW is completely restored to original or better condition	\$36.00	PW
* ROW Restoration Includes Sidewalks, Medians, and Roads.		
Fine for STRIKE 2 (in addition to Fee for Strike)	\$250.00	PW
Fine for STRIKE 3 (in addition to Fee for Strike)	\$500.00	PW
Fine for STRIKE 4 (in addition to Fee for Strike)	\$2,500.00	PW
Fine for STRIKE 5 (in addition to Fee for Strike)	\$5,000.00	PW
VIOLATIONS, FINES, PENALTIES, & LATE FEES (ALL)		
BUSINESS TAX RECEIPT, ANNUAL CAFE SEATING PERMIT and FIRE PREVENTION & LIFE SAFETY LATE FEES:		
1 - 31 Days Late	10% of Annual Fee	PZB
32 - 61 Days Late	15% of Annual Fee	PZB
62 - 92 Days Late	20% of Annual Fee	PZB
93 Days Or More Late	25% of Annual Fee	PZB

Failure to Pay Within 150 Days of Initial Notice of Tax Due (Owner may also be subject to code enforcement board actions relating to violation of this section and may also be subject to civil actions and penalties, including court costs, reasonable attorney's fees, and additional administrative costs incurred as a result of collection efforts.)	\$250.00 in Addition to any other Penalty	PZB
Technology Fee	2% of Permit Fee	PZB
CODE VIOLATION FINES:		
Class I Violations:		
<i>First Offense</i>	\$75.00	CE
<i>Second Offense</i>	\$125.00	CE
<i>Third Offense</i>	\$250.00	CE
<i>Fourth and subsequent offense</i>	\$500.00	CE
Class II Violations:		
<i>First Offense</i>	\$125.00	CE
<i>Second Offense</i>	\$250.00	CE
<i>Third Offense</i>	\$400.00	CE
<i>Fourth and subsequent offense</i>	\$500.00	CE
Class III Violations:		
<i>First Offense</i>	\$250.00	CE
<i>Second Offense subsequent offense</i>	\$500.00	CE
Class IV Violations:		
<i>First and Subsequent Offenses</i>	\$500.00	CE
CONSTRUCTION PERMIT (AFTER THE FACT) CONSTRUCTION:		
Construction Without a Permit	300% of Permit Fee PZB	PZB
CONSTRUCTION WORK IN RIGHTS-OF-WAY EXCEEDING TIME PERMITTED PENALTY FEE:		
Work Performed After the Time Allowed in the Applicable Permit	\$1,000.00/per day PZB	PZB
DEMOLITION PERMIT VIOLATIONS:		
Violations of Conditions Placed Upon Granting of Demolition Permit, per violation	\$250.00/per day PZB	PZB
FIRE & LIFE SAFETY INSPECTION LATE FEE:		
Late Payments Finance Charge	10% of Inspection Fee FR	FR
PARKING FINES - COMMERCIAL ZONING DISTRICTS:		
Overtime Parking as Referenced in Section 118-92 (a)(1)	\$60.00	FIN
Parking on Wrong Side of Street as Referenced in Section 118-92 (a)(2)	\$60.00	FIN

Parking at Yellow Curb as Referenced in Section 118-92 (a)(3)	\$60.00	FIN
Blocking Driveway as Referenced in Section 118-92 (a)(4)	\$60.00	FIN
Parking on Sidewalk as Referenced in Section 118-92 (a)(5)	\$60.00	FIN
Trespassing by Vehicle as Referenced in Section 118-92 (a)(6)	\$60.00	FIN
No Parking (designated hours) as Referenced in Section 118-92 (a)(7)	\$60.00	FIN
Parking Too Close to Fire Hydrant as Referenced in Section 118-92 (a)(8)	\$60.00	FIN
No Parking Anytime as Referenced in Section 118-92 (a)(9)	\$60.00	FIN
Double Parking as Referenced in Section 118-92 (a)(10)	\$60.00	FIN
Obstructing Traffic as Referenced in Section 118-92 (a)(11)	\$60.00	FIN
Parking in Loading Zone as Referenced in Section 118-92 (a)(12)	\$60.00	FIN
Residential Parking as Referenced in Section 118-92 (a)(13)	\$60.00	FIN
Vehicle Parked Across Lines Designating Parking Space as Referenced in Section 118-92 (a)(14)	\$60.00	FIN
Vehicle Parked in Wrong Direction on One-Way Street as Referenced in Section 118-92 (a)(15)	\$60.00	FIN
Parking at Curbs Designated in Red as Referenced in Section 118-92 (a)(16) Expired Meter as Referenced in Section 118-92 (a)(17)	\$60.00	FIN
Official Parking Only as Referenced in Section 118-92 (a)(18)	\$60.00	FIN
Parking in Crosswalk as Referenced in Section 118-92 (a)(19)	\$60.00	FIN
Parking in Passenger Loading Zone as Referenced in Section 118-92 (a)(20)	\$60.00	FIN
Overtime Parking in a Designated Parking Zone (in addition to any other parking regulation violation noted at the time of fine issuance) as Referenced in Section 118-92 (a)(21)	\$60.00	FIN
All Other Parking Violations as Prescribed by Appropriate State Statue or Other Town Ordinance as Referenced in Section 118-92 (b)	\$60.00	FIN
PARKING FINES - RESIDENTIAL ZONING DISTRICTS:		
Overtime Parking as Referenced in Section 118-92 (a)(1)	\$75.00	FIN
Parking on Wrong Side of Street as Referenced in Section 118-92 (a)(2)	\$75.00	FIN
Parking at Yellow Curb as Referenced in Section 118-92 (a)(3)	\$75.00	FIN
Blocking Driveway as Referenced in Section 118-92 (a)(4)	\$75.00	FIN
Parking on Sidewalk as Referenced in Section 118-92 (a)(5)	\$75.00	FIN
Trespassing by Vehicle as Referenced in Section 118-92 (a)(6)	\$75.00	FIN
No Parking (designated hours) as Referenced in Section 118-92 (a)(7)	\$75.00	FIN
Parking Too Close to Fire Hydrant as Referenced in Section 118-92 (a)(8)	\$75.00	FIN
No Parking Anytime as Referenced in Section 118-92 (a)(9)	\$75.00	FIN

Double Parking as Referenced in Section 118-92 (a)(10)	\$75.00	FIN
Obstructing Traffic as Referenced in Section 118-92 (a)(11)	\$75.00	FIN
Parking in Loading Zone as Referenced in Section 118-92 (a)(12)	\$75.00	FIN
Residential Parking as Referenced in Section 118-92 (a)(13)	\$75.00	FIN
Vehicle Parked Across Lines Designating Parking Space as Referenced in Section 118-92 (a)(14)	\$75.00	FIN
Vehicle Parked in Wrong Direction on One-Way Street as Referenced in Section 118-92 (a)(15)	\$75.00	FIN
Parking at Curbs Designated in Red as Referenced in Section 118-92 (a)(16) Expired Meter as Referenced in Section 118-92 (a)(17)	\$75.00	FIN
Official Parking Only as Referenced in Section 118-92 (a)(18)	\$75.00	FIN
Parking in Crosswalk as Referenced in Section 118-92 (a)(19)	\$75.00	FIN
Parking in Passenger Loading Zone as Referenced in Section 118-92 (a)(20)	\$75.00	FIN
Overtime Parking in a Designated Parking Zone (in addition to any other parking regulation violation noted at the time of fine issuance) as Referenced in Section 118-92 (a)(21)	\$75.00	FIN
All Other Parking Violations as Prescribed by Appropriate State Statue or Other Town Ordinance as Referenced in Section 118-92 (b)	\$75.00	FIN
PARKING FINES - RIGHT-OF-WAY CONSTRUCTION PARKING:		
First Offense, per day, per vehicle	\$150.00	CE & PW
Second Offense, per day, per vehicle	\$250.00	CE & PW
Third and All Subsequent Offenses, per day, per vehicle (may also result in a stop work order)	\$500.00	CE & PW
PARKING FINES - FAILURE TO PAY CITATION (Does Not Include ROW Parking Violations):		
Failure to Pay Penalties for Violations of Sections 118-91 and 118-92 Within Seven Days from the Time of Issuance of the Violation Shall Result in an Additional Delinquency Penalty to the Violator as	\$20.00	FIN
Failure to Pay Penalties and Delinquency Assessments for Violations of Sections 118-91 and 118-92 and in Accordance with Section 118-93 within 60 Days of Issuance of the Parking Violation Shall Result in a Service Charge to the Violator per Citation in Addition to the Cost of the Violation and Delinquent Penalty as Referenced in Section 118-94	\$20.00	FIN
Failure to pay penalties and delinquency assessments for violations of Sections 118-91 and 118-92 and in accordance with Section 118-93 within 90 days of issuance of the parking violation shall result in an	\$25.00	FIN

Failure to pay penalties and delinquency assessments for violations of Sections 118-91 and 118-92 and in accordance with Section 118-93 within 120 days of issuance of the parking violation shall result in an additional service charge to the violator per citation in addition to the cost of the violation of the	\$25.00	FIN
Fee for Removal of an Immobilizing Device as Referenced in Section 118-95(2)	\$350.00	FIN
PUBLIC SAFETY SPECIAL ASSIGNMENT (Off-Duty) DETAILS FEES - FAILURE TO PAY BILL WITHIN 30 DAYS:		
In the event said fees are not paid within 30 days of billing, an automatic ten percent penalty per month shall be assessed for nonpayment of said delinquent fees (Applies to both regular and premium day assignments)	10% per month delinquent	PD or FR, based on detail
SEWAGE DISPOSAL VIOLATION FINES:		
Failure to Comply with the 24 Hour Notification Requirement for the Industrial User Out of Compliance as Referenced in Section 122-118 (2)	\$100.00	PW
Failure to comply with resampling rules as referenced in Section 122-118 (3)	\$150.00	PW
Failure to Comply with Waste Water Facility (WWF) Monitoring and 45 Day Compliance Schedule as Referenced in Section 122-118 (4)	\$250.00	PW
Fine for significant noncompliance for industrial user in violation as referenced in Section 122-118 (5)	\$400.00	PW
Failure to Respond within 15 Days to Formal Notice of Significant Non-Compliance for Industrial User as Referenced in Section 122-118 (6)	\$500.00	PW
Failure to Respond within 15 Days for Failure to Demonstrate Compliance with Notice of Significant Violation (NOSV) During the 90 Day Schedule for Industrial User as Referenced in Section 122-118 (7)	\$500.00	PW
Construction of Pretreatment Facilities Does Not Achieve Compliance as Referenced in Section 122-118 (8)	\$500.00	PW
Industrial User Failure to Show Cause to Comply as Referenced in Section 122-118 (8)	Up to \$500.00/day	PW
WATER CONSERVATION/RESTRICTIONS VIOLATION FINES:		
First Offense, within any 180-day period	\$75.00	CE
Second Offense, within any 180-day period	\$125.00	CE
Third Offense, within any 180-day period	\$250.00	CE
Fourth and Subsequent Offenses, within any 180-day period	\$500.00	CE
WATER CONSERVATION/RESTRICTIONS VIOLATION FINES: CURTAILMENT AUTHORIZED (Emergency Order):		

First Offense	\$125.00	CE
Second Offense	\$250.00	CE
Third Offense	\$400.00	CE
Fourth and subsequent offense	\$500.00	CE
VEHICLE PERMIT PENALTIES:		
Late Annual Renewal	\$100.00	FIN

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Consent - Other

Agenda Title

Town-wide Undergrounding Project - Review of Project and Dashboard, Summary of Project Status

Presenter

H. Paul Brazil, P.E., Director of Public Works

ATTACHMENTS:

- ▣ **Memorandum dated April 23 2025, from Patricia Strayer, P.E. Town Engineer**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor & Town Council

VIA: Kirk W. Blouin, Town Manager

VIA: Paul Brazil, P.E., Director of Public Works

FROM: Patricia Strayer, P.E., Town Engineer

RE: Utility Undergrounding Project Status Report

DATE: April 23, 2025

I. COMMUNICATIONS:

A. Community Meetings:

None to report

B. Significant Residential Communications

Staff meetings are focused on Phase 8 easement acquisition.

II. PROGRESS SUMMARY:

Overall, Town-wide progress, all phases are either complete or in progress/funded for construction. In Phase 3 south pole removal is in full swing. In Phase 4 south the switching order issues continue to be a challenge and FPL continues working to resolve the issues. There is remaining manhole work that will take four (4) to six (6) weeks to complete before all conversions can be completed. The team is trying to complete all work in this phase so that pole removal will continue seamlessly into this area from Phase 3 south. Phase 5 south is waiting for more of the load to be transferred from the overhead system to the underground system in Phase 4 south so the existing feeder line in Phase 5 south can be de-energized. In Phase 5 north, FPL's contractor continues with removal of poles. In Phase 6 north, the entire phase has been converted to the underground power system. The Town is waiting on ATT and Comcast to complete their work and then poles can be removed. In Phase 6 south the last of the feeder was pulled and switching orders from FPL are being requested. Phase 7 north continues to progress. Connections continue in the switch cabinets and miscellaneous equipment. FPL was notified last month about the need for switching orders and they are working through the processes. Phase 7 south is moving along very well with the conduit installation. Phase 8 construction has not begun. The contractor is waiting on materials.

A. Construction Progress:

Phase 1 North:

From the Inlet south to Onondaga Ave.

- Completed March 30, 2019
-

Phase 1 South:

From southern Town limits north to Sloan's Curve.

- Completed April 3, 2020

Phase 2 North Construction:

From Esplanade Way to Ocean Terrace.

- Completed October 29, 2020

Phase 2 South Construction:

From Sloan's Curve to the intersection of South Ocean Blvd and South County Road.

- Completed September 2023

Phase 3 North Construction:

From Osceola Way to the north-side of La Puerta Way.

- Completed September 17, 2021

Phase 3 South:

From South Ocean Boulevard and South County Road to the alleyway south of Worth Avenue.

- Phase 3 South construction is 95% complete.
- Conversions are complete.
- Pole removal is being scheduled.

Phase 4 North:

From south-side of La Puerta Way to north-side of List Road.

- Poles are in the process of being removed.

Phase 4 South:

From Peruvian Avenue to Royal Palm Way.

- Construction is 85% complete.
- Switching is focused on manhole work and 50% conversions are complete.
- ATT and Comcast are delayed in completing the installations and conversions.

Phase 5 North:

From Country Club Road to Southland Road.

- Construction phase is 99% complete.
 - Comcast is complete.
 - ATT is complete.
 - Removal of FPL materials and poles has begun.
-

Phase 5 South:

From South Lake Drive/Hibiscus Avenue & Peruvian Avenue/Royal Palm Way, properties between the intracoastal waterway and the Atlantic Ocean and from Royal Palm Way to Seaspray Avenue.

- Construction phase is 96% complete.
- Switching and Conversions are complete.
- ATT is complete and Comcast is projecting to be complete in April.
- Pole removal is being schedule to coincide with Phase 3 South and 5 North.

Phase 6 North:

From Chateaux Drive and Kawama Lane to the south-side of Plantation Road

- Construction phase is 88% complete.
- All conversions are completed.
- Poles should be removed summer of 2025 as long as ATT and Comcast complete their work..

Phase 6 South:

Seaspray Avenue to the south of Royal Poinciana Way

- Construction is 68% complete.
- Poles should come down in 2026.

Phase 7 North:

Palm Beach Country Club north to the south side of List Road

- Construction is 64% completed.
- Targeting pole removal by March 2026. This depends on FPL, ATT, and Comcast completing switching and conversions.

Phase 7 South:

Atlantic Avenue north to Via Los Incas and Sanford Avenue

- Construction is 13% completed.

Phase 8:

Royal Poinciana Way north to Everglade Avenue

- Construction has been awarded and waiting on materials.
-

III. FINANCIAL SUMMARY:

A. FEMA Grant Update:

FEMA has granted the request for an extension of the completion deadline.

B. Project Budget Summary:

There are no significant changes since the last report. Updates include processing of vendor pay applications for design and work performed in active phases.

cc: Bob Miracle, Deputy Town Manager
Kevin Schanen, Kimley-Horn & Associates

Underground Utility Project Budget
Project Financial Summary
March 31, 2025

Expenditures	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 1	\$ 12,620,000	\$ 12,910,000	\$ 12,773,514	\$ 12,718,730	99.6%
Phase 2	\$ 9,170,000	\$ 13,470,000	\$ 13,669,545	\$ 13,639,472	99.8%
Phase 3	\$ 10,910,000	\$ 15,400,000	\$ 18,447,002	\$ 15,445,351	83.7%
Phase 4	\$ 10,370,000	\$ 15,220,000	\$ 19,081,845	\$ 17,693,638	92.7%
Phase 5 (Includes \$8.5 Million FEMA Grant Offset)	\$ 14,090,000	\$ 11,694,645	\$ 18,517,330	\$ 15,548,216	84.0%
Phase 6	\$ 16,820,000	\$ 20,800,000	\$ 19,966,261	\$ 13,142,098	65.8%
Phase 7	\$ 11,730,000	\$ 15,910,000	\$ 24,777,484	\$ 9,763,006	39.4%
Phase 8	\$ 12,300,000	\$ 14,500,000	\$ 18,239,476	\$ 1,656,537	9.1%
Total Project Costs To Date	\$ 98,010,000	\$ 119,904,645	\$ 145,472,456	\$ 99,607,048	68.5%
Other Costs Associated Directly with the Project (Page 8)	\$ 570,000	\$ 2,987,964	\$ 2,987,964	\$ 2,847,451	95.3%
Grand Total of Costs Related to Project	\$ 98,580,000	\$ 122,892,609	\$ 148,460,420	\$ 102,454,499	69.0%
Debt Service and Related Debt Issuance Costs (Page 8)			\$ 21,947,999	\$ 21,947,709	100.0%
Total Other Costs Outside Underground Budget (Page 8)			\$ 690,317	\$ 1,686,453	244.3%
Grand Total of All Costs Related to the Project	\$ 98,580,000	\$ 122,892,609	\$ 149,150,737	\$ 126,088,661	84.5%

Total Project Budget - Opinion of cost for construction	\$ 122,892,609
% Budgeted/Encumbered To Date Project Costs	120.81%
% Spent to Date - Project Costs	83.37%

Project Revenues Received

Revenues	Budget	Actual	% of Budget
Revenues			
Prepaid Assessments	\$ 18,329,914	\$ 18,329,914	0.0%
Assessment Revenue	\$ 25,280,000	\$ 32,659,430	129.2%
Commercial Paper	\$ -	\$ -	0.0%
Town Owned Property Prepaid Assessments	\$ 2,797,291	\$ 2,797,291	100.0%
Interest	\$ 1,667,009	\$ 6,413,623	384.7%
GO Bond Proceeds 2018	\$ 60,500,000	\$ 60,499,897	100.0%
GO Bond Proceeds 2021	\$ 9,198,896	\$ 9,198,896	100.0%
1 Cent Sales Tax (CIP Pay go)	\$ 5,000,000	\$ 4,500,000	90.0%
FPL	\$ 450,246	\$ 450,246	100.0%
FEMA Grant	\$ 8,500,000	\$ 3,919,184	46.1%
Other			
Kevin McGann - CO #9	\$ -	\$ 34,900	0.0%
Donations - Civic Association	\$ 49,250	\$ 49,250	100.0%
Transfer from (307) Fund CIP	\$ 760,200	\$ 760,200	100.0%
Transfer from (401) Fund Marina	\$ 5,200,000	\$ 15,300,000	294.2%
Transfer from (001) General Fund - PM Salary	\$ 942,116	\$ 1,209,157	128.3%
Total Project Revenues	\$ 138,674,922	\$ 156,121,989	112.6%

Underground Utility Project Budget
Phase 1 Project Costs
March 31, 2025

	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Project Engineering					
Task 2.1 - Detailed Design North End	590,000		472,063	472,063	100.0%
Task 2.2 - Detailed Design South End	740,000		619,411	619,411	100.0%
Task 2.3 - Permitting Assistance			17,790	17,790	100.0%
Task 2.4 - Bid Phase Assistance			42,166	42,166	100.0%
Task 2.5 - Meetings - Design Phase			125,399	125,383	100.0%
Subtotal Design Phase	\$ 1,330,000	\$ 1,280,000	\$ 1,276,829	\$ 1,276,813	100.0%
Construction Costs					
Phase 1 North Construction					
Preconstruction			\$ 19,720	19,720	100.0%
Burkhardt Construction			\$ 3,598,144	3,606,916	100.2%
Street Light Conversion			\$ 135,322	135,322	100.0%
Change Order for AT&T and Comcast Conduit			\$ 500,655	491,883	98.2%
Utility Design Costs			\$ 15,595	79,767	511.5%
Utility Construction Costs (FPL, Comcast, AT&T)			\$ 476,776	325,523	68.3%
Construction Engineering (KH)			\$ 207,771	205,818	99.1%
	\$ 4,210,000	\$ 4,930,000	\$ 4,953,984	\$ 4,864,949	98.2%
Phase 1 South Construction					
Preconstruction			\$ 22,200	22,200	100.0%
Whiting Turner Construction			\$ 4,450,977	4,518,572	101.5%
Utility Design Costs			\$ 33,013	119,725	362.7%
Utility Construction Costs (FPL, Comcast, AT&T)			\$ 1,374,193	1,250,395	91.0%
Construction Engineering (KH)			\$ 317,963	317,483	99.8%
	\$ 6,800,000	\$ 6,350,000	\$ 6,198,347	\$ 6,228,375	100.5%
Easement Recording Fees			\$ 740	740	100.0%
Legal Costs/Easement Acquisition - Jones Foster	\$ 280,000	\$ 350,000	\$ 301,359	\$ 306,723	101.8%
Legal Sketch and Description - Easements			34,000	33,215	97.7%
Easement Abandonment			\$ 8,256	5,120	62.0%
Legal Advertising				2,795	
Total Phase 1 Costs	\$ 12,620,000	\$ 12,910,000	\$ 12,773,514	\$ 12,718,730	99.6%

Underground Utility Project Budget
Phase 2 Project Costs
March 31, 2025

	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 2 Design					
Kimley Horn					
Task 1.1 Phase 2 North Design	335,000		\$ 281,304	\$ 281,304	100.0%
Task 1.2 Phase 2 South Design	400,000		\$ 335,353	\$ 335,353	100.0%
Task 1.3 Permitting Assistance North and South			\$ 12,674	\$ 12,674	100.0%
Task 1.4 Bid Phase Assistance North and South			\$ 40,565	\$ 40,565	100.0%
Task 1.6 Meetings North and South			\$ 136,617	\$ 131,510	96.3%
Total Phase 2 Design	\$ 735,000	\$ 807,000	\$ 806,513	\$ 801,406	99.4%
Construction Costs					
Phase 2 North Construction					
Preconstruction			\$ 35,000	31,970	91.3%
Burkhardt Construction			\$ 3,932,792	3,932,792	100.0%
Owner Purchased Supplies			\$ 253,631	253,631	100.0%
FPL Design Cost			\$ 34,936	34,936	100.0%
ATT Design Cost			\$ 10,000	\$ 10,000	100.0%
Comcast Design Cost			\$ 5,000	\$ 4,582	91.6%
Utility Costs (FPL, Comcast, AT&T)			\$ 496,307	\$ 423,898	85.4%
FPL - Additional Vista Switches			\$ 55,000	\$ 54,938	99.9%
Construction Engineering (KH)			\$ 248,121	\$ 246,227	99.2%
Total Phase 2 North Construction	3,800,000	5,020,000	\$ 5,070,787	\$ 4,992,974	98.5%
Phase 2 South Construction	-				
Preconstruction			\$ 35,000	87,667	250.5%
Burkhardt Construction			\$ 6,419,862	6,383,736	99.4%
Owner Supplied Materials			\$ 175,898	175,898	100.0%
FPL Design Cost			\$ 34,936	34,936	100.0%
ATT Design Cost			\$ 5,000	\$ 5,000	100.0%
Comcast Design Cost			\$ 5,000	\$ 4,582	91.6%
Utility Costs (FPL, Comcast, AT&T)			\$ 601,448	\$ 601,448	100.0%
Reimburse John Moran				\$ 39,240	
Construction Engineering (KH)	-		\$ 325,280	\$ 324,908	99.9%
Total Phase 2 South Construction	4,435,000	7,424,000	\$ 7,602,424	\$ 7,657,414	100.7%
Easement Acquisition/Abandonment	200,000	219,000			
<i>Kimley Horn Easement Assistance</i>					
Task 1.5 Easement Assistance North			\$ 64,936	\$ 64,935	100.0%
Task 1.5 Easement Assistance South			\$ 77,466	\$ 77,467	100.0%
<i>Surveys</i>					
Task 1.7 Legal Sketch North			\$ 14,020	\$ 14,020	100.0%
Task 1.7 Legal Sketch South			\$ 21,725	\$ 20,689	95.2%
Advertising			\$ 1,200	\$ 1,101	91.7%
Recording Costs			\$ 3,605	\$ 3,473	96.3%
Easement Abandonment			\$ 6,870	\$ 5,994	87.2%
Total Easement Acquisition Costs	200,000	219,000	\$ 189,822	\$ 187,678	98.9%
Total Phase 2 Costs	\$ 9,170,000	\$ 13,470,000	\$ 13,669,545	\$ 13,639,472	99.8%

Underground Utility Project Budget
Phase 3 Project Costs
March 31, 2025

	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 3 Design					
Kimley Horn					
Task 1.1 Phase 3 North Design	\$ 325,000		\$ 280,189	\$ 280,189	100.0%
Task 1.2 Phase 3 South Design	\$ 535,000		\$ 486,333	\$ 486,323	100.0%
Task 1.3 Permitting Assistance			\$ 13,739	\$ 13,739	100.0%
Task 1.4 Bid Phase Assistance			\$ 36,834	\$ 36,834	100.0%
Task 1.5 Meetings			\$ 77,411	\$ 76,626	99.0%
Total Phase 3 Design	\$ 860,000	\$ 895,000	\$ 894,505	\$ 893,710	99.9%
Construction Costs					
Phase 3 North Construction	\$ 3,700,000	\$ 5,300,000			
Preconstruction			\$ 24,580	\$ 24,580	100.0%
Construction - Burkhardt			\$ 4,100,697	\$ 4,100,697	100.0%
Owner supplied materials			\$ 2,797	\$ 3,456	123.6%
FPL Design Cost			\$ 12,850	\$ 2,700	21.0%
ATT Design Cost			\$ 5,000	\$ 5,000	100.0%
Comcast Design Cost			\$ 3,128	\$ 3,128	100.0%
FPL Construction			\$ 87,101	\$ 87,101	100.0%
Street Light Conversion			\$ 4,249	\$ 7,012	165.0%
Utility Costs (Comcast & ATT)			\$ 409,387	\$ 428,207	104.6%
Construction Engineering (KH)			\$ 236,976	\$ 224,829	94.9%
Daniella Construction - Nightingale/LaPuerta - Townwide portion			\$ 457,851	\$ 457,851	100.0%
FPL Nightingale/LaPuerta - Townwide Portion			\$ 85,796	\$ 85,796	100.0%
Comcast Nightingale/LaPuerta - Townwide Portion			\$ 8,885	\$ 8,885	100.0%
AT&T Nightingale/LaPuerta Townwide Portion			\$ 30,555	\$ 30,555	100.0%
Billing for Arnold Fisher relocate transformer Deanna Davis and Cohlan			\$ (17,647)	(17,647)	100.0%
Total Phase 3 North Construction	\$ 3,700,000	\$ 5,300,000	\$ 5,452,205	\$ 5,452,150	100.0%
Phase 3 South Construction	\$ 6,090,000	\$ 8,875,000			
Preconstruction			\$ 33,400	\$ 33,400	100.0%
Construction		\$ 8,029,385	\$ 9,937,101	\$ 6,718,689	67.6%
Owner supplied Pipe			\$ 153,809	\$ 138,366	90.0%
FPL Construction			\$ 562,000	\$ 562,905	100.2%
FPL Design Cost			\$ 11,359	\$ 17,159	151.1%
FPL - 101 El Brillo			\$ 10,875	\$ 10,875	100.0%
ATT Design and Construction Cost			\$ 537,254	\$ 631,371	117.5%
Comcast Design and Construction Cost			\$ 195,128	\$ 335,723	172.1%
Construction Engineering (KH)			\$ 322,540	\$ 318,213	98.7%
Total Phase 3 South Construction	\$ 6,090,000	\$ 8,875,000	\$ 11,763,466	\$ 8,766,700	74.5%
Easement Acquisition/Abandonment	\$ 260,000	\$ 330,000			
<i>Kimley Horn Easement Assistance</i>					
Task 1 Easement Assistance North and South			\$ 273,390	\$ 271,913	99.5%
Easement Amendment			\$ 49,285	\$ 49,198	99.8%
<i>Surveys</i>					
Recording Costs			\$ 6,000	\$ 5,137	85.6%
Easement Abandonment			\$ 8,150	\$ 6,542	80.3%
Total Easement Acquisition Costs	\$ 260,000	\$ 330,000	\$ 336,825	\$ 332,791	98.8%
Total Phase 3 Costs	\$ 10,910,000	\$ 15,400,000	\$ 18,447,002	\$ 15,445,351	83.7%

Underground Utility Project Budget
Phase 4 Project Costs
March 31, 2025

	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 4 Design					
Kimley Horn					
Task 1.1 Phase 4 North Design	\$ 402,000		\$ 312,317	312,317	100.0%
Task 1.2 Phase 4 South Design	\$ 413,000		\$ 451,284	451,284	100.0%
Task 1.3 Permitting Assistance			\$ 14,468	14,468	100.0%
Task 1.4 Bid Phase Assistance			\$ 37,899	37,899	100.0%
Task 1.6 Meetings			\$ 77,911	77,383	99.3%
Total Phase 4 Design	\$ 815,000	\$ 894,000	\$ 893,879	893,351	99.9%
Construction Costs					
Phase 4 North Construction	4,605,000	6,275,000			
Preconstruction			\$ 22,270	22,270	100.0%
Construction Costs			\$ 5,016,315	4,923,217	98.1%
Owner Supplied Pipe and Vaults			\$ 156,238	156,238	100.0%
FPL BCE			\$ 91,543	91,543	100.0%
FPL Design Cost			\$ 12,757	12,850	100.7%
ATT Design Cost			\$ 5,000	91,208	1824.2%
Comcast Design and Construction Cost			\$ 173,151	3,128	1.8%
Utility Costs (FPL, Comcast, AT&T)			\$ 353,715	353,715	100.0%
Street Light Conversion FPL			\$ 4,222	4,222	100.0%
Construction Engineering (KH)			\$ 324,309	324,023	99.9%
Total Phase 4 North Construction	\$ 4,605,000	\$ 6,275,000	\$ 6,159,520	5,982,413	97.1%
Phase 4 South Construction	4,710,000	7,640,000			
Preconstruction			\$ 34,800	34,800	100.0%
Construction			\$ 8,909,957	7,634,118	85.7%
Construction with Lake Drive Park			\$ 320,311	363,499	113.5%
Owner Supplied Pipes			\$ 2,170	2,170	100.0%
Reimbursement from Preservation Foundation			\$ (102,500)	(102,500)	100.0%
Street Light Conversion (FPL)			\$ 7,098	7,098	100.0%
FPL Design Cost			\$ 13,160	1,350	10.3%
ATT Design Cost			\$ 5,000	5,000	100.0%
Comcast Design Cost			\$ 3,128	3,128	100.0%
Kimley Horn - Design services Hibiscus Ave			\$ 12,047	11,940	99.1%
Utility Costs (FPL, Comcast, AT&T)			\$ 2,013,298	2,075,861	103.1%
Construction Engineering (KH)			\$ 333,659	309,521	92.8%
Total Phase 4 South Construction	\$ 4,710,000	\$ 7,640,000	\$ 11,552,128	10,345,985	89.6%
Easement Acquisition/Abandonment	\$ 240,000	\$ 411,000			
<i>Kimley Horn Easement Assistance</i>					
Easement Assistance (KH)			\$ 280,270	280,254	100.0%
Easement Assistance (KH) -- Switches			\$ 67,747	67,481	99.6%
Easement Assistance (KH)			\$ 59,369	60,956	102.7%
<i>Surveys</i>					
Legal Sketch			\$ 38,230	38,092	99.6%
Legal Sketch - Switches			\$ 4,967		
Jones Foster - Legal					
Recording Costs			\$ 7,000	6,371	91.0%
Easement Abandonment			\$ 18,735	18,735	100.0%
Total Easement Acquisition Costs	\$ 240,000	\$ 411,000	\$ 476,318	471,889	99.1%
Total Phase 4 Costs	\$ 10,370,000	\$ 15,220,000	\$ 19,081,845	17,693,638	92.7%

Underground Utility Project Budget
Phase 5 Project Costs
March 31, 2025

	Original OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 5					
Kimley Horn					
Task 1.1 Phase 5 North Design	\$ 520,000		\$ 454,210	\$ 454,210	100.0%
Task 1.2 Phase 5 South Design	\$ 600,000		\$ 606,951	\$ 606,951	100.0%
Task 1.3 Permitting Assistance North/South			\$ 17,100	\$ 17,100	100.0%
Task 1.4 Bid Phase Assistance North/South			\$ 37,899	\$ 37,899	100.0%
Task 1.6 Meetings North/South			\$ 77,911	\$ 77,905	100.0%
Total Phase 5 Design	\$ 1,120,000	\$ 1,195,000	\$ 1,194,071	\$ 1,194,065	100.0%
Construction Costs					
Phase 5 North Construction	\$ 5,890,000	\$ 8,055,000			
Preconstruction			\$ 59,100	59,100	100.0%
Construction			\$ 6,456,367	6,075,336	94.1%
Construction Manager - Burkhardt			\$ 940,702	990,815	105.3%
Utility Costs (FPL, Comcast, AT&T)			\$ 333,639	333,639	100.0%
AT&T Design			\$ 5,000	5,000	100.0%
FPL Design Costs			\$ 16,223	30,330	187.0%
Reimburse Caren and Gary Marder work performed			\$ 6,100	6,100	100.0%
Construction Engineering (KH)			\$ 334,147	325,095	97.3%
Total Phase 5 North Construction	\$ 5,890,000	\$ 8,055,000	\$ 8,151,279	\$ 7,825,416	96.0%
Phase 5 South Construction	\$ 6,750,000	\$ 10,545,000			
Preconstruction			\$ 59,100	59,100	100.0%
Construction			\$ 6,629,361	4,286,593	64.7%
Infrastructure from Phase 4 south bid - Not part of Grant			\$ 163,350	57,460	35.2%
Construction Manager - Burkhardt			\$ 979,098	783,278	80.0%
Four Arts Reimbursement			\$ (8,493)	(8,493)	
Utility Costs (FPL, Comcast, AT&T)			\$ 641,597	676,082	105.4%
AT&T Design			\$ 5,000	5,000	100.0%
FPL Design Costs			\$ 21,043	21,043	100.0%
Construction Engineering (KH)			\$ 334,159	309,224	92.5%
Total Phase 5 South Construction	\$ 6,750,000	\$ 10,545,000	\$ 8,824,214	\$ 6,189,287	70.1%
Easement Acquisition/Abandonment	\$ 330,000	\$ 365,000			
<i>Kimley Horn Easement Assistance</i>					
Easement Assistance			\$ 218,600	\$ 218,602	100.0%
Easement Assistance			\$ 81,086	\$ 78,699	97.1%
<i>Surveys</i>					
Legal Sketch			\$ 41,080	\$ 35,672	86.8%
Legal Ads			\$ 1,000	\$ 585	58.5%
Recording Costs			\$ 6,000	\$ 5,891	98.2%
Easement Abandonment				\$ -	
Total Easement Acquisition Costs	\$ 330,000	\$ 365,000	\$ 347,766	\$ 339,448	97.6%
FEMA Grant		\$ (8,465,355)			
Total Phase 5 Costs	\$ 14,090,000	\$ 11,694,645	\$ 18,517,330	\$ 15,548,216	84.0%

Underground Utility Project Budget
Phase 6 Project Costs
March 31, 2025

	OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 6 Design					
Kimley Horn					
Task 1.1 Phase 6 North Design	\$ 420,000		\$ 475,019	\$ 475,019	100.0%
Task 1.2 Phase 6 South Design	\$ 940,000		\$ 826,551	\$ 826,551	100.0%
Task 1.3 Permitting Assistance North/South			\$ 17,694	\$ 17,694	100.0%
Task 1.4 Bid Phase Assistance North/South			\$ 35,938	\$ 35,938	100.0%
Task 1.6 Meetings North			\$ 84,791	\$ 84,765	100.0%
Total Phase 6 Design	\$ 1,360,000	\$ 1,440,000	\$ 1,439,993	\$ 1,439,967	100.0%
Utility and Construction Costs					
Phase 6 North Construction	\$ 4,790,000	\$ 6,615,000			
Preconstruction			\$ 24,270	24,270	100.0%
Construction			\$ 7,867,296	3,898,444	49.6%
Approved Change Orders					
FPL Design Cost			\$ 15,868	29,198	184.0%
ATT Design Cost					
Comcast Design Cost					
Utility Costs (FPL, Comcast, AT&T)			\$ 295,632	554,193	187.5%
Construction Engineering (KH)			\$ 344,177	328,600	95.5%
Total Phase 6 North Construction	\$ 4,790,000	\$ 6,615,000	\$ 8,547,243	\$ 4,834,705	56.6%
Phase 6 South Construction	\$ 10,270,000	\$ 12,298,000			
Preconstruction			\$ 24,270	24,270	100.0%
Construction			\$ 8,400,000	5,143,374	61.2%
Approved Change Orders					
FPL Design Cost			\$ 29,924	29,924	100.0%
ATT Design Cost			\$ 10,000	10,000	100.0%
Comcast Design Cost					
Utility Costs (FPL, Comcast, AT&T)			\$ 754,815	952,480	126.2%
Construction Engineering (KH)			\$ 344,007	293,287	85.3%
Total Phase 6 South Construction	\$ 10,270,000	\$ 12,298,000	\$ 9,563,016	\$ 6,453,335	67.5%
Easement Acquisition/Abandonment	\$ 400,000	\$ 447,000			
<i>Kimley Horn Easement Assistance</i>					
Easement Assistance			\$ 351,594	\$ 371,979	105.8%
<i>Surveys</i>					
Legal Sketch			\$ 58,415	\$ 38,011	65.1%
Legal Ads			\$ 1,000	\$ 113	11.3%
Recording Costs			\$ 5,000	\$ 3,989	79.8%
Easement Abandonment				\$ -	
Total Easement Acquisition Costs	\$ 400,000	\$ 447,000	\$ 416,009	\$ 414,091	99.5%
Total Phase 6 Costs	\$ 16,820,000	\$ 20,800,000	\$ 19,966,261	\$ 13,142,098	65.8%

Underground Utility Project Budget
Phase 7 Project Costs
March 31, 2025

	OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 7 Design					
Kimley Horn					
Task 1.1 Phase 7 North Design	\$ 450,000		\$ 492,488	\$ 492,488	100.0%
Task 1.2 Phase 7 South Design	\$ 480,000		\$ 630,830	\$ 630,830	100.0%
Task 1.3 Bid Phase Assistance North and South			\$ 35,938	\$ 35,938	100.0%
Task 1.4 Meetings North and South			\$ 77,616	\$ 77,535	99.9%
Total Phase 7 Design	\$ 930,000	\$ 1,237,000	\$ 1,236,872	\$ 1,236,791	100.0%
Utility and Construction Costs					
Phase 7 North Construction	\$ 5,140,000	\$ 7,005,000			
Preconstruction			\$ 47,500	11,515	24.2%
Construction			\$ 10,472,977	7,432,949	71.0%
Chicane Demonstrations			\$ 47,500	19,558	41.2%
FPL Design Cost			\$ 15,806	41,728	264.0%
ATT Design Cost					
Comcast Design Cost					
Utility Costs (FPL, Comcast, AT&T)			\$ 245,460	245,460	100.0%
Construction Engineering (KH)			\$ 354,458	239,197	67.5%
Total Phase 7 North Construction	\$ 5,140,000	\$ 7,005,000	\$ 11,183,701	\$ 7,990,407	71.4%
Phase 7 South Construction	\$ 5,380,000	\$ 7,320,000			
Preconstruction			\$ 47,500	35,785	75.3%
Construction			\$ 11,442,770		
Chicane Demonstrations			\$ 47,500	19,558	41.2%
FPL Design Cost			\$ 19,953	19,953	100.0%
ATT Design Cost					
Comcast Design Cost					
Utility Costs (FPL, Comcast, AT&T)				-	
Construction Engineering (KH)			\$ 376,765	39,371	
Total Phase 7 South Construction	\$ 5,380,000	\$ 7,320,000	\$ 11,934,488	\$ 114,667	1.0%
Easement Acquisition/Abandonment	\$ 280,000	\$ 348,000			
<i>Kimley Horn Easement Assistance</i>					
Easement Assistance			\$ 346,459	\$ 346,356	100.0%
Easement Assistance			\$ 69,964	\$ 69,919	99.9%
<i>Surveys</i>					
Legal Sketch					
Legal Ads			\$ 1,000	\$ 113	11.3%
American Acquisition Group					
Temp Services					
Legal Advertising					
Recording Costs			\$ 5,000	\$ 4,754	95.1%
Total Easement Acquisition Costs	\$ 280,000	\$ 348,000	\$ 422,423	\$ 421,142	99.7%
Total Phase 7 Costs	\$ 11,730,000	\$ 15,910,000	\$ 24,777,484	\$ 9,763,006	39.4%

Underground Utility Project Budget
Phase 8 Project Costs
March 31, 2025

	OPC	Dec 2019 OPC	Budget	Actual	% Expended
Phase 8 Design					
Kimley Horn					
Task 1.1 Phase 8 Design	\$ 1,010,000	\$ 1,151,000	\$ 1,029,017	\$ 1,029,017	100.0%
Task 1.2 Permitting Assistance			\$ 17,694	\$ 15,925	90.0%
Task 1.3 Bid Phase Assistance			\$ 14,430	\$ 14,430	100.0%
Task 1.4 Meetings			\$ 89,778	\$ 89,752	100.0%
Task 1.5 Easement Assistance			\$ 129,997	\$ 129,993	100.0%
Total Phase 8 Design	\$ 1,010,000	\$ 1,151,000	\$ 1,280,916	\$ 1,279,116	99.9%
Utility and Construction Costs					
Phase 8 Construction	\$ 10,990,000	\$ 13,107,000			
Preconstruction				26,610	
Construction			\$ 16,113,771	-	
Approved Change Orders					
FPL Design Cost			\$ 13,160	13,160	100.0%
ATT Design Cost					
Comcast Design Cost					
Utility Costs (FPL, Comcast, AT&T)					
Construction Engineering (KH)			\$ 470,759		
Total Phase 8 North Construction	\$ 10,990,000	\$ 13,107,000	\$ 16,597,690	\$ 39,770	0.2%
Easement Acquisition/Abandonment	\$ 300,000	\$ 242,000			
<i>Kimley Horn Easement Assistance</i>					
Easement Assistance			\$ 227,724	\$ 226,073	99.3%
Additional Easement Assistance PO240618			\$ 78,372	\$ 67,600	86.3%
Surveys					
Legal Sketch					
Legal Ads				\$ 56	
American Acquisition Group					
Kimley Horn Grant Assistance BRIC Grant			\$ 49,774	\$ 41,587	83.6%
Temp Services					
Recording Costs			\$ 5,000	\$ 2,336	46.7%
Total Easement Acquisition Costs	\$ 300,000	\$ 242,000	\$ 360,870	\$ 337,651	93.6%
Total Phase 8 Costs	\$ 12,300,000	\$ 14,500,000	\$ 18,239,476	\$ 1,656,537	9.1%

Underground Utility Project Budget
Other Project Costs
March 31, 2025

Master Plan	Budget	Actual	% Expended
Task 1.1 - Data Collection & GIS Base Mapping	\$ 88,021	\$ 88,021	100.0%
Task 1.1a Data Collection for Future Communications	\$ 23,511	\$ 23,511	100.0%
Task 1.2 - Conceptual Design and Master Plan	\$ 161,756	\$ 161,756	100.0%
Task 1.3 - Project Sequencing and Phasing	\$ 31,244	\$ 31,244	100.0%
Task 1.4 - Assessment of Traffic Impacts	\$ 77,660	\$ 77,660	100.0%
Task 1.5 - Project Delivery Methods	\$ 17,448	\$ 17,448	100.0%
Task 1.6 - Master Plan Document	\$ 45,053	\$ 45,053	100.0%
Task 1.7 - Meetings Master Planning Phase	\$ 113,135	\$ 113,123	100.0%
Task 1.8 - Master Plan Second Half	\$ 40,067	\$ 40,067	100.0%
Subtotal Master Planning	\$ 597,895	\$ 597,883	100.0%
Comcast Preplanning - Master Plan	\$ 12,015	\$ 12,015	100.0%
Assessment Costs, Legal, Fees and Discounts	\$ 950,000	\$ 952,774	100.3%
Project Manager - Pay and benefits	\$ 840,000	\$ 786,590	93.6%
Temp Services - Easement Acquisition	\$ 150,000	\$ 106,050	70.7%
Other Miscellaneous Expenses		\$ 31,988	
General Easement Assistance	\$ 55,535	\$ 32,477	58.5%
Community Outreach	\$ 282,519	\$ 227,674	80.6%
Peer Review Study - Patterson & Dewar (\$50,000 Offsetting Revenue)	\$ 100,000	\$ 100,000	100.0%
Total Other Project Costs	\$ 2,987,964	\$ 2,847,451	95.3%

Debt Service and Related Debt Issuance Costs

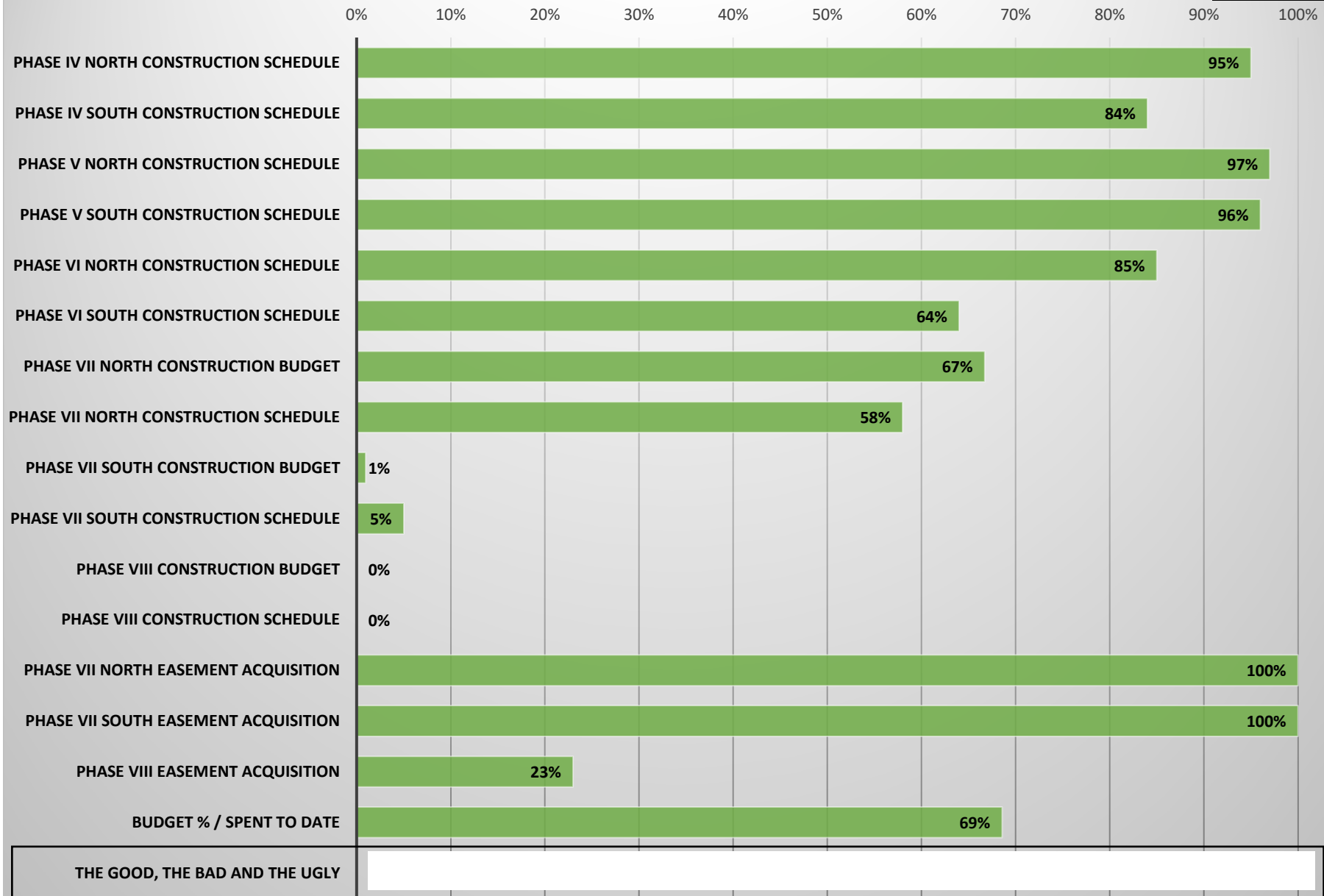
	Budget	Actual	% Expended
Commercial Paper Issuance Cost	\$ 260,116	\$ 260,116	100.0%
Commercial Paper Interest	\$ 243,096	\$ 243,096	100.0%
Arbitrage Rebate Calculation	\$ 2,500	\$ 4,300	172.0%
Debt Service Fees	\$ 2,000	\$ 500	25.0%
GO Bond Closing Costs 2018	\$ 488,271	\$ 487,471	99.8%
GO Bond Closing Costs 2021	\$ 202,169	\$ 202,380	100.1%
GO Bond Debt Service	\$ 20,749,847	\$ 20,749,847	100.0%
Total Debt Service and Related Debt Issuance Costs	\$ 21,947,999	\$ 21,947,709	100.0%

Related Costs Outside of the Underground Project Budget

	Budget	Actual	% Expended
Costs paid from (307) Fund CIP			
Underground City of Lake Worth Section			
Project Design	\$ 25,231	\$ 24,430	96.8%
Project Construction	\$ 351,081	\$ 351,081	100.0%
Project Construction Engineering	\$ 11,607	\$ 12,849	110.7%
Utility Cost (FPL, Comcast, AT&T)	\$ 134,333	\$ 127,531	94.9%
Project Meeting Attendance	\$ 3,334	\$ 2,914	87.4%
Total Lake Worth Section	\$ 525,586	\$ 518,805	98.7%
Ibis Way PGD Improvements	\$ 14,583	\$ 14,583	100.0%
Crosswalk Spare Conduits	\$ 26,148	\$ 24,841	95.0%
General Fund Costs			
Goldmacher v TPB Legal and Other Costs		\$ 183,701	
Kosberg v TPB Legal and Other Costs		\$ 615,602	
PBT Real Estate v TPB		\$ 197,178	
Gardner, Bist Bowden, Bush (Shef Wright)		\$ 24,799	
Telecommunications Consultant	\$ 89,000	\$ 83,210	93.5%
Peter Brandt (Contract Negotiations)	\$ 35,000	\$ 23,735	67.8%
Total Related Costs Outside of the Budget	\$ 690,317	\$ 1,686,453	244.3%

Town of Palm Beach - Underground Utility Project Dashboard - March 2025

Status Legend
 Green - On Task
 Yellow - Caution
 Red - Not on Task
 Complete - Not Shown



TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Consent - Other

Agenda Title

Donation Acceptance from The Palm Beach Police and Fire Foundation

Presenter

Nicholas Caristo, Chief of Police

ATTACHMENTS:

- ▣ **Memorandum Dated April 10, 2025, from Nicholas Caristo, Chief of Police**
- ▣ **Donation Policy**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council

Via: Kirk W. Blouin, Town Manager

From: Nicholas Caristo, Chief of Police

Re: Accept Donation of up to \$300,000 from the Palm Beach Police & Fire Foundation

Date: April 10, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council accept a donation from the Palm Beach Police & Fire Foundation up to \$300,000 to fund the acceleration and expansion of the Townwide-Surveillance Camera Program and associated procurements as deemed appropriate and necessary by the Chief of Police and the Town Manager in accordance with the Town's Purchasing Procedures.

GENERAL INFORMATION

The Palm Beach Police Department continues to benefit from the generosity of the residents and businesses of the Town of Palm Beach. The Department has received intentions of a donation up to \$300,000 from the Palm Beach Police & Fire Foundation. The donor indicated that the funds should be utilized to fund the acceleration and expansion of the Townwide-Surveillance Camera Program and associated procurements as deemed appropriate and necessary by the Chief of Police and the Town Manager for the Town's safety and security.

The Police Department, in conjunction with other internal stakeholders, maintains a comprehensive public safety surveillance system with managed short-term, mid-term, and long-term goals. This generous donation will accelerate existing goals and provide for more nimble responses to current crime trends and public safety concerns that will benefit the entire community.

Per Town Administration Policy No. 1-08-08 (Attachment A), any donation with a value over \$25,000, which is not included in the Town's budget, must be approved by Town Council.

FUNDING/FISCAL IMPACT

If approved, the donation will be forwarded to the Finance Department for deposit and use in the Police Department's camera-related donation account on a predetermined schedule. This schedule will be agreed upon by the Chief of Police and the donor over the next several years. Purchases using donated funds will be made in accordance with established Procurement

Procedures. This donation will fund the initial acquisition, subscription (where applicable), and maintenance costs of Town-wide Surveillance Camera Program assets. Subsequent subscription and maintenance costs will be budgeted through the Town's budgetary process as is regularly done with the program currently.

NC:wmr

Attachment

cc: Robert Miracle, Deputy Town Manager
Carolyn Stone, Deputy Town Manager
Dean Mealy, Procurement and Contract Manager



TOWN OF PALM BEACH

Administrative Procedures

TOWN DONATIONS PROCEDURES

Procedure No.:.....1-08-8

Effective Date:..... September 25, 2008

Revision to Procedure No.:..... 1-08-5

APPROVED: 
Peter B. Elwell, Town Manager

OBJECTIVE: To formally establish clear procedures for implementation of the donations policy adopted by the Town Council at the January 8, 2008 Town Council meeting.

RESPONSIBILITY: Department directors and/or the Town Manager shall be responsible for the implementation of this procedure. The Finance Director shall be responsible for ensuring completion of those actions required of the Finance Department. Town Council is responsible for approving certain donations as described below.

DEFINITIONS:

Donation:	May refer to either money or items. (Donations of food are exempted from this policy.)
Town budget:	Refers to the Town Council adopted budget, the Equipment Replacement Program, or the approved five-year Capital Improvement Program
Department director:	May also refer to his or her designee
Town Manager:	May also refer to his or her designee

POLICY: Donations with a value over \$25,000, which are not included in the Town budget or the Council-approved Capital Improvement Program (CIP) or Equipment Replacement Fund (ERF), must be individually approved by Town Council. All other donations require administrative approval under the following guidelines:

- Donations of any value, which are of or for items included in the Town budget, are subject to the approval of the department director or Town Manager, as appropriate.

- Donations of money are accepted so long as items bought with the donated money follow the same guidelines as those of a donated item.
- Donations of items with a value of \$25,000 or less, which are not included in the Town budget, may be approved by the department director if there will be no future maintenance or replacement cost, but are subject to the approval of the Town Manager if there could or would be future maintenance or replacement cost.

The department director or Town Manager may seek Town Council approval of any donation which they determine should be subject to Town Council review.

PROCEDURE:

- Donations of cash or gift cards will not be accepted, with the exception of gift certificates or cards donated to the Recreation Department for the use as program prizes. Said certificates or cards will be subject to appropriate cash handling and tracking procedures to insure accountability.
- Departments must follow the Town's formal written purchasing procedures when using donation funding to buy an item.
- If the Town receives a donation for an item in the ERF that is not scheduled for purchase until a future date, the department shall use the donation when the next available purchase for such item occurs in the ERF. Acceleration of such purchases is allowed only upon the advance written approval of the Town Manager.
- All donations shall be reported to the Finance Department for processing and recording.
- The Finance Department will administer a central database, which shall record the date of every donation, name and address of donor, purpose of the donation and the amount of the donation. Departments should submit such information to the Finance Department the same business day the donation is received.

CONSIDERATIONS:

When determining whether to accept a donation, the department director and/or Town Manager should consider whether the public, professional or community benefit is clear. The Town should also

avoid any impression that a private entity might receive a favor, naming rights, or any other quid pro quo consideration from the Town or a Town official in exchange for the donation.

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Board/Commission Annual Report

Agenda Title

Annual Report of the Code Enforcement Board

Presenter


Martin Klein, Chair

ATTACHMENTS:

- ▣ **Annual Report of the Code Enforcement Board**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council
Via: Kirk W. Blouin, Town Manager
From: Nicholas Caristo, Chief of Police 
Re: Annual Report – Code Enforcement Board
Date: May 1, 2025

STAFF RECOMMENDATION

Staff recommends the Town Council review the Annual Report for 2024-2025, presented by the Code Enforcement Board.

GENERAL INFORMATION

The following summarizes the activities of the Code Enforcement Board and staff beginning May 01, 2024, through April 30, 2025.

The Code Enforcement Board consists of nine members, which includes seven regular members and two alternate members. Martin Klein was elected as Chairman at the March 2025 meeting and Scotch Peloso was re-elected as Vice Chairman. The remaining members are Dave Brooker, Chris Larmoyeux, Pamela Saba, John McGowan and Harris S. Fried. The alternate members are John P. Cohen and Angel Arroyo.

The Code Enforcement Board considered sixty-four new code violation cases, fourteen fine consideration cases, ten fine reduction requests, and no old business cases.

There were \$90,625.00 in fines, and \$4,500.00 in administrative fees collected.

There are two properties with daily running fines, four properties have non-running fines, all totaling \$23,850.00. There is one non-property owner with non-running fines, totaling \$275.00.

Liens in favor of the Town have been filed against property owners when appropriate.

Notice of Code Violation citations written and collected, where the violator admitted to guilt and paid the fine, totaled \$34,650.00.

Right of Way citations written and collected, where the violator admitted to guilt and paid the fine, totaled \$1,750.00.

Currently, the Code Enforcement staff is comprised of one Office Manager, one full-time Lead Code Enforcement Officer and four full-time Code Enforcement Officers.

The Code Enforcement staff handled 2,563 cases during the stated time frame, of which 1,664 of the cases were self-initiated by Code Enforcement Officers. Overall cases are down by 10 percent from the previous year.

There were 15,944 inspections completed, an increase of 6,127 from the previous year. There were 821 code written warnings, 928 verbal warnings, 184 Notice of Violation letters sent, 198 Notice of Violation citations issued, 94 Board Orders, and 9 Right-of-Way written violations. All actions have increased since the previous year.

Attached please find a list of properties with outstanding fines as of April 30, 2025.

Attachment

NC/cm

LIST OF PROPERTIES WITH OUTSTANDING FINES AS OF
APRIL 30, 2025

1. 264 List Road
2. 241 El Dorado Lane *
3. 204 Royal Palm Way
4. 235 Sanford Ave. *
5. 2842 S. Ocean Blvd.
6. 3460 S. Ocean Blvd.
7. 280 El Pueblo Way

* Indicates daily running fine.

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Board/Commission Annual Report

Agenda Title

Annual Report of the Planning and Zoning Commission

Presenter

Gail Coniglio, Chair

ATTACHMENTS:

- ▣ **Annual Report of the Planning and Zoning Commission**

TOWN OF PALM BEACH

Information for Town Council Meeting on:

May 13, 2025

To: Mayor and Town Council

From: Wayne Bergman, MCP, LEED® AP, Director of Planning, Zoning & Building

Re: Annual Report - Planning and Zoning Commission

Date: April 15, 2025

STAFF RECOMMENDATION

Staff recommends that the Town Council receive and accept the Planning and Zoning Commission's Annual Report from April 2024 through April 2025.

This past year, the Planning and Zoning Commission (PZC) completed their review of the Town's EAR-Based 2024 Comprehensive Plan and forwarded their recommendation of approval to the Town Council in August 2024. The public hearing process began with a kickoff in May 2023 and the public meetings began in October 2023. The PZC held a total of 10 public meetings and staff hosted many private meetings with Commissioners and members of the public through this past year. The outcome of the comprehensive plan review led to several agenda items that either the Town Council gave directives or the PZC introduced. As traffic and parking have risen to the leading complaint among town residents, the PZC focused on traffic and parking management strategies from a number of angles. Those included the following:

- Upgrading the Level of Service Standard (LOS) for state and local roads
- Strengthening Comprehensive Plan language that discourages the Town as a regional destination
- Examining restaurants, bars, lounges, nightclubs, and private clubs during the Zoning in Progress
- Redefining town serving and creating a new definition of town resident
- Adding policy language to the Transportation Element from the Corradino Group Traffic and Parking Study

Additionally, the PZC reviewed and forwarded recommendations for the following amendments:

- Comprehensive Plan text and Zoning Code amendments related to the Private Group Use Future Land Use designation and establishing a new CI Cultural Institution District, respectively (Ordinance Nos. 005-2024 and 006-2024)
- Comprehensive Plan Future Land Use Map and the Zoning Map amendments to Private Group Use and the new CI Cultural Institutional District, respectively, for the Four Arts (Ordinance Nos. 020-2024 and 021-2024)

- The Breakers PUD amendment to add two new padel courts (Resolution No. 073-2024)
- The Breakers PUD amendment to Demolition of an existing 2-story structure and the construction of a new 3-story building with a basement and overhead pedestrian walkway and the construction of a new parking structure with 1 level of subterranean parking and surface parking
- Zoning Code Supplemental Regulations to remove the reference to medical marijuana treatment centers and dispensaries in the C-TS Commercial Zoning District (Ordinance No. 034-2024)

The end of this year in review has begun with staff lead Code Review, which is anticipated to take at least a year to complete.

A brief summary of the meeting agendas is provided in the attached Exhibit A, which Gail Coniglio, the Chair of the PZC, will present at the May 13, 2025 Town Council meeting.

WRB:JHD

cc: Kirk Blouin, Town Manager
Planning and Zoning Chair and Commission
James Murphy, AICP, Assistant Director of Planning, Zoning and Building
Jennifer Hofmeister-Drew, AICP, Planner III

EXHIBIT A

PLANNING AND ZONING COMMISSION ACTIVITIES

April 2, 2024

Discussed the following study items:

- Presentation by ZoneCo. regarding the following:
 - Recap of the Residential Districts Study
 - Mid-Town Commercial Districts Study
 - South End Zoning Study

May 7, 2024

Discussed the following study items:

- Zoning Review Update by Sean Suder, ZoneCo.
- Third Review of Strike Thru and Underline Version of the Transportation Element Data and Analysis and Goals, Objectives and Policies

June 4, 2024

Discussed the following study items:

- Fourth Review of Strike Thru and Underline Version of the Transportation Element Data and Analysis and Goals, Objectives and Policies
- Discussion of Traffic Circulation Management and Mitigation Strategies that included the following:
 - Modify townwide level of service for local roadways from LOS “D” to LOS “C”
 - Review of existing Comprehensive Plan language that discourages the Town as a regional destination
 - Redefine Town Serving (understanding the history)
 - Private Group Uses (differentiating between not-for-profit tax exempt and for-profit corporations) and creating a new for-profit category to control regional destination events
 - Address the number, size and operations of service trucks

August 6, 2024

Discussed the following study items:

- The Four Arts property map and text amendments that included the following:
 - Ordinance No. 005-2024 to amend the Private Group Use Future Land Use category
 - Ordinance No. 006-2024 to create a new CI Cultural Institution District

- Ordinance No. 020-2024 to amend the Comprehensive Plan Future Land Use Map from Public, Recreation, and Single Family to Private Group Use
- Ordinance No. 021-2024 amending the Zoning Map from R-B Low Density Residential to CI Cultural Institution District
- The Breakers Padel Courts application that included the following:
 - Resolution No. 073-2024 to add two padel courts
- The complete draft 2024 Comprehensive Plan that added the following based on the previous month's discussion:
 - Change from Town Person to Town Resident
 - Changes to the Transportation Element per the Corradino Group Traffic and Parking Study

September 3, 2024

Discussed the following study items:

- Code Review Update by Sean Suder, ZoneCo.
- Resolution No. 069-2024 Zoning in Progress (ZIP)
- Review of the PZC suggestions to traffic circulation and mitigation strategies

October 1, 2024

Discussed the following study items:

- Zoning in Progress:
 - Review of Updated backup of restaurants, bars, lounges, nightclubs, and private clubs
 - Zoning Map and list of restaurants
 - Business Tax Receipts for Private Clubs
 - Five districts and restaurant seat count
- Ordinance No. 034-2024 to change the Zoning Code Supplemental Regulations related to marijuana centers and dispensaries

November 5, 2024

Discussed the following study items:

- Code Review update:
 - Sean Suder, ZoneCo. first draft of the Zoning Code
 - Staff comments on the ZoneCo. first draft
- Update on ZIP
 - Private Club definition as it relates to traffic and parking issues
- Town acre as defined in the comprehensive plan

December 5, 2024

Discussed the following study items:

- The Corradino Group Recommendations to the Traffic and Parking Management Study
- Update on For-Profit and Non-For-Profit Clubs Definition

January 7, 2025

Discussed the following study items:

- Results of Email Responses to Private Clubs Regarding Membership
- Draft Schedule for Code Review by staff

February 4, 2025

Discussed the following study items:

- Resolution No. 006-2025 amending Resolution No. 6-71, the Breakers PUD
 - Demolition of an existing 2-story structure and the construction of a new 3-story building with a basement and overhead pedestrian walkway
 - Construction of a new parking structure with 1 level of subterranean parking and surface parking

March 6, 2025

Discussed the following study items:

- Planned Unit Development Standards for the Breakers PUD – Code Sections 134-686 through 134-691
 - Demolition of an existing two-story structure and the construction of a new three-story building with a basement and overhead pedestrian walkway
 - Construction of a new parking structure with one level of subterranean parking and surface parking
- Permitted and Special Exception Uses in the Commercial Districts

April 1, 2024

Discussed the following study items:

- Updated Table on Permitted and Special Exception Uses in the C-TS Commercial District
- Review of the status of the ZIP

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Board/Commission Annual Report

Agenda Title

Annual Report of the Retirement Board of Trustees

Presenter

Daniel W. Stanton, Chair

ATTACHMENTS:

- ▣ **Memorandum Dated May 1, 2025, from Dan Stanton, Chair**
- ▣ **Investment Performance Review**
- ▣ **Actuarial Summary**
- ▣ **Actuarial Valuation Report 09302024**
- ▣ **Master IPS Final with Amendments to Allocation Targets**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council

From: Dan Stanton, Chair

Re: Annual Report-Town of Palm Beach Retirement System

Date: May 1, 2025

GENERAL INFORMATION

Chair Dan Stanton will present the Annual Report on behalf of the Town of Palm Beach Retirement System Board of Trustees. This report includes backup information by the actuary, GRS, and investment consultant, Mariner.

Attachments

Investment Performance Review for Period Ending March 31, 2025
Actuarial Summary for FYE 2024

Town of Palm Beach Retirement System Pension

Investment Performance Review
Period Ending March 31, 2025

Preliminary Returns

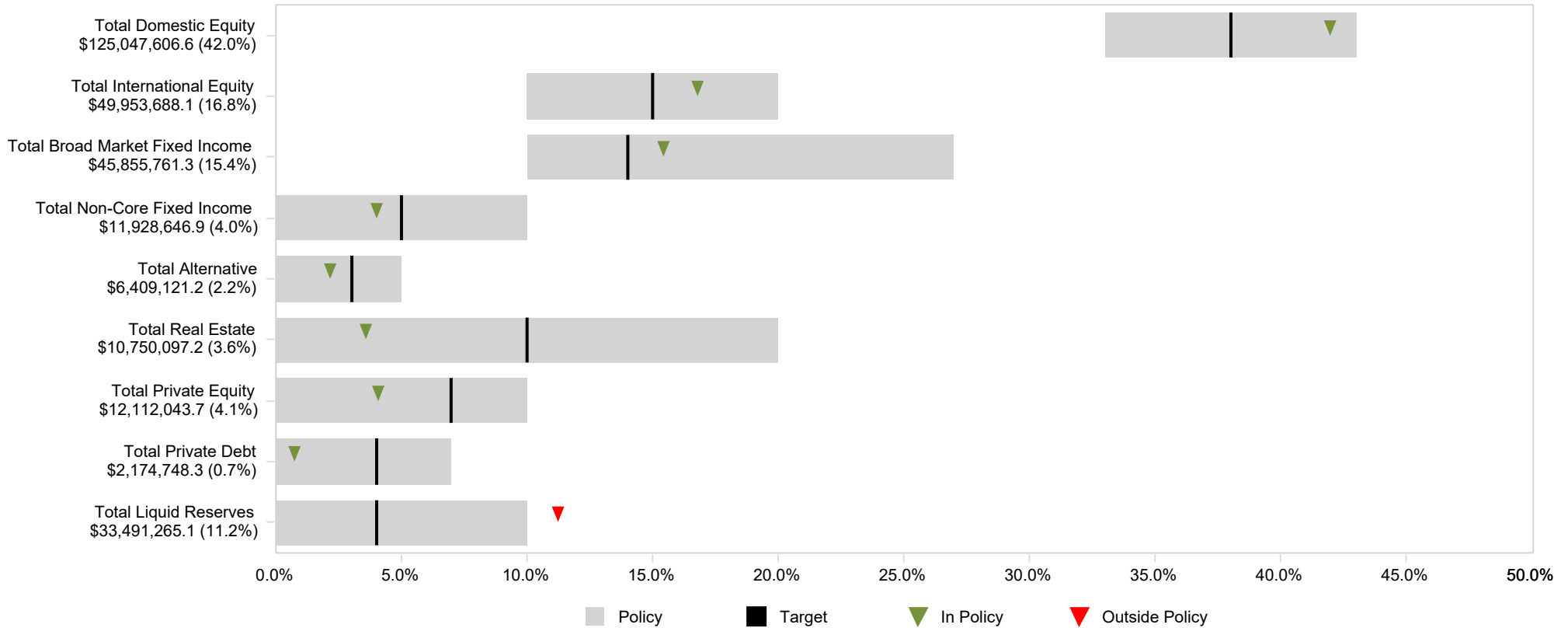
MARINER

Manager	MV as of	Most Recent Statement Date
Private Equity		
HarbourVest Partners	Distribution - 3/2025	9/30/2024
JP Morgan Venture Cap V	Call - 1/2025	12/31/2024
Ares Landmark XIV	12/31/2024	12/31/2024
Private Equity Fund V	9/30/2024	9/30/2024
Ares Senior Direct Lending III	Distribution - 2/2025	12/31/2024
Real Estate		
Green Cities III	12/31/2024	12/31/2024
Long Wharf Real Estate Fund V	3/31/2025	3/31/2025
Westport RE Fund IV	12/31/2024	12/31/2024
JP Morgan Strategic Property	3/31/2025	3/31/2025

Performance and valuations presented in this report are preliminary, with 93.1% of assets reporting finalized figures.
NAVs for non-reporting investments are carried forward from the most recent valuation.

Town of Palm Beach Retirement System Pension
Asset Allocation Compliance
As of March 31, 2025

Executive Summary



Asset Allocation Compliance

	Asset Allocation \$	Current Allocation (%)	Minimum Allocation (%)	Maximum Allocation (%)	Target Allocation (%)
Total Fund	297,722,978	100.0	N/A	N/A	100.0
Total Domestic Equity	125,047,607	42.0	33.0	43.0	38.0
Total International Equity	49,953,688	16.8	10.0	20.0	15.0
Total Broad Market Fixed Income	45,855,761	15.4	10.0	27.0	14.0
Total Non-Core Fixed Income	11,928,647	4.0	0.0	10.0	5.0
Total Alternative	6,409,121	2.2	0.0	5.0	3.0
Total Real Estate	10,750,097	3.6	0.0	20.0	10.0
Total Private Equity	12,112,044	4.1	0.0	10.0	7.0
Total Private Debt	2,174,748	0.7	0.0	7.0	4.0
Total Liquid Reserves	33,491,265	11.2	0.0	10.0	4.0

Comparative Performance

Total Fund

As of March 31, 2025

Comparative Performance									
	QTR	YTD	FYTD	1 YR	3 YR	5 YR	7 YR	Inception	Inception Date
Total Fund (Net)	-0.92	-0.92	-1.62	4.01	2.36	8.51	5.81	6.41	09/01/2012
Total Fund (Gross)	-0.90	-0.90	-1.59	4.10	2.55	8.70	6.03	6.66	
Total Fund Policy	-0.58	-0.58	-0.97	6.50	5.06	11.37	7.96	N/A	
Total Fund x Lagged Investments (Net)	-0.97	-0.97	-1.72	4.24	3.00	8.11	5.24	5.50	09/01/2017
Total Fund x Lagged Investments (Gross)	-0.95	-0.95	-1.69	4.33	3.20	8.31	5.47	5.74	
Total Fund Policy Index x Lagged Data	-0.66	-0.66	-1.08	6.21	4.78	11.10	7.67	7.81	
Total Domestic Equity (Net)	-4.71	-4.71	-2.90	5.11	7.65	17.29	11.77	11.96	09/01/2012
Total Domestic Equity (Gross)	-4.71	-4.71	-2.90	5.11	7.75	17.39	11.89	12.15	
Total Domestic Equity Policy	-4.72	-4.72	-2.21	7.22	8.22	18.18	12.49	13.25	
Total International Equity (Net)	5.83	5.83	-2.94	3.79	5.10	12.04	4.47	6.88	09/01/2012
Total International Equity (Gross)	5.83	5.83	-2.93	3.80	5.11	12.06	4.61	7.14	
Total International Equity Policy	5.36	5.36	-2.55	6.65	5.03	11.46	4.98	N/A	
Total Broad Market Fixed Income (Net)	3.51	3.51	-1.14	5.08	0.43	0.27	N/A	1.57	07/01/2018
Total Broad Market Fixed Income (Gross)	3.51	3.51	-1.14	5.08	0.55	0.38	N/A	1.70	
Total Fixed Income Policy	2.78	2.78	-0.37	4.88	0.52	0.33	1.48	1.48	
Total Non-Core Fixed Income (Net)	1.01	1.01	2.77	5.81	N/A	N/A	N/A	N/A	03/01/2023
Total Non-Core Fixed Income (Gross)	1.14	1.14	2.90	6.79	N/A	N/A	N/A	N/A	
Total Fixed Income Policy	2.78	2.78	-0.37	4.88	0.52	0.33	1.48	4.39	
Total Alternative (Net)	-16.19	-16.19	0.11	-4.99	-10.47	N/A	N/A	-19.86	06/01/2021
Total Alternative (Gross)	-16.02	-16.02	0.48	-4.27	-9.79	N/A	N/A	-19.25	
Total Alternative Policy	-4.13	-4.13	-1.71	10.22	10.43	16.85	11.87	7.80	
Total Real Estate (Net)*	-0.45	-0.45	-1.86	-6.45	-18.48	-9.09	-4.85	1.31	08/01/2013
Total Real Estate (Gross)	-0.29	-0.29	-1.55	-5.79	-17.79	-8.39	-4.12	2.32	
Total Real Estate Policy	0.84	0.84	1.73	1.30	-3.59	1.66	2.56	N/A	
Total Private Equity (Net)*	-0.04	-0.04	-0.13	-1.44	-7.44	11.38	11.63	13.74	09/01/2012
Total Private Equity (Gross)	0.00	0.00	-0.06	-1.30	-7.33	11.52	11.78	13.87	
Total Private Equity Policy	-3.56	-3.56	-0.51	11.50	12.34	22.15	16.65	16.84	
Total Private Debt (Net)*	0.00	0.00	3.80	N/A	N/A	N/A	N/A	9.65	09/01/2024
Total Private Debt (Gross)	0.00	0.00	3.80	N/A	N/A	N/A	N/A	9.65	
Total Private Debt Policy	2.61	2.61	0.48	5.58	1.64	0.36	1.83	1.61	

Returns for periods greater than one year are annualized.

Returns are expressed as percentages.

*Time weighted returns are for reference. Please refer to IRR calculations on the following pages.

Financial Reconciliation
Total Fund
1 Quarter Ending March 31, 2025

Financial Reconciliation - 1 Quarter									
	Market Value 01/01/2025	Net Transfers	Contributions	Distributions	Management Fees	Other Expenses	Income	Apprec./ Deprec.	Market Value 03/31/2025
Total Domestic Equity	131,230,357	-	-	-	-	-	614,198	-6,796,949	125,047,607
Vanguard Instl Index (VINIX)	100,322,420	-	-	-	-	-	510,470	-4,805,423	96,027,467
Vangaurd S&P MC 400 Index (VSPMX)	30,907,012	-	-	-	-	-	103,728	-1,991,555	29,019,185
Geneva Mid Cap Growth Equity	926	-	-	-	-	-	-	29	955
Total Developed Country Equity	47,203,941	-	-	-	-	-	-	2,749,747	49,953,688
Pear Tree Polaris Foreign Value (QFVRX)	16,623,498	-	-	-	-	-	-	913,033	17,536,531
Fidelity International Index (FSPSX)	12,206,186	-	-	-	-	-	-	970,538	13,176,724
MFS International Growth R6 (MGRDX)	9,137,594	-	-	-	-	-	-	390,760	9,528,354
WCM Focused International Growth (WCMIX)	9,236,662	-	-	-	-	-	-	475,416	9,712,078
Total Fixed Income	56,110,978	-	2,473	-	-14,761	-2,473	365,342	1,322,849	57,784,408
Garcia Hamilton Fixed Income Agg.	44,302,097	-	2,473	-	-	-2,473	365,342	1,188,322	45,855,761
Serenitas Credit Gamma	11,808,881	-	-	-	-14,761	-	-	134,527	11,928,647
Total Alternative	7,647,033	-	-	-	-	-	-	-1,237,911	6,409,121
Ark Innovation (ARKK)	7,647,033	-	-	-	-	-	-	-1,237,911	6,409,121
Total Real Estate	10,798,202	-18	-	-	-17,222	-	44,438	-75,304	10,750,097
Green Cities Company III	1,116,534	-	-	-	-	-	-	-	1,116,534
Long Wharf Real Estate Partners Fund V	2,349,766	-	-	-	-	-	-	-103,296	2,246,470
Westport Real Estate Fund IV	328,680	-	-	-	-	-	-	-	328,680
JP Morgan Strategic Property	7,003,223	-18	-	-	-17,222	-	44,438	27,992	7,058,414
Total Private Equity	12,476,151	-364,107	4,888	-	-4,888	-	-	-	12,112,044
Ares Landmark Equity Partners XIV LP	4,183	-	-	-	-	-	-	-	4,183
Private Equity Investment Fund V	545,426	-	-	-	-	-	-	-	545,426
HarbourVest Partners IX [Consolidated]	5,038,787	-364,107	-	-	-	-	-	-	4,674,680
Pomona Capital VIII	28,388	-	-	-	-	-	-	-	28,388
JPMorgan Venture Capital Fund V	6,859,367	-	4,888	-	-4,888	-	-	-	6,859,367
Total Private Debt	1,819,173	355,575	-	-	-	-	-	-	2,174,748
Ares Senior Direct Lending III	1,819,173	355,575	-	-	-	-	-	-	2,174,748
Total Liquid Reserves	39,401,541	8,549	14,842	-6,250,000	-	-14,842	331,189	-14	33,491,265
Liquid Reserves	39,401,541	8,549	14,842	-6,250,000	-	-14,842	331,189	-14	33,491,265
Total Fund	306,687,375	-	22,204	-6,250,000	-36,871	-17,316	1,355,167	-4,037,581	297,722,978

Mariner Institutional compiled this report for the sole use of the client for which it was prepared. Mariner Institutional is responsible for evaluating the performance results of the Total Fund along with the investment advisors by comparing their performance with indices and other related peer universe data that is deemed appropriate. Mariner Institutional uses the results from this evaluation to make observations and recommendations to the client. Mariner Institutional uses time-weighted calculations which are founded on standards recommended by the CFA Institute. The calculations and values shown are based on information that is received from custodians. Mariner Institutional analyzes transactions as indicated on the custodian statements and reviews the custodial market values of the portfolio. As a result, this provides Mariner Institutional with a reasonable basis that the investment information presented is free from material misstatement. This methodology of evaluating and measuring performance provides Mariner Institutional with a practical foundation for our observations and recommendations. Nothing came to our attention that would cause Mariner Institutional to believe that the information presented is significantly misstated.

This performance report is based on data obtained by the client's custodian(s), investment fund administrator, or other sources believed to be reliable. While these sources are believed to be reliable, the data providers are responsible for the accuracy and completeness of their statements. Clients are encouraged to compare the records of their custodian(s) to ensure this report fairly and accurately reflects their various asset positions.

The strategies listed may not be suitable for all investors. We believe the information provided here is reliable, but do not warrant or guarantee its accuracy or completeness. Past performance is not an indication of future performance. Any information contained in this report is for informational purposes only and should not be construed to be an offer to buy or sell any securities or any investment advisory services.

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***IMPORTANT DISCLOSURE INFORMATION RE COALITION GREENWICH BEST INVESTMENT CONSULTANT AWARD (formerly known as the Greenwich Quality Leader Award):**

The awards are not indicative of any future performance. The awards or any other rankings and/or recognition by unaffiliated rating services and/or publications should not be construed as a guarantee that a client will experience a certain level of results or satisfaction, nor should it be construed as a current or past endorsement by any of our clients. No fee was paid to participate in this award survey.

The 2024-25 award was issued in February 2025, based on data from February to September of 2024. The 2023 award was issued in April 2024, based on data from Feb to November of 2023. The 2022 award was issued in April 2023, based on data from Feb to November of 2022. The 2021 award was issued in April of 2022, based on data from July to October 2021. Data was collected via interviews conducted by Coalition Greenwich. The 2024 and 2023 awards were issued to Mariner Institutional (formerly AndCo Consulting). The 2021 and 2022 awards were issued to AndCo, prior to becoming Mariner Institutional. The methodology: For the 2024-25 Coalition Greenwich Best Investment Consultant Award for Overall U.S. Investment Consulting – Midsize Consultants – Between February and September 2024, Crisil Coalition Greenwich conducted interviews with 699 individuals from 563 of the largest tax-exempt funds in the United States. For the 2023 Greenwich Best Investment Consultant Award for Overall U.S. Investment Consulting – Midsize Consultants – Between February and November 2023, Coalition Greenwich conducted interviews with 708 individuals from 575 of the largest tax-exempt funds in the United States. For the 2022 Greenwich Best Investment Consultant Award for Overall U.S. Investment Consulting – Midsize Consultants – Between February and November 2022, Coalition Greenwich conducted interviews with 727 individuals from 590 of the largest tax-exempt funds in the United States. For the 2021 Greenwich Best Investment Consultant Award – Overall U.S. Investment Consulting – Midsize Consultants – Between July and October 2021, Coalition Greenwich conducted interviews with 811 individuals from 661 of the largest tax-exempt funds in the United States. These U.S.-based institutional investors are corporate, public, union, and endowment and foundation funds with either pension or investment pool assets greater than \$150 million. Study participants were asked to provide quantitative and qualitative evaluations of their asset management and investment consulting providers, including qualitative assessments of those firms soliciting their business and detailed information on important market trends.

MARINER

Access to a wealth of knowledge and solutions.



April 21, 2025

Ms. Edemir K. Estrada
Pension Administrator
Gabriel, Roeder, Smith & Company
One East Broward Blvd., Suite 505
Fort Lauderdale, Florida 33301-1804

Re: Town of Palm Beach Retirement System Annual Report – 9/30/2024 Actuarial Summary

Dear Edemir:

The funded status of the plan is determined after the fiscal year end, and after the system's actuary, Gabriel, Roeder & Smith (GRS), collects the system's updated census and financial information and analyzes the demographic and economic experiences during the fiscal year. The experience is compared to the actuarial assumptions (investment return, retirements/DROPs, terminations, mortality, wage increases, etc.). The funded status and required Town contributions are determined after completing a full analysis and valuation of the updated actuarial liabilities. The system's current funded status is based on the most recent September 30, 2024 actuarial valuation, and it will change again after the end of fiscal year 2025 after the analysis for the 2025 fiscal year valuation is completed.

The Town Council adopted a policy beginning in October 2017 to appropriate \$5.42 million each year in extra payments toward the unfunded actuarial accrued liability (UAAL). This represents a payment above what the actuary annually determines as the Town's required contribution (the actuarial determined employer contributions, or ADEC). The ADEC developed in the annual valuation is payable in the second fiscal year following the valuation date. Thus, the ADEC payable during fiscal year 2026 is identified in the 9/30/2024 actuarial valuation. In the year that begins October 1, 2025 (FY 2026), the ADEC rate is 56.79% of covered payroll, or \$16,732,871, if payments are distributed evenly throughout the fiscal year. However, the actuary determined that if the Town chooses to pay the full amount at the beginning of the 2026 fiscal year (i.e., on or near October 1, 2025), as it has done in recent years, the ADEC rate will be reduced to 55.16% of covered payroll, or \$16,252,401. The early lump-sum payment represents a savings of \$480,470 in interest cost.

The funded ratio of the retirement system as of 9/30/2024 is 73.8%, which is a small increase from the revised funded ratio of 73.6% as of 9/30/2023 (which was revised downward from 74.0% after reflecting changes in plan benefits which were implemented subsequent to completion of 9/30/2023 actuarial valuation report). The UAAL (the unfunded actuarial accrued liability) as of 9/30/2024 is \$104,135,219, versus a revised final UAAL of \$100,637,904 as of 9/30/2023 (after reflecting last year's benefit changes). Based on the market value of assets, the retirement system is 76.0% funded as of 9/30/2024 (versus 67.6% as of 9/30/2023, after reflecting last year's benefit changes).

A revision was made to the actuarial assumptions as of 9/30/2024 that increased the UAAL and future contributions. The assumed investment return used in the 2024 valuation (for the year ending 9/30/2025) is 6.0%, reduced from 6.2% last year. This was the final step of a multi-year phase-in approach to lower the investment return assumption to 6.0%. This assumption change had the net effect of increasing the required Town contribution for fiscal year 2026 by approximately \$788,000 and increasing the Plan's UAAL as of 9/30/2024 by approximately \$8.95 million, causing the funded ratio to decline by 1.7% (from 75.5% to 73.8%).

The overall retirement system experience during fiscal year 2024 resulted in a net actuarial experience loss of approximately \$2.3 million. Investment experience, reflecting asset smoothing, caused an actuarial gain of about \$0.3 million. The rate of investment return on the actuarial value of assets during fiscal year 2024 was +6.3% (versus the assumed return during the period of 6.2%). The return on the market value of assets during fiscal year 2024 was +18.9%. Demographic (liability-related) experience resulted in an experience loss of about \$2.6 million, primarily due to higher than expected salary increases. The net actuarial experience loss caused the required Town contribution for FY 2026 to increase by approximately \$200,000.

Overall covered payroll for the Plan increased 13.2% from 9/30/2023 to 9/30/2024. The normal cost for the Plan (i.e., the cost of benefits earned each year) remains a relatively constant percentage of covered payroll from year to year, and it is one of the two primary components of the required Town contribution. As such, the increase in covered payroll has caused the dollar amount of the Plan's normal cost and required Town contribution amount to increase by more than \$700,000.

The funded ratio was over 100% in the year 2000, whereas it is currently 73.8% (76.0% based on the market value of assets). The decline has primarily been the result of lower average investment returns than assumed during the 24-year period from 10/1/2000 through 9/30/2024. The compound average investment return on the market value of assets during this 24-year period was 5.2%. Recent changes in assumptions have also had a reducing effect on the funded ratio, but to a lesser extent than cumulative investment experience.

Several positive steps have been taken to address the funded status, including strengthening the actuarial assumptions (including reducing the investment return assumption to 6.0%), reducing the UAAL amortization periods to 15-20 years, and the commitment from the Town to make additional contributions of \$5.42 million per year (starting in 2017) towards the UAAL until the Plan becomes 100% funded. The Town's cap on total contributions (including the extra \$5.42 million) was also removed in March 2024. These changes have already had a positive impact, helping the Plan absorb a (15.5%) loss on the market value of assets during FY 2022. The Board has also approved an experience study to be performed, to examine/analyze experience and evaluate all of the Plan's actuarial assumptions, prior to the next actuarial valuation date. It is anticipated that these changes will continue to have a significant increasing effect on the funded ratio over the next several years.



Ms. Edemir K. Estrada
Town of Palm Beach Retirement System
April 21, 2025
Page 3

In a “what if” projection scenario in which all assumptions are realized (and the additional \$5.42 million Town contributions continue), the retirement system is projected to become 88.9% funded in 5 years (as of 9/30/2029) and 100.6% funded in 10 years (as of 9/30/2034). If the additional \$5.42 million Town contributions are no longer made, these projected funded ratios would change to 82.9% in 5 years and 92.8% in 10 years, with higher required Town contributions along the way. The additional \$5.42 million Town contributions pay down more of the unfunded actuarial liability sooner, which causes future required Town contributions to be lower. Assuming all assumptions are realized, the total Town contributions to the Retirement System, including the extra Town contributions of \$5.42 million per year, are projected to sum to \$216.6 million through October 2035. If the additional \$5.42 million Town contributions are no longer made, the total required Town contributions would instead be projected to sum to \$203.5 million through October 2035 -- just \$13.1 million less, or an average of \$1.2 million per year over that 11-year period, but resulting in an 8% lower funded ratio as of 9/30/2034.

If there are any questions, please let us know.

Respectfully submitted,



Peter N. Strong, FSA, EA, MAAA
Senior Consultant and Actuary

The above communication shall not be construed to provide tax advice, legal advice or investment advice.



TOWN OF PALM BEACH RETIREMENT SYSTEM

ACTUARIAL VALUATION REPORT AS OF
SEPTEMBER 30, 2024

ANNUAL EMPLOYER CONTRIBUTION FOR THE FISCAL YEAR
ENDING SEPTEMBER 30, 2026





March 7, 2025

Board of Trustees
Town of Palm Beach Retirement System
Palm Beach, Florida

**Re: Town of Palm Beach Retirement System
Actuarial Valuation as of September 30, 2024**

Dear Trustees:

The results of the September 30, 2024 Annual Actuarial Valuation of the Town of Palm Beach Retirement System are presented in this report. The Town of Palm Beach Retirement System is treated as three separate benefit groups: General Employees including Ocean Rescue, Police Officers and Firefighters.

This report was prepared at the request of the Board and is intended for use by the Retirement System and those designated or approved by the Board. This report may be provided to parties other than the System only in its entirety and only with the permission of the Board. GRS is not responsible for unauthorized use of this report.

The purpose of the valuation is to measure the System's funding progress and to determine the employer contribution rate for the fiscal year ending September 30, 2026. As requested, separate employer contribution rates have been prepared for General Employees including Ocean Rescue, Firefighters and Police Officers. This report should not be relied on for any purpose other than the purposes described herein. Determinations of financial results associated with the benefits described in this report, for purposes other than those identified above may be significantly different.

The contribution rate in this report is determined using the actuarial assumptions and methods disclosed in Section B of this report. This report includes risk metrics in Section A but does not include a more robust assessment of the risks of future experience not meeting the actuarial assumptions. Additional assessment of risks was outside the scope of this assignment.

This valuation assumed the continuing ability of the plan sponsor to make the contributions necessary to fund this plan. A determination regarding whether or not the plan sponsor is actually able to do so is outside our scope of expertise and was not performed.

The findings in this report are based on data and other information through September 30, 2024. The valuation was based upon information furnished by the Plan Administrator and the Town, concerning Retirement System benefits, financial transactions, plan provisions and active members, terminated members, retirees and beneficiaries. We checked for internal reasonability and year-to-year consistency, but did not audit the data. We are not responsible for the accuracy or completeness of the information provided by the Plan Administrator and the Town.

This report was prepared using certain assumptions approved by the Board as authorized under Florida Statutes and prescribed by the Florida Statutes as described in the section of this report entitled Actuarial Assumptions and Cost Method. The investment return assumption was prescribed by the Board and the

assumed mortality rates were prescribed by the Florida Statutes in accordance with Florida Statutes Chapter 112.63. All actuarial assumptions used in this report are reasonable for purposes of this valuation. The combined effect of the assumptions is expected to have no significant bias (i.e. not significantly optimistic or pessimistic). All actuarial assumptions and methods used in the valuation follow the guidance in the applicable Actuarial Standards of Practice. Additional information about the actuarial assumptions is included in the section of this report entitled Actuarial Assumptions and Cost Method.

This report was prepared using our proprietary valuation model and related software which in our professional judgment has the capability to provide results that are consistent with the purposes of the valuation and has no material limitations or known weaknesses. We performed tests to ensure that the model reasonably represents that which is intended to be modeled.

This report has been prepared by actuaries who have substantial experience valuing public employee retirement systems. To the best of our knowledge the information contained in this report is accurate and fairly presents the actuarial position of the Town of Palm Beach Retirement System as of the valuation date. All calculations have been made in conformity with generally accepted actuarial principles and practices, with the Actuarial Standards of Practice issued by the Actuarial Standards Board and with applicable statutes.

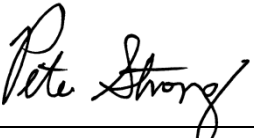
Peter N. Strong and Jeffrey Amrose are members of the American Academy of Actuaries. These actuaries meet the Academy's Qualification Standards to render the actuarial opinions contained herein. The signing actuaries are independent of the plan sponsor.

This actuarial valuation and/or cost determination was prepared and completed by us or under our direct supervision, and we acknowledge responsibility for the results. To the best of our knowledge, the results are complete and accurate. In our opinion, the techniques and assumptions used are reasonable, meet the requirements and intent of Part VII, Chapter 112, Florida Statutes, and are based on generally accepted actuarial principles and practices. There is no benefit or expense to be provided by the plan and/or paid from the plan's assets for which liabilities or current costs have not been established or otherwise taken into account in the valuation. All known events or trends which may require a material increase in plan costs or required contribution rates have been taken into account in the valuation.

Gabriel, Roeder, Smith & Company will be pleased to review this valuation report with the Board of Trustees and to answer any questions pertaining to the valuation.

Respectfully submitted,

GABRIEL, ROEDER, SMITH AND COMPANY

By 
Peter N. Strong, FSA, FCA, MAAA
Enrolled Actuary No. 23-06975
Senior Consultant & Actuary

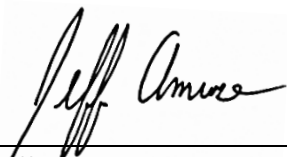
By 
Jeffrey Amrose, FCA, MAAA
Enrolled Actuary No. 23-06599
Senior Consultant & Actuary



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SECTION A

DISCUSSION OF VALUATION RESULTS

DISCUSSION OF VALUATION RESULTS

Comparison of Required Employer Contributions

The actuarially determined employer contribution (ADEC) developed in this year's valuation is compared below to the last valuation.

	For FYE 9/30/2026 Based on 9/30/2024 Valuation	For FYE 9/30/2025 Based on 9/30/2023# Valuation
General Employees - General		
Member Portion	3.50 %	3.50 %
Town Portion	35.13	34.94
Illustrative \$	\$ 5,329,624	\$ 4,754,135
General Employees - Ocean Rescue		
Member Portion	3.50 %	3.50 %
Town Portion	190.41	283.24
Illustrative \$	\$ 248,350	\$ 232,667
General Employees - Aggregate		
Town Portion	36.45 %	36.43 %
Illustrative \$	\$ 5,577,974	\$ 4,986,802
Police Officers		
Member Portion	8.50 %	8.50 %
Town Portion	75.87	83.12
Illustrative \$	\$ 5,330,273	\$ 4,630,712
Firefighters		
Member Portion	8.50 %	8.50 %
Town Portion	81.59	80.76
Illustrative \$	\$ 5,824,624	\$ 5,476,141
Total for All Groups Reflecting Payments Made Evenly Throughout the Year		
Town Portion	56.79 %	57.96 %
Illustrative \$	\$ 16,732,871	\$ 15,093,655
Total if Contributed October 1st	\$ 16,252,401	\$ 14,660,253

Reflects all Actuarial Impact Statements through April 30, 2024.



Payment of Required Contribution

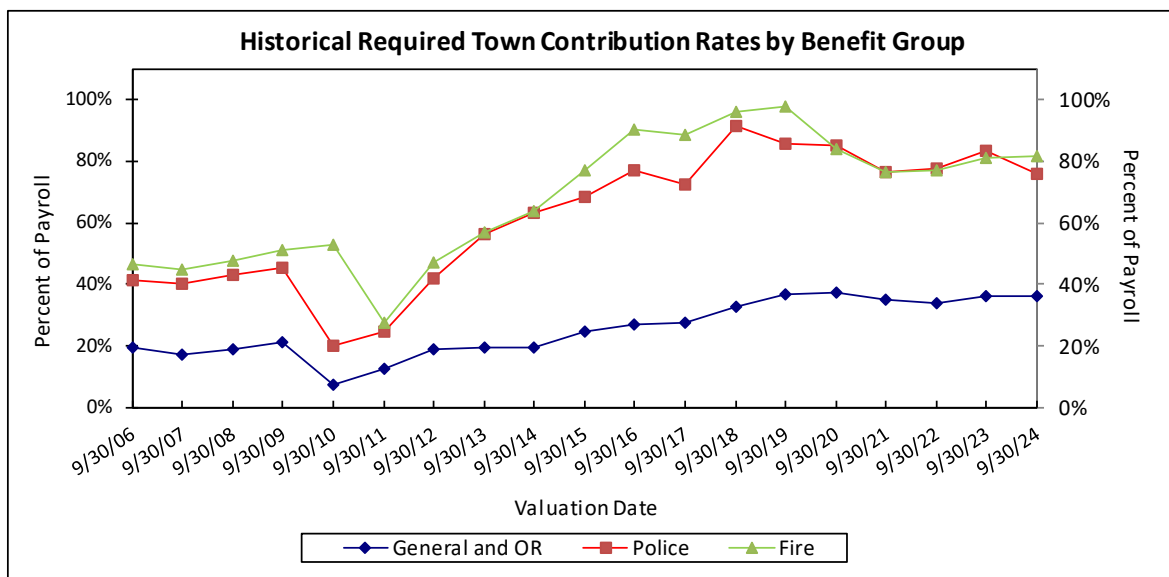
The required employer contribution rates developed in this valuation have been calculated as though the payments are evenly distributed throughout the year. If payments are made at the beginning of the year, the contribution rate for this year's valuation would be as outlined below.

	Contribution Rate	Illustrative Amount
General	34.12 %	\$ 5,176,588
Ocean Rescue	184.94	241,219
General Employees and Ocean Rescue	35.41	5,417,807
Police Officers	73.69	5,177,219
<u>Firefighters</u>	<u>79.25</u>	<u>5,657,375</u>
Total	55.16 %	\$ 16,252,401

For the fiscal year ending September 30, 2024, the Town contributed \$12,650,878 toward the ADEC as of the beginning of the fiscal year. This amount met the \$12,650,878 beginning-of-year ADEC requirement developed in the September 30, 2022 actuarial valuation report.

The Town also contributed an additional \$5.42 million shortly after the end of the fiscal year, in accordance with the Town's funding policy to make supplemental payments of \$5.42 million in excess of the required employer contribution each year until the plan becomes fully funded. This supplemental contribution was allocated between the benefit groups based on the amount of the Unfunded Actuarial Accrued Liability (UAAL) reported as of September 30, 2023 for each group. It was then applied towards reducing the UAAL amortization bases on a pro rata basis. The total Town contribution for the fiscal year of \$18,070,878 is broken down by group as follows:

	General Employees and Ocean Rescue	Police Officers	Firefighters	Total
Required (ADEC)	\$4,021,448	\$3,928,198	\$4,701,232	\$12,650,878
<u>Supplemental (Extra Payments Towards UAAL)</u>	<u>1,823,922</u>	<u>1,582,389</u>	<u>2,013,689</u>	<u>5,420,000</u>
Total Town Contributions	\$5,845,370	\$5,510,587	\$6,714,921	\$18,070,878



Revisions in Benefits

The following revisions in benefits occurred since the previous valuation:

General Employees and Ocean Rescue

- The benefit multiplier was increased from 1.7% to 2.0% for service credited on and after June 1, 2024.
- The vesting requirement was changed from 100% after 10 years of service to 100% after 5 years of service.
- The normal retirement eligibility for Plan B benefits was changed from age 62 with at least 10 years of service to age 62 with at least 5 years of service.

Police Officers and Firefighters

- The benefit multiplier was increased from 2.75% to 3.0% for service credited on and after June 1, 2024.
- The vesting requirement was changed from 100% after 10 years of service to 100% after 8 years of service.
- The normal retirement eligibility for Plan B benefits was changed from the earlier of age 55 with at least 10 years of service or age 52 with at least 25 years of service to the earlier of age 55 with at least 8 years of service or 25 years of service regardless of age.
- For any Police Officer who was appointed town manager while participating in the Deferred Retirement Option Program (DROP), the maximum participation period in the DROP was changed from 10 years to 12 years.

The effect of the above changes on plan liabilities and contribution requirements was determined in Actuarial Impact Statements dated April 30, 2024, and is reflected in the prior year column of this report.

Revisions in Actuarial Assumptions and Methods

The investment return assumption was reduced from 6.2% last year to 6.0%¹ as of September 30, 2024. As a result of this assumption change, the aggregate required employer contribution for the fiscal year ending September 30, 2026 increased by \$788,292 and the Plan's aggregate UAAL increased by approximately \$8.95 million. The required employer contribution increased by 1.82% of covered payroll for General and Ocean Rescue, by 3.47% of covered payroll for Police Officers, and by 3.73% of covered payroll for Firefighters.

Actuarial Experience

The aggregate Plan experience during the year resulted in a net actuarial loss of \$2,296,684. The loss is mainly attributable to unfavorable demographic experience.

Demographic experience resulted in a net actuarial loss for the year of \$2,582,439. There were higher than expected salary increases for all groups except Ocean Rescue. Actual salary increases were 7.6% for General Employees, 13.8% for Police Officers, and 7.6% for Firefighters, compared to expected increases of 5.5% for General Employees and 6.0% for Police Officers and Firefighters. Lower than expected retiree mortality among General Employees also contributed to the demographic loss.

¹ This assumption is forward-looking starting with the year beginning on the valuation date.

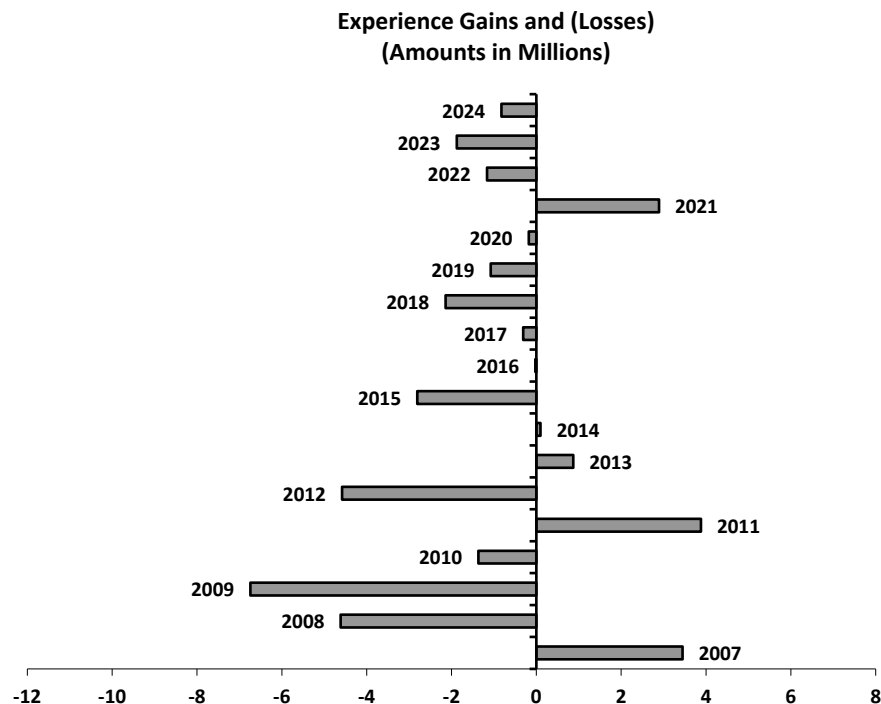


Investment experience caused an actuarial gain of \$285,755. The investment return based on the aggregate Market Value of Assets was 18.88%, however the recognized investment return on the aggregate Actuarial Value of Assets was 6.30% this year (compared to the expected annual investment return of 6.20%). Investment gains and losses are spread over a five-year smoothing period, with gains and losses from prior years being smoothed into the current year.

The net actuarial experience loss caused the total required Town contribution to increase by approximately \$200,000. Total covered payroll increased by 13.2% from September 30, 2023 to September 30, 2024. This was caused by a combination of higher than expected salary increases, as discussed above, and an increase in the number of active covered employees from 304 to 328. If all assumptions had been realized and the number of active employees had remained constant, the increase in covered payroll would have been approximately 2.9%. The normal cost for the Plan (which is the approximate cost of benefit accruals during the year and one of the main two components of the required contribution) remains a relatively constant percentage of covered pay from year to year, so the increase in covered payroll caused the employer share of the normal cost to increase by over \$700,000. This is the primary reason for the higher than expected increase in the required Town contribution.

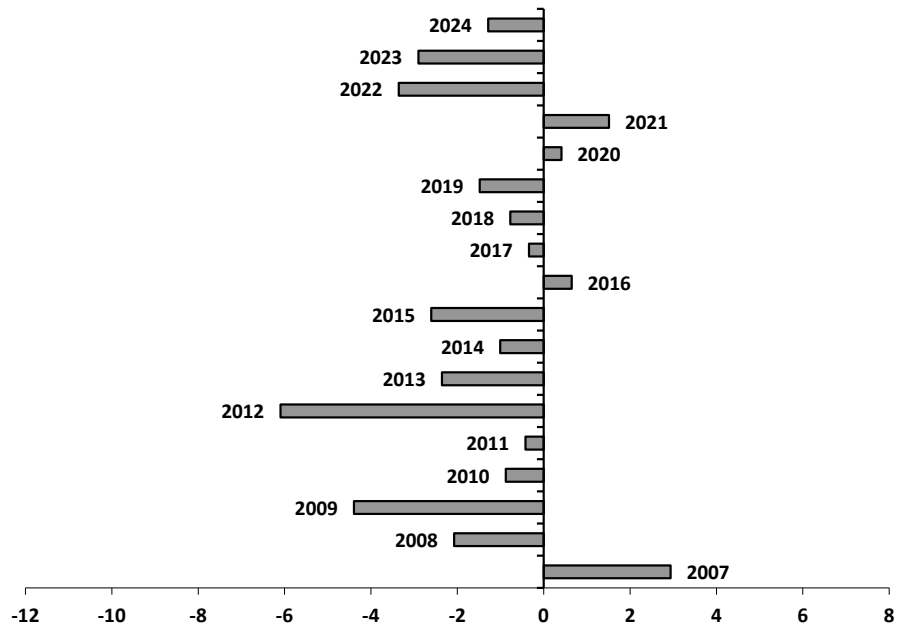
Year to year experience variations are expected and normal in the operation of a retirement system as members' demographic experience varies and economic conditions change. The expectation is that the positive and negative years will tend to cancel each other out over 15 to 20-year periods, as long as the actuarial assumptions used are reasonable. However, most of the last 17 years have been unfavorable.

General Employees and Ocean Rescue



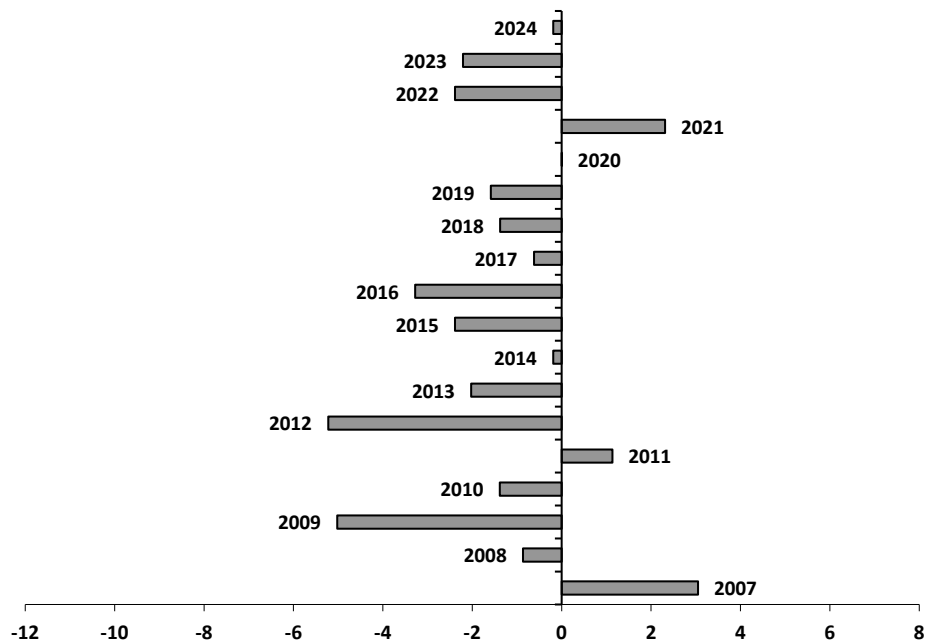
Police Officers

Experience Gains and (Losses)
(Amounts in Millions)



Firefighters

Experience Gains and (Losses)
(Amounts in Millions)



Funding Objective

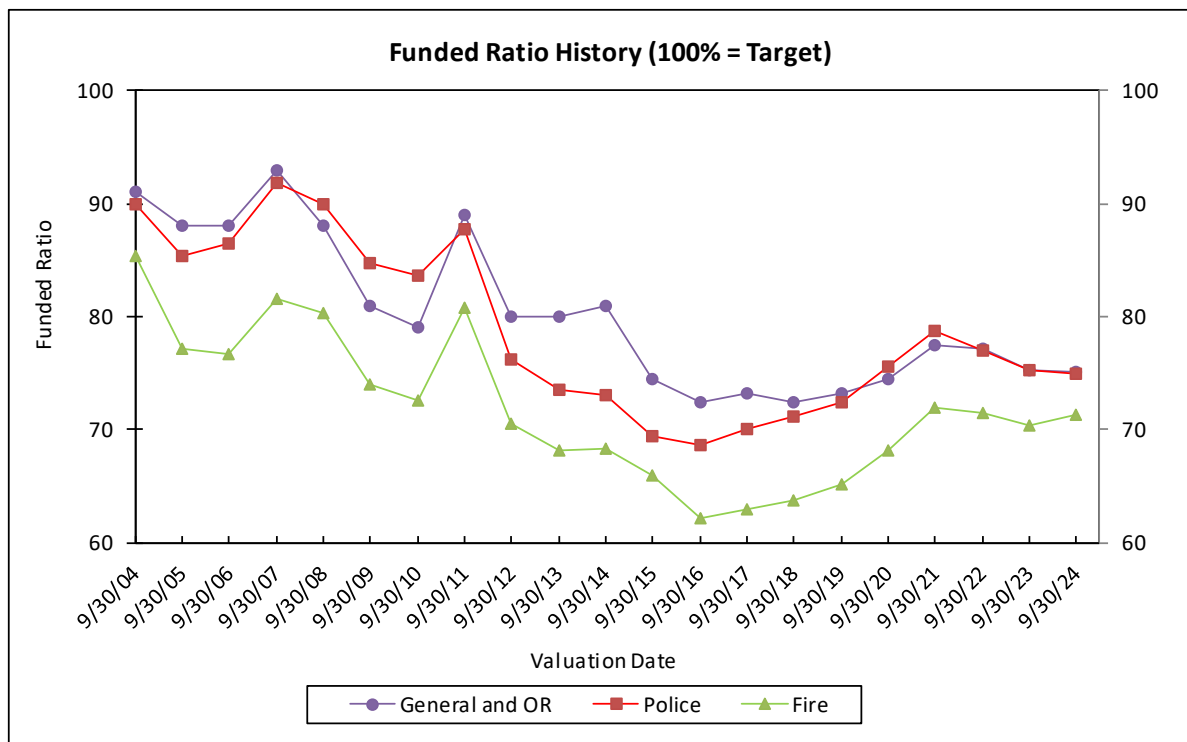
The basic funding objective of the Retirement System is to avoid transfer of the cost of benefit obligations between generations of taxpayers. This objective is implemented by contributions sufficient to:

- Pay for costs allocated to the current year on account of service rendered by active non-DROP participants in the current year (Normal Cost).
- Pay for costs, in excess of the Funding Value of Assets, allocated to prior years on account of service rendered by participants in prior years (Unfunded Actuarial Accrued Liability) over closed periods of 15 to 20 years.

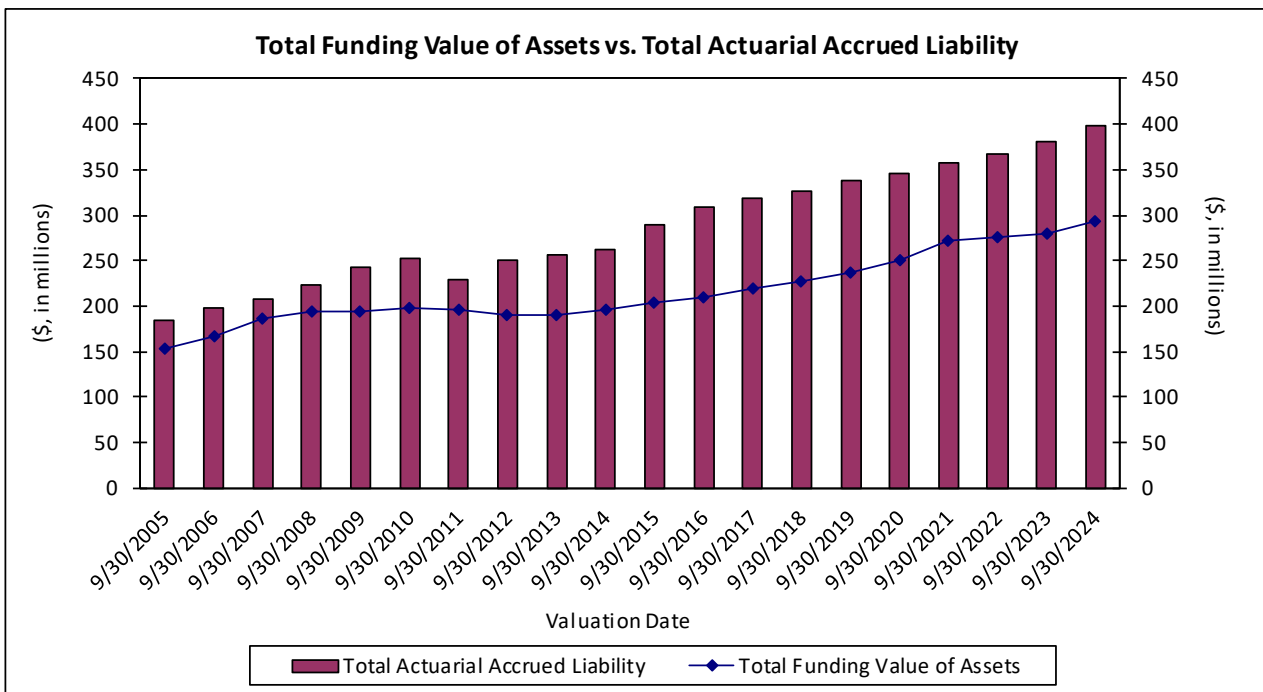
The annual actuarial valuation measures the relationship between Retirement System obligations and assets and determines the contribution rates for the ensuing year. The Retirement System is supported by member contributions, Town contributions, and investment income from Retirement System assets. The Town adopted a Funding Policy effective in 2017 to make extra payments in excess of the required employer contribution of \$5.42 million toward the unfunded actuarial liability each year until the plan becomes fully funded.

Funded Ratio

This year's combined overall funded ratio for the Town of Palm Beach Retirement System is 73.8% compared to 73.6% last year (from the April 30, 2024 Actuarial Impact Statement). The combined overall funded ratio would have been 75.5% this year prior to reflecting the assumption change. The funded ratios for each group are 75.1% for General and Ocean Rescue, 75.0% for Police Officers, and 71.3% for Firefighters, compared to 75.2%, 75.2%, and 70.3% respectively, last year. Prior to reflecting the assumption changes, the funded ratios this year would have been 76.8%, 76.7%, and 73.1%, respectively. The funded ratio is equal to the actuarial value of assets divided by the actuarial accrued (past service) liability.



The following is a historical comparison of the total funding value of assets versus the total actuarial accrued liability.



Analysis of Retirement Plan Costs

The components of the change in the required contribution as a percent of payroll are as follows:

	General and Ocean Rescue	Police Officers	Firefighters
Town Contribution Rate Last Year	36.43 %	83.12 %	80.76 %
Experience (Gains) or Losses	0.47	1.59	0.23
Revision in Assumptions/Methods	1.82	3.47	3.73
Release of Prepaid Reserve	0.00	0.00	0.00
Extra Town Contribution Towards UAAL	(1.25)	(2.85)	(3.27)
Amortization Payment on UAAL	(1.32)	(9.89)	(0.45)
Normal Cost Rate	0.19	0.49	0.26
Administrative Expense	0.11	(0.06)	0.33
Member Contribution	0.00	0.00	0.00
Contribution Rate This Year	36.45 %	75.87 %	81.59 %

The change in the amortization payment on the UAAL as a percentage of payroll is mainly attributable to a higher than expected covered payroll as compared to the prior year. The payroll increased from the prior year for General Employees (including Ocean Rescue) by 11.78%, for Police Officers by 26.11%, and for Firefighters by 5.28%. The UAAL amortization payments are calculated to remain level as a percentage of payroll with an assumed payroll growth rate of 2.75%. If covered payroll increases by more than 2.75%, the amortization payment as a percent of covered payroll decreases (and vice versa).

Variability of Future Contribution Rates

The Actuarial Cost Method used to determine the required contribution is intended to produce contribution rates which are generally level as a percent of payroll. Even so, when experience differs from the assumptions, as it often does, the employer’s contribution rate can vary significantly from year-to-year. Over time, if the year-to-year gains and losses offset each other, the contribution rate would be expected to return to the current level, but this does not always happen.

The total Market Value of Assets exceeds the total Actuarial Value of Assets by \$8,464,099 as of the valuation date (see Section C). This difference will be gradually recognized in the absence of offsetting losses, putting downward pressure on the contribution requirement. This is discussed in more detail in the next subsection.

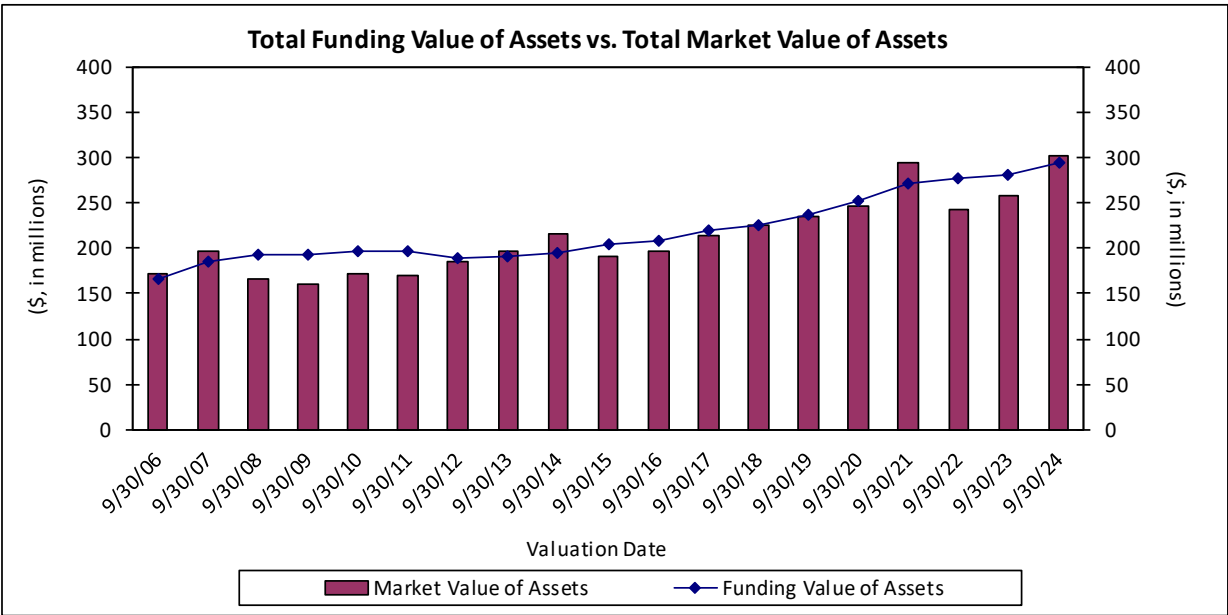
For a more detailed analysis of expected future contribution requirements, please refer to the 10-year forecast of valuation results, which is expected to be completed under a separate cover later this month.

Relationship to Market Value

If Market Value had been the basis for the valuation, the contribution rate and funded ratio would have been:

	Contribution Rate	Funded Ratio
General Employees and Ocean Rescue	34.57 %	77.5 %
Police Officers	72.49	77.2
<u>Firefighters</u>	<u>78.80</u>	<u>73.1</u>
Total	54.32	76.0

The overall funded ratio on the market value basis last year was 67.6%.



Reserve Account Transfer

The Retirement Ordinance requires reserve account transfers from the Employer Reserve Fund to the Retirement Reserve Fund which will establish a match between assets allocated to the Retirement Fund and liabilities associated with current retired lives. The balances in the Retirement Reserve Fund as of September 30, 2024 following the transfers should be as follows:

<u>Division</u>	<u>Retirement Reserve Fund*</u>
General	\$101,738,343
Ocean Rescue	7,011,867
Police Officers	103,320,756
Firefighters	103,057,185
	<u>\$315,128,151</u>

* Includes current DROP members

Conclusion

The funded ratio for this Plan was over 100% as of September 30, 2000, whereas it is currently 73.8% (76.0% based on the Market Value of Assets). The majority of the decline in the funded ratio is due to adverse investment experience since 10/1/2000. The average compound investment return on the Market Value of Assets from 10/1/2000 through 9/30/2024 was 5.2% versus an assumed rate of mostly 8.0% (7.5% to 6.2% in more recent years). Recent changes in assumptions (to the investment return assumption and the mortality rates) have also reduced the funded ratio.

Several steps have been taken to address the decline in funded status, such as extra Town contributions toward the UAAL, including planned annual \$5.42 million extra Town contributions starting in 2017 until the Plan becomes 100% funded, strengthening the actuarial assumptions, reductions in the current and future UAAL amortization periods to 15 or 20 years, and reductions in the payroll growth rate assumption. The investment return assumption has now reached the target level of 6.0%, so the recurring annual increases in the unfunded liability due to incrementally lowering the investment return assumption each year for the past several years will stop going forward. Some of these changes initially reduced the funded ratio, but they are expected to significantly strengthen the funded status of the Plan over the next 10 years.

The remainder of this Report includes detailed actuarial valuation results, information relating to the pension fund, financial accounting information, miscellaneous employee data and summaries of Plan provisions.



RISKS ASSOCIATED WITH THE MEASURING THE ACCRUED LIABILITY AND ACTUARIALLY DETERMINED CONTRIBUTION

The determination of the accrued liability and the actuarially determined contribution requires the use of assumptions regarding future economic and demographic experience. Risk measures, as illustrated in this report, are intended to aid in the understanding of the effects of future experience differing from the assumptions used in the course of the actuarial valuation. Risk measures may also help with illustrating the potential volatility in the accrued liability and the actuarially determined contribution that result from the differences between actual experience and the actuarial assumptions.

Future actuarial measurements may differ significantly from the current measurements presented in this report due to such factors as the following: plan experience differing from that anticipated by the economic or demographic assumptions; changes in economic or demographic assumptions due to changing conditions; increases or decreases expected as part of the natural operation of the methodology used for these measurements (such as the end of an amortization period, or additional cost or contribution requirements based on the Plan's funded status); and changes in plan provisions or applicable law. The scope of an actuarial valuation does not include an analysis of the potential range of such future measurements.

Examples of risk that may reasonably be anticipated to significantly affect the plan's future financial condition include:

1. Investment risk – actual investment returns may differ from the expected returns;
2. Contribution risk – actual contributions may differ from expected future contributions. For example, actual contributions may not be made in accordance with the plan's funding policy or material changes may occur in the anticipated number of covered employees, covered payroll, or other relevant contribution base;
3. Salary and Payroll risk – actual salaries and total payroll may differ from expected, resulting in actual future accrued liability and contributions differing from expected;
4. Longevity risk – members may live longer or shorter than expected and receive pensions for a period of time other than assumed; and
5. Other demographic risks – members may terminate, retire or become disabled at times or with benefits other than assumed resulting in actual future accrued liability and contributions differing from expected.

The effects of certain trends in experience can generally be anticipated. For example, if the investment return since the most recent actuarial valuation is less (or more) than the assumed rate, the cost of the plan can be expected to increase (or decrease). Likewise, if longevity is improving (or worsening), increases (or decreases) in cost can be anticipated.

The computed contribution rate shown on page 1 may be considered as a minimum contribution rate that complies with the Board's funding policy. The timely receipt of the actuarially determined contributions is critical to support the financial health of the plan. Users of this report should be aware that contributions made at the actuarially determined rate do not necessarily guarantee benefit security.



Plan Maturity Measures

Risks facing a pension plan evolve over time. A young plan with virtually no investments and paying few benefits may experience little investment risk. An older plan with a large number of members in pay status and a significant trust may be much more exposed to investment risk. Generally accepted plan maturity measures include the following:

	2024	2023#	2022
Ratio of the market value of assets to payroll	10.69	10.30	10.62
Ratio of actuarial accrued liability to payroll	14.07	15.23	16.05
Ratio of actives to retirees and beneficiaries	0.74	0.70	0.67
Ratio of net cash flow to market value of assets	(1.3%)	(2.5%)	(2.0%)

Reflects all Actuarial Impact Statements through April 30, 2024.

Ratio of Market Value of Assets to Payroll

The relationship between assets and payroll is a useful indicator of the potential volatility of contributions. For example, if the market value of assets is 2.0 times the payroll, a return on assets 5% different than assumed would equal 10% of payroll. A higher (lower) or increasing (decreasing) level of this maturity measure generally indicates a higher (lower) or increasing (decreasing) volatility in plan sponsor contributions as a percentage of payroll. We note that this ratio has been decreasing in recent years, mainly due to more active employees being hired and the Plan's covered payroll increasing year over year.

Ratio of Actuarial Accrued Liability to Payroll

The relationship between actuarial accrued liability and payroll is a useful indicator of the potential volatility of contributions for a fully funded plan. A funding policy that targets a funded ratio of 100% is expected to result in the ratio of assets to payroll and the ratio of liability to payroll converging over time.

The ratio of liability to payroll may also be used as a measure of sensitivity of the liability itself. For example, if the actuarial accrued liability is 2.5 times the payroll, a change in liability 2% other than assumed would equal 5% of payroll. A higher (lower) or increasing (decreasing) level of this maturity measure generally indicates a higher (lower) or increasing (decreasing) volatility in liability (and also plan sponsor contributions) as a percentage of payroll. We note that this ratio has been decreasing in recent years, mainly due to more active employees being hired and the Plan's covered payroll increasing year over year.

Ratio of Actives to Retirees and Beneficiaries

A young plan with many active members and few retirees will have a high ratio of active to retirees. A mature open plan may have close to the same number of actives to retirees resulting in a ratio near 1.0. A super-mature or closed plan may have significantly more retirees than actives resulting in a ratio below 1.0. This ratio for the Town of Palm Beach (0.74) is less than 1.0, indicating it is super-mature.

Ratio of Net Cash Flow to Market Value of Assets

A positive net cash flow means contributions exceed benefits and expenses. A negative cash flow means existing funds are being used to make payments. A certain amount of negative net cash flow is generally expected to occur when benefits are prefunded through a qualified trust. Large negative net cash flows as a percent of assets may indicate a super-mature plan or a need for additional contributions.



LOW-DEFAULT-RISK OBLIGATION MEASURE

Actuarial Standards of Practice No. 4 (ASOP No. 4) was revised and reissued in December 2021 by the Actuarial Standards Board (ASB). It includes a calculation called a low-default-risk obligation measure (LDRM) to be prepared and issued annually for defined benefit pension plans. The transmittal memorandum for ASOP No. 4 includes the following explanation:

“The ASB believes that the calculation and disclosure of this measure provides appropriate, useful information for the intended user regarding the funded status of a pension plan. The calculation and disclosure of this additional measure is not intended to suggest that this is the “right” liability measure for a pension plan. However, the ASB does believe that this additional disclosure provides a more complete assessment of a plan’s funded status and provides additional information regarding the security of benefits that members have earned as of the measurement date.”

The following information has been prepared in compliance with this requirement. Unless otherwise noted, the measurement date, actuarial cost methods, and assumptions used are the same as for the funding valuation covered in this actuarial valuation report.

A. Low-default-risk Obligation Measure of benefits earned as of the measurement date:

General Employees & Ocean Rescue	\$185,668,738
Police Officers	\$160,091,816
Firefighters	<u>\$175,457,319</u>
Total	\$521,217,873

- B. Discount rate used to calculate the LDRM: 3.81% based on Bond Buyer “20-Bond GO Index” as of September 26, 2024.
- C. Other significant assumptions that differ from those used for the funding valuation: None.
- D. Actuarial cost method used to calculate the LDRM: Entry Age Normal.
- E. Valuation procedures to value any significant plan provisions that are difficult to measure using traditional valuation procedures, and that differ from the procedures used in the funding valuation: None.
- F. Commentary to help the intended user understand the significance of the LDRM with respect to the funded status of the plan, plan contributions, and the security of participant benefits: The LDRM is a market-based measurement of the pension obligation. It estimates the amount the plan would need to invest in low default risk securities. This measure may not be appropriate for assessing the need for or amount of future contributions. This measure may not be appropriate for assessing the sufficiency of plan assets to cover the estimated cost of settling the plan’s benefit obligation.

The difference between the two measures (Valuation and LDRM) is one illustration of the savings the sponsor anticipates by taking on the risk in a diversified portfolio.



SECTION B

VALUATION RESULTS

SUMMARY OF VALUATION RESULTS		
	September 30, 2024	September 30, 2023#
GENERAL & OCEAN RESCUE		
Active Members	192	178
Terminated Vested Members	47	48
Retired Members	230	226
Total Members	469	452
Covered Payroll	\$ 14,691,412	\$ 13,142,864
Retired Member Annual Benefits	\$ 8,171,390	\$ 7,881,261
Market Value of Assets	\$ 110,954,630	\$ 94,358,494
Actuarial Value of Assets	\$ 107,584,411	\$ 102,616,966
Unfunded Actuarial Liability	\$ 35,607,429	\$ 33,866,365
Town Contribution Rate		
General	35.13%	34.94%
Ocean Rescue	190.41%	283.24%
Aggregate	36.45%	36.43%
Town Contribution - Illustrative \$	\$ 5,577,974	\$ 4,986,802
POLICE OFFICERS		
Active Members	69	59
Terminated Vested Members	17	21
Retired Members	109	108
Total Members	195	188
Covered Payroll	\$ 6,745,385	\$ 5,348,964
Retired Member Annual Benefits	\$ 7,053,681	\$ 6,843,184
Market Value of Assets	\$ 95,816,139	\$ 81,920,847
Actuarial Value of Assets	\$ 93,042,806	\$ 89,135,074
Unfunded Actuarial Liability	\$ 31,004,279	\$ 29,381,611
Town Contribution Rate	75.87%	83.12%
Town Contribution - Illustrative \$	\$ 5,330,273	\$ 4,630,712
FIREFIGHTERS		
Active Members	67	67
Terminated Vested Members	22	24
Retired Members	103	103
Total Members	192	194
Covered Payroll	\$ 6,854,224	\$ 6,510,371
Retired Member Annual Benefits	\$ 6,698,807	\$ 6,544,385
Market Value of Assets	\$ 95,696,396	\$ 81,123,247
Actuarial Value of Assets	\$ 93,375,849	\$ 88,353,792
Unfunded Actuarial Liability	\$ 37,523,511	\$ 37,389,928
Town Contribution Rate	81.59%	80.76%
Town Contribution - Illustrative \$	\$ 5,824,624	\$ 5,476,141

Reflects all Actuarial Impact Statements through April 30, 2024.



PARTICIPANT DATA						
	September 30, 2024					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
ACTIVE MEMBERS						
Number	328	189	3	192	69	67
Total Current Payroll	\$ 28,291,021	\$ 14,566,184	\$ 125,228	\$ 14,691,412	\$ 6,745,385	\$ 6,854,224
Average Annual Salary	\$ 86,253	\$ 77,070	\$ 41,743	\$ 76,518	\$ 97,759	\$ 102,302
Average Age	43.0	46.1	31.6	45.9	38.8	39.0
Average Past Service	8.1	8.0	0.6	7.9	7.0	9.6
Average Age at Hire	34.9	38.1	31.0	38.0	31.8	29.4
RETIREES, BENEFICIARIES & DROP						
Number	423	210	12	222	105	96
Annual Benefits	\$ 21,146,509	\$ 7,443,151	\$ 454,131	\$ 7,897,282	\$ 6,870,767	\$ 6,378,460
Average Annual Benefit	\$ 49,992	\$ 35,444	\$ 37,844	\$ 35,573	\$ 65,436	\$ 66,442
Average Age	68.9	71.0	67.2	70.8	67.1	66.4
DISABILITY RETIREES						
Number	19	8	0	8	4	7
Annual Benefits	\$ 777,369	\$ 274,108	\$ 0	\$ 274,108	\$ 182,914	\$ 320,347
Average Annual Benefit	\$ 40,914	\$ 34,264	\$ 0	\$ 34,264	\$ 45,729	\$ 45,764
Average Age	63.7	63.5	0.0	63.5	57.3	67.6
TERMINATED VESTED MEMBERS						
Number	86	44	3	47	17	22
Annual Benefits	\$ 1,229,393	\$ 699,733	\$ 25,427	\$ 725,160	\$ 231,370	\$ 272,863
Average Annual Benefit	\$ 14,295	\$ 15,903	\$ 8,476	\$ 15,429	\$ 13,610	\$ 12,403
Average Age	50.7	53.7	54.0	53.7	48.6	46.1



PARTICIPANT DATA - PRIOR VALUATION						
	September 30, 2023					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
ACTIVE MEMBERS						
Number	304	176	2	178	59	67
Total Current Payroll	\$ 25,002,199	\$ 13,063,995	\$ 78,869	\$ 13,142,864	\$ 5,348,964	\$ 6,510,371
Average Annual Salary	\$ 82,244	\$ 74,227	\$ 39,435	\$ 73,836	\$ 90,660	\$ 97,170
Average Age	43.4	46.6	32.0	46.4	39.4	38.8
Average Past Service	8.4	8.5	1.0	8.4	7.4	9.3
Average Age at Hire	35.0	38.1	31.0	38.0	32.0	29.5
RETIREES, BENEFICIARIES & DROP						
Number	418	206	12	218	104	96
Annual Benefits	\$ 20,477,242	\$ 7,138,131	\$ 445,912	\$ 7,584,043	\$ 6,663,210	\$ 6,229,989
Average Annual Benefit	\$ 48,989	\$ 34,651	\$ 37,159	\$ 34,789	\$ 64,069	\$ 64,896
Average Age	68.4	70.5	66.2	70.3	67.0	65.9
DISABILITY RETIREES						
Number	19	8	0	8	4	7
Annual Benefits	\$ 791,588	\$ 297,218	\$ 0	\$ 297,218	\$ 179,974	\$ 314,396
Average Annual Benefit	\$ 41,663	\$ 37,152	\$ 0	\$ 37,152	\$ 44,994	\$ 44,914
Average Age	63.7	64.9	0.0	64.9	56.3	66.6
TERMINATED VESTED MEMBERS						
Number	93	45	3	48	21	24
Annual Benefits	\$ 1,276,871	\$ 644,441	\$ 25,427	\$ 669,868	\$ 300,139	\$ 306,864
Average Annual Benefit	\$ 13,730	\$ 14,321	\$ 8,476	\$ 13,956	\$ 14,292	\$ 12,786
Average Age	50.4	53.6	53.0	53.6	48.5	45.7



ACTUARIALLY DETERMINED CONTRIBUTION (ADC) - AFTER ASSUMPTION CHANGE						
A. Valuation Date	September 30, 2024					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
B. ADC to Be Paid During Fiscal Year Ending	9/30/2026	9/30/2026	9/30/2026	9/30/2026	9/30/2026	9/30/2026
C. Covered Annual Payroll (expected)	\$ 29,466,004	\$ 15,171,147	\$ 130,429	\$ 15,301,576	\$ 7,025,534	\$ 7,138,894
D. Annual Payment to Amortize Unfunded Actuarial Liability Rate As Illustrative \$	38.77 % 11,422,611	22.08 % 3,349,789	177.07 % 230,951	23.40 % 3,580,740	52.45 % 3,684,893	58.23 % 4,156,978
E. Total Employer Normal Cost Rate As Illustrative \$	18.02 % 5,310,260	13.05 % 1,979,835	13.34 % 17,399	13.05 % 1,997,234	23.42 % 1,645,380	23.36 % 1,667,646
F. Total Unadjusted Contribution Rate Employer Normal Cost Amortization Total	18.02 % 38.77 56.79	13.05 % 22.08 35.13	13.34 % 177.07 190.41	13.05 % 23.40 36.45	23.42 % 52.45 75.87	23.36 % 58.23 81.59
G. Adjustments to Computed Contribution						
a. Town funding for additional premium tax revenue shortfall in prior fiscal year	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %
b. Member Cost Sharing	0.00	0.00	0.00	0.00	0.00	0.00
c. Full funding credit	0.00	0.00	0.00	0.00	0.00	0.00
d. Total Adjustments As Illustrative \$	0.00 0	0.00 0	0.00 0	0.00 0	0.00 0	0.00 0
H. Total Adjusted ADC as % of Covered Payroll	56.79 %	35.13 %	190.41 %	36.45 %	75.87 %	81.59 %
I. Total Adjusted ADC as Illustrative \$	\$ 16,732,871	\$ 5,329,624	\$ 248,350	\$ 5,577,974	\$ 5,330,273	\$ 5,824,624
J. Total Adjusted ADC if contributed October 1 st	\$ 16,252,401	\$ 5,176,588	\$ 241,219	\$ 5,417,807	\$ 5,177,219	\$ 5,657,375

FS 112.64 requires that Town contributions be deposited not less frequently than quarterly. Member contributions, which are in addition to the Public contributions, must be deposited immediately after each pay period.



ACTUARIALLY DETERMINED CONTRIBUTION (ADC) - BEFORE ASSUMPTION CHANGE						
A. Valuation Date	September 30, 2024					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
B. ADC to Be Paid During Fiscal Year Ending	9/30/2026	9/30/2026	9/30/2026	9/30/2026	9/30/2026	9/30/2026
C. Covered Annual Payroll (expected)	\$ 29,466,004	\$ 15,171,147	\$ 130,429	\$ 15,301,576	\$ 7,025,534	\$ 7,138,894
D. Annual Payment to Amortize Unfunded Actuarial Liability Rate	37.03 %	20.95 %	171.55 %	22.23 %	50.20 %	55.77 %
As Illustrative \$	10,910,285	3,178,355	223,751	3,402,106	3,526,818	3,981,361
E. Total Employer Normal Cost Rate	17.09 %	12.40 %	12.59 %	12.40 %	22.20 %	22.09 %
As Illustrative \$	5,034,294	1,881,222	16,421	1,897,643	1,559,669	1,576,982
F. Total Unadjusted Contribution Rate						
Employer Normal Cost	17.09 %	12.40 %	12.59 %	12.40 %	22.20 %	22.09 %
Amortization	37.03	20.95	171.55	22.23	50.20	55.77
Total	54.12	33.35	184.14	34.63	72.40	77.86
G. Adjustments to Computed Contribution						
a. Town funding for additional premium tax revenue shortfall in prior fiscal year	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %
b. Member Cost Sharing	0.00	0.00	0.00	0.00	0.00	0.00
c. Full funding credit	0.00	0.00	0.00	0.00	0.00	0.00
d. Total Adjustments	0.00	0.00	0.00	0.00	0.00	0.00
As Illustrative \$	0	0	0	0	0	0
H. Total Adjusted ADC as % of Covered Payroll	54.12 %	33.35 %	184.14 %	34.63 %	72.40 %	77.86 %
I. Total Adjusted ADC as Illustrative \$	\$ 15,944,579	\$ 5,059,577	\$ 240,172	\$ 5,299,749	\$ 5,086,487	\$ 5,558,343



ACTUARIALLY DETERMINED CONTRIBUTION (ADC) - PRIOR VALUATION						
A. Valuation Date	September 30, 2023#					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
B. ADC to Be Paid During Fiscal Year Ending	9/30/2025	9/30/2025	9/30/2025	9/30/2025	9/30/2025	9/30/2025
C. Covered Annual Payroll (expected)	\$ 26,040,591	\$ 13,606,569	\$ 82,145	\$ 13,688,714	\$ 5,571,117	\$ 6,780,760
D. Annual Payment to Amortize Unfunded Actuarial Liability Rate As Illustrative \$	41.34 % 10,766,289	22.84 % 3,107,740	270.73 % 222,391	24.33 % 3,330,131	61.35 % 3,417,880	59.26 % 4,018,278
E. Total Employer Normal Cost Rate As Illustrative \$	16.62 % 4,327,366	12.10 % 1,646,395	12.51 % 10,276	12.10 % 1,656,671	21.77 % 1,212,832	21.50 % 1,457,863
F. Total Unadjusted Contribution Rate						
Employer Normal Cost	16.62 %	12.10 %	12.51 %	12.10 %	21.77 %	21.50 %
Amortization	41.34	22.84	270.73	24.33	61.35	59.26
Total	57.96	34.94	283.24	36.43	83.12	80.76
G. Adjustments to Computed Contribution						
a. Town funding for additional premium tax revenue shortfall in prior fiscal year	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %	0.00 %
b. Member Cost Sharing	0.00	0.00	0.00	0.00	0.00	0.00
c. Full funding credit	0.00	0.00	0.00	0.00	0.00	0.00
d. Total Adjustments	0.00	0.00	0.00	0.00	0.00	0.00
As Illustrative \$	0	0	0	0	0	0
H. Total Adjusted ADC as % of Covered Payroll	57.96 %	34.94 %	283.24 %	36.43 %	83.12 %	80.76 %
I. Total Adjusted ADC as Illustrative \$	\$ 15,093,655	\$ 4,754,135	\$ 232,667	\$ 4,986,802	\$ 4,630,712	\$ 5,476,141
J. Total Adjusted ADC if contributed October 1 st	\$ 14,660,253	\$ 4,617,624	\$ 225,986	\$ 4,843,610	\$ 4,497,745	\$ 5,318,898

Reflects all Actuarial Impact Statements through April 30, 2024.



ACTUARIAL VALUE OF BENEFITS AND ASSETS - AFTER ASSUMPTION CHANGE						
A. Valuation Date	September 30, 2024					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
B. Actuarial Present Value of All Projected Benefits for						
1. Active Members						
a. Service Retirement Benefits	\$ 120,289,924	\$ 43,548,738	\$ 123,486	\$ 43,672,224	\$ 34,781,258	\$ 41,836,442
b. Vesting Benefits	5,647,439	2,309,309	35,434	2,344,743	1,548,296	1,754,400
c. Disability Benefits	5,538,637	2,594,166	29,754	2,623,920	1,331,206	1,583,511
d. Preretirement Death Benefits	2,155,897	924,183	10,012	934,195	547,619	674,083
e. Return of Member Contributions	512,975	169,870	3,860	173,730	215,315	123,930
f. Total	134,144,872	49,546,266	202,546	49,748,812	38,423,694	45,972,366
2. Inactive Members						
a. Retired Members & Beneficiaries	307,691,631	100,303,299	6,131,639	106,434,938	100,340,581	100,916,112
b. Terminated Vested Members	14,794,061	7,661,416	341,789	8,003,205	3,218,873	3,571,983
c. DROP and Share Account Balances	7,436,520	1,435,044	880,228	2,315,272	2,980,175	2,141,073
d. Total	329,922,212	109,399,759	7,353,656	116,753,415	106,539,629	106,629,168
3. Total for All Members	464,067,084	158,946,025	7,556,202	166,502,227	144,963,323	152,601,534
C. Actuarial Present Value of Future Normal Costs	65,928,799	23,124,005	186,382	23,310,387	20,916,238	21,702,174
D. Actuarial Accrued (Past Service) Liability	398,138,285	135,822,020	7,369,820	143,191,840	124,047,085	130,899,360
E. Actuarial Value of Accumulated Plan Benefits per FASB No. 35	376,934,448	126,977,155	7,374,010	134,351,165	118,400,098	124,183,185
F. Plan Assets						
1. Market Value	302,467,165	105,516,836	5,437,794	110,954,630	95,816,139	95,696,396
2. Actuarial Value	294,003,066	102,311,789	5,272,622	107,584,411	93,042,806	93,375,849
G. Unfunded Actuarial Accrued Liability	104,135,219	33,510,231	2,097,198	35,607,429	31,004,279	37,523,511
H. Funded Ratio (F2 ÷ D)	73.8 %	75.3 %	71.5 %	75.1 %	75.0 %	71.3 %
I. Actuarial Present Value of Projected Covered Payroll	289,795,198	148,819,816	1,207,085	150,026,901	68,884,773	70,883,524
J. Actuarial Present Value of Projected Member Contributions	17,131,248	5,208,694	42,248	5,250,942	5,855,206	6,025,100
K. Accumulated Value of Active Member Contributions	12,601,823	4,635,211	2,710	4,637,921	3,212,073	4,751,829



ACTUARIAL VALUE OF BENEFITS AND ASSETS - BEFORE ASSUMPTION CHANGE

A. Valuation Date	September 30, 2024					
	<i>Total</i>	<i>General and Ocean Rescue</i>			<i>Police Officers</i>	<i>Firefighters</i>
		<i>General</i>	<i>Ocean Rescue</i>	<i>Subtotal</i>		
B. Actuarial Present Value of All Projected Benefits for						
1. Active Members						
a. Service Retirement Benefits	\$ 114,850,655	\$ 41,544,018	\$ 114,685	\$ 41,658,703	\$ 33,178,255	\$ 40,013,697
b. Vesting Benefits	5,321,127	2,173,672	32,871	2,206,543	1,457,780	1,656,804
c. Disability Benefits	5,331,074	2,495,070	28,253	2,523,323	1,281,035	1,526,716
d. Preretirement Death Benefits	2,064,553	882,511	9,497	892,008	525,271	647,274
e. Return of Member Contributions	510,256	169,026	3,843	172,869	214,101	123,286
f. Total	128,077,665	47,264,297	189,149	47,453,446	36,656,442	43,967,777
2. Inactive Members						
a. Retired Members & Beneficiaries	301,364,555	98,434,041	6,007,416	104,441,457	98,232,523	98,690,575
b. Terminated Vested Members	14,315,686	7,417,483	331,798	7,749,281	3,125,731	3,440,674
c. DROP and Share Account Balances	7,436,520	1,435,044	880,228	2,315,272	2,980,175	2,141,073
d. Total	323,116,761	107,286,568	7,219,442	114,506,010	104,338,429	104,272,322
3. Total for All Members	451,194,426	154,550,865	7,408,591	161,959,456	140,994,871	148,240,099
C. Actuarial Present Value of Future Normal Costs	62,005,823	21,672,886	173,555	21,846,441	19,703,301	20,456,081
D. Actuarial Accrued (Past Service) Liability	389,188,603	132,877,979	7,235,036	140,113,015	121,291,570	127,784,018
E. Actuarial Value of Accumulated Plan Benefits per FASB No. 35	368,585,295	124,290,810	7,239,022	131,529,832	115,804,871	121,250,592
F. Plan Assets						
1. Market Value	302,467,165	105,516,836	5,437,794	110,954,630	95,816,139	95,696,396
2. Actuarial Value	294,003,066	102,311,789	5,272,622	107,584,411	93,042,806	93,375,849
G. Unfunded Actuarial Accrued Liability	95,185,537	30,566,190	1,962,414	32,528,604	28,248,764	34,408,169
H. Funded Ratio (F2 ÷ D)	75.5 %	77.0 %	72.9 %	76.8 %	76.7 %	73.1 %
I. Actuarial Present Value of Projected Covered Payroll	285,177,352	146,269,277	1,181,819	147,451,096	67,854,156	69,872,100
J. Actuarial Present Value of Projected Member Contributions	16,867,521	5,119,425	41,364	5,160,789	5,767,603	5,939,129
K. Accumulated Value of Active Member Contributions	12,601,823	4,635,211	2,710	4,637,921	3,212,073	4,751,829



ACTUARIAL VALUE OF BENEFITS AND ASSETS - PRIOR VALUATION						
A. Valuation Date	September 30, 2023#					
	Total	General and Ocean Rescue			Police Officers	Firefighters
		General	Ocean Rescue	Subtotal		
B. Actuarial Present Value of All Projected Benefits for						
1. Active Members						
a. Service Retirement Benefits	\$ 103,268,000	\$ 39,043,213	\$ 75,053	\$ 39,118,266	\$ 26,541,877	\$ 37,607,857
b. Vesting Benefits	4,574,354	1,895,929	22,105	1,918,034	1,120,476	1,535,844
c. Disability Benefits	4,645,841	2,219,830	19,080	2,238,910	997,446	1,409,485
d. Preretirement Death Benefits	1,821,608	790,254	6,277	796,531	414,454	610,623
e. Return of Member Contributions	433,886	147,138	2,665	149,803	148,950	135,133
f. Total	114,743,689	44,096,364	125,180	44,221,544	29,223,203	41,298,942
2. Inactive Members						
a. Retired Members & Beneficiaries	296,299,655	96,521,297	6,028,516	102,549,813	96,657,215	97,092,627
b. Terminated Vested Members	14,900,953	6,694,798	311,665	7,006,463	4,108,278	3,786,212
c. DROP and Share Account Balances	8,377,443	1,123,310	816,684	1,939,994	3,466,326	2,971,123
d. Total	319,578,051	104,339,405	7,156,865	111,496,270	104,231,819	103,849,962
3. Total for All Members	434,321,740	148,435,769	7,282,045	155,717,814	133,455,022	145,148,904
C. Actuarial Present Value of Future Normal Costs	53,578,004	19,121,319	113,164	19,234,483	14,938,337	19,405,184
D. Actuarial Accrued (Past Service) Liability	380,743,736	129,314,450	7,168,881	136,483,331	118,516,685	125,743,720
E. Actuarial Value of Accumulated Plan Benefits per FASB No. 35	362,538,215	121,376,956	7,169,603	128,546,559	114,086,670	119,904,986
F. Plan Assets						
1. Market Value	257,402,588	89,684,486	4,674,008	94,358,494	81,920,847	81,123,247
2. Actuarial Value	280,105,832	97,533,878	5,083,088	102,616,966	89,135,074	88,353,792
G. Unfunded Actuarial Accrued Liability	100,637,904	31,780,572	2,085,793	33,866,365	29,381,611	37,389,928
H. Funded Ratio (F2 ÷ D)	73.6 %	75.4 %	70.9 %	75.2 %	75.2 %	70.3 %
I. Actuarial Present Value of Projected Covered Payroll	250,923,558	131,031,935	786,089	131,818,024	52,229,134	66,876,400
J. Actuarial Present Value of Projected Member Contributions	14,737,602	4,586,118	27,513	4,613,631	4,439,477	5,684,494
K. Accumulated Value of Active Member Contributions	11,842,808	4,715,607	2,516	4,718,123	2,796,126	4,328,559

Reflects all Actuarial Impact Statements through April 30, 2024.



CALCULATION OF EMPLOYER NORMAL COST - AFTER ASSUMPTION CHANGE

A. Valuation Date	September 30, 2024									
	Total	<i>General and Ocean Rescue</i>						<i>Police Officers</i>		<i>Firefighters</i>
		<i>General</i>		<i>Ocean Rescue</i>		<i>Subtotal</i>				
B. Normal Cost for										
1. Service Retirement Benefits	\$ 5,215,789	\$ 1,801,583	12.53%	\$ 11,260	9.38%	\$ 1,812,843	12.50%	\$ 1,685,905	25.17%	\$ 1,717,041 25.11%
2. Vesting Benefits	337,981	137,260	0.95%	3,226	2.69%	140,486	0.97%	93,038	1.39%	104,457 1.53%
3. Disability Benefits	371,900	148,501	1.04%	2,845	2.37%	151,346	1.04%	107,939	1.61%	112,615 1.65%
4. Preretirement Death Benefits	148,186	49,926	0.35%	982	0.82%	50,908	0.36%	46,889	0.70%	50,389 0.74%
5. Return of Member Contributions	160,779	65,027	0.45%	422	0.35%	65,449	0.45%	50,578	0.75%	44,752 0.65%
6. Total for Future Benefits	6,234,635	2,202,297	15.32%	18,735	15.61%	2,221,032	15.32%	1,984,349	29.62%	2,029,254 29.68%
7. Assumed Amount for Administrative Expenses	481,484	176,874	1.23%	1,476	1.23%	178,350	1.23%	154,086	2.30%	149,048 2.18%
8. Total Normal Cost	6,716,119	2,379,171	16.55%	20,211	16.84%	2,399,382	16.55%	2,138,435	31.92%	2,178,302 31.86%
C. Expected Member Contribution	1,658,096	503,299	3.50%	4,200	3.50%	507,499	3.50%	569,447	8.50%	581,150 8.50%
D. Employer Normal Cost: B8-C	5,058,023	1,875,872	13.05%	16,011	13.34%	1,891,883	13.05%	1,568,988	23.42%	1,597,152 23.36%
E. Employer Normal Cost as a % of Covered Payroll	18.02%	13.05%		13.34%		13.05%		23.42%		23.36%



CALCULATION OF EMPLOYER NORMAL COST - BEFORE ASSUMPTION CHANGE

A. Valuation Date	September 30, 2024										
	Total	General and Ocean Rescue						Police Officers		Firefighters	
		General		Ocean Rescue		Subtotal					
B. Normal Cost for											
1. Service Retirement Benefits	\$ 4,984,534	\$ 1,721,454	11.97%	\$ 10,654	8.88%	\$ 1,732,108	11.95%	\$ 1,612,801	24.07%	\$ 1,639,625	23.98%
2. Vesting Benefits	321,247	130,521	0.91%	3,052	2.54%	133,573	0.92%	88,357	1.32%	99,317	1.45%
3. Disability Benefits	361,703	144,188	1.00%	2,754	2.29%	146,942	1.00%	105,184	1.57%	109,577	1.60%
4. Preretirement Death Benefits	143,328	47,953	0.33%	950	0.79%	48,903	0.34%	45,537	0.68%	48,888	0.72%
5. Return of Member Contributions	162,526	65,764	0.46%	428	0.36%	66,192	0.46%	51,055	0.76%	45,279	0.66%
6. Total for Future Benefits	5,973,338	2,109,880	14.67%	17,838	14.86%	2,127,718	14.67%	1,902,934	28.40%	1,942,686	28.41%
7. Assumed Amount for Administrative Expenses	481,498	176,879	1.23%	1,477	1.23%	178,356	1.23%	154,090	2.30%	149,052	2.18%
8. Total Normal Cost	6,454,836	2,286,759	15.90%	19,315	16.09%	2,306,074	15.90%	2,057,024	30.70%	2,091,738	30.59%
C. Expected Member Contribution	1,658,149	503,316	3.50%	4,200	3.50%	507,516	3.50%	569,466	8.50%	581,167	8.50%
D. Employer Normal Cost: B8-C	4,796,687	1,783,443	12.40%	15,115	12.59%	1,798,558	12.40%	1,487,558	22.20%	1,510,571	22.09%
E. Employer Normal Cost as a % of Covered Payroll	17.09%	12.40%		12.59%		12.40%		22.20%		22.09%	

CALCULATION OF EMPLOYER NORMAL COST - PRIOR VALUATION									
A. Valuation Date		September 30, 2023#							
		General and Ocean Rescue							
B. Normal Cost for		Total	General	Ocean Rescue	Subtotal	Police Officers		Firefighters	
1. Service Retirement Benefits	\$ 4,315,704	\$ 1,514,741 11.78%	\$ 6,686 8.81%	\$ 1,521,427 11.76%	\$ 1,248,010 23.61%	\$ 1,546,267 23.74%			
2. Vesting Benefits	279,526	116,937 0.91%	1,896 2.50%	118,833 0.92%	67,217 1.27%	93,476 1.44%			
3. Disability Benefits	316,998	128,665 1.00%	1,809 2.38%	130,474 1.01%	83,099 1.57%	103,425 1.59%			
4. Preretirement Death Benefits	125,785	42,784 0.34%	617 0.81%	43,401 0.34%	36,408 0.69%	45,976 0.70%			
5. Return of Member Contributions	143,092	58,020 0.45%	293 0.39%	58,313 0.45%	40,811 0.77%	43,968 0.68%			
6. Total for Future Benefits	5,181,105	1,861,147 14.48%	11,301 14.89%	1,872,448 14.48%	1,475,545 27.91%	1,833,112 28.15%			
7. Assumed Amount for Administrative Expenses	390,092	143,992 1.12%	850 1.12%	144,842 1.12%	124,758 2.36%	120,492 1.85%			
8. Total Normal Cost	5,571,197	2,005,139 15.60%	12,151 16.01%	2,017,290 15.60%	1,600,303 30.27%	1,953,604 30.00%			
C. Expected Member Contribution	1,455,585	449,976 3.50%	2,657 3.50%	452,633 3.50%	449,342 8.50%	553,610 8.50%			
D. Employer Normal Cost: B8-C	4,115,612	1,555,163 12.10%	9,494 12.51%	1,564,657 12.10%	1,150,961 21.77%	1,399,994 21.50%			
E. Employer Normal Cost as a % of Covered Payroll	16.62%	12.10%	12.51%	12.10%	21.77%	21.50%			

Reflects all Actuarial Impact Statements through April 30, 2024.



ACTUARIAL BALANCE SHEET						
A. Valuation Date	September 30, 2024					
	Total	<i>General and Ocean Rescue</i>			<i>Police Officers</i>	<i>Firefighters</i>
		<i>General</i>	<i>Ocean Rescue</i>	<i>Subtotal</i>		
B. Present Resources and Expected Future Resources						
1. Funding Value of System Assets:						
a. Net assets from System financial statements (market value)	\$ 302,467,165	\$ 105,516,836	\$ 5,437,794	\$ 110,954,630	\$ 95,816,139	\$ 95,696,396
b. Funding value adjustment	(8,464,099)	(3,205,047)	(165,172)	(3,370,219)	(2,773,333)	(2,320,547)
c. Funding value of assets	294,003,066	102,311,789	5,272,622	107,584,411	93,042,806	93,375,849
2. Actuarial Present Value of Expected Future Employer Contributions						
a. For normal costs	48,797,551	17,915,311	144,134	18,059,445	15,061,032	15,677,074
b. For Unfunded Actuarial Accrued Liability (UAAL)	104,135,219	33,510,231	2,097,198	35,607,429	31,004,279	37,523,511
c. Total	152,932,770	51,425,542	2,241,332	53,666,874	46,065,311	53,200,585
3. Actuarial Present Value of Expected Future Member Contributions	17,131,248	5,208,694	42,248	5,250,942	5,855,206	6,025,100
4. Total Present and Expected Future Resources	464,067,084	158,946,025	7,556,202	166,502,227	144,963,323	152,601,534
C. Actuarial Present Value of Expected Future Benefit Payments and Reserves						
1. To Retirants, Beneficiaries and DROP members	315,128,151	101,738,343	7,011,867	108,750,210	103,320,756	103,057,185
2. To Vested Terminated Members	14,794,061	7,661,416	341,789	8,003,205	3,218,873	3,571,983
3. To Present Active Members:						
a. Allocated to service rendered prior to valuation date	68,216,073	26,422,261	16,164	26,438,425	17,507,456	24,270,192
b. Allocated to service likely to be rendered after valuation date	65,928,799	23,124,005	186,382	23,310,387	20,916,238	21,702,174
c. Total	134,144,872	49,546,266	202,546	49,748,812	38,423,694	45,972,366
4. Reserve for Employer Contributions	0	0	0	0	0	0
5. Total Actuarial Present Value of Expected Future Benefit Payments	464,067,084	158,946,025	7,556,202	166,502,227	144,963,323	152,601,534



LIQUIDATION OF THE UNFUNDED ACTUARIAL ACCRUED LIABILITY

UAAL AMORTIZATION PERIOD AND PAYMENTS - GENERAL										
Original UAAL				Current UAAL						
Date Established	Type of Amortization Base	Amortization Period (Years)	Initial Amount	Amount	Years Remaining	Contributions		Years Remaining	Contributions - Before Changes	
						Dollars	Percent-of-Payroll		Dollars	Percent-of-Payroll
9/30/2010	(Gain)/Loss Experience	30	\$ 1,295,349	\$ 749,502	8	\$ 105,842	0.72 %	8	\$ 106,608	0.72 %
9/30/2010	Benefit Changes	30	(4,737,059)	(2,740,908)	8	(387,060)	(2.62)	8	(389,864)	(2.64)
9/30/2010	Assumption/Method Changes	30	(1,756,913)	(1,213,079)	13	(113,472)	(0.77)	13	(114,774)	(0.78)
9/30/2011	Initial Unfunded	21		7,441,657	8	1,050,880	7.12	8	1,058,494	7.17
9/30/2011	(Gain)/Loss Experience	30	(4,007,514)	(2,288,078)	8	(323,113)	(2.19)	8	(325,454)	(2.20)
9/30/2011	Assumption/Method Changes	30	(112,399)	(76,581)	13	(7,163)	(0.05)	13	(7,246)	(0.05)
9/30/2012	(Gain)/Loss Experience	30	4,290,077	2,518,438	8	355,643	2.41	8	358,220	2.43
9/30/2012	Assumption/Method Changes	30	4,353,476	3,049,689	13	285,270	1.93	13	288,543	1.95
9/30/2013	(Gain)/Loss Experience	30	(896,488)	(520,393)	8	(73,488)	(0.50)	8	(74,020)	(0.50)
9/30/2013	Benefit Changes	30	75,660	43,920	8	6,202	0.04	8	6,247	0.04
9/30/2014	(Gain)/Loss Experience	30	(78,156)	(44,803)	8	(6,327)	(0.04)	8	(6,373)	(0.04)
9/30/2014	Benefit Changes	30	39,795	22,814	8	3,222	0.02	8	3,245	0.02
9/30/2015	(Gain)/Loss Experience	30	2,702,752	1,528,288	8	215,818	1.46	8	217,382	1.47
9/30/2015	Assumption/Method Changes	30	6,295,183	4,247,768	13	397,339	2.69	13	401,898	2.72
9/30/2016	(Gain)/Loss Experience	30	36,561	20,365	8	2,876	0.02	8	2,897	0.02
9/30/2016	Assumption/Method Changes	30	2,507,487	1,666,798	13	155,914	1.06	13	157,702	1.07
9/30/2016	Benefit Changes	30	1,546,937	861,716	8	121,688	0.82	8	122,570	0.83
9/30/2017	(Gain)/Loss Experience	30	214,778	117,978	8	16,660	0.11	8	16,781	0.11
9/30/2017	Assumption/Method Changes	25	1,192,069	781,386	13	73,091	0.50	13	73,930	0.50
9/30/2018	(Gain)/Loss Experience	25	2,052,840	1,176,253	9	149,863	1.01	9	151,079	1.02
9/30/2018	Assumption/Method Changes	20	1,220,072	812,826	14	71,631	0.49	14	72,512	0.49
9/30/2019	(Gain)/Loss Experience	15	1,050,804	673,082	10	78,331	0.53	10	79,033	0.54
9/30/2019	Assumption/Method Changes	20	2,154,796	829,626	15	69,228	0.47	15	70,134	0.47
9/30/2020	(Gain)/Loss Experience	15	199,122	140,581	11	15,094	0.10	11	15,242	0.10
9/30/2020	Assumption/Method Changes	20	1,705,842	1,311,073	16	104,044	0.70	16	105,489	0.71
9/30/2021	(Gain)/Loss Experience	15	(2,816,286)	(2,214,892)	12	(221,203)	(1.50)	12	(223,558)	(1.51)
9/30/2021	Assumption/Method Changes	20	2,584,128	2,155,972	17	163,338	1.11	17	165,737	1.12
9/30/2022	(Gain)/Loss Experience	15	950,037	832,542	13	77,877	0.53	13	78,770	0.53
9/30/2022	Assumption/Method Changes	20	2,658,082	2,416,707	18	175,387	1.19	18	178,099	1.21
9/30/2023	(Gain)/Loss Experience	15	1,643,785	1,559,379	14	137,422	0.93	14	139,111	0.94
9/30/2023	Assumption/Method Changes	20	2,761,598	2,665,265	19	185,844	1.26	19	188,861	1.28
9/30/2023	Benefit Changes	15	1,344,662	1,275,616	14	112,415	0.76	14	113,797	0.77
9/30/2024	(Gain)/Loss Experience	15	765,683	765,683	15	63,892	0.43	15	64,729	0.44
9/30/2024	Assumption/Method Changes	20	2,944,041	2,944,041	20	197,768	1.34	N/A	N/A	N/A
				\$ 33,510,231		\$ 3,260,753	22.08 %		\$ 3,095,821	20.95 %



UAAAL AMORTIZATION PERIOD AND PAYMENTS - OCEAN RESCUE										
Original UAAAL				Current UAAAL						
Date Established	Type of Amortization Base	Amortization Period (Years)	Initial Amount	Amount	Contributions			Contributions Before Changes		
					Years Remaining	Dollars	Percent-of- Payroll	Years Remaining	Dollars	Percent-of- Payroll
9/30/2010	(Gain)/Loss Experience	30	\$ 72,569	\$ 40,912	8	\$ 5,777	4.55 %	8	\$ 5,819	4.58 %
9/30/2010	Benefit Changes	30	(224,972)	(126,825)	8	(17,910)	(14.11)	8	(18,039)	(14.21)
9/30/2010	Assumption/Method Changes	30	(47,583)	(32,009)	13	(2,994)	(2.36)	13	(3,028)	(2.39)
9/30/2011	Initial Unfunded	20		425,942	7	67,722	53.35	7	68,153	53.69
9/30/2011	(Gain)/Loss Experience	30	125,711	69,868	8	9,866	7.77	8	9,938	7.83
9/30/2011	Assumption/Method Changes	30	65,059	41,793	13	3,909	3.08	13	3,954	3.11
9/30/2012	(Gain)/Loss Experience	30	291,267	159,825	8	22,570	17.78	8	22,733	17.91
9/30/2012	Assumption/Method Changes	30	248,155	162,492	13	15,200	11.97	13	15,374	12.11
9/30/2013	(Gain)/Loss Experience	30	25,398	13,782	8	1,946	1.53	8	1,960	1.54
9/30/2014	(Gain)/Loss Experience	30	(19,591)	(10,498)	8	(1,482)	(1.17)	8	(1,493)	(1.18)
9/30/2014	Benefit Changes	30	1,650	884	8	125	0.10	8	126	0.10
9/30/2015	(Gain)/Loss Experience	30	105,415	55,717	8	7,868	6.20	8	7,925	6.24
9/30/2015	Assumption/Method Changes	30	181,090	114,220	13	10,684	8.42	13	10,807	8.51
9/30/2016	(Gain)/Loss Experience	30	(14,661)	(7,634)	8	(1,078)	(0.85)	8	(1,086)	(0.86)
9/30/2016	Assumption/Method Changes	30	169,649	105,412	13	9,860	7.77	13	9,973	7.86
9/30/2016	Benefit Changes	30	22,856	11,901	8	1,681	1.32	8	1,693	1.33
9/30/2017	(Gain)/Loss Experience	30	94,273	48,405	8	6,836	5.39	8	6,885	5.42
9/30/2017	Assumption/Method Changes	25	64,431	39,477	13	3,693	2.91	13	3,735	2.94
9/30/2018	(Gain)/Loss Experience	25	88,247	47,266	9	6,022	4.74	9	6,071	4.78
9/30/2018	Assumption/Method Changes	20	65,418	40,739	14	3,590	2.83	14	3,634	2.86
9/30/2019	(Gain)/Loss Experience	15	25,118	15,071	10	1,754	1.38	10	1,770	1.39
9/30/2019	Assumption/Method Changes	20	72,170	35,056	15	2,925	2.30	15	2,964	2.33
9/30/2020	(Gain)/Loss Experience	15	(22,399)	(14,977)	11	(1,608)	(1.27)	11	(1,624)	(1.28)
9/30/2020	Assumption/Method Changes	20	(24,777)	(18,037)	16	(1,431)	(1.13)	16	(1,451)	(1.14)
9/30/2021	(Gain)/Loss Experience	15	(74,354)	(57,057)	12	(5,698)	(4.49)	12	(5,759)	(4.54)
9/30/2021	Assumption/Method Changes	20	126,124	102,673	17	7,779	6.13	17	7,893	6.22
9/30/2022	(Gain)/Loss Experience	15	212,577	181,965	13	17,021	13.41	13	17,216	13.56
9/30/2022	Assumption/Method Changes	20	129,016	114,578	18	8,315	6.55	18	8,444	6.65
9/30/2023	(Gain)/Loss Experience	15	231,415	215,720	14	19,011	14.98	14	19,244	15.16
9/30/2023	Assumption/Method Changes	20	132,569	125,723	19	8,766	6.91	19	8,909	7.02
9/30/2023	Benefit Changes	15	1,916	1,786	14	157	0.12	14	159	0.13
9/30/2024	(Gain)/Loss Experience	15	58,244	58,244	15	4,860	3.83	15	4,924	3.88
9/30/2024	Assumption/Method Changes	20	134,784	134,784	20	9,054	7.13	N/A	N/A	N/A
				\$ 2,097,198		\$ 224,790	177.07 %		\$ 217,823	171.55 %



UAAL AMORTIZATION PERIOD AND PAYMENTS - POLICE OFFICERS										
Original UAAL				Current UAAL						
Date Established	Type of Amortization Base	Amortization Period (Years)	Initial Amount	Amount	Contributions			Contributions Before Changes		
					Years Remaining	Dollars	Percent-of- Payroll	Years Remaining	Dollars	Percent-of- Payroll
9/30/2010	(Gain)/Loss Experience	30	\$ 876,056	\$ 521,888	8	\$ 73,699	1.08 %	8	\$ 74,233	1.09 %
9/30/2010	Benefit Changes	30	(4,060,736)	(2,419,082)	8	(341,613)	(5.00)	8	(344,088)	(5.03)
9/30/2010	Assumption/Method Changes	30	(611,648)	(434,811)	13	(40,673)	(0.59)	13	(41,139)	(0.60)
9/30/2011	Initial Unfunded	15		1,503,090	2	775,191	11.34	2	776,639	11.36
9/30/2011	(Gain)/Loss Experience	30	420,131	246,750	8	34,845	0.51	8	35,097	0.51
9/30/2011	Assumption/Method Changes	30	380,899	266,953	13	24,971	0.37	13	25,257	0.37
9/30/2012	(Gain)/Loss Experience	30	6,094,095	3,533,740	8	499,020	7.30	8	502,636	7.35
9/30/2012	Assumption/Method Changes	30	4,351,987	3,011,383	13	281,687	4.12	13	284,919	4.17
9/30/2013	(Gain)/Loss Experience	30	2,357,290	1,351,635	8	190,872	2.79	8	192,255	2.81
9/30/2014	(Gain)/Loss Experience	30	1,005,437	569,331	8	80,399	1.18	8	80,981	1.18
9/30/2014	Benefit Changes	30	86,796	49,148	8	6,940	0.10	8	6,991	0.10
9/30/2015	(Gain)/Loss Experience	30	2,602,412	1,453,564	8	205,266	3.00	8	206,754	3.02
9/30/2015	Assumption/Method Changes	30	1,813,280	1,208,582	13	113,052	1.65	13	114,349	1.67
9/30/2015	Benefit Changes	30	895,408	500,127	8	70,626	1.03	8	71,138	1.04
9/30/2016	(Gain)/Loss Experience	30	(648,599)	(356,884)	8	(50,398)	(0.74)	8	(50,763)	(0.74)
9/30/2016	Assumption/Method Changes	30	3,121,743	2,049,749	13	191,735	2.80	13	193,935	2.84
9/30/2017	(Gain)/Loss Experience	30	341,109	185,082	8	26,137	0.38	8	26,326	0.39
9/30/2017	Assumption/Method Changes	25	1,115,795	722,448	13	67,578	0.99	13	68,354	1.00
9/30/2018	(Gain)/Loss Experience	25	772,455	437,197	9	55,702	0.81	9	56,154	0.82
9/30/2018	Assumption/Method Changes	20	1,138,140	748,974	14	66,004	0.97	14	66,815	0.98
9/30/2019	(Gain)/Loss Experience	15	1,480,298	939,769	10	109,367	1.60	10	110,348	1.61
9/30/2019	Assumption/Method Changes	20	1,274,470	491,553	15	41,017	0.60	15	41,555	0.61
9/30/2020	(Gain)/Loss Experience	15	(410,323)	(286,834)	11	(30,796)	(0.45)	11	(31,098)	(0.45)
9/30/2020	Assumption/Method Changes	20	(265,183)	(201,806)	16	(16,015)	(0.23)	16	(16,237)	(0.24)
9/30/2021	(Gain)/Loss Experience	15	(1,512,871)	(1,192,715)	12	(119,117)	(1.74)	12	(120,385)	(1.76)
9/30/2021	Assumption/Method Changes	20	1,880,876	1,573,071	17	119,177	1.74	17	120,927	1.77
9/30/2022	(Gain)/Loss Experience	15	3,356,245	2,947,924	13	275,751	4.03	13	278,914	4.08
9/30/2022	Assumption/Method Changes	20	2,472,333	2,252,991	18	163,505	2.39	18	166,034	2.43
9/30/2023	(Gain)/Loss Experience	15	2,900,684	2,746,458	14	242,035	3.54	14	245,010	3.58
9/30/2023	Assumption/Method Changes	20	2,589,912	2,494,771	19	173,956	2.54	19	176,780	2.59
9/30/2023	Benefit Changes	15	51,838	49,082	14	4,325	0.06	14	4,379	0.06
9/30/2024	(Gain)/Loss Experience	15	1,285,636	1,285,636	15	107,279	1.57	15	108,684	1.59
9/30/2024	Assumption/Method Changes	20	2,755,515	<u>2,755,515</u>	20	<u>185,104</u>	<u>2.71</u>	N/A	<u>N/A</u>	<u>N/A</u>
				\$ 31,004,279		\$ 3,586,628	52.45 %		\$ 3,431,754	50.20 %



UAAL AMORTIZATION PERIOD AND PAYMENTS - FIREFIGHTERS										
Original UAAL				Current UAAL						
Date Established	Type of Amortization Base	Amortization Period (Years)	Initial Amount	Amount	Contributions			Contributions Before Changes		
					Years Remaining	Dollars	Percent-of- Payroll	Years Remaining	Dollars	Percent-of- Payroll
9/30/2010	(Gain)/Loss Experience	30	\$ 1,384,923	\$ 827,467	8	\$ 116,851	1.68 %	8	\$ 117,698	1.69 %
9/30/2010	Benefit Changes	30	(7,020,622)	(4,194,698)	8	(592,358)	(8.53)	8	(596,650)	(8.59)
9/30/2010	Assumption/Method Changes	30	(740,005)	(527,611)	13	(49,353)	(0.71)	13	(49,919)	(0.72)
9/30/2011	Initial Unfunded	20		8,515,940	7	1,353,970	19.49	7	1,362,598	19.61
9/30/2011	(Gain)/Loss Experience	30	(1,134,442)	(668,243)	8	(94,366)	(1.36)	8	(95,050)	(1.37)
9/30/2011	Assumption/Method Changes	30	187,849	133,290	13	12,468	0.18	13	12,611	0.18
9/30/2012	(Gain)/Loss Experience	30	5,221,198	3,036,511	8	428,803	6.17	8	431,911	6.22
9/30/2012	Assumption/Method Changes	30	4,423,594	3,069,963	13	287,167	4.13	13	290,461	4.18
9/30/2013	(Gain)/Loss Experience	30	2,023,014	1,163,388	8	164,289	2.36	8	165,479	2.38
9/30/2014	(Gain)/Loss Experience	30	189,191	107,446	8	15,173	0.22	8	15,283	0.22
9/30/2014	Benefit Changes	30	35,743	20,300	8	2,867	0.04	8	2,887	0.04
9/30/2015	(Gain)/Loss Experience	30	2,384,452	1,335,753	8	188,629	2.71	8	189,996	2.73
9/30/2015	Assumption/Method Changes	30	2,334,926	1,560,860	13	146,004	2.10	13	147,679	2.13
9/30/2015	Benefit Changes	30	418,585	234,488	8	33,113	0.48	8	33,353	0.48
9/30/2016	(Gain)/Loss Experience	30	3,276,066	1,807,932	8	255,309	3.67	8	257,159	3.70
9/30/2016	Assumption/Method Changes	30	3,173,987	2,090,200	13	195,519	2.81	13	197,762	2.85
9/30/2016	Benefit Changes	30	864,098	476,862	8	67,340	0.97	8	67,828	0.98
9/30/2017	(Gain)/Loss Experience	30	619,551	337,152	8	47,611	0.69	8	47,956	0.69
9/30/2017	Assumption/Method Changes	25	1,178,871	765,541	13	71,609	1.03	13	72,431	1.04
9/30/2018	(Gain)/Loss Experience	25	1,375,254	780,668	9	99,463	1.43	9	100,270	1.44
9/30/2018	Assumption/Method Changes	20	1,215,749	802,406	14	70,713	1.02	14	71,582	1.03
9/30/2019	(Gain)/Loss Experience	15	1,583,331	1,003,144	10	116,743	1.68	10	117,789	1.70
9/30/2019	Assumption/Method Changes	20	1,726,400	869,650	15	72,567	1.04	15	73,518	1.06
9/30/2020	(Gain)/Loss Experience	15	(4,723)	(3,289)	11	(353)	(0.01)	11	(357)	(0.01)
9/30/2020	Assumption/Method Changes	20	116,887	88,618	16	7,033	0.10	16	7,130	0.10
9/30/2021	(Gain)/Loss Experience	15	(2,312,996)	(1,788,763)	12	(178,645)	(2.57)	12	(180,547)	(2.60)
9/30/2021	Assumption/Method Changes	20	2,625,025	2,153,598	17	163,159	2.35	17	165,554	2.38
9/30/2022	(Gain)/Loss Experience	15	2,385,808	2,053,713	13	192,106	2.76	13	194,310	2.80
9/30/2022	Assumption/Method Changes	20	2,768,243	2,472,285	18	179,420	2.58	18	182,195	2.62
9/30/2023	(Gain)/Loss Experience	15	2,205,379	2,062,898	14	181,796	2.62	14	184,030	2.65
9/30/2023	Assumption/Method Changes	20	2,930,031	2,788,302	19	194,423	2.80	19	197,579	2.84
9/30/2023	Benefit Changes	15	903,659	845,277	14	74,491	1.07	14	75,407	1.09
9/30/2024	(Gain)/Loss Experience	15	187,121	187,121	15	15,614	0.22	15	15,819	0.23
9/30/2024	Assumption/Method Changes	20	3,115,342	3,115,342	20	209,276	3.01	N/A	N/A	N/A
				\$ 37,523,511		\$ 4,048,451	58.23 %		\$ 3,875,752	55.77 %



Amortization Schedule

The UAAL is being amortized as a level percent of pay over the number of years remaining in each amortization period. The following schedule illustrates the expected amortization of the UAAL*:

Amortization Schedule					
Year	Expected UAAL				
	Total	General	Ocean Rescue	Police Officers	Firefighters
2024	\$ 104,135,219	\$ 33,510,231	\$ 2,097,198	\$ 31,004,279	\$ 37,523,511
2025	98,777,086	32,117,572	1,988,440	29,121,173	35,549,901
2026	92,776,911	30,547,513	1,866,643	27,021,979	33,340,776
2027	86,946,921	28,788,302	1,731,011	25,546,095	30,881,513
2028	80,448,904	26,823,267	1,580,329	23,895,249	28,150,059
2029	73,241,720	24,639,594	1,413,672	22,058,644	25,129,810
2034	37,789,962	12,980,675	681,926	11,796,593	12,330,768
2039	11,086,635	3,809,543	168,806	3,296,936	3,811,350
2044	0	0	0	0	0

* This is a state-required schedule which shows how the UAAL is expected to be written down based on the amortization schedule as of the valuation date (assuming only the minimum required ADEC is contributed each year). This schedule does not reflect the Town's policy to make extra payments of \$5.42 million per year in excess of the ADEC until full funding is reached.

ACTUARIAL GAINS AND LOSSES

The assumptions used to anticipate mortality, employment turnover, investment income, expenses, salary increases, and other factors have been based on long range trends and expectations. Actual experience can vary from these expectations. The variance is measured by the gain and loss for the period involved. If significant long-term experience reveals consistent deviation from what has been expected and that deviation is expected to continue, the assumptions should be modified. The net actuarial gain (loss) for the past year is computed as follows:

	Total	General	Ocean Rescue	Police Officers	Firefighters
1. UAAL at start of year	\$ 100,637,904	\$ 31,780,572	\$ 2,085,793	\$ 29,381,611	\$ 37,389,928
2. Employer Normal Cost for Year	4,720,302	1,762,508	15,666	1,468,470	1,473,658
3. Employer Contributions toward ADEC (BOY)	12,650,878	3,819,225	202,223	3,928,198	4,701,232
4. Extra Town Contributions Towards UAAL at the End of the Year:					
a. For Release of Remaining Prepaid Reserve	0	0	0	0	0
b. Additional per Funding Policy	5,420,000	1,711,589	112,333	1,582,389	2,013,689
5. Interest at the Assumed Rate $0.062 \times [(1) + 1/2 \times (2) - (3) - (4a)]$	5,601,525	1,788,241	117,267	1,623,634	2,072,383
6. Expected UAAL Before Changes Revision: $1 + 2 - 3 - 4a - 4b + 5$	92,888,853	29,800,507	1,904,170	26,963,128	34,221,048
7. Change in UAAL Due to Plan Amendments and/or Changes in Actuarial Assumptions	8,949,682	2,944,041	134,784	2,755,515	3,115,342
8. This Year's Expected UAAL (after changes):	101,838,535	32,744,548	2,038,954	29,718,643	37,336,390
9. This Year's Actual UAAL (after changes):	104,135,219	33,510,231	2,097,198	31,004,279	37,523,511
10. Net Actuarial Gain/(Loss):	(2,296,684)	(765,683)	(58,244)	(1,285,636)	(187,121)
11. Gain/(Loss) Due to Investments:	285,755	195,496	10,075	118,609	(38,425)
12. Gain/(Loss) Due to Other Sources:	(2,582,439)	(961,179)	(68,319)	(1,404,245)	(148,696)



The annual experience (gains)/losses in previous years have been as follows:

Year Ending	Experience (Gain) / Loss				
	Total	General	Ocean Rescue	Police Officers	Firefighters
9/30/2007	\$ (9,435,772)	\$ (3,267,590)	\$ (180,537)	\$ (2,937,297)	\$ (3,050,348)
9/30/2008	7,552,522	4,355,167	258,699	2,074,882	863,774
9/30/2009	16,157,482	6,350,288	393,013	4,392,377	5,021,804
9/30/2010	3,628,897	1,295,349	72,569	876,056	1,384,923
9/30/2011	(4,596,114)	(4,007,514)	125,711	420,131	(1,134,442)
9/30/2012	15,896,637	4,290,077	291,267	6,094,095	5,221,198
9/30/2013	3,509,214	(896,488)	25,398	2,357,290	2,023,014
9/30/2014	1,096,881	(78,156)	(19,591)	1,005,437	189,191
9/30/2015	7,795,031	2,702,752	105,415	2,602,412	2,384,452
9/30/2016	2,649,367	36,561	(14,661)	(648,599)	3,276,066
9/30/2017	1,269,711	214,778	94,273	341,109	619,551
9/30/2018	4,288,796	2,052,840	88,247	772,455	1,375,254
9/30/2019	4,139,551	1,050,804	25,118	1,480,298	1,583,331
9/30/2020	(238,323)	199,122	(22,399)	(410,323)	(4,723)
9/30/2021	(6,716,507)	(2,816,286)	(74,354)	(1,512,871)	(2,312,996)
9/30/2022	6,904,667	950,037	212,577	3,356,245	2,385,808
9/30/2023	6,981,263	1,643,785	231,415	2,900,684	2,205,379
9/30/2024	2,296,684	765,683	58,244	1,285,636	187,121

The fund earnings and salary increase assumptions have considerable impact on the cost of the plan so it is important that they are in line with the actual experience. The following tables show the actual fund earnings and salary increase rates compared to the assumed rates for the last few years:

Year Ending	Investment Return			
	Actual Actuarial Rate of Return			Assumed
	General and <u>Ocean Rescue</u>	Police <u>Officers</u>	<u>Firefighters</u>	
9/30/2004	4.9 %	4.8 %	4.8 %	8.00 %
9/30/2005	5.9	5.5	5.4	8.00
9/30/2006	8.3	8.4	8.4	8.00
9/30/2007	11.2	11.5	11.3	8.00
9/30/2008	1.9	6.0	5.3	8.00
9/30/2009	(1.2)	3.9	1.5	8.00
9/30/2010	2.9	3.2	3.0	8.00
9/30/2011	1.7	1.6	1.3	8.00
9/30/2012	1.9	0.9	0.9	7.50
9/30/2013	7.7	5.1	5.7	7.50
9/30/2014	8.5	7.1	7.2	7.50
9/30/2015	6.2	5.3	5.2	7.50
9/30/2016	7.5	6.7	6.8	7.50
9/30/2017	6.7	6.7	6.6	7.40
9/30/2018	5.7	5.8	5.7	7.30
9/30/2019	5.1	5.1	5.1	7.20
9/30/2020	6.8	6.7	6.7	7.10
9/30/2021	9.3	9.2	9.1	6.80
9/30/2022	3.7	3.7	3.6	6.60
9/30/2023	3.8	3.8	3.7	6.40
9/30/2024	6.4	6.3	6.2	6.20
Average	5.4 %	5.6 %	5.4 %	

Period Ending	Salary Increases							
	General		Ocean Rescue		Police Officers		Firefighters	
	Actual*	Assumed	Actual*	Assumed	Actual*	Assumed	Actual*	Assumed
9/30/2004	7.9 %	7.1 %	5.8 %	7.6 %	8.2 %	7.7 %	15.2 %	7.8 %
9/30/2005	10.0	7.0	12.7	7.5	6.6	7.7	15.2	7.8
9/30/2006	6.0	7.0	5.7	7.4	11.0	7.7	10.8	7.7
9/30/2007	6.8	7.0	5.1	7.6	(0.7)	7.7	3.0	7.7
9/30/2008	6.3	7.0	5.5	7.6	11.6	7.6	6.5	7.7
9/30/2009	5.6	7.0	9.4	7.7	16.4	7.7	16.1	7.7
9/30/2010	1.1	6.9	1.5	7.7	1.1	7.6	3.1	7.7
9/30/2011	1.0	7.0	2.1	7.5	0.8	6.7	0.4	6.8
9/30/2012	0.6	4.9	(2.1)	5.4	1.9	6.6	(5.7)	6.7
9/30/2013	(1.8)	5.0	(0.4)	5.3	(12.6)	5.6	(6.2)	5.6
9/30/2014	3.4	5.0	3.5	5.2	4.0	5.5	3.0	5.8
9/30/2015	3.4	5.0	2.0	5.1	4.9	5.6	4.5	6.0
9/30/2016	9.0 #	3.5	7.6 #	3.5	10.0 #	3.5	7.0 #	3.5
9/30/2017	0.6 #	3.5	2.5 #	3.5	2.2 #	3.5	2.5 #	3.5
9/30/2018	4.3	3.5	3.4	3.5	5.9	3.5	10.0	3.5
9/30/2019	4.9	3.5	2.3	3.5	7.2	3.5	6.0	3.5
9/30/2020	6.8	5.5	N/A	5.5	9.9	6.0	9.3	6.0
9/30/2021	4.9	5.5	N/A	5.5	6.0	6.0	6.6	6.0
9/30/2022	6.3	5.5	N/A	5.5	10.2	6.0	9.9	6.0
9/30/2023	6.0	5.5	3.8	5.5	8.1	6.0	7.5	6.0
9/30/2024	7.6	5.5	4.6	5.5	13.8	6.0	7.6	6.0
Average	4.8 %	5.6 %	4.1 %	5.8 %	5.8 %	6.1 %	6.1 %	6.1 %

*Based on members who were active throughout the year.

Salaries for the year ended 9/30/2016 included 27 pay periods rather than the standard 26. Salaries for the year ended 9/30/2017 included 26 pay periods, so the true annualized salary increases for the year ended 9/30/2017 are understated.

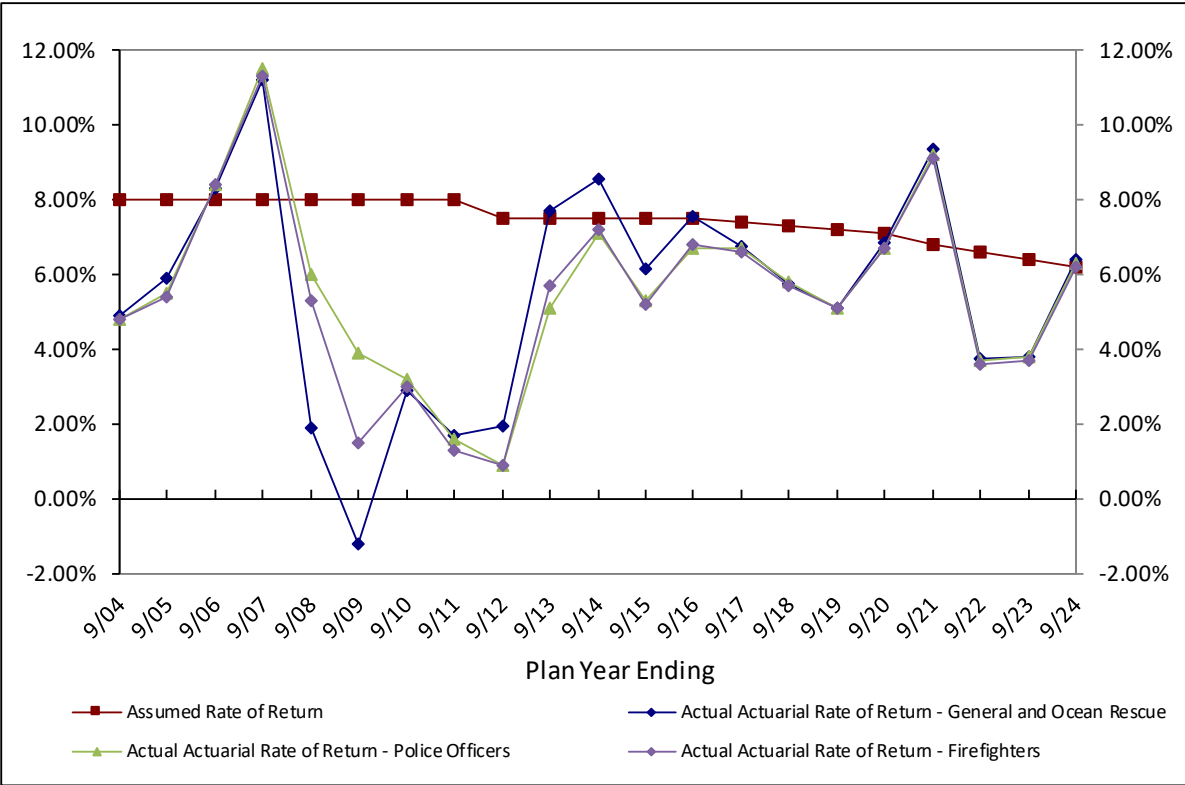
The actual investment return rates shown on the previous page are based on the actuarial value of assets. These returns differ from the returns on the market value of assets due to the smoothing of investment gains and losses over a five-year period. Please see page 66 for a full comparison of market value versus actuarial value (funding) rates of return. The actual salary increase rates shown above are the increases received by those active members who were included in the actuarial valuations both at the beginning and end of each period.

A schedule of recent total payroll change experience, as measured by gross pay, follows:

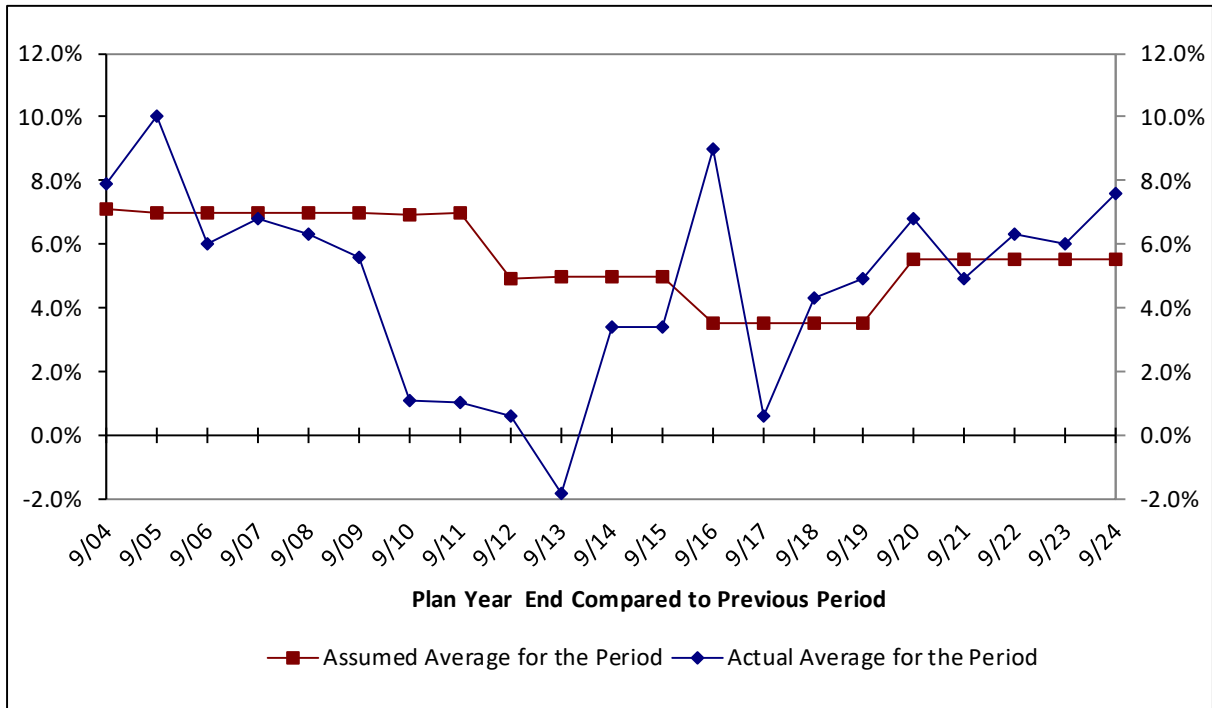
		Year Ended September 30					Average
		2024	2023	2022	2021	2020	10-Year#
% Change in Total Payroll							
	General	11.5	11.6	12.4	2.6	2.1	4.0 %
	Ocean Rescue	58.8	(5.6)	N/A	N/A	(100.0)	(4.9)
	Police Officers	26.1	6.4	12.2	9.1	(2.9)	7.2
	Firefighters	5.3	7.5	7.8	7.9	17.0	7.3

With the adoption of new economic assumptions, consultation with the Town on its budgeted payroll projections, and the Town’s policy of contributing on a projected dollar basis using 2.75% wage inflation, this report uses 2.75% inflation for purposes of compliance with F.S. 112.64(5).

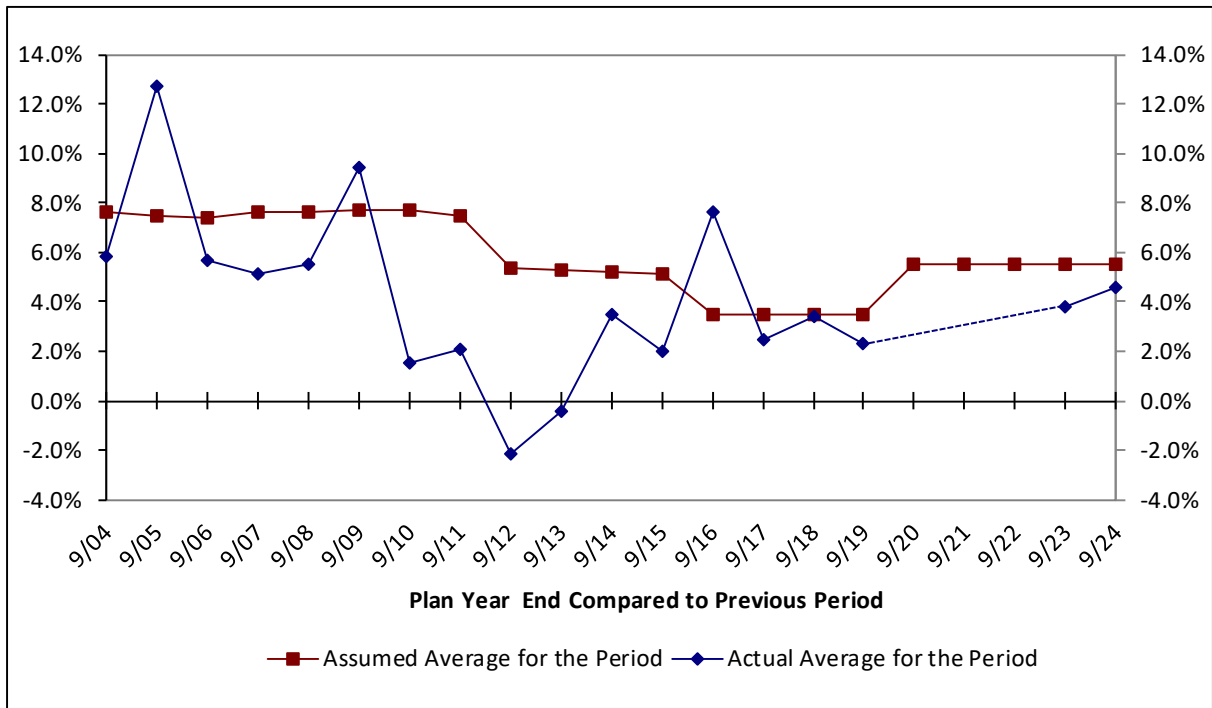
History of Investment Return
Based on Total Actuarial Value of Assets



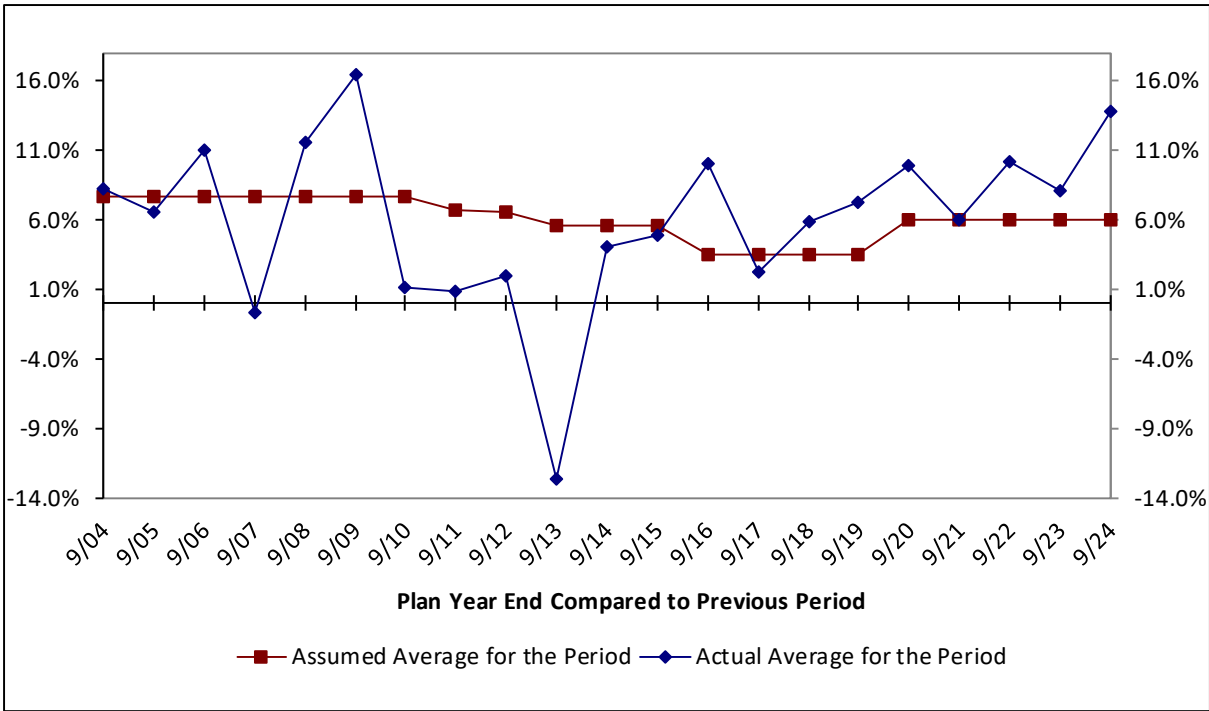
History of Salary Increases – General



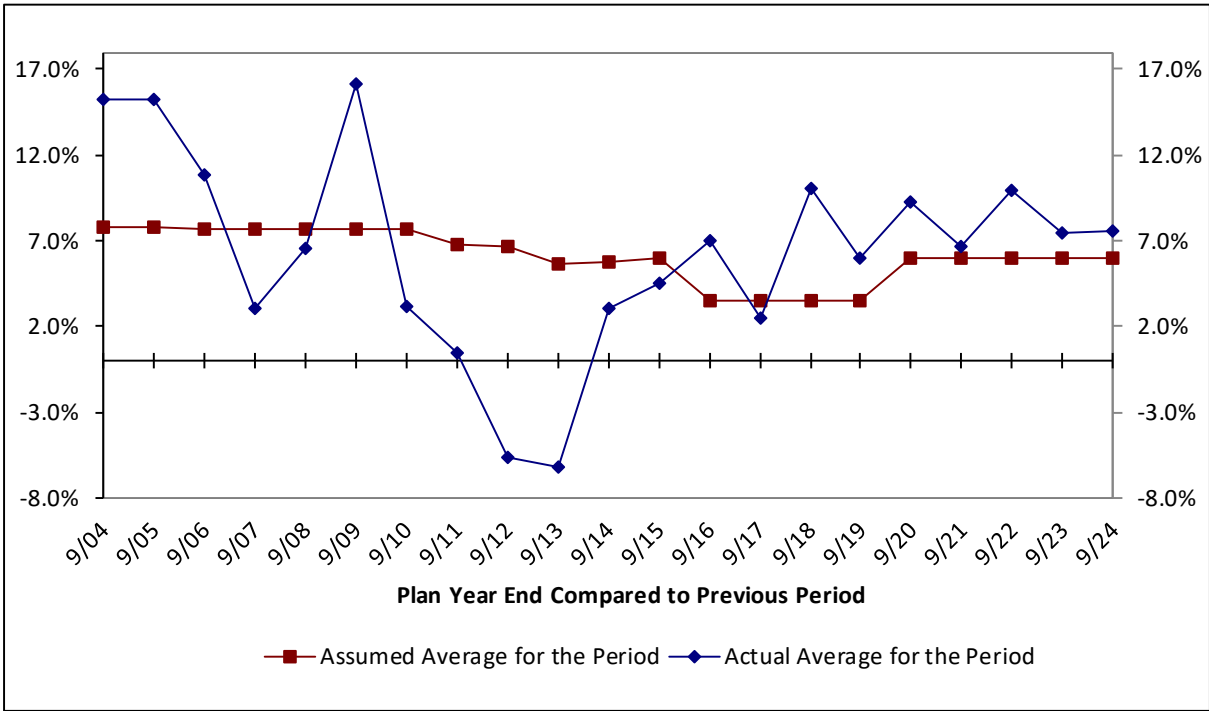
History of Salary Increases – Ocean Rescue



History of Salary Increases – Police Officers



History of Salary Increases – Firefighters



**Number Added To and Removed from Active Participation
Actual (A) Compared to Expected (E)**

General

Year Ended	Number Added During Year		Service & DROP Retirement		Disability Retirement		Died In Service		Terminations				Active Members
	A	E	A	E	A	E	A	E	Vested	Other	Totals		End of Year
									A	A	A	E	
9/30/2006	20	14	2	6	0	0	0	0	*	*	12	16	216
9/30/2007	16	18	9	7	0	0	1	0	*	*	8	15	214
9/30/2008	9	21	13	8	0	0	0	0	1	7	8	14	202
9/30/2009	17	16	9	6	0	0	0	0	2	5	7	12	203
9/30/2010	6	34	14	7	1	0	0	0	2	17	19	12	175
9/30/2011	7	18	10	6	1	0	0	0	1	6	7	7	164
9/30/2012	8	21	18	20	0	1	0	0	3	0	3	6	151
9/30/2013	17	12	9	11	1	1	0	0	2	0	2	7	156
9/30/2014	18	12	4	12	0	1	0	0	4	4	8	10	162
9/30/2015	17	20	11	20	0	1	0	0	0	9	9	12	159
9/30/2016	24	18	7	10	0	1	1	0	3	7	10	12	165
9/30/2017	24	15	5	5	0	1	0	0	3	7	10	13	174
9/30/2018	14	24	10	6	0	1	1	0	2	11	13	15	164
9/30/2019	8	20	4	5	0	0	0	0	2	14	16	11	152
9/30/2020	22	25	6	4	0	0	0	0	4	15	19	10	149
9/30/2021	23	21	6	5	0	0	1	0	3	11	14	12	151
9/30/2022	30	15	3	5	0	0	0	0	1	11	12	14	166
9/30/2023	25	15	2	6	0	0	1	0	4	8	12	17	176
9/30/2024	35	22	5	8	1	1	0	0	1	15	16	18	189
19-Yr Total	340	361	147	157	4	8	5	0	38	147	205	233	

*Breakdown between vested and other terminations was not determined for year ended 9/30/2006 and 9/30/2007.

Ocean Rescue

Two Years Ended	Number Added During Year		Service & DROP Retirement		Disability Retirement		Died In Service		Terminations				Active Members
	A	E	A	E	A	E	A	E	Vested	Other	Totals		End of Year
									A	A	A	E	
9/30/2006	0	0	0	1	0	0	0	0	0	0	0	0	9
9/30/2007	1	2	2	1	0	0	0	0	0	0	0	0	8
9/30/2008	0	1	1	1	0	0	0	0	0	0	0	0	7
9/30/2009	2	0	0	0	0	0	0	0	0	0	0	0	9
9/30/2010	0	2	1	0	0	0	0	0	0	1	1	0	7
9/30/2011	0	3	1	0	0	0	0	0	0	2	2	0	4
9/30/2012	0	0	0	0	0	0	0	0	0	0	0	0	4
9/30/2013	0	0	0	0	0	0	0	0	0	0	0	0	4
9/30/2014	0	0	0	1	0	0	0	0	0	0	0	0	4
9/30/2015	0	1	1	1	0	0	0	0	0	0	0	0	3
9/30/2016	2	1	1	2	0	0	0	0	0	0	0	0	4
9/30/2017	0	0	0	1	0	0	0	0	0	0	0	0	4
9/30/2018	1	1	0	1	0	0	0	0	0	1	1	0	4
9/30/2019	2	2	0	1	0	0	0	0	1	1	2	0	4
9/30/2020	0	4	1	1	0	0	0	0	0	3	3	1	0
9/30/2021	0	0	0	0	0	0	0	0	0	0	0	0	0
9/30/2022	2	0	0	0	0	0	0	0	0	0	0	0	2
9/30/2023	1	1	0	0	0	0	0	0	0	1	1	0	2
9/30/2024	2	1	0	0	0	0	0	0	0	1	1	0	3
19-Yr Total	13	19	8	11	0	0	0	0	1	10	11	1	



**Number Added To and Removed from Active Participation
Actual (A) Compared to Expected (E)**

Police Officers

Year Ended	Number Added During Year		Service & DROP Retirement		Disability Retirement		Died In Service		Terminations				Active Members
	A	E	A	E	A	E	A	E	Vested	Other	Totals		End of Year
									A	A	A	E	
9/30/2006	10	8	3	10	0	0	0	0	*	*	5	3	74
9/30/2007	4	7	5	11	0	0	0	0	*	*	2	3	71
9/30/2008	4	10	5	9	0	0	0	0	0	5	5	3	65
9/30/2009	11	6	1	7	0	0	0	0	0	5	5	3	70
9/30/2010	1	3	1	7	0	0	0	0	0	2	2	3	68
9/30/2011	0	8	7	9	1	0	0	0	0	0	0	2	60
9/30/2012	0	13	6	6	0	0	0	0	7	0	7	2	47
9/30/2013	10	10	1	5	0	0	0	0	9	0	9	1	47
9/30/2014	13	11	4	7	1	0	0	0	3	3	6	2	49
9/30/2015	6	3	0	8	0	0	0	0	0	3	3	3	52
9/30/2016	6	10	5	9	0	0	0	0	0	5	5	3	48
9/30/2017	12	6	2	6	0	0	0	0	0	4	4	2	54
9/30/2018	10	14	3	6	1	0	0	0	0	10	10	3	50
9/30/2019	13	5	1	5	0	0	0	0	0	4	4	3	58
9/30/2020	4	7	5	5	0	0	0	0	0	2	2	3	55
9/30/2021	10	8	0	4	0	0	0	0	0	8	8	3	57
9/30/2022	10	7	1	4	0	0	0	0	0	6	6	3	60
9/30/2023	8	9	1	5	0	0	0	0	0	8	8	3	59
9/30/2024	13	3	1	7	0	0	0	0	0	2	2	3	69
19-Yr Total	145	148	52	130	3	0	0	0	19	67	93	51	

*Breakdown between vested and other terminations was not determined for year ended 9/30/2006 and 9/30/2007.

Firefighters

Two Years Ended	Number Added During Year		Service & DROP Retirement		Disability Retirement		Died In Service		Terminations				Active Members
	A	E	A	E	A	E	A	E	Vested	Other	Totals		End of Year
									A	A	A	E	
9/30/2006	4	4	2	8	0	0	0	0	*	*	2	4	74
9/30/2007	5	7	3	8	0	0	0	0	*	*	4	3	72
9/30/2008	4	3	3	9	0	0	0	0	0	0	0	3	73
9/30/2009	5	5	4	9	0	0	0	0	1	0	1	3	73
9/30/2010	0	4	3	7	0	0	0	0	0	1	1	3	69
9/30/2011	0	9	8	6	0	0	0	0	0	1	1	2	60
9/30/2012	0	9	4	4	0	0	0	0	5	0	5	2	51
9/30/2013	8	9	1	2	1	0	0	0	7	0	7	1	50
9/30/2014	14	14	5	8	0	0	0	0	8	1	9	2	50
9/30/2015	12	13	3	4	0	0	0	0	1	9	10	3	49
9/30/2016	14	12	3	2	0	0	0	0	2	7	9	5	51
9/30/2017	14	7	0	0	0	0	0	0	1	6	7	4	58
9/30/2018	5	6	1	0	0	0	0	0	0	5	5	4	57
9/30/2019	6	5	0	1	0	0	0	0	0	5	5	3	58
9/30/2020	9	3	0	1	0	0	0	0	0	3	3	3	64
9/30/2021	8	5	0	2	0	0	0	0	0	5	5	3	67
9/30/2022	4	4	1	3	0	0	0	0	0	3	3	3	67
9/30/2023	2	2	0	4	0	0	0	0	0	2	2	3	67
9/30/2024	5	5	2	6	0	0	0	0	0	3	3	2	67
19-Yr Total	119	126	43	84	1	0	0	0	25	51	82	56	

*Breakdown between vested and other terminations was not determined for year ended 9/30/2006 and 9/30/2007.



Funding Progress Indicators

We believe an understanding of funding progress and status can be achieved using the following measures:

Indicator (1) **The actuarial present value of gains or losses realized in the operation of the Retirement System** - an experience indicator. Gains and losses are expected to cancel each other over a period of years (in the absence of double-digit inflation) but sizable year-to-year fluctuations are common. An experience gain can result from assets increasing in value by more than anticipated by the funding program, or by the actuarial accrued liability increasing by less than anticipated by the funding program, or by other favorable combinations of deviation from expected asset and liability changes.

Indicator (2) **The ratio of the funding value of assets to the actuarial accrued liability** measured in accordance with GASB Statement No. 5 prior to the September 30, 1997 valuation and GASB Statement No. 25 beginning with the September 30, 1997 valuation. The ratio is expected to increase over time, but the basic trend may be interrupted by benefit improvements or changes in actuarial assumptions and/or methods.

Indicator (3) **The ratio of the unfunded actuarial accrued liability to active member payroll** - an inflation adjusted funding level indicator. In a soundly financed Retirement System, the amount of the unfunded actuarial accrued liability will be controlled and prevented from increasing in the absence of benefit improvements. However, in an inflationary environment it is seldom practical to impose this control on dollar amounts which are depreciating in value. The ratio is a relative index of condition where inflation is present in both items. The ratio is expected to decrease over time but the basic trend may be interrupted by benefit improvements.

FUNDING PROGRESS INDICATORS - HISTORICAL COMPARISONS ALL GROUPS									
Valuation Date September 30	Number of		Indicator (1)	Indicator (2)			Indicator (3)		
	Active Members	Inactive Members	Exper. Gain (Loss)	Funding Value of Assets	AAL	Funded Ratio	Unfunded AAL	Active Member Payroll	Ratio to Payroll
1991	*	*	\$ (756)	\$ 46,830	\$ 53,410	88	\$ 6,580	\$ 12,287	-- %
1992	*	*	(530)	51,470	58,398	88	6,928	12,712	--
1993 (a)	*	*	2,632	57,089	61,692	93	4,603	12,443	--
1994	*	*	674	62,651	66,474	94	3,823	12,415	--
1995 (a)	*	*	4,437	70,326	72,339	97	2,013	12,543	--
1996	*	*	3,707	78,929	77,327	102	(1,602)	13,382	--
1997 #	*	*	5,135	88,697	86,042	103	(2,655)	14,092	--
1998 (a)	*	*	4,961	99,939	92,703	108	(7,236)	14,549	--
1999 (a)	*	*	7,056	113,770	98,866	115	(14,904)	14,422	--
2000 (a)	*	*	9,599	130,812	109,013	120	(21,799)	14,343	--
2001 (a)	338	402	(4,082)	148,052	131,036	113	(17,016)	15,816	--
2002	335	416	(20,118)	138,762	142,062	98	3,300	17,149	19
2003	351	409	(4,281)	141,889	151,643	94	9,754	18,781	52
2004 (a)	357	272	(5,077)	146,764	165,149	89	18,385	20,391	90
2005 (a)	365	283	(5,728)	154,010	184,192	84	30,182	22,137	136
2006	373	284	1,014	166,459	198,108	84	31,650	23,901	132
2007	365	301	9,423	185,370	208,401	89	23,030	23,604	98
2008	347	319	(7,553)	193,053	224,095	86	31,043	23,819	130
2009	355	329	(16,157)	193,222	242,054	80	48,832	25,889	189
2010	319	350	(3,629)	197,107	251,439	78	54,331	23,842	228
2011 (a)	288	371	4,596	196,700	228,323	86	31,623	21,290	149
2012 (a)	253	404	(5,571)	189,725	250,698	76	60,973	18,212	335
2013	257	431	(3,509)	190,413	256,518	74	66,105	16,823	393
2014 (a)	265	462	(1,096)	195,102	262,234	74	67,132	16,832	399
2015 (a)	263	480	(7,794)	203,456	289,918	70	86,461	16,767	516
2016 (a)	268	503	(2,649)	209,123	307,994	68	98,871	17,731	558
2017 (a)	290	508	(1,270)	219,106	318,101	69	98,995	18,687	530
2018 (a)	275	526	(4,288)	226,185	327,153	69	100,968	18,248	553
2019 (a)	272	526	(4,139)	237,693	337,913	70	100,220	18,788	533
2020 (a)	268	543	238	251,212	345,376	73	94,164	19,471	484
2021 (a)	275	540	6,717	271,134	356,468	76	85,334	20,521	416
2022 (a)	295	536	(6,905)	276,186	367,282	75	91,096	22,878	398
2023 (a)	304	530	(6,981)	280,106	380,744	74	100,638	25,002	403
2024	328	528	(2,297)	294,003	389,189	76	95,186	28,290	336
2024 (a)	328	528	(2,297)	294,003	398,138	74	104,135	28,290	368

Note: Dollar amounts are in thousands.

(a) After changes described in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.

GASB Statement No. 25 basis.



FUNDING PROGRESS INDICATORS - HISTORICAL COMPARISONS									
GENERAL AND OCEAN RESCUE									
Valuation Date September 30	Number of		Indicator (1)	Indicator (2)			Indicator (3)		
	Active Members	Inactive Members	Exper. Gain (Loss)	Funding Value of Assets	AAL	Funded Ratio	Unfunded AAL	Active Member Payroll**	Ratio to Payroll
1991	*	*	\$ (756)	\$ 46,830	\$ 53,410	88 %	\$ 6,580	\$ 12,287	54 %
1992	*	*	(530)	51,470	58,398	88	6,928	12,712	54
1993 (a)	*	*	2,632	57,089	61,692	93	4,603	12,443	37
1994	*	*	674	62,651	66,474	94	3,823	12,415	31
1995 (a)	*	*	4,437	70,326	72,339	97	2,013	12,543	16
1996	214	214	3,707	78,929	77,327	102	(1,602)	13,382	--
1997 #	220	214	5,135	88,697	86,042	103	(2,655)	14,092	--
1998 (a)	224	223	4,961	99,939	92,703	108	(7,236)	14,549	--
1999 (a)	214	234	7,056	113,770	98,866	115	(14,904)	14,422	--
2000 @	212	118	3,385	49,616	39,588	125	(10,028)	8,113	--
2001 (a) @	218	124	(949)	56,060	48,675	115	(7,385)	8,752	--
2002	213	126	(8,273)	52,316	53,071	99	755	9,380	8
2003	221	122	(1,193)	53,798	56,652	95	2,854	10,223	28
2004	220	124	(2,100)	56,298	61,842	91	5,544	10,877	51
2005	219	130	(2,111)	59,589	67,882	88	8,294	11,552	72
2006	225	129	673	64,608	73,054	88	8,446	12,422	68
2007	222	140	3,448	72,161	77,632	93	5,470	12,697	43
2008	209	153	(4,614)	73,732	83,758	88	10,025	12,687	79
2009	212	160	(6,743)	72,370	89,658	81	17,288	13,304	130
2010	182	175	(1,368)	73,809	93,147	79	19,338	11,580	167
2011 (a)	168	189	3,882	74,247	82,974	89	8,728	10,926	80
2012 (a)	155	202	5,744	72,393	90,681	80	18,289	9,884	185
2013 (a)	160	209	871	73,853	91,884	80	18,031	9,698	186
2014 (a)	166	216	98	76,386	94,245	81	17,858	10,075	177
2015 (a)	162	229	(2,808)	79,003	106,024	75	27,021	9,856	274
2016 (a)	169	244	(22)	81,382	112,237	72	30,855	10,714	288
2017 (a)	178	245	(309)	84,969	116,118	73	31,149	11,086	281
2018 (a)	168	259	(2,141)	85,724	118,339	72	32,615	10,499	311
2019 (a)	156	262	(1,076)	89,394	122,042	73	32,647	10,109	323
2020 (a)	149	273	(177)	93,721	125,972	74	32,251	10,158	317
2021 (a)	151	279	2,891	100,604	129,749	78	29,145	10,423	280
2022 (a)	168	273	(1,163)	101,544	131,745	77	30,201	11,794	256
2023 (a)	178	274	(1,875)	102,617	136,483	75	33,866	13,143	258
2024	192	277	(824)	107,584	140,113	77	32,529	14,691	221
2024 (a)	192	277	(824)	107,584	143,192	75	35,608	14,691	242

Note: Dollar amounts are in thousands.

- * Count between active and inactive members was not determined for valuations before 1996.
- ** Active Member Payroll includes Public Safety members for years before 9/30/2000.
- (a) After changes described in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.
- # GASB Statement No. 25 basis.
- @ For the September 30, 2000 - 2010 valuations, Public Safety members are valued in a separate report.



FUNDING PROGRESS INDICATORS - HISTORICAL COMPARISONS									
POLICE OFFICERS									
Valuation Date September 30	Number of		Indicator (1)	Indicator (2)			Indicator (3)		
	Active Members	Inactive Members	Exper. Gain (Loss)	Funding Value of Assets	AAL	Funded Ratio	Unfunded AAL	Active Member Payroll**	Ratio to Payroll
1996	*	*	\$ 3,707	\$ 78,929	\$ 77,327	102 %	(\$1,602)	\$ 13,382	-- %
1997 #	*	*	5,135	88,697	86,042	103	(2,655)	14,092	--
1998 (a)	*	*	4,961	99,939	92,703	108	(7,236)	14,549	--
1999 (a)	*	*	7,056	113,770	98,866	115	(14,904)	14,422	--
2000 (a)@	*	*	6,214	81,196	69,425	117	(11,771)	6,230	--
2001 (a)@	62	140	(3,133)	91,992	82,361	112	(9,631)	7,064	--
2002	66	145	(11,845)	86,446	88,991	97	2,545	7,769	33
2003	67	144	(3,088)	88,091	94,991	93	6,900	8,558	81
2004 (a)&	70	70	(1,390)	46,386	51,605	90	5,219	5,070	103
2005 (a)	72	72	(330)	48,656	56,996	85	8,340	5,348	156
2006	74	75	631	52,614	60,835	86	8,220	5,769	142
2007	71	80	2,937	58,486	63,742	92	5,256	5,334	99
2008	65	83	(2,075)	61,668	68,525	90	6,857	5,309	129
2009	70	83	(4,392)	63,000	74,257	85	11,257	6,187	182
2010	68	85	(876)	64,079	76,694	84	12,614	6,043	209
2011 (a)	60	89	(420)	63,554	72,421	88	8,866	5,222	170
2012 (a)	47	102	(6,094)	61,028	80,129	76	19,101	4,241	450
2013	47	112	(2,357)	60,553	82,416	73	21,862	3,454	633
2014 (a)	49	120	(1,005)	61,819	84,624	73	22,805	3,354	680
2015 (a)	52	119	(2,602)	63,673	91,622	69	27,949	3,668	762
2016 (a)	48	120	649	65,428	95,358	69	29,929	3,559	841
2017 (a)	54	124	(341)	68,773	98,306	70	29,532	3,865	764
2018 (a)	50	127	(772)	72,221	101,638	71	29,417	3,603	816
2019 (a)	58	127	(1,480)	76,019	105,016	72	28,997	4,232	685
2020 (a)	55	134	410	80,323	106,293	76	25,970	4,108	632
2021 (a)	57	129	1,513	86,486	109,775	79	23,289	4,481	520
2022 (a)	60	129	(3,356)	88,049	114,391	77	26,342	5,027	524
2023 (a)	59	129	(2,901)	89,135	118,517	75	29,382	5,349	549
2024	69	126	(1,286)	93,043	121,292	77	28,249	6,745	419
2024 (a)	69	126	(1,286)	93,043	124,047	75	31,004	6,745	460

Note: Dollar amounts are in thousands.

- * Count between active and inactive members was not determined for valuations before 2001.
- ** Active Member Payroll includes General and Life members for years before 9/30/2000 and Fire members for years before 9/30/2004.
- (a) After changes described in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.
- # GASB Statement No. 25 basis.
- @ Excludes General and Lifeguard members (shown in separate report beginning 9/30/2000).
- & Excludes Fire members (shown in separate report beginning 9/30/2004).



FUNDING PROGRESS INDICATORS - HISTORICAL COMPARISONS FIREFIGHTERS									
Valuation Date September 30	Number of		Indicator (1)	Indicator (2)			Indicator (3)		
	Active Members	Inactive Members	Exper. Gain (Loss)	Funding Value of Assets	AAL	Funded Ratio	Unfunded AAL	Active Member Payroll**	Ratio to Payroll
1996	*	*	\$ 3,707	\$ 78,929	\$ 77,327	102 %	(\$1,602)	\$ 13,382	-- %
1997 #	*	*	5,135	88,697	86,042	103	(2,655)	14,092	--
1998 (a)	*	*	4,961	99,939	92,703	108	(7,236)	14,549	--
1999 (a)	*	*	7,056	113,770	98,866	115	(14,904)	14,422	--
2000 (a)@	*	*	6,214	81,196	69,425	117	(11,771)	6,230	--
2001 (a)@	58	138	(3,133)	91,992	82,361	112	(9,631)	7,064	--
2002	56	145	(11,845)	86,446	88,991	97	2,545	7,769	33
2003	63	143	(3,088)	88,091	94,991	93	6,900	8,558	81
2004 (a)&	67	78	(1,587)	44,080	51,703	85	7,623	4,444	172
2005 (a)	74	81	(3,287)	45,765	59,314	77	13,548	5,237	259
2006	74	80	(290)	49,236	64,220	77	14,984	5,710	262
2007	72	81	3,038	54,723	67,027	82	12,304	5,573	221
2008	73	83	(864)	57,652	71,813	80	14,161	5,823	243
2009	73	86	(5,022)	57,852	78,139	74	20,287	6,398	317
2010	69	90	(1,385)	59,219	81,598	73	22,379	6,219	360
2011 (a)	60	93	1,134	58,899	72,928	81	14,029	5,142	273
2012 (a)	51	100	(5,221)	56,304	79,887	70	23,584	4,087	577
2013	50	110	(2,023)	56,007	82,218	68	26,211	3,671	714
2014 (a)	50	126	(189)	56,897	83,365	68	26,468	3,403	778
2015 (a)	49	132	(2,384)	60,781	92,272	66	31,491	3,243	971
2016 (a)	51	139	(3,276)	62,312	100,399	62	38,087	3,458	1101
2017 (a)	58	139	(620)	65,363	103,677	63	38,314	3,736	1026
2018 (a)	57	140	(1,375)	68,240	107,176	64	38,936	4,146	939
2019 (a)	58	137	(1,583)	72,279	110,855	65	38,575	4,447	867
2020 (a)	64	136	5	77,169	113,111	68	35,942	5,205	691
2021 (a)	67	132	2,313	84,044	116,945	72	32,901	5,617	586
2022 (a)	67	134	(2,386)	86,593	121,145	71	34,552	6,057	570
2023 (a)	67	127	(2,205)	88,354	125,744	70	37,390	6,510	574
2024	67	125	(187)	93,376	127,784	73	34,408	6,854	502
2024 (a)	67	125	(187)	93,376	130,899	71	37,523	6,854	547

Note: Dollar amounts are in thousands.

* Count between active and inactive members was not determined for valuations before 2001.

** Active Member Payroll includes General and Life members for years before 9/30/2000 and Police members for years before 9/30/2004.

(a) After changes in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.

GASB Statement No. 25 basis.

@ Excludes General and Ocean Rescue members (shown in separate report beginning 9/30/2000).

& Excludes Police members (shown in separate report beginning 9/30/2004).



RECENT HISTORY OF REQUIRED AND ACTUAL CONTRIBUTIONS

Valuation Date	End of Year To Which Valuation Applies	Required Contributions							Actual Contributions			
		General & Ocean Rescue		Police Officers		Firefighters		Total	General & Ocean Rescue	Police Officers	Firefighters	Total
		Dollar Amount*	% of Payroll	Dollar Amount*	% of Payroll	Dollar Amount*	% of Payroll	Dollar Amount*				
9/30/2004	9/30/2006	\$ 2,105	17.86 %	\$1,943	35.36 %	\$1,796	39.34 %	\$5,844	\$ 2,008	\$2,010	\$ 1,701	\$ 5,719
9/30/2005	9/30/2007	2,415	19.29	2,382	42.25	2,609	45.97	7,406	2,417	2,399	2,610	7,426
9/30/2006	9/30/2008	2,615	19.43	2,593	41.47	2,875	46.47	8,083	2,615	2,596	2,875	8,086
9/30/2007	9/30/2009	2,420	17.59	2,330	40.32	2,709	44.86	7,459	2,420	2,330	2,709	7,459
9/30/2008	9/30/2010	2,616	19.03	2,491	43.30	2,997	47.50	8,104	2,616	2,491	2,997	8,104
9/30/2009	9/30/2011	3,075	21.33	3,054	45.56	3,540	51.06	9,669	3,075	2,496	2,919	8,490
9/30/2010	9/30/2012	955	7.72	1,290	19.98	1,563	23.54	3,808	811	1,235	1,415	3,461
9/30/2011	9/30/2013	1,349	12.84	1,257	25.04	1,371	27.72	3,977	1,415	1,257	1,371	4,043
9/30/2012	9/30/2014	1,994	19.16	1,882	42.14	2,040	47.41	5,916	2,019	1,979	2,072	6,070
9/30/2013	9/30/2015	2,014	19.49	2,145	56.62	2,224	57.20	6,383	2,008	2,145	2,224	6,377
9/30/2014	9/30/2016	2,066	19.48	2,233	63.23	2,286	63.78	6,585	2,992	3,115	3,270	9,377
9/30/2015	9/30/2017	2,578	24.84	2,643	68.42	2,629	77.00	7,850	4,270	4,283	4,717	13,270
9/30/2016	9/30/2018	3,063	27.25	2,871	76.87	3,262	89.93	9,196	4,769	4,487	5,360	14,616
9/30/2017	9/30/2019	3,233	27.89	2,936	72.67	3,462	88.65	9,631	6,072	5,499	6,672	18,243
9/30/2018	9/30/2020	3,609	33.00	3,418	91.09	4,141	95.89	11,168	5,253	4,871	6,088	16,212
9/30/2019	9/30/2021	3,906	37.10	3,779	85.74	4,513	97.44	12,198	5,812	5,355	6,479	17,646
9/30/2020	9/30/2022	3,956	37.40	3,636	84.97	4,535	83.66	12,127	5,683	5,001	6,482	17,166
9/30/2021	9/30/2023	3,793	34.94	3,555	76.18	4,470	76.41	11,818	5,474	5,014	6,389	16,877
9/30/2022	9/30/2024	4,144	33.74	4,048	77.32	4,845	76.80	13,037	5,845	5,511	6,715	18,071
9/30/2023	9/30/2025	4,987	36.43	4,631	83.12	5,476	80.76	15,094	---	---	---	---
9/30/2024	9/30/2026	5,578	36.45	5,330	75.87	5,825	81.59	16,733	---	---	---	---

Note: Dollar amounts are in thousands.

*Computed Dollar Contribution Based on Projected Payroll and assuming mid-year timing.



Recommended Contributions Comparative Statement

Fiscal Year	Valuation Date Sept. 30	Public Contributions (Additional to Member Contributions) <u>% of Payroll Contributions</u>			
		General	Ocean Rescue	Police Officers	Firefighters
87/88	1986	12.65 %	18.96 %	21.58 %	21.58 %
88/89	1987	12.84	18.83	23.35	23.35
89/90	1988	13.50	20.31	23.34	23.34
90/91	1989	13.14	17.90	22.56	22.84
91/92	1990	15.42	20.12	25.00	26.06
92/93	1991	15.49	20.35	24.98	27.17
93/94	1992	15.41	20.50	25.35	28.86
94/95	1993	15.66	21.26	27.74	29.73
95/96	1994	15.76	19.90	28.24	32.83
96/97	1995	14.29	19.70	30.60	35.45
97/98	1996	12.87	18.82	29.03	34.32
98/99	1997	11.59	17.84	28.91	32.40
99/00	1998	12.08	16.50	25.97	30.13
00/01	1999	9.58	15.44	22.37	26.48
01/02	2000	6.14	10.81	12.71	15.11
02/03	2001	10.83	15.59	19.34	22.36
03/04	2002	15.85	16.97	30.74	34.45
04/05	2003	16.75	22.39	33.09	36.75
05/06	2004	17.66	24.39	35.36	39.34
06/07	2005	19.01	27.09	42.25	45.97
07/08	2006	19.15	27.15	41.47	46.47
08/09	2007	17.35	25.81	40.32	44.86
09/10	2008	18.71	31.42	43.30	47.50
10/11	2009	20.95	33.37	45.56	51.06
11/12	2010	23.34	41.71	19.98	53.12
12/13	2011	11.87	63.59	25.04	27.72
13/14	2012	18.15	68.04	42.14	47.41
14/15	2013	18.39	71.93	56.62	57.20
15/16	2014	18.37	72.32	63.23	63.78
16/17	2015	23.61	109.09	68.42	77.00
17/18	2016	26.04	104.54	76.87	89.93
18/19	2017	26.65	108.26	72.67	88.65
19/20 (a)	2018	31.46	138.63	91.09	95.89
20/21 (a)	2019	35.55	131.39	85.74	97.44
21/22 (a)	2020	35.49	N/A *	84.97	83.66
22/23 (a)	2021	33.20	N/A *	76.18	76.41
23/24 (a)	2022	32.27	239.45	77.32	76.80
24/25 (a)	2023	34.94	283.24	83.12	80.76
25/26 (b)	2024	33.35	184.14	72.40	77.86
25/26 (a)	2024	35.13	190.41	75.87	81.59

(a) After changes in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.

(b) Before changes described in benefit provisions and/or actuarial assumptions and/or actuarial cost methods.

* There were no active Ocean Rescue employees as of the valuation date.



ACTUARIAL ASSUMPTIONS AND COST METHOD

Funding objective contribution requirements and actuarial present values are calculated by applying estimates of future Plan activities (actuarial assumptions) to the benefit provisions and people information of the System, using the actuarial cost method described on the following page.

The principal areas of activity which require assumptions are:

- long-term rates of investment return to be generated by the assets of the System
- patterns of pay increases to members
- rates of mortality among members, retirees and beneficiaries
- rates of withdrawal of active members
- rates of disability among active members
- the age patterns of actual retirement

In a valuation, the monetary effect of each activity is calculated for as long as a present covered person survives – a period of time which can be as long as a century.

Actual activities of the system will not coincide exactly with assumed activities due to the nature of the activities. Each valuation provides a complete recalculation of assumed future activities and takes into account the effect of differences between assumed and actual activities to date. The result is a continual series of adjustments (usually small) to the computed contribution rate.

From time-to-time one or more of the assumptions are modified to reflect experience trends (but not random or temporary year-to-year fluctuations).

Actuarial Assumptions are established by the Board after consulting with the actuary. The reasonableness of the economic assumptions is based upon capital market expectations provided by various investment consultants and other sources such as the Social Security Trustees report. All actuarial assumptions are based on future expectations, not market measures.

These assumptions are used, in combination with the other assumptions, to (i) determine the present value of amounts expected to be paid in the future and (ii) establish rates of contribution which are expected to remain relatively level as a percent of active member payroll.

Valuation Methods

Actuarial Cost Method - Normal cost and the allocation of benefit values between service rendered before and after the valuation date were determined using an **Individual Entry-Age Actuarial Cost Method** having the following characteristics:

- (i) the annual normal cost for each individual active member, payable from the date of employment to the dates of expected retirement, is sufficient to accumulate the value of the member's benefit at the time of retirement;
- (ii) each annual normal cost is a constant percentage of the member's year by year projected covered pay.



Actuarial gains/(losses), as they occur, reduce (increase) the Unfunded Actuarial Accrued Liability.

Financing of Unfunded Actuarial Accrued Liabilities - Unfunded Actuarial Accrued Liabilities were amortized as a level (principal & interest combined) percent of payroll over a prescribed period of up to 20 years for assumption or method changes and up to 15 years for plan changes or experience gains or losses (hybrid amortization policy). The payroll growth assumption is 2.75% for purposes of compliance with F.S. 112.64(5).

Funding Value of Assets - The Funding Value of Assets phases in the difference between the expected investment earnings and actual investment earnings at the rate of 20% per year. The Funding Value of Assets will be further adjusted to the extent necessary to fall within the corridor whose lower limit is 80% of the Market Value of plan assets and whose upper limit is 120% of the Market Value of plan assets. During periods when investment performance exceeds the assumed rate, the Funding Value of Assets will tend to be less than the Market Value. During periods when investment performance is less than assumed rate, the Funding Value of Assets will tend to be greater than the Market Value.

Valuation Assumptions

The actuarial assumptions used in the valuation are shown in this Section. The active group is too small to provide statistically significant experience on which to base certain demographic assumptions. Mortality is based on a commonly used fully generational table and projection scale that is mandated by Florida Statutes.

Economic Assumptions

The investment return rate assumed in the valuation is 6.00% per year, compounded annually (net after investment expenses). The investment return assumption was 6.20% in the prior valuation. The investment return assumption is now at the target rate of 6.0%.

The **Inflation Rate** assumed in this valuation was 2.25% per year. This is the rate at which growth in the supply of money and credit is assumed to exceed growth in the supply of goods and services. It may be thought of as the rate of depreciation of the purchasing power of the dollar. There are a number of indices for measuring the inflation rate. The recent inflation rate, as measured by the Consumer Price Index, has been:

	Year Ended September 30					Average for Period
	2024	2023	2022	2021	2020	
Actual	2.4%	3.7%	8.2%	5.4%	1.4%	4.2%
Assumed	2.25%	2.25%	2.25%	2.25%	2.5%	2.3%

The assumed **real rate of return** over inflation is defined to be the portion of total investment return that is more than the assumed inflation rate. This is the rate of return assumed to be produced by investing a pool of assets in an inflation-free environment. Considering other economic assumptions, the 6.0% investment return rate translates to an assumed real rate of return over inflation of 3.75%.

The active member population is assumed to remain constant.



The rate of salary increase used for individual members is 5.5% per year for General and Ocean Rescue members and 6.0% per year for Police Officers and Firefighters. Part of this assumption is for merit and/or seniority increases and productivity increases, and 2.25% recognizes price inflation. This assumption is used to project a member's current salary to the salaries upon which benefits will be based.

Demographic Assumptions

The mortality table is the PUB-2010 Headcount Weighted Employee Mortality Table (for pre-retirement mortality) and the PUB-2010 Headcount Weighted Healthy Retiree Mortality Table (for postretirement mortality), with separate rates of males and females and mortality improvements projected to all future years after 2010 using Scale MP-2018. For General Employees, the mortality tables are based on the General Below-Median versions of the given table and male ages set back one year. For Ocean Rescue, Police Officers and Firefighters, the mortality tables are based on the Safety versions of the given table for females and Safety Below-Median versions of the given table for males, with male and female ages set forward 1 year. These are the same rates as used for Regular (other than K-12 School Instructional Personnel) and Special Risk Class members of the Florida Retirement System (FRS) in their July 1, 2023 Actuarial Valuation. Florida Statutes Chapter 112.63(1)(f) mandates the use of the mortality tables used in either of the two most recently published actuarial valuation reports of FRS.

Healthy Post-Retirement Mortality

General Employees				
Sample Ages in 2024	Value of \$1 Monthly for Life		Future Life Expectancy (Years)	
	Men	Women	Men	Women
50	\$164.62	\$173.02	33.44	37.22
55	155.98	166.49	29.07	32.77
60	146.41	157.35	24.95	28.21
65	134.22	145.01	20.87	23.61
70	118.70	129.40	16.82	19.11
75	101.05	111.18	13.09	14.92
80	82.24	91.01	9.79	11.14

Ocean Rescue, Police Officers and Firefighters				
Sample Ages in 2024	Value of \$1 Monthly for Life		Future Life Expectancy (Years)	
	Men	Women	Men	Women
50	\$166.12	\$173.79	32.78	36.61
55	155.70	164.28	28.01	31.57
60	142.94	152.94	23.40	26.77
65	128.24	139.59	19.10	22.22
70	110.94	123.91	15.06	17.95
75	92.08	106.09	11.44	14.01
80	72.74	86.96	8.34	10.52

This assumption is used to measure the probabilities of each benefit payment being made after retirement.



Healthy Pre-Retirement Mortality

General Employees				
Sample Ages in 2024	Value of \$1 Monthly for Life		Future Life Expectancy (Years)	
	Men	Women	Men	Women
50	\$177.11	\$181.90	37.96	40.49
55	168.75	174.42	32.95	35.36
60	158.40	164.89	28.09	30.33
65	145.69	152.69	23.38	25.39
70	129.76	137.10	18.81	20.56
75	109.68	117.38	14.36	15.86
80	84.34	92.57	10.05	11.34

Ocean Rescue, Police Officers and Firefighters				
Sample Ages in 2024	Value of \$1 Monthly for Life		Future Life Expectancy (Years)	
	Men	Women	Men	Women
50	\$174.66	\$181.36	35.91	39.81
55	165.08	173.62	30.82	34.66
60	152.95	163.58	25.86	29.58
65	137.94	150.39	21.08	24.56
70	119.71	133.44	16.53	19.64
75	98.10	112.41	12.27	14.93
80	72.74	86.96	8.34	10.52

This assumption is used to measure the probabilities of active members dying prior to retirement.

For disabled retirees, the mortality table used for General Employees is the PUB-2010 Headcount Weighted General Disabled Retiree Table with ages set forward 3 years for males and females, with no provision being made for future mortality improvements. The mortality table used for Ocean Rescue, Police Officers and Firefighters is 80% of the PUB-2010 Headcount Weighted General Disabled Retiree Mortality Table, and 20% of the PUB-2010 Headcount Weighted Safety Disabled Retiree Mortality Table, both with separate rates for males and females, with no provision being made for future mortality improvements. These are the same rates as used for Regular and Special Risk Class members of the Florida Retirement System (FRS) in their July 1, 2023 Actuarial Valuation.

The rates of retirement used to measure the probability of eligible members retiring during the next year were as follows:

Retirement Ages	Percent Retiring		Early Retirement Ages	Percent Retiring General	Year of Normal Retirement Eligibility	Percent Retiring Police & Firefighters
	General	Ocean Rescue				
62	30%	70%	60 - 61	5%	1	70%
63	15	80			2	70%
64	15	90			3	70%
65	60	100			4	70%
66	30				5	100%
67	40					
68	50					
69	90					
70	100					

Rates of separation from active membership were as shown below (rates do not apply to members eligible to retire and do not include separation on account of death or disability). This assumption measures the probabilities of members separating from employment.

Percent Separating Within Next Year				Percent Separating Within Next Year	
Sample Ages	Years of Service	General	Police and Firefighters	Years of Service	Ocean Rescue
ALL	0	40.00 %	15.00 %	0	20.00 %
	1	25.00	10.00	1	17.50
	2	15.00	8.00	2	15.00
	3	10.00	7.00	3	12.50
	4	7.00	6.00	4	10.00
20	5 & Over	6.00	5.00	5	9.00
25		6.00	5.00	6	8.00
30		5.50	4.50	7	7.00
35		4.40	3.55	8	6.00
40		1.85	1.45	9	5.00
45		1.25	0.75	10	4.00
50		1.25	0.75	11	3.00
55		1.25	0.75	12	2.00
60		1.25	0.75	13 & Over	2.00

Note: Frozen plan A benefits are valued assuming 10% separation per year after the first 4 years, to better model the earlier benefit commencement eligibility applicable to Plan A benefits. In addition, plan A benefits for Police officers are not expected to be deferred past age 50.



Rates of disability measure the probabilities of active members becoming disabled. For General Employees 25% of disabilities are assumed to be service-connected. For Ocean Rescue and Police Officers, 50% of disabilities are assumed to be service-connected. For Firefighters, 75% of disabilities are assumed to be service-connected.

Sample Ages	Percent Becoming Disabled Within Next Year	
	Men	Women
20	0.07 %	0.03 %
25	0.09	0.05
30	0.10	0.07
35	0.14	0.13
40	0.21	0.19
45	0.32	0.28
50	0.52	0.45
55	0.92	0.76
60	1.53	1.10
65	1.65	0.98

Changes from the previous valuation

- The assumed investment return was lowered from 6.2% to 6.0% per year, compounded annually, net after investment expenses. The investment return assumption is now at the target rate of 6.0%.

Miscellaneous and Technical Assumptions

Administrative & Investment Expenses	Administrative expenses are reimbursed on a retrospective basis by an addition to the Town contribution rate. Investment expenses are an offset against total investment income. Assumed administrative expenses are added to the Normal Cost.
Benefit Service	Exact fractional service is used to determine the amount of benefit payable.
Decrement Operation	Disability and mortality decrements do not operate during the first 5 years of service. Disability and withdrawal do not operate during retirement eligibility.
Decrement Relativity	Decrement rates are used directly, without adjustment for multiple decrement table effects.
Decrement Timing	Decrements of all types are assumed to occur at the middle of the year.
Earnings	Earnings reported for the actuarial valuation include all amounts included in average earnings for benefit purposes.
Eligibility Testing	Eligibility for benefits is determined based upon the age nearest birthday and service nearest whole year on the date the decrement is assumed to occur.
Forfeitures	For vested separations from service, it is assumed that members separating will only withdraw their contributions and forfeit an employer financed benefit if the value of their accumulated contributions exceeds the present value of their deferred monthly benefit. It was further assumed that the liability at termination is the greater of the vested deferred benefit (if any) or the member's accumulated contributions.
Internal Revenue Code (IRC) Section 415 Limitation	IRC Section 415 limits are projected into the future assuming annual inflation increases of 2.0% per year and no changes in the applicable prescribed mortality assumptions. For the purpose of valuing the liability for applicable Plan members whose benefits are currently limited under IRC Section 415 and who are currently in the DROP, payments and interest in the DROP balance continue to accumulate until the DROP exit date. The assumed DROP participation period is 12 years for a Police Officer who is appointed Town Manager and 5 years for all other members. Benefits payable from the Plan are then reduced to reflect the projected IRC Section 415 limit and the value of the projected DROP exit balance. Investment earnings in the DROP are being projected at an assumed rate of 6.5% for this purpose.



Incidence of Contributions	Employer contributions and Member contributions are assumed to be received continuously throughout the year based upon the computed percentages of payroll shown in this report, and the actual payroll payable at the time contributions are made. New entrant normal cost contributions are applied to the funding of new entrant benefits.
Lump Sum Payments	Lump sum payments for unused accumulated leave time are excluded in determining pension amounts pursuant to the Town of Palm Beach Code of Ordinances.
Marriage Assumption	90% of males and 90% of females are assumed to be married for purposes of death-in-service benefits. Males are assumed to be three years older than their spouses for active member valuation purposes.
Member Contributions	Member contributions are based upon the percentages of payroll shown in this report.
Normal Form of Benefit	The assumed normal form of benefit is the straight life form for Plan B benefits, and 75% joint and survivor (with 10 years certain) for Plan A benefits.
Option Factors	Actuarially reduced Plan B benefits use the RP-2000 Mortality Table with a 7.50% interest rate assumption.
Pay Increase Timing	Beginning of (Fiscal) year. This is equivalent to assuming that reported pays represent amounts paid to members during the year ended on the valuation date.
Service Credit Accruals	It is assumed that members accrue one year of service credit per year.

GLOSSARY

Accrued Service	Service credited under the System which was rendered before the date of the actuarial valuation.
Actuarial Accrued Liability (AAL)	The difference between the Actuarial Present Value of Future Benefits, and the Actuarial Present Value of Future Normal Costs. Also referred to as "Accrued Liability" or "Past Service Liability."
Actuarial Assumptions	Assumptions about future plan experience that affect costs or liabilities, such as: mortality, withdrawal, disablement, and retirement; future increases in salary; future rates of investment earnings; future investment and administrative expenses; characteristics of members not specified in the data, such as marital status; characteristics of future members; future elections made by members; and other items.
Actuarial Cost Method	A mathematical budgeting procedure for allocating the Actuarial Present Value of Future Benefits between the Actuarial Present Value of Future Normal Costs and the Actuarial Accrued Liability. Sometimes referred to as the "Actuarial Valuation Cost Method."
Actuarial Equivalent	Of equal Actuarial Present Value, determined as of a given date and based on a given set of Actuarial Assumptions.
Actuarial Present Value (APV)	The amount of funds required to provide a payment or series of payments in the future. It is determined by discounting the future payments with an assumed interest rate and with the assumed probability each payment will be made. Also referred to as "Present Value."
Actuarial Present Value of Future Benefits (APVFB)	The Actuarial Present Value of amounts which are expected to be paid at various future times to active members, retired members, beneficiaries receiving benefits, and inactive, nonretired members entitled to either a refund or a future retirement benefit. Expressed another way, it is the value that would have to be invested on the valuation date so that the amount invested plus investment earnings would provide sufficient assets to pay all projected benefits and expenses when due.
Actuarial Valuation	The determination, as of a valuation date, of the Normal Cost, Actuarial Accrued Liability, Actuarial Value of Assets, and related Actuarial Present Values for a plan. An Actuarial Valuation for a governmental retirement system typically also includes calculations of items needed for compliance with GASB, such as the Funded Ratio and the Actuarially Determined Contribution (ADC).



Actuarially Determined Contribution (ADC)	The employer's periodic required contributions, expressed as a dollar amount or a percentage of covered plan compensation, determined under GASB. The ADC consists of the Employer Normal Cost and Amortization Payment.
Amortization Method	A method for determining the Amortization Payment. The most common methods used are level dollar and level percentage of payroll. Under the Level Dollar method, the Amortization Payment is one of a stream of payments, all equal, whose Actuarial Present Value is equal to the UAAL. Under the Level Percentage of Pay method, the Amortization Payment is one of a stream of increasing payments, whose Actuarial Present Value is equal to the UAAL. Under the Level Percentage of Pay method, the stream of payments increases at the rate at which total covered payroll of all active members is assumed to increase.
Amortization Payment	That portion of the plan contribution or ADC which is designed to pay interest on and to amortize the Unfunded Actuarial Accrued Liability.
Amortization Period	The period used in calculating the Amortization Payment.
Closed Amortization Period	A specific number of years that is reduced by one each year, and declines to zero with the passage of time. For example if the amortization period is initially set at 30 years, it is 29 years at the end of one year, 28 years at the end of two years, etc.
Employer Normal Cost	The portion of the Normal Cost to be paid by the employer. This is equal to the Normal Cost less expected member contributions.
Equivalent Single Amortization Period	For plans that do not establish separate amortization bases (separate components of the UAAL), this is the same as the Amortization Period. For plans that do establish separate amortization bases, this is the period over which the UAAL would be amortized if all amortization bases were combined upon the current UAAL payment.
Experience Gain/Loss	A measure of the difference between the normal cost rate from last year and the normal cost rate from this year.
Funded Ratio	The ratio of the Actuarial Value of Assets to the Actuarial Accrued Liability.
Funding Value of Assets	The value of the assets as of a given date, used by the actuary for valuation purposes. This may be the market or fair value of plan assets or a smoothed value in order to reduce the year-to-year volatility of calculated results, such as the funded ratio and the actuarially determined contribution (ADC). Also referred to as "Actuarial Value of Assets", "Smoothed Market Value of Assets", or "Valuation Assets".
GASB	Governmental Accounting Standards Board.



GASB No. 67 and GASB No. 68	These are the governmental accounting standards that set the accounting rules for public retirement systems and the employers that sponsor or contribute to them. Statement No. 68 sets the accounting rules for the employers that sponsor or contribute to public retirement systems, while Statement No. 67 sets the rules for the systems themselves.
Normal Cost	The annual cost assigned, under the Actuarial Cost Method, to the current plan year. Sometimes referred to as "Current Service Cost."
Open Amortization Period	An open amortization period is one which is used to determine the Amortization Payment but which does not change over time. In other words, if the initial period is set as 30 years, the same 30-year period is used in determining the Amortization Period each year. In theory, if an Open Amortization Period is used to amortize the Unfunded Actuarial Accrued Liability, the UAAL will never completely disappear, but will become smaller each year, either as a dollar amount or in relation to covered payroll.
Unfunded Actuarial Accrued Liability	The difference between the Actuarial Accrued Liability and Actuarial Value of Assets. Sometimes referred to as "Unfunded Past Service Liability," "Unfunded Accrued Liability" or "Unfunded Supplemental Present Value."
Valuation Date	The date as of which the Actuarial Present Value of Future Benefits are determined. The benefits expected to be paid in the future are discounted to this date.

SECTION C

PENSION FUND INFORMATION

Statement of Total Plan Assets at Market Value

Item	September 30				
	2024				2023
	Total	General & Ocean Rescue	Police Officers	Firefighters	Total
A. Cash and Cash Equivalents (Operating Cash)	\$ 26,331,560	\$ 9,673,823	\$ 8,353,292	\$ 8,304,445	\$ 11,249,057
B. Investments, at Fair Value					
1. Domestic Equity Funds	\$ 127,328,696	\$ 46,778,668	\$ 40,393,116	\$ 40,156,912	\$ 100,086,550
2. Fixed Income	57,687,449	21,193,510	18,300,477	18,193,462	49,211,164
3. Alternative	6,402,386	2,352,141	2,031,061	2,019,184	5,343,628
4. International Equity	51,848,709	19,048,444	16,448,224	16,352,041	52,900,698
5. Private Equity Funds	18,451,466	6,778,794	5,853,450	5,819,222	20,905,103
6. Commodities	-	-	-	-	-
7. Real Estate Funds	8,907,776	3,272,584	2,825,858	2,809,334	12,212,947
8. Mutual Funds - DROP	-	-	-	-	-
9. Total Investments	\$ 270,626,482	\$ 99,424,141	\$ 85,852,186	\$ 85,350,155	\$ 240,660,090
C. Prepaid Expenses:	\$ 12,888	\$ 4,736	\$ 4,088	\$ 4,064	\$ 12,888
D. Receivables:					
1. Town Contribution	\$ 5,420,000	\$ 1,823,922	\$ 1,582,389	\$ 2,013,689	\$ 5,420,000
2. Due from Brokers	-	-	-	-	-
3. Due from General Fund	13,211	4,854	4,191	4,166	2,349
4. Interest Receivable	199,853	73,423	63,400	63,030	226,016
5. Total Receivables	\$ 5,633,064	\$ 1,902,199	\$ 1,649,980	\$ 2,080,885	\$ 5,648,365
E. Liabilities					
1. Accounts Payable and Accrued Expenses	\$ 136,829	\$ 50,269	\$ 43,407	\$ 43,153	\$ 148,222
2. Due to Brokers	-	-	-	-	19,590
3. Due to General Fund	-	-	-	-	-
4. Prepaid Town Contributions	-	-	-	-	-
5. Total Liabilities	\$ 136,829	\$ 50,269	\$ 43,407	\$ 43,153	\$ 167,812
F. Total Market Value of Assets	\$ 302,467,165	\$ 110,954,630	\$ 95,816,139	\$ 95,696,396	\$ 257,402,588



Reconciliation of Plan Assets by Benefit Group

Item	September 30					2023
	2024					
	Total	General	Ocean Rescue	Police Officers	Firefighters	Total
A. Market Value of Assets at Beginning of Year	\$ 257,402,588	\$ 89,684,486	\$ 4,674,008	\$ 81,920,847	\$ 81,123,247	\$ 242,925,807
B. Revenues and Expenditures						
1. Contributions						
a. Member Contributions	\$ 1,643,743	\$ 502,505	\$ 2,772	\$ 548,538	\$ 589,928	\$ 1,468,808
b. Town Contributions	18,070,878	5,530,814	314,556	5,510,587	6,714,921	16,877,243
c. State Contributions (Chapter 175/185)	-	-	-	-	-	-
d. Prepaid Contribution	-	-	-	-	-	-
e. Total	\$ 19,714,621	\$ 6,033,319	\$ 317,328	\$ 6,059,125	\$ 7,304,849	\$ 18,346,051
2. Investment Income						
a. Interest, Dividends, and Other Income	\$ 7,094,254	\$ 2,512,076	\$ 129,115	\$ 2,269,452	\$ 2,183,611	\$ 5,900,188
b. Net Appreciation in Fair Value of Investments	42,417,515	15,020,042	771,999	13,569,363	13,056,111	15,671,864
c. Investment Expenses	(587,599)	(208,069)	(10,694)	(187,973)	(180,863)	(632,770)
d. Net Investment Income	\$ 48,924,170	\$ 17,324,049	\$ 890,420	\$ 15,650,842	\$ 15,058,859	\$ 20,939,282
3. Benefits and Refunds						
a. Regular Monthly Benefits	\$ (20,868,814)	\$ (7,249,179)	\$ (435,198)	\$ (6,644,960)	\$ (6,539,477)	\$ (20,461,932)
b. Refunds	(185,943)	(30,864)	-	(61,949)	(93,130)	(98,051)
c. DROP & share account distributions/expenses	(2,037,891)	(75,000)	-	(953,825)	(1,009,066)	(3,858,156)
d. Other	-	-	-	-	-	-
e. Total	\$ (23,092,648)	\$ (7,355,043)	\$ (435,198)	\$ (7,660,734)	\$ (7,641,673)	\$ (24,418,139)
4. Administrative and Miscellaneous Expenses	\$ (481,566)	\$ (169,975)	\$ (8,764)	\$ (153,941)	\$ (148,886)	\$ (390,413)
C. Market Value of Assets at End of Year	\$ 302,467,165	\$ 105,516,836	\$ 5,437,794	\$ 95,816,139	\$ 95,696,396	\$ 257,402,588



Reserve Accounts*

	<u>September 30, 2024</u>	<u>September 30, 2023</u>
Employees' contributions (Members' Saving Fund):		
General	\$ 4,635,211	\$ 4,715,607
Ocean Rescue	2,710	2,516
Police Officers	3,212,073	2,796,126
Firefighters	4,751,829	4,328,559
Totals	\$ 12,601,823	\$ 11,842,808
Employer contributions (Employer Reserve Fund):		
General	(8,518,134)	(19,370,526)
Ocean Rescue	(1,918,572)	(2,485,373)
Police Officers	(13,935,563)	(25,107,098)
Firefighters	(15,684,601)	(27,055,274)
Totals	\$ (40,056,870)	\$ (74,018,271)
Retired members and beneficiaries (Retirement Reserve Fund):		
General	101,738,343	97,644,607
Ocean Rescue	7,011,867	6,845,200
Police Officers	103,320,756	100,123,541
Firefighters	103,057,185	100,063,750
Totals	\$ 315,128,151	\$ 304,677,098
Inactive members (Deferred Retirement Fund):		
General	7,661,416	6,694,798
Ocean Rescue	341,789	311,665
Police Officers	3,218,873	4,108,278
Firefighters	3,571,983	3,786,212
Totals	\$ 14,794,061	\$ 14,900,953
Total		
General	105,516,836	89,684,486
Ocean Rescue	5,437,794	4,674,008
Police Officers	95,816,139	81,920,847
Firefighters	95,696,396	81,123,247
Totals	\$ 302,467,165	\$ 257,402,588

* Before transfers in accordance with Section 82-82(b) of Retirement Ordinance. For Police Officers and Firefighters, all reserve accounts are available for funding.



Funding Value of Retirement System Assets by Benefit Group

Valuation Date – September 30, 2024	General & Ocean Rescue	Police Officers	Firefighters	Total
A. Funding Value Beginning of Year	\$102,616,966	\$89,135,074	\$88,353,792	\$280,105,832
B. Market Value End of Year	110,954,630	95,816,139	95,696,396	302,467,165
C. Market Value Beginning of Year	94,358,494	81,920,847	81,123,247	257,402,588
D. Non-Investment/Administrative Net Cash Flow	(1,618,333)	(1,755,550)	(485,710)	(3,859,593)
E. Investment Income				
E1. Actual Market Total: B-C-D	18,214,469	15,650,842	15,058,859	48,924,170
E2. Assumed Rate of Return	6.20%	6.20%	6.20%	6.20%
E3. Amount for Immediate Recognition	6,380,207	5,544,673	5,546,192	17,471,072
E4. Amount Subject to Phase-In: E1–E3	11,834,262	10,106,169	9,512,667	31,453,098
F. Phased-In Recognition of Investment Income				
F1. Current Year: 0.2 x E4	2,366,852	2,021,234	1,902,533	6,290,619
F2. First Prior Year	265,036	214,885	175,481	655,402
F3. Second Prior Year	(4,730,274)	(4,072,468)	(3,938,340)	(12,741,082)
F4. Third Prior Year	2,568,255	2,188,678	2,060,649	6,817,582
F5. Fourth Prior Year	(264,298)	(233,720)	(238,748)	(736,766)
F6. Total Phase-Ins	205,571	118,609	(38,425)	285,755
G. Funding Value End of Year				
G1. Preliminary Funding Value End of Year:				
A + D + E3 + F6	107,584,411	93,042,806	93,375,849	294,003,066
G2. Upper Corridor Limit: 120%*B	133,145,556	114,979,367	114,835,675	362,960,598
G3. Funding Value End of Year	107,584,411	93,042,806	93,375,849	294,003,066
H. Difference between Market & Funding Value	3,370,219	2,773,333	2,320,547	8,464,099
I. Funding Value Rate of Return	6.40%	6.33%	6.16%	6.30%
J. Recognized Rate of Investment Expenses	0.21%	0.21%	0.21%	0.21%
K. Market Value Rate of Return	19.24 %	19.04 %	18.31 %	18.88 %
L. Ratio of Funding Value to Market Value	97.0%	97.1%	97.6%	97.2%

Funding Value of Retirement System Assets - Plan Total

Valuation Date – September 30,	2023	2024	2025	2026	2027	2028
A. Funding Value Beginning of Year	\$276,185,634	\$280,105,832				
B. Market Value End of Year	257,402,588	302,467,165				
C. Market Value Beginning of Year	242,925,807	257,402,588				
D. Non-Investment/Administrative Net Cash Flow	(6,462,501)	(3,859,593)				
E. Investment Income						
E1. Actual Market Total: B-C-D	20,939,282	48,924,170				
E2. Assumed Rate of Return	6.40%	6.20%				
E3. Amount for Immediate Recognition	17,662,272	17,471,072				
E4. Amount Subject to Phase-In: E1–E3	3,277,010	31,453,098				
F. Phased-In Recognition of Investment Income						
F1. Current Year: 0.2 x E4	655,402	6,290,619				
F2. First Prior Year	(12,741,082)	655,402	6,290,619			
F3. Second Prior Year	6,817,582	(12,741,082)	655,402	6,290,619		
F4. Third Prior Year	(736,767)	6,817,582	(12,741,082)	655,402	6,290,619	
F5. Fourth Prior Year	(1,274,708)	(736,766)	6,817,581	(12,741,085)	655,402	6,290,622
F6. Total Phase-Ins	(7,279,573)	285,755	1,022,520	(5,795,064)	6,946,021	6,290,622
G. Funding Value End of Year						
G1. Preliminary Funding Value End of Year:						
A + D + E3 + F6	280,105,832	294,003,066				
G2. Upper Corridor Limit: 120%*B	308,883,105	362,960,597				
G3. Funding Value End of Year	280,105,832	294,003,066				
H. Difference between Market & Funding Value	(22,703,244)	8,464,099				
I. Funding Value Rate of Return	3.76%	6.30%				
J. Recognized Rate of Investment Expenses	0.23%	0.21%				
K. Market Value Rate of Return	8.63 %	18.88 %				
L. Ratio of Funding Value to Market Value	108.8%	97.2%				

The Funding Value of Assets recognizes assumed investment income (line E3) fully each year. Differences between actual and assumed investment income (line E4) are phased-in over a closed 5-year period. During periods when investment performance exceeds the assumed rate, the Funding Value of Assets will tend to be less than Market Value. During periods when investment performance is less than the assumed rate, the Funding Value of Assets will tend to be greater than Market Value. If assumed rates are exactly realized for 4 consecutive years, it will become equal to Market Value.



**Funding Value of Retirement System Assets
General and Ocean Rescue**

Valuation Date – September 30,	2023	2024	2025	2026	2027	2028
A. Funding Value Beginning of Year	\$101,543,797	\$102,616,966				
B. Market Value End of Year	94,358,494	110,954,630				
C. Market Value Beginning of Year	89,326,670	94,358,494				
D. Non-Investment/Administrative Net Cash Flow	(2,763,870)	(1,618,333)				
E. Investment Income						
E1. Actual Market Total: B-C-D	7,795,694	18,214,469				
E2. Assumed Rate of Return	6.40%	6.20%				
E3. Amount for Immediate Recognition	6,470,516	6,380,207				
E4. Amount Subject to Phase-In: E1-E3	1,325,178	11,834,262				
F. Phased-In Recognition of Investment Income						
F1. Current Year: 0.2 x E4	265,036	2,366,852				
F2. First Prior Year	(4,730,274)	265,036	2,366,852			
F3. Second Prior Year	2,568,255	(4,730,274)	265,036	2,366,852		
F4. Third Prior Year	(264,297)	2,568,255	(4,730,274)	265,036	2,366,852	
F5. Fourth Prior Year	(472,197)	(264,298)	2,568,253	(4,730,276)	265,034	2,366,854
F6. Total Phase-Ins	(2,633,477)	205,571	469,867	(2,098,388)	2,631,886	2,366,854
G. Funding Value End of Year						
G1. Preliminary Funding Value End of Year:						
A + D + E3 + F6	102,616,966	107,584,411				
G2. Upper Corridor Limit: 120%*B	113,230,193	133,145,556				
G3. Funding Value End of Year	102,616,966	107,584,411				
H. Difference between Market & Funding Value	(8,258,472)	3,370,219				
I. Funding Value Rate of Return	3.80%	6.40%				
J. Recognized Rate of Investment Expenses	0.24%	0.21%				
K. Market Value Rate of Return	8.77 %	19.24 %				
L. Ratio of Funding Value to Market Value	108.8%	97.0%				

The Funding Value of Assets recognizes assumed investment income (line E3) fully each year. Differences between actual and assumed investment income (line E4) are phased-in over a closed 5-year period. During periods when investment performance exceeds the assumed rate, the Funding Value of Assets will tend to be less than Market Value. During periods when investment performance is less than the assumed rate, the Funding Value of Assets will tend to be greater than Market Value. If assumed rates are exactly realized for 4 consecutive years, it will become equal to Market Value.



**Funding Value of Retirement System Assets
Police Officers**

Valuation Date – September 30,	2023	2024	2025	2026	2027	2028
A. Funding Value Beginning of Year	\$88,049,274	\$89,135,074				
B. Market Value End of Year	81,920,847	95,816,139				
C. Market Value Beginning of Year	77,448,808	81,920,847				
D. Non-Investment/Administrative Net Cash Flow	(2,226,438)	(1,755,550)				
E. Investment Income						
E1. Actual Market Total: B-C-D	6,698,477	15,650,842				
E2. Assumed Rate of Return	6.40%	6.20%				
E3. Amount for Immediate Recognition	5,624,051	5,544,673				
E4. Amount Subject to Phase-In: E1-E3	1,074,426	10,106,169				
F. Phased-In Recognition of Investment Income						
F1. Current Year: 0.2 x E4	214,885	2,021,234				
F2. First Prior Year	(4,072,468)	214,885	2,021,234			
F3. Second Prior Year	2,188,678	(4,072,468)	214,885	2,021,234		
F4. Third Prior Year	(233,722)	2,188,678	(4,072,468)	214,885	2,021,234	
F5. Fourth Prior Year	(409,186)	(233,720)	2,188,679	(4,072,469)	214,886	2,021,233
F6. Total Phase-Ins	(2,311,813)	118,609	352,330	(1,836,350)	2,236,120	2,021,233
G. Funding Value End of Year						
G1. Preliminary Funding Value End of Year: A + D + E3 + F6	89,135,074	93,042,806				
G2. Upper Corridor Limit: 120%*B	98,305,016	114,979,367				
G3. Funding Value End of Year	89,135,074	93,042,806				
H. Difference between Market & Funding Value	(7,214,227)	2,773,333				
I. Funding Value Rate of Return	3.77%	6.33%				
J. Recognized Rate of Investment Expenses	0.23%	0.21%				
K. Market Value Rate of Return	8.67 %	19.04 %				
L. Ratio of Funding Value to Market Value	108.8%	97.1%				

The Funding Value of Assets recognizes assumed investment income (line E3) fully each year. Differences between actual and assumed investment income (line E4) are phased-in over a closed 5-year period. During periods when investment performance exceeds the assumed rate, the Funding Value of Assets will tend to be less than Market Value. During periods when investment performance is less than the assumed rate, the Funding Value of Assets will tend to be greater than Market Value. If assumed rates are exactly realized for 4 consecutive years, it will become equal to Market Value.

**Funding Value of Retirement System Assets
Firefighters**

Valuation Date – September 30,	2023	2024	2025	2026	2027	2028
A. Funding Value Beginning of Year	\$86,592,563	\$88,353,792				
B. Market Value End of Year	81,123,247	95,696,396				
C. Market Value Beginning of Year	76,150,329	81,123,247				
D. Non-Investment/Administrative Net Cash Flow	(1,472,193)	(485,710)				
E. Investment Income						
E1. Actual Market Total: B-C-D	6,445,111	15,058,859				
E2. Assumed Rate of Return	6.40%	6.20%				
E3. Amount for Immediate Recognition	5,567,705	5,546,192				
E4. Amount Subject to Phase-In: E1-E3	877,406	9,512,667				
F. Phased-In Recognition of Investment Income						
F1. Current Year: 0.2 x E4	175,481	1,902,533				
F2. First Prior Year	(3,938,340)	175,481	1,902,533			
F3. Second Prior Year	2,060,649	(3,938,340)	175,481	1,902,533		
F4. Third Prior Year	(238,748)	2,060,649	(3,938,340)	175,481	1,902,533	
F5. Fourth Prior Year	(393,325)	(238,748)	2,060,649	(3,938,340)	175,482	1,902,535
F6. Total Phase-Ins	(2,334,283)	(38,425)	200,323	(1,860,326)	2,078,015	1,902,535
G. Funding Value End of Year						
G1. Preliminary Funding Value End of Year: A + D + E3 + F6	88,353,792	93,375,849				
G2. Upper Corridor Limit: 120%*B	97,347,896	114,835,675				
G3. Funding Value End of Year	88,353,792	93,375,849				
H. Difference between Market & Funding Value	(7,230,545)	2,320,547				
I. Funding Value Rate of Return	3.72%	6.16%				
J. Recognized Rate of Investment Expenses	0.23%	0.21%				
K. Market Value Rate of Return	8.42 %	18.31 %				
L. Ratio of Funding Value to Market Value	108.9%	97.6%				

The Funding Value of Assets recognizes assumed investment income (line E3) fully each year. Differences between actual and assumed investment income (line E4) are phased-in over a closed 5-year period. During periods when investment performance exceeds the assumed rate, the Funding Value of Assets will tend to be less than Market Value. During periods when investment performance is less than the assumed rate, the Funding Value of Assets will tend to be greater than Market Value. If assumed rates are exactly realized for 4 consecutive years, it will become equal to Market Value.



Investment Return

The approximate annual rates of investment return have been calculated on two bases and are shown below:

Year Ending September 30th	Investment Rate of Return	
	Market Value	Funding Value
1999	13.3	13.9
2000	16.5	20.0
2001	(6.1)	6.8
2002	(10.1)	(4.1)
2003	17.7	4.4
2004	10.5	4.9
2005	11.4	5.6
2006	7.9	8.4
2007	14.1	11.3
2008	(15.6)	4.2
2009	(1.6)	1.2
2010	8.2	3.1
2011	0.1	1.5
2012	15.3	1.3
2013	13.0	6.3
2014	7.2	7.7
2015	(4.1)	5.6
2016	7.6	7.1
2017	11.3	6.7
2018	7.4	5.7
2019	4.4	5.1
2020	5.6	6.8
2021	20.7	9.2
2022	(15.5)	3.7
2023	8.6	3.8
2024	18.9	6.3
Average Returns:		
Last 5 Years	6.8 %	5.9 %
Last 10 Years	6.0 %	6.0 %
All Years	5.9 %	5.9 %

Recent real investment return for the Retirement System has been:

General and Ocean Rescue						
Year Ended September 30						
	2024	2023	2022	2021	2020	Average for Period
Net Rate of Return	6.4 %	3.8 %	3.7 %	9.3 %	6.8 %	6.0 %
less inflation rate	<u>2.4</u>	<u>3.7</u>	<u>8.2</u>	<u>5.4</u>	<u>1.4</u>	<u>4.2</u>
Net Real Rate of Return	4.0	0.1	-4.5	3.9	5.4	1.8
Assumed Real Rate	4.0 %	4.2 %	4.4 %	4.6 %	4.6 %	4.4 %
Assumed Net Rate	6.2 %	6.4 %	6.6 %	6.8 %	7.1 %	6.6 %

Police Officers						
Year Ended September 30						
	2024	2023	2022	2021	2020	Average for Period
Net Rate of Return	6.3 %	3.8 %	3.7 %	9.2 %	6.7 %	5.9 %
less inflation rate	<u>2.4</u>	<u>3.7</u>	<u>8.2</u>	<u>5.4</u>	<u>1.4</u>	<u>4.2</u>
Net Real Rate of Return	3.9	0.1	-4.5	3.8	5.3	1.7
Assumed Real Rate	4.0 %	4.2 %	4.4 %	4.6 %	4.6 %	4.4 %
Assumed Net Rate	6.2 %	6.4 %	6.6 %	6.8 %	7.1 %	6.6 %

Firefighters						
Year Ended September 30						
	2024	2023	2022	2021	2020	Average for Period
Net Rate of Return	6.2 %	3.7 %	3.6 %	9.1 %	6.7 %	5.9 %
less inflation rate	<u>2.4</u>	<u>3.7</u>	<u>8.2</u>	<u>5.4</u>	<u>1.4</u>	<u>4.2</u>
Net Real Rate of Return	3.8	0.0	-4.6	3.7	5.3	1.7
Assumed Real Rate	4.0 %	4.2 %	4.4 %	4.6 %	4.6 %	4.4 %
Assumed Net Rate	6.2 %	6.4 %	6.6 %	6.8 %	7.1 %	6.6 %

The total investment return rate was computed using the approximate formula $i = I$ divided by $1/2 (A + B - I)$, where I is actual realized investment income plus market value adjustments, A is the beginning of year asset value, and B is the end of year asset value.

The preceding investment return rates reflect the particular characteristics of these Retirement Systems and should not be used to measure an investment advisor's performance or for comparison with other retirement systems. Such use will usually mislead.

SECTION D

FINANCIAL ACCOUNTING INFORMATION

ASC 960 INFORMATION							
A. Valuation Date	September 30, 2024						September 30, 2023#
B. Actuarial Present Value of Accumulated Plan Benefits	Total	<i>General and Ocean Rescue</i>			<i>Police Officers</i>	<i>Firefighters</i>	Total
		<i>General</i>	<i>Ocean Rescue</i>	<i>Subtotal</i>			
1. Vested Benefits							
a. Members Currently Receiving Payments	\$ 315,128,151	\$ 101,738,343	\$ 7,011,867	\$ 108,750,210	\$ 103,320,756	\$ 103,057,185	\$ 304,677,098
b. Terminated Vested Members	14,794,061	7,661,416	341,789	8,003,205	3,218,873	3,571,983	14,900,953
c. Other Members	43,176,604	16,598,648	2,710	16,601,358	10,105,514	16,469,732	39,743,084
d. Total	373,098,816	125,998,407	7,356,366	133,354,773	116,645,143	123,098,900	359,321,135
2. Non-Vested Benefits	3,835,632	978,748	17,644	996,392	1,754,955	1,084,285	3,217,080
3. Total Actuarial Present Value of Accumulated Plan Benefits: 1d + 2	376,934,448	126,977,155	7,374,010	134,351,165	118,400,098	124,183,185	362,538,215
4. Accumulated Contributions of Active Members	12,601,823	4,635,211	2,710	4,637,921	3,212,073	4,751,829	11,842,808
C. Changes in the Actuarial Present Value of Accumulated Plan Benefits							
1. Total Value at Beginning of Year	362,538,215	121,376,956	7,169,603	128,546,559	114,086,670	119,904,986	352,977,088
2. Increase (Decrease) During the Period Attributable to:							
a. Plan Amendments	0	0	0	0	0	0	803,326
b. Change in Actuarial Assumptions	8,349,153	2,686,345	134,988	2,821,333	2,595,227	2,932,593	7,942,936
c. Latest Member Data, Benefits Accumulated and Decrease in the Discount Period	29,139,728	10,268,897	504,617	10,773,514	9,378,935	8,987,279	25,233,004
d. Benefits Paid	(23,092,648)	(7,355,043)	(435,198)	(7,790,241)	(7,660,734)	(7,641,673)	(24,418,139)
e. Net Increase	14,396,233	5,600,199	204,407	5,804,606	4,313,428	4,278,199	9,561,127
3. Total Value at End of Period	376,934,448	126,977,155	7,374,010	134,351,165	118,400,098	124,183,185	362,538,215
D. Market Value of Assets	302,467,165	105,516,836	5,437,794	110,954,630	95,816,139	95,696,396	257,402,588
E. Funded Ratio Using Market Value	80.2%	83.1%	73.7%	82.6%	80.9%	77.1%	71.0%
F. Actuarial Assumptions - See page entitled Actuarial Assumptions and Methods							

Reflects all Actuarial Impact Statements through April 30, 2024.



SECTION E

MISCELLANEOUS INFORMATION

RECONCILIATION OF MEMBERSHIP DATA ALL BENEFIT GROUPS		
	From 9/30/23 To 9/30/24	From 9/30/22 To 9/30/23
A. Active Members		
1. Number Included in Last Valuation	304	295
2. New Members Included in Current Valuation	54	35
3. Non-Vested Employment Terminations	(20)	(18)
4. Vested Employment Terminations	(1)	(4)
5. Service Retirements	(2)	(1)
6. DROP Retirements	(6)	(2)
7. Disability Retirements	(1)	0
8. Deaths	0	(1)
9. Transfer/Rehire	0	0
10. Other - Data Corrections	0	0
11. Number Included in This Valuation	328	304
B. Terminated Vested Members		
1. Number Included in Last Valuation	93	95
2. Additions from Active Members	1	4
3. Additions for deferred benefits of new retirees	3	0
4. Lump Sum Payments/Refund of Contributions	0	0
5. Payments Commenced	(3)	(1)
6. Payments Commenced of Current Retirees	(8)	(5)
7. Deaths	0	0
8. Rehire	0	0
9. Other - Data Corrections	0	0
10. Number Included in This Valuation	86	93
C. DROP Retirees, Service Retirees, Disability Retirees and Beneficiaries		
1. Number Included in Last Valuation	437	441
2. Additions from Active Members	9	3
3. Additions from Terminated Vested Members	3	1
4. Deaths	(8)	(14)
5. Additions from New Survivor Benefits	2	6
6. End of Certain Period - No Further Payments	(1)	0
7. Other	0	0
8. Number Included in This Valuation	442	437

RECONCILIATION OF MEMBERSHIP DATA BY BENEFIT GROUP FROM 9/30/23 TO 9/30/24					
	General	Ocean Rescue	Police Officers	Firefighters	Total
A. Active Members					
1. Number Included in Last Valuation	176	2	59	67	304
2. New Members Included in Current Valuation	35	2	13	4	54
3. Non-Vested Employment Terminations	(15)	0	(2)	(3)	(20)
4. Vested Employment Terminations	(1)	0	0	0	(1)
5. Service Retirements	(2)	0	0	0	(2)
6. DROP Retirements	(3)	0	(1)	(2)	(6)
7. Disability Retirements	(1)	0	0	0	(1)
8. Deaths	0	0	0	0	0
9. Transfer/Rehire	0	(1)	0	1	0
10. Other - Data Corrections	0	0	0	0	0
11. Number Included in This Valuation	189	3	69	67	328
B. Terminated Vested Members					
1. Number Included in Last Valuation	45	3	21	24	93
2. Additions from Active Members	1	0	0	0	1
3. Additions for Deferred Benefits of New Retirees	3	0	0	0	3
4. Lump Sum Payments/Refund of Contributions	0	0	0	0	0
5. Payments Commenced	0	0	(2)	(1)	(3)
6. Payments Commenced of Current Retirees	(5)	0	(2)	(1)	(8)
7. Deaths	0	0	0	0	0
8. Rehire	0	0	0	0	0
9. Other - Data Corrections	0	0	0	0	0
10. Number Included in This Valuation	44	3	17	22	86
C. DROP Retirees, Service Retirees, Disability Retirees and Beneficiaries					
1. Number Included in Last Valuation	214	12	108	103	437
2. Additions from Active Members	6	0	1	2	9
3. Additions from Terminated Vested Members	0	0	2	1	3
4. Deaths	(3)	0	(3)	(2)	(8)
5. Additions from New Survivor Benefits	1	0	1	0	2
6. End of Certain Period - No Further Payments	0	0	0	(1)	(1)
7. Other	0	0	0	0	0
8. Number Included in This Valuation	218	12	109	103	442



Age/Service/Salary Distributions – General and Ocean Rescue

Number Eligible/ Number Electing Normal Retirement During Year Ending September 30, 2024

GENERAL

Age	Number Eligible	Number Electing Normal Retirement	
		DROP	Regular
53	2	1	
55	3		
56	5	2	
57	2		
58	1		
59	2		
60	1		
61			
62	2		1
63	5		
64	1		
65	3		
66	1		
67	2		
73	1		1
Totals	31	3	2

OCEAN RESCUE

Age	Number Eligible	Number Electing Normal Retirement	
		DROP	Regular
Totals	0	0	0



General and Ocean Rescue

Retired Member and Beneficiary Data

Historical Schedule*

Year Ended Sept. 30	Number		Net Increase		End of Year		Average Pensions
	Added	Removed	No.	Annual Pensions	No.	Annual Pensions	
1975	13	7	6	\$ 57,636	81	\$ 260,062	\$ 3,211
1980	12	3	9	103,790	119	687,545	5,778
1985	15	5	10	166,787	141	1,103,994	7,830
1990	17	10	7	207,012	168	1,737,745	10,344
1991	7	5	2	145,915	170	1,883,660	11,080
1992	16	11	5	291,355	176	2,175,015	12,358
1993	11	8	3	159,198	179	2,334,213	13,040
1994	21	4	17	441,322	196	2,775,535	14,161
1995	15	8	7	199,472	203	2,975,006	14,655
1996	18	9	9	323,738	212	3,298,744	15,560
1997	13	13	0	127,873	212	3,426,617	16,163
1998	17	8	9	272,820	221	3,699,437	16,740
1999	15	7	8	455,698	229	4,155,135	18,145
2000	9	126 #	(117)	(2,583,596)	112	1,571,539	14,032
2001	11	5	6	445,871	118	2,017,410	17,097
2002	15	12	3	175,152	121	2,192,562	18,120
2003	5	10	(5)	(18,398)	116	2,174,164	18,743
2004	5	4	1	140,941	117	2,315,105	19,787
2005	8	3	5	261,811	122	2,576,916	21,122
2006	3	3	0	72,714	122	2,649,630	21,718
2007	16	4	12	375,327	134	3,024,957	22,574
2008	16	4	12	452,964	146	3,477,921	23,821
2009	12	6	6	373,718	152	3,851,639	25,340
2010	17	3	14	613,661	166	4,465,300	26,899
2011	15	3	12	450,020	178	4,915,320	27,614
2012	19	8	11	415,632	189	5,330,952	28,206
2013	13	7	6	357,390	195	5,688,342	29,171
2014	7	5	2	160,222	197	5,848,564	29,688
2015	18	7	11	585,066	208	6,433,630	30,931
2016	12	7	5	345,060	213	6,778,690	31,825
2017	8	7	1	155,370	214	6,934,060	32,402
2018	15	5	10	441,454	224	7,375,514	32,926
2019	6	6	0	150,828	224	7,526,342	33,600
2020	11	5	6	253,763	230	7,780,105	33,827
2021	13	10	3	93,465	233	7,873,570	33,792
2022	5	10	(5)	(10,844)	228	7,862,726	34,486
2023	5	7	(2)	18,535	226	7,881,261	34,873
2024	7	3	4	290,129	230	8,171,390	35,528

* Prior to the September 30, 2000 valuation, Public Safety members were included.

Includes 122 Public Safety members.



General and Ocean Rescue

Retired Member and Beneficiary Data Historical Comparison

Valuation Date	% Incr. in Annual Pensions**	No. of Active Per Retired		Pension Payroll as % of Active Payroll#	
		General	Ocean Rescue	General	Ocean Rescue
9/30/1975 *	17.9 %	3.7		6.7 %	
9/30/1980 *	21.6	2.5		13.0	
9/30/1985	17.8	2.4		13.2	
9/30/1990	13.5	2.5		10.8	
9/30/1991	8.4	2.6	3.3	10.1	25.4 %
9/30/1992	15.5	2.8	3.0	9.8	25.0
9/30/1993	7.3	2.7	3.3	10.5	23.6
9/30/1994	18.9	2.4	3.0	11.9	24.7
9/30/1995	7.2	2.3	3.3	13.4	22.5
9/30/1996	10.9	2.2	3.0	15.6	22.8
9/30/1997	3.9	2.2	3.3	15.2	20.4
9/30/1998	8.0	2.1	3.3	16.4	19.8
9/30/1999	12.3	2.0	3.3	17.1	19.1
9/30/2000	(62.2)	1.9	3.3	19.4	18.3
9/30/2001	28.4	1.8	3.3	23.2	20.3
9/30/2002	8.7	1.8	1.4	22.9	40.1
9/30/2003	(0.8)	1.9	1.8	20.7	38.5
9/30/2004	6.5	1.9	1.8	20.8	36.5
9/30/2005	11.3	1.8	1.8	21.9	32.8
9/30/2006	2.8	1.8	1.8	21.0	31.4
9/30/2007	14.2	1.7	1.1	22.9	57.0
9/30/2008	15.0	1.5	0.9	26.2	74.9
9/30/2009	10.7	1.4	1.1	28.0	59.0
9/30/2010	15.9	1.1	0.8	37.2	86.8
9/30/2011	10.1	1.0	0.4	42.9	155.8
9/30/2012	8.5	0.8	0.4	51.9	151.0
9/30/2013	6.7	0.8	0.4	56.7	152.9
9/30/2014	2.8	0.9	0.4	56.7	151.3
9/30/2015	10.0	0.8	0.3	62.5	256.8
9/30/2016	5.4	0.8	0.4	60.5	241.8
9/30/2017	2.3	0.9	0.4	59.8	239.0
9/30/2018	6.4	0.8	0.4	67.3	272.6
9/30/2019	2.0	0.7	0.4	71.6	249.8
9/30/2020	3.4	0.7	0.0	72.4	N/A
9/30/2021	1.2	0.7	0.0	71.4	N/A
9/30/2022	-0.1	0.8	0.2	63.4	524.0
9/30/2023	0.2	0.8	0.2	56.9	565.4
9/30/2024	3.7	0.9	0.3	53.0	362.6

* Averages for the 5 years ending with the valuation date.

Breakdown by division not available prior to 9/30/89. Data shown under General heading is for all divisions combined prior to 9/30/89.

** For the September 30, 2000 - 2010 valuations, Public Safety members are valued in a separate report.



General and Ocean Rescue

Retired Member and Beneficiary Data as of September 30, 2024

TYPE OF PENSION BEING PAID

Type of Benefit Being Paid	General		Ocean Rescue	
	No.	Annual Pensions	No.	Annual Pensions
Age & Service Benefits				
Straight Life	54	\$ 1,592,398	4	\$ 186,603
Joint and Survivor Benefits	110	4,494,765	5	202,857
Surviving Beneficiaries	31	856,920	2	51,027
DROP members	12	362,932	1	13,644
Total Age and Service Benefits	207	7,307,015	12	454,131
Duty Disability Benefits				
Straight Life	1	12,801	0	0
Surviving Beneficiaries	0	0	0	0
Total Duty Disability Benefits	1	12,801	0	0
Non-Duty Disability Benefits				
Straight Life	1	127,917	0	0
Joint and Survivor Benefits	2	71,478	0	0
Surviving Beneficiaries	4	61,912	0	0
Total Non-Duty Disability Benefits	7	261,307	0	0
Death-in-Service Benefits				
Non-Duty Spouse	3	136,136	0	0
Total Death-in-Service Benefits	3	136,136	0	0
Totals	218	\$ 7,717,259	12	\$ 454,131



General and Ocean Rescue

Retired Member and Beneficiary Data as of September 30, 2024

(INCLUDES DROP PARTICIPANTS)

TABULATED BY ATTAINED AGE

Attained Age	General		Ocean Rescue	
	No.	Annual Pensions	No.	Annual Pensions
Under 40	1	\$ 9,631		
40 - 44	1	11,384		
45 - 49	2	47,283		
50 - 54	2	83,193		
55 - 59	11	336,163	3	\$ 99,771
60 - 64	39	1,376,988	3	119,660
65 - 69	51	1,920,090	3	145,081
70 - 74	47	1,722,769	1	38,592
75 - 79	29	1,256,421		
80 - 84	21	630,416		
85 - 89	9	243,781	2	51,027
90 - 94	4	58,981		
95 - 99	1	20,159		
Totals	218	\$7,717,259	12	\$454,131

	General	Ocean Rescue
Average Age at Retirement:	57.4 years	48.8 years
Average Age Now:	70.7	67.2



General and Ocean Rescue

Vested Terminated Members as of September 30, 2024

TABULATED BY ATTAINED AGE

Attained Age	General		Ocean Rescue	
	No.	Annual Estimated Pensions*	No.	Annual Estimated Pensions**
37	1	\$ 6,600		
38	1	1,200		
39	1	15,607		
42	1	4,064		
44	1	29,474		
45	1	28,863		
47			1	\$ 17,740
48	1	17,904		
49	5	105,509		
50	3	96,883		
51	2	66,572		
52	2	54,063		
53	3	56,602		
54	4	69,957		
55			1	2,160
56	2	28,612		
58	3	38,388	1	5,527
59	5	29,173		
60	3	21,610		
61	3	18,416		
62	1	7,063		
63	1	3,173		
Totals	44	\$699,733	3	\$25,427

* Includes estimated Plan B benefits for 19 members currently receiving Plan A benefits.

**Includes estimated Plan B benefits for 2 members currently receiving Plan A benefits.



General

Active and Vested Terminated Members Included in Valuation Historical Schedule

Valuation Date September 30	Active Members	Vested Terminated Members	Valuation Payroll	Average		
				Age	Service	Pay
1996	205	2	\$ 6,624,917	42.8 yrs.	8.2 yrs.	\$ 32,317
1997	210	2	7,128,895	42.7	8.1	33,947
1998	214	2	7,528,503	42.9	8.1	35,180
1999	204	5	7,582,477	43.7	8.6	37,169
2000	202	6	7,760,543	44.0	8.5	38,419
2001	208	6	8,371,487	43.5	8.4	40,248
2002	206	5	9,106,367	43.9	8.4	44,206
2003	212	6	9,883,393	44.4	9.0	46,620
2004	211	7	10,517,577	44.9	9.5	49,846
2005	210	8	11,147,262	45.7	9.5	53,082
2006	216	7	11,994,303	46.3	9.9	55,529
2007	214	6	12,336,518	46.5	10.1	57,647
2008	202	7	12,366,080	46.2	10.4	61,218
2009	203	8	12,893,270	46.3	10.2	63,514
2010	175	9	11,256,751	47.1	10.7	64,324
2011	164	11	10,721,241	47.4	10.9	65,373
2012	151	13	9,683,803	46.8	11.4	64,131
2013	156	14	9,498,699	46.0	10.7	60,889
2014	162	19	9,868,597	46.0	10.8	60,917
2015	159	21	9,714,116	45.9	10.6	61,095
2016	165	30	10,549,091	46.4	9.8	63,934
2017	174	30	10,917,199	46.7	9.3	62,743
2018	164	34	10,348,525	46.2	9.3	63,101
2019	152	36	9,946,240	47.2	10.1	65,436
2020	149	40	10,158,087	47.3	9.9	68,175
2021	151	43	10,422,675	47.3	9.5	69,024
2022	166	42	11,710,246	46.8	8.9	70,544
2023	176	45	13,063,995	46.6	8.5	74,227
2024	189	44	14,566,184	46.1	8.0	77,070

Ocean Rescue

Active and Vested Terminated Members Included in Valuation Historical Schedule

Valuation Date September 30	Active Members	Vested Terminated Members	Valuation Payroll	Average		
				Age	Service	Pay
1996	9	0	\$273,443	36.0 yrs.	9.1 yrs.	\$ 30,383
1997	10	0	307,049	35.5	9.2	30,705
1998	10	0	320,414	36.5	10.2	32,041
1999	10	0	335,155	37.5	11.2	33,516
2000	10	0	352,879	38.5	12.2	35,288
2001	10	0	380,672	38.8	12.7	38,067
2002	7	0	273,922	40.0	14.0	39,132
2003	9	0	339,703	39.0	11.9	37,745
2004	9	0	359,342	40.0	12.9	39,927
2005	9	0	404,910	41.0	13.9	44,990
2006	9	0	427,989	42.0	14.9	47,554
2007	8	0	360,242	39.9	12.5	45,030
2008	7	0	321,053	39.8	12.5	45,865
2009	9	0	410,292	37.7	10.6	45,588
2010	7	0	323,298	38.0	10.8	46,185
2011	4	0	204,927	41.3	14.6	51,232
2012	4	0	200,577	42.4	15.6	50,144
2013	4	0	199,719	43.4	16.6	49,930
2014	4	0	206,713	44.4	17.6	51,678
2015	3	0	142,289	45.0	16.1	47,430
2016	4	1	165,161	46.6	7.9	41,290
2017	4	1	169,295	47.6	8.9	42,324
2018	4	1	150,887	38.4	8.9	37,722
2019	4	2	163,205	37.6	4.8	40,801
2020	0	3	0	N/A	N/A	N/A
2021	0	3	0	N/A	N/A	N/A
2022	2	3	83,562	27.9	0.5	41,781
2023	2	3	78,869	32.0	1.0	39,435
2024	3	3	125,228	31.6	0.6	41,743



General

Schedule of Active Participant Data as of September 30, 2024

BY NEAR AGE AND YEARS OF SERVICE

Near Age	Years of Service to Valuation Date							Totals	
	0-4	5-9	10-14	15-19	20-24	25-29	30 Plus	No.	Valuation Payroll
20-24	5							5	\$ 265,044
25-29	12							12	649,538
30-34	15	3	2					20	1,179,225
35-39	21	1	1	3				26	1,739,819
40-44	14	3	1	5				23	1,681,649
45-49	14	1	2		2	2		21	1,604,033
50-54	8	5	3	3	1	4	1	25	2,067,378
55-59	8	6	8	3	3	4		32	2,972,148
60						1		1	113,267
61	3	1	1	1				6	405,709
62	1		1					2	144,414
63	1	1		1				3	374,467
64		2				1		3	226,923
65		2	1					3	444,876
66	1		1			1		3	381,241
67		1		1				2	194,888
68	2							2	121,565
Totals	105	26	21	17	6	13	1	189	\$14,566,184



Ocean Rescue

Schedule of Active Participant Data as of September 30, 2024

BY NEAR AGE AND YEARS OF SERVICE

Near Age	Years of Service to Valuation Date							Totals	
	0-4	5-9	10-14	15-19	20-24	25-29	30 Plus	No.	Valuation Payroll
20-24	1							1	\$ 40,488
25-29	1							1	41,704
45-49	1							1	43,036
Totals	3	0	0	0	0	0	0	3	\$125,228

Age/Service/Salary Distributions – Police Officers

Number Eligible/ Number Electing Normal Retirement During Year Ending September 30, 2024

Age	Number Eligible	Number Electing Normal Retirement	
		DROP	Regular
44	1		
50	1		
53	1		
56	2		
60	1		
62	1	1	
Totals	7	1	0

Police Officers

Retired Member and Beneficiary Data Historical Schedule*

Year Ended Sept. 30	Number		Net Increase		End of Year		Average Pensions
	Added	Removed	No.	Annual Pensions	No.	Annual Pensions	
1991	7	5	2	\$ 145,915	170	\$ 1,883,660	\$ 11,080
1992	16	11	5	291,355	176	2,175,015	12,358
1993	11	8	3	159,198	179	2,334,213	13,040
1994	21	4	17	441,322	196	2,775,535	14,161
1995	15	8	7	199,472	203	2,975,006	14,655
1996	18	9	9	323,738	212	3,298,744	15,560
1997	13	13	0	127,873	212	3,426,617	16,163
1998	17	8	9	272,820	221	3,699,437	16,740
1999	15	7	8	455,698	229	4,155,135	18,145
2000	16	110 #	(94)	(861,467)	135	3,293,668	24,398
2001	12	9	3	215,455	138	3,509,123	25,428
2002	8	3	5	269,507	143	3,778,630	26,424
2003	1	2	(1)	100,315	142	3,878,945	27,317
2004	4	3	1	172,906	68	1,968,093	28,943
2005	4	1	3	247,724	71	2,215,817	31,209
2006	3	1	2	257,450	73	2,473,267	33,880
2007	7	2	5	503,946	78	2,977,213	38,169
2008	5	2	3	389,364	81	3,366,577	41,563
2009	3	2	1	159,740	82	3,526,317	43,004
2010	2	0	2	172,503	84	3,698,820	44,034
2011	9	5	4	602,812	88	4,301,632	48,882
2012	7	1	6	306,760	94	4,608,392	49,025
2013	1	0	1	124,540	95	4,732,932	49,820
2014	5	3	2	446,535	97	5,197,467	53,397
2015	3	5	(2)	34,586	95	5,232,053	55,074
2016	8	5	3	255,281	98	5,487,334	55,993
2017	2	0	2	192,043	100	5,679,377	56,794
2018	6	3	3	338,205	103	6,017,582	58,423
2019	3	4	(1)	108,887	102	6,126,469	60,063
2020	6	2	4	295,381	106	6,421,850	60,583
2021	0	1	(1)	113,963	105	6,535,813	62,246
2022	4	3	1	144,378	106	6,680,191	63,021
2023	3	1	2	162,993	108	6,843,184	63,363
2024	4	3	1	210,497	109	7,053,681	64,713

* Prior to the September 30, 2000 valuation, General members were included. Prior to the September 30, 2004 valuation, Fire members were included.

Includes 107 General members.



Police Officers

Retired Member and Beneficiary Data Historical Comparison

Valuation Date**	% Incr. in Annual Pensions	No. of Active Per Retired	Pension Payroll as % of Active Payroll
9/30/1996	10.9 %	1.3	29.5 %
9/30/1997	3.9	1.4	29.2
9/30/1998	8.0	1.5	27.9
9/30/1999	12.3	1.3	30.8
9/30/2000	(20.7)	1	42.9
9/30/2001	6.5	1.0	39.4
9/30/2002	7.7	1.0	38.6
9/30/2003	2.7	1.0	38.1
9/30/2004	(49.3)	1.0	38.8
9/30/2005	12.6	1.0	41.4
9/30/2006	11.6	1.0	42.9
9/30/2007	20.4	0.9	55.8
9/30/2008	13.1	0.8	63.4
9/30/2009	4.7	0.9	57.0
9/30/2010	4.9	0.8	61.2
9/30/2011	16.3	0.7	82.4
9/30/2012	7.1	0.5	108.7
9/30/2013	2.7	0.5	137.0
9/30/2014	9.4	0.5	154.4
9/30/2015	0.7	0.5	142.6
9/30/2016	4.9	0.5	154.2
9/30/2017	3.5	0.5	146.9
9/30/2018	6.0	0.5	167.0
9/30/2019	1.8	0.6	144.8
9/30/2020	4.8	0.5	156.3
9/30/2021	1.8	0.5	145.9
9/30/2022	2.2	0.6	132.9
9/30/2023	2.4	0.5	127.9
9/30/2024	3.1	0.6	104.6

** For the September 30, 2000 - 2012 valuations, General and Ocean Rescue are valued in a separate report. For the September 30, 2004 – 2012 valuations, Firefighters are valued in a separate report.



Police Officers

Retired Member and Beneficiary Data as of September 30, 2024

TYPE OF PENSION BEING PAID

Type of Benefit Being Paid	No.	Annual Benefit
Age & Service Benefits		
Straight Life	7	\$ 503,893
10-Year Certain	67	4,934,799
Joint and Survivor Benefits - Regular	12	652,590
Surviving Beneficiaries	14	405,315
Total Age and Service Benefits	100	6,496,597
Duty Disability Benefits		
Straight Life	0	0
10-Year Certain	2	100,413
Joint and Survivor Benefits	0	0
Surviving Beneficiaries	0	0
Total Duty Disability Benefits	2	100,413
Non-Duty Disability Benefits		
Straight Life	0	0
10-Year Certain	1	63,749
Joint and Survivor Benefits	0	0
Surviving Beneficiaries	1	18,752
Total Non-Duty Disability Benefits	2	82,501
Death-In-Service Benefits		
Non-Duty Spouse	1	51,066
Total Death-in-Service Benefits	1	51,066
Active DROP Members	4	323,104
Totals	109	\$ 7,053,681



Police Officers

Retired Member and Beneficiary Data as of September 30, 2024

(INCLUDES DROP PARTICIPANTS)

TABULATED BY ATTAINED AGE

Attained Age	No.	Annual Pensions
30 - 34	0	0
35 - 39	0	0
40 - 44	1	51,066
45 - 49	4	215,351
50 - 54	12	588,468
55 - 59	17	1,194,371
60 - 64	18	1,657,961
65 - 69	21	1,680,865
70 - 74	7	359,958
75 - 79	11	552,523
80 - 84	11	574,656
85 - 89	6	165,891
90 - 94	1	12,571
Totals	109	\$7,053,681

Average Age at Retirement: 49.3

Average Age Now: 66.7



Police Officers

Vested Terminated Members as of September 30, 2024

TABULATED BY ATTAINED AGE

Attained Age	No.	Annual Estimated Pensions*
38	2	16,416
39	2	12,512
43	1	9,473
46	1	22,781
48	1	18,089
49	2	60,875
50	1	15,854
52	1	6,402
53	3	36,277
54	2	31,857
59	1	834
Totals	17	\$231,370

* Includes estimated Plan B benefits for 9 members currently receiving Plan A benefits.

Police Officers

Active and Vested Terminated Members Included in Valuation Historical Schedule

Valuation Date September 30	Active Members	Vested		Valuation Payroll	Average		
		Terminated Members			Age	Service	Pay
2001	62	2		\$3,959,149	37.8 yrs.	10.0 yrs.	\$63,857
2002	66	2		4,454,577	37.9	9.4	67,494
2003	67	2		4,713,181	38.5	10.0	70,346
2004	70	2		5,069,790	38.3	9.6	72,426
2005	72	1		5,347,947	38.8	9.6	74,277
2006	74	2		5,769,134	38.9	9.0	77,961
2007	71	2		5,333,625	38.9	8.7	75,121
2008	65	2		5,309,135	39.6	8.8	81,679
2009	70	1		6,186,737	39.1	8.5	88,382
2010	68	1		6,043,273	39.9	9.3	88,872
2011	60	1		5,221,806	40.1	9.0	87,030
2012	47	8		4,241,336	40.6	10.3	90,241
2013	47	17		3,453,957	40.7	9.2	73,488
2014	49	23		3,354,258	40.8	7.8	68,454
2015	52	24		3,668,289	40.3	8.3	70,544
2016	48	22		3,559,337	39.0	8.2	74,153
2017	54	24		3,865,012	38.7	7.5	71,574
2018	50	24		3,603,005	38.5	7.3	72,060
2019	58	25		4,232,212	37.7	6.8	72,969
2020	55	28		4,108,195	37.9	6.1	74,694
2021	57	24		4,480,952	38.1	6.6	78,613
2022	60	23		5,026,795	38.7	6.6	83,780
2023	59	21		5,348,964	39.4	7.4	90,660
2024	69	17		6,745,385	38.8	7.0	97,759

Police Officers

Schedule of Active Participant Data as of September 30, 2024

BY NEAR AGE AND YEARS OF SERVICE

Near Age	Years of Service to Valuation Date							Totals	
	0-4	5-9	10-14	15-19	20-24	25-29	30 Plus	No.	Valuation Payroll
20-24	2							2	\$ 132,726
25-29	11	1						12	939,969
30-34	6	10	1					17	1,560,304
35-39	4	4		1				9	855,338
40-44	4	1	3	4	1			13	1,401,795
45-49	1			1				2	223,971
50-54	1	1	1	2				5	588,651
55-59	1	2	2	1				6	637,172
60		1						1	112,465
61				1				1	198,439
67		1						1	94,555
Totals	30	21	7	10	1	0	0	69	\$6,745,385

Age/Service/Salary Distributions – Firefighters

Number Eligible/ Number Electing Normal Retirement During Year Ending September 30, 2024

Age	Number Eligible	Number Electing Normal Retirement	
		DROP	Regular
44	1		
47	1		
48	3		
49	3		
50	1	1	
51	1		
53	1		
55	1		
56	1		
57	1		
60	1	1	
61	1		
Totals	16	2	0

Firefighters

Retired Member and Beneficiary Data Historical Schedule*

Year Ended Sept. 30	Number		Net Increase		End of Year		Average Pensions
	Added	Removed	No.	Annual Pensions	No.	Annual Pensions	
1986	10	3	7	\$119,451	148	\$1,223,445	\$ 8,267
1987	7	2	5	72,350	153	1,295,794	8,469
1988	13	8	5	92,514	158	1,388,308	8,787
1989	9	6	3	142,425	161	1,530,733	9,508
1990	17	10	7	207,012	168	1,737,745	10,344
1991	7	5	2	145,915	170	1,883,660	11,080
1992	16	11	5	291,355	176	2,175,015	12,358
1993	11	8	3	159,198	179	2,334,213	13,040
1994	21	4	17	441,322	196	2,775,535	14,161
1995	15	8	7	199,472	203	2,975,006	14,655
1996	18	9	9	323,738	212	3,298,744	15,560
1997	13	13	0	127,873	212	3,426,617	16,163
1998	17	8	9	272,820	221	3,699,437	16,740
1999	15	7	8	455,698	229	4,155,135	18,145
2000	16	110 #	(94)	(861,467)	135	3,293,668	24,398
2001	12	9	3	215,455	138	3,509,123	25,428
2002	8	3	5	269,507	143	3,778,630	26,424
2003	1	2	(1)	100,315	142	3,878,945	27,317
2004	9	7	2	235,991	77	2,319,749	30,127
2005	2	0	2	247,973	79	2,567,722	32,503
2006	3	4	(1)	187,448	78	2,755,170	35,323
2007	6	5	1	254,745	79	3,009,915	38,100
2008	7	4	3	270,047	82	3,279,962	40,000
2009	6	3	3	316,610	85	3,596,572	42,313
2010	5	1	4	232,386	89	3,828,958	43,022
2011	9	6	3	719,043	92	4,548,001	49,435
2012	4	2	2	238,201	94	4,786,202	50,917
2013	5	2	3	132,496	97	4,918,698	50,708
2014	6	2	4	449,739	101	5,368,437	53,153
2015	4	2	2	233,139	103	5,601,576	54,384
2016	3	2	1	236,285	104	5,837,861	56,133
2017	1	1	0	110,563	104	5,948,424	57,196
2018	5	1	4	195,272	108	6,143,696	56,886
2019	0	1	(1)	60,443	107	6,204,139	57,983
2020	5	4	1	185,904	108	6,390,043	59,167
2021	1	4	(3)	(42,243)	105	6,347,800	60,455
2022	4	2	2	173,788	107	6,521,588	60,949
2023	2	6	(4)	22,797	103	6,544,385	63,538
2024	3	3	0	154,422	103	6,698,807	65,037

* Prior to the September 30, 2000 valuation, General members were included. Prior to the September 30, 2004 valuation, Police members were included.

Includes 107 General members.



Firefighters

Retired Member and Beneficiary Data Historical Comparison

Valuation Date**	% Incr. in Annual Pensions	No. of Active Per Retired	Pension Payroll as % of Active Payroll
9/30/1996	10.9 %	1.1	41.8 %
9/30/1997	3.9	1.1	40.1
9/30/1998	8.0	1.0	45.7
9/30/1999	12.3	0.8	58.8
9/30/2000	(20.7)	0.8	65.2
9/30/2001	6.5	0.8	62.8
9/30/2002	7.7	0.7	62.1
9/30/2003	2.7	0.8	54.2
9/30/2004	(40.2)	0.9	52.2
9/30/2005	10.7	0.9	49.0
9/30/2006	7.3	0.9	48.3
9/30/2007	9.2	0.9	54.0
9/30/2008	9.0	0.9	56.3
9/30/2009	9.7	0.9	56.2
9/30/2010	6.5	0.8	61.6
9/30/2011	18.8	0.7	88.4
9/30/2012	5.2	0.5	117.1
9/30/2013	2.8	0.5	134.0
9/30/2014	9.1	0.5	157.7
9/30/2015	4.3	0.5	172.7
9/30/2016	4.2	0.5	168.8
9/30/2017	1.9	0.6	159.2
9/30/2018	3.3	0.5	148.2
9/30/2019	1.0	0.5	139.5
9/30/2020	3.0	0.6	122.8
9/30/2021	(0.7)	0.6	113.0
9/30/2022	2.7	0.6	107.7
9/30/2023	0.3	0.7	100.5
9/30/2024	2.4	0.7	97.7

** For the September 30, 2000 - 2010 valuations, General and Ocean Rescue are valued in a separate report. For the September 30, 2004 – 2010 valuations, Police is valued in a separate report.



Firefighters

Retired Member and Beneficiary Data as of September 30, 2024

TYPE OF PENSION BEING PAID

Type of Benefit Being Paid	No.	Annual Benefit
Age & Service Benefits		
Straight Life	2	\$ 65,022
10-Year Certain	61	4,844,864
Joint and Survivor Benefits - Regular	18	897,595
Surviving Beneficiaries	12	438,477
Total Age and Service Benefits	93	6,245,958
Duty Disability Benefits		
Straight Life	0	0
10-Year Certain	0	0
Joint and Survivor Benefits	1	59,981
Surviving Beneficiaries	0	0
Total Duty Disability Benefits	1	59,981
Non-Duty Disability Benefits		
Straight Life	0	0
10-Year Certain	4	206,869
Joint and Survivor Benefits	2	53,497
Surviving Beneficiaries	0	0
Total Non-Duty Disability Benefits	6	260,366
Death-In-Service Benefits		
Non-Duty Spouse	0	0
Total Death-in-Service Benefits	0	0
Active DROP Members	3	132,502
Totals	103	\$ 6,698,807



Firefighters

Retired Member and Beneficiary Data as of September 30, 2024

(INCLUDES DROP PARTICIPANTS)

TABULATED BY ATTAINED AGE

Attained Age	No.	Annual Pensions
Under 40	0	\$ 0
40 - 44	0	0
45 - 49	2	96,952
50 - 54	15	940,588
55 - 59	13	947,315
60 - 64	15	1,328,499
65 - 69	22	1,676,527
70 - 74	13	658,981
75 - 79	9	514,460
80 - 84	11	433,877
85 - 89	3	101,608
90 - 94	0	0
95 - 99	0	0
Totals	103	\$ 6,698,807

Average Age at Retirement: 47.8 years

Average Age Now: 66.5 years



Firefighters

Vested Terminated Members as of September 30, 2024

TABULATED BY ATTAINED AGE

Attained Age	No.	Annual Estimated Pensions*
37	1	\$ 7,934
39	1	7,613
41	3	40,694
42	1	7,937
43	4	73,384
44	2	41,418
45	1	20,704
48	3	53,807
50	1	3,752
51	1	4,800
52	2	1,827
53	1	5,491
54	1	3,502
Totals	22	\$ 272,863

* Includes estimated Plan B benefits for 7 members currently receiving Plan A benefits.

Firefighters

Active and Vested Terminated Members Included in Valuation Historical Schedule

Valuation Date September 30	Active Members	Vested Terminated Members	Valuation Payroll	Average		
				Age	Service	Pay
2001	58	0	\$3,104,984	36.4 yrs.	10.1 yrs.	\$53,534
2002	56	2	3,314,457	36.9	10.3	59,187
2003	63	1	3,845,159	37.2	10.1	61,034
2004	67	1	4,443,846	37.4	9.4	66,326
2005	74	2	5,236,941	37.2	8.7	70,769
2006	74	2	5,709,684	37.7	9.1	77,158
2007	72	2	5,573,348	37.9	9.1	77,408
2008	73	1	5,822,885	37.9	9.3	79,766
2009	73	1	6,397,554	37.6	9.1	87,638
2010	69	1	6,218,731	38.1	9.8	90,127
2011	60	1	5,142,125	38.0	9.2	85,702
2012	51	6	4,087,465	38.0	10.0	80,146
2013	50	13	3,671,337	39.3	9.6	73,427
2014	50	25	3,403,307	37.3	7.4	68,066
2015	49	29	3,242,811	36.6	7.0	66,180
2016	51	35	3,457,670	37.7	5.8	67,797
2017	58	35	3,736,398	36.7	5.7	64,421
2018	57	32	4,146,355	37.1	6.4	72,743
2019	58	30	4,446,646	37.5	7.1	76,666
2020	64	28	5,204,780	37.7	7.4	81,325
2021	67	27	5,616,955	37.4	7.8	83,835
2022	67	27	6,056,756	37.8	8.4	90,399
2023	67	24	6,510,371	38.8	9.3	97,170
2024	67	22	6,854,224	39.0	9.6	102,302

Firefighters

Schedule of Active Participant Data as of September 30, 2024

BY NEAR AGE AND YEARS OF SERVICE

Attained Age	Years of Service to Valuation Date							Totals	
	0-4	5-9	10-14	15-19	20-24	25-29	30 Plus	No.	Valuation Payroll
20-24	2							2	\$ 119,619
25-29	6	1						7	528,968
30-34	7	7	1					15	1,304,153
35-39	4	9						13	1,301,030
40-44	1	6	2	2	1			12	1,343,726
45-49		1	1	4	2			8	1,067,115
50-54			2		3			5	576,056
55-59			1	2	1			4	470,516
62					1			1	143,041
Totals	20	24	7	8	8	0	0	67	\$6,854,224

SECTION F

SUMMARY OF PLAN PROVISION

Summary of Benefit Provisions

(September 30, 2024)

General/Ocean Rescue

NORMAL RETIREMENT:

Eligibility

Grandfathered and April 30, 2012 frozen accrued benefits.

General: 30 or more years of service, regardless of age; or, age 55 with 10 or more years of credited service.

Ocean Rescue: Age 50 with 10 or more years of service. Members with at least 10 years of credited service who retire after 2/9/93 are eligible when the individual's age plus credited service totals 65 years or more.

Plan benefits accrued after April 30, 2012.

General: Age 62 with 5 or more years of service. Members whose employment terminated prior to May 1, 2017 are eligible to retire or enter DROP at age 65 with 10 or more years of service. Members whose employment terminated between May 1, 2017 and May 31, 2024 are eligible to retire or enter DROP at age 62 with 10 or more years of service.

Ocean Rescue: Age 62 with 5 or more years of service. Members whose employment terminated prior to May 1, 2017 are eligible to retire or enter DROP at age 65 with 10 or more years of service. Members whose employment terminated between May 1, 2017 and May 31, 2024 are eligible to retire or enter DROP at age 62 with 10 or more years of service.

Pension Amount

Grandfathered and April 30, 2012 frozen accrued benefits.

General: Average final compensation times the sum of a) 2.75% for service earned after 9/30/90, to a maximum of 82.5%, plus 2.35% for service earned on or before 9/30/90 for the first 30 years of service, plus, b) 1.0% for service in excess of 30 years.

Ocean Rescue: Average final compensation times the sum of a) 2.85% for the first 25 years of service with a maximum of 71.25% of AFC, plus, b) 1.0% for service in excess of 25 years.

The normal form of pension is a pension payable for life. Also, see Automatic Death After Retirement Pension heading.



Plan benefits accrued after April 30, 2012.

Average final compensation multiplied by

- a) 1.25% per year of credited service between May 1, 2012 and April 30, 2017, plus
- b) 1.70% per year of credited service on and after May 1, 2017 and May 31, 2024, plus
- c) 2.00% per year of credited service on and after June 1, 2024.

Type of Average Final Compensation

Grandfathered and April 30, 2012 frozen accrued benefits.

Highest 2 consecutive years within the member's last 5 years of credited service.

Plan benefits accrued after April 30, 2012.

Average final compensation after April 30, 2012 over a period increasing up to the final 5 years of credited service.

DROP RETIREMENT:

Eligibility - Same as Normal Retirement.

Pension Amount - Members that entered the DROP before May 1, 2012: 98% of the member's accrued benefit at the date of election to participate in DROP.

Members that entered the DROP after April 30, 2012: Except for grandfathered members, 100% of the member's accrued benefit at the date of election to participate in DROP.

Monthly Distributions - Monthly DROP payments are made to the retirement trust during DROP participation.

EARLY RETIREMENT (GENERAL):

Eligibility - Age 50 with 10 or more years of credited service. Frozen accrued benefits as of April 30, 2012 are vested immediately. Eligibility for benefits accrued after April 30, 2017 is age 60 with 5 or more years of credited service.

Pension Amount - Frozen accrued benefits are computed as a normal retirement benefit but reduced 6/10 of 1% (3/10 of 1% if service credit is 20 or more years) for each month early retirement precedes the member's projected normal retirement date. For plan benefits accrued after April 30, 2012 the Plan provides for an actuarially equivalent reduction.



DEFERRED RETIREMENT (VESTED TERMINATION BENEFIT):

Eligibility - 5 or more years of service. Members whose employment terminated prior to June 1, 2024 are eligible for deferred retirement with 10 or more years of service. Pension begins upon meeting requirement for normal retirement. Contributions must be left on deposit in the System; failure to do so results in forfeiture of the vested benefit. Members are immediately vested in Plan A when reaching age 55 if employed on May 1, 2012.

Plan B members with service accrued after April 30, 2012 are eligible for normal retirement at age 65. Plan B members who are employed or participating in DROP on and after May 1, 2017 are eligible to retire at age 62.

Pension Amount - Computed as for normal retirement, based upon service and average final compensation at time of termination.

DUTY DISABILITY RETIREMENT:

Eligibility - No age or service requirements.

Pension Amount - Computed as a regular retirement with additional service credit granted from date of disability to earliest normal retirement eligibility date. Minimum benefit is 60% of average final compensation.

NON-DUTY DISABILITY BEFORE RETIREMENT:

Eligibility - 5 or more years of credited service.

Pension Amount - Computed as for normal retirement.

DUTY DEATH SPECIAL PROVISIONS:

Eligibility - Death while actually performing duty for the Town or as the natural and proximate result, independent of all other causes, of a personal injury or disease arising out of and in the course of the actual performance of duty for the town.

- a) 5-year service credit requirement is waived.
- b) surviving children receive 25% of deceased member's AFC, not to exceed 75% of AFC when there are four or more surviving children.
- c) Surviving spouse receives difference between 75% of deceased member's AFC and aggregate amount paid surviving children.



NON-DUTY DEATH BEFORE RETIREMENT (ELECTIVE SURVIVOR PENSION):

Eligibility:

- (a) The member has elected a survivor beneficiary
- (b) The member dies while in the employ of town with at least 5 years of credited service, or the member was employed by the town and not participating in the DROP on May 1, 2012 and thereafter dies while in the employ of the town.
- (c) The member files a survivor beneficiary designation in writing with Human Resources Department.

Pension Survivorship Amount: computed as if the deceased member had elected optional form of payment 100% survivorship payment.

AUTOMATIC DEATH AFTER RETIREMENT PENSION:

Grandfathered and April 30, 2012 frozen accrued benefits.

To Surviving Child(ren): 25% of the retirant's pension payable to age 18, not to exceed an equal share of 75% of the retirant's pension. Payments to surviving children may be paid to age 25 if no spouse benefits are payable. Deceased retirant payment is unreduced for an initial 10-year period from the retirant's retirement date. Subsequent payments are based on 75% from the end of this 10-year period until termination of applicable surviving child(ren) or spousal payment.

To Surviving Spouse: The difference, if any, between 75% of the deceased retirant's pension and the aggregate amount paid to any surviving children for the month. Payment is unreduced for an initial 10-year period from the retirant's retirement date. Subsequent payments are made until the later of death of surviving spouse or termination of child payments.

Plan benefits accrued after April 30, 2012.

Reduced optional forms of payment are available based on actuarial equivalency.

POST-RETIREMENT COST-OF-LIVING ADJUSTMENTS:

Grandfathered and April 30, 2012 frozen accrued benefits.

Members who retire after 9/30/68 and prior to 10/1/90 receive an annual 1.0% increase computed on the base benefit. Other adjustments have been made periodically. Pensions effective after 9/30/90 will be increased 2.0% annually based on the total pension payable subsequent to an initial 3-year deferral period.

Plan benefits accrued after April 30, 2012.

None.



MEMBER CONTRIBUTIONS:

Benefit Group	Contribution Rate as a Percent-of-Payroll			
	Before May 1, 2012	On and After May 1, 2012	On and After October 1, 2013	On and After April 30, 2017
General –				
Hired Before May 1, 1992	6.47%	4.47%	2.47%	3.50%
Hired on or After May 1, 1992	6.47%	2.47%	2.47%	3.50%
Lifeguard –				
Hired Before May 1, 1992	7.21%	5.21%	2.47%	3.50%
Hired on or After May 1, 1992	7.21%	3.21%	2.47%	3.50%

Grandfathered General employees continue to contribute 6.47% of pay.

TOWN CONTRIBUTIONS: Actuarially determined amounts which together with member contributions are sufficient to cover the requirements of the funding objective stated in the Executive Summary.

PRIOR GOVERNMENTAL SERVICE: The years or fractional parts of years that a member previously served for any other municipal, county, or state government or district may be added to years or fractional parts of years of credited service provided that the member contributes the sum that would have been contributed to the retirement plan to pay the full actuarial cost.



Summary of Benefit Provisions

(September 30, 2024)

Police

NORMAL RETIREMENT:

Eligibility

Grandfathered and April 30, 2012 frozen accrued benefits.

20 or more years of service, regardless of age; or, age 50 with 10 or more years of credited service; or, members with at least 10 years of credited service who retire after 9/30/90 are eligible when the individual's age plus credited service totals 65 years or more.

Plan benefits accrued after April 30, 2012.

Members whose employment terminated on or after June 1, 2024 are eligible to retire or enter the DROP at the earlier of Age 55 with 8 or more years of service or 25 or more years of service regardless of age.

Members whose employment terminated between October 1, 2019 and May 31, 2024 are eligible to retire or enter the DROP at the earlier of Age 55 with 10 or more years of service or Age 52 with 25 or more years of service.

Members whose employment terminated between September 30, 2016 and September 30, 2019 are eligible to retire or enter the DROP at age 56 with 10 or more years of service.

Members whose employment terminated prior to October 1, 2016 are eligible to retire or enter the DROP at age 65 with 10 or more years of service.

Pension Amount

Grandfathered and April 30, 2012 frozen accrued benefits.

Average final compensation multiplied by the greater of:

- a) 3.5% per year of credited service to a maximum of 25 years, or
- b) 2.0% per year of credited service to a maximum of 50 years.

The normal form of pension is a pension payable for 10 years certain. Also, see Automatic Death after Retirement heading.

Plan benefits accrued after April 30, 2012.

Average final compensation multiplied by:

- a) 1.25% per year of credited service between May 1, 2012 and September 30, 2016, plus
- b) 2.75% per year of credited service between October 1, 2016 and May 31, 2024, plus
- c) 3.00% per year of credited service on and after June 1, 2024.



Average Final Compensation

Grandfathered and April 30, 2012 frozen accrued benefits.

Highest 2 consecutive years within the member's last 5 years of credited service.

Plan benefits accrued after April 30, 2012.

Average final compensation after April 30, 2012 over a period increasing up to the final 5 years of credited service.

DROP RETIREMENT:

Eligibility - Same as Normal Retirement.

Pension Amount - 100% of the member's accrued benefit at the date of election to participate in DROP.

Monthly Distributions - Monthly DROP payments are made to the retirement trust during DROP participation.

DEFERRED RETIREMENT (VESTED TERMINATION BENEFIT):

Eligibility - 8 or more years of service. Members whose employment terminated prior to June 1, 2024 are eligible for deferred retirement with 10 or more years of service. Pension begins upon meeting requirement for normal retirement. Contributions must be left on deposit in the System; failure to do so results in forfeiture of the vested benefit. Frozen accrued benefits as of April 30, 2012 are vested immediately. Members employed with the Town on May 1, 2012 are eligible to retire from Plan A when reaching age 50, notwithstanding total service. Members with accrued service on and after May 1, 2012 are eligible to retire from Plan B upon satisfying Normal Retirement eligibility requirements under plan B.

Pension Amount - Computed as for normal retirement, based upon service and average final compensation at time of termination.

DUTY DISABILITY RETIREMENT:

Eligibility - No age or service requirements.

Pension Amount - Computed as a regular retirement with additional service credit granted from date of disability to earliest normal retirement eligibility date. Minimum benefit is 60% of average final compensation.

NON-DUTY DISABILITY BEFORE RETIREMENT:

Eligibility - 8 or more years of credited service.

Pension Amount - Computed as for normal retirement.



DUTY DEATH SPECIAL PROVISIONS:

Eligibility - Death while actually performing duty for the Town or as the natural and proximate result, independent of all other causes, of a personal injury or disease arising out of and in the course of the actual performance of duty for the town.

- (a) 8-year service credit requirement is waived
- (b) surviving children receive 25% of deceased member's AFC, not to exceed 75% of AFC when there are four or more surviving children.
- (c) Surviving spouse receives difference between 75% of deceased member's AFC and aggregate amount paid surviving children.

NON-DUTY DEATH BEFORE RETIREMENT (ELECTIVE SURVIVOR PENSION):

Eligibility:

- (a) The member has elected a survivor beneficiary
- (b) The member dies while in the employ of town with at least 8 years of credited service, or the member was employed by the town and not participating in the DROP on May 1, 2012 and thereafter dies while in the employ of the town.
- (c) The member files a survivor beneficiary designation in writing with Human Resources Department.

Pension Survivorship Amount: computed as if the deceased member had elected optional form of payment 100% survivorship payment.

AUTOMATIC DEATH AFTER RETIREMENT PENSION:

Grandfathered and April 30, 2012 frozen accrued benefits.

To Surviving Child(ren): 25% of the retirant's pension payable to age 18, not to exceed an equal share of 75% of the retirant's pension. Payments to surviving children may be paid to age 25 if no spouse benefits are payable. Payment to dependent children and spouse is an unreduced payment for an initial 10-year period from retirant's retirement date. Subsequent payments are based on 75% from the end of this 10-year period until termination of child(ren) and surviving spouse payment.

To Surviving Spouse: The difference, if any, between 75% of the deceased retirant's pension and the aggregate amount paid to any surviving children for the month. Payment to surviving spouse is an unreduced payment for an initial 10-year period from retirant's retirement date. Subsequent payments are based on 75% from the end of this 10-year period until death of surviving spouse.

Plan benefits accrued after April 30, 2012.

Reduced optional forms of payment are available.



POST-RETIREMENT COST-OF-LIVING ADJUSTMENTS:

Grandfathered and April 30, 2012 frozen accrued benefits.

Members who retire after 9/30/68 and prior to 10/1/90 receive an annual 1.0% increase computed on the base benefit. Other adjustments have been made periodically. Pensions effective after 9/30/90 will be increased 2.0% annually based on the total pension payable subsequent to an initial 3 year deferral period.

Plan benefits accrued after April 30, 2012.

None.

MEMBER CONTRIBUTIONS:

Benefit Group	Contribution Rate as a Percent-of-Payroll				
	Before May 1, 2012	On and After May 1, 2012	On and After October 1, 2013	On and After October 1, 2016	On and After October 1, 2019
Police Officers	6.98%	4.98%	2.47%	10.00%*	8.50%

*The member contribution rates for plan years beginning on and after October 1, 2017 and prior to October 1, 2019 were subject to adjustment based on the assumed investment return and the actual rate of investment return for the plan year ending on the valuation date, net of investment expenses, and such that the ratio of employer to member contributions for the plan year ending on the valuation date is maintained for the plan year following the adjustment; subject in any event to a minimum member contribution rate of 8% and a maximum member contribution rate of 12% of compensation.

PREMIUM TAX MONIES:

No future State contributions are expected.

TOWN CONTRIBUTIONS:

Actuarially determined amounts which together with member contributions are sufficient to cover the requirements of the funding objective stated in the Executive Summary.

PRIOR GOVERNMENTAL SERVICE ELSEWHERE:

During the first five years of employment by the Town, the years or fractional parts of years that a member previously served for any other municipal, county, or state government or district as a Police Officer may be added to years or fractional parts of years of credited service provided that the member contributes the sum that would have been contributed to the retirement plan to pay the full actuarial cost.

PURCHASE OF SERVICE CREDIT:

A vested member-Police Officer who has not purchased service credit under Prior Governmental Service elsewhere may purchase years or fractional parts of years of service based upon actual prior service as a Police Officer to be added to years of credited service provided that the member contributes the sum that would have been contributed to the retirement plan to pay the full actuarial cost.



Summary of Benefit Provisions

(September 30, 2024)

Fire

NORMAL RETIREMENT:

Eligibility

Grandfathered and April 30, 2012 frozen accrued benefits.

20 or more years of service, regardless of age; or, age 50 with 10 or more years of credited service; or, members with at least 10 years of credited service who retire after 9/30/90 are eligible when the individual's age plus credited service totals 65 years or more.

Plan benefits accrued after April 30, 2012.

Members whose employment terminated on or after June 1, 2024 are eligible to retire or enter the DROP at the earlier of Age 55 with 8 or more years of service or 25 or more years of service regardless of age.

Non-Bargaining members whose employment terminated between October 1, 2019 and May 31, 2024 and Bargaining members whose employment terminated between November 2, 2019 and May 31, 2014 are eligible to retire or enter the DROP at the earlier of Age 55 with 10 or more years of service or Age 52 with 25 or more years of service.

Non-Bargaining members whose employment terminated between October 1, 2016 and September 30, 2019 and Bargaining members whose employment terminated between August 12, 2017 and November 1, 2019 are eligible to retire or enter the DROP at age 56 with 10 or more years of service.

All other members are eligible to retire or enter the DROP at age 65 with 10 or more years of service.

Pension Amount

Grandfathered and April 30, 2012 frozen accrued benefits.

Average final compensation multiplied by the greater of;

- a) 3.5% per year of credited service to a maximum of 25 years, or
- b) 2.0% per year of credited service to a maximum of 50 years.

The normal form of pension is a pension payable for 10 years certain. Also, see Automatic Death after Retirement heading.

Plan benefits accrued after April 30, 2012.

Bargaining: Average final compensation multiplied by:

- a) 1.25% per year of credited service between May 1, 2012 and August 11, 2017, plus
- b) 2.75% per year of credited service between August 12, 2017 and May 31, 2024, plus
- c) 3.00% per year of credited service on and after June 1, 2024.



Non-Bargaining: Average final compensation multiplied by:

- a) 1.25% per year of credited service between May 1, 2012 and September 30, 2016, plus
- b) 2.75% per year of credited service between October 1, 2016 and May 31, 2024, plus
- c) 3.00% per year of credited service on and after June 1, 2024.

Average Final Compensation

Grandfathered and April 30, 2012 frozen accrued benefits.

Highest 2 consecutive years within the member's last 5 years of credited service.

Plan benefits accrued after April 30, 2012.

Average final compensation after April 30, 2012 over a period increasing up to the final 5 years of credited service.

DROP RETIREMENT:

Eligibility - Same as Normal Retirement.

Pension Amount - 100% of the member's accrued benefit at the date of election to participate in DROP.

Monthly Distributions - Monthly DROP payments are made to the retirement trust during DROP participation.

DEFERRED RETIREMENT (VESTED TERMINATION BENEFIT):

Eligibility - 8 or more years of service. Members whose employment terminated prior to June 1, 2024 are eligible for deferred retirement with 10 or more years of service. Pension begins upon meeting requirement for normal retirement. Contributions must be left on deposit in the System; failure to do so results in forfeiture of the vested benefit. Frozen accrued benefits as of April 30, 2012 are vested immediately. Members employed with the Town on May 1, 2012 are eligible to retire from Plan A when reaching age 50, notwithstanding total service. Members with accrued service on and after May 1, 2012 are eligible to retire from Plan B upon satisfying Normal Retirement eligibility requirements under plan B.

Pension Amount - Computed as for normal retirement, based upon service and average final compensation at time of termination.

DUTY DISABILITY RETIREMENT:

Eligibility - No age or service requirements.

Pension Amount - Computed as a regular retirement with additional service credit granted from date of disability to earliest normal retirement eligibility date. Minimum benefit is 60% of average final compensation.



NON-DUTY DISABILITY BEFORE RETIREMENT:

Eligibility - 8 or more years of credited service.

Pension Amount - Computed as for normal retirement.

DUTY DEATH SPECIAL PROVISIONS:

Eligibility - Death while actually performing duty for the Town or as the natural and proximate result, independent of all other causes, of a personal injury or disease arising out of and in the course of the actual performance of duty for the town.

- (a) 8-year service credit requirement is waived
- (b) surviving children receive 25% of deceased member's AFC, not to exceed 75% of AFC when there are four or more surviving children.
- (c) Surviving spouse receives difference between 75% of deceased member's AFC and aggregate amount paid surviving children.

NON-DUTY DEATH BEFORE RETIREMENT (ELECTIVE SURVIVOR PENSION):

Eligibility:

- (a) The member has elected a survivor beneficiary
- (b) The member dies while in the employ of town with at least 8 years of credited service, or the member was employed by the town and not participating in the DROP on May 1, 2012 and thereafter dies while in the employ of the town.
- (c) The member files a survivor beneficiary designation in writing with Human Resources Department.

Pension Survivorship Amount: computed as if the deceased member had elected optional form of payment 100% survivorship payment.

AUTOMATIC DEATH AFTER RETIREMENT PENSION:

Grandfathered and April 30, 2012, frozen accrued benefits.

To Surviving Child(ren): 25% of the retirant's pension payable to age 18, not to exceed an equal share of 75% of the retirant's pension. Payments to surviving children may be paid to age 25 if no spouse benefits are payable. Payment to dependent children and spouse is an unreduced payment for an initial 10-year period from the retirant's retirement date. Subsequent payments are based on 75% from the end of this 10-year period until termination of child(ren) and surviving spouse payment.

To Surviving Spouse: The difference, if any, between 75% of the deceased retirant's pension and the aggregate amount paid to any surviving children for the month. Payment to surviving spouse is an unreduced payment for an initial 10-year period from retirant's retirement date. Subsequent payments are based on 75% from the end of this 10-year period until death of surviving spouse.

Plan benefits accrued after April 30, 2012.

Reduced optional forms of payment are available.



POST-RETIREMENT COST-OF-LIVING ADJUSTMENTS:***Grandfathered and April 30, 2012, frozen accrued benefits.***

Members who retire after 9/30/68 and prior to 10/1/90 receive an annual 1.0% increase computed on the base benefit. Other adjustments have been made periodically. Pensions effective after 9/30/90 will be increased 2.0% annually based on the total pension payable subsequent to an initial 3 year deferral period.

Plan benefits accrued after April 30, 2012.

None.

MEMBER CONTRIBUTIONS:

	Benefit Group	
	Firefighters (Bargaining Unit)	Firefighters (Non-Bargaining)
Before May 1, 2012	6.82%	6.82%
May 1, 2012 to September 30, 2013	4.82%	4.82%
October 1, 2013 to September 30, 2016	4.82%	2.47%
October 1, 2016 to August 11, 2017	4.82%	10.0%*
August 12, 2017 to September 30, 2019	10.0%*	10.0%*
October 1, 2019 to December 13, 2019	10.0%*	8.50%
On and After December 14, 2019	8.50%	8.50%

*The member contribution rates for plan years beginning on and after October 1, 2017 were subject to adjustment based on the assumed investment return and the actual rate of investment return for the plan year ending on the valuation date, net of investment expenses, and such that the ratio of employer to member contributions for the plan year ending on the valuation date is maintained for the plan year following the adjustment; subject in any event to a minimum member contribution rate of 8% and a maximum member contribution rate of 12% of compensation.

PREMIUM TAX MONIES: No future State contributions are expected.

TOWN CONTRIBUTIONS: Actuarially determined amounts which together with member contributions are sufficient to cover the requirements of the funding objective stated in the Executive Summary.

FIREFIGHTER INDIVIDUAL CHAPTER SHARE ACCOUNTS: Available tax revenues received pursuant to Chapter 175 Florida Statute which have not been otherwise committed for members. Individual member accounts maintained in each member's name effective on or after 10/1/98.

PRIOR GOVERNMENTAL SERVICE ELSEWHERE: During the first five years of employment by the Town, the years or fractional parts of years that a member previously served for any other municipal, county, or state government or district as a Firefighter may be added to years or fractional parts of years of credited service provided that the member contributes the sum that would have been contributed to the retirement plan to pay the full actuarial cost.



PURCHASE OF SERVICE CREDIT: A vested member-Firefighter who has not purchased service credit under Prior Governmental Service Elsewhere may purchase years or fractional parts of years of service based upon actual prior service as a firefighter to be added to years of credited service provided that the member contributes the sum that would have been contributed to the retirement plan to pay the full actuarial cost.

I. PURPOSE OF INVESTMENT POLICY STATEMENT

The Pension Board of Trustees (“Board”) maintains that an important determinant of future investment returns is the expression and periodic review of the Town of Palm Beach Retirement System (“the Retirement System”) investment objectives. To that end, the Board has adopted this statement of Investment Policy and directs that it applies to all assets under their control.

In fulfilling their fiduciary responsibility, the Board recognizes that the retirement system is an essential vehicle for providing income benefits to retired participants or their beneficiaries. The Board also recognizes that the obligations of the Retirement System are long-term and that investment policy should be made with a view toward performance and return over a number of years. The general investment objective is to obtain a reasonable total rate of return - defined as interest and dividend income plus realized and unrealized capital gains or losses - commensurate with the Prudent Investor Rule and any other applicable ordinances and statutes.

Reasonable consistency of return and protection of assets against the inroads of inflation are paramount. However, interest rate fluctuations and volatility of securities markets make it necessary to judge results within the context of several years rather than over short periods of five years or less.

The Board will employ investment professionals to oversee and invest the assets of the Retirement System. Within the parameters allowed in this document and their agreements with the Board, the investment management professionals shall have investment discretion over their mandates, including security selection, sector weightings and investment style.

The Board, in performing their investment duties, shall comply with the fiduciary standards set forth in Employee Retirement Income Security Act of 1974 (ERISA) at 29 U.S.C. s. 1104(a) (1) (A) – (C). In case of conflict with other provisions of law authorizing investments, the investment and fiduciary standards set forth in this section shall prevail.

II. TARGET ALLOCATIONS

In order to provide for a diversified portfolio, the Board has engaged investment professional(s) to manage and administer the fund. The investment manager(s) are responsible for the assets and allocation of their mandate only and may be provided an addendum to this policy with their specific performance objectives and investment criteria.

The Board has established the following asset allocation targets for the total fund:

Asset Class	Target	Range	Benchmark Index
Domestic Equity	38%	33% - 43%	Russell 3000
International Equity	15%	10% - 20%	MSCI-ACWI ex US
Pvt. Equity ²	3%	0% - 5%	PME
Total Equity	56%	43% - 68%	
Broad Market Fixed Income	14%	10% - 27%	BB-Int. Agg. "A" or Better
Non-Core Fixed Income ¹	5%	0% - 10%	Strategy Index ³
Pvt. Debt ¹	10%	0% - 13%	PME
Total Fixed Income	29%	10% - 57%	
Real Estate Core / Value-Added Real Estate ¹	8%	0% - 15%	NFI-ODCE Fund Index (EW)
Total Real Estate	8%	0% - 15%	
Alternatives ²	3%	0% - 5%	Strategy Index ³
Total Alternatives	3%	0% - 5%	
Total Liquid Reserves	4%	4% - Discretionary	90-day T-Bill

Note: Allocation to Pvt. Equity shall be based on invested capital.

1. Absent of a full allocation, all or a portion of the target allocation will remain in domestic fixed income with the corresponding allowable range adjustment around the revised domestic fixed income target.

2. Absent of a full allocation, all or a portion of the target allocation will remain in domestic equity with the corresponding allowable range adjustment around the revised domestic equity target.

3. The "strategy index" for alternative assets is defined as the most appropriate index, combination of indices, or absolute return target for the investment(s) in question. The strategy index will be determined at the time of engagement based on the specific investment's long-term objective, prospectus, and/or governing documents and reflected in performance evaluation reports.

The Board of Trustees, with assistance from the Consultant, will monitor the aggregate asset allocation of the portfolio, and will rebalance to the target asset allocation based on market conditions. If at the end of any calendar quarter, the allocation of an asset class falls outside of its allowable range, barring extenuating circumstances such as pending cash flows or allocation levels viewed as temporary, the asset allocation will be rebalanced into the allowable range. To the extent possible, contributions and withdrawals from the portfolio will be executed proportionally based on the most current market values available. The Board does not intend to exercise short-term changes to the target allocation.

The Office of the Town Finance Director is authorized to move funds as required within the existing investment structure and its established investments as required for the maintenance of the target allocation, and for the management of Retirement System Cash Flow.

III. INVESTMENT PERFORMANCE OBJECTIVES

The following performance measures will be used as objective criteria for evaluating the effectiveness of the Investment Managers.

A. Total Portfolio Performance

1. The performance of the total portfolio will be measured for rolling three and five year periods. The Target Index for the Retirement System is defined in the TARGET ASSET ALLOCATION table including within this policy.
2. On a relative basis, it is expected that the total portfolio performance will rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.
3. On an absolute basis, the objective is that the return of the total portfolio will equal or exceed the actuarial earnings assumptions as scheduled (effective with the September 30, 2016 actuarial valuation, the assumed rate of investment return was decreased to 7.4% and was further decreased by 10 basis points each year thereafter until the assumed rate reached 7.1% effective with the September 30, 2019 actuarial valuation. The assumed rate was then reduced to 6.8% effective with the September 30, 2020 actuarial valuation. Effective with the September 30, 2021 actuarial valuation, the assumed rate of investment return was decreased 20 basis points to 6.6% with further decreases of 20 basis points each year thereafter until the assumed rate reaches 6.0% effective with the September 30, 2024 actuarial valuation). The assumed rate of return will provide inflation protection by meeting Consumer Price Index plus at least 3%.

B. Equity Performance

The combined equity portion of the portfolio, defined as common stocks and convertible bonds, is expected to perform at a rate at least equal to the respective indices indicated in the target allocation table. Individual components of the equity portfolio will be compared to the specific benchmarks defined in each Investment Manager addendum. All portfolios are expected to rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.

C. Fixed Income Performance

The overall objective of the fixed income portion of the portfolio is to add stability and liquidity to the total portfolio. The fixed income portion of the portfolio is expected to perform at a rate at least equal to the respective indices indicated in the target allocation table. Individual components of the equity portfolio will be compared to the specific benchmarks defined in each Investment Manager addendum. All portfolios are expected to

rank in the top 50th percentile of the appropriate peer universe over three and five-year time periods.

D. Non-Core Fixed Income Performance

The overall objective of the non-core fixed income portion of the portfolio, Non-core fixed income shall be defined as investments in various classes of fixed income securities oriented towards credit. Some of these strategies may not be liquid allowing the Retirement System to take advantage of illiquidity premiums available in these market investments. The portfolio is expected to perform at a rate at least equal to a blended index comprised of the Strategy Index³ as defined in the Asset Allocation Table.

E. Real Estate Performance

The overall objective of the real estate portfolio of the portfolio, if utilized, is to add diversification and another stable income stream to the total fund. The real estate portion of the total fund, defined as core, open ended private real estate, is expected to perform at a rate at least equal to the NFI-ODCE Fund Index (EW) and rank in the top 50th percentile of the appropriate peer universe over 5-year time periods.

F. Alternative and Other Non-Traditional Asset Performance

The overall objective of the alternative and/or "other asset" portion of the portfolio, if utilized, is to reduce the overall volatility of the portfolio and enhance returns. This portion of the fund will be benchmarked as outlined in the manager addendum.

IV. INVESTMENT GUIDELINES

A. Authorized Investments

Pursuant to the investment powers of the Board of Trustees as set forth in the Florida Statutes and local ordinances, the Board of Trustees sets forth the following investment guidelines and limitations:

1. Equities:
 - a. Must be traded on a national exchange or electronic network; and
 - b. Not more than five percent (5%) of the Retirement System's assets, at the time of purchase, shall be invested in the common stock, capital stock or convertible stock of any one issuing company, nor shall the aggregate investment in any one issuing company exceed 5% of the outstanding capital stock of the company; and
 - c. Additional criteria may be outlined in the manager's addendum.
2. Fixed Income:
 - a. All directly held fixed income investments shall have a rating of in the Top Three ratings classifications as reported by a major credit rating service; and
 - b. The value of bonds issued by any single corporation shall not exceed 5% of the total fund; and

- c. Additional criteria may be outlined in the manager's addendum.
- 3. Money Market:
 - a. The money market fund or STIF options provided by the Retirement System's custodian; and
 - b. Have a minimum rating of Standard & Poor's A1 or Moody's P1.
- 4. Pooled Funds:

Investments made by the Board may include pooled funds. For purposes of this policy pooled funds may include, but are not limited to, mutual funds, commingled funds, exchange-traded funds, limited partnerships and private equity. The asset classification of the fund will be based upon its investment objective and may be interpreted consistent with the Florida Department of Management Services Division of Retirement. Pooled funds may be governed by separate documents which may include investments not expressly permitted in this Investment Policy Statement. In the event of investment by the Retirement System into a pooled fund, the Board will adopt the prospectus or governing policy of that fund as the stated addendum to this Investment Policy Statement.

B. Trading Parameters

When feasible and appropriate, all securities shall be competitively bid. Except as otherwise required by law, the most economically advantageous bid shall be selected. Commissions paid for purchase of securities must meet the prevailing best-execution rates. The responsibility of monitoring best price and execution of trades placed by each manager on behalf of the Retirement System will be governed by the Portfolio Management Agreement between the Retirement System and the Investment Managers.

C. Limitations

All directly held equity and fixed income securities must be readily marketable. Commingled funds must be independently appraised at least annually.

- 1. The Board and its Investment Managers shall comply with the applicable requirements of Chapter 2023-28, Laws of Florida, including Section 112.662, along with regulations adopted by the Department of Management Services. The term "pecuniary factor" is defined as a factor that a named fiduciary "prudently determines is expected to have a material effect on the risk or returns of an investment based on appropriate investment horizons consistent with the investment objectives and funding policy of the investment program. The term does not include the consideration of the furtherance of any social, political, or ideological interests." [112.662(1)]. In selecting Investment Managers, only pecuniary factors may be considered and the interests of the participants and beneficiaries of the system may not be subordinated to other objectives, including sacrificing investment return or undertaking additional investment risk to promote any nonpecuniary factor. The weight given to any pecuniary factor must appropriately reflect a prudent assessment of its impact on risk or returns. [112.662(2)]. Only pecuniary factors may be considered when voting proxies. [112.662(3)]

D. Absolute Restrictions

No investments shall be permitted in;

1. Any investment not specifically allowed as part of this policy.
2. Illiquid investments, as described in Chapter 215.47, Florida Statutes.

V. COMMUNICATIONS

- A. On a monthly basis, the custodian shall supply an accounting statement that will include a summary of all receipts and disbursements and the cost and the market value of all assets.
- B. On a quarterly basis, the Investment Managers shall provide a written report affirming compliance with the security restrictions of Section IV (as well as any provisions outlined in the Investment Manager's addendum). In addition, the Investment Managers shall deliver a report each quarter detailing the Retirement System's performance, forecast of the market and economy, portfolio analysis and current assets of the Retirement System. Written reports shall be delivered to the Board within 30 days of the end of the quarter. A copy of the written report shall be submitted to the person designated by the Town and shall be available for public inspection. The Investment Managers will provide immediate written and telephone notice to the Board of any significant market related or non-market related event, specifically including, but not limited to, any deviation from the standards set forth in Section IV or their Investment Manager addendum.
- C. If the Fund owns investments, that complied with section IV at the time of purchase, which subsequently exceed the applicable limit or do not satisfy the applicable investment standard, such excess or noncompliant investments may be continued until it is economically feasible to dispose of such investment in accordance with the prudent man standard of care, but no additional investment may be made unless authorized by law or ordinance. An action Retirement System outlining the investment 'hold or sell' strategy shall be provided to the Board immediately.
- D. The Investment Consultant shall evaluate and report on a quarterly basis the rate of return net of investment fees and relative performance of the Retirement System.
- E. The Board will meet periodically to review the Investment Consultant performance report. The Board will meet with the investment manager and appropriate outside consultants to discuss performance results, economic outlook, investment strategy and tactics and other pertinent matters affecting the Retirement System on a periodic basis.
- F. At least annually, the Board shall provide the Investment Managers with projected disbursement needs of the Retirement System so that the investment portfolio can be structured in such a manner as to provide sufficient liquidity to pay obligations as they come due. To this end the Investment Managers should, to the extent possible, attempt to match investment maturities with known cash needs and anticipated cash-flow requirements.

- G. The Board shall timely comply with the reporting requirement of Section 112.662 by filing a comprehensive report by December 15 of each odd-numbered year. [112.662(4)]. Investment managers and the Board's Investment Consultant shall assist in the preparation of required reports and shall annually confirm to the Board their compliance with Chapter 2023-28.

VI. COMPLIANCE

- A. It is the direction of the Board that the Retirement System assets are held by a third-party custodian, and that all securities purchased by, and all collateral obtained by the Retirement System shall be properly designated as Retirement System assets. No withdrawal of assets, in whole or in part, shall be made from safekeeping except by an authorized member of the Board or their designee. Securities transactions between a broker-dealer and the custodian involving purchase or sale of securities by transfer of money or securities must be made on a "delivery vs. payment" basis to ensure that the custodian will have the security or money in hand at conclusion of the transaction.
- B. The investment policy shall require all approved institutions and dealers transacting repurchase agreements to execute and perform as stated in the Master Repurchase Agreement. All repurchase agreement transactions shall adhere to the requirements of the Master Repurchase Agreement.
- C. At the direction of the Board operations of the Retirement System shall be reviewed by independent certified public accountants as part of any financial audit periodically required. Compliance with the Board's internal controls shall be verified. These controls have been designed to prevent losses of assets that might arise from fraud, error, or misrepresentation by third parties or imprudent actions by the Board or employees of the Retirement System sponsor, to the extent possible.
- D. The Board acknowledges the importance of continuing education for the Trustees. Education will be provided on an on-going basis by the Fund's actuary, attorney, custodian, investment manager(s), consultant, and administrator. In addition, the Trustees are encouraged to attend educational conferences in connection with their duties and responsibilities.
- E. With each actuarial valuation, the Board shall determine the total expected annual rate of return for the current year, for each of the next several years and for the long term thereafter. This determination shall be filed promptly with the Department of Management Services, the Retirement System's sponsor, and the consulting actuary.
- F. The proxy votes must be exercised for the exclusive benefit of the participants of the Retirement System. Each Investment Manager shall provide the Board with a copy of their proxy voting policy for approval. On a regular basis, at least annually, each manager shall report a record of their proxy vote.
- G. The Investment Consultant will provide Investment Managers for consideration based solely on pecuniary factors as defined by Florida Statutes §112.662.

- H. If a Request for Proposals document is issued for Investment Manager services, the solicitation document must include the following: The Board of Trustees may not request documentation of or consider a vendor's social, political, or ideological interests when determining if the vendor is a responsible vendor. Additionally, the Board of Trustees may not give preference to a vendor based on vendor's social, political, or ideological interests.

VII. CRITERIA FOR INVESTMENT MANAGER REVIEW

The Board wishes to adopt standards by which judgments of the ongoing performance of a portfolio manager may be made.

- Four (4) consecutive quarters of relative under-performance verses the benchmark index.
- Three (3) year trailing return below the top 50th percentile within the appropriate peer group and under performance verses the benchmark index.
- Five (5) year trailing return below the top 50th percentile and under performance verses the benchmark index.
- Three (3) year downside volatility greater than the index (greater than 100), as measured by down market capture ratio.
- Five (5) year downside volatility greater than the index (greater than 100), as measured by down market capture ratio.
- Style consistency or purity drift from the mandate.
- Management turnover in portfolio team or senior management.
- Investment process change, including varying the index or benchmark.
- Failure to adhere to the IPS or other compliance issues.
- Investigation of the firm by the Securities and Exchange Commission (SEC).
- Significant asset flows into or out of the company.
- Merger or sale of firm.
- Fee increases outside of the competitive range.
- Servicing issues – key personnel stop servicing the account without proper notification.
- Failure to attain a 60% vote of confidence by the Board.

Nothing in this section shall limit or diminish the Board's right to terminate the manager at any time for any reason.

VIII. APPLICABLE TOWN ORDINANCES

If at any time this document is found to conflict with the Town Ordinances or applicable Florida Statutes, the Ordinances and Statutes shall prevail.


IX. REVIEW AND AMENDMENTS

It is the Board's intention to review this document at least annually subsequent to the actuarial report and to amend this statement to reflect any changes in philosophy, objectives, or guidelines. In this regard, the Investment Manager's interest in consistency in these matters is

recognized and will be taken into account when changes are being considered. If, at any time, the Investment Manager feels that the specific objectives defined herein cannot be met, or the guidelines constrict performance, the Board should be notified in writing. By initialing and continuing acceptance of this Investment Policy Statement, the Investment Managers concur with the provisions of this document. By signing this document, the Chairman attests that this policy has been recommended by the Investment Consultant, reviewed by the Retirement System's legal counsel for compliance with applicable law, and approved by the Board of Trustees.

X. FILING OF THE INVESTMENT POLICY

Upon adoption by the Board, the investment policy shall be promptly filed with the Florida Department of Management Services, the Town, and the Retirement System's actuary. The effective date of the Investment Policy shall be 31 days following the filing date with the Town.



For the Town of Palm Beach Retirement System
Daniel Stanton, Chairman

3/30/25
Date

Approved as to form and legal sufficiency:



Janice Rustin
Counsel to the Board of Trustees

3/31/25
Date

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - Old Business

Agenda Title

Traffic Mitigation Discussion

Kirk Blouin, Town Manager

TIME CERTAIN: 11:30 AM

- a. Update on Meeting with Local Contractors Regarding Construction Work Hours and the CMA Ordinance
- b. 2025 Traffic Counts Report
- c. FDOT Waiver for Work Hours

Time Certain

11:30 AM

Presenter

ATTACHMENTS:

- ▣ **a. Memorandum Dated April 21, 2025, From Wayne Bergman, Director of Planning, Zoning & Building Department**
- ▣ **b. Memorandum Dated April 28, 2025, from H. Paul Brazil, P.E., Director of Public Works**
- ▣ **b. Letter Dated April 22, 2025, from Kimley-Horn & Assoc.**
- ▣ **b. Traffic Mitigation Tables**
- ▣ **c. Memorandum Dated April 25, 2025, from H. Paul Brazil, P.E., Director of Public Works**
- ▣ **c. FDOT - Upcoming Construction Project**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

To: Mayor and Town Council

From: Wayne Bergman, Director of Planning, Zoning & Building

Cc: Kirk Blouin, Town Manager & James Murphy, Asst. Director of PZB

Re: Traffic Mitigation Strategies and Proposals – Update on Meeting with Local Contractors Regarding Construction Work Hours and the CMA Ordinance

Date: April 21, 2025

At the March 4, 2025, Town Council Regular meeting, the Council reviewed three items provided by the Town Attorney and PZB. They were:

1. A resolution modification to the temporary construction hours. The Resolution was revised to clarify Saturday work hours and was adopted at the March 5, 2025, meeting.
2. A draft ordinance to mandate the use of Construction Management Agreements (CMA) for any new building, building addition, or alteration with a project value of more than a set amount of money. Several local builders objected to the mandated CMA. Town Council asked PZB staff to meet with the contractors to see if a compromise could be reached.
3. A draft ordinance to limit the number of building permits was briefly discussed and was dismissed based upon Joanne O'Connor's comments.

PZB staff and Mrs. O'Connor met with several of the local builders on March 25, 2025, to review the draft CMA and enabling ordinance. The builders objected to the CMA ordinance but were willing to find another path to help with traffic and parking problems directly related to construction.

During the meeting they agreed to the following:

- No construction work of any kind between Christmas Eve and New Years Day.
- Saturday interior quiet work during season.
- They would accept an ordinance to add a subsection to Chapter 18, Buildings and Building Regulations, that would state that the owners and contractors would use their "best efforts" to minimize traffic and parking problems on every project by using a combination of off-Island shuttle, car-pooling, allowable on-street parking and permitted on-site parking to reduce traffic and eliminate parking demands.

- Extend the current temporary construction work hours into the summer months (arrive at 7, start at 7:30 with quiet work, full work at 8, and stop work at 5:30), basically year-round.
- The Town could consider allowing summer parking for contractors at the Marina, when Marina parking is normally low.
- Contractors would agree to do small jobs only in the summer months.

If the Town Council finds any of these items acceptable, staff could draft an ordinance for consideration at your next meeting.

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk Blouin, Town Manager

FROM: H. Paul Brazil, P.E., Director of Public Works

RE: 2025 Annual Traffic Count Update

DATE: April 28, 2025

STAFF RECOMMENDATION

Town staff received the 2025 Annual Traffic Count Update deliverable from Kimley Horn and Associates April 22, 2025, and will present the findings at the Town Council meeting. Staff request that Town Council provide any direction deemed necessary.

GENERAL INFORMATION

Annual traffic counts have been conducted in the Town of Palm Beach since 2007. These counts always occur during season and typically occur sometime in February or March. This year's counts were performed between March 11th and March 13th, which were Tuesday, Wednesday and Thursday. This was the week prior to the West Palm Beach Boat Show and President Donald Trump was not in Mar A Lago. Prior to this year's counts, the percent change in the traffic counts has been less than 3% across multiple years, but more recently over 6% or an annual basis. This year's counts reflect a significantly different situation. The counts on Royal Palm Way and Royal Poinciana have increased by 100% in some cases. The counts on South County Road north of Peruvian Avenue saw an increase of over 200%.

Please find the report attached. Staff pulled out tables 5, 6, 7, and 8 for further discussion and explanation. Tables 5 and 6 show the locations of the traffic counts for morning and afternoon, the peak hour counts, and then provides the existing level of service in the far-right column of the table for each location of counts. Table 5 is for AM peak hour and Table 6 is for PM peak hour. The table provides information for how determination is made for identifying the level of service for the portion of the roadway for which the counts occur. As you read in the far-right column each location has a defined level of service. On table 5 the results show that there are nine (9) locations that are classified as D, one (1) as E and three (3) as F. On table 6 the results show that there are eight (8) locations that are classified as D and five (5) as F.

Tables 7 and 8 provide the historical counts for morning and evening since 2007.

FUNDING/FISCAL IMPACT

There is no funding/fiscal impact related to this item.

Attachments

cc: Jason Debrincat, Assistant Director of Public Works
Julie Parham, Deputy Town Engineer
Wayne Bergman, Director of Planning, Zoning, and Building
Nick Caristo, Chief of Police
Jennifer Hofmeister-Drew, Planner III



April 22, 2025

Ms. Patricia Strayer, P.E.
Town Engineer
Town of Palm Beach
P.O. Box 2029
Palm Beach, Florida 33480

RE: *Town of Palm Beach*
 2025 Annual Traffic Count Update
 Kimley-Horn #044063349

Dear Ms. Strayer:

The peak season 2025 traffic count data that was collected by All Traffic Data Services, Inc. for the Town of Palm Beach has been presented in a series of tables. Tables 1, 2 and 3 provide daily, AM peak hour, and PM peak hour traffic counts for three days in March 2024, respectively, and verified at other times throughout the season. Tables 4, 5 and 6 contain traffic volumes, roadway classes, capacities, volume to capacity ratios, and levels of service for thirteen (13) links covering daily, AM peak hour, and PM peak hours, respectively. Tables 7, 8, and 9 provide daily, AM peak hour, and PM peak hour traffic count data by year from 2007 through 2011, 2015, 2017, 2018, 2019, 2020, 2022, 2023, and 2024 respectively.

The capacities and levels of service in Table 4, 5, and 6 were determined by utilizing the 2020 Quality/Level of Service Handbook, published by the Florida Department of Transportation in 2020. The actual multi-day count data summaries for each location have also been included.

We appreciate this opportunity to work with you on this project. Please contact me at 561-840-0874 if you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Adam B. Kerr, P.E.
Transportation Engineer
Florida Registration Number 64773

ABK

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TABLE 1
EXISTING 2025 DAILY PEAK SEASON COUNTS
TOWN OF PALM BEACH

(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	Daily Volume			
			Tue.	Wed.	Thurs.	AVG.
1	Southern Blvd*	2L ART	9,948	10,581	11,582	10,704
	(West of SR-A1A)	Undivided				
2	SR A1A	2L ART	N/A	N/A	N/A	N/A
	(North of Via Del Lago)	Undivided				
3	SR A1A	2L COLL	11,514	11,871	11,894	11,760
	(South of Via Pelicano)	Undivided				
4	Ocean Boulevard	2L COLL	9,375	9,638	9,714	9,576
	(North of El Vedado Road)	Undivided				
5	South County Road	4L ART	30,551	31,786	33,587	31,975
	(North of Peruvian)	Undivided				
6	North County Road	4L ART	14,052	13,508	15,737	14,432
	(North of Breakers Row)	Undivided				
7	North County Road	4L ART	14,125	14,197	15,201	14,508
	(North of Royal Poinciana Way)	Undivided				
8	Cocoanut Row	2L COLL	9,279	9,491	9,862	9,544
	(South of Seabreeze Avenue)	Undivided				
9	Cocoanut Row	2L COLL	8,262	8,857	9,511	8,877
	(North of Whitehall Way)	Undivided				
10	Bradley Place	2L COLL	13,112	13,070	13,442	13,208
	(North of Royal Poinciana Way)	Undivided				
11	Royal Palm Way	4L ART	36,984	38,111	40,281	38,459
	(East of Hibiscus Avenue)	Divided				
12	Royal Palm Way	4L ART	40,207	41,539	42,980	41,575
	(West of Hibiscus Avenue)	Divided				
13	Royal Poinciana Way	4L ART	50,554	45,402	51,002	48,986
	(West of Cocoanut Row)	Divided				
14	Royal Poinciana Way	4L ART	32,269	32,514	31,241	32,008
	(East of Cocoanut Row)	Divided				

TABLE 2
EXISTING 2025 DAILY PEAK SEASON COUNTS
TOWN OF PALM BEACH

(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	AM Peak Hour Volume			
			Tue.	Wed.	Thurs.	AVG.
1	Southern Blvd	2L ART	722	770	1,040	844
	(West of SR-A1A)	Undivided				
2	SR A1A	2L ART	N/A	N/A	N/A	N/A
	(North of Via Del Lago)	Undivided				
3	SR A1A	2L COLL	894	890	870	885
	(South of Via Pelicano)	Undivided				
4	Ocean Boulevard	2L COLL	721	752	730	734
	(North of El Vedado Road)	Undivided				
5	South County Road	4L ART	2,703	2,982	2,789	2,825
	(North of Peruvian)	Undivided				
6	North County Road	4L ART	1,170	1,183	1,225	1,193
	(North of Breakers Row)	Undivided				
7	North County Road	4L ART	1,191	1,201	1,192	1,195
	(North of Royal Poinciana Way)	Undivided				
8	Cocoanut Row	2L COLL	765	762	840	789
	(South of Seabreeze Avenue)	Undivided				
9	Cocoanut Row	2L COLL	700	775	842	772
	(North of Whitehall Way)	Undivided				
10	Bradley Place	2L COLL	1,069	1,048	1,058	1,058
	(North of Royal Poinciana Way)	Undivided				
11	Royal Palm Way	4L ART	2,815	3,158	3,139	3,037
	(East of Hibiscus Avenue)	Divided				
12	Royal Palm Way	4L ART	2,958	3,281	3,179	3,139
	(West of Hibiscus Avenue)	Divided				
13	Royal Poinciana Way	4L ART	4,386	3,918	4,332	4,212
	(West of Cocoanut Row)	Divided				
14	Royal Poinciana Way	4L ART	2,207	2,645	2,124	2,325
	(East of Cocoanut Row)	Divided				

TABLE 3
EXISTING 2025 DAILY PEAK SEASON COUNTS
TOWN OF PALM BEACH

(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	PM Peak Hour Volume			
			Tue.	Wed.	Thurs.	AVG.
1	Southern Blvd	2L ART	871	906	1,143	973
	(West of SR-A1A)	Undivided				
2	SR A1A	2L ART	N/A	N/A	N/A	N/A
	(North of Via Del Lago)	Undivided				
3	SR A1A	2L COLL	1,028	1,035	1,053	1,039
	(South of Via Pelicano)	Undivided				
4	Ocean Boulevard	2L COLL	809	845	843	832
	(North of El Vedado Road)	Undivided				
5	South County Road	4L ART	2,682	2,693	2,605	2,660
	(North of Peruvian)	Undivided				
6	North County Road	4L ART	1,157	1,137	1,271	1,188
	(North of Breakers Row)	Undivided				
7	North County Road	4L ART	1,276	1,271	1,317	1,288
	(North of Royal Poinciana Way)	Undivided				
8	Cocoanut Row	2L COLL	781	764	759	768
	(South of Seabreeze Avenue)	Undivided				
9	Cocoanut Row	2L COLL	723	754	865	781
	(North of Whitehall Way)	Undivided				
10	Bradley Place	2L COLL	1,100	1,080	1,018	1,066
	(North of Royal Poinciana Way)	Undivided				
11	Royal Palm Way	4L ART	3,214	3,380	3,159	3,251
	(East of Hibiscus Avenue)	Divided				
12	Royal Palm Way	4L ART	3,280	3,469	3,318	3,356
	(West of Hibiscus Avenue)	Divided				
13	Royal Poinciana Way	4L ART	4,668	4,406	4,656	4,577
	(West of Cocoanut Row)	Divided				
14	Royal Poinciana Way	4L ART	2,971	3,109	3,225	3,102
	(East of Cocoanut Row)	Divided				

TABLE 4
EXISTING 2025 DAILY PEAK SEASON COUNTS
LEVEL OF SERVICE (LOS)
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	2025 Daily Volume	Roadway Class	LOS C		LOS D		LOS E		Daily LOS
					Daily Capacity	v/c ratio	Daily Capacity	v/c ratio	Daily Capacity	v/c ratio	
1	Southern Blvd	2L ART	10,704	II	7,300	1.47	14,800	1	15,600	0.69	D
	(West of SR-A1A)	Undivided									
2	SR A1A	2L ART	N/A	II	7,300	N/A	14,800	N/A	15,600	N/A	N/A
	(North of Via Del Lago)	Undivided									
3	SR A1A	2L COLL	11,760	II	7,300	1.61	14,800	1	15,600	0.75	D
	(South of Via Pelicano)	Undivided									
4	Ocean Boulevard	2L COLL	9,576	II	6,570	1.46	13,320	1	14,040	0.68	D
	(North of El Vedado Road)	Undivided									
5	South County Road	4L ART	31,975	II	10,875	2.94	24,300	1.32	25,350	1.26	F
	(North of Peruvian)	Undivided									
6	North County Road	4L ART	14,432	II	10,875	1.33	24,300	0.59	25,350	0.57	D
	(North of Breakers Row)	Undivided									
7	North County Road	4L ART	14,508	II	10,875	1.33	24,300	0.60	25,350	0.57	D
	(North of Royal Poinciana Way)	Undivided									
8	Cocoanut Row	2L COLL	9,544	II	6,570	1.45	13,320	0.72	14,040	0.68	D
	(South of Seabreeze Avenue)	Undivided									
9	Cocoanut Row	2L COLL	8,877	II	6,570	1.35	13,320	0.67	14,040	0.63	D
	(North of Whitehall Way)	Undivided									
10	Bradley Place	2L COLL	13,208	II	6,570	2.01	13,320	0.99	14,040	0.94	D
	(North of Royal Poinciana Way)	Undivided									
11	Royal Palm Way	4L ART	38,459	II	14,500	2.65	32,400	1.19	33,800	1.14	F
	(East of Hibiscus Avenue)	Divided									
12	Royal Palm Way	4L ART	41,575	II	14,500	2.87	32,400	1.28	33,800	1.23	F
	(West of Hibiscus Avenue)	Divided									
13	Royal Poinciana Way	4L ART	48,986	II	14,500	3.38	32,400	1.51	33,800	1.45	F
	(West of Cocoanut Row)	Divided									
14	Royal Poinciana Way	4L ART	32,008	II	14,500	2.21	32,400	0.99	33,800	0.95	D
	(East of Cocoanut Row)	Divided									

NOTES:

Roadway class and level of service volumes are based on the Florida Department of Transportation's 2020 Quality/Level of Service Handbook.

TABLE 5
EXISTING 2025 DAILY AM PEAK HOUR PEAK SEASON COUNTS
LEVEL OF SERVICE (LOS)
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	2025 Peak Hour Volume	Roadway Class	LOS C		LOS D		LOS E		Existing Peak Hour LOS
					Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	
1	Southern Blvd	2L ART	844	II	660	1.28	1,330	0.63	1,410	1	D
	(West of SR-A1A)	Undivided									
2	SR A1A	2L ART	N/A	II	660	N/A	1,330	N/A	1,410	N/A	N/A
	(North of Via Del Lago)	Undivided									
3	SR A1A	2L COLL	885	II	660	1.34	1,330	0.67	1,410	0.63	D
	(South of Via Pelicano)	Undivided									
4	Ocean Boulevard	2L COLL	734	II	594	1.24	1,197	0.61	1,269	0.58	D
	(North of El Vedado Road)	Undivided									
5	South County Road	4L ART	2,825	II	983	2.87	2,190	1.29	2,280	1.24	F
	(North of Peruvian)	Undivided									
6	North County Road	4L ART	1,193	II	983	1.21	2,190	0.54	2,280	0.52	D
	(North of Breakers Row)	Undivided									
7	North County Road	4L ART	1,195	II	983	1.22	2,190	0.55	2,280	0.52	D
	(North of Royal Poinciana Way)	Undivided									
8	Cocoanut Row	2L COLL	789	II	594	1.33	1,197	0.66	1,269	0.62	D
	(South of Seabreeze Avenue)	Undivided									
9	Cocoanut Row	2L COLL	772	II	594	1.30	1,197	0.65	1,269	0.61	D
	(North of Whitehall Way)	Undivided									
10	Bradley Place	2L COLL	1,058	II	594	1.78	1,197	0.88	1,269	0.83	D
	(North of Royal Poinciana Way)	Undivided									
11	Royal Palm Way	4L ART	3,037	II	1,310	2.32	2,920	1.04	3,040	1.00	E
	(East of Hibiscus Avenue)	Divided									
12	Royal Palm Way	4L ART	3,139	II	1,310	2.40	2,920	1.08	3,040	1.03	F
	(West of Hibiscus Avenue)	Divided									
13	Royal Poinciana Way	4L ART	4,212	II	1,310	3.22	2,920	1.44	3,040	1.39	F
	(West of Cocoanut Row)	Divided									
14	Royal Poinciana Way	4L ART	2,325	II	1,310	1.78	2,920	0.80	3,040	0.76	D
	(East of Cocoanut Row)	Divided									

NOTES:

Roadway class and level of service volumes are based on the Florida Department of Transportation's 2020 Quality/Level of Service Handbook.

TABLE 6
EXISTING 2025 PM PEAK HOUR PEAK SEASON COUNTS
LEVEL OF SERVICE (LOS)
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	2025 Peak Hour Volume	Roadway Class	LOS C		LOS D		LOS E		Existing Peak Hour LOS
					Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	
1	Southern Blvd	2L ART	973	II	660	1.47	1,330	0.73	1,410	0.69	D
	(West of SR-A1A)	Undivided									
2	SR A1A	2L ART	N/A	II	660	N/A	1,330	N/A	1,410	N/A	N/A
	(North of Via Del Lago)	Undivided									
3	SR A1A	2L COLL	1,039	II	660	1.57	1,330	0.78	1,410	0.74	D
	(South of Via Pelicano)	Undivided									
4	Ocean Boulevard	2L COLL	832	II	594	1.40	1,197	0.70	1,269	0.66	D
	(North of El Vedado Road)	Undivided									
5	South County Road	4L ART	2,660	II	983	2.71	2,190	1.21	2,280	1.17	F
	(North of Peruvian)	Undivided									
6	North County Road	4L ART	1,188	II	983	1.21	2,190	0.54	2,280	0.52	D
	(North of Breakers Row)	Undivided									
7	North County Road	4L ART	1,288	II	983	1.31	2,190	0.59	2,280	0.56	D
	(North of Royal Poinciana Way)	Undivided									
8	Cocoanut Row	2L COLL	768	II	594	1.29	1,197	0.64	1,269	0.61	D
	(South of Seabreeze Avenue)	Undivided									
9	Cocoanut Row	2L COLL	781	II	594	1.31	1,197	0.65	1,269	0.62	D
	(North of Whitehall Way)	Undivided									
10	Bradley Place	2L COLL	1,066	II	594	1.79	1,197	0.89	1,269	0.84	D
	(North of Royal Poinciana Way)	Undivided									
11	Royal Palm Way	4L ART	3,251	II	1,310	2.48	2,920	1.11	3,040	1.07	F
	(East of Hibiscus Avenue)	Divided									
12	Royal Palm Way	4L ART	3,356	II	1,310	2.56	2,290	1.47	3,040	1.10	F
	(West of Hibiscus Avenue)	Divided									
13	Royal Poinciana Way	4L ART	4,577	II	1,310	3.49	2,920	1.57	3,040	1.51	F
	(West of Cocoanut Row)	Divided									
14	Royal Poinciana Way	4L ART	3,102	II	1,310	2.37	2,920	1.06	3,040	1.02	F
	(East of Cocoanut Row)	Divided									

NOTE:

Roadway class and level of service volumes are based on the Florida Department of Transportation's 2020 Quality/Level of Service Handbook.

TABLE 7 EXISTING 2025 DAILY PEAK SEASON COUNTS TOWN OF PALM BEACH (Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)																
Location No.	Street Segment	Facility Type	Daily Volume													
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007
1	Southern Blvd	2L ART	10,704	16,445	15,081	13,388	11,621	12,040	12,457	13,606	15,079	13,215	12,730	13,445	13,546	14,452
	(West of SR-A1A)	Undivided														
2	SR A1A	2L ART	N/A	16,788	15,422	14,454	12,185	12,507	13,778	14,256	15,057	13,767	14,091	14,894	15,322	17,026
	(North of Via Del Lago)	Undivided														
3	SR A1A	2L COLL	11,760	11,932	11,011	10,654	8,686	8,714	10,394	9,792	10,636	10,213	9,990	10,107	10,510	12,615
	(South of Via Pelicano)	Undivided														
4	Ocean Boulevard	2L COLL	9,576	11,499	10,251	11,069	8,193	8,344	9,506	9,419	9,985	9,176	9,368	10,634	11,046	12,406
	(North of El Vedado Road)	Undivided														
5	South County Road	4L ART	31,975	10,627	10,273	10,548	11,918	11,481	9,327	9,287	9,919	11,359	9,753	9,963	9,594	10,108
	(North of Peruvian)	Undivided														
6	North County Road	4L ART	14,432	16,765	15,138	15,308	13,928	13,284	14,966	15,589	15,431	13,695	13,590	14,162	15,439	15,930
	(North of Breakers Row)	Undivided														
7	North County Road	4L ART	14,508	16,771	15,198	15,193	14,060	12,956	14,837	13,084	13,070	14,908	13,712	14,407	15,376	14,666
	(North of Royal Poinciana Way)	Undivided														
8	Cocoanut Row	2L COLL	9,544	8,922	9,477	9,469	8,636	N/A	8,849	9,010	8,639	8,079	8,296	8,262	8,613	9,054
	(South of Seabreeze Avenue)	Undivided														
9	Cocoanut Row	2L COLL	8,877	9,818	10,426	9,940	9,258	9,101	9,243	9,074	8,895	8,245	8,567	8,716	9,244	9,975
	(North of Whitehall Way)	Undivided														
10	Bradley Place	2L COLL	13,208	14,038	13,291	13,811	13,092	12,425	12,954	11,809	12,279	14,324	13,351	14,084	14,747	16,052
	(North of Royal Poinciana Way)	Undivided														
11	Royal Palm Way	4L ART	38,459	18,057	16,392	17,311	15,670	15,667	16,351	17,603	17,289	15,340	15,641	16,240	16,790	17,292
	(East of Hibiscus Avenue)	Divided														
12	Royal Palm Way	4L ART	41,575	19,976	18,527	19,405	22,142	21,970	17,342	19,043	18,821	17,076	17,374	17,992	18,782	19,210
	(West of Hibiscus Avenue)	Divided														
13	Royal Poinciana Way	4L ART	48,986	23,037	22,867	22,118	21,023	20,178	20,245	13,235	16,681	N/A				
	(West of Cocoanut Row)	Divided														
14	Royal Poinciana Way	4L ART	32,008	15,393	14,246	13,784	11,788	11,634	13,056	7,859	10,501	12,869	12,223	13,074	14,204	14,296
	(East of Cocoanut Row)	Divided														

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.

Southern Boulevard was split in to two segments for data collection for 2024

TABLE 8
EXISTING 2025 AM PEAK HOUR PEAK SEASON COUNTS
TOWN OF PALM BEACH
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	AM PEAK HOUR VOLUME																
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007			
1	Southern Blvd	2L ART	844	1,180	1,260	1,203	995	1,075	1,034	1,115	1,394	1,144	1,077	1,126	1,148	1,139			
	(West of SR-A1A)	Undivided																	
2	SR A1A	2L ART	N/A	1,230	1,193	1,162	948	1,057	1,064	1,063	1,186	1,168	1,088	1,175	1,177	1,281			
	(North of Via Del Lago)	Undivided																	
3	SR A1A	2L COLL	885	821	776	809	573	583	856	738	824	860	821	806	769	917			
	(South of Via Pelicano)	Undivided																	
4	Ocean Boulevard	2L COLL	734	865	809	1,136	659	704	754	734	803	810	752	853	892	930			
	(North of El Vedado Road)	Undivided																	
5	South County Road	4L ART	2,825	821	814	834	813	826	818	785	908	1,076	887	912	788	891			
	(North of Peruvian)	Undivided																	
6	North County Road	4L ART	1,193	1,296	1,142	1,188	1,017	1,043	1,200	1,194	1,249	1,237	1,183	1,196	1,305	1,320			
	(North of Breakers Row)	Undivided																	
7	North County Road	4L ART	1,195	1,594	1,256	1,304	1,083	1,073	1,237	1,115	1,121	1,382	1,280	1,291	1,435	1,326			
	(North of Royal Poinciana Way)	Undivided																	
8	Cocoanut Row	2L COLL	789	702	742	793	663	N/A	715	740	690	652	680	641	691	765			
	(South of Seabreeze Avenue)	Undivided																	
9	Cocoanut Row	2L COLL	772	750	820	823	663	645	740	729	689	679	695	714	771	842			
	(North of Whitehall Way)	Undivided																	
10	Bradley Place	2L COLL	1,058	1,249	1,019	1,078	971	892	1,033	894	947	1,273	1,137	1,205	1,256	1,443			
	(North of Royal Poinciana Way)	Undivided																	
11	Royal Palm Way	4L ART	3,037	1,286	1,186	1,313	1,089	1,109	1,222	1,272	1,325	1,313	1,328	1,343	1,364	1,396			
	(East of Hibiscus Avenue)	Divided																	
12	Royal Palm Way	4L ART	3,139	1,401	1,312	1,472	1,580	1,599	1,417	1,362	1,423	1,414	1,460	1,477	1,485	1,535			
	(West of Hibiscus Avenue)	Divided																	
13	Royal Poinciana Way	4L ART	4,212	1,798	1,735	1,626	1,451	1,478	1,590	967	1,284	N/A							
	(West of Cocoanut Row)	Divided																	
14	Royal Poinciana Way	4L ART	2,325	1,307	1,190	1,232	762	845	1,194	671	777	1,122	1,030	1,105	1,185	1,199			
	(East of Cocoanut Row)	Divided																	

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.

Southern Boulevard was split in to two segments for data collection for 2024

TABLE 9 EXISTING 2025 PM PEAK HOUR PEAK SEASON COUNTS TOWN OF PALM BEACH (Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)																			
Location No.	Street Segment	Facility Type	PM PEAK HOUR VOLUME																
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007			
1	Southern Blvd	2L ART	973	1,428	1,323	1,181	1,025	1,041	1,128	1,166	1,349	1,149	1,212	1,204	1,220	1,324			
	(West of SR-A1A)	Undivided																	
2	SR A1A	2L ART	N/A	1,458	1,316	1,254	1,112	1,085	1,235	1,224	1,340	1,228	1,308	1,322	1,457	1,598			
	(North of Via Del Lago)	Undivided																	
3	SR A1A	2L COLL	1,039	1,099	999	934	717	724	968	847	942	904	888	896	991	1,162			
	(South of Via Pelicano)	Undivided																	
4	Ocean Boulevard	2L COLL	832	1,091	889	916	704	720	890	837	898	848	877	954	1,050	1,196			
	(North of El Vedado Road)	Undivided																	
5	South County Road	4L ART	2,660	915	901	973	932	895	892	860	948	1,094	963	937	902	943			
	(North of Peruvian)	Undivided																	
6	North County Road	4L ART	1,188	1,428	1,247	1,316	1,109	1,032	1,284	1,377	1,347	1,218	1,222	1,292	1,381	1,421			
	(North of Breakers Row)	Undivided																	
7	North County Road	4L ART	1,288	1,486	1,281	1,316	1,109	1,051	1,293	1,131	1,116	1,326	1,252	1,345	1,439	1,373			
	(North of Royal Poinciana Way)	Undivided																	
8	Cocoanut Row	2L COLL	768	762	796	812	635	N/A	768	748	719	729	838	768	794	790			
	(South of Seabreeze Avenue)	Undivided																	
9	Cocoanut Row	2L COLL	781	845	881	845	641	720	825	773	731	735	880	774	825	850			
	(North of Whitehall Way)	Undivided																	
10	Bradley Place	2L COLL	1,066	1,260	1,109	1,188	1,062	980	1,145	1,015	1,065	1,302	1,185	1,252	1,355	1,484			
	(North of Royal Poinciana Way)	Undivided																	
11	Royal Palm Way	4L ART	3,251	1,526	1,388	1,491	1,174	1,220	1,428	1,500	1,535	1,373	1,441	1,457	1,476	1,540			
	(East of Hibiscus Avenue)	Divided																	
12	Royal Palm Way	4L ART	3,356	1,654	1,601	1,718	1,775	1,782	1,485	1,592	1,690	1,561	1,598	1,602	1,666	1,698			
	(West of Hibiscus Avenue)	Divided																	
13	Royal Poinciana Way	4L ART	4,577	2,169	2,202	1,974	1,826	1,854	1,908	1,158	1,522	N/A							
	(West of Cocoanut Row)	Divided																	
14	Royal Poinciana Way	4L ART	3,102	1,325	1,287	1,334	957	970	1,153	657	871	1,079	1,043	1,105	1,256	1,214			
	(East of Cocoanut Row)	Divided																	

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.

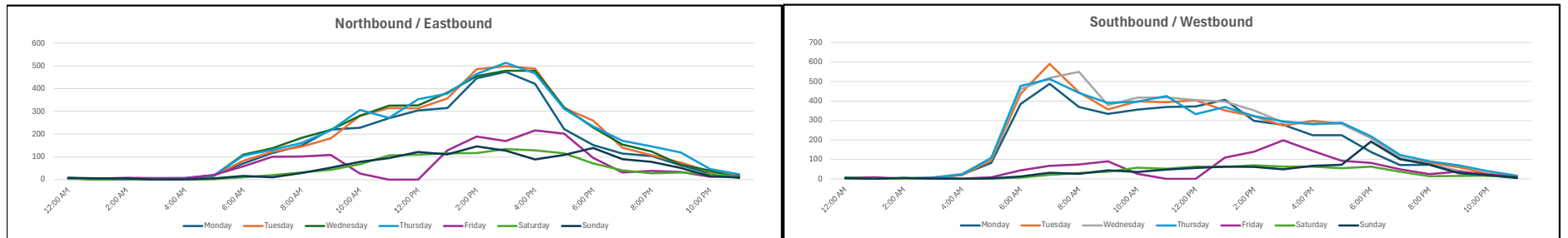
Southern Boulevard was split in to two segments for data collection for 2024

Vehicle Volume Report - Hourly



Site Description: Jimmy Buffett Mem Hwy North of Via La Selva
 Site Number: 2
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	5	6	11	4	2	6	7	2	9	3	3	6	7	6	13	5	7	12	8	4	12	5	2	5	4	6	4
1:00 AM	2	1	3	1	2	3	1	1	2	4	3	7	4	9	13	1	1	2	5	1	6	2	2	2	3	3	3
2:00 AM	1	3	4	6	2	8	4	1	5	4	2	6	8	1	9	3	1	4	5	6	11	5	2	5	2	4	2
3:00 AM	5	3	8	5	8	13	2	7	9	5	8	13	7	5	12	0	0	0	0	2	2	4	8	5	6	3	5
4:00 AM	6	22	28	4	20	24	4	26	30	7	22	29	7	2	9	0	0	0	1	1	2	5	23	6	18	4	13
5:00 AM	18	82	100	17	96	113	17	105	122	19	109	128	21	9	30	2	2	4	5	3	8	18	103	18	80	14	58
6:00 AM	71	385	456	83	436	519	110	461	571	105	477	582	58	44	102	10	8	18	16	13	29	99	458	85	361	65	261
7:00 AM	117	488	605	123	590	713	138	518	656	131	512	643	101	68	169	20	21	41	10	31	41	131	540	122	435	91	318
8:00 AM	149	370	519	145	444	589	184	550	734	161	441	602	102	74	176	31	30	61	29	26	55	163	478	148	376	114	276
9:00 AM	220	333	553	181	357	538	219	378	597	216	390	606	108	90	198	43	38	81	52	44	96	205	375	189	310	148	233
10:00 AM	228	356	584	281	398	679	281	417	698	307	397	704	27	26	53	68	58	126	78	36	114	290	404	225	319	181	241
11:00 AM	270	369	639	314	394	708	325	418	743	271	425	696	0	0	0	106	52	158	94	48	142	303	412	236	321	197	244
12:00 PM	304	372	676	313	404	717	326	405	731	353	332	685	0	0	0	110	64	174	122	56	178	331	380	259	303	218	233
1:00 PM	315	406	721	357	351	708	382	397	779	378	370	748	128	110	238	116	62	178	111	63	174	372	373	312	327	255	251
2:00 PM	446	298	744	485	321	806	455	351	806	464	323	787	189	140	329	117	70	187	146	62	208	468	332	408	287	329	224
3:00 PM	474	278	752	499	273	772	479	290	769	514	296	810	170	199	369	134	63	197	127	50	177	497	286	427	267	342	207
4:00 PM	421	225	646	488	298	786	479	285	764	467	281	748	216	144	360	128	63	191	89	67	156	478	288	414	247	327	195
5:00 PM	222	224	446	315	284	599	317	283	600	311	289	600	202	93	295	116	55	171	109	73	182	314	285	273	235	227	186
6:00 PM	152	138	290	260	211	471	229	210	439	234	219	453	95	83	178	71	63	134	139	192	331	241	213	194	172	169	159
7:00 PM	114	71	185	140	104	244	154	111	265	171	123	294	31	50	81	41	37	78	90	101	191	155	113	122	92	106	85
8:00 PM	104	72	176	107	84	191	124	76	200	146	90	236	38	25	63	28	14	42	78	74	152	126	83	104	69	89	62
9:00 PM	63	30	93	75	60	135	65	43	108	119	70	189	34	37	71	31	15	46	51	30	81	86	58	71	48	63	41
10:00 PM	26	19	45	35	26	61	40	15	55	47	40	87	12	24	36	24	17	41	15	20	35	41	27	32	25	28	23
11:00 PM	8	4	12	15	13	28	9	14	23	23	16	39	17	9	26	12	10	22	9	8	17	16	14	14	11	13	11
6:00 AM - 9:00 AM	337	1243	1580	351	1470	1821	432	1529	1961	397	1430	1827	261	186	447	61	59	120	55	70	125	393	1476	356	1172	271	855
3:00 PM - 6:00 PM	1117	727	1844	1302	855	2157	1275	858	2133	1292	866	2158	588	436	1024	378	181	559	325	190	515	1290	860	1115	748	897	588
6:00 AM - 7:00 PM	3389	4242	7631	3844	4761	8605	3924	4963	8887	3912	4752	8664	1396	1071	2467	1070	647	1717	1122	761	1883	3893	4825	3293	3958	2665	3028
12:00 AM - 12:00 AM	3741	4555	8296	4253	5178	9431	4351	5364	9715	4460	5238	9698	1582	1248	2830	1217	751	1968	1389	1011	2400	4355	5260	3677	4317	2999	3335
Percent	45.1%	54.9%	100.0%	45.1%	54.9%	100.0%	44.8%	55.2%	100.0%	46.0%	54.0%	100.0%	55.9%	44.1%	100.0%	61.8%	38.2%	100.0%	57.9%	42.1%	100.0%	45.3%	54.7%	46.0%	54.0%	47.3%	52.7%
AM Peak	11:00 AM	12:00 PM		7:00 AM	8:00 AM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		9:00 AM	10:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	3:00 PM	4:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		3:00 PM	4:00 PM		3:00 PM	4:00 PM		3:00 PM	4:00 PM		6:00 PM	7:00 PM							

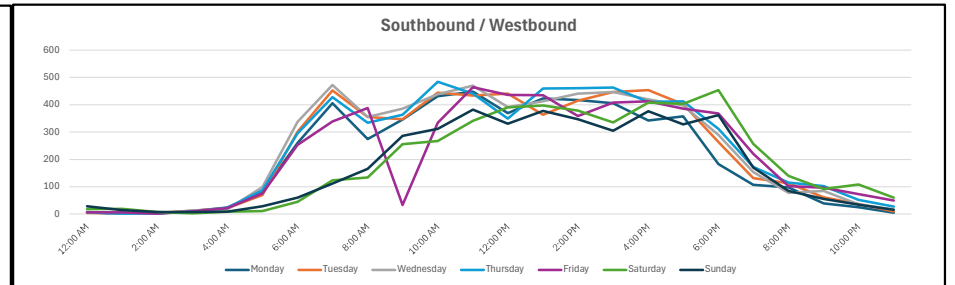
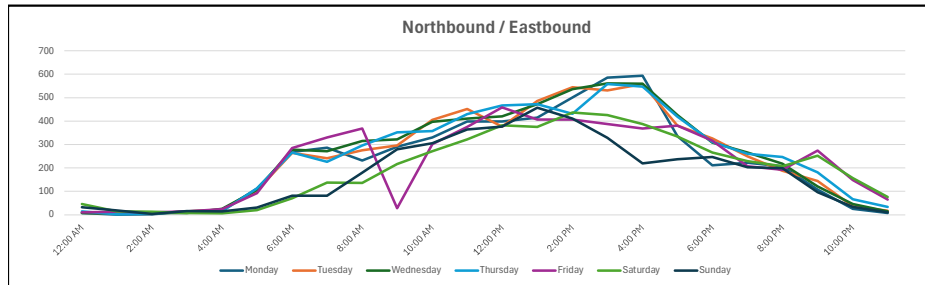


Vehicle Volume Report - Hourly



Site Description: Oceans Blvd South of Via Pelicano
 Site Number: 3
 Start Date: 3/7/2025
 End Date: 3/13/2025

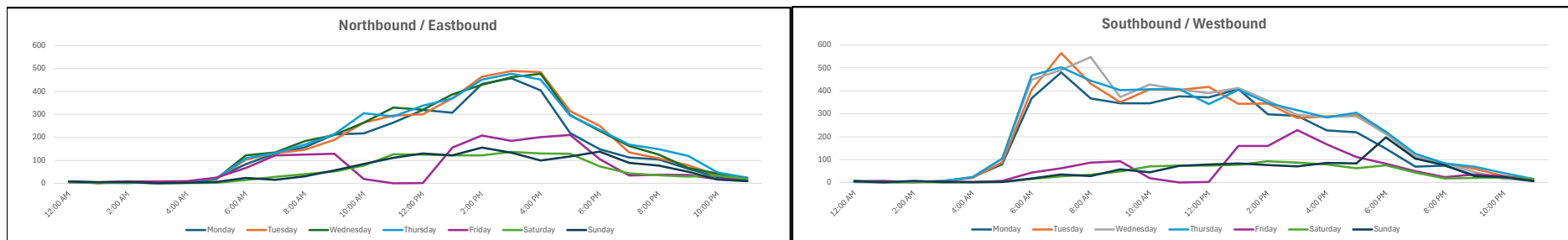
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/17/25			3/18/25			3/19/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	8	6	14	9	4	13	8	6	14	14	7	21	11	6	17	47	18	65	33	29	62	10	6	10	6	19	11
1:00 AM	1	0	1	6	4	10	6	2	8	2	1	3	13	6	19	14	19	33	19	14	33	5	2	6	3	9	7
2:00 AM	3	3	6	6	4	10	8	2	10	5	2	7	10	2	12	13	8	21	4	7	11	6	3	6	3	7	4
3:00 AM	14	11	25	14	12	26	8	13	21	14	9	23	15	10	25	8	3	11	16	7	23	12	11	13	11	13	9
4:00 AM	19	23	42	22	21	43	25	17	42	15	22	37	24	21	45	7	9	16	15	9	24	21	20	21	21	18	17
5:00 AM	112	81	193	104	69	173	106	99	205	113	87	200	93	76	169	20	11	31	32	28	60	108	85	106	82	83	64
6:00 AM	269	261	530	265	301	566	278	338	616	266	296	562	285	253	538	71	45	116	82	60	142	270	312	273	290	217	222
7:00 AM	287	406	693	242	452	694	271	472	743	227	428	655	330	339	669	138	123	261	82	112	194	247	451	271	419	225	333
8:00 AM	232	274	506	275	355	630	315	355	670	296	334	630	368	388	756	136	134	270	180	165	345	295	348	297	341	257	286
9:00 AM	291	346	637	297	347	644	322	386	708	352	363	715	28	33	61	217	255	472	280	286	566	324	365	258	295	255	288
10:00 AM	330	431	761	405	444	849	397	438	835	358	484	842	302	334	636	271	267	538	306	311	617	387	455	358	426	338	387
11:00 AM	398	448	846	451	434	885	410	470	880	430	440	870	375	464	839	322	341	663	364	382	746	430	448	413	451	393	426
12:00 PM	399	369	768	376	441	817	420	391	811	467	349	816	459	436	895	382	390	772	377	331	708	421	394	424	397	411	387
1:00 PM	415	423	838	486	363	849	472	412	884	473	459	932	406	435	841	375	398	773	457	377	834	477	411	450	418	441	410
2:00 PM	501	417	918	544	415	959	536	441	977	432	460	892	406	359	765	437	378	815	411	347	758	504	439	484	418	467	402
3:00 PM	585	406	991	531	446	977	561	447	1008	558	463	1021	388	408	796	426	335	761	329	305	634	550	452	525	434	483	401
4:00 PM	594	342	936	558	454	1012	560	420	980	547	410	957	369	413	782	388	408	796	220	376	596	555	428	526	408	462	403
5:00 PM	336	357	693	380	402	782	426	398	824	419	412	831	381	386	767	334	403	737	238	328	566	408	404	388	391	359	384
6:00 PM	212	183	395	326	264	590	309	290	599	312	312	624	316	368	684	266	454	720	247	362	609	316	289	295	283	284	319
7:00 PM	222	107	329	249	131	380	266	154	420	260	172	432	208	220	428	229	257	486	203	170	373	258	152	241	157	234	173
8:00 PM	207	98	305	188	113	301	218	78	296	247	115	362	193	102	295	207	140	347	199	85	284	218	102	211	101	208	104
9:00 PM	108	39	147	144	61	205	122	85	207	181	102	283	274	96	370	253	91	344	97	55	152	149	83	166	77	168	76
10:00 PM	25	25	50	36	36	72	46	35	81	66	52	118	149	73	222	156	108	264	34	34	68	49	41	64	44	73	52
11:00 PM	8	5	13	17	10	27	15	17	32	34	27	61	65	49	114	76	60	136	11	16	27	22	18	28	22	32	26
6:00 AM - 9:00 AM	788	941	1729	782	1108	1890	864	1165	2029	789	1058	1847	983	980	1963	345	302	647	344	337	681	812	1110	841	1050	699	842
3:00 PM - 6:00 PM	1515	1105	2620	1469	1302	2771	1547	1265	2812	1524	1285	2809	1138	1207	2345	1148	1146	2294	787	1009	1796	1513	1284	1439	1233	1304	1188
6:00 AM - 7:00 PM	4849	4663	9512	5136	5118	10254	5277	5258	10535	5137	5210	10347	4413	4616	9029	3763	3931	7694	3573	3742	7315	5183	5195	4962	4973	4593	4648
12:00 AM - 12:00 AM	5576	5061	10637	5931	5583	11514	6105	5766	11871	6088	5806	11894	5468	5277	10745	4793	4655	9448	4236	4196	8432	6041	5718	5834	5499	5457	5192
Percent	52.4%	47.6%	100.0%	51.5%	48.5%	100.0%	51.4%	48.6%	100.0%	51.2%	48.8%	100.0%	50.9%	49.1%	100.0%	50.7%	49.3%	100.0%	50.2%	49.8%	100.0%	51.4%	48.6%	51.5%	48.5%	51.2%	48.8%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	3:00 PM	4:00 PM		4:00 PM	5:00 PM		3:00 PM	4:00 PM		3:00 PM	4:00 PM		12:00 PM	1:00 PM		2:00 PM	3:00 PM		1:00 PM	2:00 PM							



Vehicle Volume Report - Hourly

Site Description: Oceans Blvd North of El Vedoado Road
 Site Number: 4
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	4	6	10	4	3	7	7	2	9	5	3	8	7	6	13	7	8	15	8	6	14	5	3	5	4	6	5
1:00 AM	2	0	2	1	1	2	1	0	1	3	2	5	4	7	11	2	1	3	4	1	5	2	1	2	2	2	2
2:00 AM	1	4	5	7	2	9	4	1	5	5	1	6	8	1	9	3	2	5	5	8	13	5	1	5	2	5	3
3:00 AM	6	2	8	5	8	13	3	6	9	5	8	13	8	4	12	0	0	0	0	3	3	4	7	5	6	4	4
4:00 AM	6	23	29	5	20	25	3	24	27	6	24	30	9	2	11	1	1	2	2	1	3	5	23	6	19	5	14
5:00 AM	23	80	103	17	88	105	19	104	123	21	104	125	24	7	31	2	2	4	5	3	8	19	99	21	77	16	55
6:00 AM	83	368	451	103	404	507	122	449	571	108	468	576	67	44	111	14	15	29	23	18	41	111	440	97	347	74	252
7:00 AM	129	480	609	131	565	696	135	491	626	132	503	635	122	63	185	28	27	55	15	35	50	133	520	130	420	99	309
8:00 AM	157	367	524	146	431	577	183	547	730	168	444	612	125	87	212	39	34	73	30	28	58	166	474	156	375	121	277
9:00 AM	213	345	558	189	350	539	210	373	583	214	403	617	128	93	221	51	48	99	56	58	114	204	375	191	313	152	239
10:00 AM	218	345	563	264	407	671	264	428	692	305	407	712	18	19	37	77	70	147	84	45	129	278	414	214	321	176	246
11:00 AM	264	376	640	295	404	699	330	406	736	291	408	699	0	0	0	126	74	200	111	73	184	305	406	236	319	202	249
12:00 PM	319	371	690	300	417	717	321	390	711	338	342	680	1	2	3	125	74	199	129	79	208	320	383	256	304	219	239
1:00 PM	308	408	716	371	343	714	387	412	799	369	404	773	156	160	316	122	78	200	122	83	205	376	386	318	345	262	270
2:00 PM	433	298	731	465	344	809	429	357	786	452	347	799	208	159	367	121	93	214	155	77	232	449	349	397	301	323	239
3:00 PM	458	291	749	489	282	771	462	294	756	477	315	792	185	229	414	137	87	224	133	70	203	476	297	414	282	334	224
4:00 PM	404	228	632	484	288	772	477	287	764	451	284	735	201	167	368	130	79	209	100	86	186	471	286	403	251	321	203
5:00 PM	219	219	438	315	295	610	297	290	587	295	305	600	210	112	322	128	62	190	117	84	201	302	297	267	244	226	195
6:00 PM	148	148	296	250	219	469	228	213	441	232	221	453	105	82	187	74	75	149	138	197	335	237	218	193	177	168	165
7:00 PM	112	69	181	135	104	239	162	114	276	169	126	295	34	50	84	43	44	87	89	104	193	155	115	122	93	106	87
8:00 PM	104	74	178	109	83	192	125	83	208	148	84	232	37	24	61	35	18	53	77	76	153	127	83	105	70	91	63
9:00 PM	63	32	95	78	60	138	67	46	113	119	69	188	36	35	71	29	20	49	50	28	78	88	58	73	48	63	41
10:00 PM	27	20	47	34	29	63	42	16	58	47	42	89	17	27	44	34	22	56	16	23	39	41	29	33	27	31	26
11:00 PM	9	6	15	18	13	31	10	17	27	24	16	40	21	11	32	18	15	33	9	7	16	17	15	16	13	16	12
6:00 AM - 9:00 AM	369	1215	1584	380	1400	1780	440	1487	1927	408	1415	1823	314	194	508	81	76	157	68	81	149	409	1434	382	1142	294	838
3:00 PM - 6:00 PM	1081	738	1819	1288	865	2153	1236	871	2107	1223	904	2127	596	508	1104	395	228	623	350	240	590	1249	880	1085	777	881	622
6:00 AM - 7:00 PM	3353	4244	7597	3802	4749	8551	3845	4937	8782	3832	4851	8683	1526	1217	2743	1172	816	1988	1213	933	2146	3826	4846	3272	4000	2678	3107
12:00 AM - 12:00 AM	3710	4560	8270	4215	5160	9375	4288	5350	9638	4384	5330	9714	1731	1391	3122	1346	949	2295	1478	1193	2671	4296	5280	3666	4358	3022	3419
Percent	44.9%	55.1%	100.0%	45.0%	55.0%	100.0%	44.5%	55.5%	100.0%	45.1%	54.9%	100.0%	55.4%	44.6%	100.0%	58.6%	41.4%	100.0%	55.3%	44.7%	100.0%	44.9%	55.1%	45.7%	54.3%	46.9%	53.1%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		9:00 AM	10:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	3:00 PM	4:00 PM		2:00 PM	3:00 PM		1:00 PM	2:00 PM		2:00 PM	3:00 PM		3:00 PM	4:00 PM		3:00 PM	4:00 PM		6:00 PM	7:00 PM							

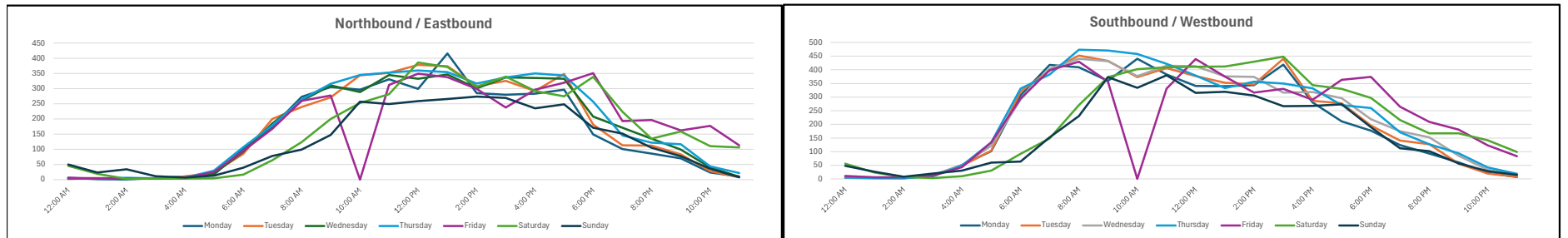


Vehicle Volume Report - Hourly



Site Description: Cocoanut Row South of Seabreeze Avenue
 Site Number: 5
 Start Date: 3/7/2025
 End Date: 3/14/2025

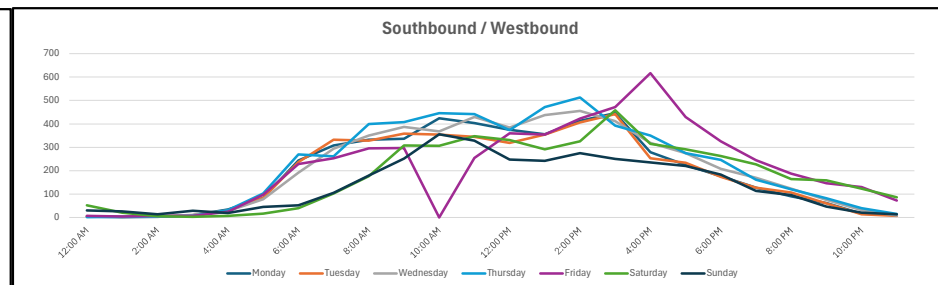
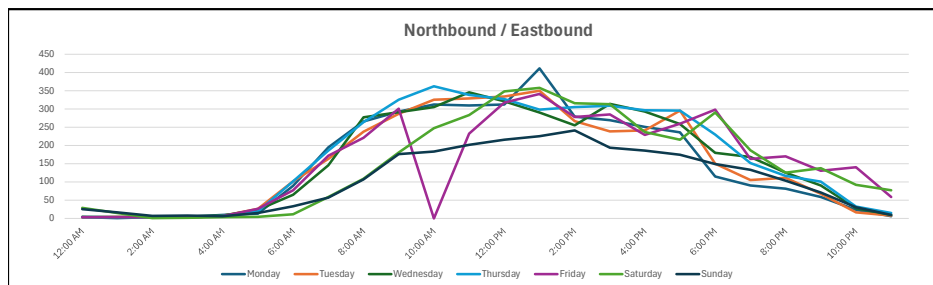
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/17/25			3/18/25			3/19/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	6	4	10	3	5	8	2	4	6	4	5	9	6	11	17	45	56	101	50	48	98	3	5	4	6	17	19
1:00 AM	2	3	5	5	3	8	4	3	7	4	4	8	4	6	10	19	23	42	24	27	51	4	3	4	4	9	10
2:00 AM	1	3	4	3	3	6	3	1	4	6	3	9	4	6	10	2	7	9	34	8	42	4	2	3	3	8	4
3:00 AM	5	11	16	3	15	18	4	15	19	4	10	14	4	12	16	4	3	7	11	20	31	4	13	4	13	5	12
4:00 AM	10	51	61	10	48	58	4	51	55	6	49	55	5	43	48	3	10	13	7	31	38	7	49	7	48	6	40
5:00 AM	16	102	118	24	104	128	20	121	141	30	134	164	25	134	159	4	31	35	13	60	73	25	120	23	119	19	98
6:00 AM	101	307	408	85	320	405	92	291	383	107	331	438	95	295	390	17	92	109	39	64	103	95	314	96	309	77	243
7:00 AM	174	418	592	200	397	597	185	404	589	179	383	562	167	398	565	64	148	212	78	152	230	188	395	181	400	150	329
8:00 AM	273	409	682	240	452	692	260	440	700	264	474	738	260	430	690	124	270	394	99	230	329	255	455	259	441	217	386
9:00 AM	305	359	664	271	433	704	311	431	742	316	470	786	277	356	633	200	373	573	147	373	520	299	445	296	410	261	399
10:00 AM	297	440	737	344	373	717	289	377	666	345	458	803	0	0	0	253	402	655	257	334	591	326	403	255	330	255	341
11:00 AM	331	383	714	352	406	758	345	415	760	353	422	775	312	331	643	282	409	691	249	380	629	350	414	339	391	318	392
12:00 PM	299	341	640	378	377	755	332	413	745	360	379	739	349	439	788	386	411	797	259	315	574	357	390	344	390	338	382
1:00 PM	416	340	756	374	353	727	347	376	723	355	333	688	338	375	713	371	412	783	266	319	585	359	354	366	355	352	358
2:00 PM	285	344	629	308	347	655	301	374	675	317	356	673	299	316	615	306	430	736	274	306	580	309	359	302	347	299	353
3:00 PM	280	419	699	326	440	766	337	317	654	337	350	687	238	330	568	340	448	788	269	267	536	333	369	304	371	304	367
4:00 PM	283	280	563	292	286	578	335	318	653	350	332	682	297	290	587	292	344	636	235	268	503	326	312	311	301	298	303
5:00 PM	297	211	508	348	278	626	332	296	628	343	270	613	319	363	682	275	330	605	248	274	522	341	281	328	284	309	289
6:00 PM	149	177	326	182	195	377	208	219	427	257	260	517	351	374	725	339	297	636	171	190	361	216	225	229	245	237	245
7:00 PM	101	124	225	113	141	254	171	175	346	145	171	316	193	265	458	224	216	440	152	113	265	143	162	145	175	157	172
8:00 PM	86	93	179	112	127	239	135	153	288	122	127	249	196	209	405	135	167	302	105	102	207	123	136	130	142	127	140
9:00 PM	70	61	131	83	56	139	99	85	184	116	94	210	162	181	343	159	167	326	77	57	134	99	78	106	95	109	100
10:00 PM	23	22	45	28	20	48	40	33	73	44	42	86	177	123	300	110	142	252	36	29	65	37	32	62	48	65	59
11:00 PM	10	7	17	8	8	16	9	14	23	22	19	41	113	83	196	106	99	205	8	15	23	13	14	32	26	39	35
6:00 AM - 9:00 AM	548	1134	1682	525	1169	1694	537	1135	1672	550	1188	1738	522	1123	1645	205	510	715	216	446	662	537	1164	536	1150	443	958
3:00 PM - 6:00 PM	860	910	1770	966	1004	1970	1004	931	1935	1030	952	1982	854	983	1837	907	1122	2029	752	809	1561	1000	962	943	956	910	959
6:00 AM - 7:00 PM	3490	4428	7918	3700	4657	8357	3674	4671	8345	3883	4818	8701	3302	4297	7599	3249	4366	7615	2591	3472	6063	3752	4715	3610	4574	3413	4387
12:00 AM - 12:00 AM	3820	4909	8729	4092	5187	9279	4165	5326	9491	4386	5476	9862	4191	5370	9561	4060	5287	9347	3108	3982	7090	4214	5330	4131	5254	3975	5077
Percent	43.8%	56.2%	100.0%	44.1%	55.9%	100.0%	43.9%	56.1%	100.0%	44.5%	55.5%	100.0%	43.8%	56.2%	100.0%	43.4%	56.6%	100.0%	43.8%	56.2%	100.0%	44.2%	55.8%	44.0%	56.0%	43.9%	56.1%
AM Peak	10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		8:00 AM	9:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	1:00 PM	2:00 PM		3:00 PM	4:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		1:00 PM	2:00 PM							



Vehicle Volume Report - Hourly

Site Description: Coconut Row North of Whitehall Way
 Site Number: 6
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/7/25			3/8/25			3/9/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	3	5	8	2	6	8	4	5	9	3	2	5	3	7	10	29	53	82	25	30	55	3	4	3	5	10	15
1:00 AM	1	2	3	4	3	7	3	4	7	3	3	6	3	4	7	15	21	36	16	26	42	3	3	3	3	6	9
2:00 AM	3	3	6	3	4	7	4	4	8	3	4	7	3	7	10	1	6	7	7	14	21	3	4	3	4	3	6
3:00 AM	4	10	14	2	10	12	5	11	16	2	7	9	3	8	11	2	3	5	8	29	37	3	9	3	9	4	11
4:00 AM	9	35	44	7	30	37	8	28	36	7	32	39	6	25	31	3	7	10	6	20	26	7	30	7	30	7	25
5:00 AM	13	84	97	26	84	110	23	79	102	19	102	121	26	98	124	4	16	20	15	45	60	23	88	21	89	18	73
6:00 AM	89	244	333	102	236	338	65	192	257	102	270	372	77	228	305	11	40	51	33	52	85	90	233	87	234	68	180
7:00 AM	195	307	502	163	332	495	145	294	439	186	261	447	172	253	425	59	102	161	57	106	163	165	296	172	289	140	236
8:00 AM	266	332	598	238	328	566	277	350	627	264	399	663	221	295	516	109	176	285	107	179	286	260	359	253	341	212	294
9:00 AM	293	336	629	287	358	645	291	387	678	326	407	733	301	297	598	181	307	488	176	252	428	301	384	300	357	265	335
10:00 AM	312	424	736	325	355	680	305	368	673	362	446	808	0	0	0	247	306	553	183	355	538	331	390	261	319	248	322
11:00 AM	310	404	714	329	345	674	346	429	775	339	442	781	233	255	488	283	347	630	202	328	530	338	405	311	375	292	364
12:00 PM	312	375	687	334	318	652	321	384	705	327	374	701	318	360	678	348	331	679	216	248	464	327	359	322	362	311	341
1:00 PM	412	356	768	350	355	705	290	437	727	298	472	770	341	354	695	358	291	649	225	242	467	313	421	338	395	325	358
2:00 PM	279	413	692	267	406	673	255	455	710	305	513	818	278	422	700	316	326	642	241	275	516	276	458	277	442	277	401
3:00 PM	269	446	715	239	441	680	314	411	725	309	392	701	285	472	757	313	458	771	194	250	444	287	415	283	432	275	410
4:00 PM	251	279	530	241	253	494	293	319	612	297	350	647	229	617	846	237	315	552	186	235	421	277	307	262	364	248	338
5:00 PM	236	225	461	296	234	530	259	275	534	296	275	571	260	430	690	216	291	507	174	220	394	284	261	269	288	248	279
6:00 PM	115	176	291	150	174	324	180	208	388	230	246	476	298	325	623	290	263	553	149	183	332	187	209	195	226	202	225
7:00 PM	90	127	217	105	127	232	168	170	338	152	162	314	163	245	408	187	227	414	133	114	247	142	153	136	166	143	167
8:00 PM	82	91	173	111	107	218	125	123	248	116	120	236	170	187	357	125	164	289	103	96	199	117	117	121	126	119	127
9:00 PM	59	62	121	67	61	128	90	76	166	101	83	184	131	146	277	138	159	297	71	47	118	86	73	90	86	94	91
10:00 PM	23	17	40	17	14	31	28	31	59	32	40	72	140	130	270	92	124	216	31	21	52	26	28	48	46	52	54
11:00 PM	6	11	17	8	8	16	9	9	18	15	15	30	59	72	131	77	86	163	9	14	23	11	11	19	23	26	31
6:00 AM - 9:00 AM	550	883	1433	503	896	1399	487	836	1323	552	930	1482	470	776	1246	179	318	497	197	337	534	514	887	512	864	420	711
3:00 PM - 6:00 PM	756	950	1706	776	928	1704	866	1005	1871	902	1017	1919	774	1519	2293	766	1064	1830	554	705	1259	848	983	815	1084	771	1027
6:00 AM - 7:00 PM	3339	4317	7656	3321	4135	7456	3341	4509	7850	3641	4847	8488	3013	4308	7321	2968	3553	6521	2143	2925	5068	3434	4497	3331	4423	3109	4085
12:00 AM - 12:00 AM	3632	4764	8396	3673	4589	8262	3808	5049	8857	4094	5417	9511	3720	5237	8957	3641	4419	8060	2567	3381	5948	3858	5018	3785	5011	3591	4694
Percent	43.3%	56.7%	100.0%	44.5%	55.5%	100.0%	43.0%	57.0%	100.0%	43.0%	57.0%	100.0%	41.5%	58.5%	100.0%	45.2%	54.8%	100.0%	43.2%	56.8%	100.0%	43.5%	56.5%	43.0%	57.0%	43.3%	56.7%
AM Peak	10:00 AM	11:00 AM		10:00 AM	11:00 AM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		9:00 AM	10:00 AM		11:00 AM	12:00 PM		10:00 AM	11:00 AM							
PM Peak	1:00 PM	2:00 PM		1:00 PM	2:00 PM		1:00 PM	2:00 PM		2:00 PM	3:00 PM		4:00 PM	5:00 PM		3:00 PM	4:00 PM		2:00 PM	3:00 PM							



Vehicle Volume Report - Hourly

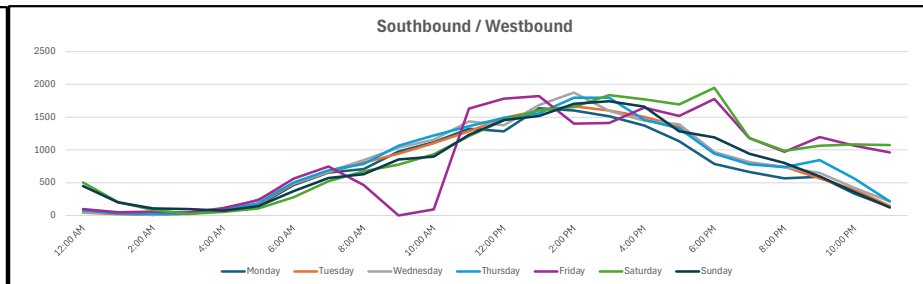
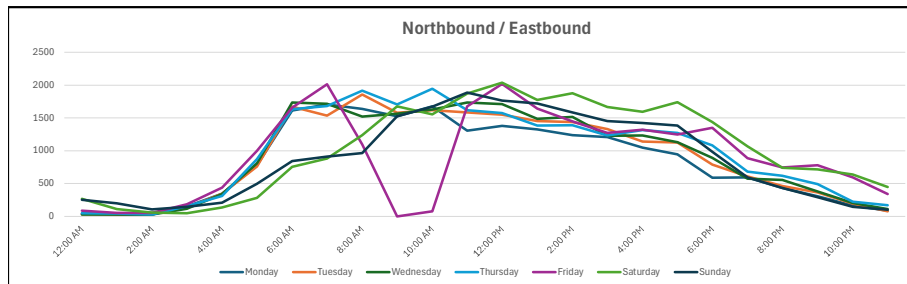
Site Description: Royal Palm Way West of Hibiscus Avenue

Site Number: 7

Start Date: 3/7/2025

End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/17/25			3/8/25			3/9/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	42	60	102	31	47	78	29	51	80	46	82	128	86	102	188	268	505	773	250	449	699	35	60	47	68	107	185
1:00 AM	26	33	59	34	20	54	30	36	66	44	31	75	54	52	106	108	206	314	197	199	396	36	29	38	34	70	82
2:00 AM	27	10	37	50	12	62	30	12	42	26	24	50	53	59	112	56	84	140	105	110	215	35	16	37	23	50	44
3:00 AM	149	45	194	128	30	158	118	32	150	155	26	181	187	47	234	49	27	76	146	96	242	134	29	147	36	133	43
4:00 AM	348	102	450	344	94	438	338	76	414	311	87	398	438	113	551	134	54	188	209	74	283	331	86	356	94	303	86
5:00 AM	779	151	930	762	170	932	806	247	1053	873	190	1063	1000	234	1234	282	108	390	496	145	641	814	202	844	198	714	178
6:00 AM	1614	466	2080	1674	483	2157	1737	488	2225	1633	502	2135	1659	565	2224	752	277	1029	844	374	1218	1681	491	1663	501	1416	451
7:00 AM	1707	653	2360	1533	662	2195	1717	669	2386	1681	692	2373	2015	749	2764	880	523	1403	909	572	1481	1644	674	1731	685	1492	646
8:00 AM	1636	710	2346	1856	805	2661	1518	845	2363	1913	785	2698	1095	466	1561	1238	675	1913	964	630	1594	1762	812	1604	722	1460	702
9:00 AM	1525	979	2504	1582	944	2526	1566	1038	2604	1708	1062	2770	0	0	0	1678	779	2457	1524	855	2379	1619	1015	1276	805	1369	808
10:00 AM	1675	1117	2792	1620	1105	2725	1626	1159	2785	1946	1221	3167	78	95	173	1555	933	2488	1673	900	2573	1731	1162	1389	939	1453	933
11:00 AM	1306	1322	2628	1583	1285	2868	1735	1435	3170	1617	1364	2981	1678	1629	3307	1874	1211	3085	1887	1232	3119	1645	1361	1584	1407	1669	1354
12:00 PM	1380	1284	2664	1549	1491	3040	1709	1379	3088	1575	1489	3064	2020	1783	3803	2037	1455	3492	1764	1454	3218	1611	1453	1647	1485	1719	1476
1:00 PM	1328	1634	2962	1450	1599	3049	1484	1686	3170	1386	1556	2942	1641	1823	3464	1774	1605	3379	1723	1521	3244	1440	1614	1458	1660	1541	1632
2:00 PM	1238	1602	2840	1439	1663	3102	1516	1874	3390	1390	1799	3189	1447	1401	2848	1877	1657	3534	1583	1705	3288	1448	1779	1406	1668	1499	1672
3:00 PM	1208	1511	2719	1333	1599	2932	1228	1597	2825	1233	1796	3029	1269	1410	2679	1667	1837	3504	1450	1744	3194	1265	1664	1254	1583	1341	1642
4:00 PM	1049	1372	2421	1141	1505	2646	1233	1445	2678	1315	1458	2773	1319	1646	2965	1594	1771	3365	1422	1661	3083	1230	1469	1211	1485	1296	1551
5:00 PM	947	1134	2081	1126	1360	2486	1130	1391	2521	1274	1330	2604	1249	1521	2770	1737	1693	3430	1383	1287	2670	1177	1360	1145	1347	1264	1388
6:00 PM	588	785	1373	792	955	1747	893	968	1861	1083	942	2025	1350	1775	3125	1438	1946	3384	982	1192	2174	923	955	941	1085	1018	1223
7:00 PM	596	664	1260	606	804	1410	577	817	1394	683	782	1465	886	1181	2067	1069	1183	2252	597	943	1540	622	801	670	850	716	911
8:00 PM	436	566	1002	462	741	1203	555	737	1292	619	739	1358	747	973	1720	741	985	1726	433	804	1237	545	739	564	751	570	792
9:00 PM	308	592	900	365	567	932	381	649	1030	491	846	1337	779	1195	1974	715	1062	1777	291	594	885	412	687	465	770	476	786
10:00 PM	164	330	494	192	394	586	206	419	625	224	564	788	597	1068	1665	637	1084	1721	148	357	505	207	459	277	555	310	602
11:00 PM	88	130	218	74	146	220	111	216	327	172	215	387	338	965	1303	445	1076	1521	100	124	224	119	192	157	334	190	410
6:00 AM - 9:00 AM	4957	1829	6786	5063	1950	7013	4972	2002	6974	5227	1979	7206	4769	1780	6549	2870	1475	4345	2717	1576	4293	5087	1977	4998	1908	4368	1799
3:00 PM - 6:00 PM	3204	4017	7221	3600	4464	8064	3591	4433	8024	3822	4584	8406	3837	4577	8414	4998	5301	10299	4255	4692	8947	3671	4494	3611	4415	3901	4581
6:00 AM - 7:00 PM	17201	14569	31770	18678	15456	34134	19092	15974	35066	19754	15996	35750	16820	14863	31683	20101	16362	36463	18108	15127	33235	19175	15809	18309	15372	18536	15478
12:00 AM - 12:00 AM	20164	17252	37416	21726	18481	40207	22273	19266	41539	23398	19582	42980	21985	20852	42837	24605	22736	47341	21080	19022	40102	22466	19110	21909	19087	22176	19599
Percent	53.9%	46.1%	100.0%	54.0%	46.0%	100.0%	53.6%	46.4%	100.0%	54.4%	45.6%	100.0%	51.3%	48.7%	100.0%	52.0%	48.0%	100.0%	52.6%	47.4%	100.0%	54.0%	46.0%	53.4%	46.6%	53.1%	46.9%
AM Peak	10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	1:00 PM	2:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		12:00 PM	1:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM							

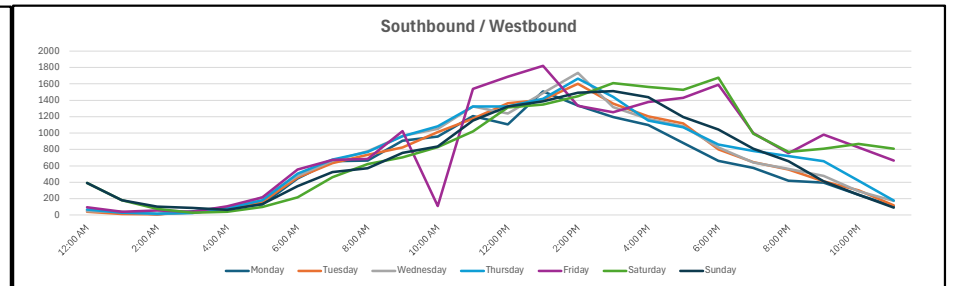
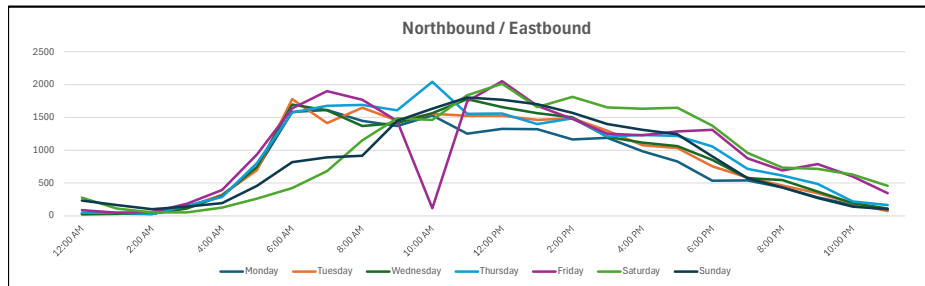


Vehicle Volume Report - Hourly



Site Description: Royal Palm Way East of Hibiscus Avenue
 Site Number: 8
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	39	61	100	29	39	68	25	47	72	46	68	114	86	93	179	276	391	667	233	391	624	33	51	45	62	105	156
1:00 AM	32	37	69	28	14	42	31	37	68	49	29	78	49	40	89	112	183	295	166	182	348	36	27	38	31	67	75
2:00 AM	27	10	37	52	10	62	32	12	44	26	18	44	56	57	113	52	76	128	100	101	201	37	13	39	21	49	41
3:00 AM	137	43	180	125	31	156	114	30	144	154	26	180	184	42	226	53	29	82	140	86	226	131	29	143	34	130	41
4:00 AM	318	94	412	321	90	411	307	72	379	286	85	371	392	105	497	125	42	167	195	64	259	305	82	325	89	278	79
5:00 AM	715	131	846	698	159	857	747	216	963	802	178	980	936	217	1153	261	99	360	459	134	593	749	184	780	180	660	162
6:00 AM	1583	446	2029	1777	459	2236	1697	476	2173	1575	505	2080	1640	556	2196	424	215	639	820	351	1171	1683	480	1654	488	1359	430
7:00 AM	1613	656	2269	1411	633	2044	1607	661	2268	1677	675	2352	1899	674	2573	684	462	1146	892	525	1417	1565	656	1641	660	1398	612
8:00 AM	1447	666	2113	1648	734	2382	1371	777	2148	1691	770	2461	1767	685	2452	1148	621	1769	919	571	1490	1570	760	1585	726	1427	689
9:00 AM	1371	905	2276	1455	824	2279	1414	967	2381	1607	960	2567	1449	1023	2472	1484	705	2189	1445	758	2203	1492	917	1459	936	1461	877
10:00 AM	1530	959	2489	1554	1013	2567	1567	1049	2616	2042	1083	3125	117	112	229	1462	829	2291	1634	836	2470	1721	1048	1362	843	1415	840
11:00 AM	1250	1205	2455	1526	1176	2702	1779	1324	3103	1553	1325	2878	1745	1538	3283	1836	1021	2857	1804	1152	2956	1619	1275	1571	1314	1642	1249
12:00 PM	1329	1104	2433	1525	1362	2887	1656	1240	2896	1561	1325	2886	2050	1686	3736	2015	1313	3328	1771	1326	3097	1581	1309	1624	1343	1701	1337
1:00 PM	1322	1508	2830	1463	1405	2868	1565	1488	3053	1398	1418	2816	1678	1819	3497	1659	1347	3006	1700	1387	3087	1475	1437	1485	1528	1541	1482
2:00 PM	1166	1337	2503	1487	1602	3089	1502	1735	3237	1485	1662	3147	1476	1332	2808	1812	1450	3262	1570	1493	3063	1491	1666	1423	1534	1500	1516
3:00 PM	1190	1198	2388	1296	1361	2657	1206	1316	2522	1209	1442	2651	1251	1253	2504	1654	1607	3261	1398	1512	2910	1237	1373	1230	1314	1315	1384
4:00 PM	983	1098	2081	1077	1204	2281	1118	1173	2291	1233	1152	2385	1229	1380	2609	1633	1563	3196	1314	1439	2753	1143	1176	1128	1201	1227	1287
5:00 PM	830	881	1711	1031	1118	2149	1064	1081	2145	1218	1072	2290	1284	1431	2715	1645	1528	3173	1242	1194	2436	1104	1090	1085	1117	1188	1186
6:00 PM	536	660	1196	758	801	1559	851	823	1674	1058	861	1919	1311	1590	2901	1374	1676	3050	908	1045	1953	889	828	903	947	971	1065
7:00 PM	538	575	1113	586	646	1232	577	640	1217	717	779	1496	877	999	1876	959	991	1950	572	810	1382	627	688	659	728	689	777
8:00 PM	430	417	847	464	554	1018	546	561	1107	614	720	1334	692	755	1447	736	772	1508	434	656	1090	541	612	549	601	559	634
9:00 PM	283	393	676	346	412	758	368	476	844	488	657	1145	788	982	1770	714	811	1525	273	413	686	401	515	455	584	466	592
10:00 PM	164	247	411	191	301	492	195	290	485	220	418	638	599	822	1421	631	868	1499	140	246	386	202	336	274	416	306	456
11:00 PM	92	104	196	70	118	188	109	172	281	167	177	344	343	666	1009	457	809	1266	100	90	190	115	156	156	247	191	305
6:00 AM - 9:00 AM	4643	1768	6411	4836	1826	6662	4675	1914	6589	4943	1950	6893	5306	1915	7221	2256	1298	3554	2631	1447	4078	4818	1897	4881	1875	4184	1731
3:00 PM - 6:00 PM	3003	3177	6180	3404	3683	7087	3388	3570	6958	3660	3666	7326	3764	4064	7828	4932	4698	9630	3954	4145	8099	3484	3640	3444	3632	3729	3858
6:00 AM - 7:00 PM	16150	12623	28773	18008	13692	31700	18397	14110	32507	19307	14250	33557	18896	15079	33975	18830	14337	33167	17417	13589	31006	18571	14017	18152	13951	18144	13954
12:00 AM - 12:00 AM	18925	14735	33660	20918	16066	36984	21448	16663	38111	22876	17405	40281	23898	19857	43755	23206	19408	42614	20229	16762	36991	21747	16711	21613	16945	21643	17271
Percent	56.2%	43.8%	100.0%	56.6%	43.4%	100.0%	56.3%	43.7%	100.0%	56.8%	43.2%	100.0%	54.6%	45.4%	100.0%	54.5%	45.5%	100.0%	54.7%	45.3%	100.0%	56.5%	43.5%	56.1%	43.9%	55.6%	44.4%
AM Peak	10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	1:00 PM	2:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		2:00 PM	1:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM							

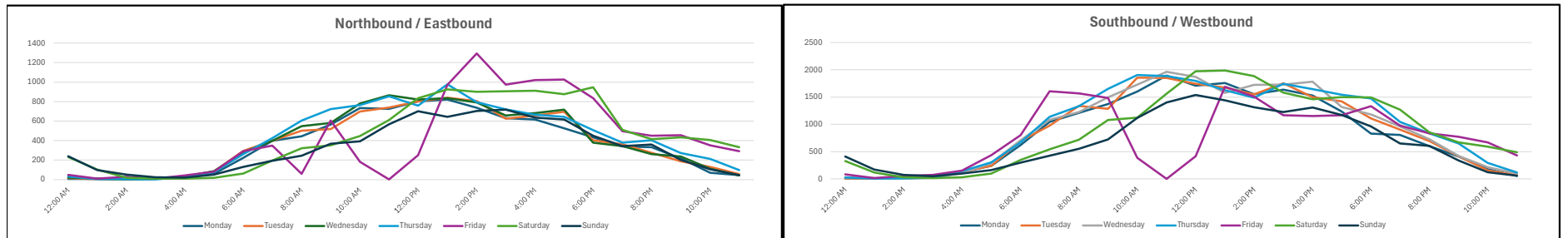


Vehicle Volume Report - Hourly



Site Description: S County Road North of Peruvian Avenue
 Site Number: 9
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/8/25			3/9/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	8	9	17	16	10	26	21	30	51	32	29	61	48	87	135	231	326	557	239	412	651	23	23	25	33	85	129
1:00 AM	7	12	19	4	6	10	10	15	25	6	4	10	10	17	27	104	120	224	98	171	269	7	8	7	11	34	49
2:00 AM	0	16	16	0	14	14	2	6	8	6	8	14	28	54	82	18	32	50	53	73	126	3	9	7	20	15	29
3:00 AM	10	27	37	15	38	53	7	21	28	2	21	23	9	74	83	10	18	28	25	49	74	8	27	9	36	11	35
4:00 AM	27	127	154	26	127	153	33	109	142	29	144	173	42	154	196	10	31	41	20	97	117	29	127	31	132	27	113
5:00 AM	59	242	301	85	239	324	86	291	377	77	302	379	82	433	515	19	97	116	53	162	215	83	277	78	301	66	252
6:00 AM	224	622	846	294	694	988	280	710	990	260	669	929	290	800	1090	63	348	411	129	298	427	278	691	270	699	220	592
7:00 AM	399	1043	1442	399	978	1377	399	1082	1481	426	1140	1566	350	1605	1955	197	544	741	195	425	620	408	1067	395	1170	338	974
8:00 AM	444	1213	1657	502	1340	1842	548	1229	1777	605	1331	1936	59	1568	1627	323	718	1041	245	551	796	552	1300	432	1336	389	1136
9:00 AM	566	1373	1939	518	1286	1804	580	1493	2073	724	1648	2372	605	1486	2091	351	1078	1429	367	722	1089	607	1476	599	1457	530	1298
10:00 AM	734	1600	2334	699	1853	2552	781	1730	2511	764	1903	2667	181	384	565	448	1124	1572	392	1121	1513	748	1829	632	1494	571	1388
11:00 AM	727	1896	2623	739	1851	2590	865	1963	2828	854	1885	2739	3	3	6	610	1562	2172	567	1400	1967	819	1900	638	1520	624	1509
12:00 PM	804	1712	2516	802	1741	2543	822	1871	2693	758	1798	2556	251	415	666	836	1971	2807	700	1540	2240	794	1803	687	1507	710	1578
1:00 PM	821	1756	2577	841	1672	2513	835	1578	2413	978	1627	2605	972	1688	2660	925	1988	2913	644	1443	2087	885	1626	889	1664	859	1679
2:00 PM	736	1555	2291	806	1548	2354	790	1721	2511	795	1491	2286	1295	1508	2803	901	1882	2783	703	1316	2019	797	1587	884	1565	861	1574
3:00 PM	631	1635	2266	626	1752	2378	658	1728	2386	720	1745	2465	974	1169	2143	906	1582	2488	717	1228	1945	668	1742	722	1606	747	1548
4:00 PM	616	1528	2144	658	1498	2156	682	1784	2466	666	1647	2313	1020	1151	2171	911	1460	2371	635	1309	1944	669	1643	728	1522	741	1482
5:00 PM	527	1237	1764	695	1420	2115	719	1321	2040	644	1543	2187	1027	1167	2194	876	1498	2374	617	1174	1791	686	1428	722	1338	729	1337
6:00 PM	432	828	1260	403	1107	1510	380	1183	1563	508	1478	1986	836	1333	2169	946	1493	2439	449	964	1413	430	1256	512	1186	565	1198
7:00 PM	341	805	1146	362	905	1267	342	962	1304	380	1047	1427	496	978	1474	511	1269	1780	344	651	995	361	971	384	939	397	945
8:00 PM	332	603	935	276	693	969	263	728	991	404	838	1242	451	835	1286	414	854	1268	360	605	965	314	753	345	739	357	737
9:00 PM	219	412	631	189	416	605	236	422	658	271	651	922	457	770	1227	432	670	1102	203	338	541	232	496	274	534	287	526
10:00 PM	70	177	247	130	160	290	111	215	326	214	297	511	351	667	1018	406	591	997	106	123	229	152	224	175	303	198	319
11:00 PM	47	54	101	56	62	118	44	100	144	98	120	218	291	429	720	333	487	820	45	57	102	66	94	107	153	131	187
6:00 AM - 9:00 AM	1067	2878	3945	1195	3012	4207	1227	3021	4248	1291	3140	4431	699	3973	4672	583	1610	2193	569	1274	1843	1238	3058	1096	3205	947	2701
3:00 PM - 6:00 PM	1774	4400	6174	1979	4670	6649	2059	4833	6892	2030	4935	6965	3021	3487	6508	2693	4540	7233	1969	3711	5680	2023	4813	2173	4465	2218	4368
6:00 AM - 7:00 PM	7661	17998	25659	7982	18740	26722	8339	19393	27732	8702	19905	28607	7863	14277	22140	8293	17248	25541	6360	13491	19851	8341	19346	8109	18063	7886	17293
12:00 AM - 12:00 AM	8781	20482	29263	9141	21410	30551	9494	22292	31786	10221	23366	33587	10128	18775	28903	10781	21743	32524	7906	16229	24135	9619	22356	9553	21265	9493	20614
Percent	30.0%	70.0%	100.0%	29.9%	70.1%	100.0%	29.9%	70.1%	100.0%	30.4%	69.6%	100.0%	35.0%	65.0%	100.0%	33.1%	66.9%	100.0%	32.8%	67.2%	100.0%	30.1%	69.9%	31.0%	69.0%	31.5%	68.5%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		9:00 AM	10:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	1:00 PM	2:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		1:00 PM	2:00 PM		2:00 PM	3:00 PM		1:00 PM	2:00 PM		12:00 PM	1:00 PM							

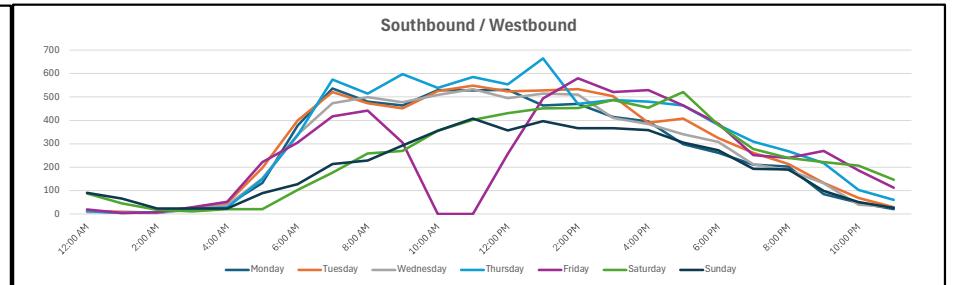
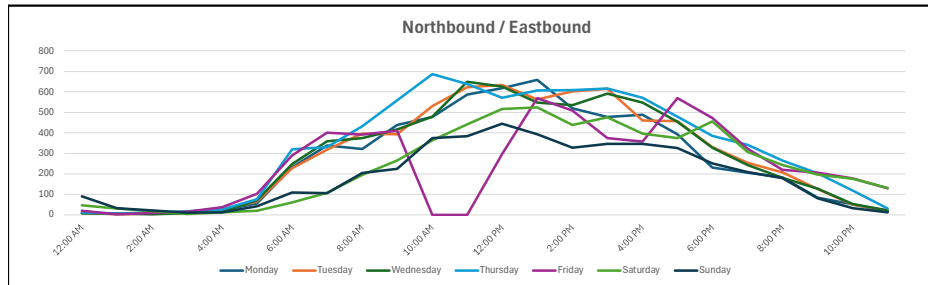


Vehicle Volume Report - Hourly



Site Description: N County Road North of Breakers Row
 Site Number: 10
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	9	13	22	11	11	22	7	9	16	12	13	25	20	20	40	47	87	134	90	91	181	10	11	12	13	28	35
1:00 AM	4	6	10	3	10	13	7	6	13	6	5	11	3	5	8	31	45	76	33	66	99	5	7	5	6	12	20
2:00 AM	6	6	12	6	6	12	3	4	7	12	9	21	9	7	16	19	18	37	22	23	45	7	6	7	6	11	10
3:00 AM	9	22	31	11	26	37	9	20	29	16	22	38	15	29	44	4	11	15	11	23	34	12	23	12	24	11	22
4:00 AM	21	39	60	21	47	68	14	38	52	26	27	53	37	53	90	12	21	33	13	23	36	20	37	24	41	21	35
5:00 AM	56	132	188	65	197	262	71	152	223	77	150	227	103	222	325	20	21	41	41	89	130	71	166	74	171	62	138
6:00 AM	232	377	609	228	399	627	248	339	587	319	336	655	290	305	595	61	102	163	109	128	237	265	358	263	351	212	284
7:00 AM	338	536	874	318	521	839	358	473	831	330	575	905	400	417	817	108	177	285	106	214	320	335	523	349	504	280	416
8:00 AM	321	480	801	396	473	869	375	499	874	432	514	946	391	441	832	194	258	452	204	229	433	401	495	383	481	330	413
9:00 AM	439	463	902	393	451	844	416	477	893	558	597	1155	410	305	715	264	270	534	224	293	517	456	508	443	459	386	408
10:00 AM	478	529	1007	530	525	1055	479	508	987	687	538	1225	0	0	0	364	356	720	375	356	731	565	524	435	420	416	402
11:00 AM	587	527	1114	622	548	1170	649	533	1182	638	585	1223	0	0	0	442	402	844	383	407	790	636	555	499	439	474	429
12:00 PM	617	530	1147	633	524	1157	625	495	1120	571	554	1125	296	257	553	516	431	947	444	357	801	610	524	548	472	529	450
1:00 PM	658	464	1122	564	527	1091	547	514	1061	606	665	1271	569	493	1062	524	451	975	393	396	789	572	569	589	533	552	501
2:00 PM	519	471	990	602	534	1136	535	510	1045	609	471	1080	509	580	1089	438	452	890	328	367	695	582	505	555	513	506	484
3:00 PM	478	414	892	615	503	1118	591	410	1001	616	487	1103	375	521	896	476	487	963	346	367	713	607	467	535	467	500	456
4:00 PM	489	395	884	461	390	851	547	385	932	571	480	1051	357	529	886	397	454	851	347	359	706	526	418	485	436	453	427
5:00 PM	393	298	691	457	407	864	454	341	795	479	463	942	570	463	1033	374	521	895	326	305	631	463	404	471	394	436	400
6:00 PM	231	261	492	331	324	655	327	307	634	385	380	765	473	386	859	456	380	836	251	272	523	348	337	349	332	351	330
7:00 PM	206	211	417	254	261	515	243	212	455	341	309	650	323	252	575	307	278	585	209	193	402	279	261	273	249	269	245
8:00 PM	182	202	384	207	213	420	181	188	369	265	269	534	220	239	459	243	239	482	179	190	369	218	223	211	222	211	220
9:00 PM	84	85	169	126	132	258	128	131	259	203	218	421	206	270	476	197	221	418	80	99	179	152	160	149	167	146	165
10:00 PM	51	49	100	49	69	118	53	40	93	118	102	220	177	186	363	176	206	382	32	51	83	73	70	90	89	94	100
11:00 PM	15	21	36	22	29	51	21	29	50	31	60	91	129	112	241	131	147	278	13	26	39	25	39	44	50	52	61
6:00 AM - 9:00 AM	891	1393	2284	942	1393	2335	981	1311	2292	1081	1425	2506	1081	1163	2244	363	537	900	419	571	990	1001	1376	995	1337	823	1113
3:00 PM - 6:00 PM	1360	1107	2467	1533	1300	2833	1592	1136	2728	1666	1430	3096	1302	1513	2815	1247	1462	2709	1019	1031	2050	1597	1289	1491	1297	1388	1283
6:00 AM - 7:00 PM	5780	5745	11525	6150	6126	12276	6151	5791	11942	6801	6645	13446	4640	4697	9337	4614	4741	9355	3836	4050	7886	6367	6187	5904	5801	5425	5399
12:00 AM - 12:00 AM	6423	6531	12954	6925	7127	14052	6888	6620	13508	7908	7829	15737	5882	6092	11974	5801	6035	11836	4559	4924	9483	7240	7192	6805	6840	6341	6451
Percent	49.6%	50.4%	100.0%	49.3%	50.7%	100.0%	51.0%	49.0%	100.0%	50.3%	49.7%	100.0%	49.1%	50.9%	100.0%	49.0%	51.0%	100.0%	48.1%	51.9%	100.0%	50.2%	49.8%	49.9%	50.1%	49.6%	50.4%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		8:00 AM	9:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	12:00 PM	1:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		1:00 PM	2:00 PM		2:00 PM	3:00 PM		1:00 PM	2:00 PM		12:00 PM	1:00 PM							

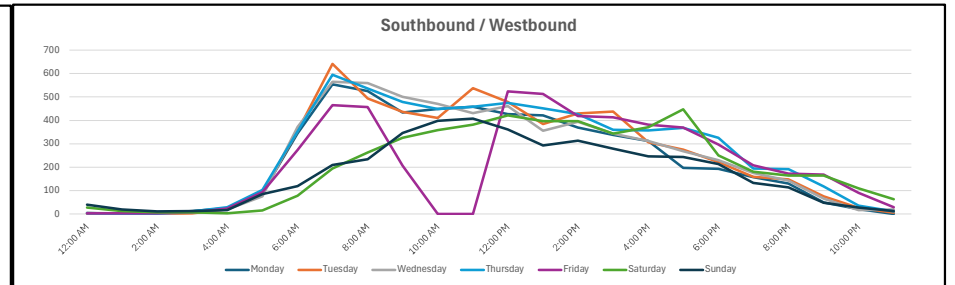
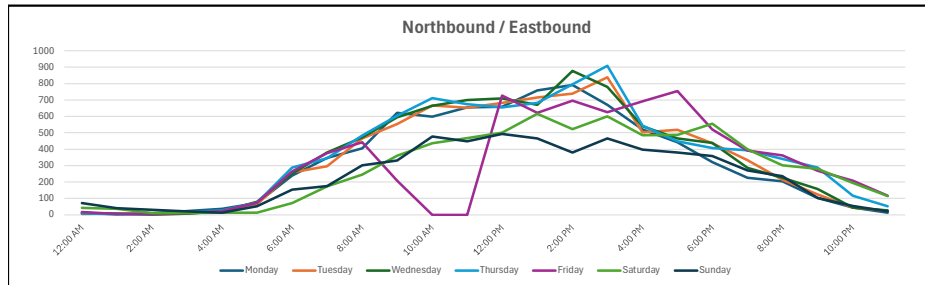


Vehicle Volume Report - Hourly



Site Description: N County Road North of Royal Poinciana Way
 Site Number: 11
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	13	4	17	6	2	8	8	5	13	10	3	13	18	3	21	43	27	70	71	40	111	8	3	11	3	24	12
1:00 AM	4	1	5	7	2	9	7	3	10	3	2	5	5	3	8	37	12	49	40	20	60	6	2	5	2	15	6
2:00 AM	8	3	11	4	1	5	2	0	2	5	2	7	6	3	9	12	8	20	30	11	41	4	1	5	2	10	4
3:00 AM	22	12	34	7	3	10	7	7	14	14	11	25	12	8	20	12	7	19	20	12	32	9	7	12	8	13	9
4:00 AM	38	25	63	23	21	44	21	19	40	27	29	56	23	24	47	13	3	16	13	16	29	24	23	26	24	23	20
5:00 AM	71	90	161	63	92	155	79	75	154	74	102	176	73	94	167	13	15	28	53	85	138	72	90	72	91	61	79
6:00 AM	240	345	585	259	355	614	251	372	623	288	352	640	265	274	539	72	79	151	154	119	273	266	360	261	340	218	271
7:00 AM	347	554	901	297	641	938	379	564	943	344	595	939	377	465	842	174	194	368	176	209	385	340	600	349	564	299	460
8:00 AM	405	525	930	467	493	960	472	559	1031	484	536	1020	443	457	900	245	263	508	302	234	536	474	529	454	514	403	438
9:00 AM	622	433	1055	554	436	990	594	500	1094	604	479	1083	209	206	415	361	326	687	332	346	678	584	472	517	411	468	389
10:00 AM	598	449	1047	667	410	1077	664	471	1135	712	449	1161	0	0	0	436	359	795	477	398	875	681	443	528	356	508	362
11:00 AM	656	458	1114	654	537	1191	700	431	1131	674	458	1132	0	0	0	468	382	850	448	408	856	676	475	537	377	514	382
12:00 PM	659	426	1085	682	479	1161	709	461	1170	655	475	1130	727	524	1251	501	421	922	494	361	855	682	472	686	473	632	450
1:00 PM	758	421	1179	716	385	1101	671	356	1027	683	451	1134	621	512	1133	616	397	1013	466	292	758	690	397	690	425	647	402
2:00 PM	791	370	1161	740	430	1170	878	393	1271	795	426	1221	695	419	1114	522	396	918	380	314	694	804	416	780	408	686	393
3:00 PM	671	338	1009	839	437	1276	779	343	1122	908	360	1268	626	413	1039	601	343	944	465	279	744	842	380	765	378	698	359
4:00 PM	520	312	832	503	306	809	540	312	852	543	357	900	692	381	1073	485	371	856	397	246	643	529	325	560	334	526	326
5:00 PM	443	197	640	518	275	793	466	269	735	449	368	817	754	369	1123	488	447	935	380	244	624	478	304	526	296	500	310
6:00 PM	321	193	514	436	222	658	439	230	669	408	325	733	520	297	817	556	250	806	358	213	571	428	259	425	253	434	247
7:00 PM	226	157	383	333	159	492	286	175	461	394	194	588	391	208	599	400	181	581	270	132	402	338	176	326	179	329	172
8:00 PM	204	130	334	214	148	362	226	143	369	341	192	533	362	173	535	301	165	466	236	114	350	260	161	269	157	269	152
9:00 PM	104	50	154	125	75	200	158	66	224	287	117	404	269	168	437	281	164	445	104	49	153	190	86	189	95	190	98
10:00 PM	45	21	66	45	26	71	44	17	61	116	36	152	208	90	298	194	110	304	54	27	81	68	26	92	38	101	47
11:00 PM	13	1	14	25	6	31	26	20	46	53	11	64	117	29	146	114	63	177	21	12	33	35	12	47	13	53	20
6:00 AM - 9:00 AM	992	1424	2416	1023	1489	2512	1102	1495	2597	1116	1483	2599	1085	1196	2281	491	536	1027	632	562	1194	1080	1489	1064	1417	920	1169
3:00 PM - 6:00 PM	1634	847	2481	1860	1018	2878	1785	924	2709	1900	1085	2985	2072	1163	3235	1574	1161	2735	1242	769	2011	1848	1009	1850	1007	1724	995
6:00 AM - 7:00 PM	7031	5021	12052	7332	5406	12738	7542	5261	12803	7547	5631	13178	5929	4317	10246	5525	4228	9753	4829	3663	8492	7474	5433	7076	5127	6534	4790
12:00 AM - 12:00 AM	7779	5515	13294	8184	5941	14125	8406	5791	14197	8871	6330	15201	7413	5120	12533	6945	4983	11928	5741	4181	9922	8487	6021	8131	5739	7620	5409
Percent	58.5%	41.5%	100.0%	57.9%	42.1%	100.0%	59.2%	40.8%	100.0%	58.4%	41.6%	100.0%	59.1%	40.9%	100.0%	58.2%	41.8%	100.0%	57.9%	42.1%	100.0%	58.5%	41.5%	58.6%	41.4%	58.5%	41.5%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		10:00 AM	11:00 AM		10:00 AM	11:00 AM		8:00 AM	9:00 AM		11:00 AM	12:00 PM		10:00 AM	11:00 AM							
PM Peak	1:00 PM	2:00 PM		3:00 PM	4:00 PM		2:00 PM	3:00 PM		3:00 PM	4:00 PM		12:00 PM	1:00 PM		1:00 PM	2:00 PM		12:00 PM	1:00 PM							

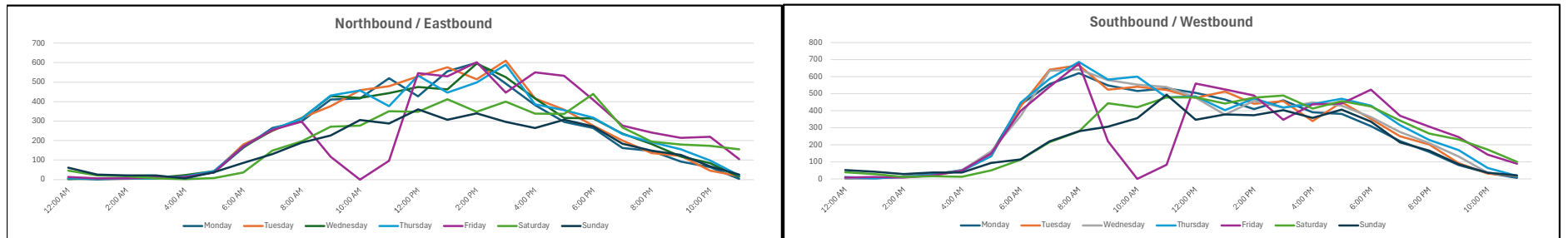


Vehicle Volume Report - Hourly



Site Description: Bradley Place North of Royal Poinciana Way
 Site Number: 12
 Start Date: 3/7/2025
 End Date: 3/14/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	6	4	10	5	8	13	3	4	7	6	11	17	13	9	22	46	39	85	62	52	114	5	8	7	7	20	18
1:00 AM	1	3	4	5	8	13	6	4	10	5	3	8	6	11	17	22	28	50	25	43	68	5	5	5	6	10	14
2:00 AM	5	15	20	4	12	16	5	14	19	5	12	17	6	9	15	17	11	28	21	29	50	5	13	5	12	9	15
3:00 AM	7	27	34	11	20	31	9	24	33	6	26	32	10	21	31	7	16	23	21	38	59	9	23	9	24	10	25
4:00 AM	20	52	72	15	47	62	23	50	73	16	47	63	13	49	62	2	13	15	6	37	43	18	48	17	49	14	42
5:00 AM	37	152	189	39	136	175	43	162	205	43	133	176	36	150	186	8	50	58	38	95	133	42	144	40	147	35	125
6:00 AM	164	436	600	180	425	605	166	369	535	170	447	617	170	398	568	36	113	149	85	114	199	172	414	170	415	139	329
7:00 AM	265	556	821	249	641	890	253	634	887	258	588	846	255	541	796	149	216	365	130	220	350	253	621	256	592	223	485
8:00 AM	299	621	920	316	667	983	314	642	956	313	686	999	298	676	974	197	278	475	189	280	469	314	665	308	658	275	550
9:00 AM	410	549	959	376	523	899	429	580	1009	431	583	1014	117	221	338	271	443	714	227	306	533	412	562	353	491	323	458
10:00 AM	417	516	933	459	541	1000	419	553	972	458	600	1058	0	0	0	276	420	696	306	356	662	445	565	351	442	334	427
11:00 AM	520	531	1051	479	522	1001	444	539	983	376	478	854	97	84	181	350	479	829	288	494	782	433	513	383	431	365	447
12:00 PM	428	505	933	530	475	1005	475	534	1009	534	484	1018	546	559	1105	348	478	826	360	347	707	513	478	503	500	460	475
1:00 PM	556	465	1021	576	513	1089	463	377	840	446	404	850	529	525	1054	412	442	854	307	378	685	495	431	514	457	470	443
2:00 PM	599	410	1009	514	441	955	595	458	1053	498	472	970	602	489	1091	348	477	825	340	373	713	536	457	562	454	499	446
3:00 PM	493	461	954	610	457	1067	525	417	942	589	419	1008	447	348	795	400	489	889	297	404	701	575	431	533	420	480	428
4:00 PM	382	390	772	417	339	756	417	448	865	386	440	826	550	437	987	339	412	751	265	358	623	407	409	430	411	394	403
5:00 PM	296	382	678	359	451	810	317	430	747	356	470	826	532	442	974	337	456	793	307	407	714	344	450	372	435	358	434
6:00 PM	265	310	575	276	351	627	314	363	677	318	430	748	409	524	933	439	425	864	273	337	610	303	381	316	396	328	391
7:00 PM	162	222	384	200	250	450	236	275	511	233	316	549	277	371	648	268	342	610	184	215	399	223	280	222	287	223	284
8:00 PM	147	158	305	136	202	338	183	209	392	192	228	420	242	307	549	195	266	461	149	166	315	170	213	180	221	178	219
9:00 PM	93	81	174	122	93	215	119	132	251	155	169	324	214	245	459	180	232	412	126	86	212	132	131	141	144	144	148
10:00 PM	64	35	99	46	31	77	84	36	120	98	64	162	219	142	361	173	172	345	68	36	104	76	44	102	62	107	74
11:00 PM	4	7	11	17	18	35	15	17	32	22	18	40	105	89	194	155	100	255	25	21	46	18	18	33	30	49	39
6:00 AM - 9:00 AM	728	1613	2341	745	1733	2478	733	1645	2378	741	1721	2462	723	1615	2338	382	607	989	404	614	1018	740	1700	734	1665	637	1364
3:00 PM - 6:00 PM	1171	1233	2404	1386	1247	2633	1259	1295	2554	1331	1329	2660	1529	1227	2756	1076	1357	2433	869	1169	2038	1325	1290	1335	1266	1232	1265
6:00 AM - 7:00 PM	5094	6132	11226	5341	6346	11687	5131	6286	11417	5133	6501	11634	4552	5244	9796	3902	5128	9030	3374	4374	7748	5202	6378	5050	6102	4647	5716
12:00 AM - 12:00 AM	5640	6888	12528	5941	7171	13112	5857	7213	13070	5914	7528	13442	5693	6647	12340	4975	6397	11372	4099	5192	9291	5904	7304	5809	7089	5446	6719
Percent	45.0%	55.0%	100.0%	45.3%	54.7%	100.0%	44.8%	55.2%	100.0%	44.0%	56.0%	100.0%	46.1%	53.9%	100.0%	43.7%	56.3%	100.0%	44.1%	55.9%	100.0%	44.7%	55.3%	45.0%	55.0%	44.8%	55.2%
AM Peak	11:00 AM	12:00 PM		11:00 AM	12:00 PM		9:00 AM	10:00 AM		10:00 AM	11:00 AM		8:00 AM	9:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	1:00 PM	2:00 PM		1:00 PM	2:00 PM		2:00 PM	3:00 PM		12:00 PM	1:00 PM		12:00 PM	1:00 PM		3:00 PM	4:00 PM		5:00 PM	6:00 PM							

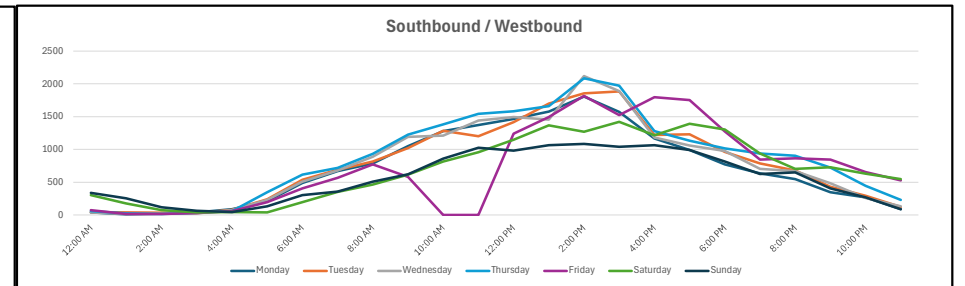
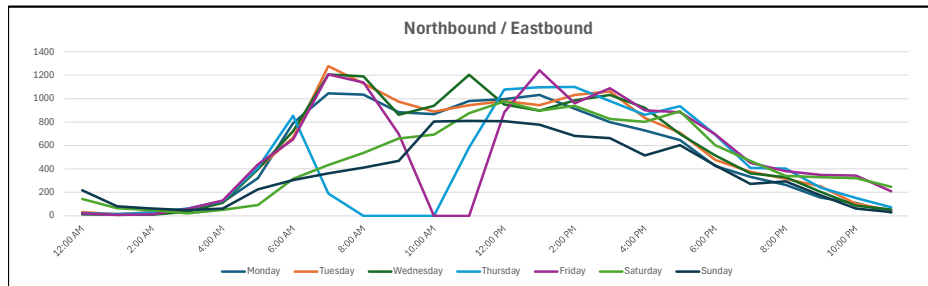


Vehicle Volume Report - Hourly



Site Description: Royal Pionciana Way East of Coconut Row
 Site Number: 13
 Start Date: 3/7/2025
 End Date: 3/14/2025

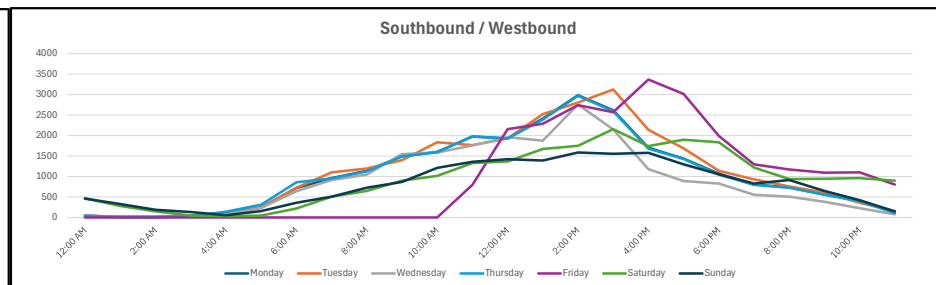
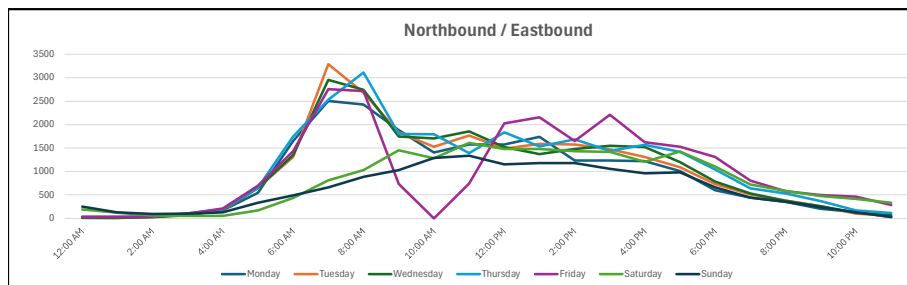
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	16	39	55	31	46	77	14	38	52	24	58	82	22	74	96	144	303	447	217	339	556	23	47	21	51	67	128
1:00 AM	10	12	22	14	40	54	16	18	34	14	26	40	8	16	24	65	178	243	80	254	334	15	28	12	22	30	78
2:00 AM	14	22	36	32	36	68	10	20	30	28	14	42	14	18	32	48	74	122	61	117	178	23	23	20	22	30	43
3:00 AM	44	38	82	52	30	82	34	28	62	62	37	99	60	33	93	22	40	62	48	62	110	49	32	50	33	46	38
4:00 AM	118	91	209	116	77	193	110	73	183	125	59	184	131	61	192	51	44	95	64	45	109	117	70	120	72	102	64
5:00 AM	323	211	534	402	239	641	399	231	630	413	349	762	440	198	638	92	41	133	227	131	358	405	273	395	246	328	200
6:00 AM	791	489	1280	668	537	1205	723	511	1234	853	617	1470	652	405	1057	317	198	515	306	306	612	748	555	737	512	616	438
7:00 AM	1045	667	1712	1278	692	1970	1206	680	1886	190	717	907	1207	566	1773	434	352	786	361	358	719	891	696	985	664	817	576
8:00 AM	1033	789	1822	1131	817	1948	1191	891	2082	0	934	934	1138	772	1910	537	463	1000	411	509	920	774	881	899	841	777	739
9:00 AM	886	1053	1939	974	1020	1994	862	1192	2054	0	1226	1226	698	580	1278	660	617	1277	468	623	1091	612	1146	684	1014	650	902
10:00 AM	867	1282	2149	890	1284	2174	940	1213	2153	0	1381	1381	0	0	0	692	815	1507	805	858	1663	610	1293	539	1032	599	976
11:00 AM	980	1374	2354	944	1201	2145	1203	1442	2645	583	1541	2124	0	0	0	877	956	1833	811	1024	1835	910	1395	742	1112	771	1077
12:00 PM	996	1467	2463	980	1414	2394	949	1495	2444	1079	1584	2663	883	1240	2123	977	1147	2124	808	982	1790	1003	1498	977	1440	953	1333
1:00 PM	1031	1578	2609	943	1699	2642	898	1455	2353	1097	1659	2756	1241	1497	2738	897	1367	2264	779	1066	1845	979	1604	1042	1578	984	1474
2:00 PM	914	1806	2720	1032	1854	2886	985	2119	3104	1100	2084	3184	960	1814	2774	938	1269	2207	683	1082	1765	1039	2019	998	1935	945	1718
3:00 PM	800	1571	2371	1062	1883	2945	1032	1892	2924	980	1972	2952	1089	1523	2612	826	1421	2247	663	1040	1703	1025	1916	993	1768	922	1615
4:00 PM	728	1167	1895	836	1221	2057	922	1184	2106	863	1278	2141	900	1797	2697	804	1218	2022	517	1062	1579	874	1228	850	1329	796	1275
5:00 PM	647	991	1638	709	1231	1940	698	1059	1757	937	1133	2070	883	1755	2638	894	1393	2287	604	990	1594	781	1141	775	1234	767	1222
6:00 PM	425	773	1198	478	965	1443	515	979	1494	692	1015	1707	696	1276	1972	604	1306	1910	431	818	1249	562	986	561	1002	549	1019
7:00 PM	332	638	970	376	785	1161	363	704	1067	410	937	1347	453	844	1297	470	940	1410	272	624	896	383	809	387	782	382	782
8:00 PM	264	547	811	317	679	996	329	668	997	404	903	1307	381	866	1247	340	704	1044	294	650	944	350	750	339	733	333	717
9:00 PM	156	347	503	250	432	682	205	486	691	240	723	963	349	845	1194	330	728	1058	175	409	584	232	547	240	567	244	567
10:00 PM	109	271	380	104	296	400	86	259	345	151	447	598	343	654	997	323	631	954	64	270	334	114	334	159	385	169	404
11:00 PM	28	88	116	47	125	172	55	132	187	73	229	302	210	530	740	247	546	793	32	90	122	58	162	83	221	99	249
6:00 AM - 9:00 AM	2869	1945	4814	3077	2046	5123	3120	2082	5202	1043	2268	3311	2997	1743	4740	1288	1013	2301	1078	1173	2251	2413	2132	2621	2017	2210	1753
3:00 PM - 6:00 PM	2175	3729	5904	2607	4335	6942	2652	4135	6787	2780	4383	7163	2872	5075	7947	2524	4032	6556	1784	3092	4876	2680	4284	2617	4331	2485	4112
6:00 AM - 7:00 PM	11143	15007	26150	11925	15818	27743	12124	16112	28236	8374	17141	25515	10347	13225	23572	9457	12522	21979	7647	10718	18365	10808	16357	10783	15461	10145	14363
12:00 AM - 12:00 AM	12557	17311	29868	13666	18603	32269	13745	18769	32514	10318	20923	31241	12758	17384	30122	11589	16751	28340	9181	13709	22890	12576	19432	12609	18594	11973	17633
Percent	42.0%	58.0%	100.0%	42.4%	57.6%	100.0%	42.3%	57.7%	100.0%	33.0%	67.0%	100.0%	42.4%	57.6%	100.0%	40.9%	59.1%	100.0%	40.1%	59.9%	100.0%	39.3%	60.7%	40.4%	59.6%	40.4%	59.6%
AM Peak	11:00 AM	12:00 PM		10:00 AM	11:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM		8:00 AM	9:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	2:00 PM	3:00 PM		3:00 PM	4:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		5:00 PM	6:00 PM		1:00 PM	2:00 PM							



Vehicle Volume Report - Hourly

Site Description: Royal Pionciana Way West of Coconut Row
 Site Number: 14
 Start Date: 3/7/2025
 End Date: 3/14/2025

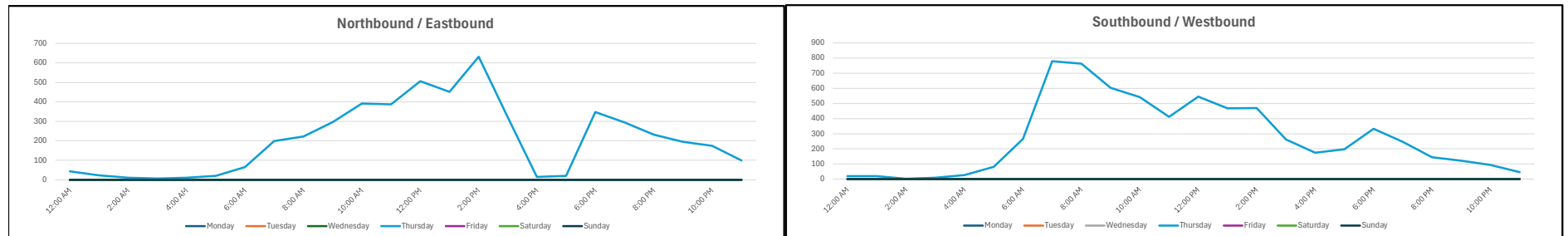
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	3/10/25			3/11/25			3/12/25			3/13/25			3/14/25			3/15/25			3/16/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	15	44	59	14	42	56	14	45	59	35	49	84	35	0	35	192	469	661	249	461	710	21	45	23	36	79	159
1:00 AM	12	18	30	4	26	30	14	22	36	30	11	41	28	0	28	124	283	407	128	327	455	16	20	18	15	49	98
2:00 AM	36	20	56	42	16	58	24	12	36	46	8	54	28	0	28	62	148	210	96	188	284	37	12	35	11	48	56
3:00 AM	83	44	127	88	38	126	67	28	95	105	30	135	97	0	97	51	52	103	98	133	231	87	32	88	28	84	46
4:00 AM	170	121	291	161	78	239	175	84	259	192	140	332	211	0	211	56	31	87	126	53	179	176	101	182	85	156	72
5:00 AM	544	246	790	653	248	901	649	233	882	655	316	971	695	0	695	169	52	221	337	163	500	652	266	639	209	529	180
6:00 AM	1648	721	2369	1309	726	2035	1350	645	1995	1746	860	2606	1432	0	1432	439	220	659	491	366	857	1468	744	1497	590	1202	505
7:00 AM	2503	959	3462	3288	1098	4386	2952	913	3865	2529	956	3485	2757	0	2757	811	513	1324	660	509	1169	2923	989	2806	785	2214	707
8:00 AM	2427	1139	3566	2685	1199	3884	2743	1047	3790	3115	1126	4241	2716	3	2719	1028	648	1676	890	728	1618	2848	1124	2737	903	2229	841
9:00 AM	1879	1493	3372	1838	1401	3239	1745	1545	3290	1799	1490	3289	737	0	737	1451	896	2347	1031	865	1896	1794	1479	1600	1186	1497	1099
10:00 AM	1407	1601	3008	1527	1833	3360	1709	1588	3297	1796	1599	3395	0	0	0	1279	1014	2293	1291	1213	2504	1677	1673	1288	1324	1287	1264
11:00 AM	1575	1979	3554	1768	1766	3534	1859	1758	3617	1394	1979	3373	741	802	1543	1610	1325	2935	1337	1360	2697	1674	1834	1467	1657	1469	1567
12:00 PM	1575	1932	3507	1487	1928	3415	1523	1958	3481	1834	1927	3761	2027	2153	4180	1484	1371	2855	1154	1423	2577	1615	1938	1689	1980	1583	1813
1:00 PM	1742	2411	4153	1590	2526	4116	1371	1875	3246	1535	2395	3930	2155	2290	4445	1479	1670	3149	1176	1394	2570	1499	2265	1679	2299	1578	2080
2:00 PM	1237	2985	4222	1573	2805	4378	1477	2759	4236	1686	2970	4656	1650	2741	4391	1431	1752	3183	1184	1587	2771	1579	2845	1525	2852	1463	2514
3:00 PM	1232	2621	3853	1471	3123	4594	1551	2146	3697	1442	2598	4040	2207	2569	4776	1420	2155	3575	1054	1556	2610	1488	2622	1581	2611	1482	2395
4:00 PM	1219	1707	2926	1305	2139	3444	1519	1178	2697	1570	1682	3252	1622	3368	4990	1208	1741	2949	960	1577	2537	1465	1666	1447	2015	1343	1913
5:00 PM	1009	1441	2450	1091	1691	2782	1202	893	2095	1418	1430	2848	1525	3014	4539	1427	1899	3326	979	1299	2278	1237	1338	1249	1694	1236	1667
6:00 PM	599	1067	1666	728	1142	1870	783	832	1615	1041	1052	2093	1305	1993	3298	1101	1838	2939	660	1056	1716	851	1009	891	1217	888	1283
7:00 PM	445	806	1251	509	931	1440	535	555	1090	642	798	1440	804	1295	2099	721	1221	1942	441	833	1274	562	761	587	877	585	920
8:00 PM	354	738	1092	377	756	1133	373	511	884	535	728	1263	576	1170	1746	587	938	1525	350	916	1266	428	665	443	781	450	822
9:00 PM	205	567	772	254	611	865	254	380	634	365	555	920	499	1094	1593	478	946	1424	240	654	894	291	515	315	641	328	687
10:00 PM	139	412	551	102	361	463	124	231	355	169	399	568	462	1106	1568	416	963	1379	127	427	554	132	330	199	502	220	557
11:00 PM	27	118	145	50	156	206	68	83	151	112	113	225	284	809	1093	332	898	1230	33	152	185	77	117	108	256	129	333
6:00 AM - 9:00 AM	6578	2819	9397	7282	3023	10305	7045	2605	9650	7390	2942	10332	6905	3	6908	2278	1381	3659	2041	1603	3644	7239	2857	7040	2278	5646	2054
3:00 PM - 6:00 PM	3460	5769	9229	3867	6953	10820	4272	4217	8489	4430	5710	10140	5354	8951	14305	4055	5795	9850	2993	4432	7425	4190	5627	4277	6320	4062	5975
6:00 AM - 7:00 PM	20052	22056	42108	21660	23377	45037	21784	19137	40921	22905	22064	44969	20874	18933	39807	16168	17042	33210	12867	14933	27800	22116	21526	21455	21113	19473	19649
12:00 AM - 12:00 AM	22082	25190	47272	23914	26640	50554	24081	21321	45402	25791	25211	51002	24593	24407	49000	19356	23043	42399	15092	19240	34332	24595	24391	24092	24554	22130	23579
Percent	46.7%	53.3%	100.0%	47.3%	52.7%	100.0%	53.0%	47.0%	100.0%	50.6%	49.4%	100.0%	50.2%	49.8%	100.0%	45.7%	54.3%	100.0%	44.0%	56.0%	100.0%	50.2%	49.8%	49.5%	50.5%	48.4%	51.6%
AM Peak	8:00 AM	9:00 AM		7:00 AM	8:00 AM		7:00 AM	8:00 AM		8:00 AM	9:00 AM		7:00 AM	8:00 AM		11:00 AM	12:00 PM		11:00 AM	12:00 PM							
PM Peak	2:00 PM	3:00 PM		3:00 PM	4:00 PM		2:00 PM	3:00 PM		2:00 PM	3:00 PM		4:00 PM	5:00 PM		3:00 PM	4:00 PM		2:00 PM	3:00 PM							



Vehicle Volume Report - Hourly

Site Description: Southern Blvd West of SR A1A(Oceans Blvd)
 Site Number: 1
 Start Date: 4/10/2025
 End Date: 4/10/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	-	-	-	-	-	-	-	-	-	43	20	63	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	23	20	43	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	10	3	13	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	6	10	16	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	10	26	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	20	82	102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	65	266	331	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	199	778	977	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	222	762	984	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	296	603	899	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	392	542	934	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	388	411	799	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	506	546	1052	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	451	468	919	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	632	469	1101	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	319	262	581	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	14	174	188	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	20	196	216	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	348	333	681	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	295	246	541	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	231	145	376	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	195	122	317	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	174	94	268	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	99	46	145	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	486	1806	2292	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	353	632	985	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	3852	5810	9662	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	4958	6624	11582	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	42.8%	57.2%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	8:00 AM	9:00 AM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	2:00 PM	3:00 PM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Vehicle Volume Report - Hourly

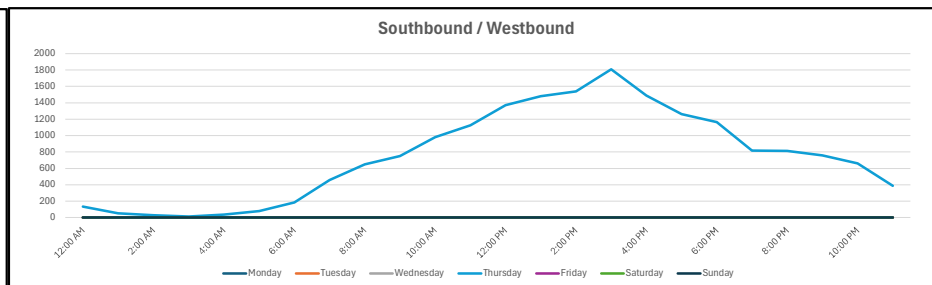
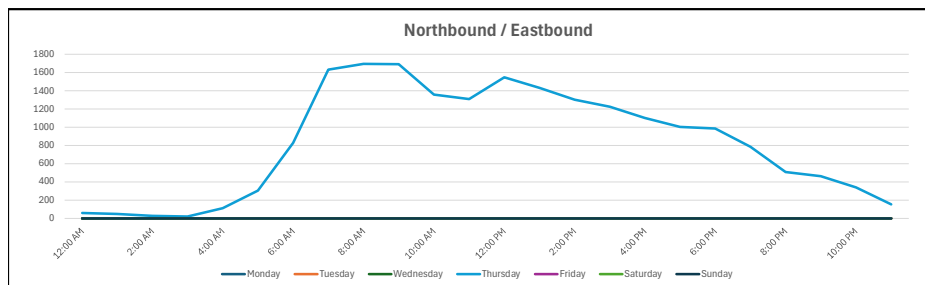
Site Description: Royal Palm Way West of Hibiscus Avenue

Site Number: 7

Start Date: 4/10/2025

End Date: 4/10/2025

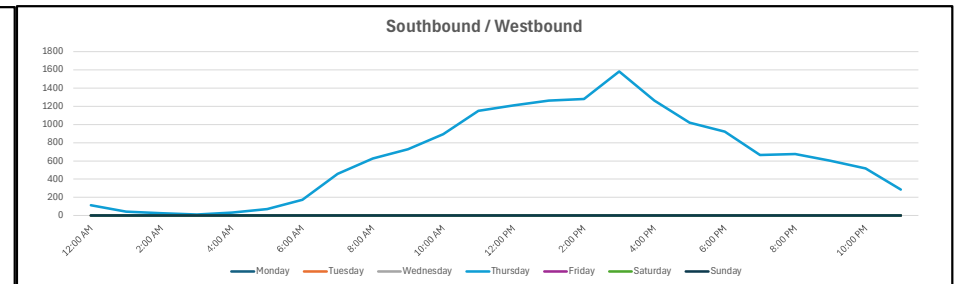
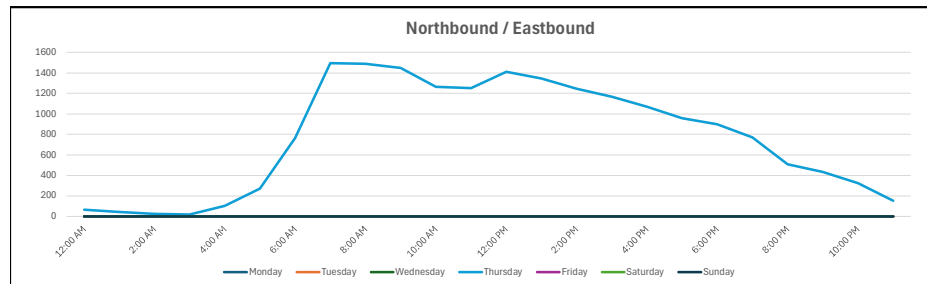
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	-	-	-	-	-	-	-	-	-	60	134	194	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	48	54	102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	26	28	54	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	20	12	32	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	111	34	145	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	304	77	381	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	829	184	1013	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	1632	457	2089	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	1697	649	2346	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	1692	751	2443	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	1360	982	2342	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	1310	1123	2433	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	1550	1373	2923	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	1434	1482	2916	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	1303	1541	2844	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	1226	1810	3036	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	1102	1488	2590	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	1004	1261	2265	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	985	1162	2147	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	786	817	1603	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	510	813	1323	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	461	759	1220	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	340	659	999	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	154	387	541	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	4158	1290	5448	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	3332	4559	7891	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	17124	14263	31387	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	19944	18037	37981	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	52.5%	47.5%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	9:00 AM	10:00 AM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	3:00 PM	4:00 PM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Vehicle Volume Report - Hourly

Site Description: Royal Palm Way East of Hibiscus Avenue
 Site Number: 8
 Start Date: 4/10/2025
 End Date: 4/10/2025

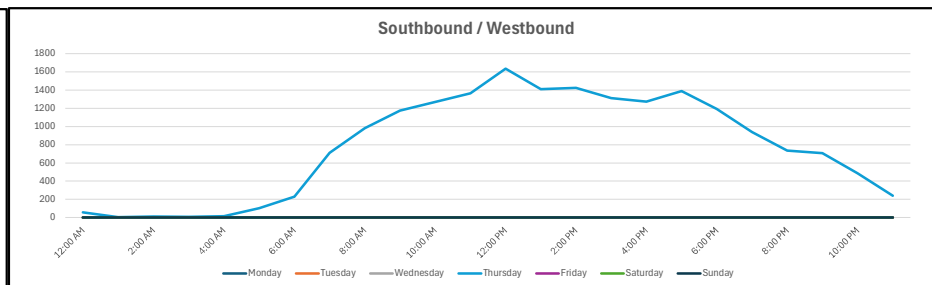
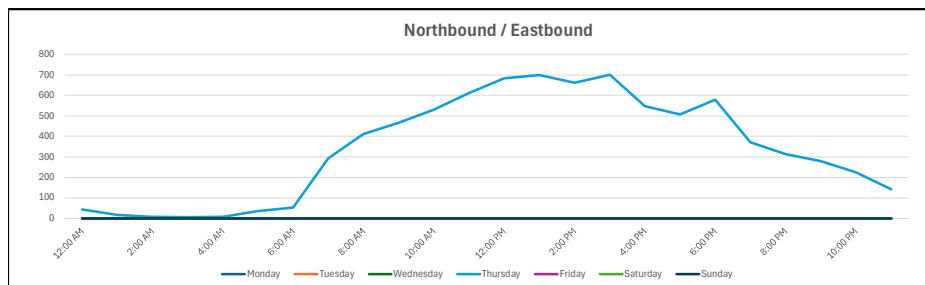
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	-	-	-	-	-	-	-	-	-	66	115	181	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	42	43	85	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	24	26	50	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	18	10	28	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	103	32	135	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	272	73	345	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	764	171	935	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	1495	457	1952	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	1487	624	2111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	1449	728	2177	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	1264	892	2156	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	1250	1148	2398	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	1411	1209	2620	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	1346	1263	2609	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	1245	1278	2523	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	1167	1582	2749	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	1071	1263	2334	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	957	1018	1975	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	900	922	1822	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	771	663	1434	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	509	674	1183	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	434	603	1037	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	324	517	841	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	153	286	439	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	3746	1252	4998	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	3195	3863	7058	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	15806	12555	28361	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	18522	15597	34119	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	54.3%	45.7%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	11:00 AM	12:00 PM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	3:00 PM	4:00 PM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Vehicle Volume Report - Hourly

Site Description: S County Road North of Peruvian Avenue
 Site Number: 9
 Start Date: 4/10/2025
 End Date: 4/10/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	Total	NB	SB	NB	SB	NB	SB
12:00 AM	-	-	-	-	-	-	-	-	-	44	56	100	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	16	6	22	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	8	12	20	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	6	8	14	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	8	14	22	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	36	102	138	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	52	229	281	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	293	710	1003	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	411	982	1393	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	466	1173	1639	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	531	1270	1801	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	612	1365	1977	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	683	1634	2317	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	698	1410	2108	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	662	1426	2088	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	701	1313	2014	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	548	1272	1820	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	507	1388	1895	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	578	1194	1772	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	371	939	1310	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	313	735	1048	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	279	707	986	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	225	485	710	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	142	238	380	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	756	1921	2677	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	1756	3973	5729	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	6742	15366	22108	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	8190	18668	26858	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	30.5%	69.5%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	11:00 AM	12:00 PM		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	12:00 PM	1:00 PM		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-

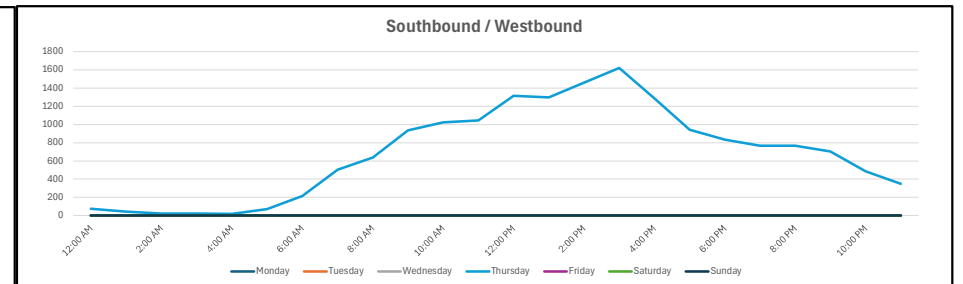
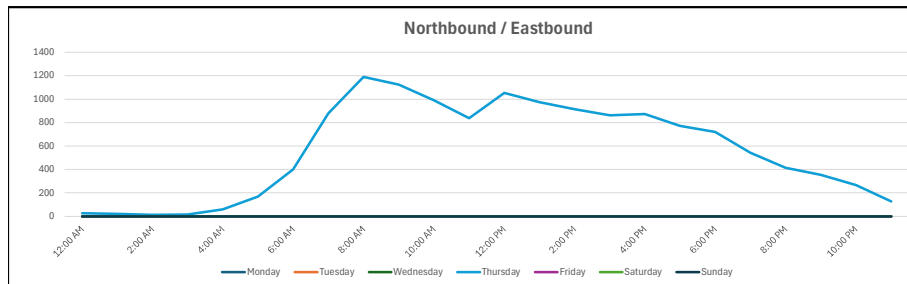


Vehicle Volume Report - Hourly



Site Description: Royal Poinciana Way East of Coconut Row
 Site Number: 13
 Start Date: 4/10/2025
 End Date: 4/10/2025

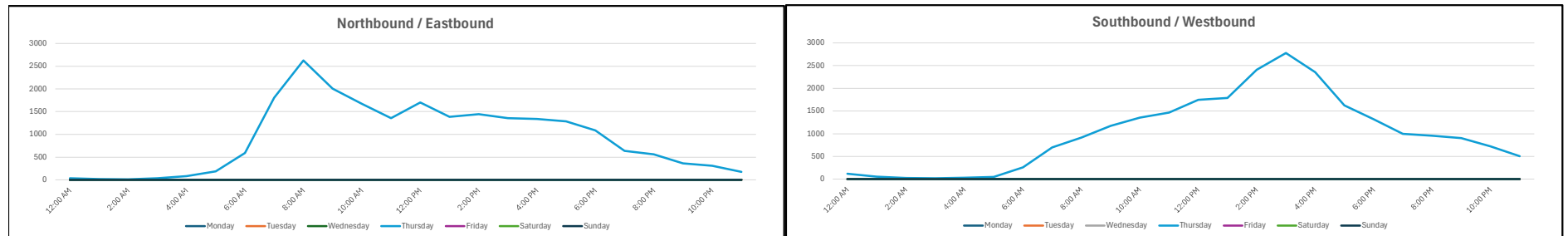
Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	-	-	-	-	-	-	-	-	-	27	75	102	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	20	44	64	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	14	22	36	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	16	22	38	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	59	20	79	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	169	73	242	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	401	216	617	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	880	502	1382	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	1191	635	1826	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	1126	937	2063	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	990	1024	2014	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	839	1044	1883	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	1052	1314	2366	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	974	1298	2272	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	914	1460	2374	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	863	1619	2482	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	874	1288	2162	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	772	943	1715	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	721	835	1556	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	543	768	1311	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	415	767	1182	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	354	705	1059	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	268	487	755	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	128	348	476	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	2472	1353	3825	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	2509	3850	6359	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	11597	13115	24712	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	13610	16446	30056	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	45.3%	54.7%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	9:00 AM	10:00 AM		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	3:00 PM	4:00 PM		-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



Vehicle Volume Report - Hourly

Site Description: Royal Poinciana Way West of Coconut Row
 Site Number: 14
 Start Date: 4/10/2025
 End Date: 4/10/2025

Time	Monday			Tuesday			Wednesday			Thursday			Friday			Saturday			Sunday			3 Day Avg		5 Day Avg		7 Day Avg	
	4/7/25			4/8/25			4/9/25			4/10/25			4/11/25			4/12/25			4/13/25			Tue-Thu		Mon-Fri		Mon-Sun	
	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	Total	EB	WB	EB	WB	EB	WB
12:00 AM	-	-	-	-	-	-	-	-	-	32	116	148	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 AM	-	-	-	-	-	-	-	-	-	18	56	74	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 AM	-	-	-	-	-	-	-	-	-	12	23	35	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 AM	-	-	-	-	-	-	-	-	-	36	20	56	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 AM	-	-	-	-	-	-	-	-	-	83	28	111	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 AM	-	-	-	-	-	-	-	-	-	187	49	236	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM	-	-	-	-	-	-	-	-	-	593	258	851	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 AM	-	-	-	-	-	-	-	-	-	1810	702	2512	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 AM	-	-	-	-	-	-	-	-	-	2626	917	3543	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 AM	-	-	-	-	-	-	-	-	-	2007	1174	3181	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 AM	-	-	-	-	-	-	-	-	-	1670	1354	3024	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 AM	-	-	-	-	-	-	-	-	-	1360	1464	2824	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 PM	-	-	-	-	-	-	-	-	-	1698	1744	3442	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
1:00 PM	-	-	-	-	-	-	-	-	-	1388	1785	3173	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
2:00 PM	-	-	-	-	-	-	-	-	-	1445	2406	3851	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM	-	-	-	-	-	-	-	-	-	1355	2779	4134	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4:00 PM	-	-	-	-	-	-	-	-	-	1338	2355	3693	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
5:00 PM	-	-	-	-	-	-	-	-	-	1287	1620	2907	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 PM	-	-	-	-	-	-	-	-	-	1090	1317	2407	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7:00 PM	-	-	-	-	-	-	-	-	-	636	999	1635	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
8:00 PM	-	-	-	-	-	-	-	-	-	557	958	1515	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
9:00 PM	-	-	-	-	-	-	-	-	-	361	901	1262	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
10:00 PM	-	-	-	-	-	-	-	-	-	312	722	1034	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
11:00 PM	-	-	-	-	-	-	-	-	-	178	507	685	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 9:00 AM	-	-	-	-	-	-	-	-	-	5029	1877	6906	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
3:00 PM - 6:00 PM	-	-	-	-	-	-	-	-	-	3980	6754	10734	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
6:00 AM - 7:00 PM	-	-	-	-	-	-	-	-	-	19667	19875	39542	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
12:00 AM - 12:00 AM	-	-	-	-	-	-	-	-	-	22079	24254	46333	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
Percent	-	-	-	-	-	-	-	-	-	47.7%	52.3%	100.0%	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
AM Peak	-	-	-	-	-	-	-	-	-	8:00 AM	9:00 AM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
PM Peak	-	-	-	-	-	-	-	-	-	3:00 PM	4:00 PM	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-



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Site Code: 1
Station ID: 1
JIMMY BUFFETT MEM HWY EAST OF BRIDGE

Start Time	23-Jan-25 Thu	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		30	444			72	481				
12:15		16	482			51	516				
12:30		11	437			43	500				
12:45		4	518	61	1881	28	492	194	1989	255	3870
01:00		4	368			14	491				
01:15		2	384			18	545				
01:30		0	353			16	579				
01:45		11	384	17	1489	11	590	59	2205	76	3694
02:00		6	481			2	599				
02:15		2	370			8	614				
02:30		2	416			4	860				
02:45		4	449	14	1716	2	842	16	2915	30	4631
03:00		0	365			13	934				
03:15		6	438			2	676				
03:30		4	388			13	1004				
03:45		28	372	38	1563	2	635	30	3249	68	4812
04:00		8	393			6	1032				
04:15		15	343			5	737				
04:30		19	330			4	1135				
04:45		37	406	79	1472	6	1128	21	4032	100	5504
05:00		46	404			2	1202				
05:15		40	331			18	593				
05:30		47	374			25	995				
05:45		60	286	193	1395	35	549	80	3339	273	4734
06:00		73	294			36	537				
06:15		131	269			32	461				
06:30		147	272			40	355				
06:45		316	285	667	1120	103	333	211	1686	878	2806
07:00		306	182			129	430				
07:15		404	194			154	365				
07:30		551	170			209	230				
07:45		704	151	1965	697	261	215	753	1240	2718	1937
08:00		589	146			284	255				
08:15		658	119			197	250				
08:30		1011	114			385	208				
08:45		1018	91	3276	470	266	260	1132	973	4408	1443
09:00		604	114			320	229				
09:15		676	111			300	235				
09:30		587	76			363	232				
09:45		638	70	2505	371	405	185	1388	881	3893	1252
10:00		615	110			388	260				
10:15		579	93			395	246				
10:30		472	61			426	159				
10:45		452	49	2118	313	419	154	1628	819	3746	1132
11:00		344	49			413	166				
11:15		456	38			419	123				
11:30		422	32			479	157				
11:45		474	70	1696	189	449	105	1760	551	3456	740
Total		12629	12676			7272	23879			19901	36555
Percent		49.9%	50.1%			23.3%	76.7%			35.3%	64.7%

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Site Code: 1
Station ID: 1
JIMMY BUFFETT MEM HWY EAST OF BRIDGE

Start Time	24-Jan-25 Fri	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		50	407			88	434				
12:15		38	671			93	596				
12:30		19	510			74	567				
12:45		15	8	122	1596	49	108	304	1705	426	3301
01:00		38	669			51	812				
01:15		23	409			87	487				
01:30		15	378			28	566				
01:45		4	464	80	1920	21	582	187	2447	267	4367
02:00		6	354			17	707				
02:15		2	417			19	642				
02:30		0	396			4	764				
02:45		2	316	10	1483	11	599	51	2712	61	4195
03:00		4	561			2	955				
03:15		6	465			6	917				
03:30		6	384			4	1002				
03:45		11	447	27	1857	2	922	14	3796	41	5653
04:00		4	444			6	1045				
04:15		17	337			14	640				
04:30		28	355			12	959				
04:45		36	425	85	1561	16	573	48	3217	133	4778
05:00		35	346			12	678				
05:15		38	344			11	498				
05:30		72	414			31	616				
05:45		65	331	210	1435	33	478	87	2270	297	3705
06:00		106	354			30	477				
06:15		119	305			38	469				
06:30		194	319			81	388				
06:45		251	251	670	1229	106	388	255	1722	925	2951
07:00		241	207			149	359				
07:15		454	217			136	282				
07:30		605	163			262	261				
07:45		849	195	2149	782	232	244	779	1146	2928	1928
08:00		586	165			242	263				
08:15		611	159			214	262				
08:30		518	95			202	272				
08:45		986	129	2701	548	310	222	968	1019	3669	1567
09:00		994	137			302	286				
09:15		383	90			301	240				
09:30		973	110			369	286				
09:45		659	117	3009	454	421	250	1393	1062	4402	1516
10:00		562	102			436	188				
10:15		500	121			410	280				
10:30		483	98			456	207				
10:45		450	93	1995	414	435	237	1737	912	3732	1326
11:00		420	78			416	261				
11:15		489	57			464	237				
11:30		377	57			508	195				
11:45		232	53	1518	245	363	128	1751	821	3269	1066
Total		12576	13524			7574	22829			20150	36353
Percent		48.2%	51.8%			24.9%	75.1%			35.7%	64.3%

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Site Code: 2
Station ID: 2
ROYAL PALMS WAY EAST OF BRIDGE

Start Time	23-Jan-25 Thu	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		25	226			68	266				
12:15		17	281			51	231				
12:30		12	267			45	219				
12:45		4	274	58	1048	28	232	192	948	250	1996
01:00		4	279			15	245				
01:15		2	297			19	288				
01:30		0	282			17	257				
01:45		10	280	16	1138	10	312	61	1102	77	2240
02:00		6	237			2	306				
02:15		2	249			8	298				
02:30		2	206			4	268				
02:45		4	231	14	923	1	345	15	1217	29	2140
03:00		0	233			14	467				
03:15		6	183			2	414				
03:30		4	197			14	291				
03:45		7	247	17	860	4	474	34	1646	51	2506
04:00		8	214			6	495				
04:15		16	171			5	463				
04:30		20	163			4	467				
04:45		39	103	83	651	6	316	21	1741	104	2392
05:00		47	198			2	339				
05:15		42	153			19	415				
05:30		48	148			26	296				
05:45		63	113	200	612	37	163	84	1213	284	1825
06:00		76	117			38	160				
06:15		136	107			33	138				
06:30		153	108			42	106				
06:45		329	113	694	445	107	99	220	503	914	948
07:00		318	72			134	128				
07:15		420	77			160	108				
07:30		423	67			177	68				
07:45		451	60	1612	276	190	64	661	368	2273	644
08:00		409	58			184	76				
08:15		461	47			119	75				
08:30		450	45			167	62				
08:45		315	36	1635	186	138	78	608	291	2243	477
09:00		333	45			141	68				
09:15		458	44			145	70				
09:30		412	30			167	69				
09:45		382	27	1585	146	189	56	642	263	2227	409
10:00		248	44			203	78				
10:15		308	37			195	73				
10:30		311	24			213	47				
10:45		295	19	1162	124	163	46	774	244	1936	368
11:00		280	19			214	49				
11:15		244	15			247	37				
11:30		303	13			239	46				
11:45		267	27	1094	74	270	31	970	163	2064	237
Total		8170	6483			4282	9699			12452	16182
Percent		55.8%	44.2%			30.6%	69.4%			43.5%	56.5%

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Site Code: 2
Station ID: 2
ROYAL PALMS WAY EAST OF BRIDGE

Start Time	24-Jan-25 Fri	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		23	249			64	292				
12:15		19	310			60	254				
12:30		13	293			47	241				
12:45		4	301	59	1153	38	255	209	1042	268	2195
01:00		6	308			27	269				
01:15		1	327			22	316				
01:30		3	311			15	283				
01:45		9	309	19	1255	13	343	77	1211	96	2466
02:00		7	261			4	336				
02:15		4	274			9	328				
02:30		7	227			8	295				
02:45		2	254	20	1016	3	380	24	1339	44	2355
03:00		2	256			10	514				
03:15		7	201			2	455				
03:30		4	217			15	320				
03:45		18	272	31	946	4	521	31	1810	62	2756
04:00		23	235			9	544				
04:15		14	188			7	509				
04:30		24	180			7	514				
04:45		43	113	104	716	9	348	32	1915	136	2631
05:00		52	218			12	373				
05:15		46	169			21	457				
05:30		54	163			29	325				
05:45		69	125	221	675	41	180	103	1335	324	2010
06:00		83	128			42	175				
06:15		150	118			36	151				
06:30		169	119			46	117				
06:45		361	125	763	490	118	108	242	551	1005	1041
07:00		350	80			148	141				
07:15		462	84			175	119				
07:30		465	73			195	76				
07:45		497	66	1774	303	209	70	727	406	2501	709
08:00		450	64			203	83				
08:15		507	52			130	82				
08:30		496	49			184	68				
08:45		346	39	1799	204	151	85	668	318	2467	522
09:00		366	49			154	76				
09:15		504	48			160	78				
09:30		453	34			184	77				
09:45		420	30	1743	161	208	61	706	292	2449	453
10:00		273	48			223	85				
10:15		338	41			215	81				
10:30		342	26			234	52				
10:45		324	21	1277	136	180	50	852	268	2129	404
11:00		309	21			235	55				
11:15		268	24			272	48				
11:30		334	20			264	50				
11:45		293	30	1204	95	297	51	1068	204	2272	299
Total		9014	7150			4739	10691			13753	17841
Percent		55.8%	44.2%			30.7%	69.3%			43.5%	56.5%

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Site Code: 3
Station ID: 3
SOUTHERN BLVD EAST OF BRIDGE

Start Time	23-Jan-25 Thu	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		7	84			2	106				
12:15		15	79			7	108				
12:30		2	119			10	128				
12:45		5	102	29	384	3	101	22	443	51	827
01:00		3	115			8	75				
01:15		7	72			6	42				
01:30		5	100			9	135				
01:45		0	92	15	379	0	98	23	350	38	729
02:00		6	86			2	112				
02:15		3	108			0	119				
02:30		2	90			3	110				
02:45		7	102	18	386	1	119	6	460	24	846
03:00		2	106			0	125				
03:15		2	108			3	111				
03:30		3	88			7	89				
03:45		3	100	10	402	5	87	15	412	25	814
04:00		6	81			3	86				
04:15		9	8			6	9				
04:30		10	167			8	97				
04:45		18	109	43	365	5	130	22	322	65	687
05:00		12	98			7	123				
05:15		15	73			9	114				
05:30		24	77			8	109				
05:45		29	79	80	327	9	91	33	437	113	764
06:00		38	104			7	90				
06:15		36	57			16	101				
06:30		46	69			26	72				
06:45		35	50	155	280	33	65	82	328	237	608
07:00		40	38			60	66				
07:15		45	43			70	61				
07:30		52	36			68	52				
07:45		62	22	199	139	91	54	289	233	488	372
08:00		58	30			93	40				
08:15		81	13			100	42				
08:30		57	10			82	50				
08:45		66	13	262	66	103	45	378	177	640	243
09:00		48	17			70	48				
09:15		89	15			79	47				
09:30		87	13			67	55				
09:45		64	14	288	59	71	41	287	191	575	250
10:00		85	9			59	28				
10:15		66	9			97	33				
10:30		81	10			70	22				
10:45		81	6	313	34	82	19	308	102	621	136
11:00		87	7			77	14				
11:15		98	2			88	15				
11:30		82	7			96	13				
11:45		102	8	369	24	92	7	353	49	722	73
Total		1781	2845			1818	3504			3599	6349
Percent		38.5%	61.5%			34.2%	65.8%			36.2%	63.8%

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Site Code: 3
Station ID: 3
SOUTHERN BLVD EAST OF BRIDGE

Start Time	24-Jan-25 Fri	EB		Hour Totals		WB		Hour Totals		Combined Totals	
		Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon	Morning	Afternoon
12:00		6	87			2	112				
12:15		13	96			6	94				
12:30		2	92			9	96				
12:45		4	70	25	345	3	112	20	414	45	759
01:00		3	90			7	105				
01:15		6	93			5	110				
01:30		4	82			8	90				
01:45		0	127	13	392	0	122	20	427	33	819
02:00		5	138			2	88				
02:15		3	96			0	92				
02:30		2	117			3	117				
02:45		6	139	16	490	1	119	6	416	22	906
03:00		0	104			0	118				
03:15		2	36			3	83				
03:30		3	157			6	123				
03:45		3	81	8	378	4	122	13	446	21	824
04:00		5	109			3	115				
04:15		8	93			5	113				
04:30		9	103			7	113				
04:45		16	105	38	410	4	132	19	473	57	883
05:00		10	94			6	127				
05:15		13	85			8	102				
05:30		21	98			7	102				
05:45		25	92	69	369	8	86	29	417	98	786
06:00		33	104			6	100				
06:15		31	84			14	75				
06:30		40	72			23	89				
06:45		22	63	126	323	28	112	71	376	197	699
07:00		38	62			60	85				
07:15		52	58			73	75				
07:30		58	52			78	65				
07:45		67	45	215	217	64	62	275	287	490	504
08:00		57	35			102	58				
08:15		79	30			80	59				
08:30		65	31			62	51				
08:45		55	38	256	134	84	43	328	211	584	345
09:00		58	28			46	51				
09:15		61	34			84	49				
09:30		73	58			70	58				
09:45		59	28	251	148	82	56	282	214	533	362
10:00		70	19			86	25				
10:15		73	13			52	29				
10:30		92	10			84	20				
10:45		81	5	316	47	93	17	315	91	631	138
11:00		72	6			76	19				
11:15		78	4			105	14				
11:30		84	6			136	12				
11:45		99	7	333	23	120	7	437	52	770	75
Total		1666	3276			1815	3824			3481	7100
Percent		33.7%	66.3%			32.2%	67.8%			32.9%	67.1%

TABLE 5
EXISTING 2025 DAILY AM PEAK HOUR PEAK SEASON COUNTS
LEVEL OF SERVICE (LOS)
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	2025 Peak Hour Volume	Roadway Class	LOS C		LOS D		LOS E		Existing Peak Hour LOS
					Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	
1	Southern Blvd	2L ART	844	II	660	1.28	1,330	0.63	1,410	1	D
	(West of SR-A1A)	Undivided									
2	SR A1A	2L ART	N/A	II	660	N/A	1,330	N/A	1,410	N/A	N/A
	(North of Via Del Lago)	Undivided									
3	SR A1A	2L COLL	885	II	660	1.34	1,330	0.67	1,410	0.63	D
	(South of Via Pelicano)	Undivided									
4	Ocean Boulevard	2L COLL	734	II	594	1.24	1,197	0.61	1,269	0.58	D
	(North of El Vedado Road)	Undivided									
5	South County Road	4L ART	2,825	II	983	2.87	2,190	1.29	2,280	1.24	F
	(North of Peruvian)	Undivided									
6	North County Road	4L ART	1,193	II	983	1.21	2,190	0.54	2,280	0.52	D
	(North of Breakers Row)	Undivided									
7	North County Road	4L ART	1,195	II	983	1.22	2,190	0.55	2,280	0.52	D
	(North of Royal Poinciana Way)	Undivided									
8	Cocoanut Row	2L COLL	789	II	594	1.33	1,197	0.66	1,269	0.62	D
	(South of Seabreeze Avenue)	Undivided									
9	Cocoanut Row	2L COLL	772	II	594	1.30	1,197	0.65	1,269	0.61	D
	(North of Whitehall Way)	Undivided									
10	Bradley Place	2L COLL	1,058	II	594	1.78	1,197	0.88	1,269	0.83	D
	(North of Royal Poinciana Way)	Undivided									
11	Royal Palm Way	4L ART	3,037	II	1,310	2.32	2,920	1.04	3,040	1.00	E
	(East of Hibiscus Avenue)	Divided									
12	Royal Palm Way	4L ART	3,139	II	1,310	2.40	2,920	1.08	3,040	1.03	F
	(West of Hibiscus Avenue)	Divided									
13	Royal Poinciana Way	4L ART	4,212	II	1,310	3.22	2,920	1.44	3,040	1.39	F
	(West of Cocoanut Row)	Divided									
14	Royal Poinciana Way	4L ART	2,325	II	1,310	1.78	2,920	0.80	3,040	0.76	D
	(East of Cocoanut Row)	Divided									

NOTES:

Roadway class and level of service volumes are based on the Florida Department of Transportation's 2020 Quality/Level of Service Handbook.

TABLE 6
EXISTING 2025 PM PEAK HOUR PEAK SEASON COUNTS
LEVEL OF SERVICE (LOS)
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	2025 Peak Hour Volume	Roadway Class	LOS C		LOS D		LOS E		Existing Peak Hour LOS
					Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	Peak Hour Capacity	v/c ratio	
1	Southern Blvd	2L ART	973	II	660	1.47	1,330	0.73	1,410	0.69	D
	(West of SR-A1A)	Undivided									
2	SR A1A	2L ART	N/A	II	660	N/A	1,330	N/A	1,410	N/A	N/A
	(North of Via Del Lago)	Undivided									
3	SR A1A	2L COLL	1,039	II	660	1.57	1,330	0.78	1,410	0.74	D
	(South of Via Pelicano)	Undivided									
4	Ocean Boulevard	2L COLL	832	II	594	1.40	1,197	0.70	1,269	0.66	D
	(North of El Vedado Road)	Undivided									
5	South County Road	4L ART	2,660	II	983	2.71	2,190	1.21	2,280	1.17	F
	(North of Peruvian)	Undivided									
6	North County Road	4L ART	1,188	II	983	1.21	2,190	0.54	2,280	0.52	D
	(North of Breakers Row)	Undivided									
7	North County Road	4L ART	1,288	II	983	1.31	2,190	0.59	2,280	0.56	D
	(North of Royal Poinciana Way)	Undivided									
8	Cocoanut Row	2L COLL	768	II	594	1.29	1,197	0.64	1,269	0.61	D
	(South of Seabreeze Avenue)	Undivided									
9	Cocoanut Row	2L COLL	781	II	594	1.31	1,197	0.65	1,269	0.62	D
	(North of Whitehall Way)	Undivided									
10	Bradley Place	2L COLL	1,066	II	594	1.79	1,197	0.89	1,269	0.84	D
	(North of Royal Poinciana Way)	Undivided									
11	Royal Palm Way	4L ART	3,251	II	1,310	2.48	2,920	1.11	3,040	1.07	F
	(East of Hibiscus Avenue)	Divided									
12	Royal Palm Way	4L ART	3,356	II	1,310	2.56	2,290	1.47	3,040	1.10	F
	(West of Hibiscus Avenue)	Divided									
13	Royal Poinciana Way	4L ART	4,577	II	1,310	3.49	2,920	1.57	3,040	1.51	F
	(West of Cocoanut Row)	Divided									
14	Royal Poinciana Way	4L ART	3,102	II	1,310	2.37	2,920	1.06	3,040	1.02	F
	(East of Cocoanut Row)	Divided									

NOTE:

Roadway class and level of service volumes are based on the Florida Department of Transportation's 2020 Quality/Level of Service Handbook.

TABLE 7
EXISTING 2025 DAILY PEAK SEASON COUNTS
TOWN OF PALM BEACH
(Counts collected between Tuesday, March 11 and Thursday, March 13, 2025)

Location No.	Street Segment	Facility Type	Daily Volume																
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007			
1	Southern Blvd	2L ART	10,704	16,445	15,081	13,388	11,621	12,040	12,457	13,606	15,079	13,215	12,730	13,445	13,546	14,452			
	(West of SR-A1A)	Undivided																	
2	SR A1A	2L ART	N/A	16,788	15,422	14,454	12,185	12,507	13,778	14,256	15,057	13,767	14,091	14,894	15,322	17,026			
	(North of Via Del Lago)	Undivided																	
3	SR A1A	2L COLL	11,760	11,932	11,011	10,654	8,686	8,714	10,394	9,792	10,636	10,213	9,990	10,107	10,510	12,615			
	(South of Via Pelicano)	Undivided																	
4	Ocean Boulevard	2L COLL	9,576	11,499	10,251	11,069	8,193	8,344	9,506	9,419	9,985	9,176	9,368	10,634	11,046	12,406			
	(North of El Vado Road)	Undivided																	
5	South County Road	4L ART	31,975	10,627	10,273	10,548	11,918	11,481	9,327	9,287	9,919	11,359	9,753	9,963	9,594	10,108			
	(North of Peruvian)	Undivided																	
6	North County Road	4L ART	14,432	16,765	15,138	15,308	13,928	13,284	14,966	15,589	15,431	13,695	13,590	14,162	15,439	15,930			
	(North of Breakers Row)	Undivided																	
7	North County Road	4L ART	14,508	16,771	15,198	15,193	14,060	12,956	14,837	13,084	13,070	14,908	13,712	14,407	15,376	14,666			
	(North of Royal Poinciana Way)	Undivided																	
8	Cocoanut Row	2L COLL	9,544	8,922	9,477	9,469	8,636	N/A	8,849	9,010	8,639	8,079	8,296	8,262	8,613	9,054			
	(South of Seabreeze Avenue)	Undivided																	
9	Cocoanut Row	2L COLL	8,877	9,818	10,426	9,940	9,258	9,101	9,243	9,074	8,895	8,245	8,567	8,716	9,244	9,975			
	(North of Whitehall Way)	Undivided																	
10	Bradley Place	2L COLL	13,208	14,038	13,291	13,811	13,092	12,425	12,954	11,809	12,279	14,324	13,351	14,084	14,747	16,052			
	(North of Royal Poinciana Way)	Undivided																	
11	Royal Palm Way	4L ART	38,459	18,057	16,392	17,311	15,670	15,667	16,351	17,603	17,289	15,340	15,641	16,240	16,790	17,292			
	(East of Hibiscus Avenue)	Divided																	
12	Royal Palm Way	4L ART	41,575	19,976	18,527	19,405	22,142	21,970	17,342	19,043	18,821	17,076	17,374	17,992	18,782	19,210			
	(West of Hibiscus Avenue)	Divided																	
13	Royal Poinciana Way	4L ART	48,986	23,037	22,867	22,118	21,023	20,178	20,245	13,235	16,681	N/A							
	(West of Cocoanut Row)	Divided																	
14	Royal Poinciana Way	4L ART	32,008	15,393	14,246	13,784	11,788	11,634	13,056	7,859	10,501	12,869	12,223	13,074	14,204	14,296			
	(East of Cocoanut Row)	Divided																	

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.
Southern Boulevard was split in to two segments for data collection for 2024

Location No.	Street Segment	Facility Type	AM PEAK HOUR VOLUME																
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007			
1	Southern Blvd	2L ART	844	1,180	1,260	1,203	995	1,075	1,034	1,115	1,394	1,144	1,077	1,126	1,148	1,139			
	(West of SR-A1A)	Undivided																	
2	SR A1A	2L ART	N/A	1,230	1,193	1,162	948	1,057	1,064	1,063	1,186	1,168	1,088	1,175	1,177	1,281			
	(North of Via Del Lago)	Undivided																	
3	SR A1A	2L COLL	885	821	776	809	573	583	856	738	824	860	821	806	769	917			
	(South of Via Pelicano)	Undivided																	
4	Ocean Boulevard	2L COLL	734	865	809	1,136	659	704	754	734	803	810	752	853	892	930			
	(North of El Vedado Road)	Undivided																	
5	South County Road	4L ART	2,825	821	814	834	813	826	818	785	908	1,076	887	912	788	891			
	(North of Peruvian)	Undivided																	
6	North County Road	4L ART	1,193	1,296	1,142	1,188	1,017	1,043	1,200	1,194	1,249	1,237	1,183	1,196	1,305	1,320			
	(North of Breakers Row)	Undivided																	
7	North County Road	4L ART	1,195	1,594	1,256	1,304	1,083	1,073	1,237	1,115	1,121	1,382	1,280	1,291	1,435	1,326			
	(North of Royal Poinciana Way)	Undivided																	
8	Cocoanut Row	2L COLL	789	702	742	793	663	N/A	715	740	690	652	680	641	691	765			
	(South of Seabreeze Avenue)	Undivided																	
9	Cocoanut Row	2L COLL	772	750	820	823	663	645	740	729	689	679	695	714	771	842			
	(North of Whitehall Way)	Undivided																	
10	Bradley Place	2L COLL	1,058	1,249	1,019	1,078	971	892	1,033	894	947	1,273	1,137	1,205	1,256	1,443			
	(North of Royal Poinciana Way)	Undivided																	
11	Royal Palm Way	4L ART	3,037	1,286	1,186	1,313	1,089	1,109	1,222	1,272	1,325	1,313	1,328	1,343	1,364	1,396			
	(East of Hibiscus Avenue)	Divided																	
12	Royal Palm Way	4L ART	3,139	1,401	1,312	1,472	1,580	1,599	1,417	1,362	1,423	1,414	1,460	1,477	1,485	1,535			
	(West of Hibiscus Avenue)	Divided																	
13	Royal Poinciana Way	4L ART	4,212	1,798	1,735	1,626	1,451	1,478	1,590	967	1,284	N/A							
	(West of Cocoanut Row)	Divided																	
14	Royal Poinciana Way	4L ART	2,325	1,307	1,190	1,232	762	845	1,194	671	777	1,122	1,030	1,105	1,185	1,199			
	(East of Cocoanut Row)	Divided																	

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.

Southern Boulevard was split in to two segments for data collection for 2024

Location No.	Street Segment	Facility Type	PM PEAK HOUR VOLUME																	
			2025	2024	2023	2022	2020	2019	2018	2017	2015	2011	2010	2009	2008	2007				
1	Southern Blvd	2L ART	973	1,428	1,323	1,181	1,025	1,041	1,128	1,166	1,349	1,149	1,212	1,204	1,220	1,324				
	(West of SR-A1A)	Undivided																		
2	SR A1A	2L ART	N/A	1,458	1,316	1,254	1,112	1,085	1,235	1,224	1,340	1,228	1,308	1,322	1,457	1,598				
	(North of Via Del Lago)	Undivided																		
3	SR A1A	2L COLL	1,039	1,099	999	934	717	724	968	847	942	904	888	896	991	1,162				
	(South of Via Pelicano)	Undivided																		
4	Ocean Boulevard	2L COLL	832	1,091	889	916	704	720	890	837	898	848	877	954	1,050	1,196				
	(North of El Vedado Road)	Undivided																		
5	South County Road	4L ART	2,660	915	901	973	932	895	892	860	948	1,094	963	937	902	943				
	(North of Peruvian)	Undivided																		
6	North County Road	4L ART	1,188	1,428	1,247	1,316	1,109	1,032	1,284	1,377	1,347	1,218	1,222	1,292	1,381	1,421				
	(North of Breakers Row)	Undivided																		
7	North County Road	4L ART	1,288	1,486	1,281	1,316	1,109	1,051	1,293	1,131	1,116	1,326	1,252	1,345	1,439	1,373				
	(North of Royal Poinciana Way)	Undivided																		
8	Cocoanut Row	2L COLL	768	762	796	812	635	N/A	768	748	719	729	838	768	794	790				
	(South of Seabreeze Avenue)	Undivided																		
9	Cocoanut Row	2L COLL	781	845	881	845	641	720	825	773	731	735	880	774	825	850				
	(North of Whitehall Way)	Undivided																		
10	Bradley Place	2L COLL	1,066	1,260	1,109	1,188	1,062	980	1,145	1,015	1,065	1,302	1,185	1,252	1,355	1,484				
	(North of Royal Poinciana Way)	Undivided																		
11	Royal Palm Way	4L ART	3,251	1,526	1,388	1,491	1,174	1,220	1,428	1,500	1,535	1,373	1,441	1,457	1,476	1,540				
	(East of Hibiscus Avenue)	Divided																		
12	Royal Palm Way	4L ART	3,356	1,654	1,601	1,718	1,775	1,782	1,485	1,592	1,690	1,561	1,598	1,602	1,666	1,698				
	(West of Hibiscus Avenue)	Divided																		
13	Royal Poinciana Way	4L ART	4,577	2,169	2,202	1,974	1,826	1,854	1,908	1,158	1,522	N/A								
	(West of Cocoanut Row)	Divided																		
14	Royal Poinciana Way	4L ART	3,102	1,325	1,287	1,334	957	970	1,153	657	871	1,079	1,043	1,105	1,256	1,214				
	(East of Cocoanut Row)	Divided																		

NOTE:

Traffic count data was collected by Progressive Design & Engineering for the years 2007 to 2011.
Southern Boulevard was split in to two segments for data collection for 2024

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk Blouin, Town Manager

FROM: H. Paul Brazil, P.E., Director of Public Works

RE: Waiver to Town Code for Extended Construction Hours and Road Closure for the Florida Department of Transportation A1A Projects

DATE: April 25, 2025

STAFF RECOMMENDATION

Staff recommends that the Town Council approve the Authorization for road closure and waiver of the Town Code of Ordinances 42-196 through 199 and 42-226 through 229, restrictions for construction hours, and road closure for the Florida Department of Transportation A1A Roadway Projects.

GENERAL INFORMATION

The Florida Department of Transportation (FDOT) has two (2) roadway projects that are currently underway, A1A from Emerald Beach Way (North) to Royal Palm Way (North) and A1A from Lake Avenue to just north of Ibis Way (South).

The FDOT South Project is approximately a 15-month project with an anticipated completion date of Summer 2026. The project consists of milling, resurfacing, striping, signage, upgrading curb ramps, and drainage. The projects also includes converting the asphalt path on the west side to concrete, installing a hybrid pedestrian signal at the Par 3 Golf Course and a pedestrian crossing at Phipps Ocean Park.

The FDOT North project is approximately an 18-month project with an anticipated completion date of late fall 2026. The project consists of milling, resurfacing, striping, signage, upgrading curb ramps, and minor drainage. The project also consists of replacing the sidewalk on both sides of the road between Brazilian Avenue and Royal Palm Way, along with sidewalk improvements south of Hammon Avenue. The signalized intersections of Hammon Avenue, Worth Avenue, Peruvian Avenue, Royal Palm Way and at the Central Fire Station will be replaced with new decorative signals.

In both projects, FDOT intends to work within the Town's work hours of 8am to 6pm May 1st to Oct 31st and 9am to 5 pm Nov 1st to April 30th. However, FDOT is requesting flexibility to perform certain scopes of work outside those work hours on both projects to minimize traffic impacts and for pedestrian safety. One example includes craning the signal mast arms into place, which will impact the whole intersection and adjacent pedestrian sidewalks. FDOT will work with Public Works Staff and Town Manager's office to coordinate any work that may be extremely disruptive to the public during daytime hours. This coordination would include notifying adjacent businesses and residents in advance of any changes in work.

Staff recommends a waiver to Section 42-196 through Section 42-199 of the Town Code of Ordinances to allow for extended work hours into season. Staff also recommends a waiver to the Noise Ordinance for those same activities from Section 42-226 through Section 42-229 of the Town Code of Ordinances. All request to work outside of standard hours will be approved by Public Works prior to work being performed.

FUNDING/FISCAL IMPACT

There is no funding/fiscal impact related to this item.

TOWN ATTORNEY REVIEW

This item has been reviewed by the Town Attorney.

Attachment

cc: Jason Debrincat, P.E., Assistant Director of Public Works
Patricia Strayer, P.E., Town Engineer
Michael Roach, P.E., Project Engineer



Florida Department of Transportation

RON DESANTIS
GOVERNOR

7900 Forest Hill Boulevard
West Palm Beach, FL 33413

JARED W. PERDUE, P.E.
SECRETARY

March 12, 2025

Town of Palm Beach
360 S County Rd.
Palm Beach, FL 33480

RE: Upcoming Construction Projects in the Town of Palm Beach

Town Council and Staff:

The Florida Department of Transportation (FDOT) is pleased to announce three (3) upcoming construction projects along SR-A1A within the Town of Palm Beach. Details for these projects are listed below.

1. FM 446175-1-52-01: SR-A1A from North of Emerald Beach Way to South of SR-704/Royal Palm Way
 - Anticipated Start: April 28, 2025
 - Anticipated Completion: Late 2026
 - Scope: Repaving project limits including cross slope corrections, ADA curb ramp and sidewalk, striping including shared roadway markings (i.e. "sharrows"), new signalization/mast arms at 4 intersections and the fire station emergency signal, drainage, intersection lighting, signage, other miscellaneous scope items
 - Work Hours:
Peak season hours (the Monday preceding Thanksgiving thru April 30th): No construction work on Sundays or legal holidays, including the Friday after Thanksgiving. Construction allowed Monday to Friday 9:00 AM to 5:00 PM. All other times: No construction on Sundays or legal holidays, including the Friday after Thanksgiving. Construction allowed Monday to Friday 8:00 AM to 6:00 PM.
2. FM 447663-1-52-01: SR-A1A from South of Lake Avenue to North of Ibis Way
 - Anticipated Start: April 29, 2025
 - Anticipated Completion: Summer 2026
 - Scope: Repaving project limits including cross slope corrections, minor roadway widening, ADA curb ramp and sidewalk, striping including for dedicated bicycle lane facilities, signalization vehicular and pedestrian signalization, signage, other miscellaneous scope items

- Work Hours:
Allowable construction hours are as follows:
Peak season hours (the Monday preceding Thanksgiving through May 1st):
Monday through Friday, from 9:00 AM to 5:00 PM

Off-peak season hours (May 2nd to the Monday preceding Thanksgiving):
Monday through Friday, from 8:00 AM to 6:00 PM

Lane closures within 800-ft. of Lake Avenue shall occur only during non-peak hours on non-event days.

Non-peak hours are:
Monday through Friday, from 8:00 PM to 7:00 AM

3. FM 448417-1-52-01: SR-A1A from North of Ibis Way to North of Emerald Beach Way

- Anticipated Start: TBD (Anticipated Early 2026)
- Anticipated Completion: TBD
- Scope: Repaving project limits, ADA curb ramp and sidewalk, striping including shared roadway markings (i.e. “sharrows”), drainage, signage, other miscellaneous scope items
- Work Hours:

Construction shall occur only during seasonal construction hours on non-event days.

The seasonal construction hours are as follows:

During the week before Thanksgiving to May 1st: 9 AM – 5 PM

and from May 1st to the week before Thanksgiving: 8 AM – 6 PM

No work shall be conducted the week of Thanksgiving (including the Saturday, Sunday, Monday and Tuesday preceding Thanksgiving Day).

The Department has defined the Contractor’s work hours for all three (3) projects within the parameters outlined in the Town of Palm Beach Code of Ordinances Section 42-199: Hours for construction work and will ensure compliance accordingly. However, situations may arise that necessitate the need to work outside these hours on a limited basis. In these cases, the Department will work directly with Town staff in advance to coordinate the work activities and ensure the needs of the community are met and balanced with the projects’ progress.

The Department looks forward to delivering these improvements to the Town of Palm Beach. If you would like to discuss further, please do not hesitate to contact the FDOT Palm Beach Operations Construction Engineer, Joseph Marzi, P.E., at (561) 370-1152 or via email at joseph.marzi@dot.state.fl.us.

Sincerely,

Eduardo Caballero

Digitally signed by Eduardo Caballero
Date: 2025.03.12 14:00:38 -04'00'

Eduardo Caballero, PE
Palm Beach Operations Engineer

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - Old Business

Agenda Title

Sustainable Dune Construction Program Reach 8

TIME CERTAIN: 2PM

Time Certain

2:00 PM

Presenter

H. Paul Brazil, P.E., Director of Public Works

ATTACHMENTS:

- ▣ **Memorandum dated April 29, 2025, from H. Paul Brazil, P.E., Director of Public Works**
- ▣ **Project Plans**
- ▣ **Option 1 - Lake Worth Interlocal**
- ▣ **Option 2 - Approximate Town Boundary Aerial**
- ▣ **Option 3 - Condominium Cooperative**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

FROM: H. Paul Brazil, P.E., Director of Public Works

RE: Sustainable Dune Construction Program Reach 8

DATE: April 29, 2025

STAFF RECOMMENDATION

Staff recommend Town Council provides direction on options as outlined below for a sustainable, long-term dune construction program in Reach 8 for shore protection.

GENERAL INFORMATION

The Town's Beach Management Agreement allows periodic dune restoration for shoreline protection in Reach 8 from R-129 to R-134 to an elevation of +10 feet NAVD with a 1V:3H dune slope to the existing beach berm. Based on current conditions, the beach template can accept approximately 20,000 cubic yards of sand in Reach 8 and 10,000 cubic yards in Reach 9 (South Palm Beach). The current coastal management program plans for placement of sand for dunes in Reach 8 approximately every four years, timed to occur in conjunction with larger nourishment projects at Phipps Ocean Park or Mid-Town. Dune sand placement has occurred in 2006, 2011, 2015 and 2021 in Reach 8. Trucking access to Reach 8 has previously been through 3360 South Ocean Boulevard (2011, 2015, and 2021) and 3200 South Ocean Boulevard (2006).

This year, the Town planned to place sand for dunes in conjunction with the Phipps Ocean Park nourishment but has been challenged with finding construction access to the beach. The Phipps nourishment project has been successfully completed, and a stockpile of sand for dune placement is available between Phipps Ocean Park and the Par 3 Golf Course. Reach 8 includes the portion of the Town located south of the City of Lake Worth Beach's public beach access, consisting of 17 oceanfront condominiums. The area lacks dedicated access for dune construction. To remain contiguous, the Town's municipal boundary includes a ten-foot strip of land that runs parallel to the mean high water line underneath the Lake Worth Beach pier, connecting Reaches 7 and 8.

Physical monitoring data from 1990 to 2024 shows a minor landward recession of the shoreline in Reach 8 of 9.2 feet. The annual average shoreline loss for Reach 8 in 2024 was 5.2 feet. The long-term pattern of monitoring data shows that the shoreline generally remains stable, with a 0.3 feet per year average annual recession, indicating that the Town's management program and dune placement projects have prevented a long-term significant change in the shoreline position for over 30 years in Reach 8. The volumetric change (measured from the upper beach to a depth of 26.2 feet) from 2023 to 2024 shows that Reach 8 gained 80,715 cubic yards of sand. However, it experienced a loss of 21,084 cubic yards of sand from the upper profile region. The largest gains were seen in the offshore region, suggesting benefits from long-shore drift from Phipps Ocean Park restoration projects to the north. If dune placement projects were to cease in Reach 8, gains from the migration of sand from the Phipps Ocean Park project into the area are likely to continue,

however, the upper profile and shoreline may continue to recede. A negative trend in the upper beach would limit the footprint available to place dunes, and the opportunity for sand placement above the mean high water line would decrease. Sand would continue to move south from the Phipps Ocean Park project and would eventually make its way onto the upper profile, providing some protection. As observed during a site visit in April 2025, the dunes in Reach 8 appear to be largely stable with increasing vegetation. This condition, however, could change significantly if the area experiences a major storm event.

In order to maintain the dune placement project in Reach 8, a reliable construction access is required. Public Works staff have identified options for access outlined as follows:

Lake Worth Beach Interlocal Agreement

Town Council had approved an agreement with Lake Worth Beach to utilize the south end of the Lake Worth Public Beach as an access for hauling sand to Reaches 8 and 9. The Lake Worth Beach City Commission approved the agreement at their December 3, 2024 Commission meeting. Subsequently, Lake Worth Beach has rescinded this approval due to their Ordinance No. 2009-19 prohibiting dredge and fill beach renourishment projects and ingress/egress for beach renourishment projects within their city. Town staff would continue to coordinate with the City of Lake Worth Beach to explore the possibility of using this access, emphasizing the difference between beach renourishment projects and dune restoration projects.

Reach 7 to Reach 8 Conveyor System

Town staff would evaluate the feasibility of conveying sand from Reach 7 to Reach 8 utilizing the Town's jurisdictional ten-foot strip of land along the mean high water line, running equipment underneath the Lake Worth Beach pier. The Town has considered trucking sand within this strip of land, but due to the success of long-shore drift of sand from the Phipps Ocean Park projects, elevations underneath the pier do not allow enough clearance for trucks to pass through. Sand would be trucked from the stockpile in Reach 7 to a conveyor belt north of Lake Worth Beach's boundary, within the Town's ten-foot strip of land, approximately 1,400 feet south, east of Bellaria. Trucks would then be used to move the sand south and place sand in the dune template. Trucks would need to get onto the beach in Reach 8 through an access south of the pier, such as through Lantana Beach Park or north of the Boynton Inlet Pier. This methodology for conveying sand has successfully been utilized for U.S. Army Corps of Engineers Sunny Isles Beach Renourishment Project in 2017 (<https://www.youtube.com/watch?v=yqmXcG3n0VM>).

Reach 8 Condominium Cooperative

An alternative long-term plan is proposed to provide a sustainable solution for access within the Town's jurisdiction. This plan includes utilizing conveyor belts within condominium properties in Reach 8 and rotating between identified feasible properties to minimize disruption. The Town would request that each participating condo sign a long-term easement. Public Works staff and engineering consultants have identified eight feasible properties for conveying sand onto the beach in Reach 8:

1. 3170 South Ocean Boulevard, Enclave
2. 3200 South Ocean Boulevard, 3200 Condominium
3. 3230 South Ocean Boulevard, La Renaissance
4. 3300 South Ocean Boulevard, Meridian
5. 3400 South Ocean Boulevard, Atriums
6. 3450 South Ocean Boulevard, Patrician
7. 3456 & 3460 South Ocean Boulevard, Claridges
8. 3475 South Ocean Boulevard, La Bonne Vie

A system of conveyor belts could be utilized at each of these properties to transport sand west to east and would stockpile sand on the beach waterward of the property and existing dune. Trucks

would need to get onto the beach in Reach 8 through an access south of the pier. (Example: Limited access conveyor system, <https://www.youtube.com/watch?v=LeoViesmSII&t=48s>)

Another option for access that was explored and was not considered to be feasible at this time included trucking through Lantana Beach Park at the south end of Reach 9. Although Lantana has a potential vehicle access point directly onto the beach, this option is not viable because of the limited size of the beach and available clearance at 4500 South Ocean Boulevard for trucks to pass by. There is not sufficient room to stockpile and transport sand above mean high water to the project area north. The Town has also previously considered access through South Palm Beach at 3500 South Ocean Boulevard; however, the access is privately owned, and homeowners have been opposed to the project.

Prior to starting work for dune placement, an Individual Project Approval (IPA) is required from FDEP. The application and issuance of this approval is anticipated to take approximately 45 – 90 days. Construction may take place starting November 1 and must be completed prior to May 1. If trucking sand for placement, the project is expected to take 2-3 weeks. If conveyor belts are used, the project is expected to take 5-6 weeks.

FUNDING/FISCAL IMPACT

Lake Worth Beach Interlocal Agreement: In addition to the baseline construction cost to truck sand from the stockpile, a financial contribution of \$80,000 was planned to be donated to the City of Lake Worth Beach to fund improvements to their public beach access since they support the Town's access to recreational public beaches.

Reach 7 to Reach 8 Conveyor System: Additional cost is expected for the use of conveyor belts, but it is not expected to exceed the existing total contract cost. The City of Lake Worth Beach is expected to be strongly opposed to this methodology since their access to the ocean would temporarily be severed. Risks of litigation, claims of impacts, and public opposition and law enforcement could be expected.

Reach 8 Condominium Cooperative: Additional cost is expected for the use of conveyor belts, but it is not expected to exceed the existing total contract cost.

If the project is not able to be completed during the 2026 fiscal year, the stockpiled sand from the Phipps Ocean Park project may no longer be available due to erosion over time, and sand would need to be trucked from an upland mine. Additional cost for trucking sand is anticipated to be on the order of \$50 per cubic yard (\$1,000,000 for Reach 8, \$500,000 for Reach 9).

Attachments

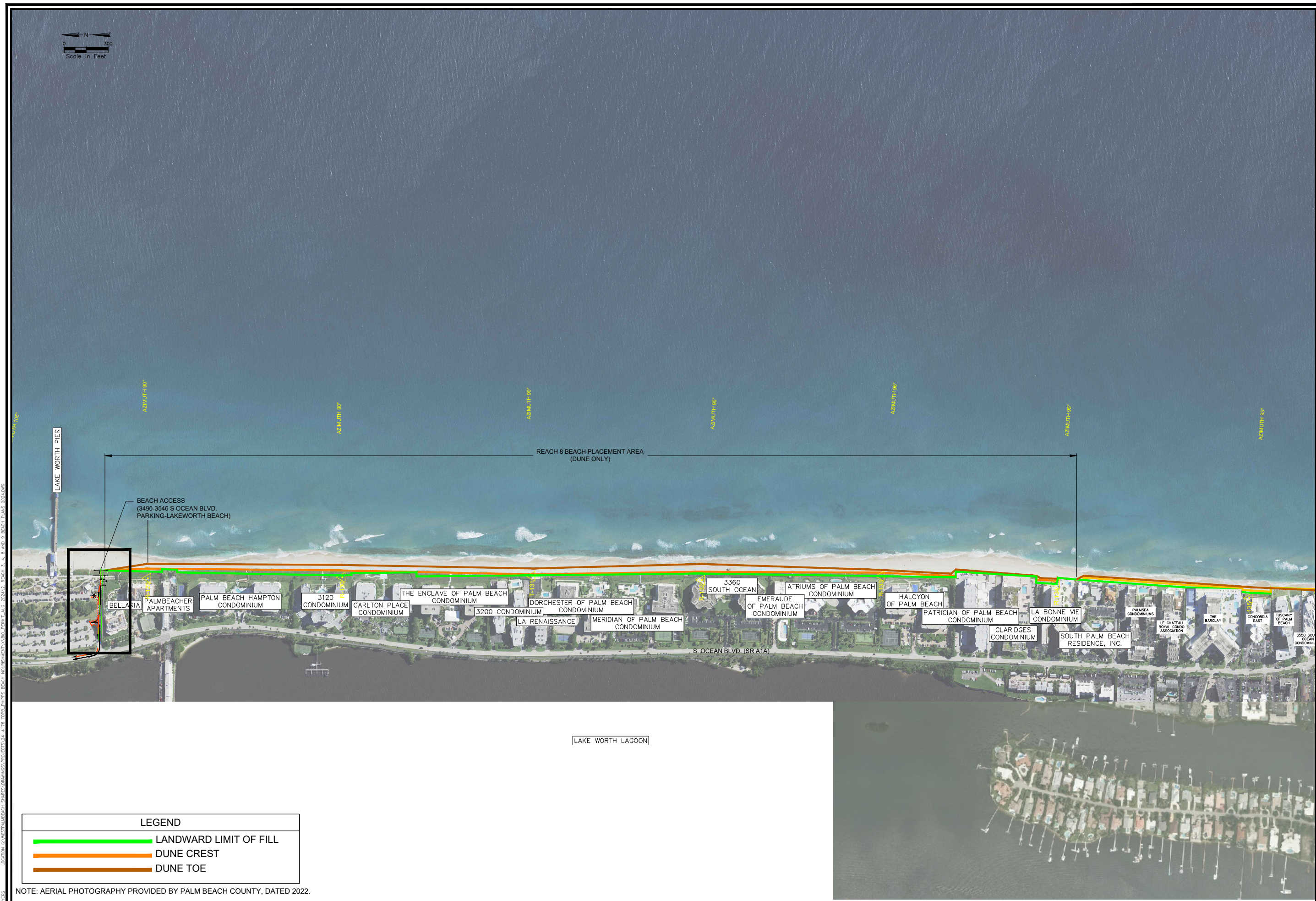
Reach 8 Project Plans

Option 1 Lake Worth Beach Interlocal Access Plans

Option 2 Approximate Town Boundary Aerial

Option 3 Condominium Cooperative Feasible Property Aerials

cc: Jason Debrincat, P.E., Assistant Director of Public Works
Patricia Strayer, P.E., Town Engineer
Julie Parham, P.E., Deputy Town Engineer
Sara Gutekunst, Coastal Coordinator
Joanne O'Connor, Town Attorney, Jones Foster
Shore Protection Board



COPIES

LOCATION: GUNWATER BEACH; SHARPEN DRAWINGS PROJECTS 24-4176; TYPE: PMP25; BEACH MEASUREMENTS VIEW: PERM; AUG-2024; REACH 3, 4, 6 AND 8 BEACH PLANS 2024.DWG

NOTE: AERIAL PHOTOGRAPHY PROVIDED BY PALM BEACH COUNTY, DATED 2022.

LEGEND

LANDWARD LIMIT OF FILL

DUNE CREST

DUNE TOE

Applied Technology & Management, Inc.
2056 Vista Parkway, Suite 280
West Palm Beach, Florida 33411
(561) 659-0041
Certificate of Authorization #4669

DRAWING NUMBER
9 of 15

2024/25 Dune Restoration - Truck Haul
Reach 8 Dune Restoration - Plan View
Town of Palm Beach, Florida

Bid 2024-08

2024/25 Dune Restoration - Truck Haul

Reach 8 Dune Restoration - Plan View

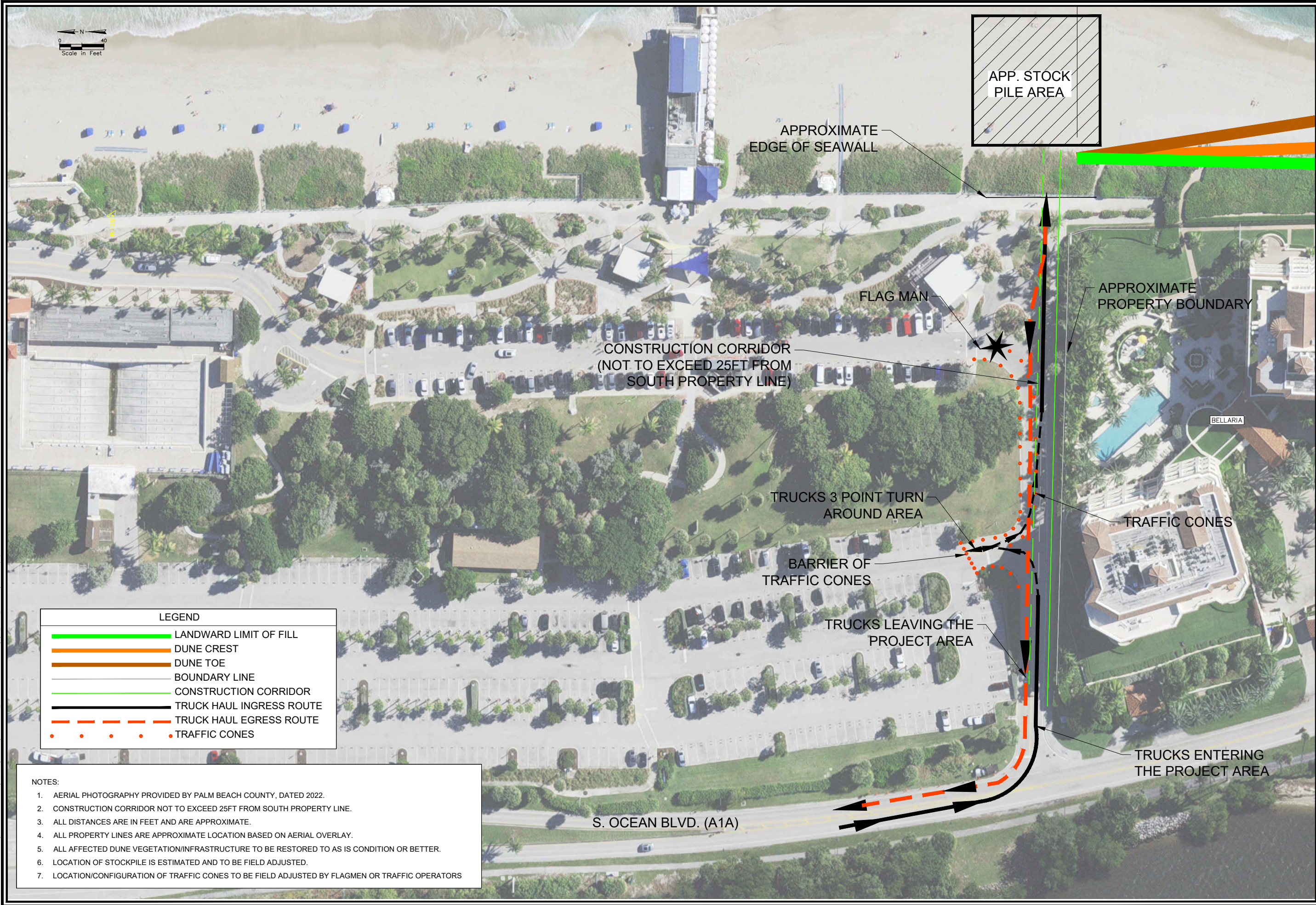
Town of Palm Beach, Florida

DESIGN	DRWN	CHKD	REV	NO	DATE	BY	CHKD	BY	DESCRIPTION
MJ	CM	MJ							
JOB NUMBER	24-4176								
ISSUE DATE	09-17-2024								
ISSUE									

Signature
Joseph G. Jenkins, Ph.D., P.E.
P.E. Professional Eng. # 88072

Date

LOC: 01 WEST PALM BEACH - BARBERS DRAWINGS PROJECTS 24-4176 TRIP: PMP25 BEACH RESTORATION V.02 - PERMITS AUG-2024 V.02 - REACH 5, 4, 6 AND 8 BEACH PLANS 2024.DWG
C:\Users\jgibson\OneDrive\Documents\Projects\24-4176 TRIP: PMP25 BEACH RESTORATION V.02 - PERMITS AUG-2024 V.02 - REACH 5, 4, 6 AND 8 BEACH PLANS 2024.DWG



LEGEND	
	LANDWARD LIMIT OF FILL
	DUNE CREST
	DUNE TOE
	BOUNDARY LINE
	CONSTRUCTION CORRIDOR
	TRUCK HAUL INGRESS ROUTE
	TRUCK HAUL EGRESS ROUTE
	TRAFFIC CONES

- NOTES:
1. AERIAL PHOTOGRAPHY PROVIDED BY PALM BEACH COUNTY, DATED 2022.
 2. CONSTRUCTION CORRIDOR NOT TO EXCEED 25FT FROM SOUTH PROPERTY LINE.
 3. ALL DISTANCES ARE IN FEET AND ARE APPROXIMATE.
 4. ALL PROPERTY LINES ARE APPROXIMATE LOCATION BASED ON AERIAL OVERLAY.
 5. ALL AFFECTED DUNE VEGETATION/INFRASTRUCTURE TO BE RESTORED TO AS IS CONDITION OR BETTER.
 6. LOCATION OF STOCKPILE IS ESTIMATED AND TO BE FIELD ADJUSTED.
 7. LOCATION/CONFIGURATION OF TRAFFIC CONES TO BE FIELD ADJUSTED BY FLAGMEN OR TRAFFIC OPERATORS

Signature
Joseph G. Jenkins, Ph.D. P.E.
P.E. Professional Eng. # 88072

Date

REV	NO	DATE	BY	CHKD	DESCRIPTION

DESIGN	DRWN	CHKD	DATE	JOB	ISSUE

Bid 2024-08

2024/25 Dune Restoration - Truck Haul

Reach 8 Beach Access - Plan View

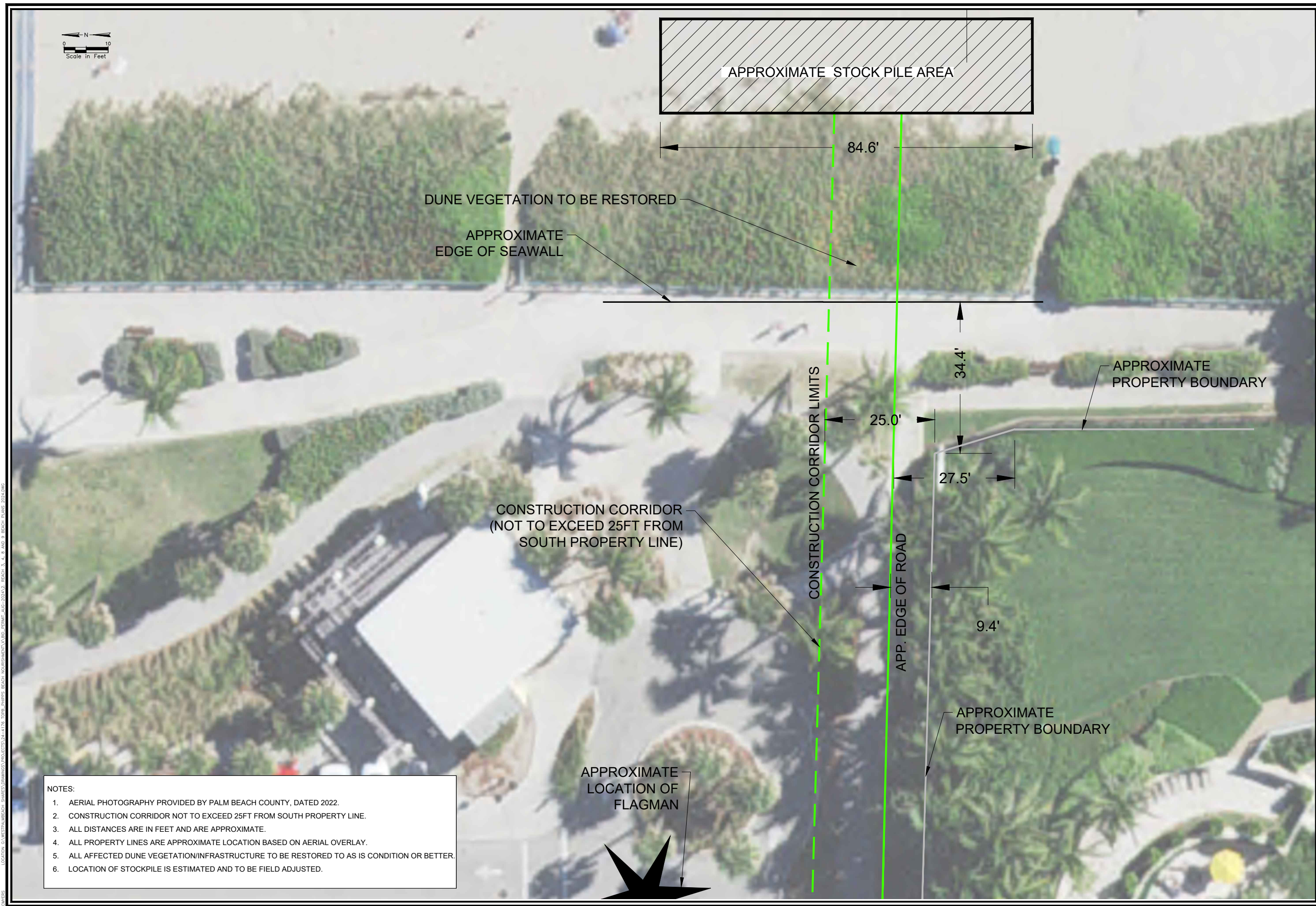
Applied Technology & Management, Inc.
2056 Vista Parkway, Suite 280
West Palm Beach, Florida 33411
(561) 659-0041
Certificate of Authorization #4669

ATM

DRAWING NUMBER
10 of 15

Town of Palm Beach, Florida

COPIES LOCATION: G:\WESTPAC\BACH - BACHES\DRAWINGS\PROJECTS\24-4176 TRIP RPPPS BEACH NOURISHMENT\VIEW - PERMIT_AUG-2024\3 - REACH 5, 4, 6 AND 8 BEACH PLANS 2024.DWG



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Signature
Joseph G. Jenkins, Ph. D. P.E.
FL Professional Eng. # 58072

Date

REV	NO	DATE	DRWN	CHKD	BY	DESCRIPTION

DESIGN	DRWN	CHKD	JOB	ISSUE	DATE	ISSUE
			24-4176		09-17-2024	
			NUMBER			
			ISSUE			
			DATE			
			ISSUE			

Bid 2024-08
2024/25 Dune Restoration - Truck Haul

Reach 8 Beach Access - Detailed Plan View

Town of Palm Beach, Florida

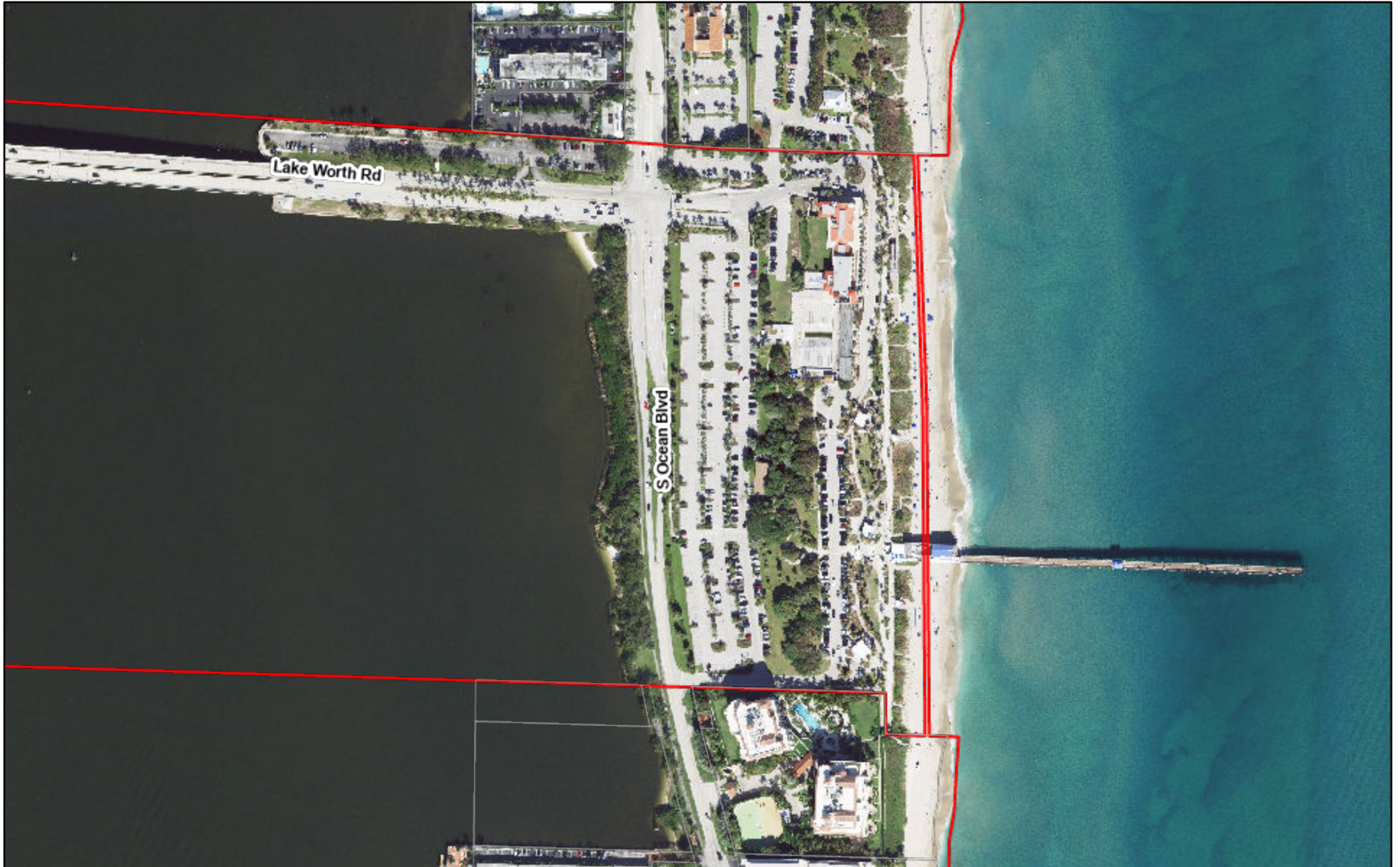
Applied Technology & Management, Inc.

ATM



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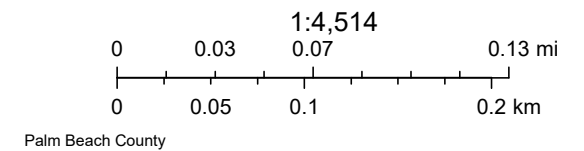
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11 of 15

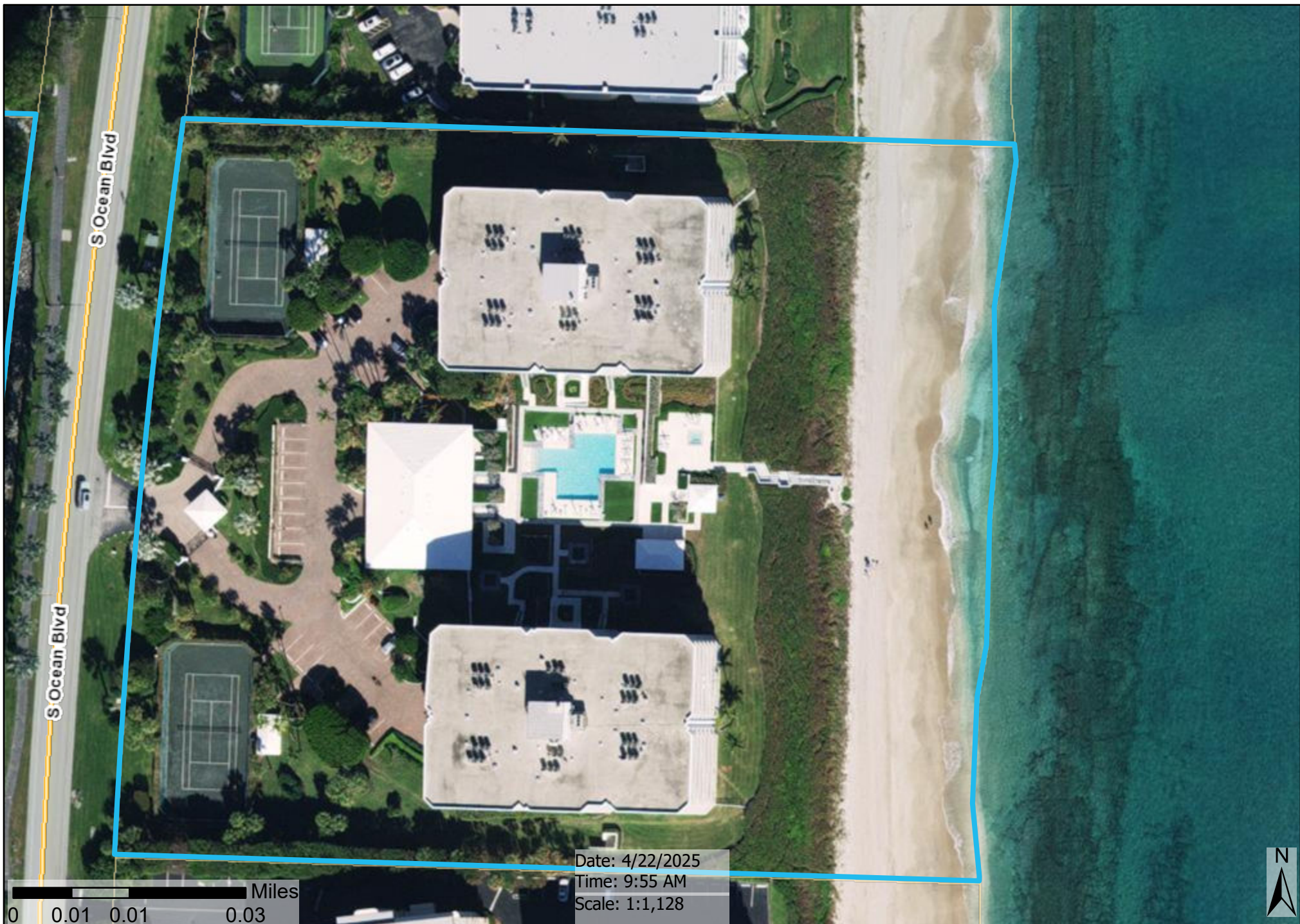
Palm Beach on GIS

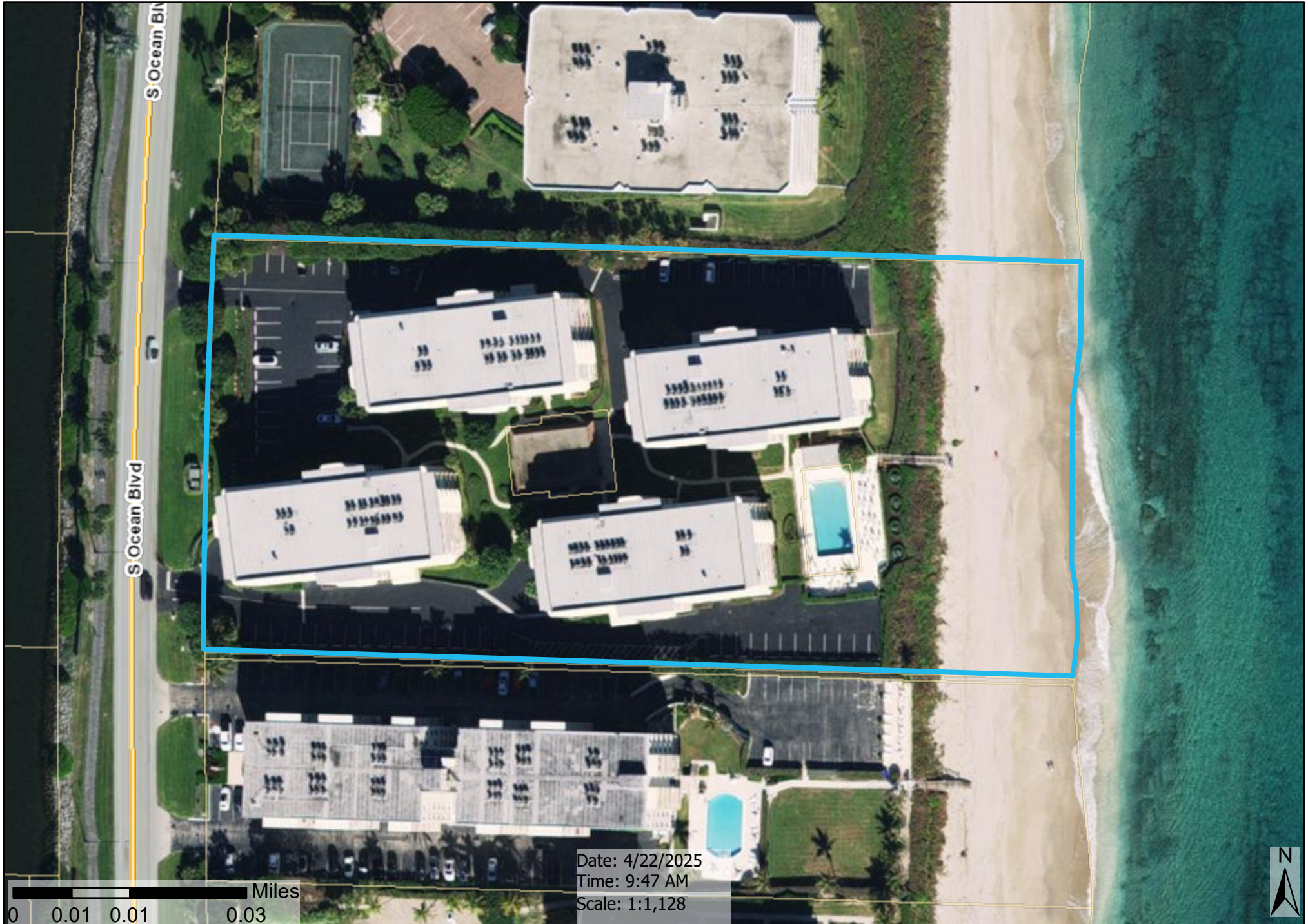


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 Parcels
 Town Boundary
Roads (TOPB)











Date: 4/22/2025

Time: 9:43 AM

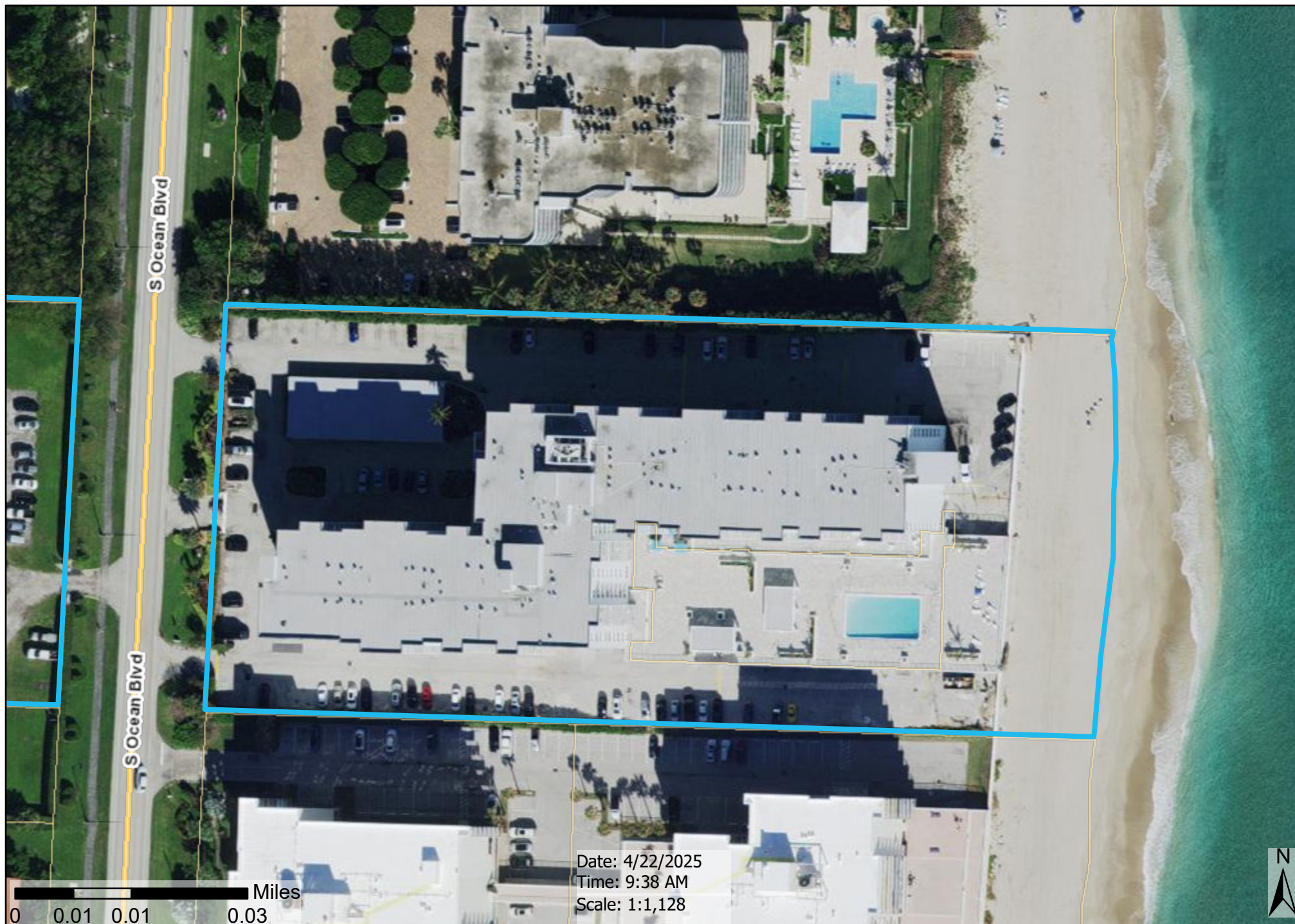
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3450 - Patrician





3475 - La Bonne Vie



TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - Old Business

Agenda Title

Flood Vulnerability Assessment Update Presentation

Presenter

H. Paul Brazil, P.E., Director of Public Works

ATTACHMENTS:

- ▣ **Memorandum dated April 29, 2025, from H. Paul Brazil, P.E., Director of Public Works**
- ▣ **Vulnerability Assessment Presentation**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 13, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

FROM: H. Paul Brazil, P.E., Director of Public Works

RE: Flood Vulnerability Assessment Update Presentation

DATE: April 29, 2025

STAFF RECOMMENDATION

Woods Hole Group (WHG) will be making a presentation of their progress on the Flood Vulnerability Assessment and will request final input from both Town Council and the public. Town staff requests the Town Council provide any additional input on the path forward and goals for the assessment.

GENERAL INFORMATION

WHG completed the Town's Coastal Flood Vulnerability Assessment and presented their findings to the Town Council on February 14, 2019, and submitted the final report in July 2019. The purpose of the Vulnerability Assessment was to identify Town infrastructure that has a flooding risk due to future storm surge impacts from tropical storms or hurricanes including projected rising sea levels.

WHG then completed the Town's Coastal Resilience Implementation Plan, "Level-Up," and presented draft and final recommendations to the Town Council on June 8, 2021 and September 14, 2021. The final report was submitted in November 2021. The plan included recommended actions to improve the coastal resilience of Town facilities and infrastructure, the Lake Worth shoreline, floodplain development, and comprehensive planning. Town staff and Committees have been working to implement several priority actions identified in the plan.

In 2021, the State of Florida developed Statute 380.093 with Section (4)(b) that requires the Florida Department of Environmental Protection (FDEP) "...complete a comprehensive statewide flood vulnerability and sea level rise assessment...". This statute included new elements and analysis to be included in the assessment, which had previously not been included in the 2019 assessment completed by Woods Hole Group. The Town's updated assessment will be included in the FDEP statewide assessment.

The Town received a Resilient Florida Planning grant from FDEP to help fund the cost to update the Vulnerability Assessment and bring it into compliance with the statute. As part of the grant, WHG included a public outreach meeting to provide updates on the progress and get input from Town Council. WHG presented initial findings and progress to Town Council on April 25, 2024. The information provided now includes results and highlights changes from the prior work of the Vulnerability Assessment, surge barrier feasibility results, Level Up Plan update and the path forward.

Attachments

cc: Jason Debrincat, P.E., Assistant Director of Public Works
Patricia Strayer, P.E., Town Engineer



Level-Up Palm Beach

Resilient Florida Vulnerability Assessment

Town Council Meeting
May 13, 2025

Introductions



Bob Hamilton

President, Senior Coastal Engineer.

- › 25+ years of experience with Palm Beach
- › Oversaw technical review of Comprehensive Coastal Management Program, Coastal Flood Vulnerability Assessment, and Implementation Plan



Alex Shaw, P.E.

Coastal Engineer/Modeler

- › 10 years of engineering experience
- › Lead modeler for Palm Beach projects



Brittany Hoffnagle

Climate Resiliency Specialist/GIS Analyst

- › 10+ Years of GIS experience
- › 4+ years experience with Palm Beach
- › Developed key asset inventory and QA/QC exposure and sensitivity analysis



Linnea Laux

Climate Resiliency Specialist/Landscape Designer

- › Completed exposure ad sensitivity analysis and developed project graphics and visualizations

Presentation Overview

- Background – How we got here
- Updated Vulnerability Assessment – Complying with Resilient FL program
- Storm Surge Barrier Feasibility Analysis – Preliminary potential to reduce flood risk
- Level-Up Palm Beach Implementation Plan Refinements – Initial insights
- Path Forward – Activities to complete this work
- Questions/Discussion



Level-Up

Palm Beach

Background

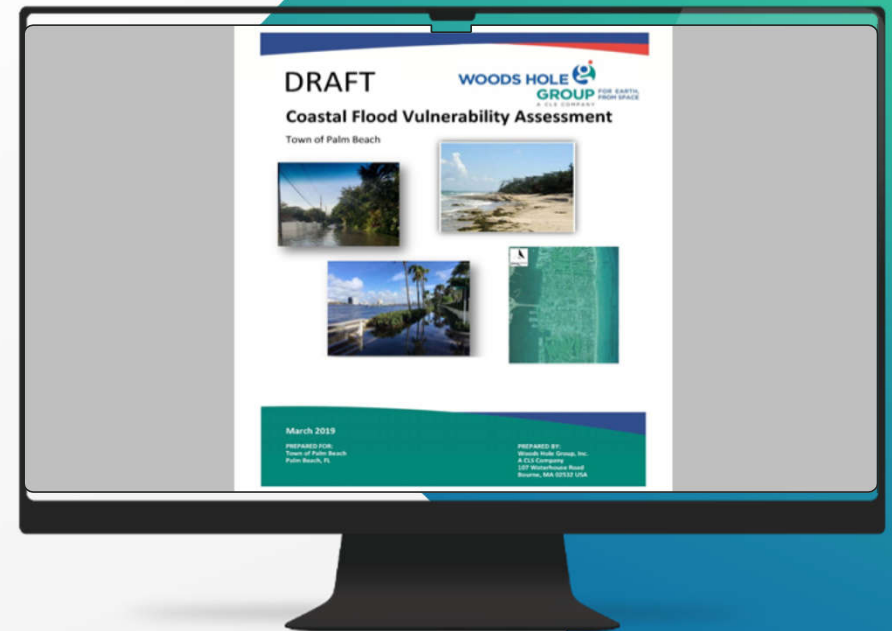
Coastal Flood Vulnerability Assessment (2019)

The Coastal Flood Vulnerability Assessment (CFVA) was completed in 2019 to examine future coastal flood risk resulting from sea level rise and storms of increasing severity and intensity.

Flood Risk Model

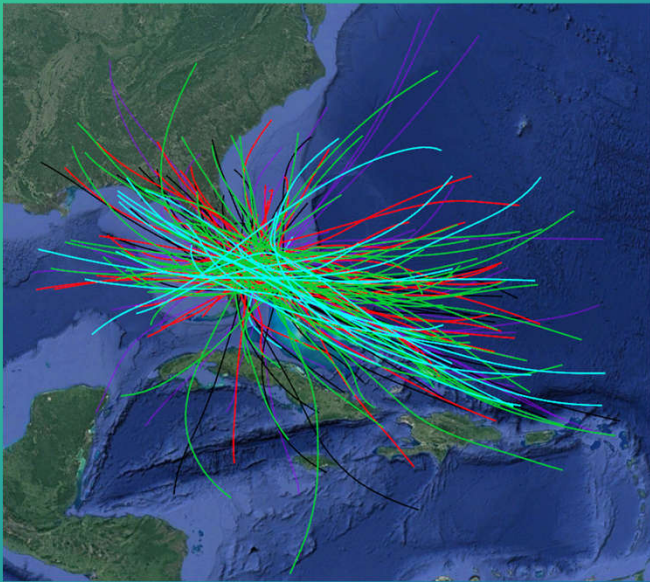


ID /Rank Assets at Risk

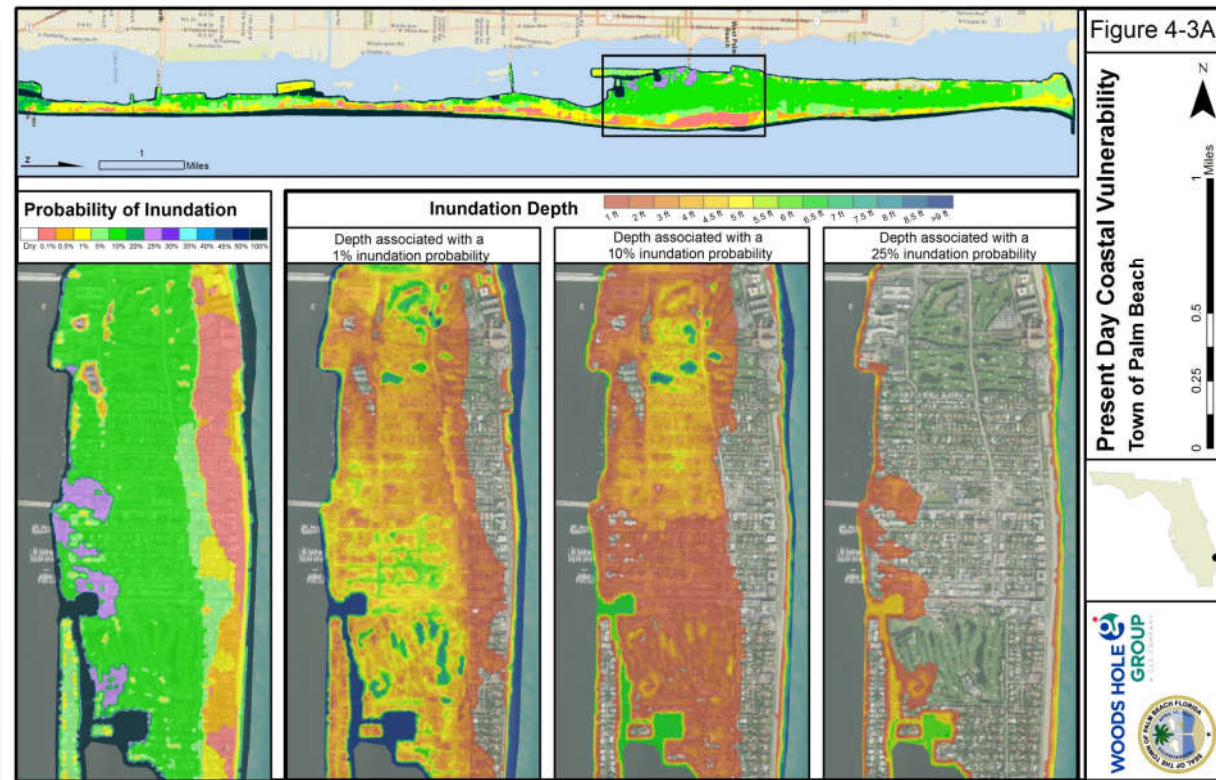


Palm Beach Flood Risk Model

Present Flood Probability and Depth



Probabilistic approach with hydrodynamic modeling of thousands of storm scenarios



Coastal Resilience “Level-Up” Implementation Plan (2021)

Goal: Set Palm Beach on path to achieve high standards of resilience to sea level rise, future storms, and related coastal flooding.

Resilience: the capacity of the community to:

- › **Anticipate** future coastal flooding risks in a changing climate,
- › **Plan and implement** effective coastal flood mitigation strategies,
- › **Monitor and adjust** strategies to changes in coastal flood risk over time, and
- › **Recover** faster and stronger from coastal flooding events.



Town Facilities and Infrastructure

Adapt Town assets to mitigate risks of damage and failure from future coastal flooding



Lake Worth Shoreline

Mitigate neighborhood and Town-wide exposure to future coastal flooding, emanating primarily from the Lake Worth shoreline



Floodplain Development

Improve the safety of buildings and their occupants from future coastal flooding



Comprehensive Planning

Integrate future coastal flood risk mitigation with other Town planning, policy, and infrastructure funding priorities

Town of Palm Beach, Resilient Florida Planning Grant (22PLN70)

Authorized by Town Council, contracted with Woods Hole Group via Coastal Resiliency Consultant On-Call in June 2023

Project Tasks:

1. Public Meetings –Town Council meetings
2. Acquire Background Data – update critical assets, survey data
3. Exposure Analysis – update flood model, estimate depth of flooding for assets
4. Sensitivity Analysis – identify most vulnerable areas or sectors
5. Storm Surge Barrier Feasibility Study – use model to analyze Inlet storm surge barrier
6. Vulnerability Assessment Report and Implementation Plan Update



Level-Up Palm Beach

Updated Vulnerability Assessment

Updated Vulnerability Assessment - Accomplishments

- Defined updated water level and storm conditions per Resilient FL
- Completed detailed bulkhead survey
- Extensive new computer model simulations
- Interesting findings compared to effective FEMA maps
- Updated list and prioritization of Town assets at risk
- Satisfying grant Tasks 1-4 for compliance and reimbursement

Updating Sea Level Rise Scenarios

Town CFVA (2017)

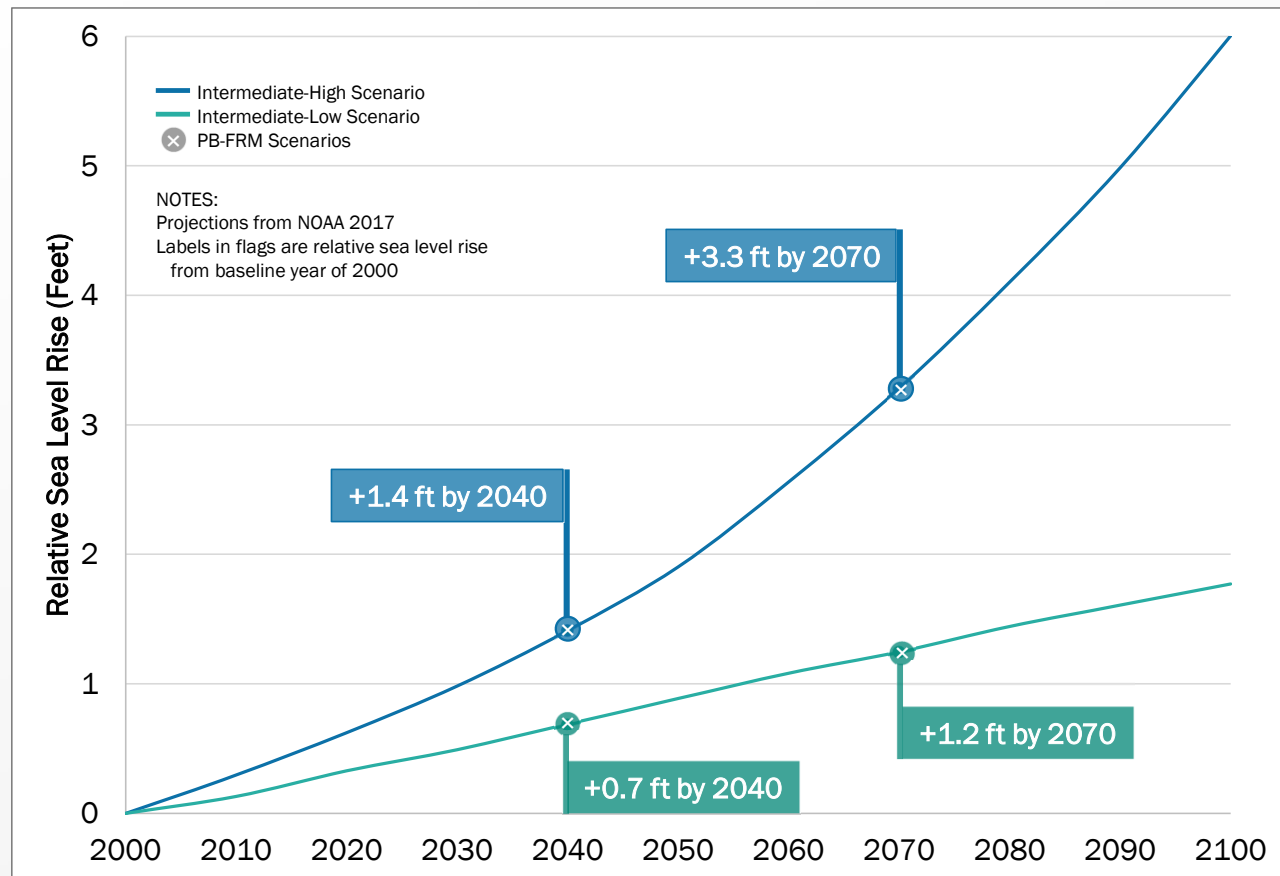
- › Included “Future” Intermediate High Scenario for 2065

Updates to meet State requirements

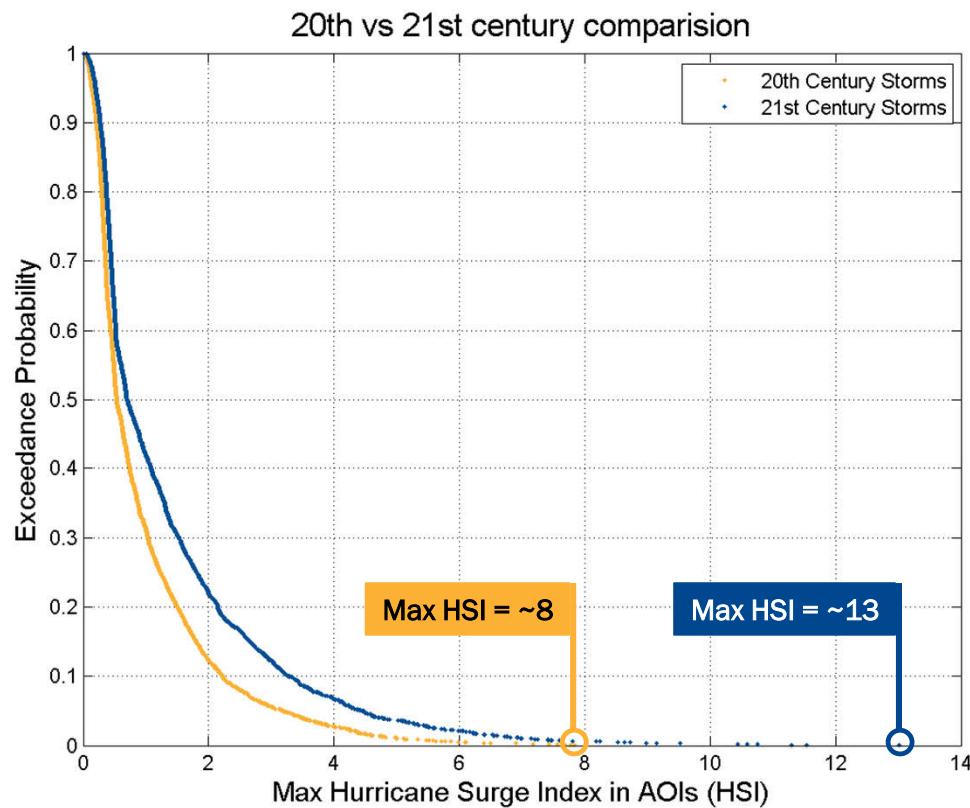
- › Intermediate-High and Intermediate-Low for 2040 and 2070

New mapping products and exposure analysis

- › High tide flooding depth
- › 100-year flooding depth
- › 10-year flooding depth



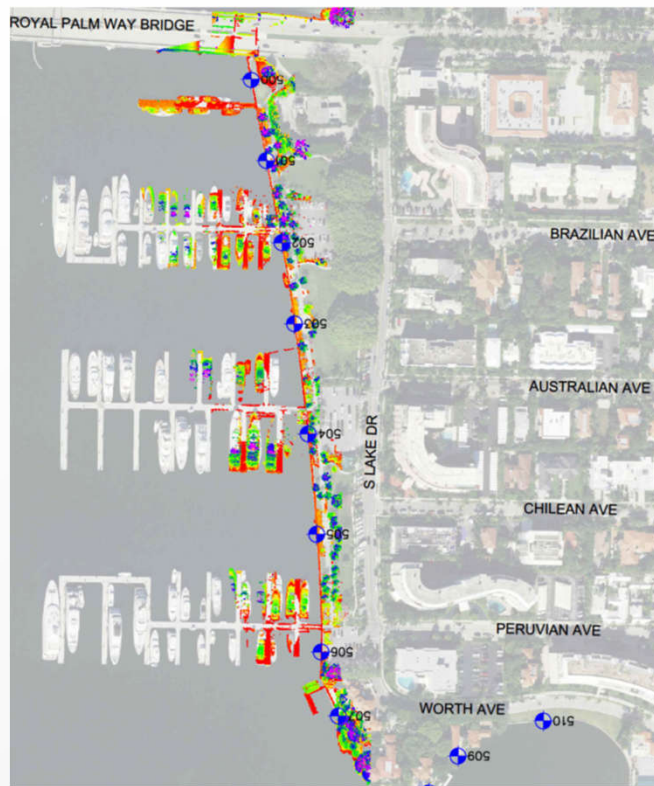
Updated modeling does not include future storm intensification



Why not?

- › Scientific consensus is not *highly confident* on future changes in Atlantic tropical cyclones
- › Resilient Florida Statute is silent on future storm intensification
- › FDEP has not proposed rules or guidance supporting including it
- › Avoid risk of being out of compliance with the State standards

High-Resolution Scans & Ground Spot Elevations

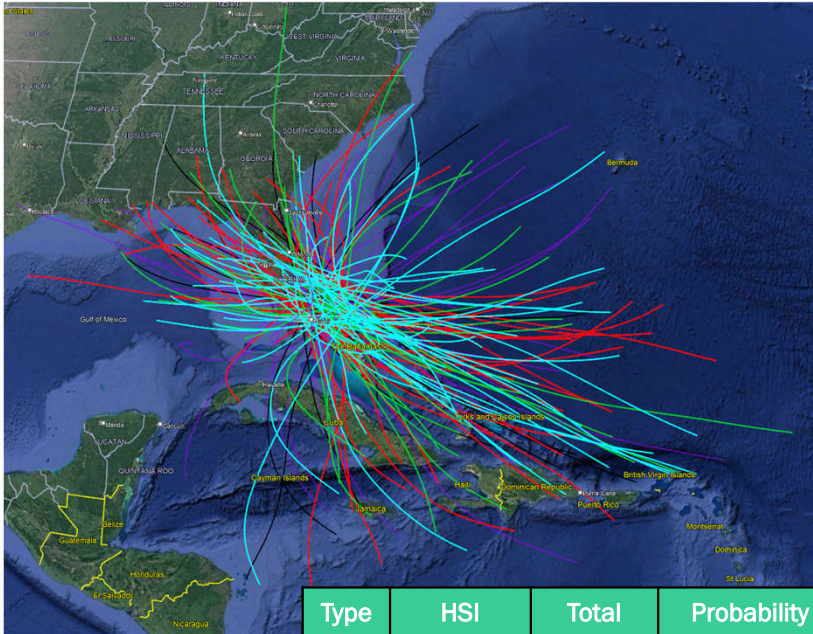


TERRAQUATIC
SURVEYING AND MAPPING

- ✓ Captures narrow features not picked up by LiDAR - tops of seawalls/bulkheads
- ✓ Implements action item from Town's Coastal Resilience Implementation Plan (Level-Up)
- ✓ Useful for administering Level-Up's recommended changes to Town bulkhead standards

Storm Selection and Simulation

Input or
Questions?

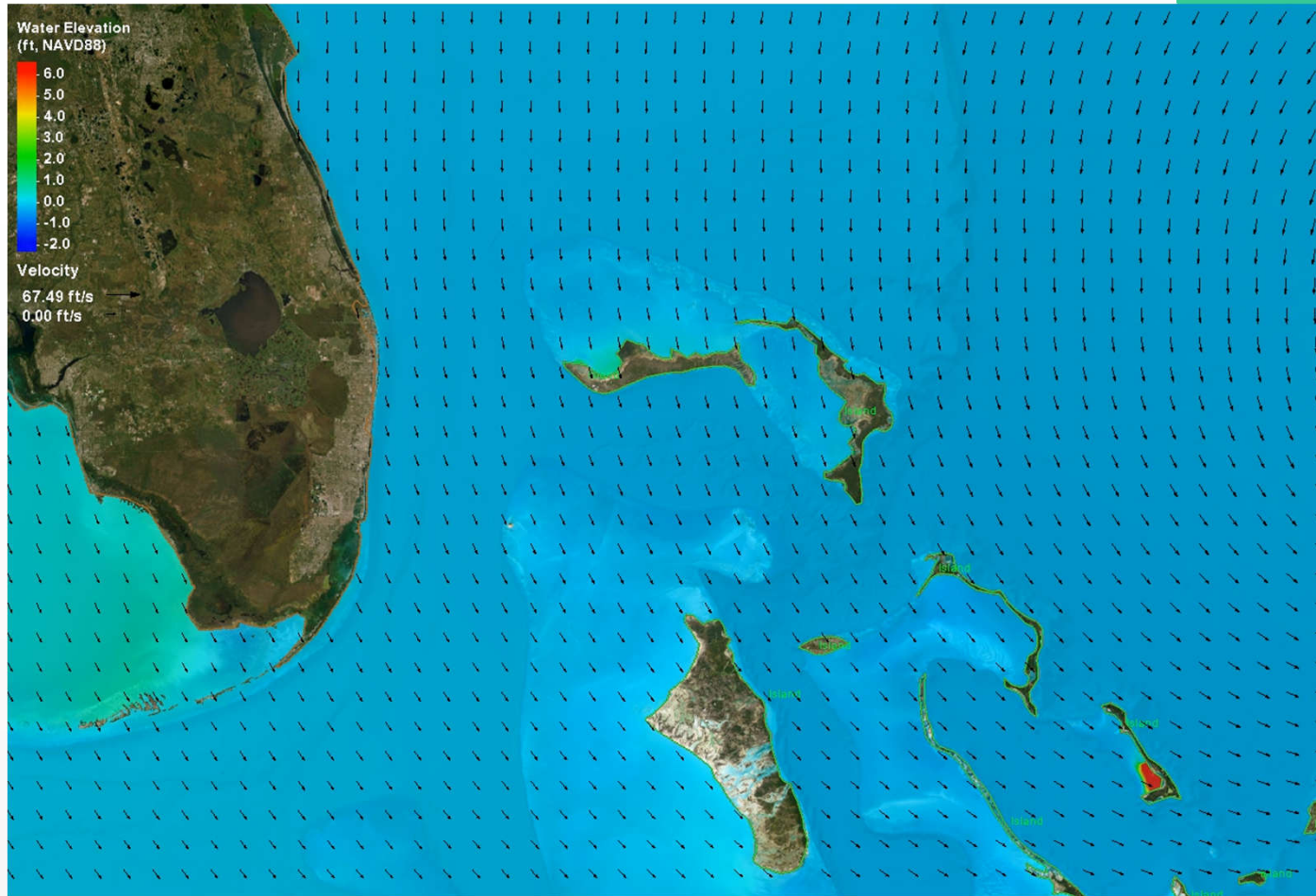


Type	HSI	Total number	Probability of occurrence	Subsampled number for model simulations
1	N/A	2,607	51.7%	0
2	≤ 2	2,142	42.5%	197
3	2 – 4	227	4.5%	64
4	≥ 4	64	1.3%	64
Total	N/A	5,040	100.0%	325

Storm Selection:

1. Reviewed a total 5,040 storms.
2. Identified 2,433 storms impacting Town of Palm Beach.
3. Further categorized by strength using the Hurricane Surge Index (HSI).
4. A subset of 325 storms from various HSI categories selected for model simulations.

Storm Animation



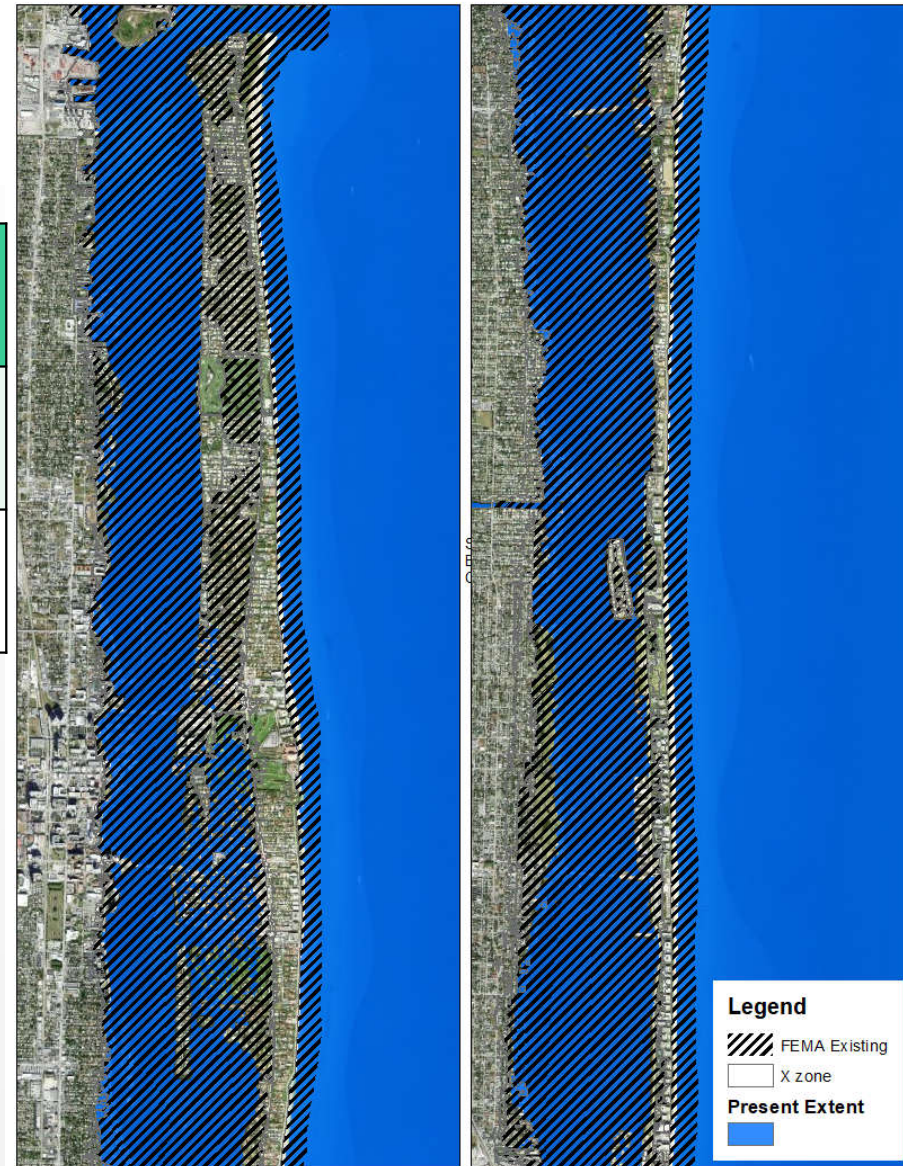
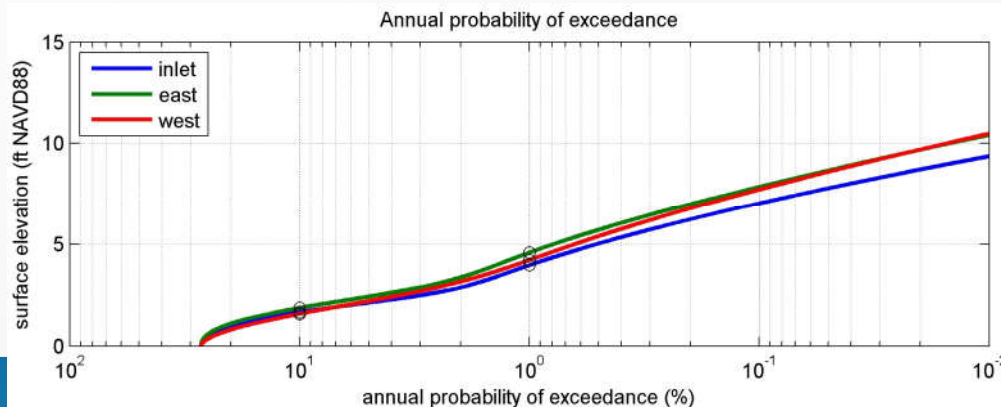
Strong hurricane
visualization

1% Extent vs Effective FEMA Special Flood Hazard Area (SFHA)

Stillwater elevations ft NAVD88

	Lake Worth	Atlantic Ocean
FEMA	5.4-5.8	7.2-7.4*
PB-FRM	4.2 (~4-4.5)	4.6 (~4.5-5.5)

*Includes 2 ft of wave setup

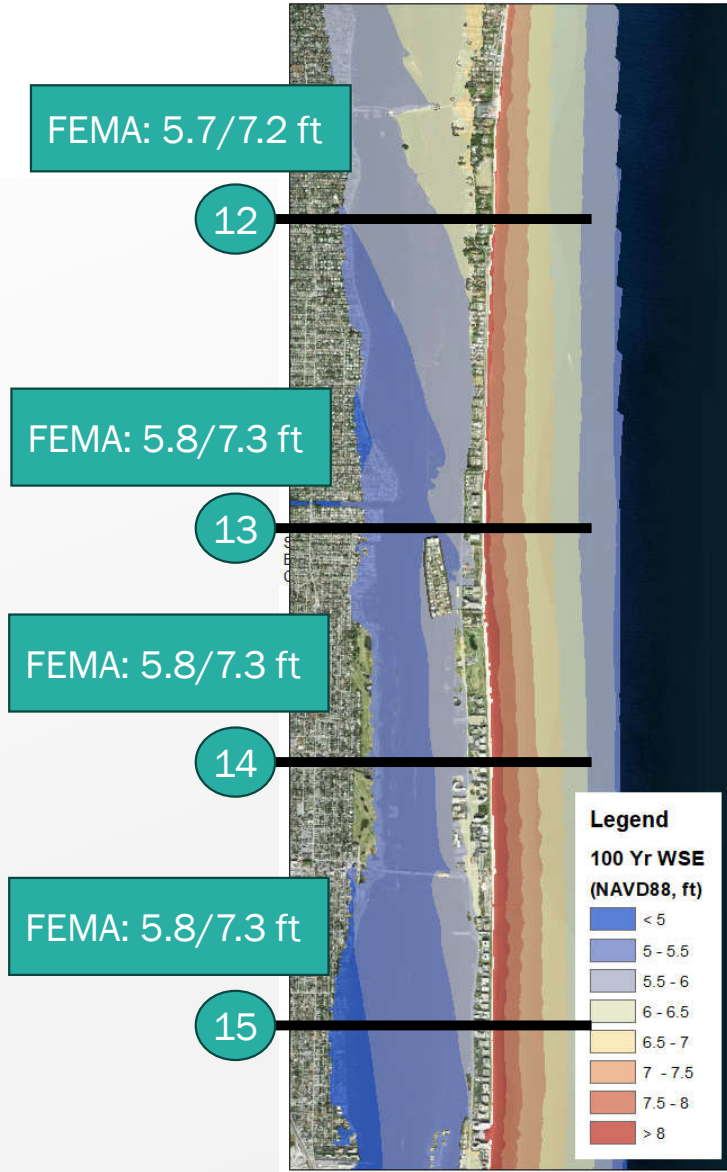
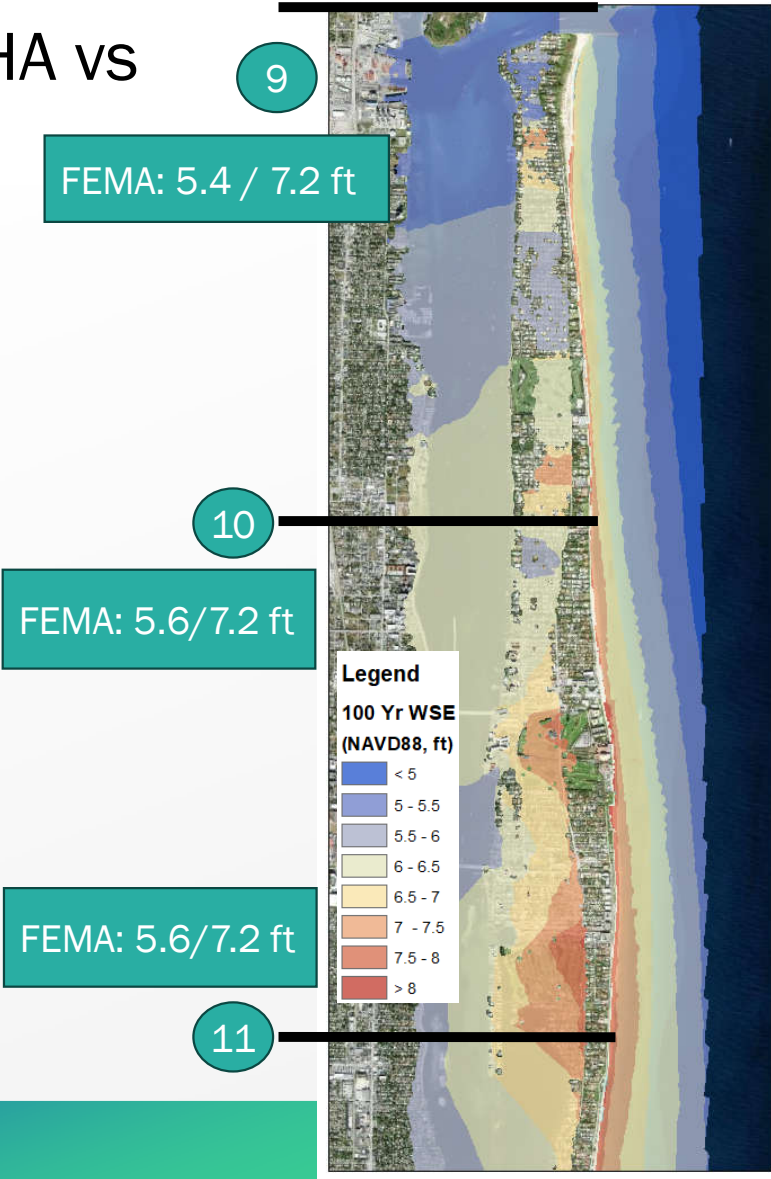


Effective FEMA SFHA vs 1% Storm Event

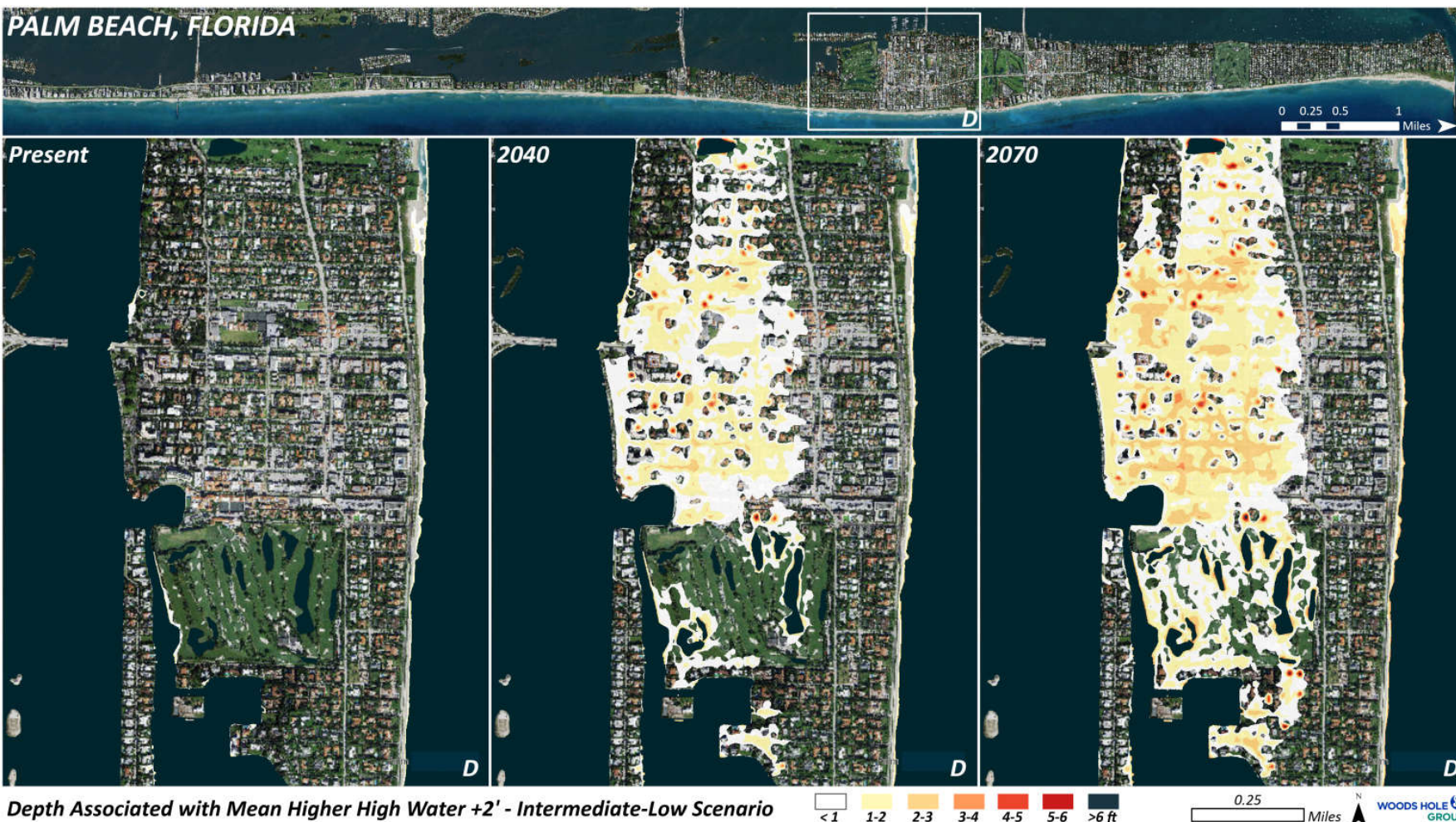
Two storms chosen to match
FEMA: Lake Worth; and the
Atlantic Ocean.

Storms compare well with extent
of flooding and elevations.

Used with SLR scenarios to
comply with Resilient FL.



Simulation Results - Depth Maps



MHHW +2'

Intermediate-Low

Simulation Results - Depth Maps

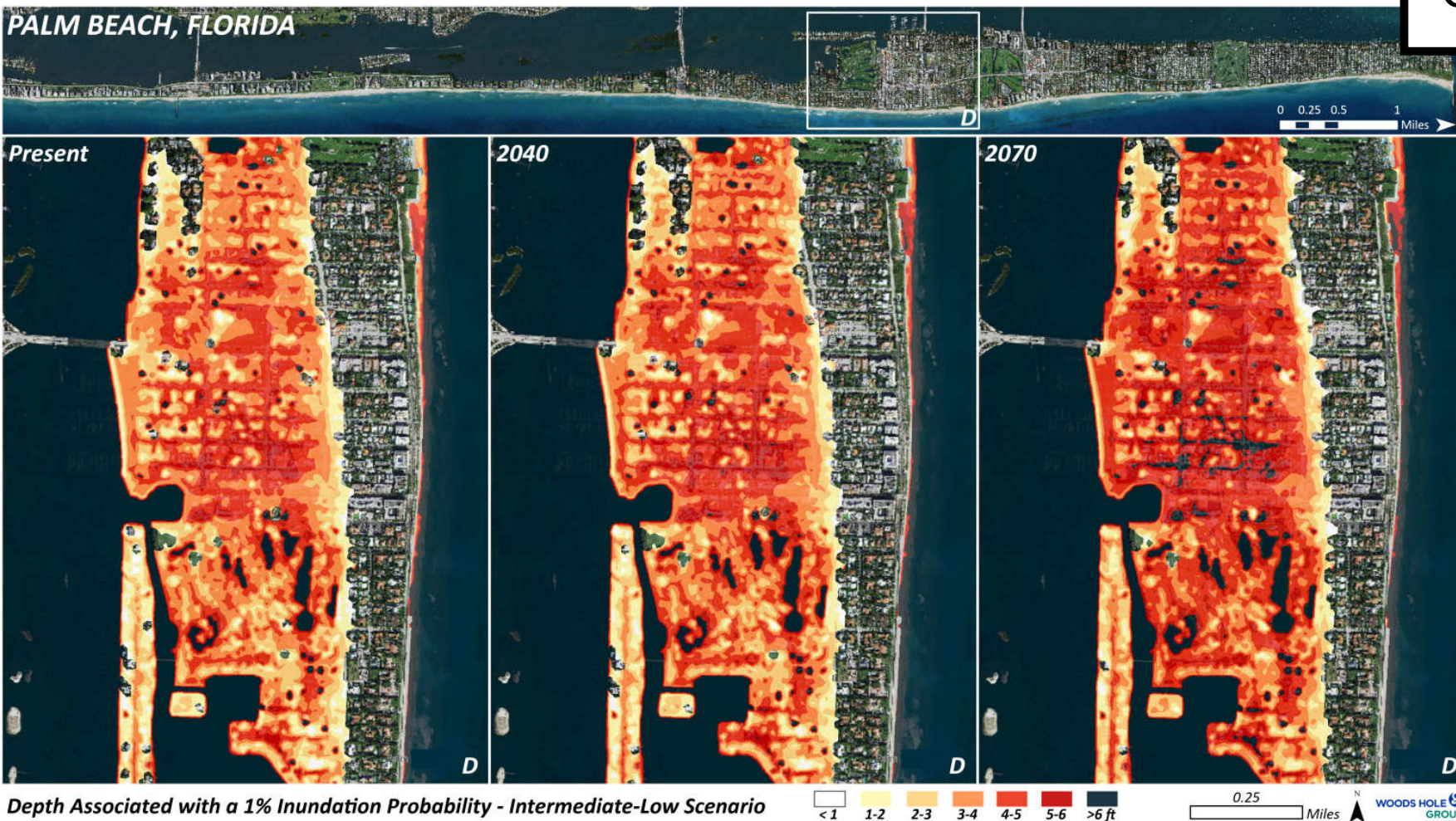


10-Year
Storm

Intermediate-Low

Simulation Results - Depth Maps

Input or
Questions?



100-Year
Storm

Intermediate-Low

Emphasizes
benefits of
limestone ridge
and Coastal
Program

WOODS HOLE
GROUP
A CLS COMPANY

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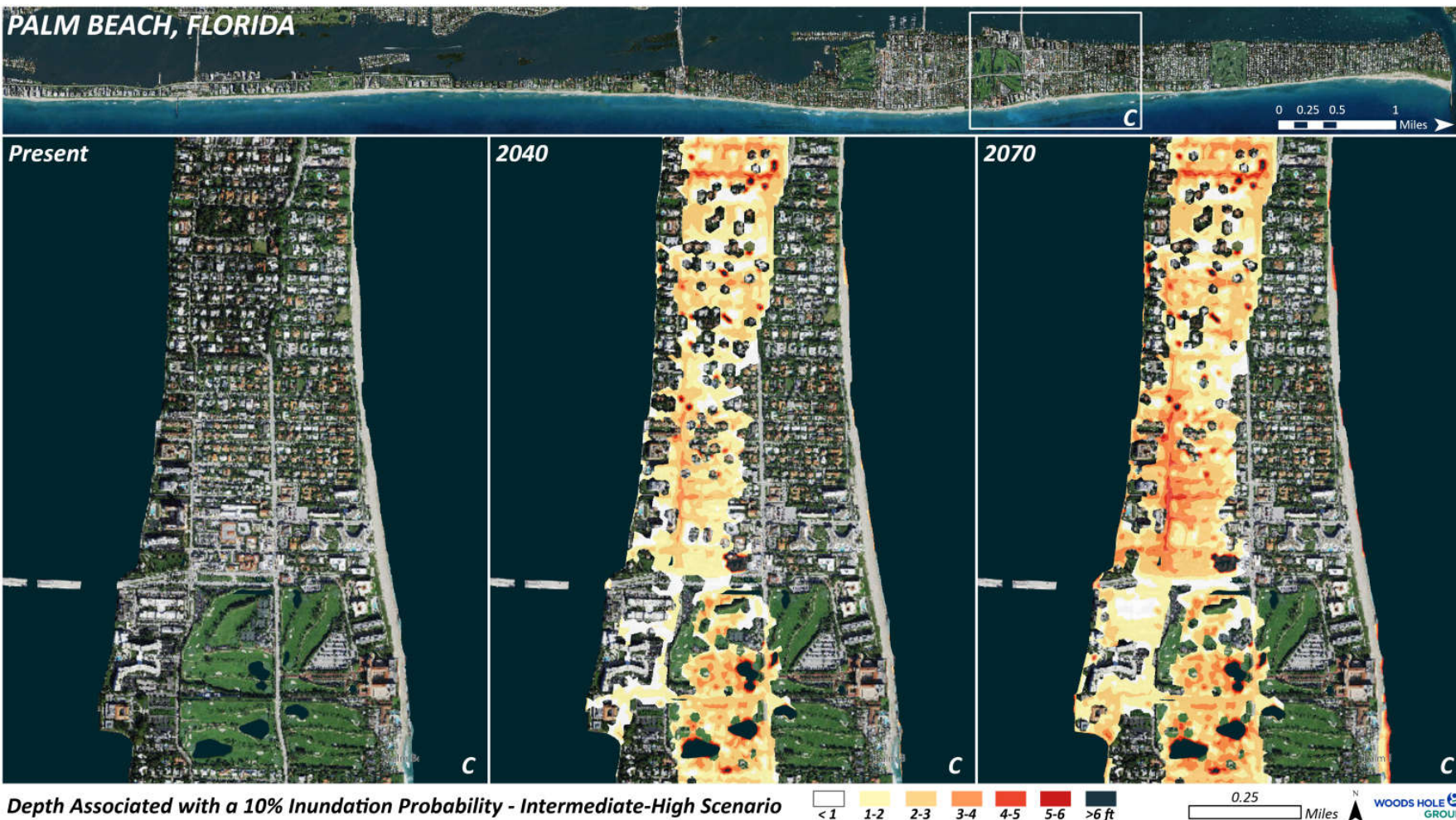
Simulation Results - Depth Maps



MHHW +2'

Intermediate-High

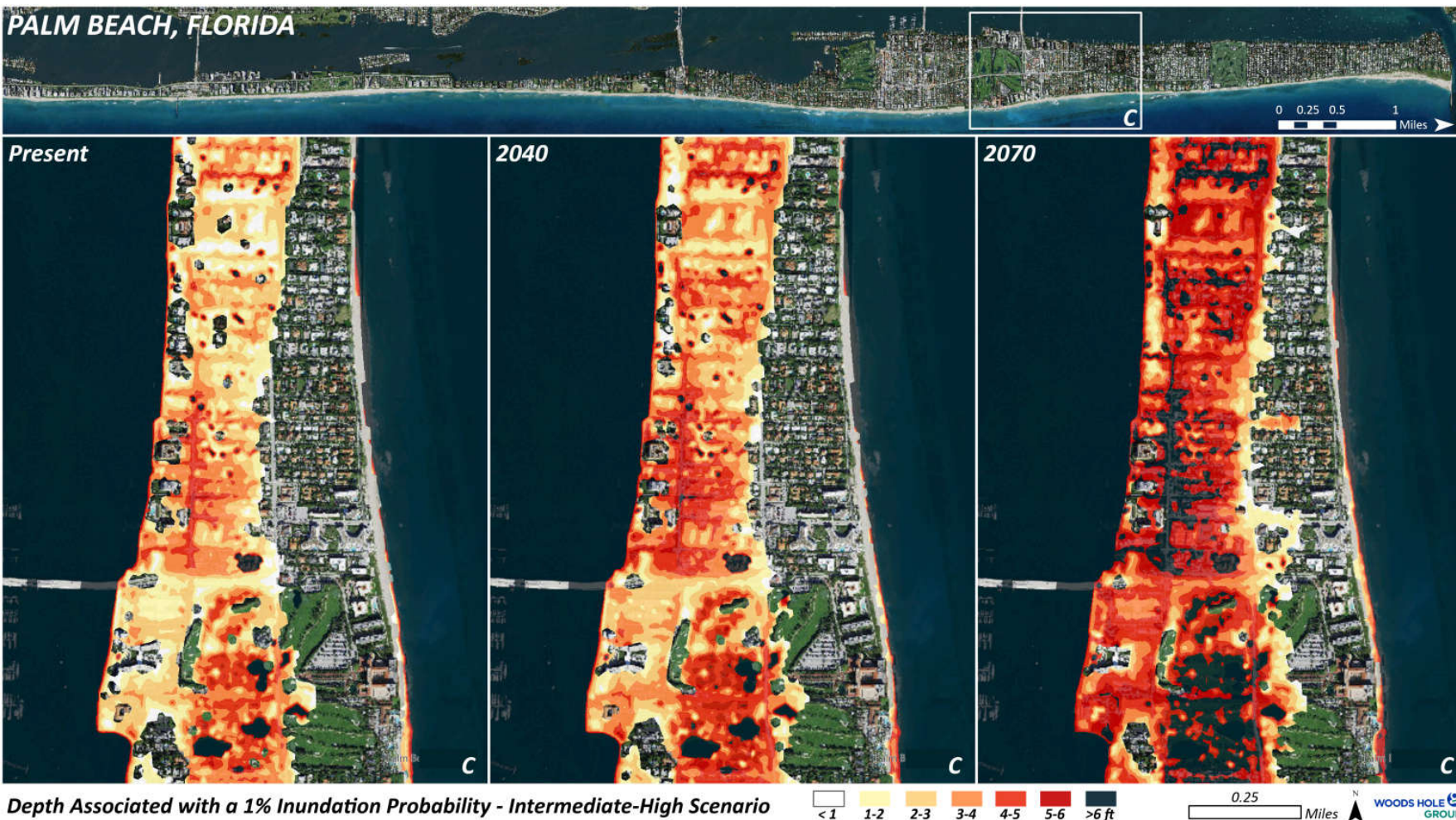
Simulation Results - Depth Maps



10-Year
Storm

Intermediate-
High

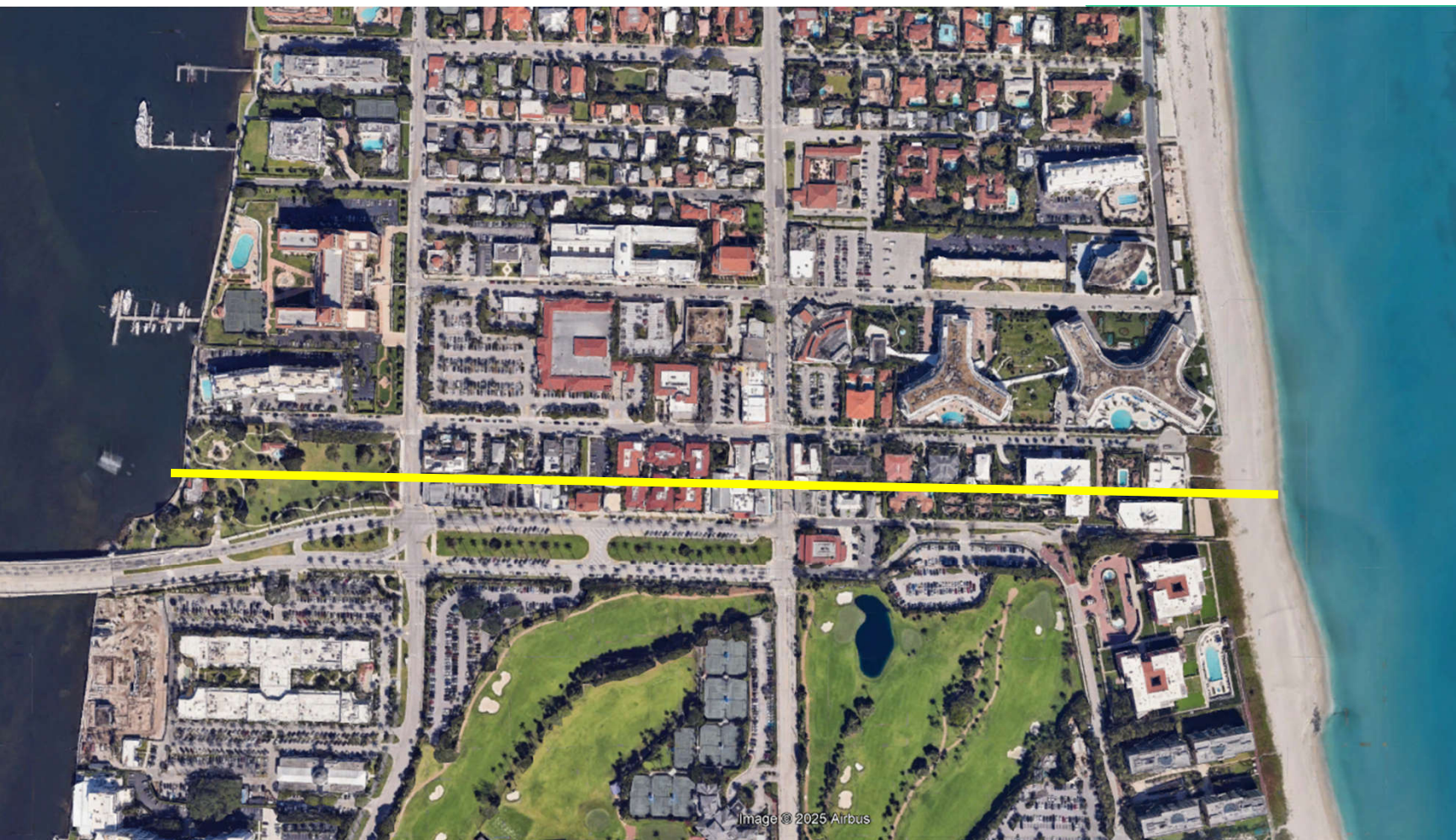
Simulation Results - Depth Maps



100-Year
Storm

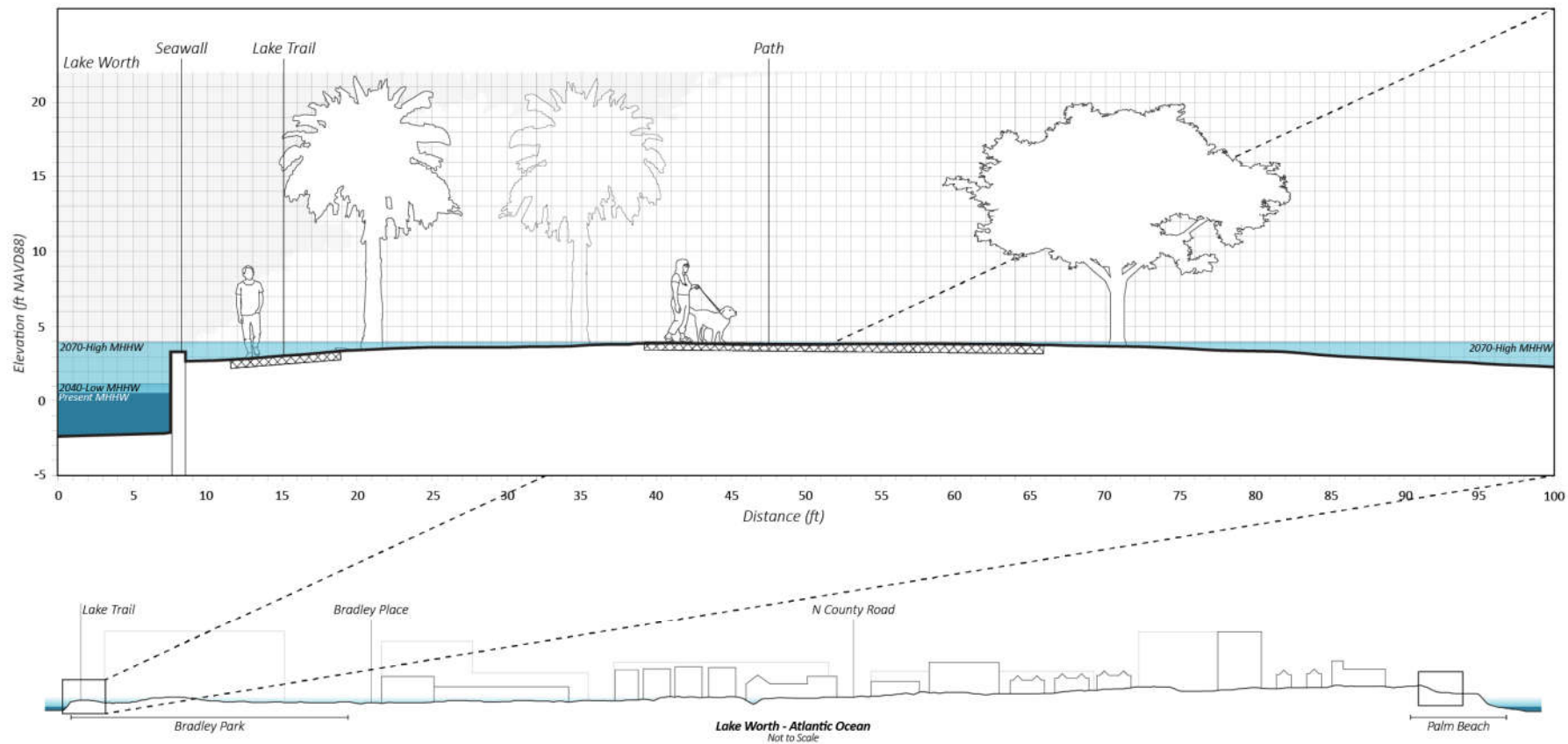
Intermediate-
High

Visualizing Flooding



Cross Section
Location

Visualizing Flooding – Bradley Park

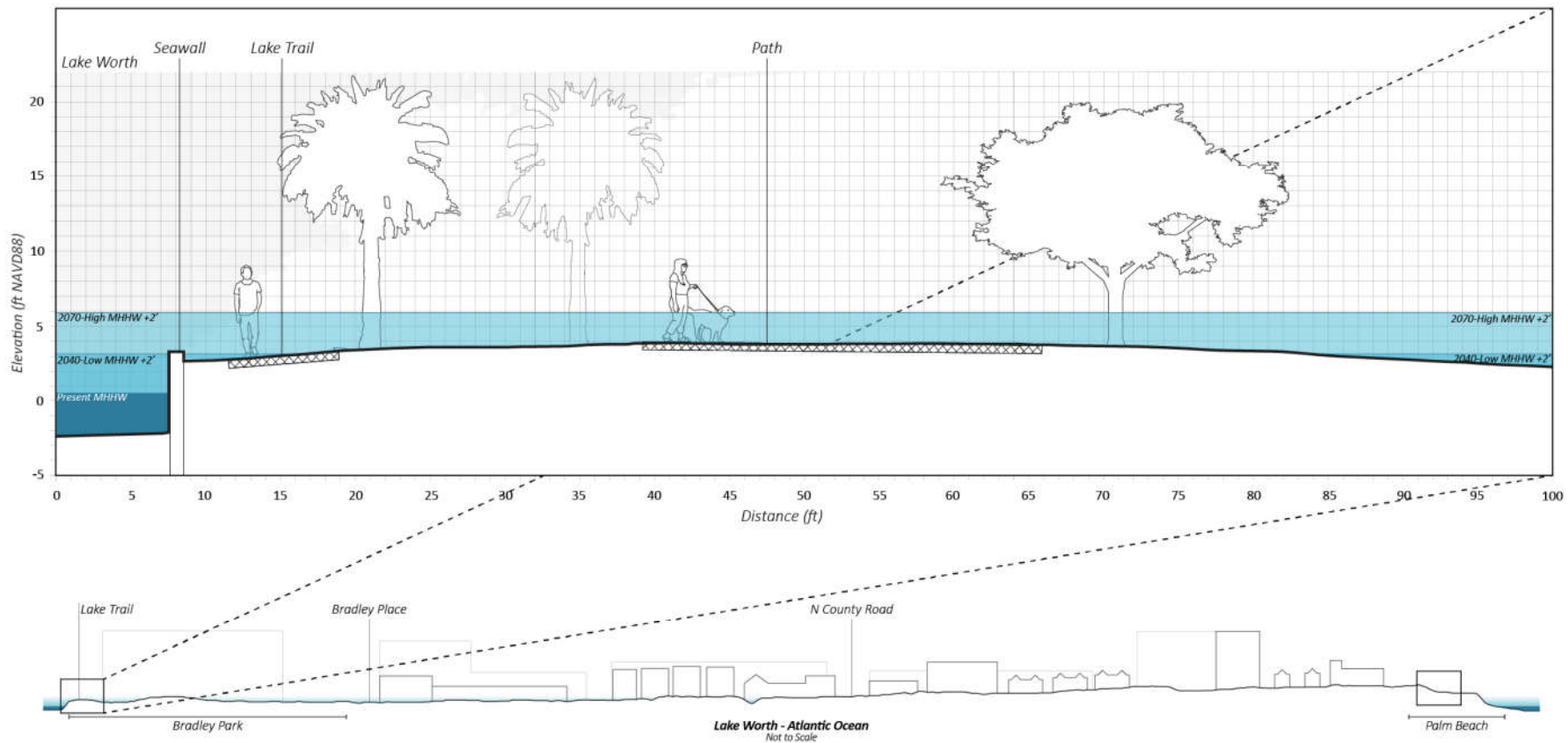


Bradley Park
Palm Beach, Florida

Mean
Higher
High
Water

2040-low
and 2070-
high

Visualizing Flooding – Bradley Park

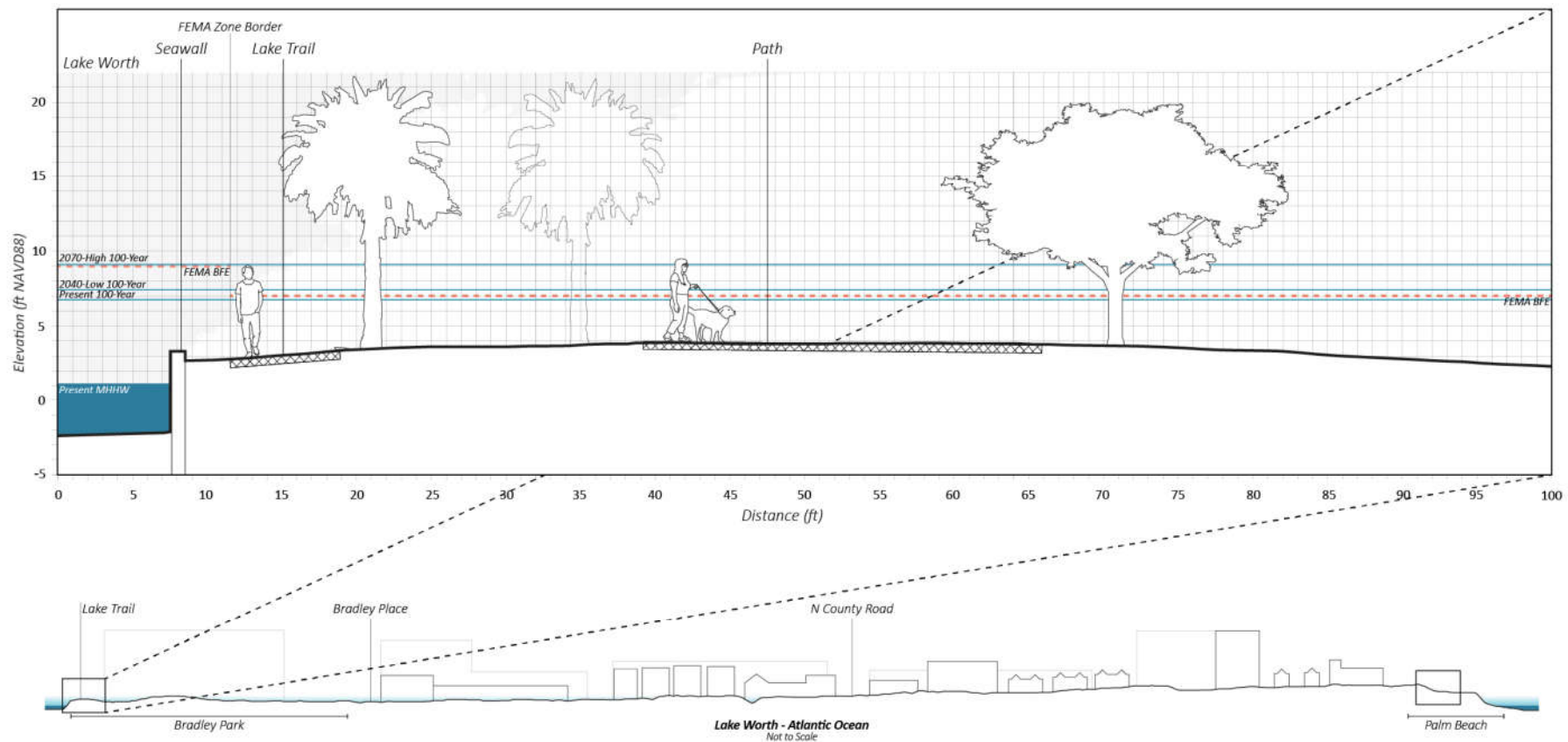


Bradley Park
Palm Beach, Florida

Mean
Higher
High
Water
+2 ft

2040-low
and 2070-
high

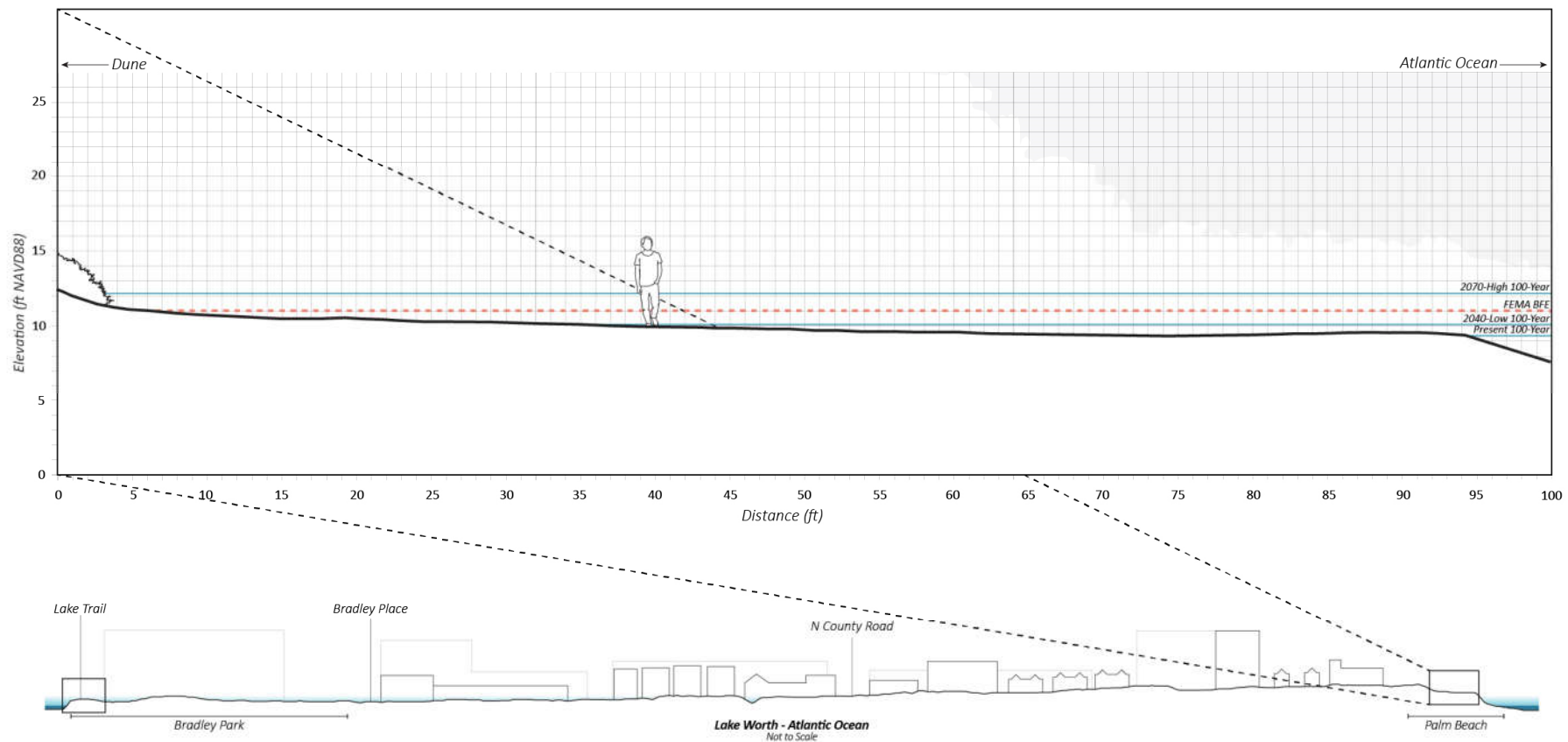
Visualizing Flooding – Bradley Park



100-year
storm

2040-low
and 2070-
high

Visualizing Flooding – Palm Beach



100-year
storm

2040-low
and 2070-
high

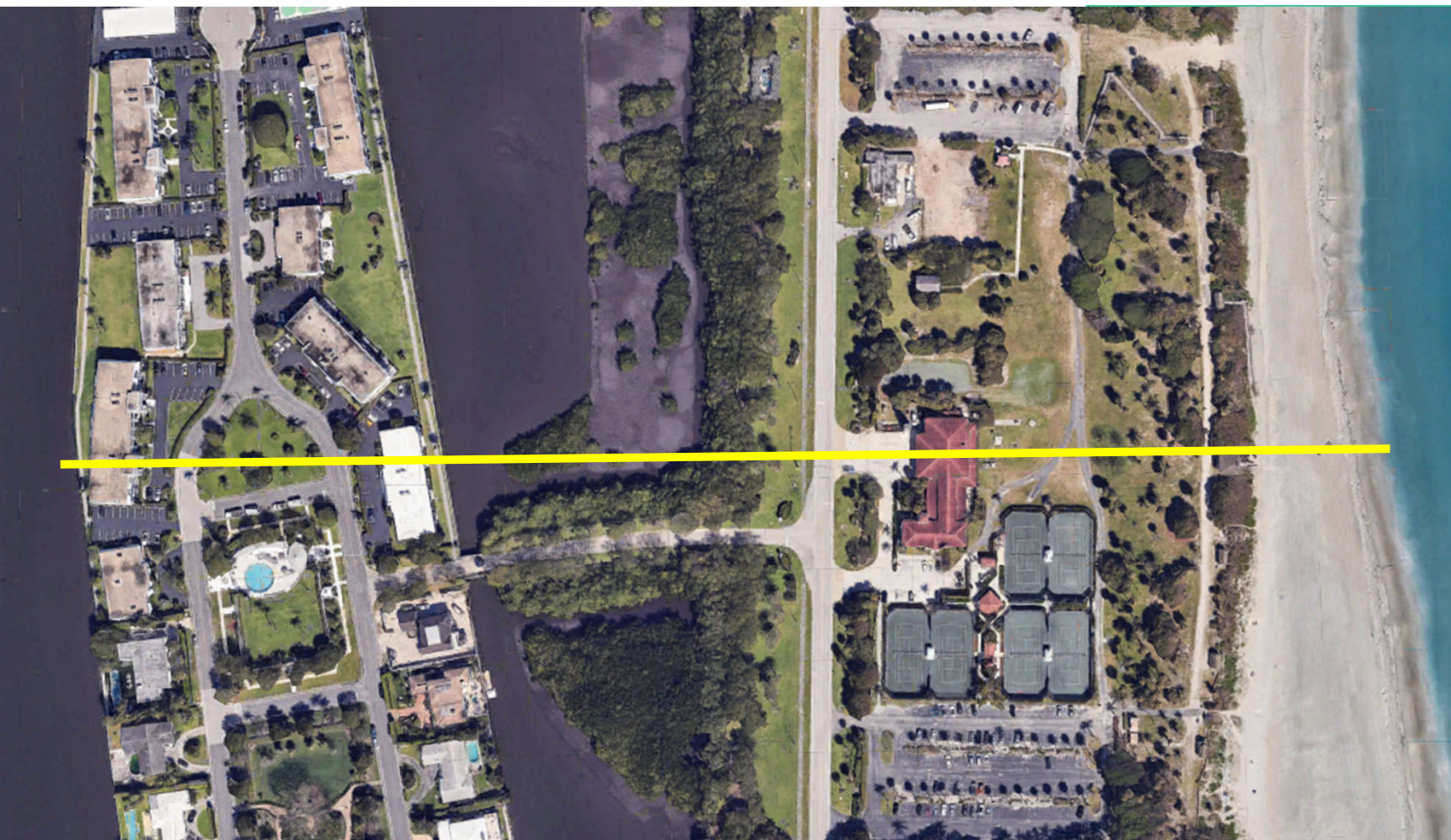
Palm Beach
Palm Beach, Florida

WOODS HOLE
GROUP

WOODS HOLE
GROUP
A CLS COMPANY

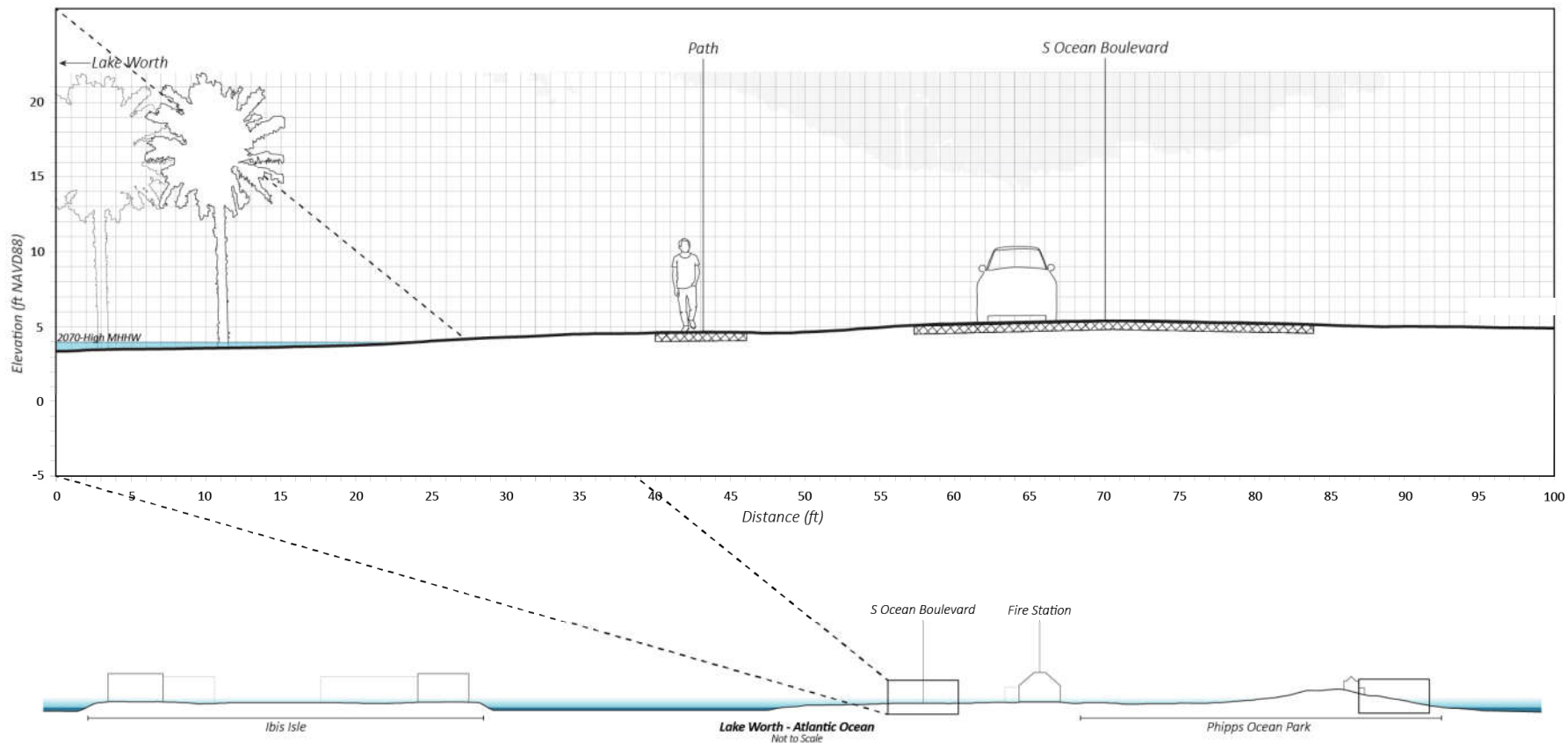
28

Visualizing Flooding



Cross Section
Location

Visualizing Flooding – Phipps Ocean Park



Phipps Ocean Park
Palm Beach, Florida

WOODS HOLE
GROUP

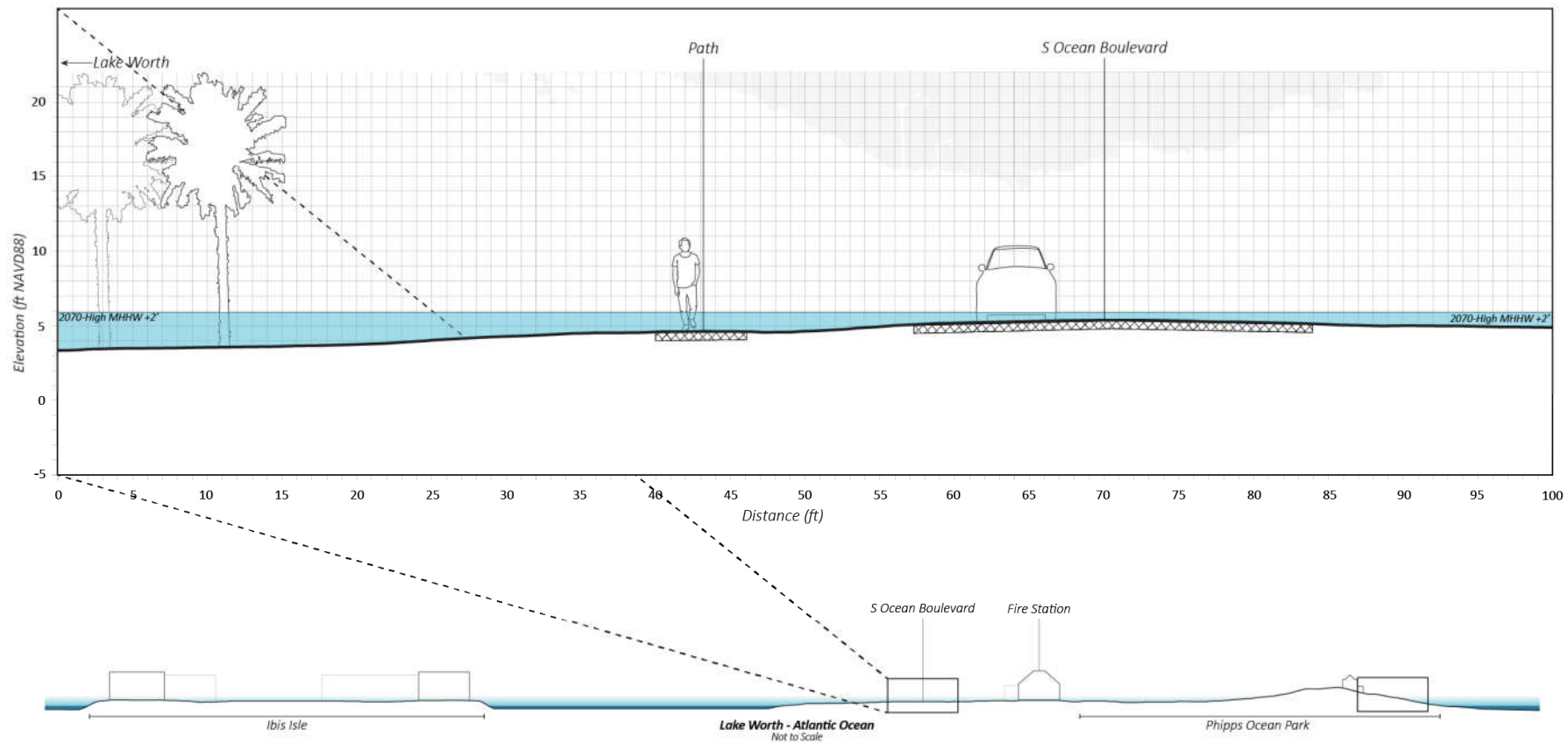
WOODS HOLE
GROUP
A CLS COMPANY

30

Mean
Higher
High
Water

2070-high

Visualizing Flooding – Phipps Ocean Park



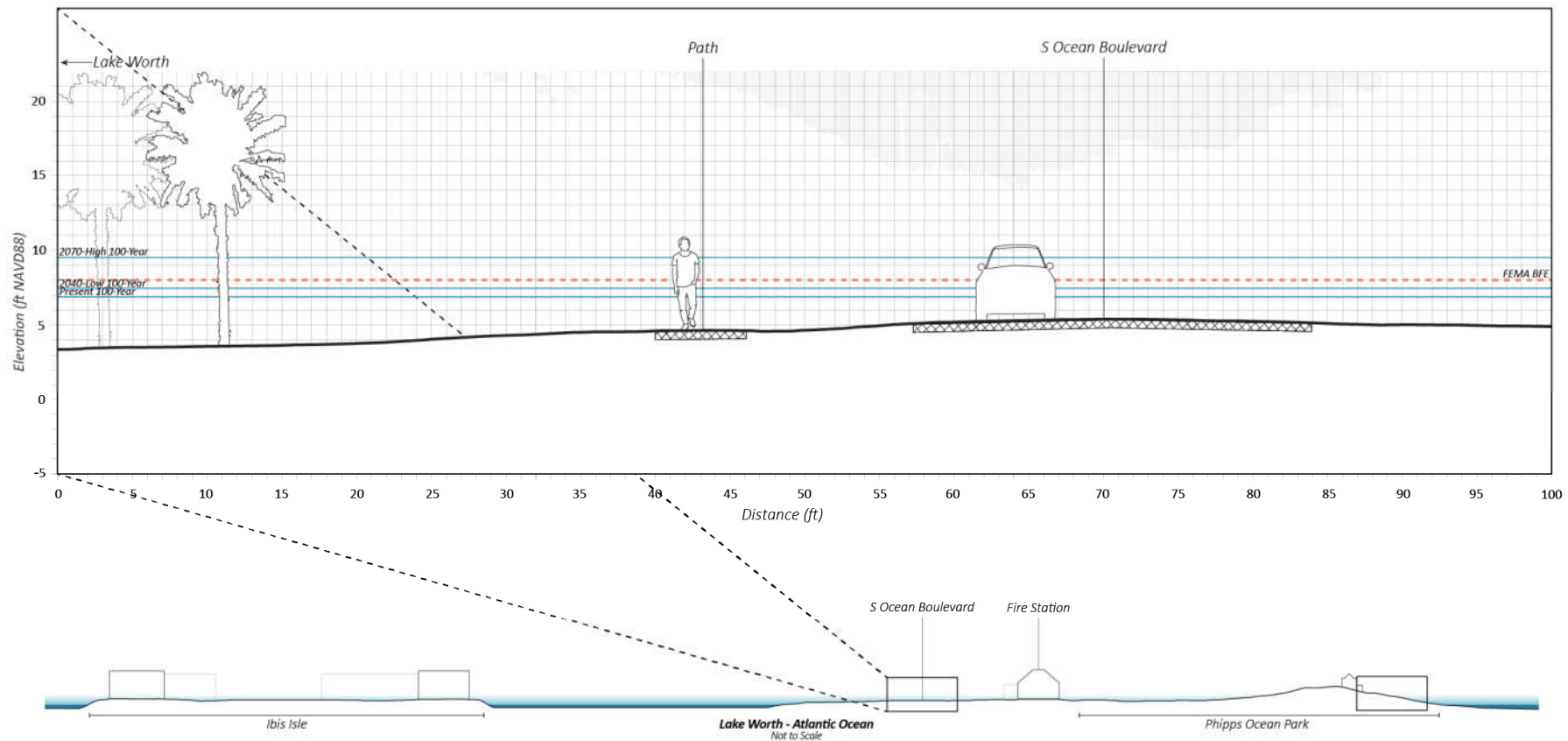
Phipps Ocean Park
Palm Beach, Florida

WOODS HOLE GROUP
A CSES COMPANY

Mean
Higher
High
Water
+2 ft

2070-high

Visualizing Flooding – Phipps Ocean Park



100-year
storm

2040-low
and 2070-
high

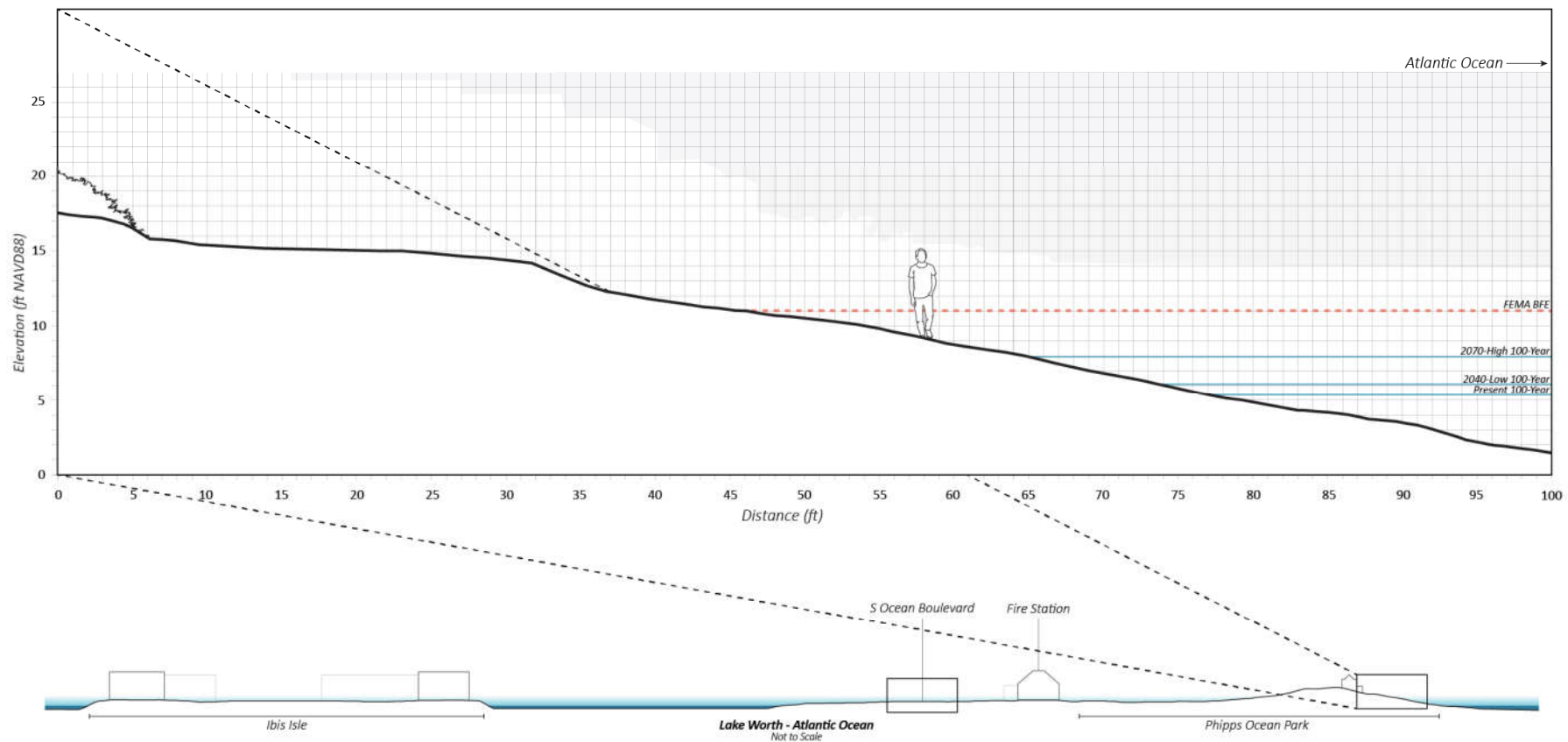
Phipps Ocean Park
Palm Beach, Florida

WOODS HOLE
GROUP

WOODS HOLE
GROUP
A CLS COMPANY

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Visualizing Flooding – Phipps Ocean Park



100-year
storm

2040-low
and 2070-
high

Phipps Ocean Park
Palm Beach, Florida

WOODS HOLE
GROUP

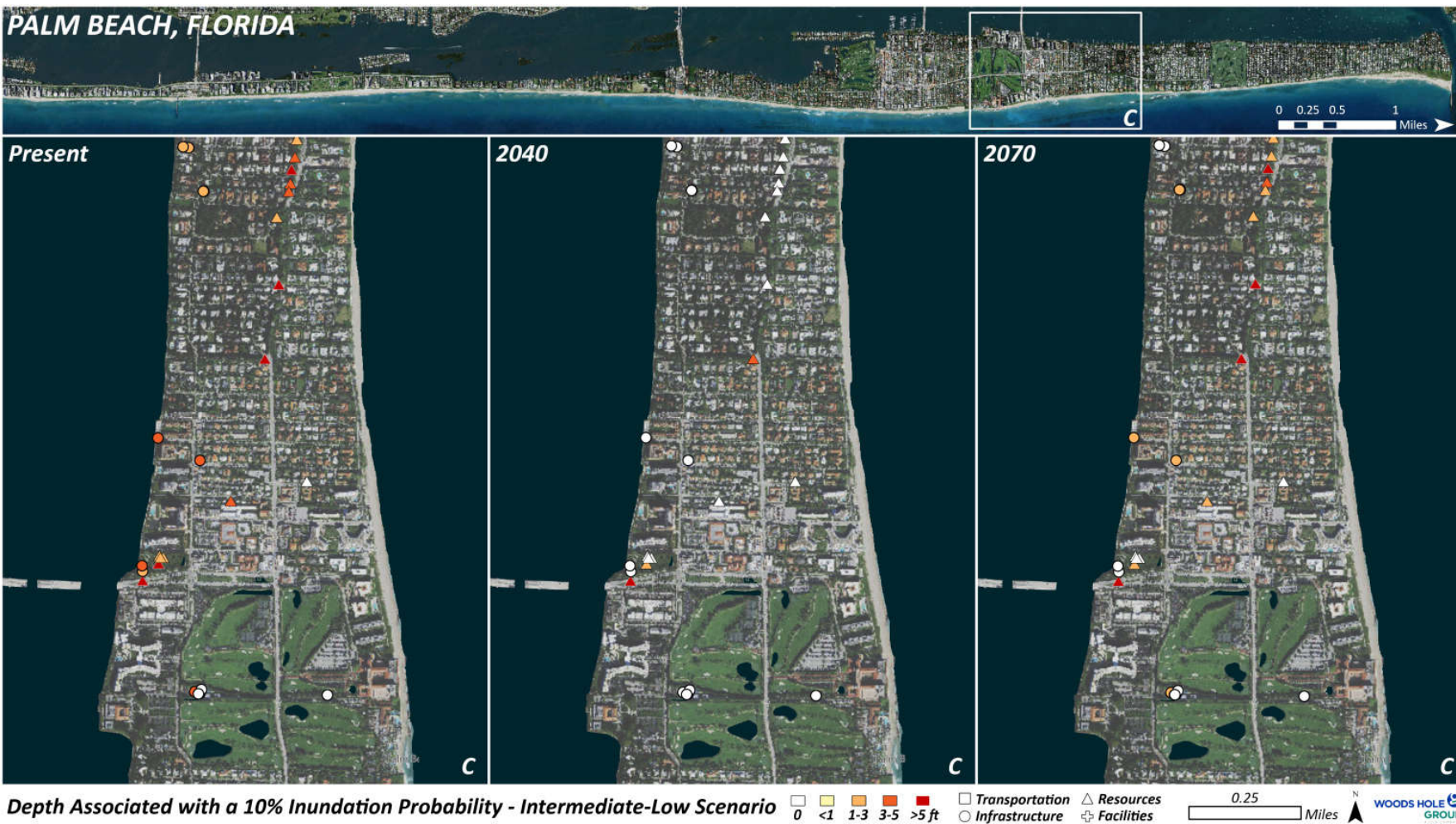
WOODS HOLE
GROUP
A CLS COMPANY

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Critical & Regionally Significant* Assets – Initial Asset Inventory

Asset Class	Asset Type	Number of Assets per Asset Type	Number of Assets per Asset Class	Total Number of Assets in Inventory
Transportation and Evacuation Routes	Bridges*	7	623	830
	Major Roadways* (individual segments)	611		
	Marinas Structures	3		
	Ports and Waterways*	2		
Critical Infrastructure	Drinking Water Facilities*	2	78	
	Solid and Hazardous Waste Facilities	1		
	Solid and Hazardous Wase Facilities- Structures	3		
	Stormwater Treatment Facilities and Pump Stations*	23		
	Wastewater Treatment Facilities and Lift Stations*	49		
Critical Community and Emergency Facilities	Emergency Medical Services*	3	11	
	Emergency Operations Centers*	1		
	Fire Stations	3		
	Law Enforcement Facilities	1		
	Local Government Facilities	1		
	Community Centers	1		
	Schools*	1		
Natural Cultural and Historical Resources	Historical and Cultural Assets- Resources	13	118	
	Historical and Cultural Assets- Structures	12		
	Parks	18		
	Parks- Structures	25		
	Shorelines	47		
	Wetlands	3		

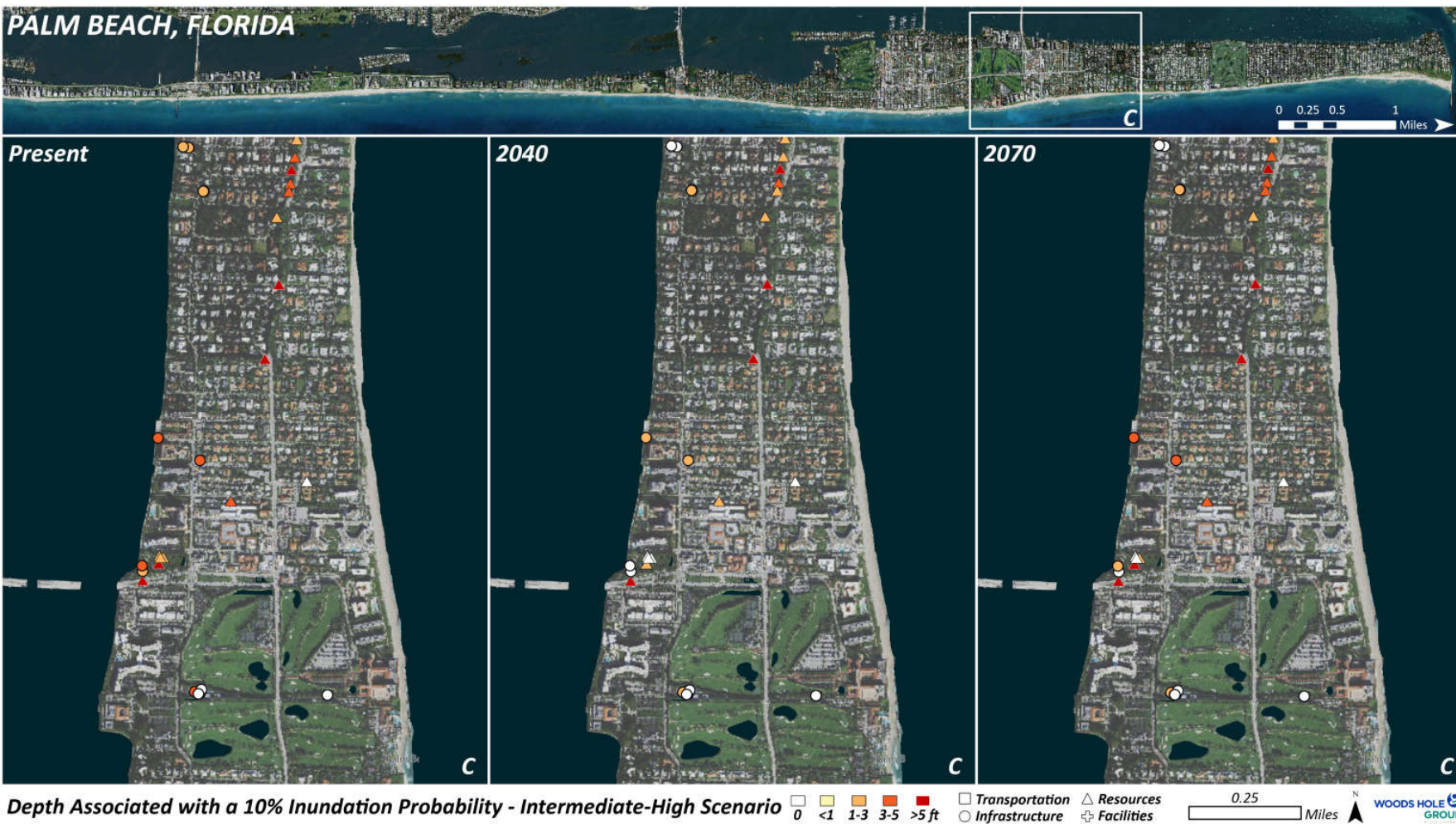
Asset Vulnerability – Depth of Flooding



10-Year
Storm

Intermediate-
Low

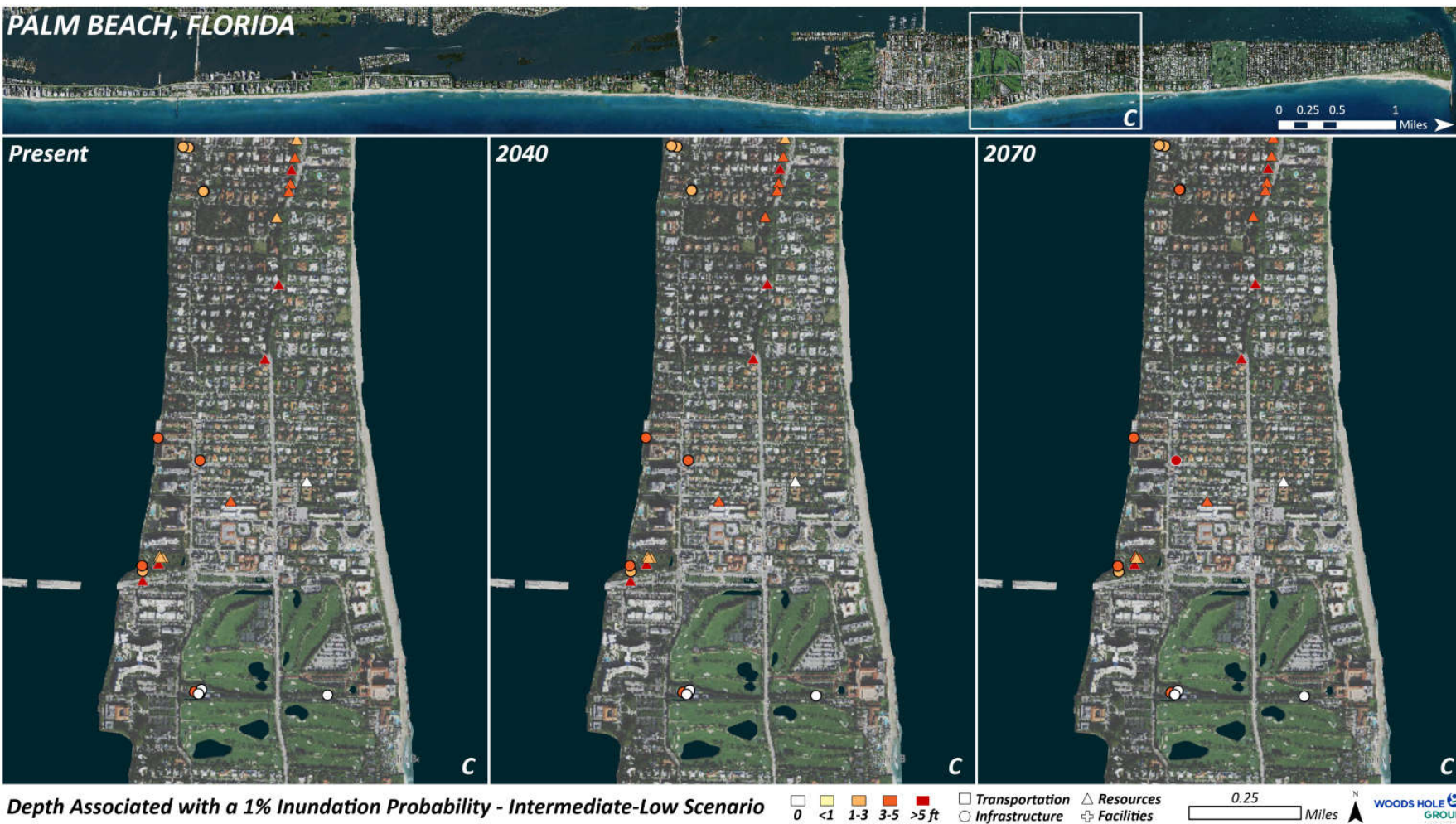
Asset Vulnerability – Depth of Flooding



10-Year Storm

Intermediate-High

Asset Vulnerability – Depth of Flooding



100-Year
Storm

Intermediate-
Low

Asset Vulnerability – Depth of Flooding



100-Year
Storm

Intermediate-
High

Asset sensitivity to flooding

Asset Class	All Assets Count	MHHW + 2'					10-Year					100-Year				
		Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
			2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Critical Community and Emergency Facilities	11	0%	18%	27%	18%	91%	0%	0%	45%	45%	45%	82%	82%	82%	100%	100%
ritical Infrastructure	78	4%	21%	36%	35%	87%	1%	1%	22%	23%	56%	76%	77%	79%	82%	90%
Natural, Cultural, and Historical Resources	118	27%	42%	56%	53%	81%	18%	19%	44%	47%	69%	73%	77%	80%	80%	84%
Trasnportation and Evacuation Routes	623	5%	23%	34%	30%	77%	3%	4%	38%	39%	70%	75%	77%	81%	82%	87%
Grand Total	830	8%	26%	37%	34%	79%	5%	5%	38%	39%	68%	75%	77%	81%	82%	87%

Representative Assets and Potential Depth of Flooding

Asset Name	Asset Type	MHHW + 2'					10-Year					100-Year				
		Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
			2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Mid-Town Municipal Beach	Parks	5.9	6.6	7.3	7.1	9.2	6.5	6.7	7.3	7.4	9.2	10.9	10.9	11.5	11.6	13.3
Phipps Ocean Park Natural Shoreline	Shorelines	4.1	4.7	5.5	5.3	7.6	4.9	5.2	5.7	5.9	7.7	7.2	7.6	8.0	8.2	10.3
Ocean Blvd Dock Area	Historical and Cultural Assets-Structures	3.8	4.5	5.2	5.0	7.1	0.0	0.0	0.0	0.4	7.5	7.4	7.6	8.2	8.3	10.3
El Brillo Way ICWW Seawall	Shorelines	2.0	2.6	3.4	3.2	5.3	0.0	0.0	0.0	0.0	5.2	6.6	6.8	7.3	7.5	9.3
Palm Beach Inlet Seawall	Shorelines	3.7	4.4	5.1	4.9	7.0	0.0	0.0	0.0	0.0	6.6	6.5	6.7	7.2	7.3	9.3
Ibis Isle	Historical and Cultural Assets- Resources	1.2	1.8	2.6	2.4	6.4	2.1	2.3	2.8	2.8	4.8	4.2	4.7	5.1	5.3	9.1
D-18 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	1.2	1.8	2.6	2.4	4.4	0.0	0.0	0.0	0.0	4.4	5.7	6.0	6.5	6.7	8.5
Palm Beach CC ICWW Seawall	Shorelines	2.4	3.0	3.8	3.6	5.6	2.7	2.8	3.4	3.5	5.3	5.8	6.0	6.4	6.6	8.3
E-13 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	2.7	2.5	4.6	0.0	0.0	0.0	0.0	4.7	5.4	5.6	6.2	6.3	8.3
Clarendon Ave ICWW Seawall	Shorelines	0.0	0.0	2.8	2.6	4.7	0.0	0.0	0.0	0.0	4.7	5.3	5.6	6.1	6.3	8.3
Seaview Park	Parks	0.0	2.1	2.8	2.6	4.7	0.0	0.0	3.0	2.9	4.6	5.3	5.6	6.1	6.3	8.2
Bradley Park	Historical and Cultural Assets- Resources	2.1	2.8	3.6	3.3	5.4	1.4	1.5	2.7	2.6	5.2	5.9	6.1	6.5	6.8	8.2
E-11 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	1.4	2.1	1.9	4.0	0.0	0.0	0.0	0.0	4.0	5.4	5.6	6.1	6.3	8.1
Par 3 ICWW Seawall	Shorelines	1.8	2.4	3.2	3.0	5.2	0.0	0.0	0.0	0.0	5.3	5.0	5.4	5.9	6.1	8.1
Phipps Ocean Park ICWW Seawall	Shorelines	1.8	2.4	3.2	3.0	5.2	2.8	2.9	3.4	3.6	5.4	4.9	5.3	5.7	5.9	8.0

* Not including: Major Roads, Port/Waterways, Bridges, Wetlands

Representative Assets and Potential Depth of Flooding

Asset Name	Asset Type	MHHW + 2'					10-Year					100-Year				
		Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
			2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
D-14 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.6	1.2	2.0	1.8	3.9	1.0	1.2	1.7	1.9	3.6	3.9	4.1	4.7	4.9	7.0
D-12 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.0	1.3	2.1	1.9	3.9	0.0	0.0	3.0	2.9	3.9	4.6	4.8	5.2	5.3	6.9
Country Club Road ICWW Seawall	Shorelines	0.9	1.6	2.3	2.1	4.2	1.3	1.3	1.9	2.1	3.9	4.4	4.5	5.0	5.1	6.9
D-07 Fuel Tank	Stormwater Treatment Facilities and Pump Stations	0.0	0.8	1.6	1.4	3.5	0.0	0.0	1.0	1.1	3.2	3.8	4.0	4.7	4.9	6.9
Phipps Plaza Fountain	Parks_Structures	0.0	0.4	1.1	0.9	3.0	0.0	0.0	1.9	1.9	3.2	4.1	4.4	4.9	5.0	6.8
Seaview Park Recreation Center	Community Centers	0.0	0.7	1.5	1.3	3.3	0.0	0.0	1.5	1.6	3.2	4.0	4.2	4.8	5.0	6.8
Seaview Park Recreation Center	Parks_Structures	0.0	0.7	1.5	1.3	3.3	0.0	0.0	1.5	1.6	3.2	4.0	4.2	4.8	5.0	6.8
S Lake Trail ICWW Seawall	Shorelines	0.5	1.1	1.9	1.7	3.7	0.9	1.0	1.6	1.7	3.5	3.8	4.0	4.6	4.8	6.8
D-07 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.0	0.7	1.5	1.3	3.4	0.0	0.0	0.0	0.0	0.0	3.7	4.0	4.6	4.8	6.8
E-15 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.1	0.7	1.5	1.3	3.3	0.0	0.0	0.0	0.0	3.3	3.8	4.0	4.6	4.7	6.7
Worth Associates Building	Historical and Cultural Assets- Resources	0.0	0.1	0.8	0.6	2.7	0.0	0.0	1.1	1.3	2.7	4.0	4.2	4.7	4.9	6.6
D-16 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.0	0.0	0.6	0.4	2.5	0.0	0.0	0.0	0.0	2.4	3.7	3.9	4.5	4.6	6.5
E-16 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.4	1.2	0.9	3.0	0.0	0.0	1.2	1.3	3.1	3.5	3.7	4.3	4.5	6.5
E-12 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.7	0.5	2.5	0.0	0.0	0.0	0.0	2.7	3.6	3.8	4.4	4.5	6.5
Bradley Park ICWW Seawall	Shorelines	0.4	1.1	1.8	1.6	3.7	0.8	1.0	1.5	1.7	3.4	4.2	4.4	4.8	5.1	6.4

* Not including: Major Roads, Port/Waterways, Bridges, Wetlands

Representative Assets and Potential Depth of Flooding

Asset Name	Asset Type	MHHW + 2'					10-Year					100-Year				
		Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
			2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Bradley Park Restrooms	Parks_Structures	0.0	0.0	0.3	0.1	2.2	0.0	0.0	0.0	0.0	2.0	2.7	2.9	3.3	3.4	5.0
N Lake Trail ICWW Seawall	Shorelines	0.0	0.0	0.6	0.4	2.5	0.0	0.0	0.0	0.4	2.1	2.3	2.5	2.9	3.1	5.0
D-06 Controls	Stormwater Treatment Facilities and Pump Stations	0.0	0.0	0.1	0.0	1.7	0.0	0.0	0.0	0.0	0.0	1.9	2.1	2.8	3.0	5.0
D-09 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.0	0.0	0.0	0.0	2.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.9	3.0	4.9
Memorial (Reflecting) Fountain	Parks_Structures	0.0	0.0	0.0	0.0	0.9	0.0	0.0	0.0	0.0	1.1	2.3	2.5	3.0	3.2	4.9
Bradley Park Tea Room	Historical and Cultural Assets-Structures	0.0	0.0	0.3	0.1	2.2	0.0	0.0	0.0	0.0	0.0	2.6	2.8	3.2	3.3	4.9
Bradley Park Tea Room	Parks_Structures	0.0	0.0	0.3	0.1	2.2	0.0	0.0	0.0	0.0	0.0	2.6	2.8	3.2	3.3	4.9
E-22 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	1.7	0.0	0.0	0.0	0.0	1.8	2.0	2.2	2.8	2.9	4.9
Town Marina ICWW Seawall	Shorelines	0.0	0.0	0.0	0.0	1.8	0.0	0.0	0.0	0.0	1.5	1.8	2.0	2.7	2.9	4.9
N Lake Trail ICWW Seawall	Shorelines	0.0	0.0	0.3	0.1	2.1	0.0	0.0	0.0	0.0	1.9	2.7	2.9	3.3	3.5	4.9
D-02 Stormwater Pump Station	Stormwater Treatment Facilities and Pump Stations	0.0	0.0	0.0	0.0	2.3	0.0	0.0	0.0	0.0	2.6	2.6	2.8	3.4	3.5	4.8
N Lake Trail ICWW Seawall	Shorelines	0.0	0.0	0.3	0.0	2.1	0.0	0.0	0.0	0.0	1.8	2.2	2.4	2.8	3.0	4.8
Peruvian Dock House	Marinas_Structures	0.0	0.0	0.0	0.0	1.4	0.0	0.0	0.0	0.0	0.0	1.7	2.0	2.6	2.8	4.8
G-06 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	1.4	0.0	0.0	0.0	0.0	0.0	1.7	2.0	2.6	2.8	4.8
Peruvian Dock House	Parks_Structures	0.0	0.0	0.0	0.0	1.4	0.0	0.0	0.0	0.0	0.0	1.7	2.0	2.6	2.8	4.8

* Not including: Major Roads, Port/Waterways, Bridges, Wetlands

Representative Assets and Potential Depth of Flooding

Asset Name	Asset Type	MHHW + 2'					10-Year					100-Year				
		Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
			2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Fire Station North	Historical and Cultural Assets-Structures	0.0	0.0	0.0	0.0	0.9	0.0	0.0	0.5	0.4	0.9	1.4	1.6	2.1	2.3	4.0
A-05 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	1.2	0.0	0.0	0.0	0.0	0.0	1.7	1.9	2.3	2.6	3.9
Little Red Schoolhouse	Historical and Cultural Assets-Structures	0.0	0.0	0.0	0.0	1.1	0.0	0.0	0.0	0.0	1.3	0.9	1.3	1.7	1.9	3.9
A-43 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	1.2	0.0	0.0	0.0	0.0	1.5	0.0	1.4	2.0	2.1	3.9
N Lake Trail ICWW Seawall	Shorelines	0.0	0.0	0.0	0.0	1.4	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	3.9
Phipps Ocean Park Tennis Storage	Parks_Structures	0.0	0.0	0.0	0.0	0.9	0.0	0.0	0.0	0.0	1.2	0.0	1.0	1.5	1.7	3.8
Phipps North Restroom	Parks_Structures	0.0	0.0	0.0	0.0	0.8	0.0	0.0	0.0	0.0	0.0	0.0	1.2	1.6	1.7	3.7
E-03 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	1.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	1.7	1.8	3.6
Ibis Isle Fountain	Parks_Structures	0.0	0.0	0.0	0.0	0.8	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.5	1.0	3.5
Phipps Ocean Park Tennis Office	Parks_Structures	0.0	0.0	0.0	0.0	0.5	0.0	0.0	0.0	0.0	0.7	0.0	0.7	1.1	1.3	3.3
El Pueblo Way Atlantic Ocean Seawall	Shorelines	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	3.2
Phipps Ocean Park Tennis Pavillion	Parks_Structures	0.0	0.0	0.0	0.0	0.3	0.0	0.0	0.0	0.0	0.5	0.0	0.5	0.9	1.1	3.1
A-42 Lift Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	0.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	1.3	3.1
E-40 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	0.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.8	3.1
E-25 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.4
E-24 Ejector Station	Wastewater Treatment Facilities and Lift Stations	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	1.7
N Lake Trail ICWW Seawall	Shorelines	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	1.7

* Not including: Major Roads, Port/Waterways, Bridges, Wetlands

Representative Assets and Potential Depth of Flooding

Critical Community and Emergency Facilities

Asset Type	Asset Owner	Asset Name	MHHW					10-Year					100-Year				
			Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
				2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Emergency Medical Services	Town of Palm Beach	Palm Beach Fire Rescue 1 and Ambulance Services	0.0	0.0	0.0	0.0	0.2	0.0	0.0	0.0	0.0	0.0	1.7	1.9	2.4	2.5	4.3
Emergency Medical Services	Town of Palm Beach	South Fire Rescue and Ambulance Services	0.0	0.0	0.0	0.0	1.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.0	4.3
Emergency Medical Services	Town of Palm Beach	North Fire Rescue and Ambulance Services	0.0	0.0	0.0	0.0	0.9	0.0	0.0	0.5	0.4	0.9	1.4	1.6	2.1	2.3	4.0

Asset Type	Asset Owner	Asset Name	MHHW					10-Year					100-Year				
			Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
				2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Schools	County	Palm Beach Public School	0.0	1.8	2.5	2.3	4.4	0.0	0.0	2.7	2.4	4.3	5.0	5.2	5.8	6.0	7.9

Asset Type	Asset Owner	Asset Name	MHHW					10-Year					100-Year				
			Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
				2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Law Enforcement Facilities	Town of Palm Beach	Palm Beach Police Headquarters	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.6	2.8	3.3	3.4	5.1

Representative Assets and Potential Depth of Flooding

Critical Infrastructure

Asset Type	Asset Owner	Asset Name	MHHW					10-Year					100-Year				
			Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
				2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-18 Stormwater Pump Station	1.2	1.8	2.6	2.4	4.4	0.0	0.0	0.0	0.0	4.4	5.7	6.0	6.5	6.7	8.5
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-17 Stormwater Pump Station	0.0	0.0	2.5	2.2	4.3	0.0	0.0	0.0	0.0	4.4	5.0	5.2	5.8	6.0	7.9
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-14 Stormwater Pump Station	0.6	1.2	2.0	1.8	3.9	1.0	1.2	1.7	1.9	3.6	3.9	4.1	4.7	4.9	7.0
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-12 Stormwater Pump Station	0.0	1.3	2.1	1.9	3.9	0.0	0.0	3.0	2.9	3.9	4.6	4.8	5.2	5.3	6.9
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-07 Fuel Tank	0.0	0.8	1.6	1.4	3.5	0.0	0.0	1.0	1.1	3.2	3.8	4.0	4.7	4.9	6.9
Stormwater Treatment Facilities and Pump Stations	Town of Palm Beach	D-07 Stormwater Pump Station	0.0	0.7	1.5	1.3	3.4	0.0	0.0	0.0	0.0	0.0	3.7	4.0	4.6	4.8	6.8

Asset Type	Asset Owner	Asset Name	MHHW					10-Year					100-Year				
			Present	Int-Low		Int-High		Present	Int-Low		Int-High		Present	Int-Low		Int-High	
				2040	2070	2040	2070		2040	2070	2040	2070		2040	2070	2040	2070
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-13 Ejector Station	0.0	0.0	2.7	2.5	4.6	0.0	0.0	0.0	0.0	4.7	5.4	5.6	6.2	6.3	8.3
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-11 Lift Station	0.0	1.4	2.1	1.9	4.0	0.0	0.0	0.0	0.0	4.0	5.4	5.6	6.1	6.3	8.1
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-50 Lift Station	0.0	1.5	2.2	2.0	4.1	0.0	0.0	2.3	2.4	4.1	5.1	5.4	5.9	6.0	7.9
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-10 Ejector Station	0.0	0.0	1.4	1.2	3.3	0.0	0.0	1.8	2.0	3.4	4.8	5.0	5.5	5.7	7.5
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-09 Ejector Station	0.0	0.5	1.3	1.1	3.2	0.0	0.0	0.0	0.0	3.1	4.4	4.6	5.1	5.3	7.1
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-15 Ejector Station	0.1	0.7	1.5	1.3	3.3	0.0	0.0	0.0	0.0	3.3	3.8	4.0	4.6	4.7	6.7
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-16 Ejector Station	0.0	0.4	1.2	0.9	3.0	0.0	0.0	1.2	1.3	3.1	3.5	3.7	4.3	4.5	6.5
Wastewater Treatment Facilities and Lift Stations	Town of Palm Beach	E-12 Ejector Station	0.0	0.0	0.7	0.5	2.5	0.0	0.0	0.0	0.0	2.7	3.6	3.8	4.4	4.5	6.5

* Flooding improvements are coordinated with projects in the Town's Capital Improvement Plan where assets were assessed and prioritized based on criticality and remaining useful life of station

Input or Questions?



In 5- year Capital Improvement Plan





Level-Up Palm Beach

Storm Surge Barrier Feasibility Analysis

Evaluate Feasibility of Surge Barrier at Lake Worth Inlet

Could benefit the Town and neighbors along the intracoastal by mitigating coastal flooding from storms.

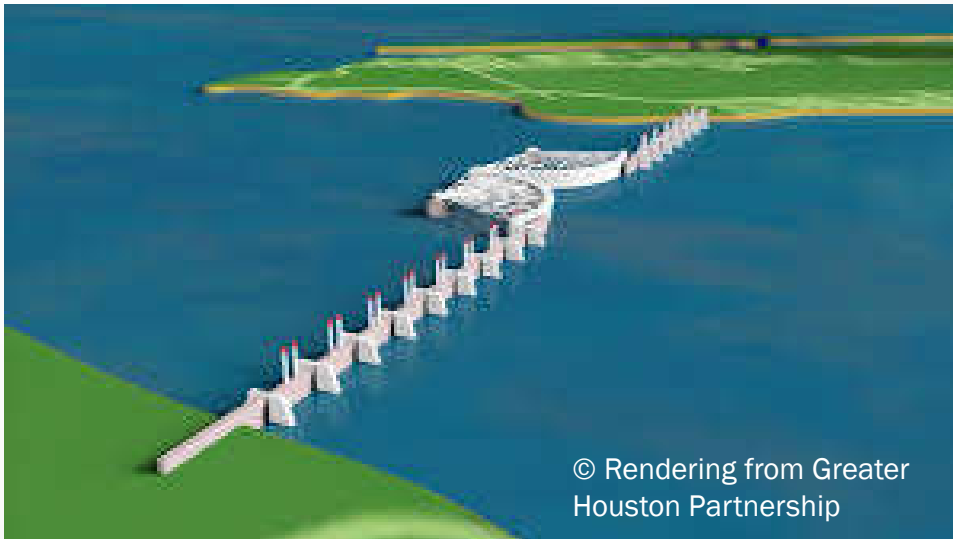
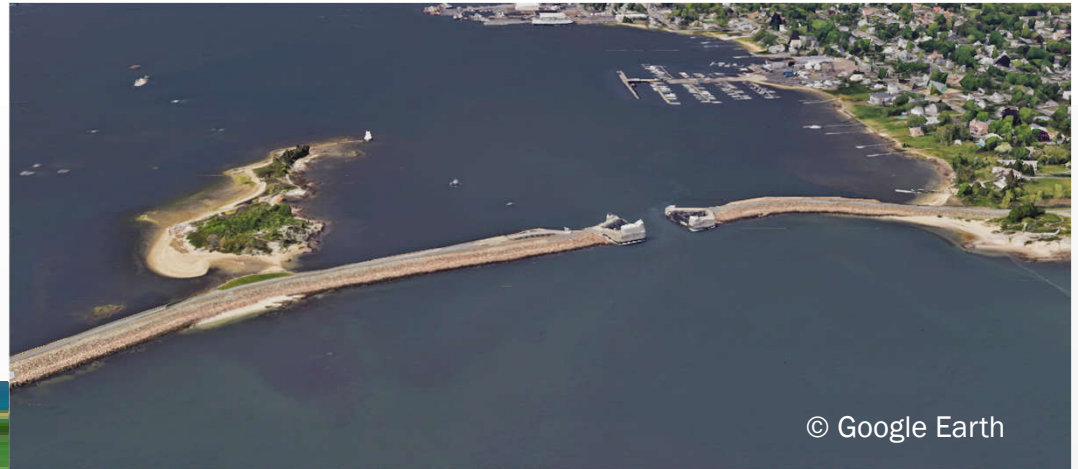
Possibly limit the height bulkheads and shoreline infrastructure need to be raised - future high tide and small storms.



Inlets to Lake Worth and the Intracoastal Waterway

Storm Surge Barrier Examples

Surge Barriers have been utilized around the world to prevent flooding. The barriers close before a surge event and, on some occasions, extreme king tides.



Implementation and First Alternative- *Surge Barrier*

Expanded high-resolution model north up Indian River towards Saint Lucie River.

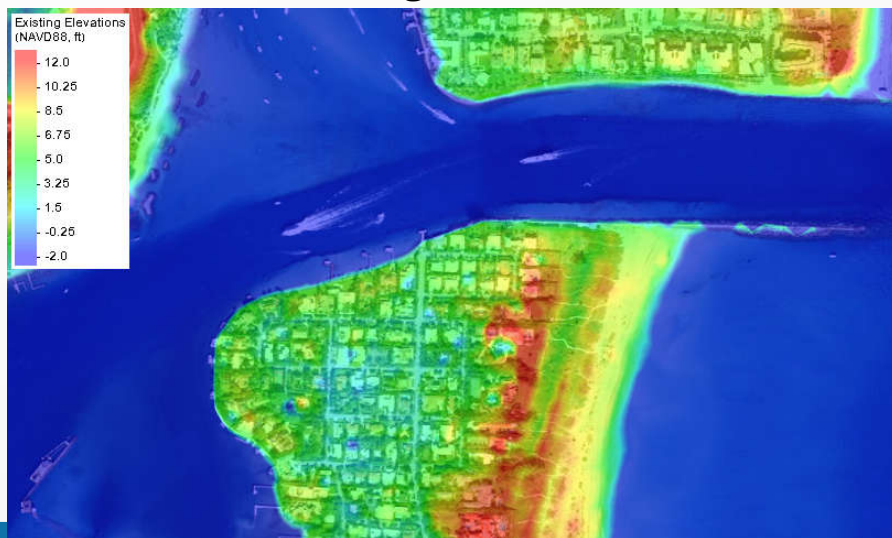
Improves model for evaluating storm surge barrier concept at Palm Beach Inlet.

Even with the Palm Beach Inlet surge barrier closed, storm surge could still enter Jupiter Inlet.

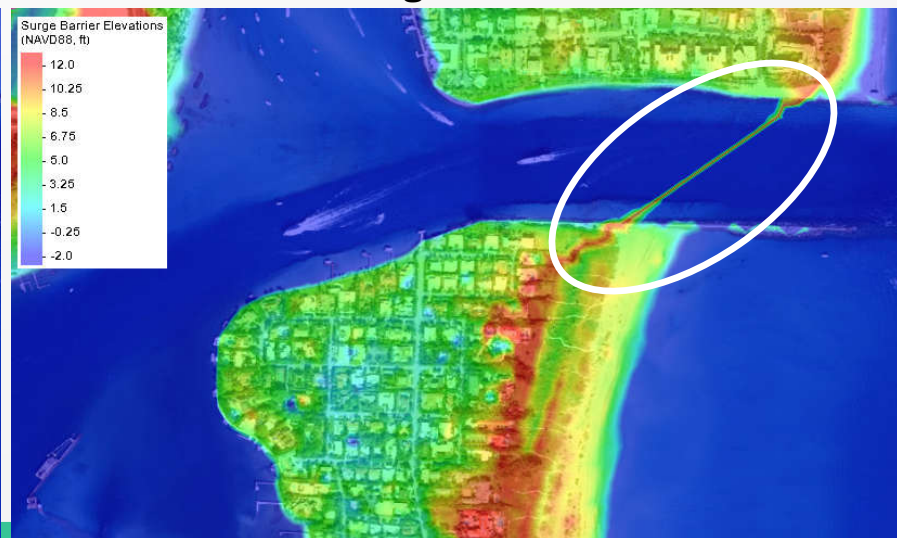
The first alternative connects high elevation points across the inlet, increased to 11 ft to fully block a 100-year event in the 2070 intermediate high SLR.

Area

Existing Conditions



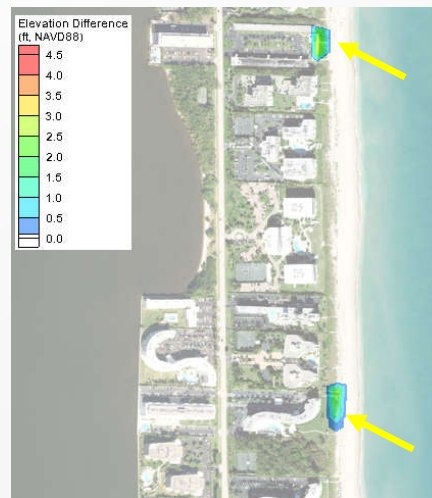
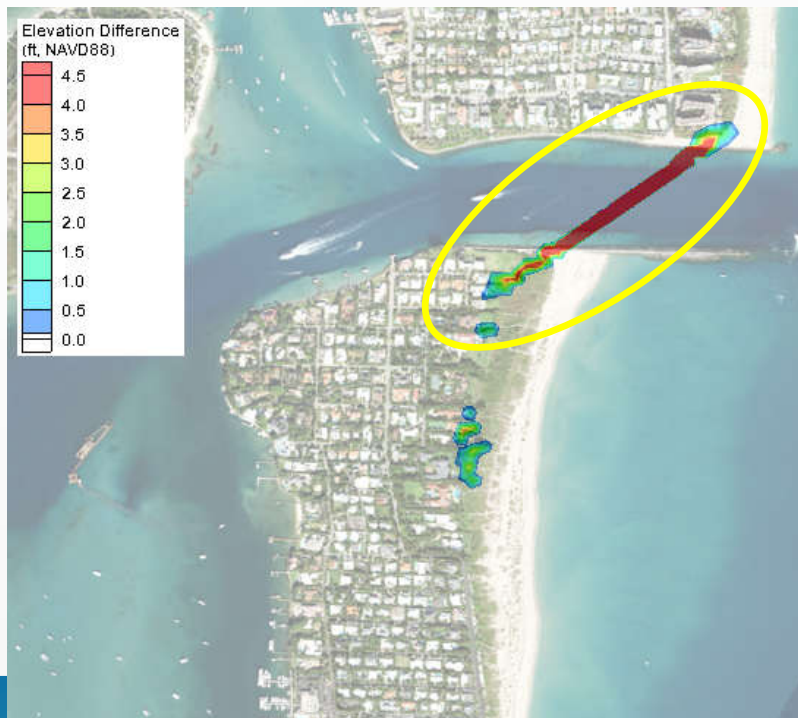
Surge Barrier



Second Alternative - *Surge Barrier and Continuous Coastal Bank*

Limited colored areas show elevation applied to form a continuous bank along the Atlantic Ocean Shoreline.

Emphasizes the benefits of natural limestone ridge and highlights effectiveness of the Coastal Program.

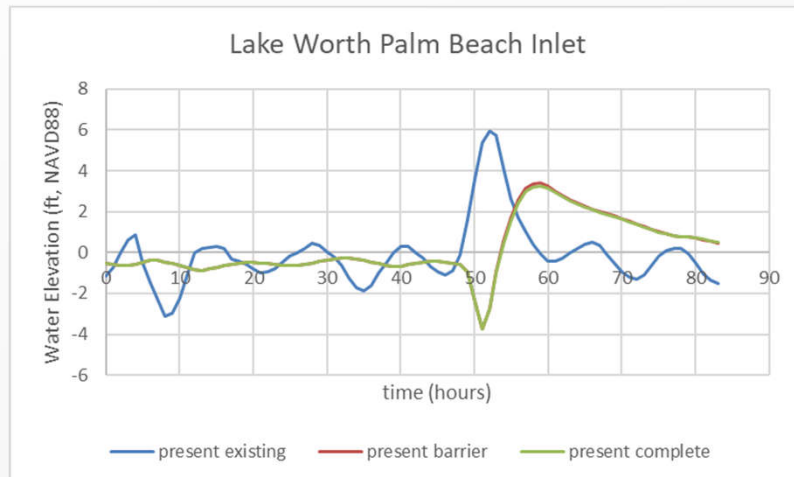
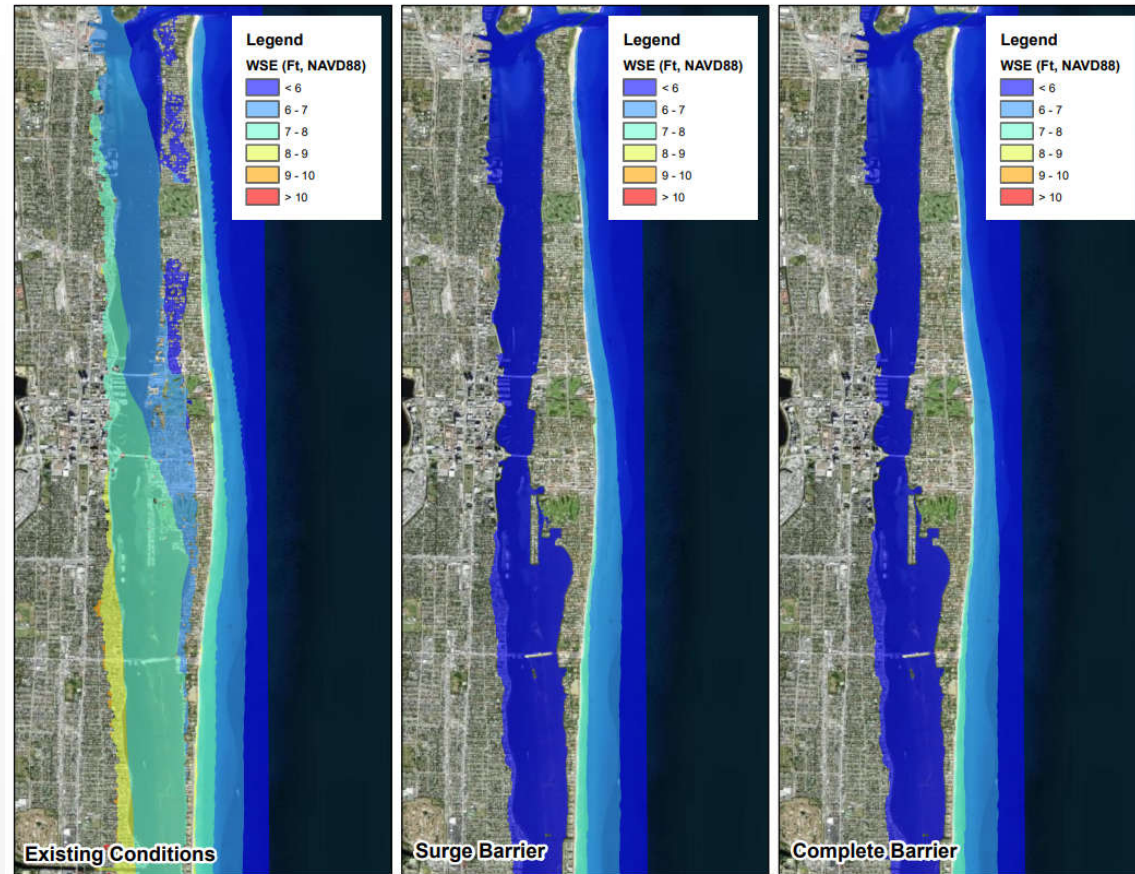


Present Day Surge Barrier Results

The elevation was reduced by a substantial amount inside Lake worth with the Surge Barrier.

There was an additional reduction of approximately 0.2 ft from the complete barrier.

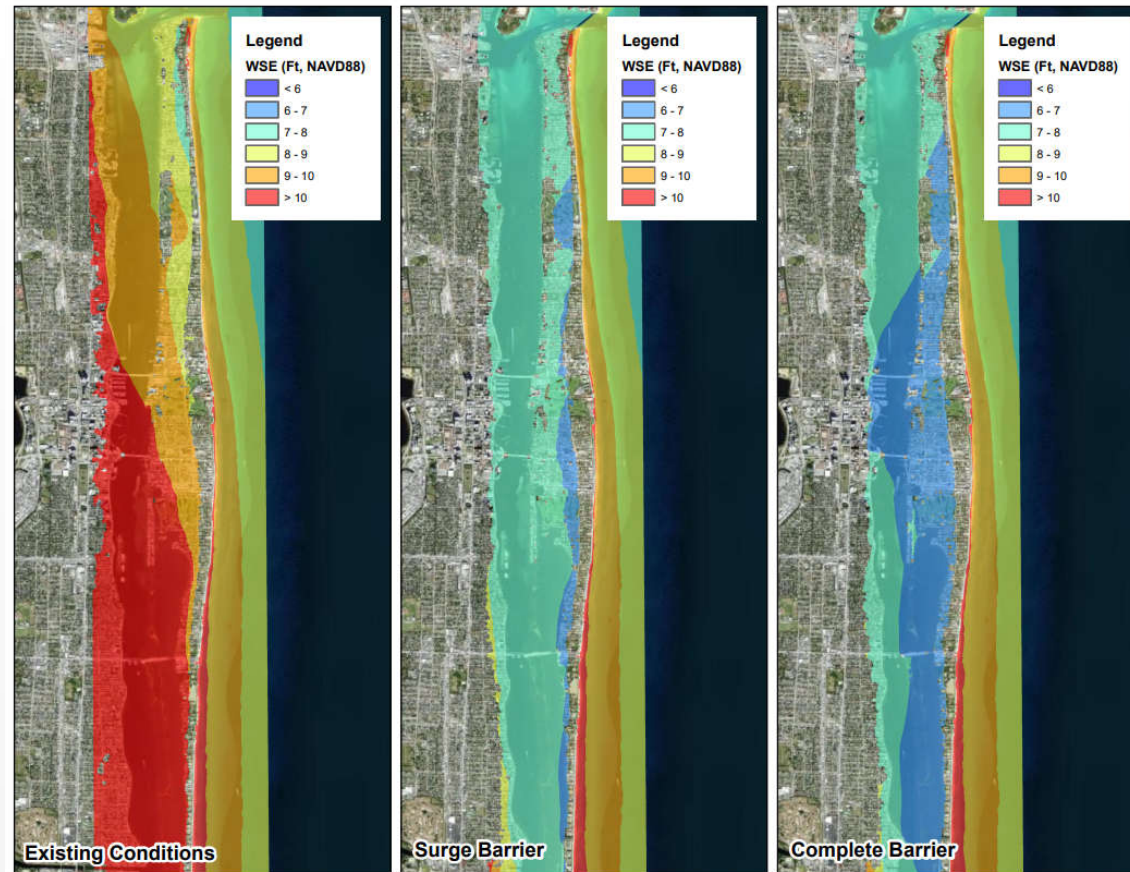
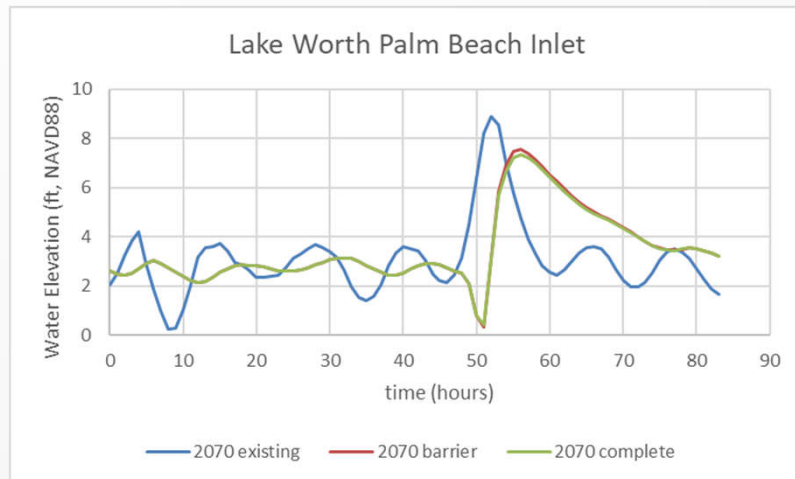
	Present Day Reduction (ft)		
	Palm Beach Inlet	Worth Ave	Ibis Island
Surge Barrier	2.5	4.3	3.7
Complete Barrier	2.7	4.5	4.0



2070 Intermediate High Surge Barrier Results

In the 2070 Intermediate High climate condition, the surge barrier was less effective due to the already increased sea level. This reduction could still be helpful.

	2070 Int High Reduction (ft)		
	Palm Beach Inlet	Worth Ave	Ibis Island
Surge Barrier	1.4	3.2	3.1
Complete Barrier	1.6	3.6	3.6



Task 5. Storm Surge Barrier Feasibility Study

Input or
Questions?

- Results indicate potential for surge barrier to reduce peak flooding
- Deliverable will be included with Final Vulnerability Assessment to satisfy FDEP scope
- Solution is beyond the responsibility of Palm Beach alone
- Town consider whether to pursue further work (e.g., request US Army Corps study, engage other communities)
- Alternative is substantial action on Lake side via Level-Up recommendations



Level-Up Palm Beach

Implementation Plan Refinements

Updated Vulnerability Assessment Will Refine Level-Up

- **Specific Town Assets at Risk**
 - Recommended actions within or complementary to Capital Improvement Plan
 - Resilient FL grants
- **Lake Worth Shoreline**
 - Bulkheads
 - Neighborhood Strategies
- **Town Policies and Codes**
 - Floodplain Development – Flood Elevations, Building Heights, Flood Hazard Areas
 - Comprehensive Planning – Land use, Transportation, Infrastructure, Coastal Management/Conservation, Intergovernmental Coordination, Capital Improvements
- **Implementation Plan**



Level-Up Palm Beach

Path Forward

Next Steps and Schedule

- **May 2025**
 - Factor in any community input from public outreach meeting
 - Submit Draft Vulnerability Assessment to FDEP (with mapping GIS deliverables)
- **Summer 2025**
 - Obtain and incorporate DEP comments into the Vulnerability Assessment
 - Finalize Surge Barrier Feasibility Report
 - Update Level-Up Palm Beach Implementation Plan
 - ID with staff and submit targeted grant applications before end of August
- **Fall 2025**
 - Present Level-Up refinements and recommendations to Council
- **End 2025**
 - Finalize all documentation and submit Final VA with supporting surge barrier and Level-Up supplements
- **Grant close-out by June 30, 2026 – All deliverables finalized by March 31, 2026**



Level-Up Palm Beach

Questions/Discussion

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - Old Business

Agenda Title

Status Update Regarding Riviera Beach Mooring Permit

Presenter

H. Paul Brazil, P.E., Director of Public Works

ATTACHMENTS:

- ▣ **Memorandum Dated May 6, 2025, from H. Paul Brazil, P.E., Director of Public Works**
- ▣ **Mooring Field Exhibit**
- ▣ **South Mooring Field Management Plan**

TOWN OF PALM BEACH

Information for Town Council Meeting on: May 12, 2025

TO: Mayor and Town Council

VIA: Kirk W. Blouin, Town Manager

FROM: H. Paul Brazil, P.E., Director of Public Works

RE: Status Update Regarding Riviera Beach Mooring Permit

DATE: May 6, 2025

STAFF RECOMMENDATION

Staff are providing an update on Riviera Beach's South Mooring Field, which is proposed within the municipal limits of the Town of Palm Beach in the Lake Worth Lagoon.

GENERAL INFORMATION

The City of Riviera Beach is proposing three managed mooring fields within Lake Worth Lagoon. One of the proposed mooring fields is located within the municipal limits of the Town of Palm Beach, south of Peanut Island and east of the Intracoastal Waterway. Vessels currently anchor in this area and are not managed.

The proposed project will remove all existing chains and anchors and will install 100 mooring balls to create a 129.21-acre, public mooring field that will be managed by the Riviera Beach Municipal Marina. All mooring balls are proposed to be tethered by an anchor line to a helical anchor. The moorings will be engineered to secure a typical vessel 60 feet in length or less up to a Category 3 Hurricane event. The limits of the proposed mooring field area will be delineated using boundary buoys and all mooring within the mooring field will be restricted to the designated mooring balls. Each mooring ball will support a single vessel. Enforcement within the mooring field is proposed to be provided by the City of Riviera Beach's Marine Law Enforcement. The City has provided a Mooring Field Management Plan, which includes all rules and regulations for enforcement of the mooring slips, including pump-out procedures, fueling, storm preparedness, noise, and waste management.

The Florida Department of Environmental Protection (FDEP) issued General Permit (50-0415270-005-EG) on May 1, 2025. The Department has begun processing an application to lease sovereign submerged lands from the state. The Army Corps of Engineers (ACOE) is processing a Standard Permit (SAJ-2022-00331) for the mooring field. Since the FDEP has issued their permit which includes Florida Fish and Wildlife Conservation Commission (FWC) concurrence, the ACOE consultation with the US Fish and Wildlife Service (USFWS) is progressing. USFWS concurrence is the only pending item for the ACOE permit. Riviera Beach has also submitted an application to expand their marina, which includes dredging and impacts to seagrass, and is being processed separately from the mooring fields. Consultations have not been initiated for the marina yet. The public noticing period for both projects is complete. The Town has submitted formal objection letters of the mooring field to the ACOE on June 30, 2022 and July 19, 2022. Objections voiced concerns of impacts to quality of life and safety of residents, lack of Town approval to perform work within its municipal boundary, and proximity to dredging staging areas.

FUNDING/FISCAL IMPACT

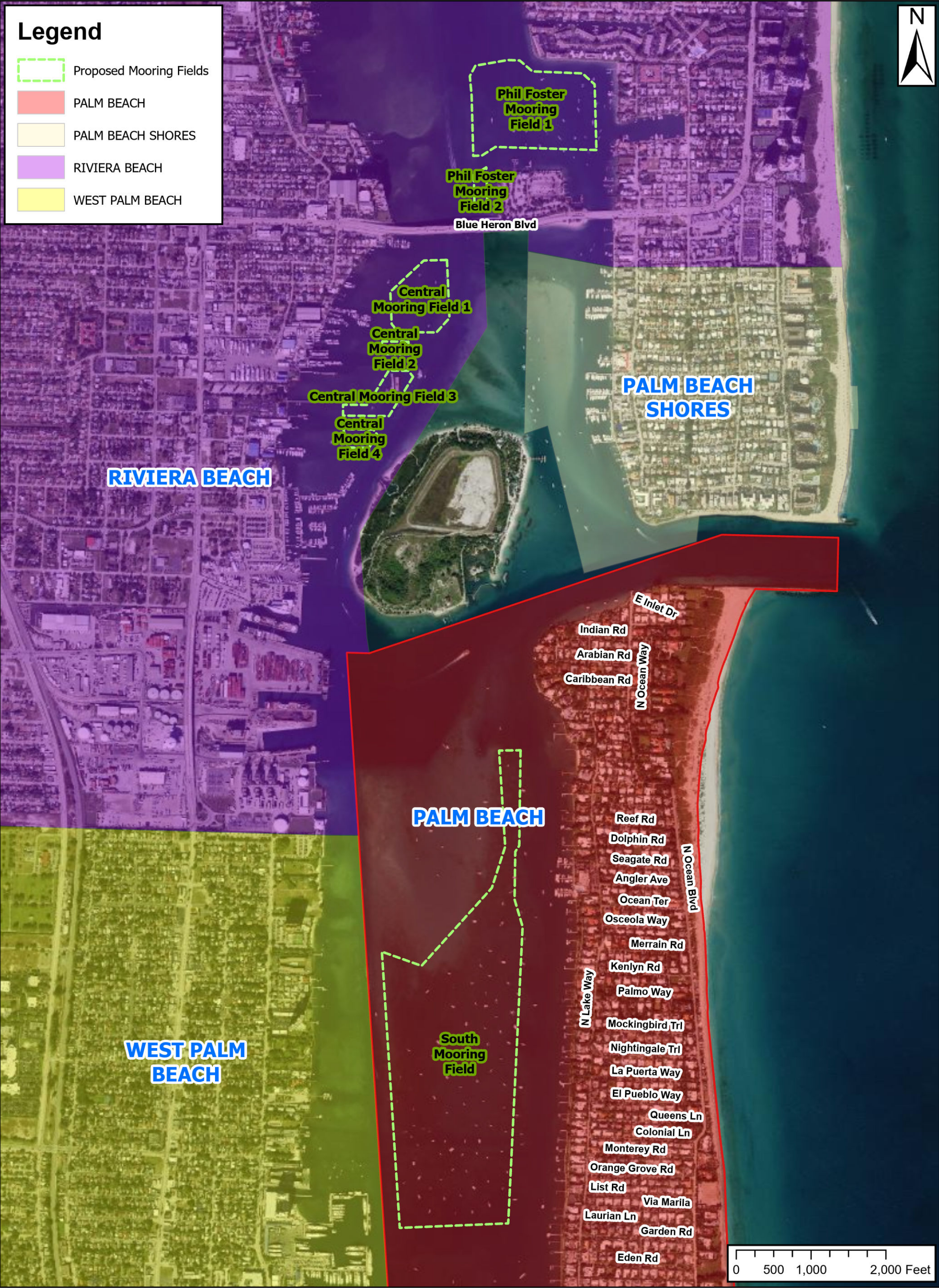
Additional cost to the Town is not anticipated for the proposed activities.

Attachments

Mooring Field Maps

South Mooring Field Management Plan

cc: Jason Debrincat, P.E., Assistant Director of Public Works
Patricia Strayer, P.E., Town Engineer
Sara Gutekunst, Coastal Coordinator
Joanne O'Connor, Town Attorney, Jones Foster





**LAKE WORTH INLET
MOORING FIELD
SOUTH LOCATION**

**AERIAL MAP /
PROPOSED
MOORING FIELDS**

CITY OF RIVIERA BEACH,
PALM BEACH COUNTY, FLORIDA
SECTION 06, TOWNSHIP 49 S, RANGE 43 E

Revisions:



SEA DIVERSIFIED, INC.
160 CONGRESS PARK DRIVE,
SUITE 114
DELRAY BEACH, FL 33445
561-243-4920

Date:	Oct. 2021
Drawn by:	B.N.W.
Checked by:	W.T.S.
Scale:	1"=1,000'

Sheet Name:

A-1

Sheet No.: 4

CITY OF RIVIERA BEACH
Lake Worth Inlet Mooring Fields

SOUTH MOORING FIELD
MANAGEMENT PLAN

Prepared for:
The City of Riviera Beach
200 West Blue Heron Blvd.
Riviera Beach, FL 33404



January 2023
(Revised March 2025)

by:
Sea Diversified, Inc.
160 Congress Park Drive, Suite 114
Delray Beach, Florida 33445
www.SeaDiversified.com



City of Riviera Beach

Lake Worth Inlet Mooring Field “South”

Mooring Field Management Plan

1.0 INTENT OF MANAGEMENT PLAN

The Mooring Field Management Plan (Plan) provides the framework for operation and use of the proposed Lake Worth Inlet Managed Mooring Field South location. The City of Riviera Beach will be the sponsor of the Mooring Field with their Municipal Marina functioning as the necessary upland support facility. The requirements, rules, and regulations of this Plan will apply to any vessel owners, crews, and guests while occupying a mooring and / or utilizing the City Marina support facilities.

The Mooring Field is being designed to eliminate and prevent damage to aquatic resources of the State of Florida. Current damages include seagrass anchor and chain damage as documented during this permit process by the applicant, as well as continued sewage release from holding tanks. The vessels currently within the mooring areas are not managed and do not have sufficient means for sewage pump-out. The development of a managed Mooring Field with the installation of engineered / hurricane rated moorings will provide increased conservation of valuable aquatic resources. The moorings shall be engineered to secure a typical vessel 60 feet in length or less up to a Category 3 Hurricane event. The buoys and layout will conform to standards set by the Florida Fish & Wildlife Commission and channel / facility setbacks set in law and rule. The following sections of this Plan outline all aspects for regulatory requirements of the Mooring Field.

Note: This Plan may be modified based on input from the following entities; FDEP, City Council, City Staff, Marina Management (Kings Holdings), and all other permitting agencies.

2.0 MOORING FIELD RULES AND REGULATIONS

2.1 Harbormaster Authority

The Riviera Beach Marina Harbormaster shall enforce the requirements and provisions of the Sovereign Submerged Lands Lease permit conditions issued by the Florida Department of Environmental Protection (FDEP) under Rule 18-21 (Rule), as well as violations of the Rule. The Harbormaster or their designee shall assign each vessel to a mooring. No vessel shall occupy any mooring without the approval of the Harbormaster. Approaching vessels shall raise the Harbormaster on Channel 16 or by phone at 561-842-7806 during working hours for assignment to a temporary mooring until all the registration paperwork has been completed and the vessel has been assigned a permanent mooring for the duration of the stay. For safety, security, or other management considerations, the Harbormaster may request relocation of a vessel from one mooring to any other mooring at their sole discretion. A violation of any rules, requirements, or regulations contained within or authorized by the Plan may void the Mooring Rental Agreement.

2.2 Operational Vessels Only

Only vessels in compliance with the United States Coast Guard (USCG) environmental and safety standards and Chapter 327, Florida Statutes, are authorized to moor at the Mooring Field. Only vessels in good operational condition, capable of maneuvering under their own power and with current registration or documentation are authorized to moor at the Mooring Field. The determination of whether a vessel is in good operational condition is the sole discretion of the Harbormaster. Vessels without integral or functional power for propulsion are prohibited from mooring at the Mooring Field.

2.3 Vessel Equipment Requirements

All vessels should have a dinghy or other small craft as an alternate means of conveyance to enable access to the dinghy dock and Harbormaster's Office. In the absence of a dinghy, the vessel owner shall inform the Harbormaster at the time of entry into the Mooring Field. The lack of a dinghy shall not be cause to refuse the rental of a mooring. The Harbormaster may allow the use of a Mooring Field dinghy for the vessel occupants to access the upland property, if such a dinghy is available. It is the sole responsibility of vessel occupants to provide their own conveyance to the upland facilities. The City is under no obligation to own, operate, or maintain a dinghy for the exclusive use of mooring patrons.

2.4 Commercial Use of Moorings Prohibited

Commercial activities and vessels engaged in commercial activities are prohibited in the Mooring Field. However, this does not prohibit commercial vessels from using the Mooring Field or its amenities. No advertising or soliciting shall be authorized on any vessel within the Mooring Field, with the exception of "for sale by owner" signs not to exceed two (2) square feet in size. Each vessel shall be limited to a maximum of two (2) such signs. Use of moorings for brokerage purposes is strictly prohibited.

2.5 Mooring of Vessels

The Mooring Field will accommodate 100 vessels excluding any dinghies that may be attached to parent vessels. All persons landing by vessel or dinghy must register at the Harbormaster's Office within twelve (12) hours of landing. Vessels shall be moored in designated mooring areas only, as assigned by the Harbormaster. The sole method for securing a vessel to a mooring shall be by securing the bow of the vessel to the mooring buoy pendant. Securing the mooring to the stern of any vessel is prohibited. Additionally, the use of additional anchors to supplement the mooring provided is prohibited. Anchoring within the marked boundaries of the Mooring Field is prohibited. Dinghies shall be kept on board the vessel when not in use and shall not impede or restrict access to fairways, channels or other moorings. Subleasing of the vessel or assignment of the rental agreement is prohibited. Rafting or mooring of more than one vessel to any buoy is prohibited.

Any vessel requesting a mooring must contact the existing Harbormaster's office located at the City of Riviera Beach Marina; at 561-842-7806 between the hours of 8:00am and 5:00pm 7 days a week. The Marina / Mooring Field operations is located at the Riviera Beach Marina fuel dock located due west of Peanut Island and next to the USCG Red Marker #42. During off hours or obtaining information concerning the use of a Mooring, additional information is available at info@rivierabeachmarina.com. Vessels wishing to spend the night arriving after normal operating hours shall register online and visit the Harbormaster's prior to 10am the same day or the following morning to finish the registry process. Moorings will be assigned by the Harbormaster based on; vessel size, draft, length of stay and whether it is an occupied vessel due to needs.

2.5.1 Order of Mooring Assignment

All buoys within the Mooring Field will have an identification number that corresponds to the available draft and vessel length for that particular mooring, reservation and registration for particular moorings will be coordinated between the vessel captain / owner and the Harbormaster. There shall be a minimum 1-foot keel clearance to the seafloor for all vessels within the Mooring Field.

2.5.2 Length of Stay

The Mooring Field will be open to the general public on a first come, first serve basis. Rates will be set based on vessel size, length of stay, and time of year. Occupied vessels are defined as having persons aboard that generally have a main place of residence somewhere else or they are a cruising vessel from another state or country. Vessels with no other residence are limited to stays not exceeding six (6) months within a twelve (12) month period.

2.6 Enforcement of FL laws, rules, and lease permit conditions

The City will keep and uphold rules of the mooring fields, permit conditions and leases in good standing with the State and Army Corps.

2.7 Waste Management / Marine Pollution

Discharge of solid, human and pet waste overboard within the Mooring Field is prohibited. Overboard discharge of any sewage is NOT permitted into any area of the Mooring Field except into a pump-out vessel. The City intends to purchase a sewage pump-out vessel that will operate five (5) days a week to service all the vessels within the Mooring Field. It will also utilize the pump-out pendant system for notification to the pump-out vessel that that vessel wishes a pump-out. The Riviera Beach Marina has sewage pump-out connections that all vessels may utilize. All vessels are required to not only use biodegradable soaps for galley and shower use, but also have their holding tank overboard discharge valving inspected to ensure sewer discharge is not possible. The pump-out vessel will also collect garbage in approved bags when pumping out an occupied vessel. Unoccupied vessels shall deposit any garbage in dumpsters located at the Marina as needed. At no time is garbage or trash to be dumped into the Lake Worth Lagoon.

Occupied vessels with Type III marine sanitation devices shall be required to have their holding tanks pumped out on a seven (7) day interval while continuously moored in the Mooring Field. The Harbormaster and pump-out boat shall maintain a pump-out log and procedure, tracking and inspection times, which generally shall not be less than a minimum seven (7) day interval. The pump-out procedure also includes a flag pendant notification system for each vessel requiring a pump-out, using a pump-out vessel and a proposed inspection schedule for Type I or II systems. All slips at the Riviera Beach Marina, including all marginal dockage, maintain sewage pump-out hookups that may be utilized by any vessel within the Mooring Field.

All pertinent information will be available at the time of securing a mooring with the harbormaster and also available for prospective patrons at the upland support facility kiosks. Kiosks will have copies of this management plan and all other pertinent information available with captcha scans to City of Riviera Beach Rules and Regulations for Marina and Mooring Field patrons.

2.8 Use of Dinghy Dock

The Riviera Beach Marina currently maintains dingy docks for tenants of the Mooring Field. Customers of the Mooring Field may use the dingy dock locations at no charge on a first come, first serve basis. Dingy docks are located at the south side of the marina and the southwest corner. No dingy shall be left at the dingy dock for more than 24 continuous hours without prior authorization from the Harbormaster. Docks are always to be kept clear, and repairs to and maintenance of gear and equipment including dinghies and outboards are not permitted on the marina docks or Marina property without proper authorization of the Harbormaster.

2.9 Fueling Prohibited

The fueling of vessels within the Mooring Field is prohibited. Vessel fueling is permitted at authorized public marinas, including the Riviera Beach Marina fuel dock.

3.0 RESPONSIBILITIES OF RENTERS / LICENSEES / TENANTS

3.1 Use of Vessel Pump-out Facilities

Vessels moored at the Mooring Field are required to utilize nearby pump-out facilities (see Section 2.7) or hail the pump-out vessel. Regularly scheduled visits, Monday-Friday will be made by the Riviera Beach

pump-out vessel, which will provide sewage removal from vessels within the Mooring Field. Those vessels utilizing a Type I or II Marine Sanitation Device are prohibited from discharging within the Mooring Field boundary and will be required to prove the functionality of its system or to seal its tank. Any use of its system must be in strict compliance with USCG and State regulations. All vessels are prohibited from discharging sewage within the Mooring Field boundary. All liveaboard vessels must provide the Harbormaster with documentation of pump-out once every seven (7) days. Such documentation will be required on a monthly basis and will be kept on file by the Harbormaster.

3.2 Repairs Prohibited

Boat repairs and the refitting of vessels, including any activities which could result in the discharge of materials into the water or within the Mooring Field, are prohibited. Minor repairs and maintenance work are not prohibited. Boat hull scraping and painting are prohibited in the Mooring Field and at the marina, however, regular maintenance and removal of marine growth from below the waterline and running gear is allowed. Additionally, only the City of Riviera Beach Marina staff or their contractors shall undertake and accomplish any repairs to the moorings or tackle. Any unauthorized activity in violation of the above may result in ejection from the Mooring Field and forfeiture of security deposit.

3.3 Waste Disposal / Trash Removal

Discharge of any solid or liquid waste (human or pet) into the waters within the Mooring Field is prohibited. Violators are subject to immediate ejection from the Mooring Field and the Harbormaster will notify the appropriate authorities for enforcement action. Garbage and recyclable goods from vessels moored at the Mooring Field must be transported and deposited ashore in designated marina garbage and recycling receptacles. Vessel owners shall contact the Harbormaster regarding proper disposal of waste oil, rags, bilge socks, absorbents, anti-freeze, used fuel, and batteries. The Mooring Field does not accept any hazardous waste or materials for disposal. To minimize discharges, Mooring Field users are urged to use the laundry and showers available at the upland support facility.

3.4 Prohibited Activities

- Major repairs and / or refitting of vessels or associated equipment
- Swimming or diving within the Mooring Field unless performing vessel maintenance or minor repairs
- Washing or drying of laundry on marina docks or vessel decks and or rigging is prohibited. Also, washing dishes or laundry in the marina restroom sinks and or laundry sink is prohibited
- Cleaning or washing vessels with detergents containing phosphates, chlorine, or petroleum distillates are prohibited within the Mooring Field
- Zero tolerance for disorderly, rowdy, or boisterous conduct. Halyards are to be tied off sufficiently to prevent slapping against the mast in windy conditions. Failure to do so on non-occupied vessels will generate a fee if staff must tie them off on repeat offender vessels.
- Fireworks on vessels within the Mooring Field is prohibited
- No Wake Please. Vessel owners are responsible for damage caused by a vessel's wake
- Fish will be processed and cleaned in designated areas and individuals cleaning them will abide by all disposal rules

3.5 Manatees & Other Protected Species / Feeding of Wildlife

Vessel owners and their guests shall acquaint themselves with the publications and warnings available at the Harbormaster's Office regarding safe operation in waters frequented by manatees and must abide by all laws, ordinances, rules and regulations governing the operation of watercraft in the presence of manatees. Harassment of Federal or State listed protected species is illegal and will not be tolerated. Lists of these

species as advised by the Florida Fish & Wildlife Conservation Commission are available at the Harbormaster's Office or on the Mooring Field information kiosk or display and educational signage. All vessel owners and guests are prohibited from feeding or leaving food for wildlife, particularly birds or endangered and listed species.

3.6 Reporting of Fuel / Oil Spills

Vessel owners shall immediately contact the Harbormaster's Office and USCG National Response Center Spill Hotline (800-424-8802) when an oil / fuel spill is discovered.

3.7 Vessel Cleaning

Cleaning or washing vessels with detergents containing phosphates, chlorine, or petroleum distillates is prohibited within the Mooring Field.

3.8 Non-tenant Use of Moorings Prohibited

Non-tenants are prohibited from mooring within the Mooring Field without prior approval from the Harbormaster, except in cases of emergency or as otherwise provided in this Plan.

3.9 Use of Parking Lot

Parking facilities, except where otherwise indicated, are limited to use by Mooring Field vessel owners and guests. All vehicles must be operable and properly licensed and must display a valid parking permit issued by the Harbormaster. All bicycles must be kept at the bicycle rack provided in the common area when not in use. All vehicles must be removed within twenty-four (24) hours after the vessel vacates the Mooring Field.

3.10 Amenities Use of Upland Laundry, Restrooms and Showers

The Riviera Beach Marina currently provides a wealth of amenities including but not limited to; car parking lots, restrooms, showers, laundry, a restaurant / bar, dingy-dock(s) and pump-out locations in every slip and at marginal locations available to all mariners. Future amenities and upgrades to the current amenities are ongoing, additional permitting of piers and structures are ongoing. It is noted the Riviera Beach Marina is located within a State Dedication.

3.11 Grandfathered Vessels

Any vessel within the boundaries of the Mooring Field at the time of adoption of this Plan by the City will be considered "grandfathered in" and have priority to lease a mooring. However, these vessels must remove their current moorings / anchors, register within 90-day of the initial notice and must be able to abide by all rules and regulations of the Mooring Field. At the end of the 90-day term the vessel must either be registered as a tenant or vacate the Mooring Field. All grandfathered vessels will be required to adhere to the remainder of the rules and regulations within this Plan, regardless of their status.

3.12 Unauthorized Departure of Vessels

A vessel owner shall not remove their vessel from the Mooring Field when the vessel has a delinquent dockage balance without authorization from the Harbormaster.

4.0 HURRICANE & STORM PREPARDNESS

4.1 Storm Event Planning

The City's Mooring Field is being designed for wind and waves up to a Category 3 Hurricane. The City advises vessel owners to exercise prudent and appropriate judgment on whether to remove their vessel from the Mooring Field in the event that a named storm exceeds the aforementioned design rating. Tenants are advised that all equipment and sails be properly stored prior to the storm. All Mooring Field tenants are solely and totally responsible for any and all damages to their vessel and personal property and other

persons, vessels, or property caused by their failure to remove their vessels from the Mooring Field in a timely fashion.

5.0 SOVEREIGNTY SUBMERGED LANDS LEASE

This Mooring Field and dinghy dock and sewage pump-out dock are also authorized under Sovereignty Submerged Lands Lease No.(s) TBD from the Board of Trustees of the Internal Improvement Trust Fund in accordance with Chapter 18-21, F.A.C. The lease boundary includes the over-water surface area of the Mooring Field, encompassing all of the swing areas and square footage between the swing areas including internal thoroughfares. The lease boundary does not include the preempted area for the dinghy dock and the sewage pump-out access dock as they are within the State dedication lands of the City of Riviera Beach Marina that contains a temporary mooring area to access a fixed sewage pump-out and for the mooring of a sewage pump-out vessel. This Plan shall be referenced in the lease and general permit.

6.0 GENERAL RULES AND REGULATIONS

(a) Excessive noise shall always be kept to a minimum. Discretion in operating engines, generating plants, radios, televisions, power equipment, and other sound producing devices should be used so as not to create a nuisance or disturbance that disrupts the quiet enjoyment and ambience of the Mooring Facility. Amplified music is prohibited before 7:00am and after 9:00pm Sunday through Thursday, and after 11pm on Friday and Saturday. Permit holder must abide by an Ordinance of the City of Riviera Beach covering the items related to the Mooring Field and the City Marina and will be supplied at the time of registration, this Ordinance is currently being developed and will be released in the near future.

(b) The Marina and Mooring Field Facility address, and phone numbers shall not be used for business purposes. Occupied transient vessels may receive personal mail and packages, sent to the marina, while leasing a mooring, but will not be kept for more than 48 hours after departure. Mail received after 48 hours will be returned to sender / not at this address and returned to postal worker. Vessels staying for more than 120 days will be encouraged to secure a post office mailbox or another destination to have their mail sent.

6.1 Registration-Cancellation

a) Registration Policies

- Payment must be on time and in advance. The Mooring Facility expressly prohibits the use of moorings without payment.
- Checkout time is 11:00am, unless other arrangements are made with the Harbormaster.
- Reservation Policies - This application will be given immediate consideration and every effort will be made to accommodate the vessel. Please note, NO RESERVATION IS VALID until payment conformation is received. A confirmed reservation will guarantee a space but does not guarantee a specific mooring buoy. NO REFUNDS ON EARLY DEPARTURES OR LATE ARRIVALS WITH THE EXCEPTION OF ANNUAL CONTRACTS.

b) Fees, registration and cancellation Policies

To be developed by the City and Marina Management

7.0 NAVIGATION

7.1 All vessels ingress and egress to the mooring fields and other destinations, including but not limited to the upland support facility at the City of Riviera Beach Municipal Marina, shall solely utilize the available Federally maintained Intracoastal Waterway channel. The moorings and the perimeter buoy

markers, delineating the boundary of the mooring fields, are entirely setback from the Federal channel and located at a minimum distance of at least 100-ft from the near design edge of the Federal channel. Noting, the setback for the Federal Channel is 100-ft. Vessel moorings are at least 175-ft from the design edge. There are no facilities or appurtenances to the mooring fields located within the setback.

7.2 All mooring fields are delineated with perimeter marker buoys; these buoys are also at least 100-ft from the near design edge of the Federal channel. The perimeter buoys shall be established in accordance with any and all guidelines set forth by FWC, FDEP, FWS, and USACE.

8.0 ENVIRONMENTAL

8.1 The intent of creating the mooring fields was to provide safe mooring for vessels while protecting the environment and resources. As such, there is no dredging required at any location and no dredging is proposed for the installation of moorings. The City of Riviera Beach is the sponsor for the mooring fields and shall operate and maintain the upland support facility and keep in good standing the State lands lease/easements with the FDEP for the life of the mooring fields.

TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - New Business

Agenda Title

Annual Comprehensive Financial Report (ACFR) for Fiscal Year Ended September 30, 2024

TIME CERTAIN: 11:00 AM

Time Certain

11:00 AM

Presenter

Bob Miracle Deputy Town Manager - Finance and Administration

ATTACHMENTS:

- ▣ **Memorandum Dated April 30, 2025, from Bob Miracle, Deputy Town Manager - Finance and Administration**
- ▣ **Exhibit A**

TOWN OF PALM BEACH

Information for Town Council Meeting on:

May 13, 2025

To: Mayor & Town Council

Via: Kirk Blouin, Town Manager

From: Bob Miracle, Dep. Town Manager – Finance and Administration

Re: Annual Comprehensive Financial Report (ACFR) for Fiscal Year Ended September 30, 2024

Date: April 30, 2025

STAFF RECOMMENDATION

Staff recommends that the Town Council accept the Annual Comprehensive Financial Report for the fiscal year ended September 30, 2024.

GENERAL INFORMATION

A copy of the Town of Palm Beach Annual Comprehensive Financial Report (ACFR) for fiscal year ended September 30, 2024, completed in accordance with Section 11.45 of the Florida Statutes, is being provided to each of you under separate cover and can be viewed on the Town's website at www.townofpalmbeach.com under the "Government" tab, by clicking on Departments/Finance Department/Financial Reports.

This document serves as the required annual audit of the Town of Palm Beach. It exceeds the minimum requirements for an annual audit, providing information which staff expects will qualify the Town to receive the Government Finance Officers' Association (GFOA) Certificate of Achievement for Excellence in Financial Reporting for the 37th consecutive year.

The Town of Palm Beach is just one of only 39 governments (town, city or county) in the State of Florida that has the GFOA Certificate of Achievement for Excellence with its financial report, budget and Popular Annual Financial Report.

The completed ACFR will be forwarded to the Auditor General's Office once it is approved, to satisfy the statutory requirements.

The final reported General Fund unassigned fund balance for fiscal year ended September 30, 2023, is \$35,697,740. This amount represents 33.13% of the FY25 operating expenditure budget (total budget less the extraordinary retirement transfer). The percentage last year was 33.25% (with the new policy calculation). This unassigned fund balance exceeds the town's new policy of 30% minimum by \$3,369,575. A report on the status of all Town reserves as of September 30, 2024, is attached for your information and will be included in the Long-Term Financial Plan.

Nicholas Martin, CPA a Manager with Marcum LLP., will make a brief presentation regarding the audit results for FY2024 at the Town Council meeting.

Attachments

Cc: Department Directors
Joanne O'Connor, Town Attorney
Carolyn Stone, Deputy Town Manager
Nicholas Martin, CPA, Manager with Marcum LLP

Reserve Status

Town of Palm Beach

Town of Palm Beach Reserves

The Town Council has adopted twenty two financial policies, nineteen of which address reserves. The reserve policies serve to safeguard the Town's financial resources and ensure fiscal stability. The size of a municipality's fund balance can affect its ability to withstand financial emergencies. Reserves can also be used to accumulate funds for capital purchases or capital projects without having to borrow.

Below is a table showing the projected fund balance through September 30, 2025, based on the ending fund balance on September 30, 2024 plus FY25 budgeted revenues less expenditures for all funds.

Fund Balance Projections

Fiscal Year 2025 Annual Budget

Fund	Estimated Fund Balance at 9/30/24	Estimated FY2025 Revenues	Estimated FY2025 Expenditures	Projected Fund Balance at 9/30/25
General Fund	\$30,142,767	\$115,920,549	\$119,180,549	\$26,882,767
Townwide Underground Utilities Fund	31,775,540	11,081,010	17,937,145	24,919,405
2013 and 2016A/2019 Bonds Debt Service Fund	1,014,053	6,556,777	6,556,777	1,014,053
2016B Worth Avenue Bond Debt Service Fund	202,631	725,188	725,188	202,631
Capital Improvement Fund	21,176,475	21,810,622	47,170,475	(4,183,378)
Coastal Management Fund	38,528,942	18,168,155	67,178,065	(10,480,968)
Worth Avenue Assessment District Fund	115,097	414,558	414,558	115,097
Marina Enterprise Fund	24,160,322	14,693,000	19,239,065	19,614,257
Par 3 Golf Course Enterprise Fund	13,961,388	5,279,545	4,327,146	14,913,787
Building Fund	11,118,882	10,079,500	13,943,367	7,255,015
Risk Insurance Fund	5,314,503	2,479,817	6,952,445	841,875
Health Insurance Fund	3,362,496	6,625,278	8,059,695	1,928,079
Equipment Replacement Fund	21,808,299	2,700,018	5,433,442	19,074,875
Employee's Retirement Fund	264,015,816	39,250,253	25,272,684	277,993,385
OPEB Trust Fund	38,148,342	3,738,584	2,906,480	38,980,446
Totals	\$504,845,553	\$259,522,854	\$345,297,081	\$419,071,326

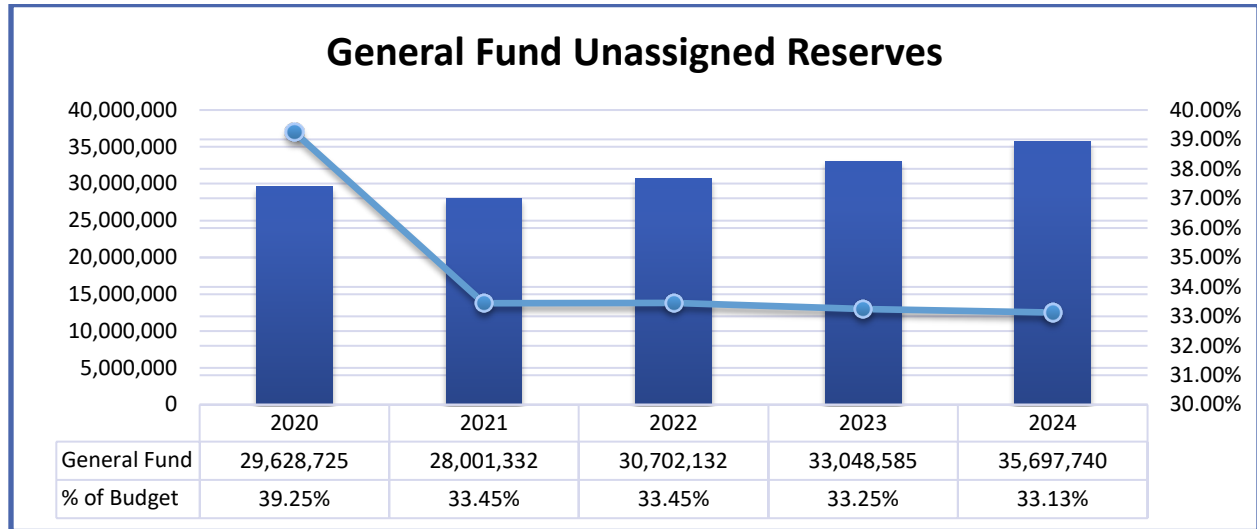
General Fund - Unassigned Fund Balance

Pursuant to the new adopted policy, the unassigned fund balance for the General Fund is to be kept at a minimum level of 30% of current year General Fund budgeted expenditures. This minimum level is to be maintained to protect the Town against economic downturns, temporary revenue shortfalls, unpredicted one-time expenditures, and for tax rate stabilization purposes. Thirty percent of the FY25 General Fund operating budget (General Fund budget less extraordinary retirement transfer) is \$32,328,165. The FY24 ending unassigned fund balance was \$35,697,740. The unassigned fund balance exceeded the minimum requirement by \$3,369,575. The General Fund Undesignated Fund Balance has consistently exceeded the required minimum level of 30%. The chart shows the trend for the General Fund Undesignated Fund Balance and the percent of budgeted expenditures the

Reserve Status

Town of Palm Beach

balance represents. The unassigned fund balance increased by \$2,649,155. The percentage of Unassigned Fund Balance vs. Budget slightly decreased to 33.13%.



Commitment of General Fund Reserves for Payment of Liability Related to Compensated Absences Leave Balances

The Reserve for Compensated Absences reduces the budgetary fluctuations due to the payout of accrued leave time to employees when they leave Town service. This reserve is funded at a rate of 100% of the fiscal year end accrued leave balances. Funds are appropriated annually from this reserve based upon estimates of pay-outs of eligible accrued vacation and sick time and the related payroll tax liability. The balance in the reserve as of September 30, 2024, was \$1,992,249. The FY25 appropriation for the pay-out of eligible accrued vacation, sick and compensatory time from this reserve is \$500,000.

Townwide Underground Utilities Fund

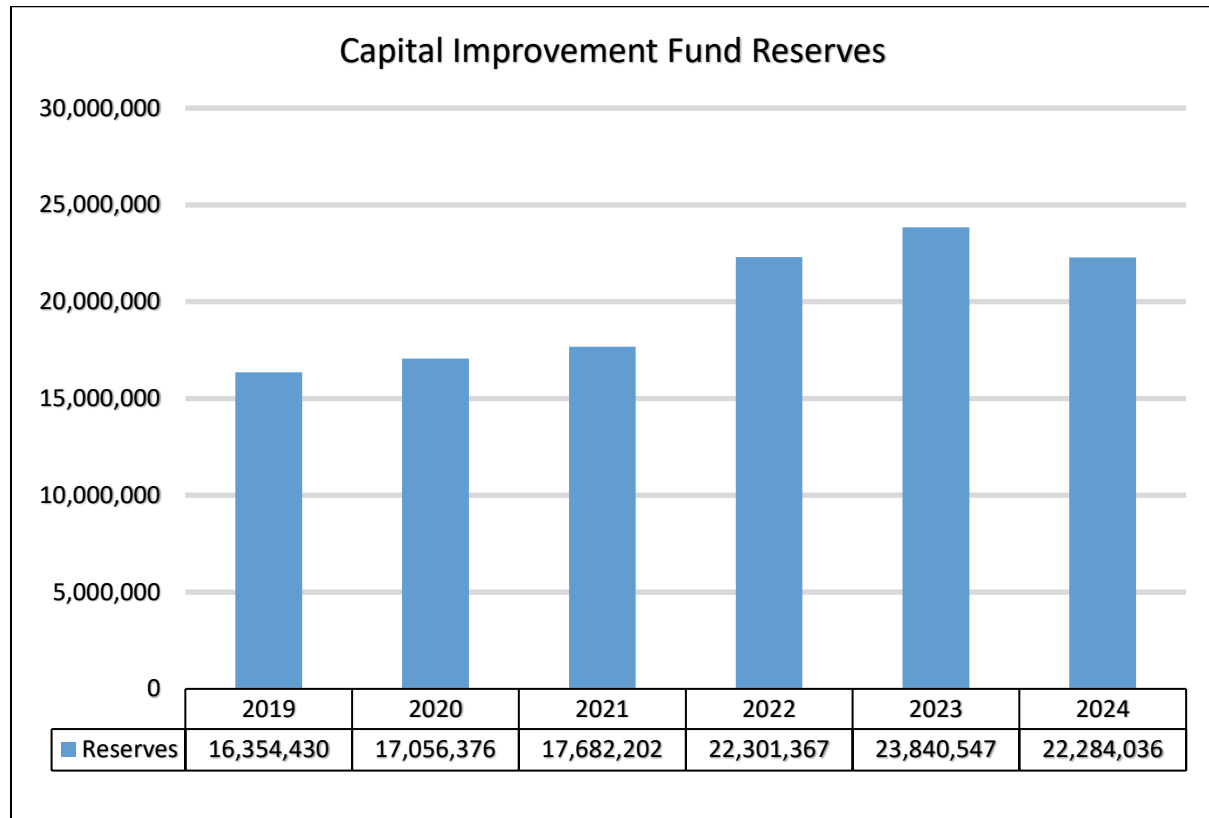
The Town issued General Obligation Bonds in FY19 and FY21 for the Townwide Underground Utilities Project. Phase 1 North was completed in FY19. Phase 1 South and Phase 2 North were completed in FY20. During FY21, Phase 3 North was completed. In FY23, Phase 2 South and Phase 4 North were completed. In FY24, Phase 3 South, Phase 4 South, Phase 5 North and South and Phase 6 North and South are substantially completed. Phase 7 North and South, construction has begun in FY24. Phase 8, the last phase of the project, will be bid out in FY25. The completion of these projects will reduce the net assets in this fund during FY24 and beyond.

Debt Service Funds

The debt service fund for the 2016A and 2019 bonds has excess reserves of \$302,228 that had accrued since the issuance of the 2013 bonds.

Reserve Status

Town of Palm Beach



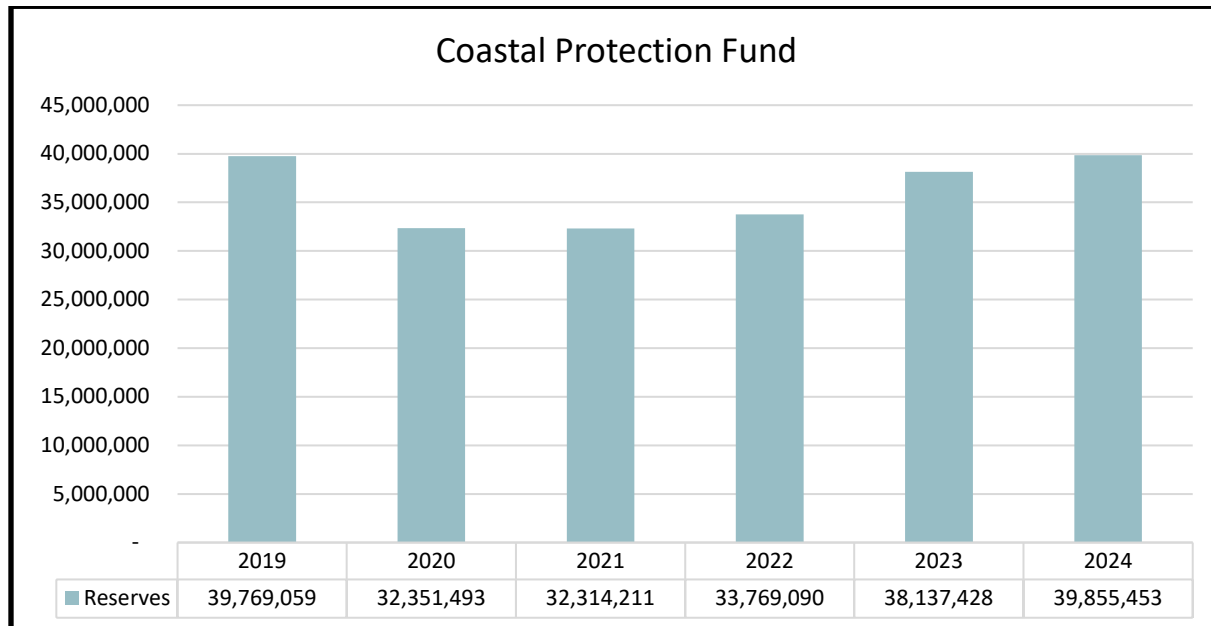
Capital Improvement Fund

For many years, the Town funded all of the capital infrastructure improvements through pay-as-you-go financing. For FY25, the transfer to the Capital Improvement Fund from the General Fund increased to \$14,250,622 to fund future projects and the North Fire-Rescue station renovation. Due to extremely high inflation for construction in the South Florida area, the transfer to the Capital Fund will need to increase to cover increased costs as well as the completion of the paving for the Undergrounding projects. Reserves of \$13,063,456 have been encumbered for current projects. The balance of \$7,532,819 is reserved for future projects.

Reserve Status

Town of Palm Beach

Coastal Protection Fund



The Coastal Protection Fund reserves are in place for beach renourishment projects. The Coastal Protection financing plan calls for annual transfers from the General Fund to the Coastal Fund to accumulate funds for renourishment projects and the other costs associated with the plan. The FY25 transfer was \$5,791,205, which was the same amount for FY24. As of September 30, 2024, the reserve balance in this fund is \$44,138,883. In the 10-year projection, there will not be enough pay-go funds to cover all of the anticipated projects. Financing may be required to fund the Mid-Town Seawall Project and the Mid-Town Beach Renourishment Project scheduled in FY27. The Town will look for Federal, State and County grants whenever possible to fund these projects.

Worth Avenue Assessment District

The Worth Avenue Assessment District is used to account for the maintenance of the improvements on Worth Avenue. The maintenance and debt service is fully paid through assessments on the property owners in this district. The reserves in this fund of \$315,304 have accumulated since the initial capital project was completed. The reserves in FY25 are being used to offset increased maintenance costs during the season.

Marina Enterprise Fund Reserves

At the end of FY24, \$10,300,433 has been set aside in the Dock Replacement Reserve and at the end of FY24 the “unassigned” fund balance totaled \$10,887,923. The Dock Replacement reserve was created to partially fund the replacement cost of the construction of the Town’s docks. In 2021, a loan was secured for \$31,000,000 to finance a portion of the construction. Construction was finished and the Marina reopened November 1, 2022. Due to funding from the Florida Inland Navigation District, the dock replacement reserve was not used for the Marina Project. The annual depreciation for the new Marina in FY24 is \$1,777,187. These funds will be set aside for future replacement. In FY24, Town Council approved the increase in the transfer of profits from the Marina to the Townwide Underground Utility Project from \$2,600,000 to \$4,100,000 in FY24. In FY25, the transfer increased to \$6,000,000 in order to assist with the funding of the Townwide Underground Project.

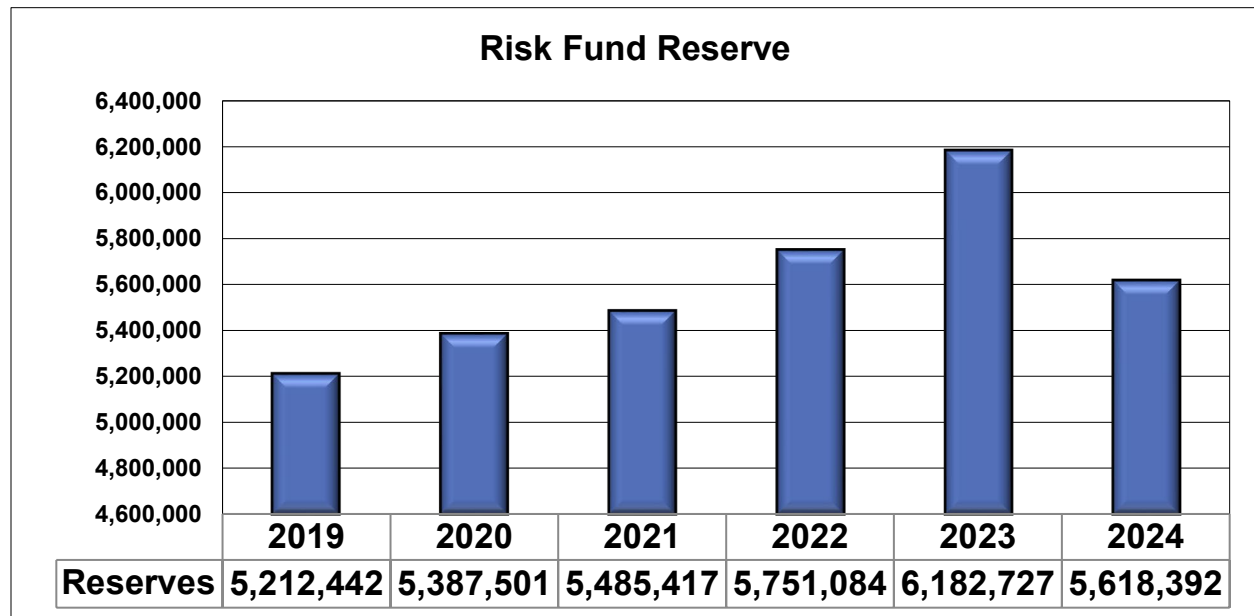
Reserve Status

Town of Palm Beach

Par 3 Enterprise Fund Reserves

The Par 3 Golf course repair and replacement reserve is funded with a transfer equal to $\frac{1}{2}$ of the annual depreciation on the clubhouse and golf course. The balance in this reserve as of September 30, 2024 is \$395,386. The Par 3 Enterprise Fund also has an Equipment Replacement Fund with a reserve balance at the end of FY24 of \$532,171.

Risk Fund Reserves

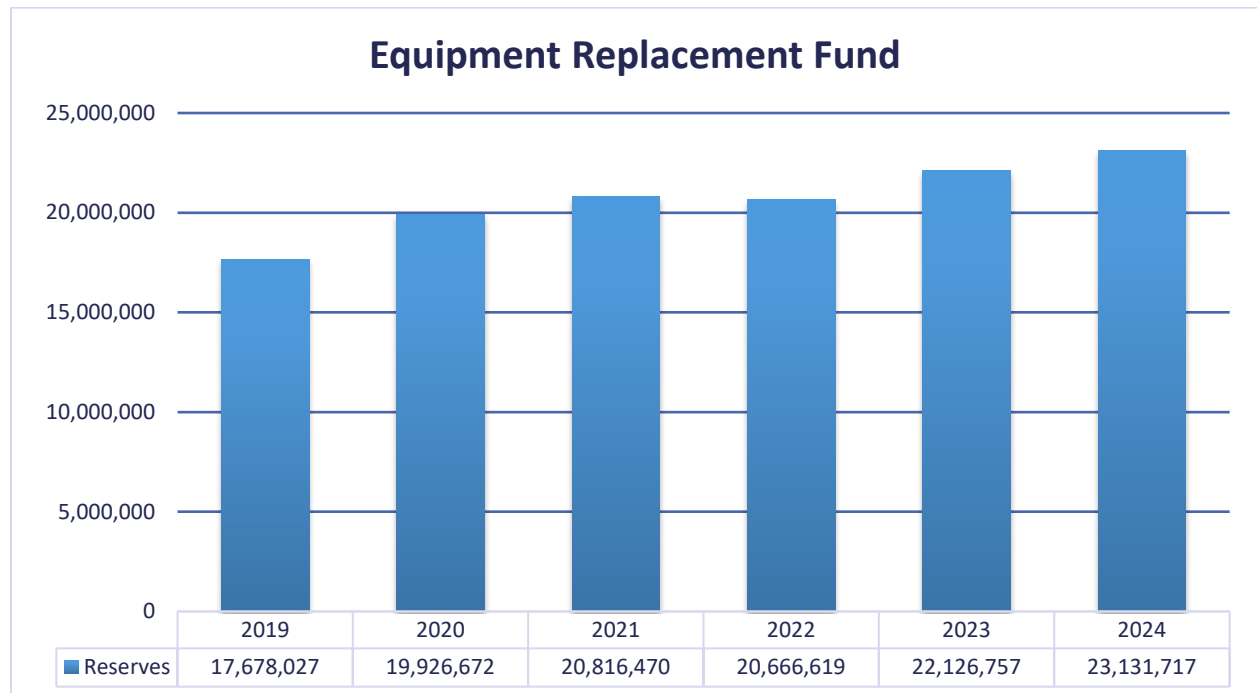


The total reserve balance for the Risk Fund was \$5,618,392 as of September 30, 2024. Out of this reserve balance, the Town funds the Reserve for Catastrophic Exposures/Emergencies - Risk Fund in the amount of \$2,500,000 and the Contingency Reserve for \$500,000. The trend for the Risk Fund Reserve is shown in the table. The minimum recommended reserve balance is \$4,000,000, which represents the amount of the Reserve for Catastrophic Exposures/Emergencies and the Contingency Reserve plus an equity amount of \$1 million to safeguard the Town's budget from an adverse event recommended by the actuary. The excess reserve for this fund at the end of FY24 is \$1,618,392. The \$3,000,000 appropriated each year for contingency and the Reserve for Catastrophic Exposures/Emergencies are not expected to be spent unless there is an emergency event such as a hurricane that would require the use of these reserves.

Reserve for Catastrophic Exposures/Emergencies - Risk Fund

The Reserve for Catastrophic Exposures/Emergencies for the Risk Fund is funded at a minimum of \$2,500,000. This reserve was established to set aside emergency funds to protect the Town against the potential financial impacts of large judgments in excess of insurance coverage and the financial impacts of response to and recovery from a man-made or natural emergency situation. In addition, the reserve can be used in response to increases in premium rates and/or loss fund increases. This reserve is funded with a budget appropriation from the Net Asset reserves of the Risk Fund.

Equipment Replacement Fund



The Town-wide Equipment Replacement Fund is intended to fund the replacement cost of existing equipment, vehicles and computers when they reach the end of their useful life. This reserve significantly reduces the budgetary fluctuations due to purchases of large pieces of equipment.

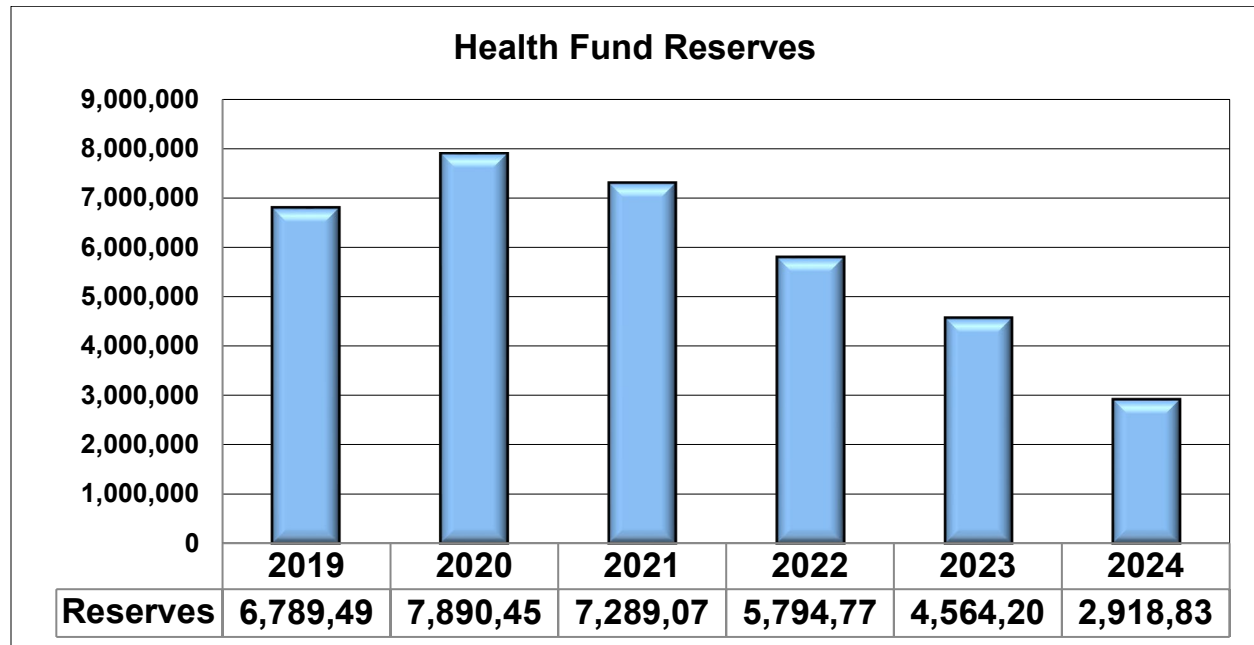
The Unassigned balance in the Equipment Replacement Fund Reserve for year-end FY24 was \$23,131,717.

For the FY25 budget, income including the depreciation transfer will total \$2,700,018 and expenditures for capital equipment are budgeted at \$4,933,442 which will cause the net assets of this fund to decrease.

Reserve Status

Town of Palm Beach

Health Insurance Reserve

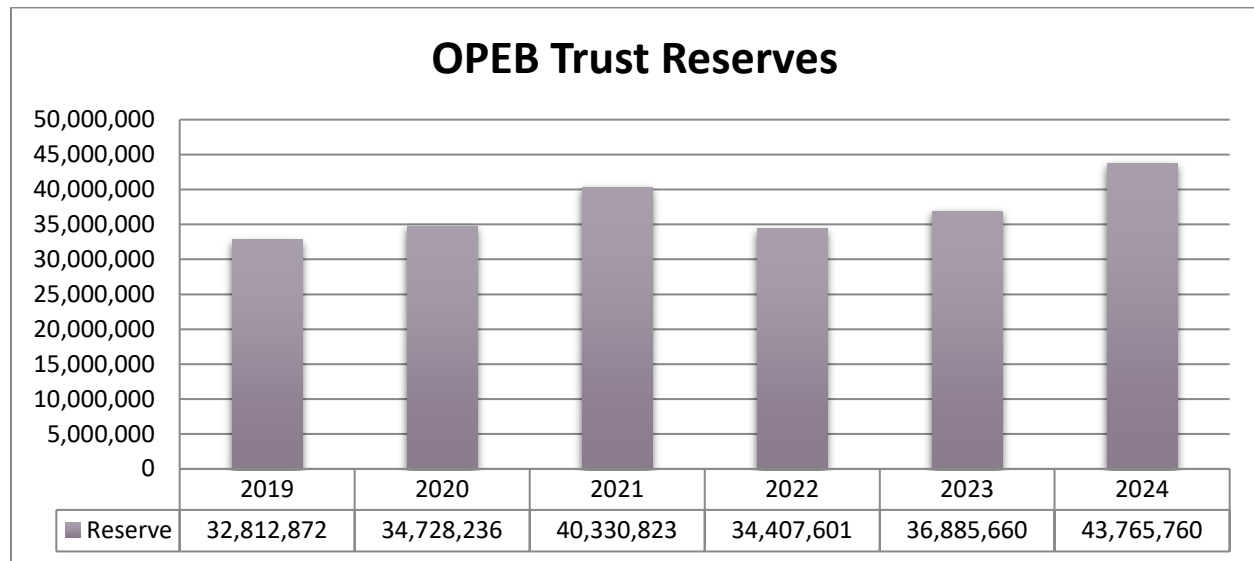


The balance of the reserve in the Health Fund at the end FY24 was \$2,918,838. These reserves guard against any deficiencies in the Town's self-insurance health fund for active employees' insurance expenditures. The trend in the reserve balance is shown in the chart. Since FY13, the Town maintained level funding of health insurance benefits due to the wellness program and good claims experience which enabled a reduction in funding for FY19 and FY20 and allowed for maintained level funding in FY21. The reserves of this fund have provided a cushion in case claims unexpectedly increase. In FY18, a transfer of \$2,300,000 from excess reserves to the Recreation Enterprise Fund was made to fund the Town's portion of the new Recreation Center. In FY21, reserves decreased due to higher than expected claims due to COVID. The actuary recommends a minimum reserve of 6 months of estimated claims, plus 60 days of claims, as well as the incurred but not Recorded (IBNR) claims. These amounts at the end of FY24 totaled \$3,922,035, leaving a deficit reserve amount of \$1,003,197. For the FY25 budget, \$1,434,417 from fund balance was used to balance the healthcare fund. This fund has been losing money for the last four fiscal years. The Town will need to substantially increase the transfer from the General Fund to balance the Health Fund in the FY26 budget. This reserve will likely decrease again in 2025.

Reserve Status

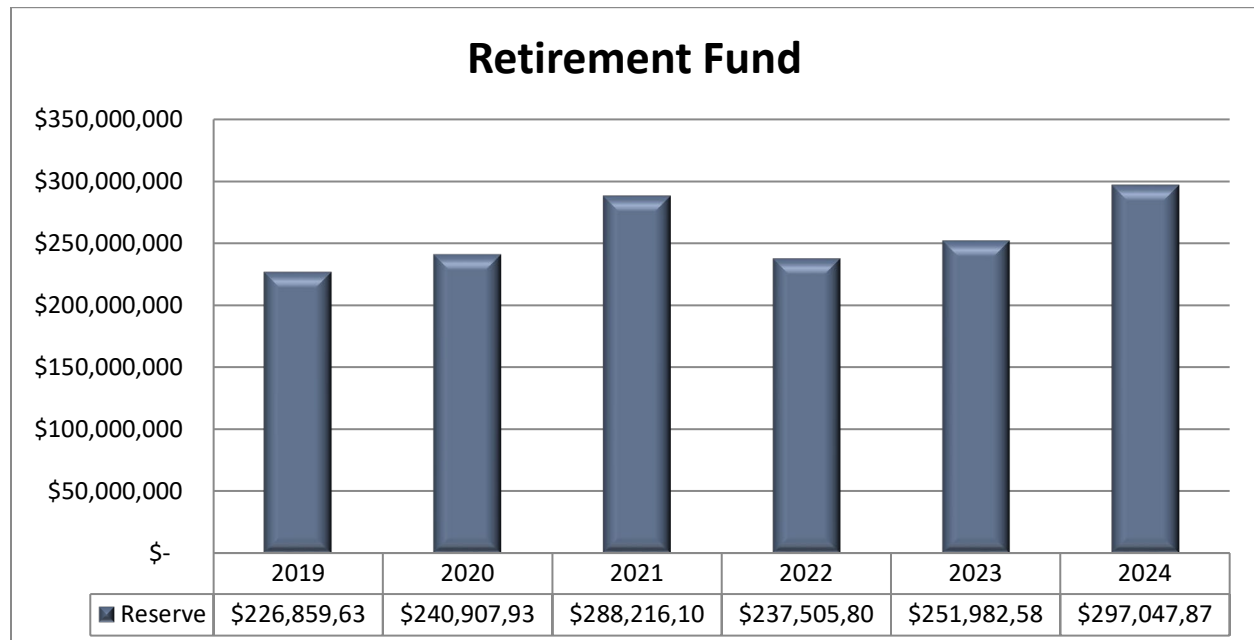
Town of Palm Beach

OPEB (Other Post Employment Benefits) Trust



The Town's OPEB Trust Fund was established in 2007 to comply with GASB Statements 43 and 54, which required the establishment of a liability for actuarially determined costs of retiree health benefits. This fund's investments are overseen by the Town's Investment Advisory Committee. The Committee lowered the investment assumption from 6% to 5% in FY21. The net asset balance in this trust was \$43,765,760 as of September 30, 2024. The total OPEB liability at the end of FY23, was calculated to be \$39,804,598, resulting in a Net OPEB asset of \$3,969,477, and a funded ratio of 109.97% using a 5% return assumption. The actuarially determined transfer from the General Fund for the OPEB liability for FY25 is \$828,584. The Town is well funded and continues to be well ahead of other government agencies.

Retirement Fund



Reserve Status

Town of Palm Beach

The Town provides pension benefits for General Employees, Lifeguards, Police Officers, and Firefighters. The funds were separately managed by three pension boards until the consolidation on April 1, 2012, into the Employee's Retirement Fund. The Retirement Board oversees all of the Town's pension assets and retirement programs. The net assets of the consolidated retirement fund at the end of FY24 were \$297,047,876. The increase was a result of investment performance during the year. The funded ratio increased from 73.8% last year to 73.6% this year. The reduction in the actuarial results resulted in an increase of \$2,009,375 in the actuarially determined employer contribution for the FY25 budget.

Contingency Reserves

Contingency reserves were established for the General Fund, Capital Fund, Equipment Replacement Fund, Marina and Par 3 Enterprise Funds, Building Enterprise Fund, Risk Insurance Fund and Health Insurance Fund to provide for unanticipated unbudgeted expenditures of a nonrecurring nature. The amount of the General Fund Contingency has been funded at \$600,000 since FY2021 (the Town's policy states it would be funded at 1% of the operating expenses and will need to be changed to reflect the current environment). The Capital Fund Contingency is accounted for at the project level and uses a contingency anywhere between 5-20%, depending on the type of project. The Equipment Replacement Fund, Risk, and Health Contingency Reserves are appropriated at \$500,000 each. The Enterprise Funds maintain a Contingency Reserve at 5% of the operating expenses. All of the contingency reserves are annually appropriated in the budget process from the net asset reserves of each of the funds. Amounts from the contingency are appropriated for expenditures through an affirmative vote of the Town Council.

The table on the other page identifies the contingency budgets and actual expenditures for the fiscal years 2020 through FY2025 budget.

Reserve Status
Town of Palm Beach

Contingency Balances
2020-2025

Contingency	2020	2021	2022	2023	2024	2025
General Fund Budget	\$610,000	\$600,000	\$600,000	\$600,000	\$600,000	\$600,000
General Fund Actual	160,280	105,000	42,000	212,000	600,000	-
ERF Budget	500,000	500,000	500,000	500,000	500,000	500,000
ERF Actual		30,000	130,000	144,337		-
Risk Budget	500,000	500,000	500,000	500,000	500,000	500,000
Risk Actual	-	-	-	-	60,000	-
Health Budget	500,000	500,000	500,000	500,000	500,000	500,000
Health Actual	-	-	-	-	-	-
Par 3 Golf Course Budget	85,298	93,223	103,477	130,169	142,022	157,951
Par 3 Golf Course Actual	69,000	-	100,000		-	-
Marina Budget	54,209	39,686	123,094	145,985	185,883	173,680
Marina Actual	-	-	-	-	-	-
Building Permit Fund Budget	-	138,720	166,817	187,439	217,708	229,687
Building Permit Fund Actual	-	74,030		-	-	-

Unassigned Net Position

All reserves are at or over the policy established minimum. The financial strength of the Town can be measured by the health of its reserves. Bond rating agencies look closely at the reserve levels and the financial policies in place when rating a municipality. The rating agencies reviewed the Town's credit ratings in preparation for the issuance of the Town's bonds. They cited the Town's healthy reserves, solid fiscal policies, and conservative management practices as some of the reasons for our exceptional bond ratings. Moody's Investors Service upgraded in FY23 the Town's Revenue Bonds to Aaa and provided the Town with a General Obligation Bond rating of Aaa. Standard and Poor's has recently upgraded the credit rating on the revenue bonds to AAA and provided the Town's General Obligation Bond a rating of AAA. These revenue bond ratings and issuer credit ratings are the highest ratings these two services issue and represent the highest quality investment grade debt.

The table and the chart on the following page summarize the trend of the unassigned net position, compensated absence, and replacement reserve balances for fiscal year ending 2019 through fiscal year end 2024. Total reserves equal \$537,837,720. Reserves less Pension and Retiree Health Trust total \$197,024,084. Total Town reserves have grown over 33.4% since 2019. Total reserves *less* the Pension Fund, Retiree Health OPEB Trust, and Townwide Undergrounding have grown by 4% or \$7,588,894 over the same period. The Pension and Retiree Health Funds have grown by \$81,141,125 or 31.2% since 2019.

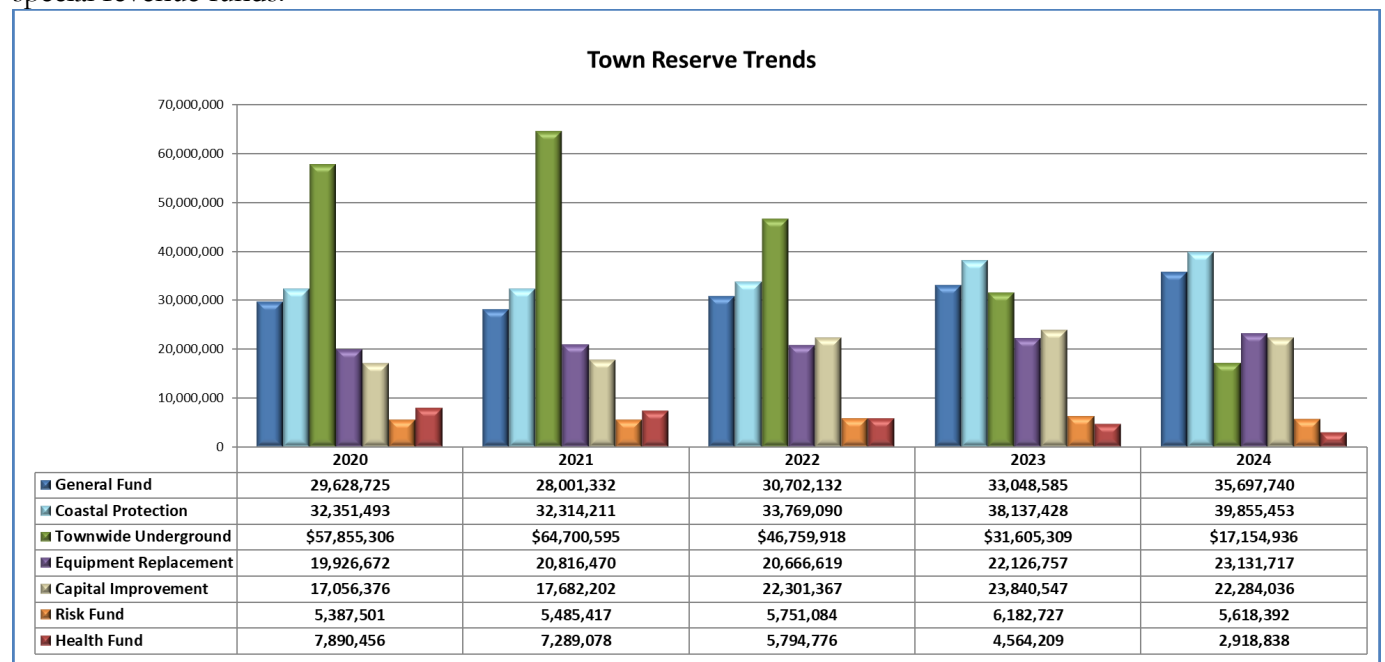
Reserve Status

Town of Palm Beach

Town Reserve Balance History 2019 – 2024

Fund	2019	2020	2021	2022	2023	2024
General Fund	\$ 26,540,203	\$ 29,628,725	\$ 28,001,332	\$ 30,702,132	\$ 33,048,585	\$ 35,697,740
Compensated Absence (GF)	\$ 3,094,888	\$ 2,703,693	\$ 2,645,408	\$ 2,198,670	\$ 2,652,248	\$ 1,992,249
Equipment Replacement Fund	\$ 17,678,027	\$ 19,926,672	\$ 20,816,470	\$ 20,666,619	\$ 22,126,757	\$ 23,131,717
Town Docks Unassigned Reserve			\$ 5,244,165	\$ 2,465,346	\$ 7,801,152	\$ 10,887,923
Marina Replacement	\$ 3,980,807	\$ 5,141,712	\$ 5,116,981	\$ 6,746,069	\$ 8,523,256	\$ 10,300,433
Marina Equipment Replacement				\$ -	\$ 20,102	\$ 7,167
Tennis M&I reserve	\$ 80,841	\$ 80,962	\$ 80,962	\$ 80,962	\$ 80,962	\$ 80,962
Par 3 R&R Reserve	\$ 992,341	\$ 985,326	\$ 1,050,369	\$ 1,015,845	\$ 628,706	\$ 395,386
Par 3 Equipment Replacement	\$ 524,641	\$ 524,869	\$ 555,779	\$ 591,211	\$ 487,596	\$ 532,171
Building Fund			\$ 2,572,742	\$ 7,252,043	\$ 12,361,385	\$ 15,054,137
MPSCC Replacement Fund (PS)				\$ 196,445	\$ 262,467	\$ 262,467
Donation Fund	\$ 1,490,547	\$ 1,011,637	\$ 1,041,522	\$ 1,016,553	\$ 1,019,940	\$ 2,000,866
Debt Service	\$ 1,381,353	\$ 1,659,221	\$ 1,479,569	\$ 1,511,783	\$ 1,371,684	\$ 302,228
Capital Improvement	\$ 16,354,430	\$ 17,056,376	\$ 17,682,202	\$ 22,301,367	\$ 23,782,707	\$ 22,284,036
Coastal Protection Fund	\$ 39,769,059	\$ 32,351,493	\$ 32,314,211	\$ 33,769,090	\$ 38,104,995	\$ 44,138,883
Townwide Underground Fund	\$ 63,944,516	\$ 57,855,306	\$ 64,700,595	\$ 46,759,918	\$ 31,605,309	\$ 17,154,936
2013 ACIP Fund	\$ 1,601,603	\$ 864,227	\$ -	\$ -		
Health Fund	\$ 6,789,493	\$ 7,890,456	\$ 7,289,078	\$ 5,794,776	\$ 4,564,209	\$ 2,918,838
Risk Fund	\$ 5,212,442	\$ 5,387,501	\$ 5,485,417	\$ 5,751,084	\$ 6,182,727	\$ 5,618,392
Health - OPEB Trust	\$ 32,812,872	\$ 34,728,236	\$ 40,330,823	\$ 34,407,601	\$ 36,885,660	\$ 43,765,760
Pension Funds	\$ 226,859,639	\$ 240,907,938	\$ 288,216,109	\$ 237,505,807	\$ 251,982,588	\$ 297,047,876
Total	\$ 449,107,701	\$ 458,704,350	\$ 524,623,734	\$ 460,733,321	\$ 483,493,035	\$ 533,574,167

The chart below shows the reserve trends of the major Town funds excluding enterprise funds and special revenue funds.



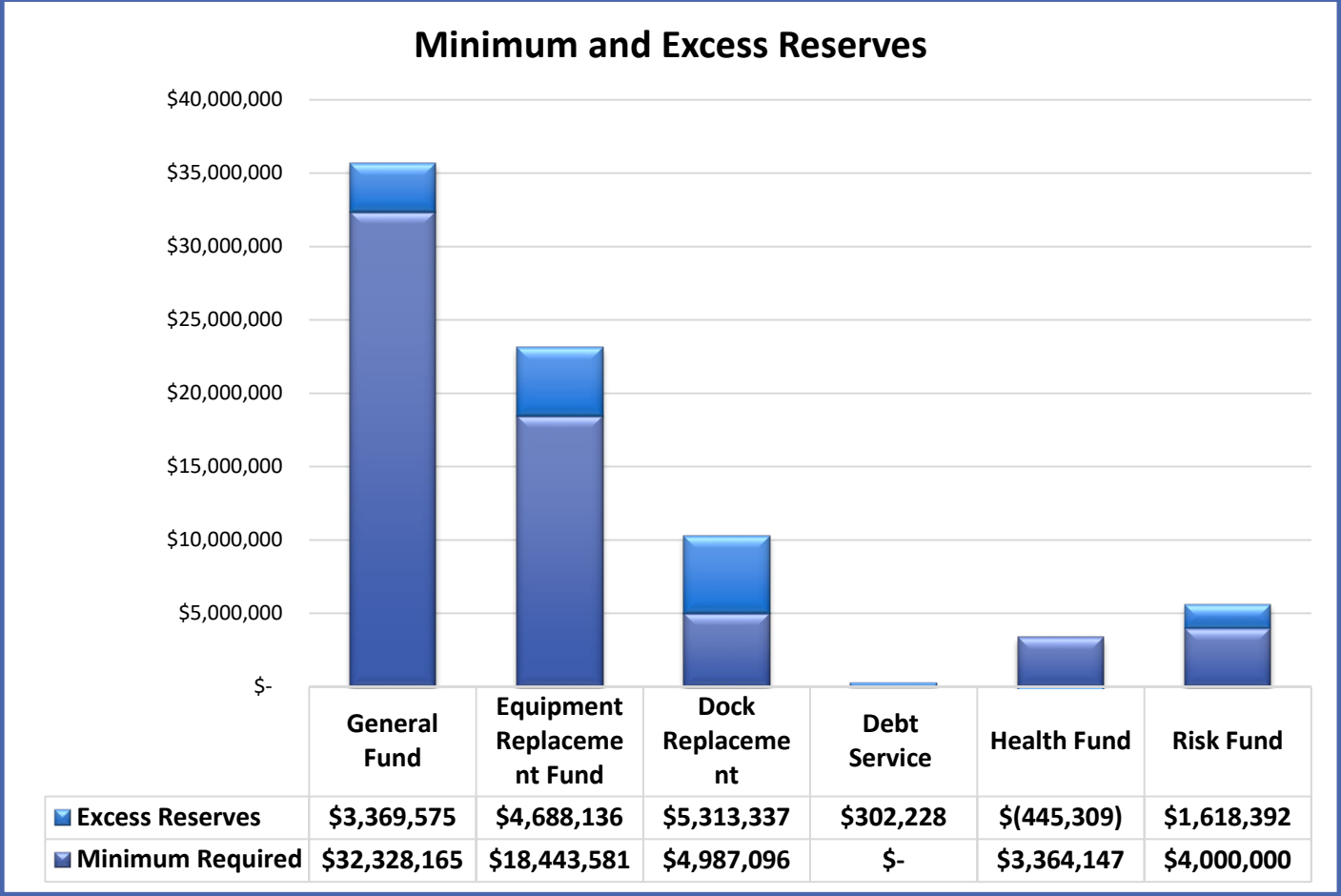
Reserve Status

Town of Palm Beach

Excess Reserves

Many of the Town's reserves must be maintained at a minimum level set by policy or based on recommendations of the actuarial firms used by the Town. The various capital fund reserves represent funds that have been accrued for future projects. The chart below shows the FY24 ending balance, minimum reserve amount and excess reserve balances. Total excess reserves are \$14,846,360.

Fund	2024 Reserve Balance	Minimum Required Balance	Excess Reserves
General Fund	\$ 35,697,740	\$ 32,328,165	\$ 3,369,575
Building Enterprise Fund	\$ 23,131,717	\$ 23,131,717	\$ -
Equipment Replacement Fund	\$ 23,131,717	\$ 18,443,581	\$ 4,688,136
Dock Replacement	\$ 10,300,433	\$ 4,987,096	\$ 5,313,337
Debt Service	\$ 302,228	\$ -	\$ 302,228
Capital Improvement	\$ 22,284,036	\$ 22,284,036	\$ -
Coastal Protection Fund	\$ 44,138,883	\$ 44,138,883	\$ -
Health Fund	\$ 2,918,838	\$ 3,364,147	\$ (445,309)
Risk Fund	\$ 5,618,392	\$ 4,000,000	\$ 1,618,392
Health - OPEB Trust	\$ 43,765,760	\$ 43,765,760	\$ -
Pension Funds	\$ 297,047,876	\$ 297,047,876	\$ -
Total	\$ 534,328,867	\$ 519,482,507	\$ 14,846,360



TOWN OF PALM BEACH

Town Council Meeting on: May 13, 2025

Section of Agenda

Regular Agenda - New Business

Agenda Title

249 Bahama Lane - Three Strikes & Stop Work Order

Presenter

H. Paul Brazil, P.E., Director of Public Works

ATTACHMENTS:

- ▣ **PZB Staff Memorandum and Backup**

TOWN OF PALM BEACH

Information for Town Council Meeting on:

May 13, 2025

To: Mayor and Town Council

Via: Kirk Blouin, Town Manager / Wayne Bergman, Director of Planning, Zoning & Building

From: Michelle Sentmanat, Business Services Supervisor in PZB

Re: 249 Bahama Ln – Permit SITE-25-00207 – Three Strike & Stop Work Order

Date: April 24, 2025

FYI – This Memo is provided as Information to the Town Council

As you know, the Town has a “Three Strike Rule” for construction parking and construction site management. The regulations and process are found in the Town’s “Department of Public Works, Engineering Division, Standards Applicable to Public Rights-of-Way and Easements Within the Town of Palm Beach” (commonly called the Right-of Way-Manual), dated May 1994, as revised through November 8, 2022. Chapter XII, Miscellaneous Provisions, contains the details of the Three Strike rules. The regulations spell out the process in which contractors can secure parking permits, the fees for various violations, and the process that must occur once a contractor receives Three Strikes – three different sets of tickets for construction violations. The applicable pages of the Right of Way Manual are attached.

249 Bahama Lane recently reached the level of three (3) Strikes for construction-related violations in the right of way. The contractor is Jeremy Vassalotti Inc.

The regulations allow a time frame for the violator to appeal the ticket(s). In the most recent case, the violation was issued by Public Works and no appeal was made. We are requiring the contractor to appear before the Town Council regarding the three strikes as well as having all citations and subsequent fines for three strikes paid prior to the meeting date.

The Town Council’s process for this matter is contained within the Public Works “Right of Way Manual”, as follows:

“When the Town Council receives a written request to lift a stop work order the Town Council shall have the power to admonish the contractor; take such action as deemed necessary to effect the stop work order on a permanent basis by nullifying the existing building permit; cause the contractor and/or property owner to enter into a binding agreement to memorialize the understandings between the Town and the contractor and/or property owner relative to all conditions placed upon the lifting of the stop work order, if applicable; establish penalties for future right-of-way violations the amount for which shall be in the sole discretion of the Town Council; collect the fine as outlined below, plus payment of any outstanding right-of-way fines and accumulated interest, as referenced herein below and to prohibit the issuance of any additional

right-of way permits for the duration of the work in question.

The fine for a third (3rd) strike shall be \$500; the fine and penalty for a fourth (4th) strike shall be a fine of \$2,500 and a mandatory thirty (30) day shutdown of the construction project; the fine and penalty for a fifth strike shall be a fine of \$5,000 and a mandatory thirty (30) day shutdown of the construction project, plus payment of any outstanding right of-way fines and accumulated interest unless the Town Council chooses to invoke the use of a binding agreement memorializing a penalty structure to be paid to the Town for all future right-of-way violations in excess of three (3) to be paid in accordance with the terms and conditions of the binding agreement between the Town and the contractor and/or property owner. All fines and penalties shall be paid in full prior to issuance of a Certificate of Occupancy for the construction associated with the activity that generated the fines, penalties, and interest."

Any motion to resolve this matter should include "waiving the third strike" and "granting the ability for the contractor to apply for future right of way permits".

Attachments: Copy of the Pending Stop Work Order Notice
Copies of the Violations and Fines

Cc: Paul Brazil, Director of Public Works
Nicholas Caristo, Police Chief
Benjamin Alma, Parking and Code Enforcement Manager

JERERMY VASSALOTTI, INC.
300 W 10TH STREET
WEST PALM BEACH, FL 33404
561-631-7299

4/18/2025

Re: CITIATION

NOV-10975 – Was told by code enforcement to have a flagger which was provided and permit expired 3/25/2025 the same day as the pouring.

PW – 0679 – Material equipment was being picked up.

To whom it may concern,

Jeremy Vassalotti, Inc. is requesting to attend the next town council meeting on May 14th, 2025 to request a lift to the "Stop Work" order at 249 Bahama Lane Palm Beach, FL 33480 for the citations mentioned above.

Please confirm if permission is granted for attendance.

Thank you,

A handwritten signature in black ink, appearing to be 'J. Vassalotti', with a stylized, looped flourish at the end.

Jeremy Vassalotti, Owner

Jeremy Vassalotti, Inc



TOWN OF PALM BEACH

Planning, Zoning & Building Department

April 18, 2025

Via email & mail: office.jvi@yahoo.com

Jeremy Vassalotti Inc
% Jeremy Vassalotti
300 W. 10th Street
West Palm Beach, FL 33404

Re: **STOP WORK ORDER PENDING** - 3-Strike Rule Citations – 249 Bahama Ln – SITE-25-00207

As you know, the Town of Palm Beach Standards Applicable to Public Rights-Of-Way And Easements Within The Town Of Palm Beach regulates the number of construction-related vehicles that can be parked on Town streets in conjunction with building project sites within the Town. Attached to all construction permits issued to a job is information regarding these regulations.

Your project has received **three citations, constituting three strikes**:

Strike 3 March 26, 2025 (PW-0679 working in the right of way without a permit)

Strike 2 March 25, 2025 (NOV-10975 for obstruction of the right of way without a permit – concrete pour)

Strike 1 December 18, 2024 (PW-0658 for failure to have a permit on job)

Therefore, under the Town's rules (referred to as the "3-strike" rule), the Director of Public Works and Police Chief have notified the Planning, Zoning & Building Department of these violations, and requested that a **"Stop Work"** order be issued as allowed by Section 18-204 of Town Code.

Per Town Resolution No 001-2022, because you have received three strikes, fines are being imposed and are also payable immediately to the Town of Palm Beach. These fines are in addition to all right-of-way fines referenced above. Refer to Invoice #INV-25-25-11731 and 11732. Payments can now be made at www.townofpalmbeach.com

An appeal for the Notice of Violation could have been made, however, by virtue of payment for the Notice of Violation closes the code case and becomes an admission of guilt. This was for strike 2. Strike three has passed the appeal request time. At this time, it is up to the Building Official if a "Stop Work" order will be issued. If issued, no work may be carried out at the site under any permits issued by the Town of Palm Beach.

All requests to lift a **"Stop Work"** order would need to be decided by the Town Council. The next Town Council meeting date is Wednesday, May 14, 2025. For this item to be considered at that meeting, you would need to submit a written request to Michelle Sentmanat @ msentmanat@townofpalmbeach.com.

Truly yours,

Wayne Bergman

Wayne Bergman
Director, Planning, Zoning & Building Department

cc: Dana and Jessica Koch @ 249 Bahama Lane, Palm Beach, FL 33480
K. Blouin, Town Manager
H. Paul Brazil, Public Works Director
Nicholas Caristo, Police Chief
Benjamin Alma, Parking and Code Enforcement Manager

**INVOICE (INV-25-00011731)
FOR TOWN OF PALM BEACH**

BILLING CONTACT

Jeremy Vassalotti
Jeremy Vassalotti Inc
300 W 10th Street
West Palm Beach, FL 33404



INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
INV-25-00011731	04/18/2025	04/19/2025	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
STRIKE-25-00261	Fine for strike 2	\$250.00
249 Bahama Ln Palm Beach, FL 33480		SUBTOTAL \$250.00

REMITTANCE INFORMATION
Town of Palm Beach 360 S County Rd PO Box 2029 Palm Beach, FL 33480 561-838-5431

TOTAL **\$250.00**

**INVOICE (INV-25-00011732)
FOR TOWN OF PALM BEACH**

BILLING CONTACT

Jeremy Vassalotti
Jeremy Vassalotti Inc
300 W 10th Street
West Palm Beach, FL 33404



INVOICE NUMBER	INVOICE DATE	INVOICE DUE DATE	INVOICE STATUS	INVOICE DESCRIPTION
INV-25-00011732	04/18/2025	04/19/2025	Due	NONE

REFERENCE NUMBER	FEE NAME	TOTAL
STRIKE-25-00257	Fine for strike 3	\$500.00
249 Bahama Ln Palm Beach, FL 33480		SUBTOTAL \$500.00

REMITTANCE INFORMATION
Town of Palm Beach 360 S County Rd PO Box 2029 Palm Beach, FL 33480 561-838-5431

TOTAL **\$500.00**



VIOLATION NOTICE

RIGHT-OF-WAY, PARKING & CONSTRUCTION SITE MANAGEMENT

NAME: Jay Vassalotti (Vassalotti)DATE: 12/18/24JOB ADDRESS: 249 Bahama Lane

The following violations shall be considered strikes based on the "3-Strike Rule" for construction projects.
The Town may also concurrently prosecute the violation(s) through the Code Enforcement process.

- | | |
|---|------------------------------|
| <input type="checkbox"/> Working outside permit hours of construction | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to comply with noise regulations | \$150x _____ = _____ |
| <input type="checkbox"/> Insufficient or not properly maintained construction screening | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to maintain landscaping, where used for screening | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to provide or properly screen on-job toilet facilities | \$150x _____ = _____ |
| <input type="checkbox"/> Violation of approved construction staging/truck logistics plan | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to provide dedicated traffic monitor | \$150x _____ = _____ |
| <input type="checkbox"/> Worth Avenue-Parking construction vehicle/not actively loading/unloading | \$150x _____ = _____ |
| <input type="checkbox"/> Construction parking without a permit* | |
| 1st Offence \$150 2nd Offence \$250 Thereafter \$500 | _____ x _____ = _____ |
| Vehicle Tag(s): | |
| <input type="checkbox"/> Working in right-of-way without permit | \$150x _____ = _____ |
| <input checked="" type="checkbox"/> Failure to have permit on job | \$150x <u>1</u> = <u>150</u> |
| <input type="checkbox"/> Inadequate Maintenance of Traffic | \$150x _____ = _____ |
| <input type="checkbox"/> Right-of-way littered by site dirt or debris | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to maintain safe sidewalks | \$150x _____ = _____ |
| <input type="checkbox"/> Failure to carry-out permit terms and conditions | \$150x _____ = _____ |
| <input type="checkbox"/> Storage of materials in right-of-way | \$150x _____ = _____ |
| <input type="checkbox"/> Use of right-of-way as work area | \$150x _____ = _____ |
| <input type="checkbox"/> Damage to infrastructure in right-of-way | \$150x _____ = _____ |
| <input type="checkbox"/> Dewatering without a permit | \$150x _____ = _____ |
| <input type="checkbox"/> Illegal discharges to Town sewers** | _____ x _____ = _____ |
| <input type="checkbox"/> Failure to Comply with Town's right-of-way manual *** | \$150x _____ = _____ |
| <input type="checkbox"/> Other _____ | _____ x _____ = _____ |
| <input type="checkbox"/> 2nd and added days of violation, double fine | _____ x _____ = _____ |

TOTAL FINE \$ 150⁰⁰

Should you wish to contest this violation call the Public Works office at 561-838-5440 within seven (7) calendar days of the date of issuance. Total fine to be paid within 10 working days to: Town of Palm Beach, Finance Dept, PO Box 2029, Palm Beach, FL 33480, may also be paid in person at 360 S County Rd, Palm Beach, FL 33480. Please attach copy of this violation with payment, check must reference violation number.

No further permits will be issued until fine is paid.

*Parking violations are per vehicle per day. Parking placard must be displayed in vehicle.

**Fines plus clean-up costs

***Includes but not limited to: Dumpster in Right-of-way -\$100 per incident. Right-of-way restoration-\$30 per day until restored.

ISSUER: _____

Strike 1

Strike 2

TOWN OF PALM BEACH

10975



POLICE DEPARTMENT Code Enforcement Unit Notice of Violation



Jason
Respondent's Name

561 445-6966
Respondent's Address

Jeremy Vassalotti Inc
Name of Company/Resident/Business

Property/Business Address

YOU ARE NOTIFIED that on Tuesday, March 25, 2025 at 1238 hrs

a violation of Obstruction of the R.O.W w/o a permit (concrete pour)
8 no MOT (description of violation)

which violate the following Town of Palm Beach Code of Ordinances: 106-1

occurred at: 249 Bahama Ln (violation address)

YOUR OPTIONS ARE INDICATED BELOW:

☒ 1) YOU MAY ADMIT to the violation by making payment by mail or in person between the hours of 9:00 A.M. and 5:00 P.M., Monday through Friday, at the Town's Finance Department at 360 South County Road., Palm Beach, Florida 33480. NO LATER THAN 5:00 P.M. ON THE MONDAY BEFORE THE SCHEDULED HEARING NOTED BELOW. The fine amount is \$ 125
OR

YOU MAY ELECT TO APPEAR IN PERSON before the Code Enforcement Board on Thursday, May 15, 2025 at 2 P.M. in the Town Council Chambers, Town Hall, located at 360 South County Road., Palm Beach, Florida 33480. For further information call 561/227-7080

☐ 2) THIS CASE WILL BE HEARD BEFORE THE CODE ENFORCEMENT BOARD on Thursday, _____ at 2 P.M. in the Town Council Chambers, Town Hall, located at 360 South County Road., Palm Beach, Florida 33480. For further information call 561/227-7080

I ACKNOWLEDGE RECEIPT OF THIS CODE ENFORCEMENT NOTICE OF VIOLATION

[Signature]
Signature of Respondent

This will be your only notice of the hearing. Failure to pay the fine or appear at the hearing will result in this matter being held in absentia. The maximum fine imposed may be \$250 for a first offense, \$500 for repeat offenses, or a maximum of \$5,000 if irreparable in nature, in addition to the administrative costs.

JOLIVARES/0272 3/25/25 1252 hrs 2025-084-118
Code Enforcement/Police Officer - I.D. Date Time Case/CAD #

I WISH TO ADMIT TO THE CHARGES, WAIVE MY RIGHT TO A HEARING AND PAY FINE.

Signature of Respondent

WHITE - PD Case File BLUE - PD Log GREEN - Finance CANARY - Respondent

CE 25-689



PUBLIC WORKS DEPARTMENT
561-838-5440
VIOLATION NOTICE

PW - **0679**

RIGHT-OF-WAY, PARKING & CONSTRUCTION SITE MANAGEMENT

NAME: Vastlata DATE: 3-26-25

JOB ADDRESS: 249 Bahama Ln

The following violations shall be considered strikes based on the "3-Strike Rule" for construction projects.
The Town may also concurrently prosecute the violation(s) through the Code Enforcement process.

- | | |
|---|----------|
| <input type="checkbox"/> Working outside permit hours of construction | \$150x = |
| <input type="checkbox"/> Failure to comply with noise regulations | \$150x = |
| <input type="checkbox"/> Insufficient or not properly maintained construction screening | \$150x = |
| <input type="checkbox"/> Failure to maintain landscaping, where used for screening | \$150x = |
| <input type="checkbox"/> Failure to provide or properly screen on-job toilet facilities | \$150x = |
| <input type="checkbox"/> Violation of approved construction staging/truck logistics plan | \$150x = |
| <input type="checkbox"/> Failure to provide dedicated traffic monitor | \$150x = |
| <input type="checkbox"/> Worth Avenue-Parking construction vehicle/not actively loading/unloading | \$150x = |
| <input type="checkbox"/> Construction parking without a permit* | \$150x = |
| 1st Offence \$150 2nd Offence \$250 Thereafter \$500 | x = |
| Vehicle Tag(s): | |

- | | |
|--|---------------------------------|
| <input checked="" type="checkbox"/> Working in right-of-way without permit | \$150x <u>1</u> = <u>150.00</u> |
| <input type="checkbox"/> Failure to have permit on job | \$150x = |
| <input type="checkbox"/> Inadequate Maintenance of Traffic | \$150x = |
| <input type="checkbox"/> Right-of-way littered by site dirt or debris | \$150x = |
| <input type="checkbox"/> Failure to maintain safe sidewalks | \$150x = |
| <input type="checkbox"/> Failure to carry-out permit terms and conditions | \$150x = |
| <input type="checkbox"/> Storage of materials in right-of-way | \$150x = |
| <input type="checkbox"/> Use of right-of-way as work area | \$150x = |
| <input type="checkbox"/> Damage to infrastructure in right-of-way | \$150x = |
| <input type="checkbox"/> Dewatering without a permit | \$150x = |
| <input type="checkbox"/> Illegal discharges to Town sewers** | x = |
| <input type="checkbox"/> Failure to Comply with Town's right-of-way manual *** | \$150x = |
| <input type="checkbox"/> Other | x = |
| <input type="checkbox"/> 2nd and added days of violation, double fine | x = |

TOTAL FINE 150.00

Should you wish to contest this violation call the Public Works office at 561-838-5440 within seven (7) calendar days of the date of issuance. Total fine to be paid within 10 working days to: Town of Palm Beach, Finance Dept, PO Box 2029, Palm Beach, FL 33480, may also be paid in person at 360 S County Rd, Palm Beach, FL 33480. Please attach copy of this violation with payment, check must reference violation number.

No further permits will be issued until fine is paid.

*Parking violations are per vehicle per day. Parking placard must be displayed in vehicle.

**Fines plus clean-up costs

***Includes but not limited to: Dumpster in Right-of-way -\$100 per incident. Right-of-way restoration-\$30 per day until restored.

ISSUER: [Signature]

WHITE/VIOLATOR YELLOW/ISSUER PINK/PZB

Strike 3