

LANDMARK HOUSES IN THE NEIGHBORHOOD WHO HAVE SITE/ SECURITY WALLS FOR PRIVACY AND DEFENSE



61 MIDDLE RD



25 MIDDLE RD



5 MIDDLE ROAD



780 SOUTH OCEAN BOULEVARD

LANDMARK HOUSES IN THE NEIGHBORHOOD WHO HAVE SITE/ SECURITY WALLS FOR PRIVACY AND DEFENSE



710 SOUTH OCEAN BOULEVARD



640 SOUTH OCEAN BOULEVARD



102 JUNGLE ROAD



840 SOUTH OCEAN BOULEVARD

70 MIDDLE ROAD SHOWING
"STAFF CARS" PARKED IN THE
OWNER'S PRIVATE DRIVEWAY;
WITHOUT ANY VISUAL SCREENING.

70 MIDDLE ROAD

70 MIDDLE ROAD SHOWING PROPOSED
SITE/ SECURITY WALL;
TO INCLUDE PROVIDING VISUAL SCREENING
OF "STAFF CARS" PARKED IN THE OWNER'S
PRIVATE DRIVEWAY.

SITE WALL.8

DEMONSTRATIVES PROVIDED BY THE OWNER

70 MIDDLE ROAD: Showing MULTIPLE LEGALLY PARKED "STAFF CARS"
in the OWNER'S PRIVATE DRIVEWAY



"STAFF CARS" PARKED LEGALLY inside the OWNER'S PRIVATE DRIVEWAY have been the SUBJECT of the Neighbors' repeated RACIALLY MOTIVATED COMPLAINTS (because the CARS are not FANCY enough for their liking).

70 MIDDLE ROAD: Showing MULTIPLE LEGALLY PARKED "STAFF CARS"
in the OWNER'S PRIVATE DRIVEWAY with NEW SITE/ SECURITY WALL.



PROPOSED NEW SITE/ SECURITY WALL to PROTECT the OWNER and her STAFF AGAINST TRESPASSERS and VANDALIZERS; to include PROVIDING VISUAL SCREENING of " STAFF CARS" in the OWNER'S PRIVATE DRIVEWAY.

70 MIDDLE ROAD WITH SITE/ SECURITY WALL



**70 MIDDLE ROAD showing MULTIPLE “STAFF CARS”
LEGALLY parked in the OWNER’S PRIVATE DRIVEWAY
SHIELDED behind a NEW SITE/ SECURITY WALL**

70 MIDDLE ROAD WITH SITE/ SECURITY WALL

**70 MIDDLE ROAD: THE OWNER HAS BEEN REPEATEDLY TARGETED and TERRORIZED
by PREDATOR'S, "PEEPING TOM'S" and VANDALIZERS.
THESE HEINOUS ACTS of HARASSMENT and INTIMIDATION ANTICS--AGAINST the OWNER--
HAVE BEEN DOCUMENTED to PALM BEACH POLICE (between 2019 and 2024).
A DEFENSIVE SITE/ SECURITY WALL WILL PROTECT the OWNER (and her MULTI-RACIAL STAFF)
AGAINST THOSE INDIVIDUALS WHO HAVE REPEATEDLY ENGAGED
IN ANTAGONISTIC BEHAVIORS MEANT TO HARM THE OWNER.**

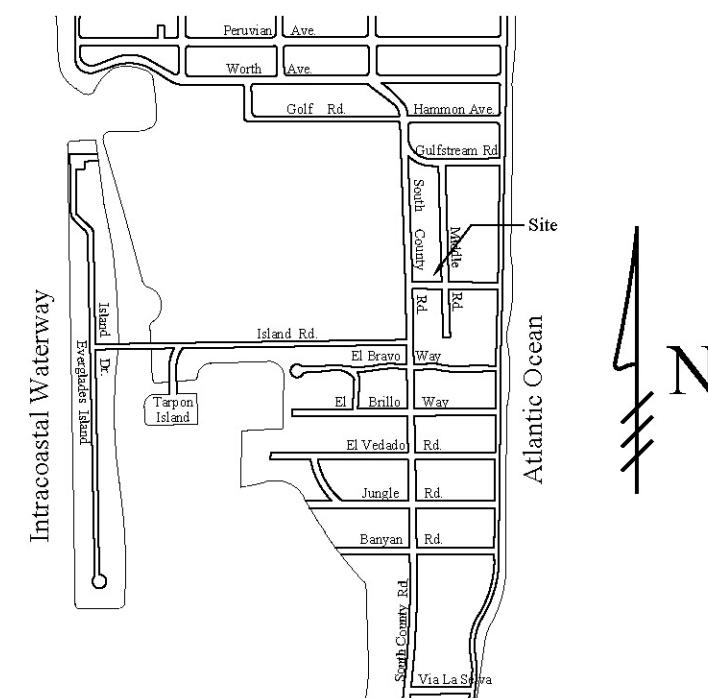


48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
2674 MIDWAY AVE. SUITE 305
WEST PALM BEACH, FL 33411
PHONE: 561.312.2611
office@gruberengineers.com

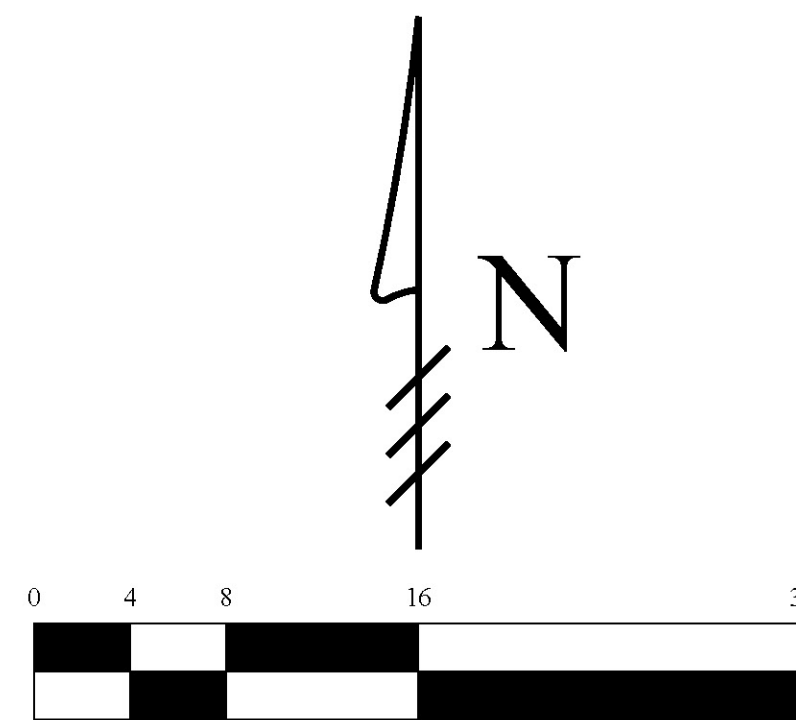
Project Information				
Project No.	2017-0017	Issue Date	12/17/2019	Scale
Issue Date	12/17/2019	Scale	1"8" = 1'-0"	Drawn By
Scale	1"8" = 1'-0"	Drawn By	KM	Checked By
Drawn By	KM	Checked By	CG	



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP.(NAVD-88)
PROPOSED ELEVATION (NAVD-88)
PROPOSED ELEVATION CONTOUR (NAVD-88)
FLOW DIRECTION
EXFILTRATION TRENCH
AREA DRAIN
24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

1	02/19/20	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
2	11/09/20	
3	01/18/2022	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
4	4/18/2022	ADJUST PROPOSED GRADING AND DRAINAGE
5	06/30/2022	ADD DOWNSPOUT CONNECTIONS
6	09/23/2022	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
7	01/31/2023	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
8	10/10/2023	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
9	10/03/2024	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
10	10/21/2024	UPDATE PLAN BACKGROUND; ADD GENERATOR EXHAUST DRY WELL

Plan Background from Site Plan by
Naegele Received 10/18/24

COA-24-0025
ZON-24-0065

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Conceptual Site Grading & Drainage Plan For:
Naegele Residence
Palm Beach, Florida
70 Middle Road

Revisions

1	02/19/2020	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
2	11/09/2020	
3	01/18/2022	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
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Chad M. Gruber

FL P.E. No. 57466

Sheet No.

C-1

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 15,495 sq.ft.

Drainage Area Impervious Surface = 9,894 sq.ft.

Drainage Area Pervious Surface = 5,601 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 9,894 \text{ sq.ft.} \times 1 \text{ ft}/12 \text{ in.} = 1,649 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 5,601 \text{ sq.ft.} \times 1 \text{ ft}/12 \text{ in.} = 187 \text{ cu.ft.}$

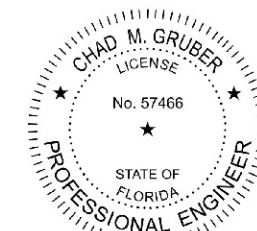
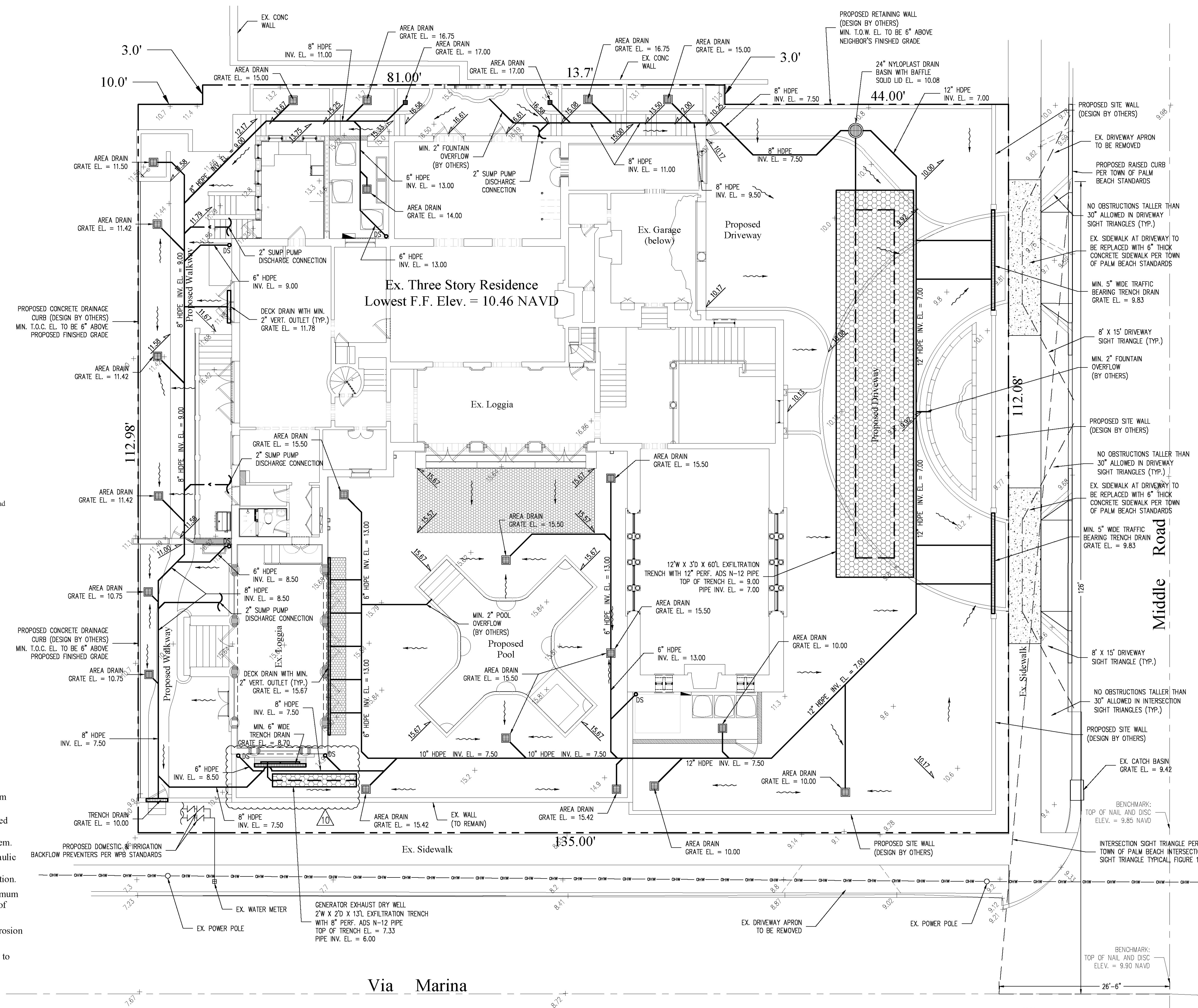
Total Volume to be Retained = 1,836 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	60	ft
W	=	Trench Width	=	12	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	3.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	2,167	cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Digitally signed
by Chad M Gruber
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March 2025
Landscape set

NAEGELE RESIDENCE
COA-24-0025
ZON-24-0065

Residential
70 Middle Rd, Palm Beach, FL 33480

DRAWING INDEX

Sheet No.	Sheet Title
L-101	EXISTING CONDITION PHOTOS
L-101.1	EXISTING CONDITION PHOTOS
N/A	PREVIOUSLY APPROVED LANDSCAPE PLAN (ENCLOSED)
L-102	PROPOSED LANDSCAPE PLAN
L-103	LANDSCAPE PLAN (RENDERING)
L-104	LANDSCAPE DETAILS AND NOTES
L-105	PLANT MATERIAL
L-106	NATIVE AND NON-NATIVE PLAN
L-107	FRONT YARD OPEN SPACE
L-108	PERIMETER OPEN SPACE
L-109	OPEN SPACE DIAGRAM
CE-1	COLORED ELEVATION
CE-2	COLORED ELEVATION
CE-3	COLORED ELEVATION
CE-4	COLORED ELEVATION
CE-5	COLORED SITE PLAN

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymer LA6667363



PARAMETRIKA
Land & Design

NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

□ □

SHEET TITLE
Cover sheet

ISSUE DATE
03/03/2025

REVISION
Mar 2025

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GA

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SHEET NUMBER



SUBJECT PROPERTY: EAST ELEVATION (front)



SOUTH ELEVATION (side)



SOUTH ELEVATION (side)



SOUTH ELEVATION (side)

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Theresa Wymier LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Existing conditions

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L-101



INTERIOR COURTYARD



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SHEET NUMBER
L-101.1

PREVIOUSLY APPROVED LANDSCAPE PLAN

TITLE		
Landscape Plan		
SCALE	PROJECT NO.	
1/8" = 1'-0"	1703	
DATE:	PRCT MNGR:	CHECKED:
02.20.2020	CFV	.
SEAL	DRAWING NO.	
	L- 7 SHEET 7 OF 4	



Know what's **below**
Call before you dig



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Proposed Landscape Plan

ISSUE DATE
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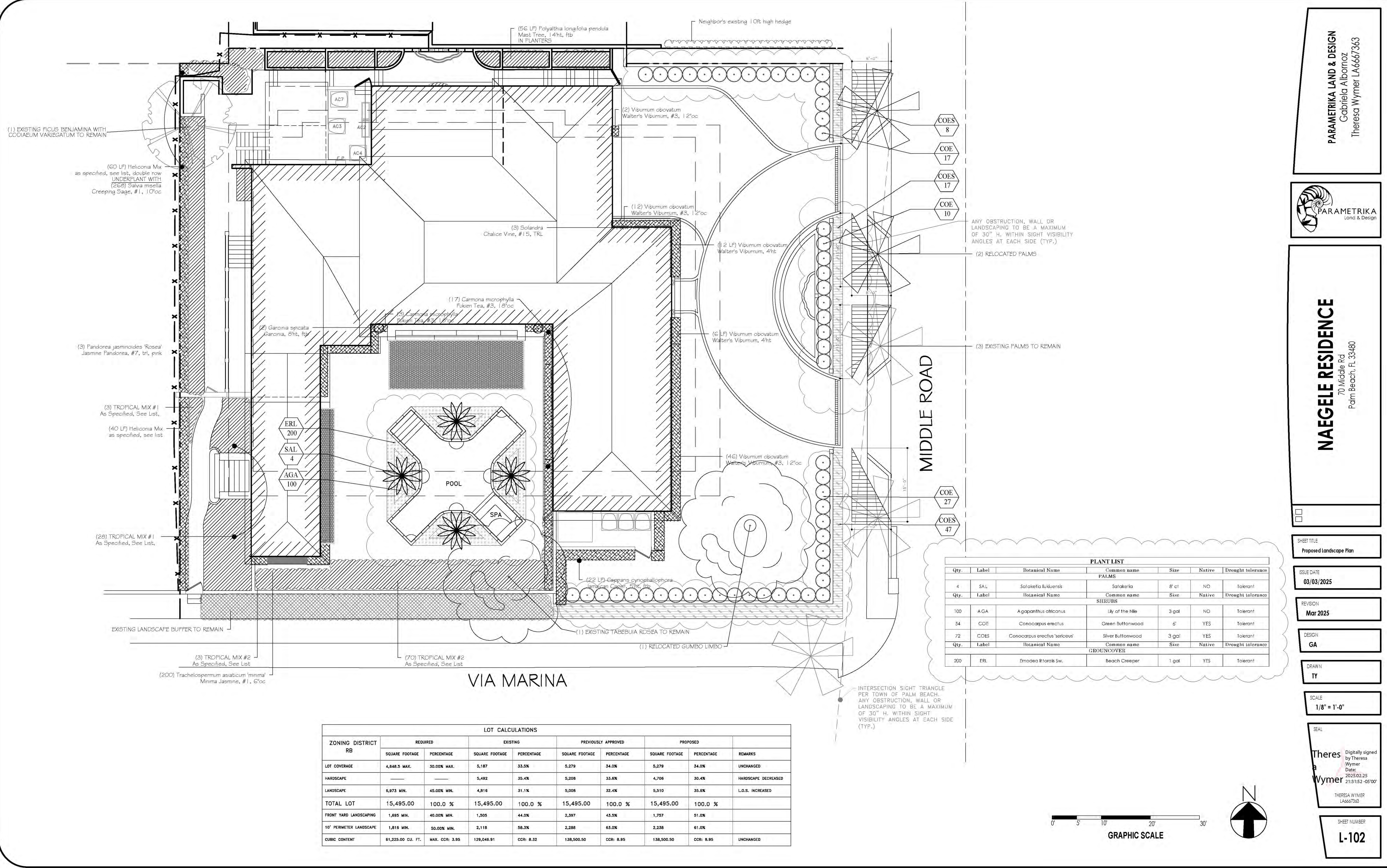
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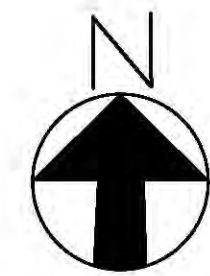
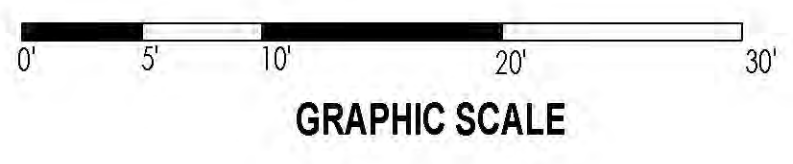
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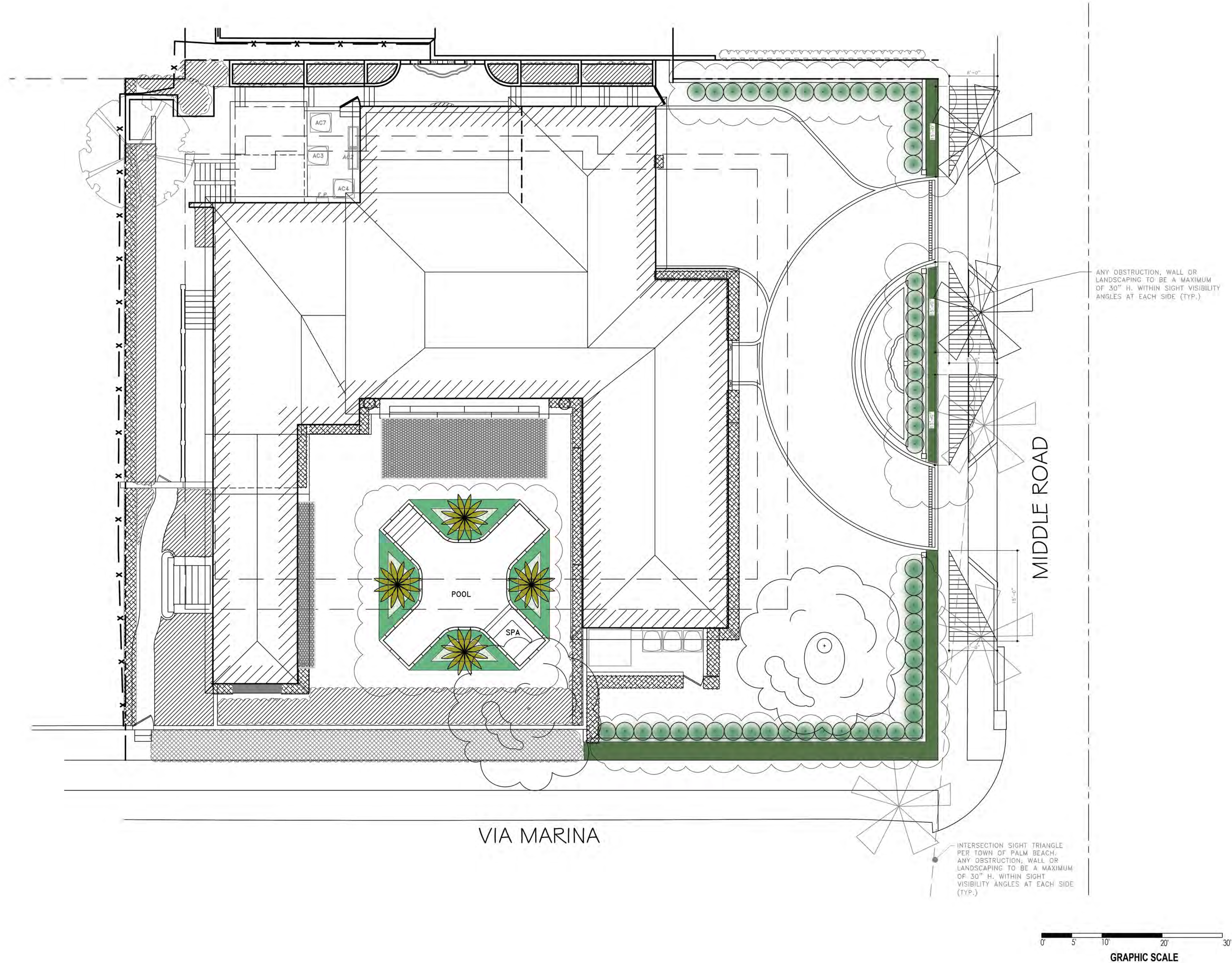
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L-102



PLANT LIST						
Qty.	Label	Botanical Name	Common name	Size	Native	Drought tolerance
PALMS						
4	SAL	Sabalakia fukienensis	Sabalakia	8' cl	NO	Tolerant
Qty.	Label	Botanical Name	Common name	Size	Native	Drought tolerance
SHRUBS						
100	AGA	Agapanthus africanus	Lily of the Nile	3 gal	NO	Tolerant
54	COE	Conocarpus erectus	Green Buttonwood	6'	YES	Tolerant
72	COES	Conocarpus erectus 'sericeus'	Silver Buttonwood	3 gal	YES	Tolerant
Qty.	Label	Botanical Name	Common name	Size	Native	Drought tolerance
GROUNDCOVER						
200	ERL	Emodea littoralis Sw.	Beach Creeper	1 gal	YES	Tolerant

ZONING DISTRICT RB	REQUIRED		EXISTING		PREVIOUSLY APPROVED		PROPOSED		REMARKS
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	
LOT COVERAGE	4,848.5 MAX.	30.00% MAX.	5,187	33.5%	5,279	34.0%	5,279	34.0%	UNCHANGED
HARDSCAPE	—	—	5,482	35.4%	5,208	33.6%	4,708	30.4%	HARDSCAPE DECREASED
LANDSCAPE	6,973 MIN.	45.00% MIN.	4,816	31.1%	5,008	32.4%	5,510	35.6%	L.O.S. INCREASED
TOTAL LOT	15,495.00	100.0 %	15,495.00	100.0 %	15,495.00	100.0 %	15,495.00	100.0 %	
FRONT YARD LANDSCAPING	1,695 MIN.	40.00% MIN.	1,505	44.0%	2,397	43.5%	1,757	51.0%	
10' PERIMETER LANDSCAPE	1,815 MIN.	50.00% MIN.	2,118	58.3%	2,288	65.0%	2,238	61.0%	
CUBIC CONTENT	61,225.00 CU. FT.	MAX. CDR: 3.95	129,046.91	CCR: 8.32	138,500.50	CCR: 8.95	138,500.50	CCR: 8.95	UNCHANGED





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NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Prop. Landscape Plan (Render)

ISSUE DATE
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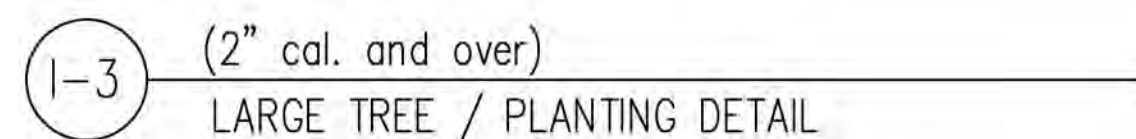
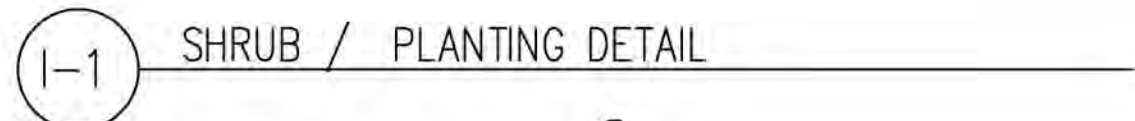
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L-103



REV BF 20230727

L-104



SAL
Sataketia liukuensis



AGA
Agapanthus africanus



COE
Conocarpus erectus



COES
Conocarpus erectus
'sericeus'



ERL
Ernodea littoralis Sw.

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SHEET TITLE
Plant material

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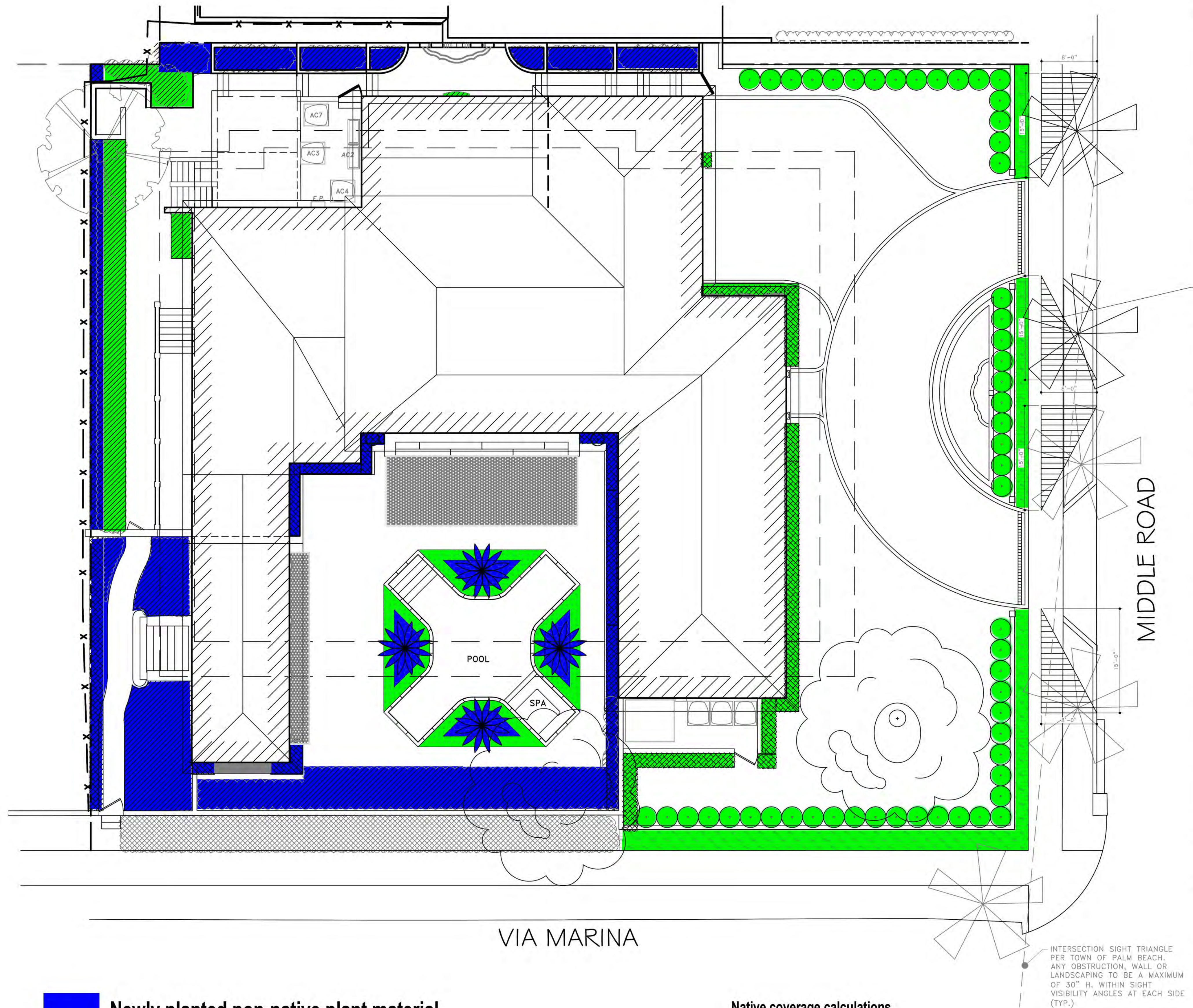
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LA 6667363

SHEET NUMBER
L-105



- Newly planted non-native plant material
- Newly planted native plant material

Native coverage calculations	
Total coverage of new plantings	4,000 sf (100%)
Coverage by native plants	2,890 sf (72.25%)



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NAEGELE RESIDENCE
70 Middle Rd
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Native and non-native plan

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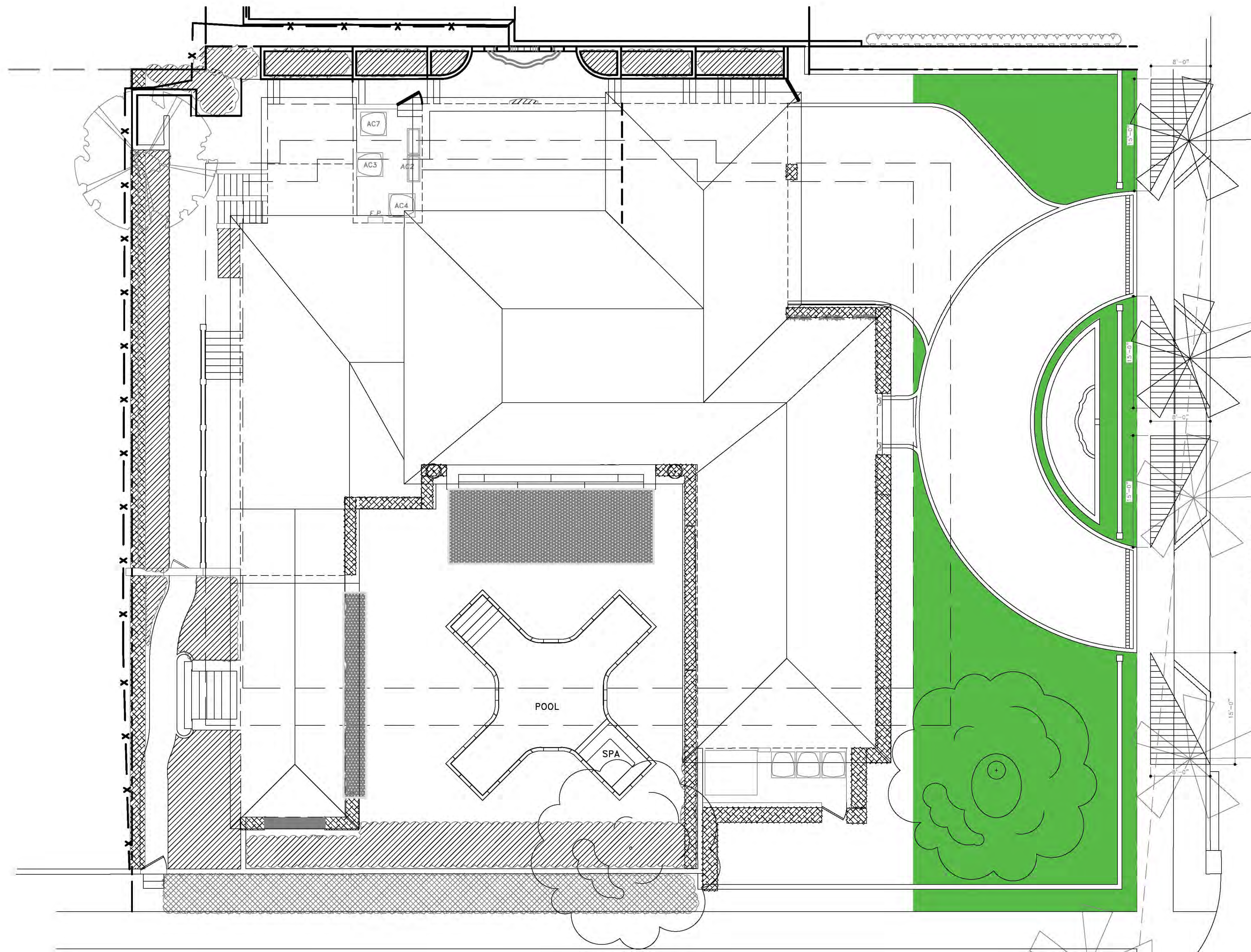
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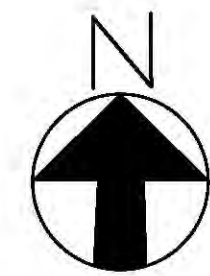
ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

MIDDLE ROAD

VIA MARINA

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

Front Yard 30'		
Total Area:	3,389 SF	100%
Required min.:	1,695 SF	40%
Provided Area:	1,757 SF	51%



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NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Front yard open space

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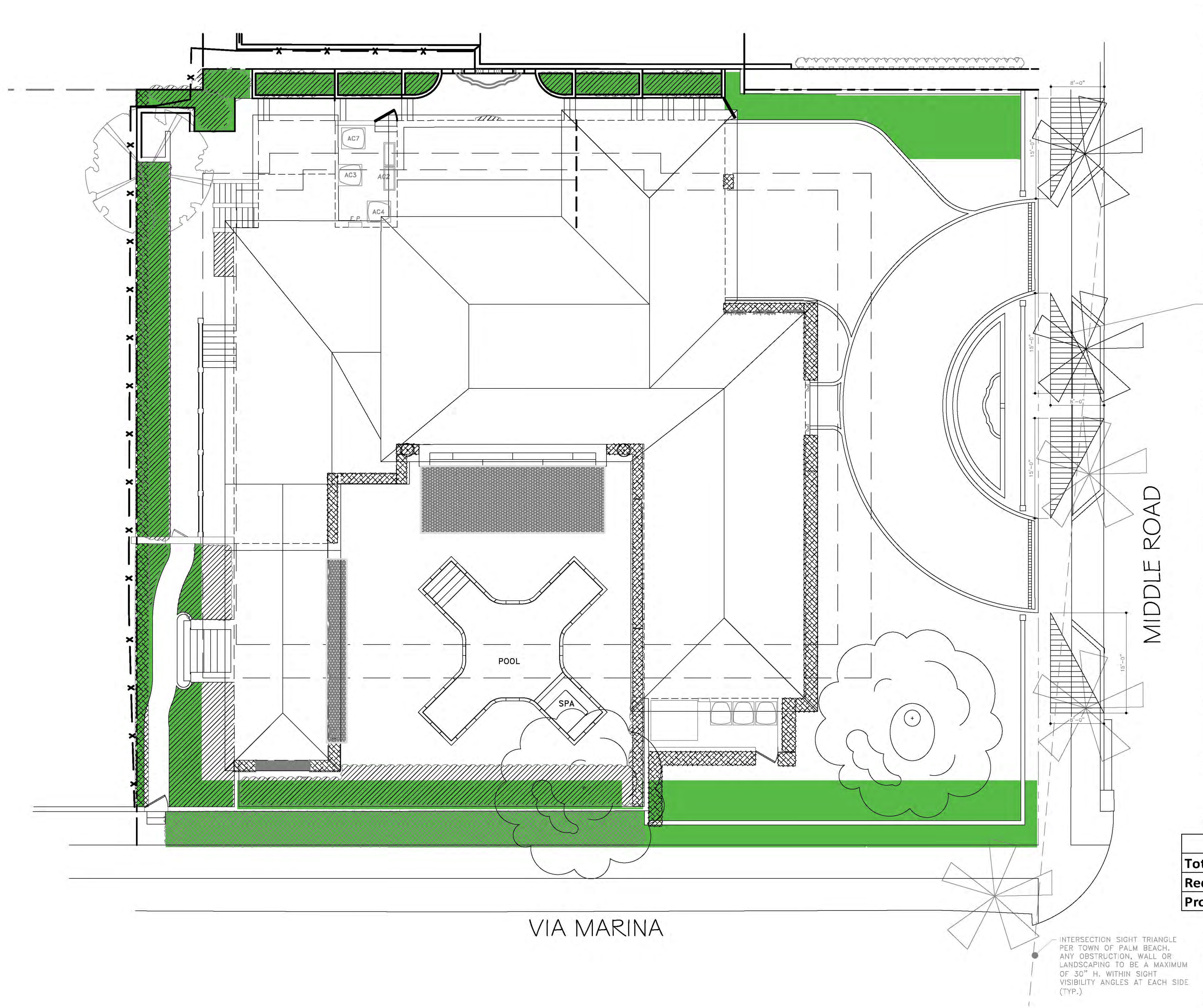
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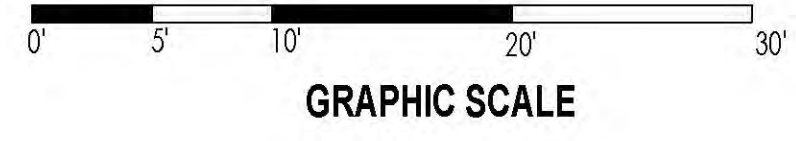


ANY OBSTRUCTION, WALL OR
LANDSCAPING TO BE A MAXIMUM
OF 30" H. WITHIN SIGHT VISIBILITY
ANGLES AT EACH SIDE (TYP.)

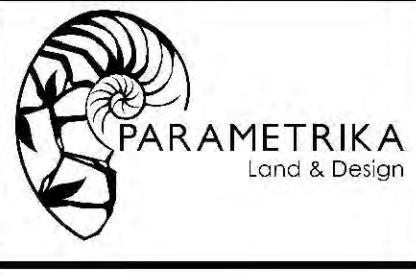
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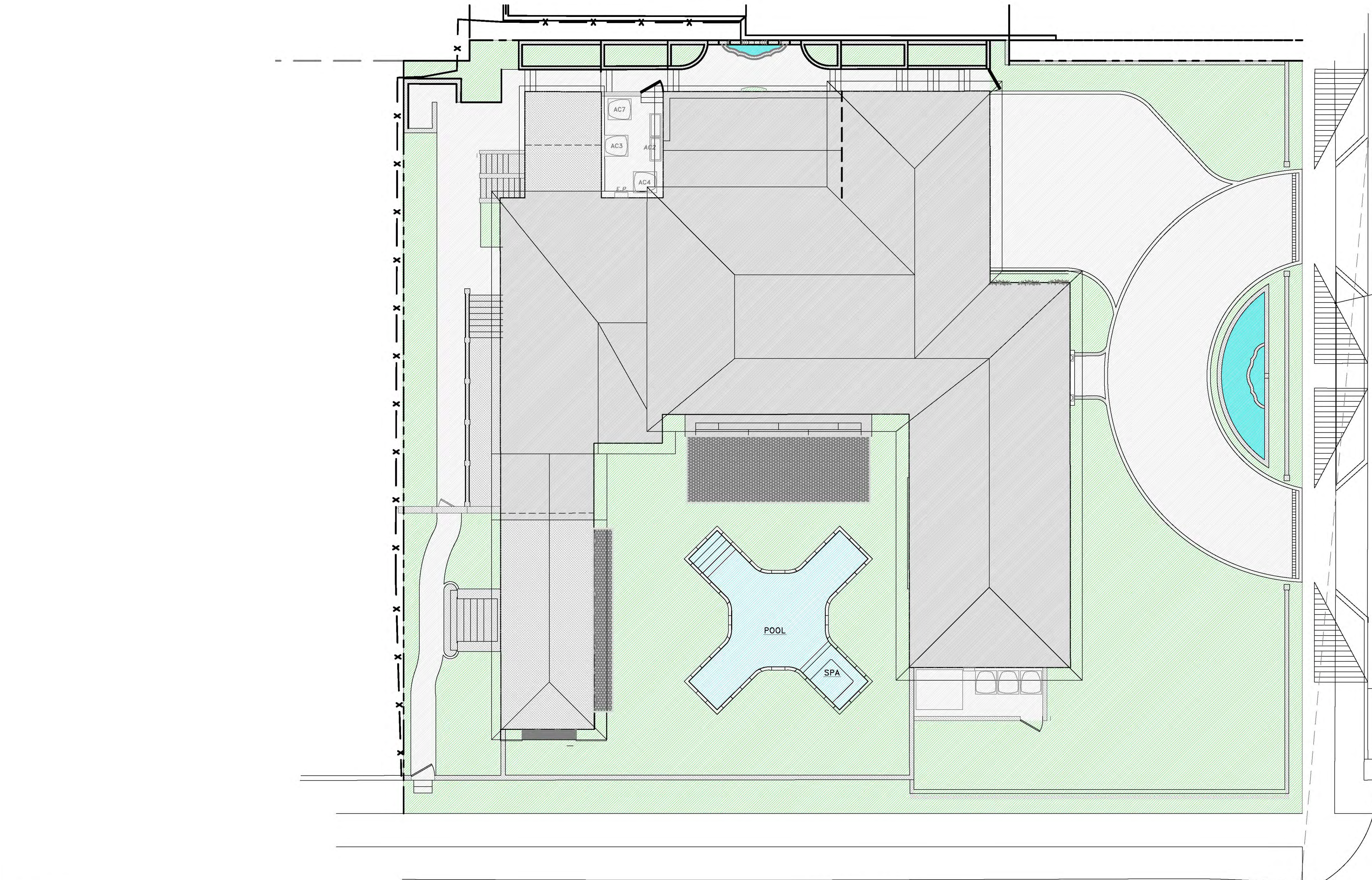
VIA MARINA

Perimeter 10':		
Total Area:	3,632 SF	100%
Required min.:	1,816 SF	50%
Provided Area:	2,238 SF	61%



INTERSECTION SIGHT TRIANGLE
PER TOWN OF PALM BEACH.
ANY OBSTRUCTION, WALL OR
LANDSCAPING TO BE A MAXIMUM
OF 30" H. WITHIN SIGHT
VISIBILITY ANGLES AT EACH SIDE
(TYP.)





LEGEND	
	STRUCTURE (5,279 SQ.FT - 34.1%)
	HARDSCAPE (4,208 SQ.FT - 27.1%)
	GREEN SPACE (5,510 SQ.FT - 35.6%)
	WATER FEATURE (498 SQ.FT - 3.2%)
TOTAL AREA 15,495 SQ FT	

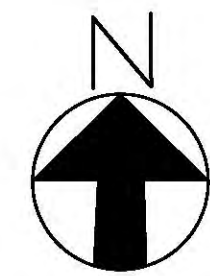
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MIDDLE ROAD

ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

OPEN SPACE DIAGRAM
SCALE: 1/8"=1'-0"



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Gabriela Albornoz
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Open Space Diagram

ISSUE DATE
03/03/2025

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LA6667363

SHEET NUMBER
L-109



EAST ELEVATION



EAST ELEVATION WITH SITE WALL



EAST ELEVATION WITH SITE WALL & HEDGES



WEST ELEVATION

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NAEGELE RESIDENCE

70 Middle Rd
Palm Beach, FL 33480



SHEET TITLE
COLORED ELEVATION

ISSUE DATE
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DESIGN
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SCALE
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LA6667363

SHEET NUMBER
CE-1



NORTH ELEVATION SHOWN WITHOUT
FOUNTAIN & PLANTERS



NORTH ELEVATION SHOWN WITH
FOUNTAIN & PLANTERS



NORTH FOUNTAIN & SITE WALL ELEVATION



SOUTH ELEVATION WITH SITE WALL

PARAMETRIKA LAND & DESIGN
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NAEGELE RESIDENCE

70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
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CE-2