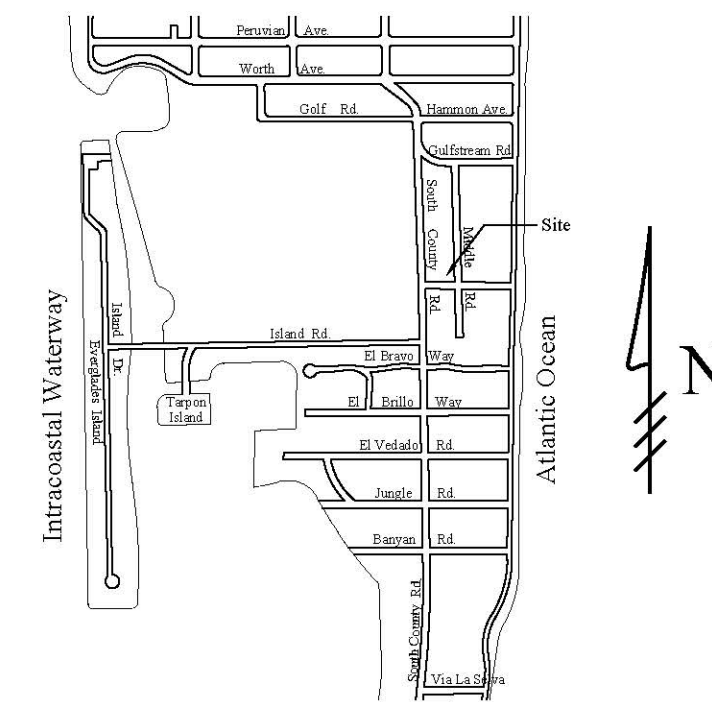


48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
2674 MIDWAY AVE. SUITE 305
WEST PALM BEACH, FL 33411
PHONE: 561.312.2611
office@gruberengineers.com

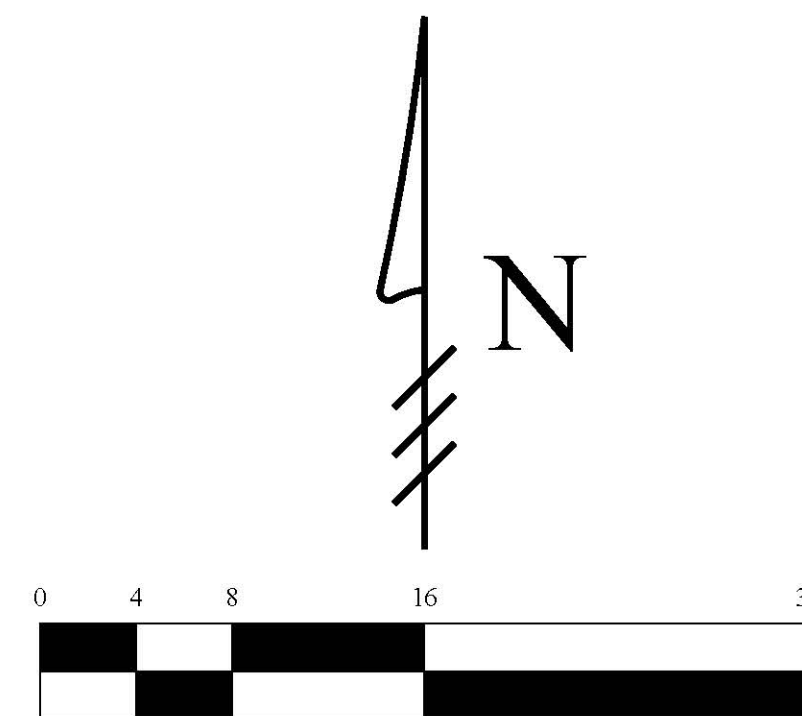
Project Information				
Project No.	2017-0017	Issue Date	12/17/2019	Scale
Issue Date	12/17/2019	Scale	1"8" = 1'-0"	Drawn By
Scale	1"8" = 1'-0"	Drawn By	KM	Checked By
Drawn By	KM	Checked By	CG	



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP.(NAVD-88)
PROPOSED ELEVATION (NAVD-88)
PROPOSED ELEVATION CONTOUR (NAVD-88)
FLOW DIRECTION
EXFILTRATION TRENCH
AREA DRAIN
24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

1	02/19/20	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
2	11/09/20	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
3	01/18/2022	ADJUST PROPOSED GRADING AND DRAINAGE
4	4/18/2022	ADD DOWNSPOUT CONNECTIONS
5	06/30/2022	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
6	09/23/2022	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
7	01/31/2023	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
8	10/10/2023	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
9	10/03/2024	UPDATE PLAN BACKGROUND; ADJUST PROPOSED GRADING AND DRAINAGE
10	10/21/2024	UPDATE PLAN BACKGROUND; ADD GENERATOR EXHAUST DRY WELL

Plan Background from Site Plan by
Naegele Received 10/18/24

COA-24-0025
ZON-24-0065

© 2024 Gruber Consulting Engineers, Inc.

Conceptual Site Grading & Drainage Plan For:
Naegele Residence
Palm Beach, Florida
70 Middle Road

Revisions	
1	02/19/2020
2	11/09/2020
3	01/18/2022
4	4/18/2022
5	06/30/2022
6	09/23/2022
7	01/31/2023
8	10/10/2023
9	10/03/2024
10	10/21/2024

Chad M. Gruber

FL P.E. No. 57466

Sheet No.

C-1

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 15,495 sq.ft.

Drainage Area Impervious Surface = 9,894 sq.ft.

Drainage Area Pervious Surface = 5,601 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)

where:

$C = 1.0$ (impervious surface)

$C = 0.2$ (pervious surface)

$i = 2$ in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2 \text{ in/hr} \times 9,894 \text{ sq.ft.} \times 1 \text{ ft}/12 \text{ in.} = 1,649 \text{ cu.ft.}$

Pervious Runoff Volume:

$0.2 \times 2 \text{ in/hr} \times 5,601 \text{ sq.ft.} \times 1 \text{ ft}/12 \text{ in.} = 187 \text{ cu.ft.}$

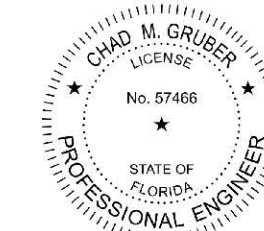
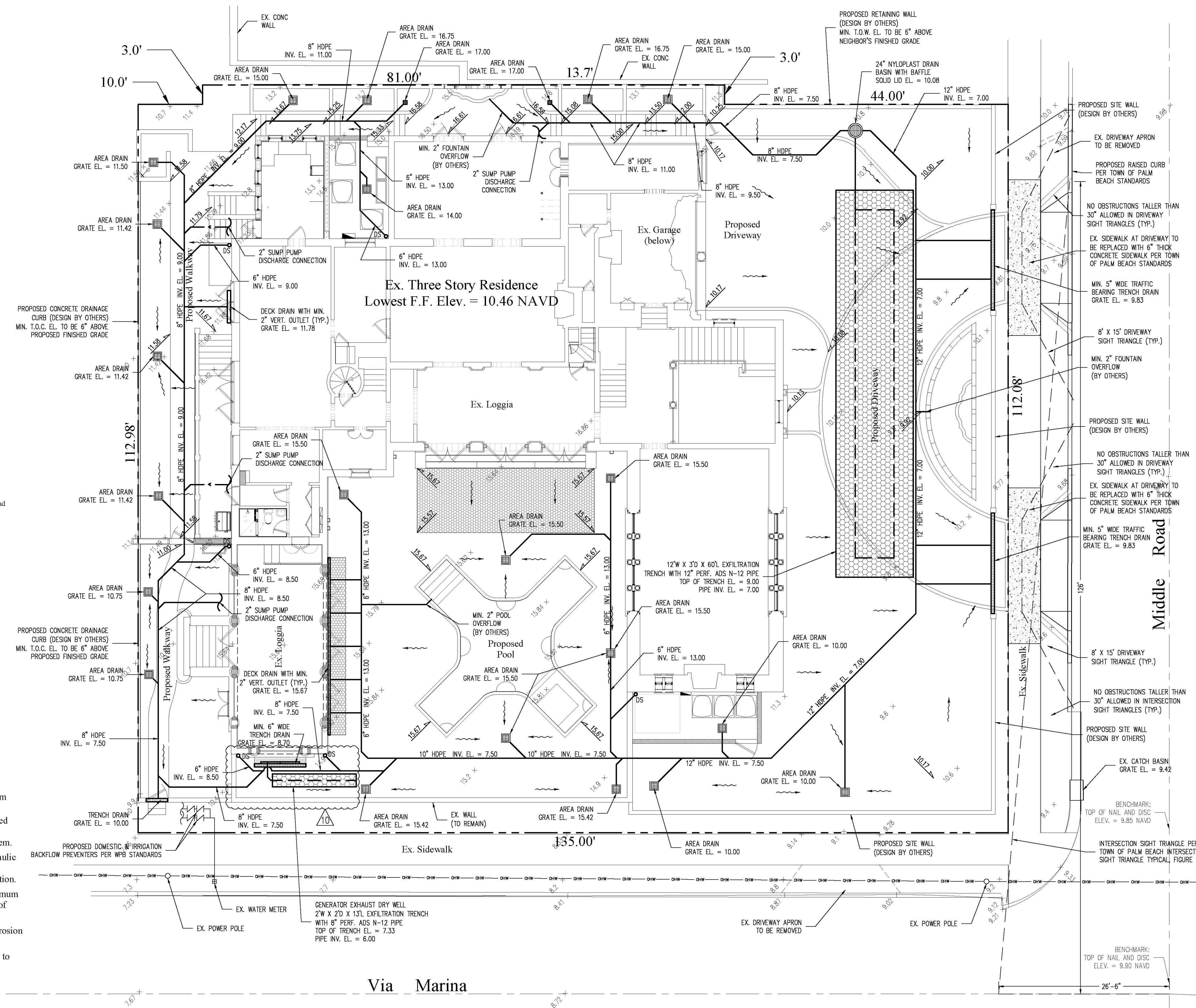
Total Volume to be Retained = 1,836 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	60	ft
W	=	Trench Width	=	12	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	6.00	ft
DU	=	Un-Saturated Trench Depth	=	3.00	ft
DS	=	Saturated Trench Depth	=	0.00	ft
V	=	Volume Treated	=	2,167	cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Digitally signed
by Chad M Gruber
Date: 2024.10.23
16:43:52 -04'00'

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

March 2025
Landscape set

NAEGELE RESIDENCE
COA-24-0025
ZON-24-0065

Residential
70 Middle Rd, Palm Beach, FL 33480

DRAWING INDEX

Sheet No.	Sheet Title
L-101	EXISTING CONDITION PHOTOS
L-101.1	EXISTING CONDITION PHOTOS
N/A	PREVIOUSLY APPROVED LANDSCAPE PLAN (ENCLOSED)
L-102	PROPOSED LANDSCAPE PLAN
L-103	LANDSCAPE PLAN (RENDERING)
L-104	LANDSCAPE DETAILS AND NOTES
L-105	PLANT MATERIAL
L-106	NATIVE AND NON-NATIVE PLAN
L-107	FRONT YARD OPEN SPACE
L-108	PERIMETER OPEN SPACE
L-109	OPEN SPACE DIAGRAM
CE-1	COLORED ELEVATION
CE-2	COLORED ELEVATION
CE-3	COLORED ELEVATION
CE-4	COLORED ELEVATION
CE-5	COLORED SITE PLAN

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymer LA6667363

PARAMETRIKA
Land & Design

NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Cover sheet

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE

SEAL

Theresa Wymer
Digitally signed by Theresa Wymer
Date: 2025.02.25 21:30:49 -05'00'

THERESA WYMER
LA6667363

SHEET NUMBER



SUBJECT PROPERTY: EAST ELEVATION (front)



SOUTH ELEVATION (side)



SOUTH ELEVATION (side)



SOUTH ELEVATION (side)

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymier LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Existing conditions

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
N/A

SEAL
Theresa Wymier
Digitally signed by Theresa Wymier
Date: 2025.02.25 21:31:16 -05'00'
THERESA WYMIER
LA6667363

SHEET NUMBER
L-101



INTERIOR COURTYARD



PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymier LA6667363



NAEGLER RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Existing conditions

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

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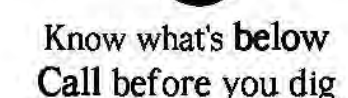
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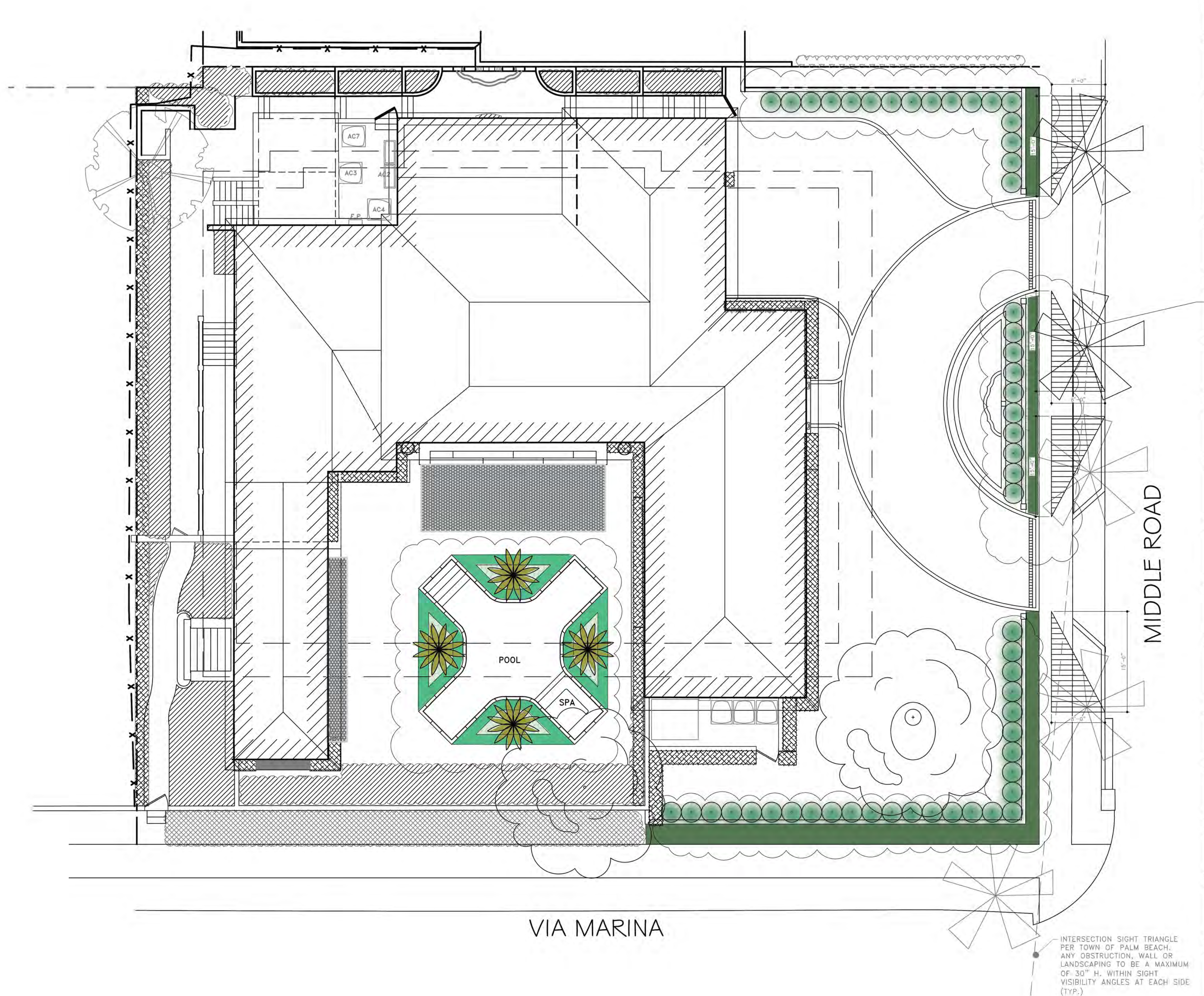
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LA6667363

SHEET NUMBER
L-101.1

PREVIOUSLY APPROVED LANDSCAPE PLAN

TITLE		
Landscape Plan		
SCALE	PROJECT NO.	
1/8" = 1'-0"	1703	
DATE:	PRJCT MNGR:	CHECKED:
02.20.2020	CFV	.
SEAL	DRAWING NO.	
 02/20/20	L- 7 SHEET 7 OF 4	





ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)



PARAMETRIKA LAND & DESIGN
Gabriela Alborno
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Prop. Landscape Plan (Render)

ISSUE DATE
03/03/2025

REVISION
Mar 2025

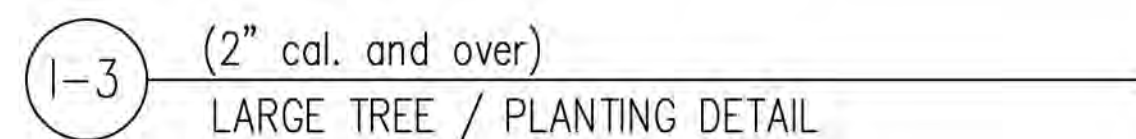
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1/8" = 1'-0"

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THERESA WYMER
LA6667363

SHEET NUMBER
L-103



L-104



SAL
Sataketia liukuensis



AGA
Agapanthus africanus



COE
Conocarpus erectus



COES
Conocarpus erectus
'sericeus'



ERL
Ernodea littoralis Sw.



SHEET TITLE
Plant material

ISSUE DATE
03/03/2025

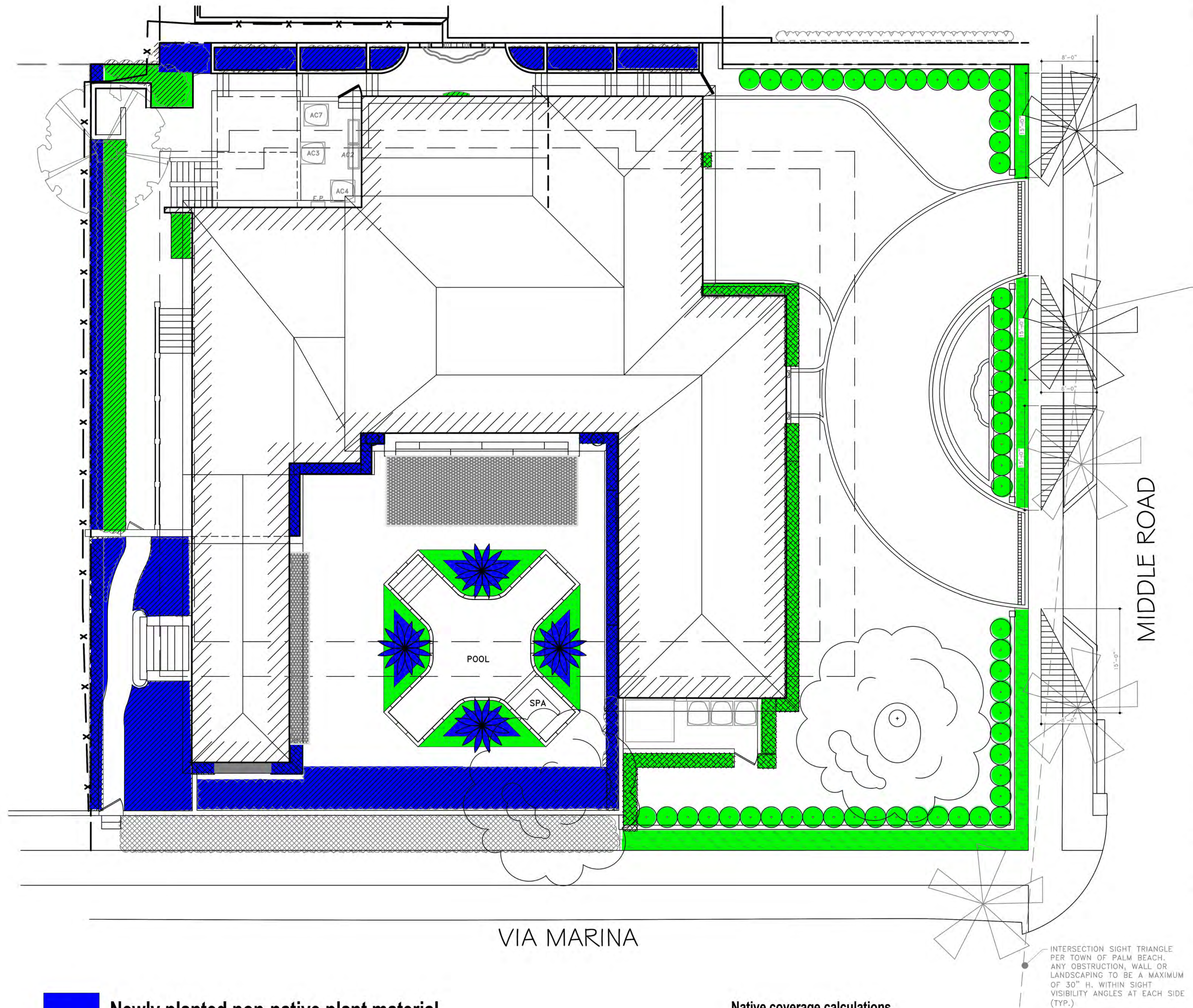
REVISION
Mar 2025

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GA

DRAWN
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SCALE
N/A

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Theresa Wymer
Digitally signed by Theresa Wymer
Date: 2025.02.25 21:32:58 -05'00'
THERESA WYMER
LA 6667363



- Newly planted non-native plant material
- Newly planted native plant material

Native coverage calculations

Total coverage of new plantings	4,000 sf (100%)
Coverage by native plants	2,890 sf (72.25%)



ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

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Gabriela Albornoz
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Native and non-native plan

ISSUE DATE
03/03/2025

REVISION
Mar 2025

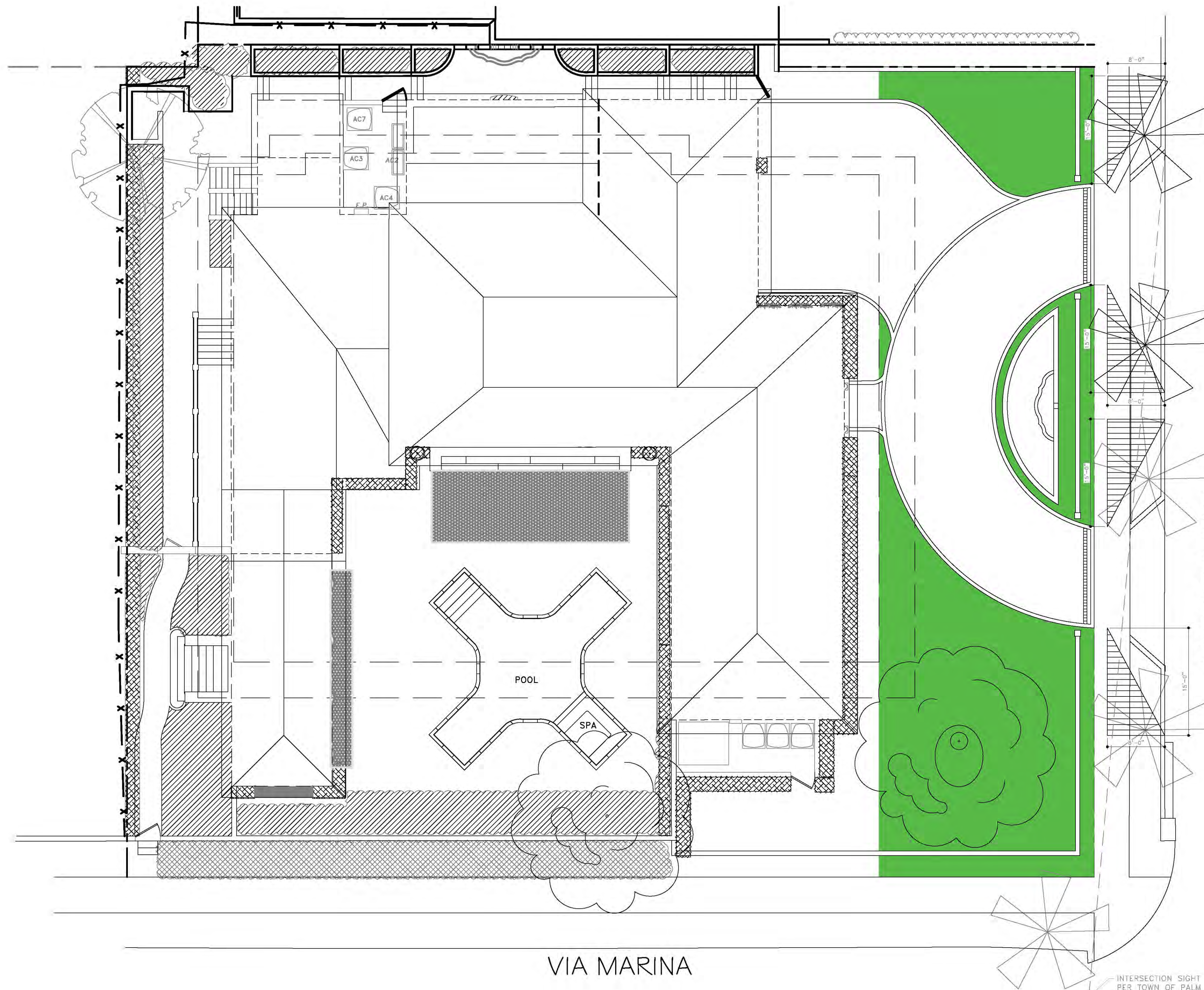
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DRAWN
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SCALE
1/8" = 1'-0"

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LA6667363

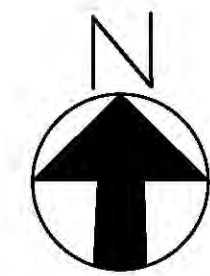
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ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

Front Yard 30'		
Total Area:	3,389 SF	100%
Required min.:	1,695 SF	40%
Provided Area:	1,757 SF	51%



PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymier LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Front yard open space

ISSUE DATE
03/03/2025

REVISION
Mar 2025

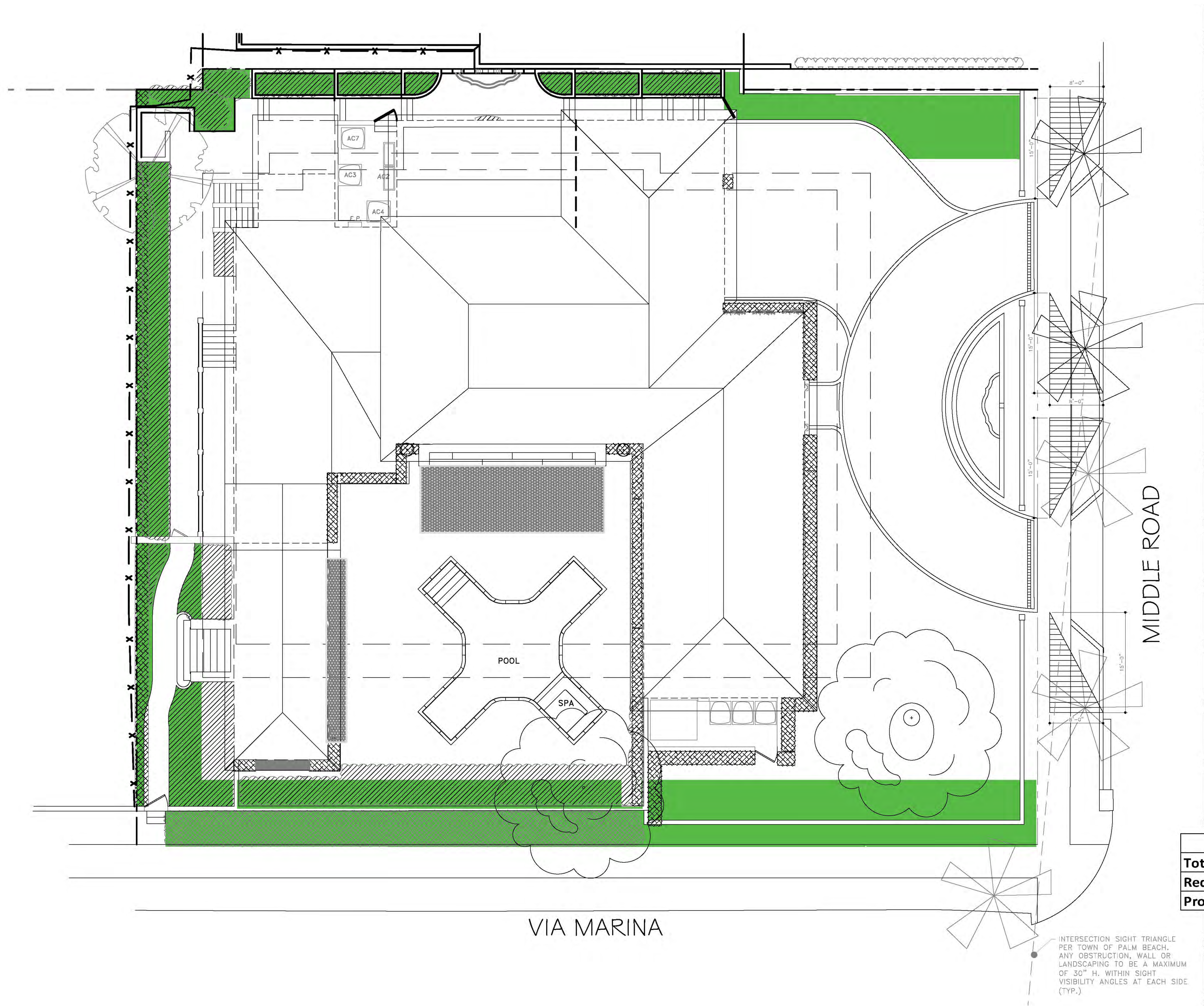
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THERESA WYMIER
LA6667363

SHEET NUMBER
L-107



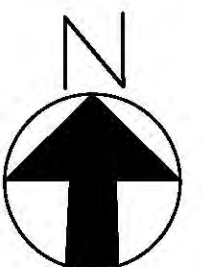
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LANDSCAPING TO BE A MAXIMUM
OF 30" H. WITHIN SIGHT VISIBILITY
ANGLES AT EACH SIDE (TYP.)

MIDDLE ROAD

VIA MARINA

Perimeter 10':		
Total Area:	3,632 SF	100%
Required min.:	1,816 SF	50%
Provided Area:	2,238 SF	61%

0' 5' 10' 20' 30'
GRAPHIC SCALE



SHEET TITLE
Perimeter open space

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
1/8" = 1'-0"

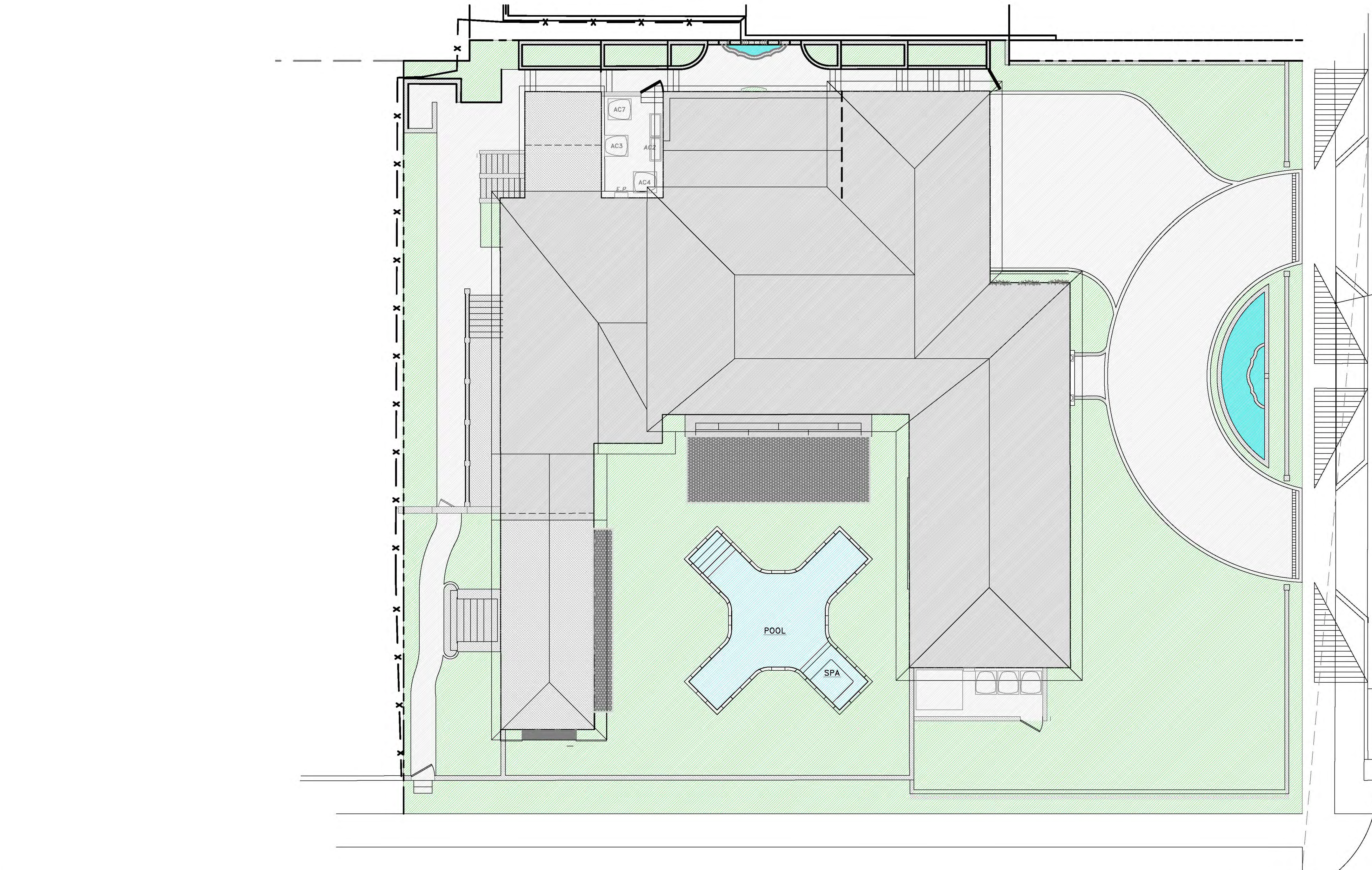
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THERESA WYMER
LA6667363

SHEET NUMBER
L-108

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymmer LA6667363

PARAMETRIKA
Land & Design

NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480



LEGEND	
	STRUCTURE (5,279 SQ.FT - 34.1%)
	HARDSCAPE (4,208 SQ.FT - 27.1%)
	GREEN SPACE (5,510 SQ.FT - 35.6%)
	WATER FEATURE (498 SQ.FT - 3.2%)
TOTAL AREA 15,495 SQ FT	

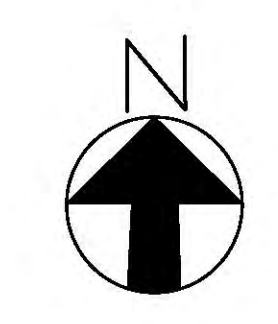
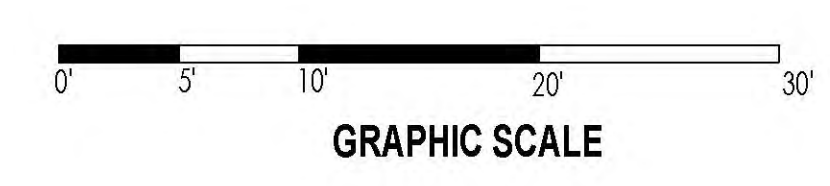
VIA MARINA

MIDDLE ROAD

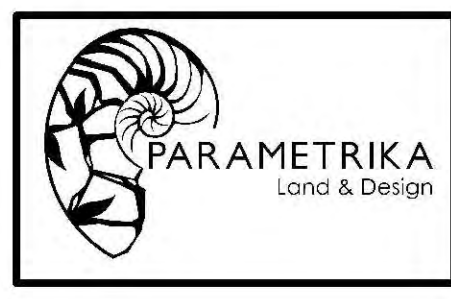
ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

INTERSECTION SIGHT TRIANGLE PER TOWN OF PALM BEACH. ANY OBSTRUCTION, WALL OR LANDSCAPING TO BE A MAXIMUM OF 30" H. WITHIN SIGHT VISIBILITY ANGLES AT EACH SIDE (TYP.)

OPEN SPACE DIAGRAM
SCALE: 1/8"=1'-0"



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Gabriela Albornoz
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
Open Space Diagram

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
1/8" = 1'-0"

SEAL
Theresa Wymer
Digitally signed by Theresa Wymer
Date: 2025.02.25 21:34:15 -05'00'
THERESA WYMER
LA6667363

SHEET NUMBER
L-109



EAST ELEVATION



EAST ELEVATION WITH SITE WALL



EAST ELEVATION WITH SITE WALL & HEDGES



WEST ELEVATION

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymmer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
N/A

SEAL
Theresa Wymmer
Digitally signed by Theresa Wymmer
Date: 2025.02.25 21:34:33 -05'00'
THERESA WYMER
LA6667363

SHEET NUMBER
CE-1



NORTH ELEVATION SHOWN WITHOUT
FOUNTAIN & PLANTERS



NORTH ELEVATION SHOWN WITH
FOUNTAIN & PLANTERS



NORTH FOUNTAIN & SITE WALL ELEVATION



SOUTH ELEVATION WITH SITE WALL

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymier LA6667363



NAEGELE RESIDENCE

70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
N/A

SEAL
Theresa Wymier
Digitally signed by Theresa Wymier
Date: 2025.02.25 21:34:54 -05'00'
THERESA WYMIER
LA6667363

SHEET NUMBER
CE-2



SOUTH SECTION THROUGH COURTYARD
SHOWING PALM TREES AROUND POOL



SOUTH SECTION THROUGH COURTYARD
SHOWING TABEBUIA TREE



SOUTH ELEVATION VIEW
FROM THE STREET



SOUTH SECTION THROUGH
COURTYARD FACING SOUTH

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
N/A

SEAL
Theresa Wymer
Digitally signed by Theresa Wymer
Date: 2025.02.25 21:35:13 -05'00'
THERESA WYMER
LA6667363

SHEET NUMBER
CE-3



EAST SECTION THROUGH
COURTYARD FACING EAST



WEST SECTION THROUGH
COURTYARD FACING WEST



EAST ELEVATION FACING EAST
FROM FRONT DOOR

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymer LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
03/03/2025

REVISION
Mar 2025

DESIGN
GA

DRAWN
TY

SCALE
N/A

SEAL
Digitally signed
by Theresa
Wymer
Date:
2025.02.25
21:35:35 -05'00'
THERESA WYMER
LA6667363

SHEET NUMBER
CE-4



SITE AND LANDSCAPE PLAN

PARAMETRIKA LAND & DESIGN
Gabriela Albornoz
Theresa Wymier LA6667363



NAEGELE RESIDENCE
70 Middle Rd
Palm Beach, FL 33480

SHEET TITLE
COLORED ELEVATION

ISSUE DATE
03/03/2025

REVISION
Dec 2024

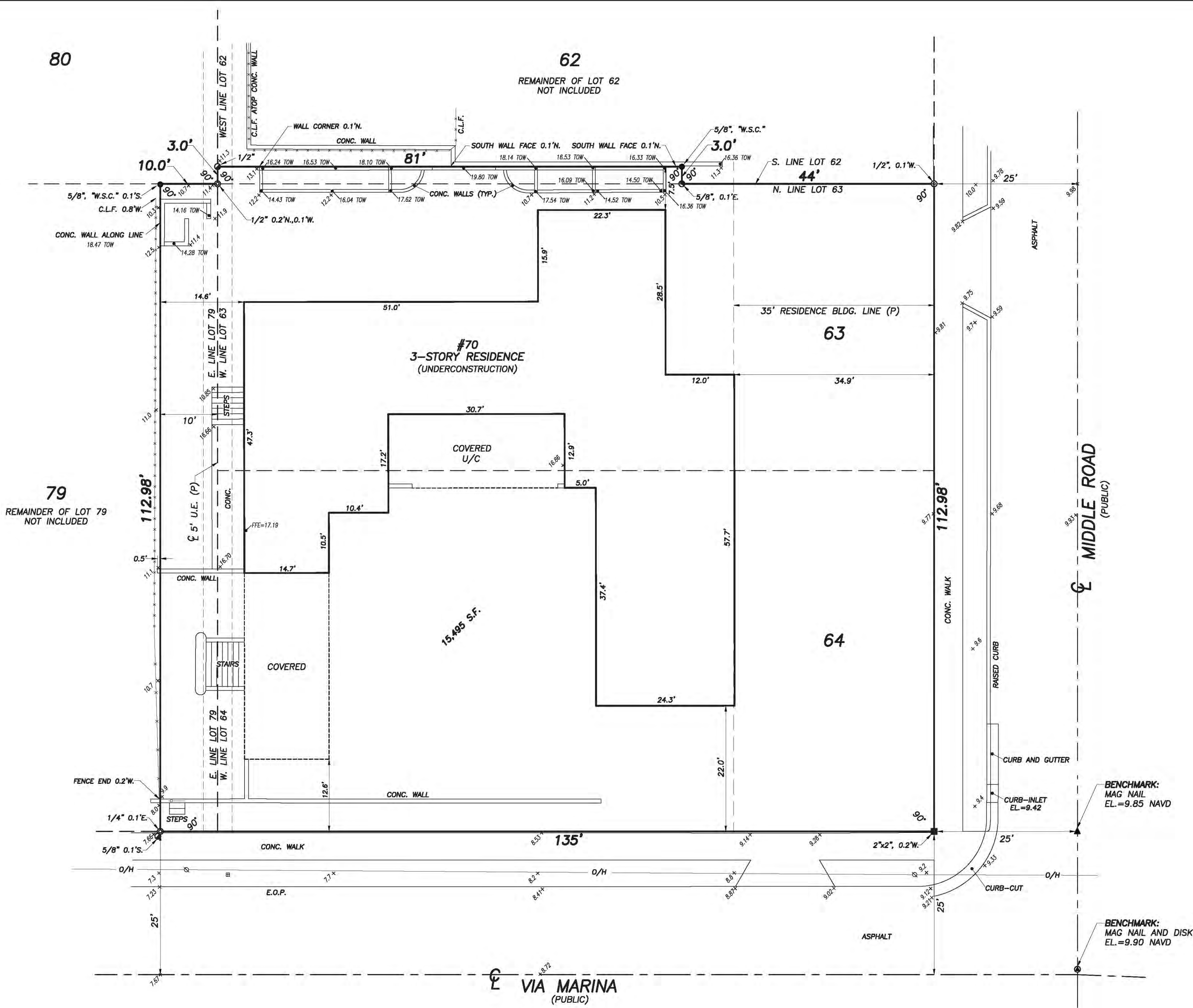
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GA

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TY

SCALE
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SEAL
Theresa Wymier
Digitally signed by Theresa Wymier
Date: 2025.02.25 21:35:55 -05'00'
THERESA WYMIER
LA6667363

SHEET NUMBER
CE-5



This survey is made specifically and only for the following party for the purpose of design on the surveyed property.

Jennifer Naegele

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
70 Middle Road
Palm Beach, FL 33480

LEGAL DESCRIPTION

The South three (3') feet of the West Eighty-one (81') feet of Lot Sixty-Two (62), all of Lots Sixty-Three (63) and Sixty-Four (64) and the East ten (10') feet of Lot Seventy-Nine (79), SINGER ADDITION TO PALM BEACH, FLORIDA, according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, in Plat Book 8, page 81.

BENCHMARK:
MAG NAIL
EL.=9.85 NAVD

BENCHMARK:
MAG NAIL AND DISK
EL.=9.90 NAVD



CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 6/15/2019

James G. Peden Jr.
Professional Surveyor and Mapper
Florida Certificate No 6122


19 JAMES G PEDEN JR Digitally signed by JAMES G PEDEN JR Date: 2024.08.02 13:14:27 -0400

REVISIONS:

08/02/24 UPDATE TIE-IN J.P.S.W. 216233
 07/02/24 SHOW BUILDING CHANGES C.E.M.B. PB362/84
 07/02/24 WALL LOCATIONS C.A.J.M.B. 216233 PB362/84
 06/02/24 ERASE REMOVED IMPROVEMENTS B.M.S.W. 04-1145.7 PB337/36
 11/24/20 ADD PROPOSED POINT S.W. 04-1145.5
 06/16/19 SPOT ELEVATIONS, SURVEY & TIE-IN UPDATE B.M.S.W. 04-1145.4 PB279/73
 RECERTIFY M.B. 04-1145B

BOUNDARY SURVEY FOR:

JENNIFER NAEGLER



WS

WALLACE SURVEYING

CORP., LICENSED BUSINESS # 4589

5005 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (888) 640-4351

FIELD	B.M.	JOB NO.	04-1145	F.B.	PB362 PG. 57
OFFICE	M.B.	DATE	4/27/04	ING. NO.	04-1145-51
CITY	C.W.	RANGE	04-1145-1.DWG	SHEET	1 OF 1

70 Middle Road: 6 Variances

REVISED 1/29/25

Please note: 2024 Variances: The 6 current Variances reference 3 specific areas with 3 New Variances.

The 3 specific areas show the number of Variances required. Please review the “Variance Synopsis” detailed below:

1) a) Construction of a previously approved **7 foot covered terrace** on existing 1969 non-original 1-story flat roof.

b) In addition, **the Owner needs to INSTALL new OSHA recommended flush Roof steps to safely access the 2 flat roofs** . **The OSHA recommended steps are a necessity and not a frivolity. The OSHA recommended steps are a safety measure so the owner’s staff and maintenance crew do not suffer catastrophic FALLS, INJURY or DEATH while performing various maintenance and/ or roof repairs. The approval of the OSHA recommended steps will not confer any special privilege nor would they be detrimental to the public welfare. However, not installing the OSHA recommended steps could result in injury or death; of which the owner is seeking to avoid 3rd party liability.** (not visible from any angle, any street view or any right of way)(whereby a NEW variance was added) . .

(3 Variances: Variance # 2,3,4)

2) Construction of a previously approved **8-foot laundry room addition** (91 sq. ft.) to the existing 1952 non-original structure.

(3 Variances: Variance # 1,2,3)

3) Construction of a previously approved **South equipment enclosure** to enclose the pool, future fountain and A/C equipment. Installation of fountain equipment located 54.5 feet away from the water’s edge.

(2 Variances: Variance # 5,6)

Variances: 70 Middle Road

1. Section 134-893(b)(11): A variance to increase lot coverage for a previously approved 8 foot laundry room addition resulting in lot coverage of 34.47% in lieu of the 33.07% existing and 30% maximum allowed under the Code.
2. Section 134-893(b)(13): A variance to increase the cubic content ratio ("CCR") for the previously approved laundry room addition and previously approved covered terrace resulting in a Cubic Content Ratio of 8.59 in lieu of the 8.44 existing and the 3.95 maximum allowed under the Code.
3. Section 134-893(b)(7): A variance to reduce the side (North) yard setback for the previously approved laundry room addition and previously approved terrace railing addition (on an existing 1-story flat roof) resulting in a North side yard setback of 7.6 feet in lieu of the 12.5 foot minimum required under the Code.
4. Section 134-893(b)(10): A variance to increase building height of 27.4 feet in lieu of the 22 feet required under the Code for the previously approved 7-foot covered terrace (on the existing 1-story flat roof). Increase of overall building height for the OSHA recommended Rooftop steps resulting in 47.1 feet in lieu of the 30 feet required under the Code (13 inches higher than the existing 46 feet high flat roof).
5. Section 134-1728(c)(5): A variance to reduce the street (South) side yard setback for existing pool equipment and fountain equipment resulting in a street side yard setback of 15.6 feet in lieu of the 20 foot minimum required under the Code. Increase the distance between the fountain's water's edge and the fountain equipment located 54.5 feet away from the water's edge in lieu of the 25 feet maximum allowed under the Code.
6. Section 134-1667(a): A variance to increase the height of the previously approved South equipment enclosure walls in the street (South) side yard setback to 6.9 feet in height in lieu of the 6 foot maximum allowed under the Code.

a) Please Note: The previous Attorney forgot to include the height variance required for the previously approved "addition of a 7-foot covered terrace on the 1962 non-original existing 1-story flat roof" . To avoid INJURY or DEATH (and to avoid 3rd party liability) the Owner needs to INSTALL new OSHA recommended Rooftop steps to safely access the 2 flat roofs (not visible from any angle, street view or right of way)(**whereby a NEW variance was added**).

b) In 2019, the owner did not know that the "pool equipment" would need to be relocated (**whereby a NEW variance was added**). The pool can not be installed until it is known where the pool equipment will be located due to running pipe and conduits etc.).

c) The owner is proposing a "front yard fountain" (using the original fountain set within a half circle fountain (**whereby a NEW variance is required to allow for the future fountain equipment to be enclosed within the previously approved South equipment enclosure**); **of which will also provide the required solid wall screening concealing and providing a sound barrier for pool , fountain and A/C units in the South equipment enclosure.**

d) The previously approved South equipment enclosure requires a "height variance" to cover and screen the pool equipment , fountain equipment and the A/C Units (**whereby a NEW variance was added**); **of which will also provide the required solid wall screening concealing and providing a sound barrier for equipment located in the South equipment enclosure.**

e) Re: The previously approved "8 foot laundry room addition (91 sq. ft.) to the existing 1952 non-original structure" : **The 8 foot Laundry room addition will provide the required solid wall screening concealing and providing a sound barrier for the existing A/C equipment in the North A/C equipment enclosure.**

f) These Variances will allow the Owner to finish 3 major areas to include:

b1) Family Room Rebuild (North side of House)

b2) Laundry Room Rebuild (North west corner of house)

b3) Pool installation

8 FT LAUNDRY ROOM ADDITION (TO 1953 NON-ORIGINAL STRUCTURE) : LANDMARK APPROVED (TO ALSO INCLUDE CONCEALING AND PROVIDING THE REQUIRED SOLID WALL SCREENING AND A SOUND BARRIER FOR THE EXISTING NORTH A/C EQUIPMENT). VARIANCE REQUIRED.

PROPOSED HARDSCAPE ADJACENT TO VAULTED LOGGIA (AS WAS ORIGINALLY DESIGNED BY WYETH).

PROPOSED HARDSCAPE ADJACENT TO CYPRESS LOGGIA WITH DRAINS FOR WATER CONTROL (SPECIFIED BY CIVIL ENGINEER).

PROPOSED SITE PLAN

SCALE:
 $\frac{1}{16}"=1'-0"$

ORIGINAL POOL EQUIPMENT LOCATION: EXISTING POOL EQUIPMENT WAS NOT SCREENED BY A SOLID WALL BECAUSE THE ORIGINAL SOUTH WALL HAS LARGE OPEN VOIDS (72" X 26") WHICH PROVIDED NO SOUND BARRIER FOR THE POOL EQUIPMENT.

PROPOSED RELOCATION OF POOL EQUIPMENT TO A LOCATION FARTHER FROM THE STREET AT A LOWER GRADE FOR NOISE REDUCTION. POOL, FOUNTAIN AND A/C EQUIPMENT TO BE ENCLOSED AND CONCEALED BEHIND PREVIOUSLY APPROVED SOLID SOUTH EQUIPMENT ENCLOSURE WALLS (PROVIDING THE REQUIRED SCREENING AND SOUND BARRIERS). VARIANCE REQUIRED.

REQUEST TO REPAIR, REINFORCE AND/OR RESTORE ANY AND ALL WALLS SPECIFIED BY STRUCTURAL ENGINEER.

PROPOSED FRONT YARD FOUNTAIN: INCORPORATE PORTION OF THE ORIGINAL FRONT FOUNTAIN; TO CREATE WATER FEATURE DESIGNED TO COMPLIMENT HALF CIRCULAR DRIVEWAY.

PROPOSED 4 FT EAST SITE WALL REQUIRED TO PROVIDE DEFENSE FOR THE HOMEOWNER AGAINST PREDATORS, TRESPASSERS AND VANDALIZERS.

PROPOSED 4 FT SOUTH SITE WALL REQUIRED TO PROVIDE DEFENSE FOR THE HOMEOWNER AGAINST PREDATORS, TRESPASSERS AND VANDALIZERS.



10/22/24 1/4

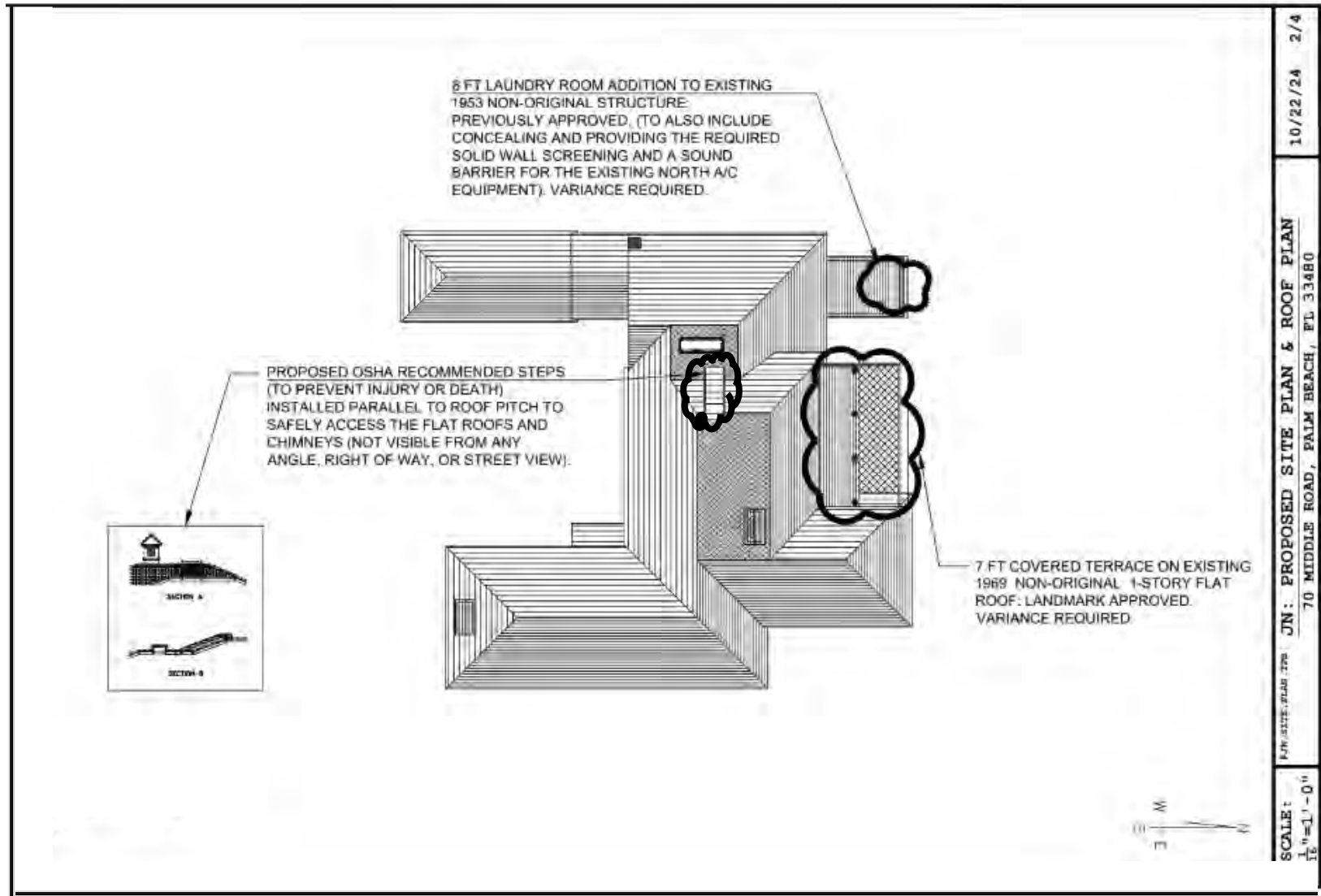
JN: PROPOSED SITE PLAN & ROOF PLAN
70 MIDDLE ROAD, PALM BEACH, FL 33480

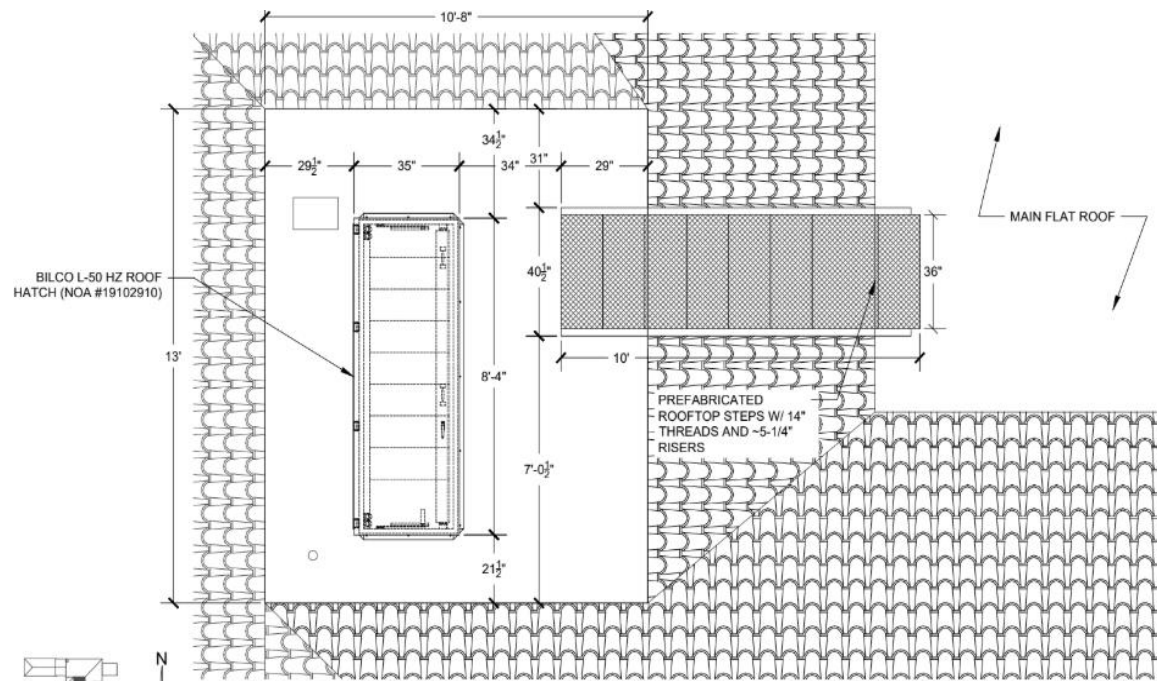
R/JN: SITE PLAN TFS

SCALE:
 $\frac{1}{16}"=1'-0"$

NOTES FROM THE OWNER:

- 1) THE OSHA APPROVED STEPS ARE A SAFETY MEASURE SO THE OWNERS STAFF AND MAINTENANCE CREW DO NOT SUFFER CATASTROPHIC FALLS FROM THE ROOF WHILE PERFORMING VARIOUS MAINTENANCE AND/ OR ROOF REPAIRS.
- 2) THE OSHA APPROVED STEPS ARE A NECESSITY.
- 3) THE OWNER'S FLAT ROOFS REQUIRE RE-PAINTING AND WATERPROOFING SEMI-ANNUALLY.
- 4) THE OWNER'S 3 CHIMNEYS FREQUENTLY REQUIRE CLEANING AND MAINTENANCE DUE TO EXCESSIVE LEAVES AND DEBRIS WHICH OFTEN ACCUMULATE ON THE FLAT ROOFS DURING HIGH WINDS, STORMS AND HURRICANES.
- 5) THE OWNER'S HAND MADE CLAY ROOF TILES OFTEN CRACK BREAK AND DETACH DURING HIGH WINDS, STORMS AND HURRICANES; WHICH REQUIRE IMMEDIATE REPLACEMENT TO AVOID FUTURE CODE VIOLATIONS.
- 6) THE OSHA APPROVED STEPS PROVIDE A SAFER AND MORE EFFICIENT ACCESS BETWEEN THE TWO FLAT ROOFS ; REDUCING THE NEED FOR LADDERS AND OTHER POTENTIALLY HAZARDOUS ACCESS METHODS TO TRANSITION BETWEEN THE TWO FLAT ROOF FOR CHIMNEY AND ROOF ACCESS.
- 7) THE OSHA APPROVED STEPS ARE NOT VISIBLE FROM ANY RIGHT OF WAY OR STREET VIEWS.
- 8) APPROVAL OF THE OSHA APPROVED STEPS WILL NOT CONFER ANY SPECIAL PRIVILEGE NOR WOULD THEY BE DETRIMENTAL TO THE PUBLIC WELFARE. HOWEVER, NOT INSTALLING THE OSHA APPROVED STEPS COULD RESULT IN INJURY OR DEATH; OF WHICH THE OWNER IS SEEKING TO AVOID 3RD PARTY LIABILITY.



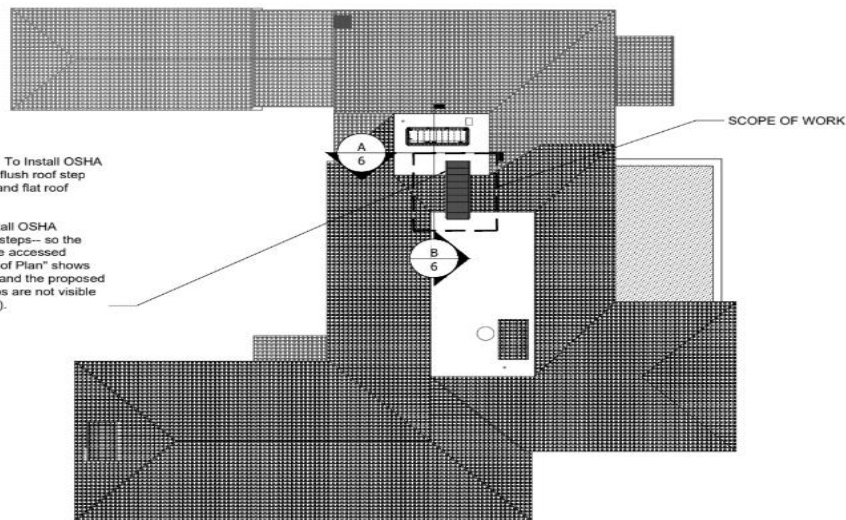


ENLARGED ROOF PLAN
SCALE: 1/8"=1'-0"

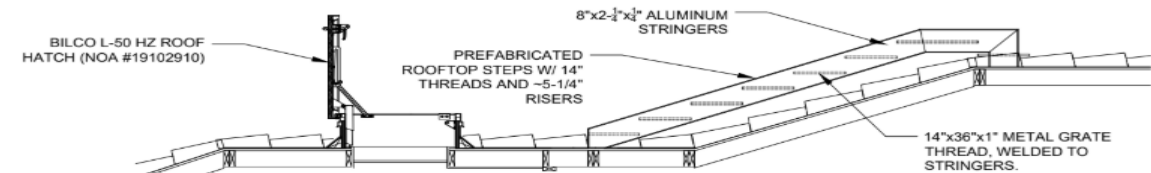
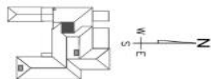


SCOPE OF WORK: To install OSHA approved aluminum flush roof step between roof hatch and flat roof

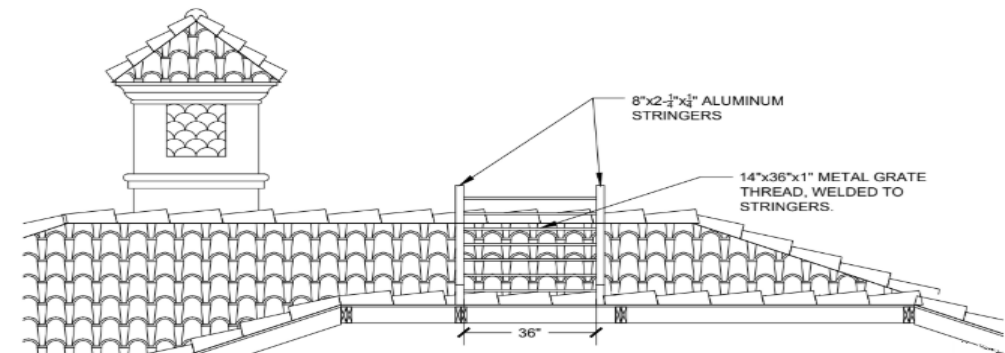
OBJECTIVE: To install OSHA aluminum flush roof steps-- so the upper flat roof can be accessed safely. "Proposed Roof Plan" shows both the Roof hatch and the proposed STEPS. (Said steps are not visible from any street view).



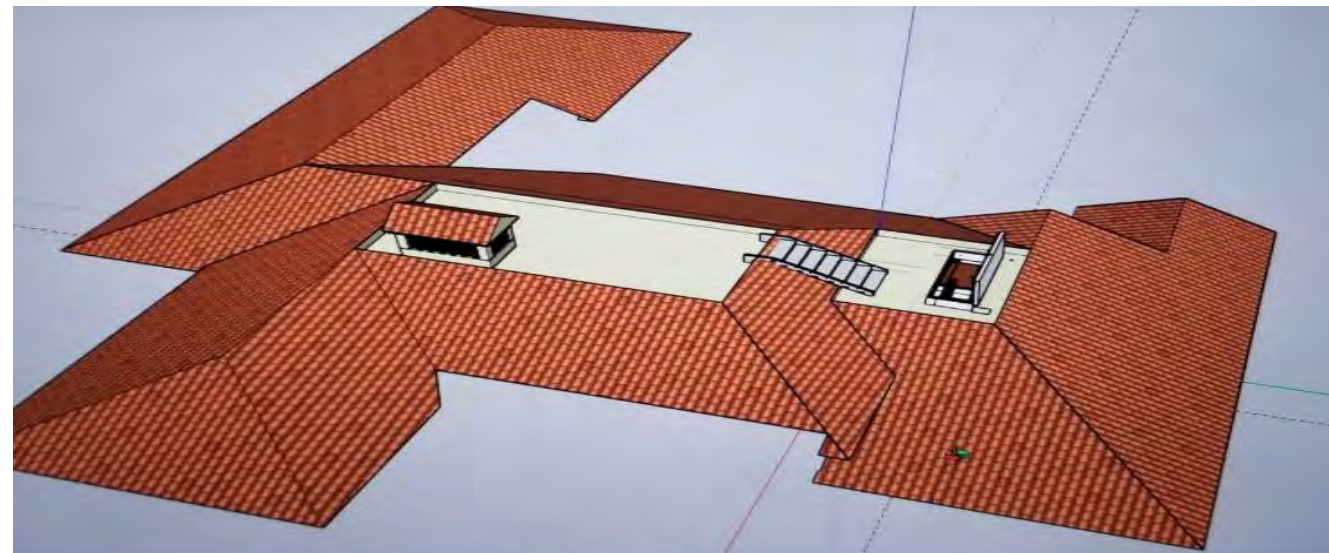
PROPOSED ROOF PLAN
SCALE: 3/32"=1'-0"



A NORTH SECTION
SCALE: 1/2"=1'-0"



B EAST SECTION
SCALE: 1/2"=1'-0"



ROOF MODEL
SCALE: 1/8"=1'-0"

70 Middle Road

ROOF STRINGER STEPS NOT VISIBLE FROM STREET OR RIGHT OF WAY

70 Middle Road



MIDDLE RD - EAST VIEW



MIDDLE RD - NORTH VIEW



MIDDLE RD/VIA MARINA CORNER



VIA MARINA - SOUTH VIEW



PHOTOS SHOWING ROOF STEPS NOT VISIBLE FROM STREET OR RIGHT OF WAY

70 MIDDLE ROAD





EXISTING NORTH ELEVATION

SCALE: $\frac{3}{32}$ "=1'-0"



PREVIOUSLY APPROVED NORTH ELEVATION

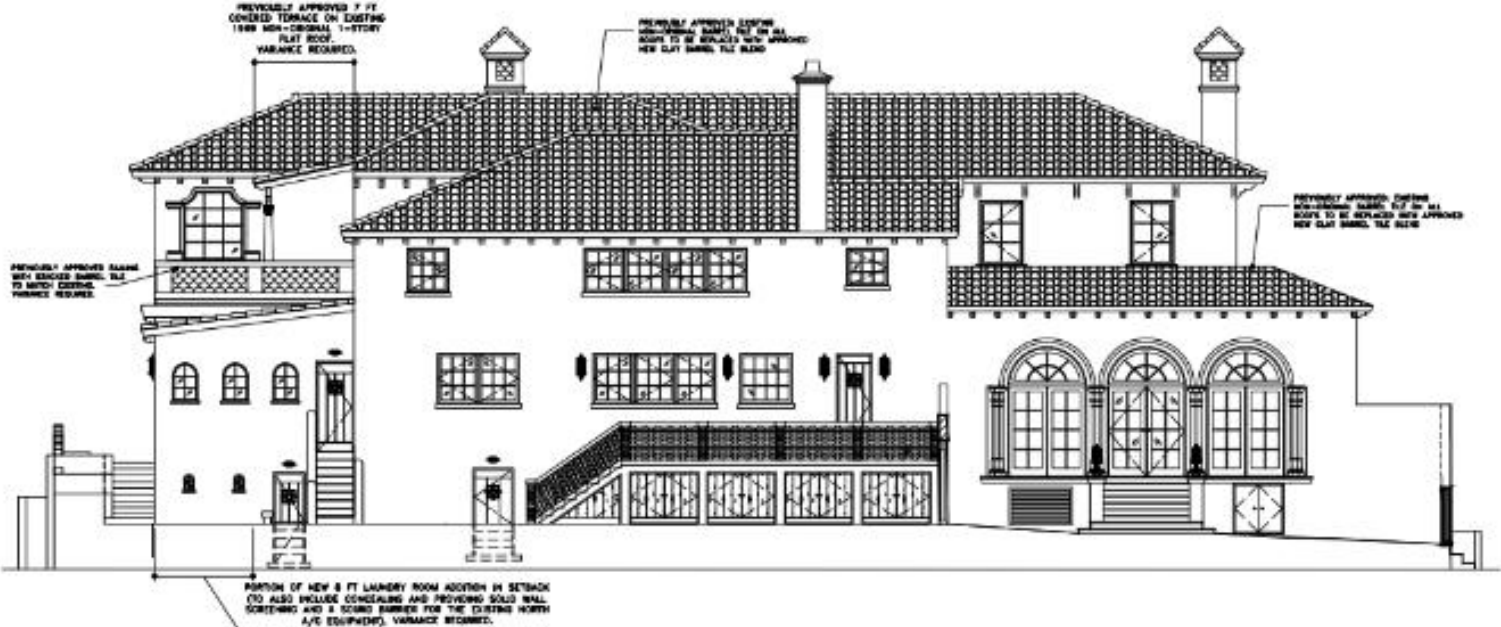
SCALE: $\frac{3}{32}$ "=1'-0"





EXISTING WEST ELEVATION

SCALE: $\frac{3}{32}"=1'-0"$



PREVIOUSLY APPROVED WEST ELEVATION

SCALE: $\frac{3}{32}"=1'-0"$

70 MIDDLE ROAD

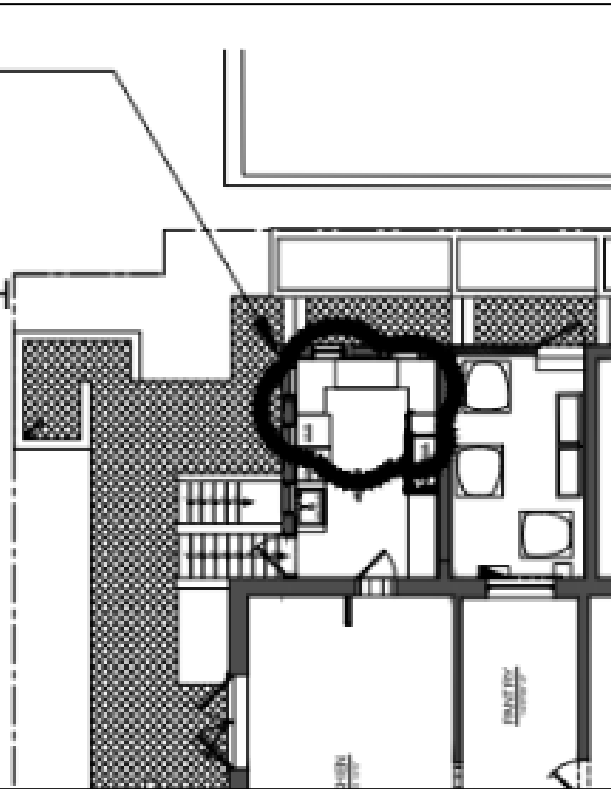


70 MIDDLE ROAD



70 MIDDLE ROAD

8 FT LAUNDRY ROOM EXTENSION:
LANDMARK APPROVED BUT REQUIRES A
ZONING VARIANCE TO CONSTRUCT
(TO ALSO INCLUDE CONCEALING AND
PROVIDING SOLID WALL SCREENING AND
SOUND BARRIER FOR THE EXISTING NORTH
A/C EQUIPMENT).

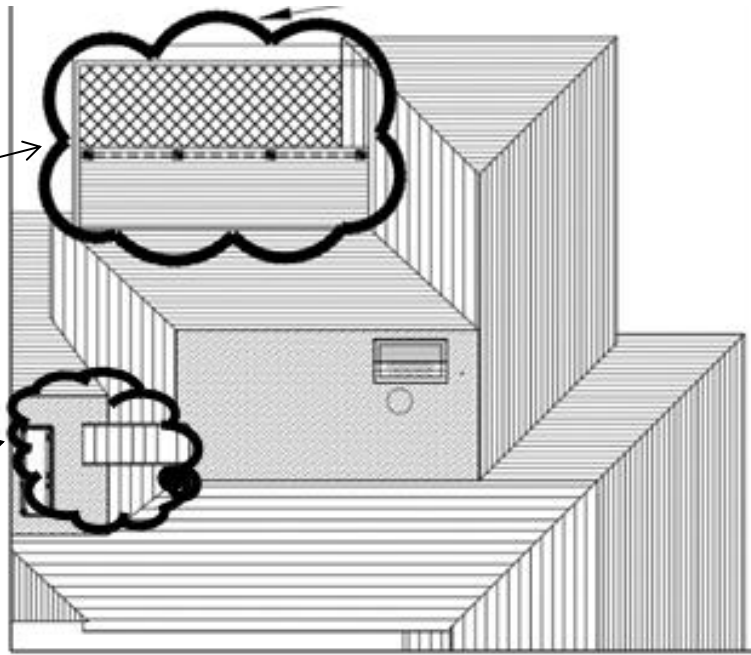


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2. Section 134-893(b)(13): A variance to increase the cubic content ratio ("CCR") for the previously approved laundry room addition and covered terrace resulting in a Cubic Content Ratio of 8.59 in lieu of the 8.44 existing and the 3.95 maximum allowed under the Code.
3. Section 134-893(b)(7): A variance to reduce the side (North) yard setback for the previously approved laundry room addition and previously approved terrace railing addition (on an existing 1-story flat roof) resulting in a North side yard setback of 7.6 feet in lieu of the 12.5 foot minimum required under the Code.

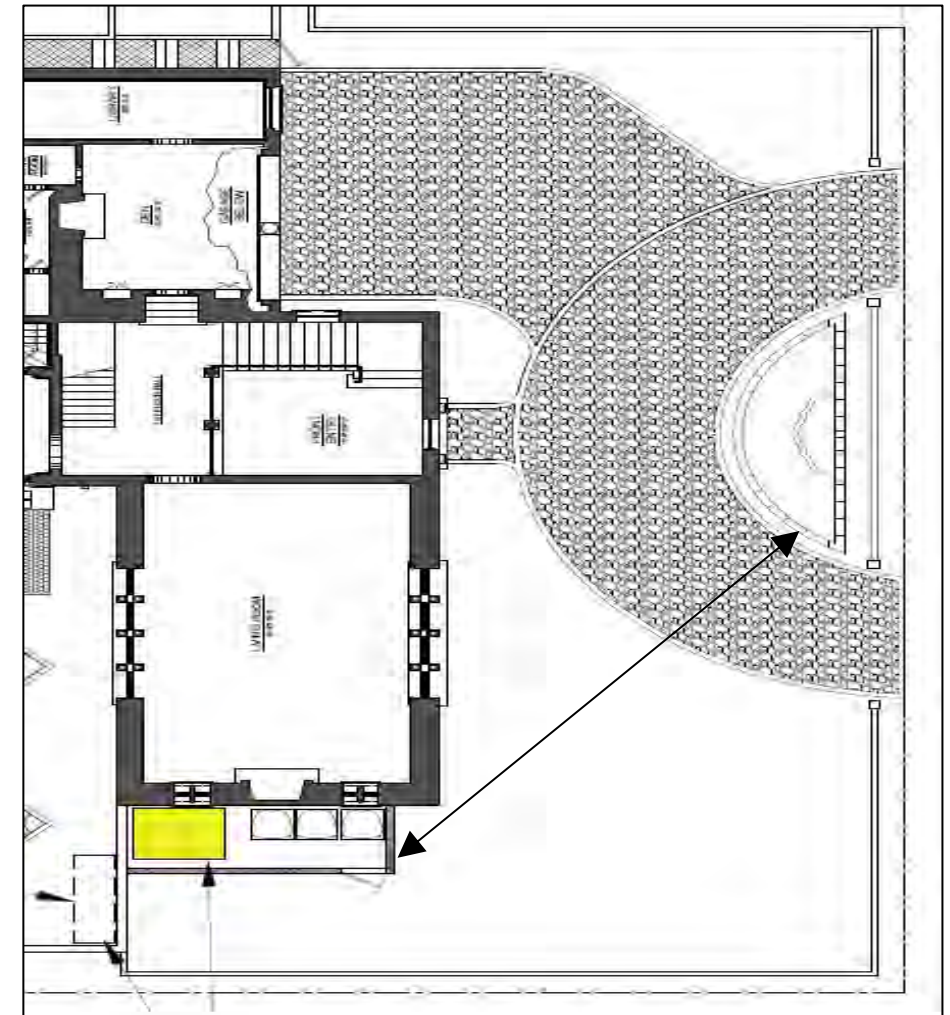
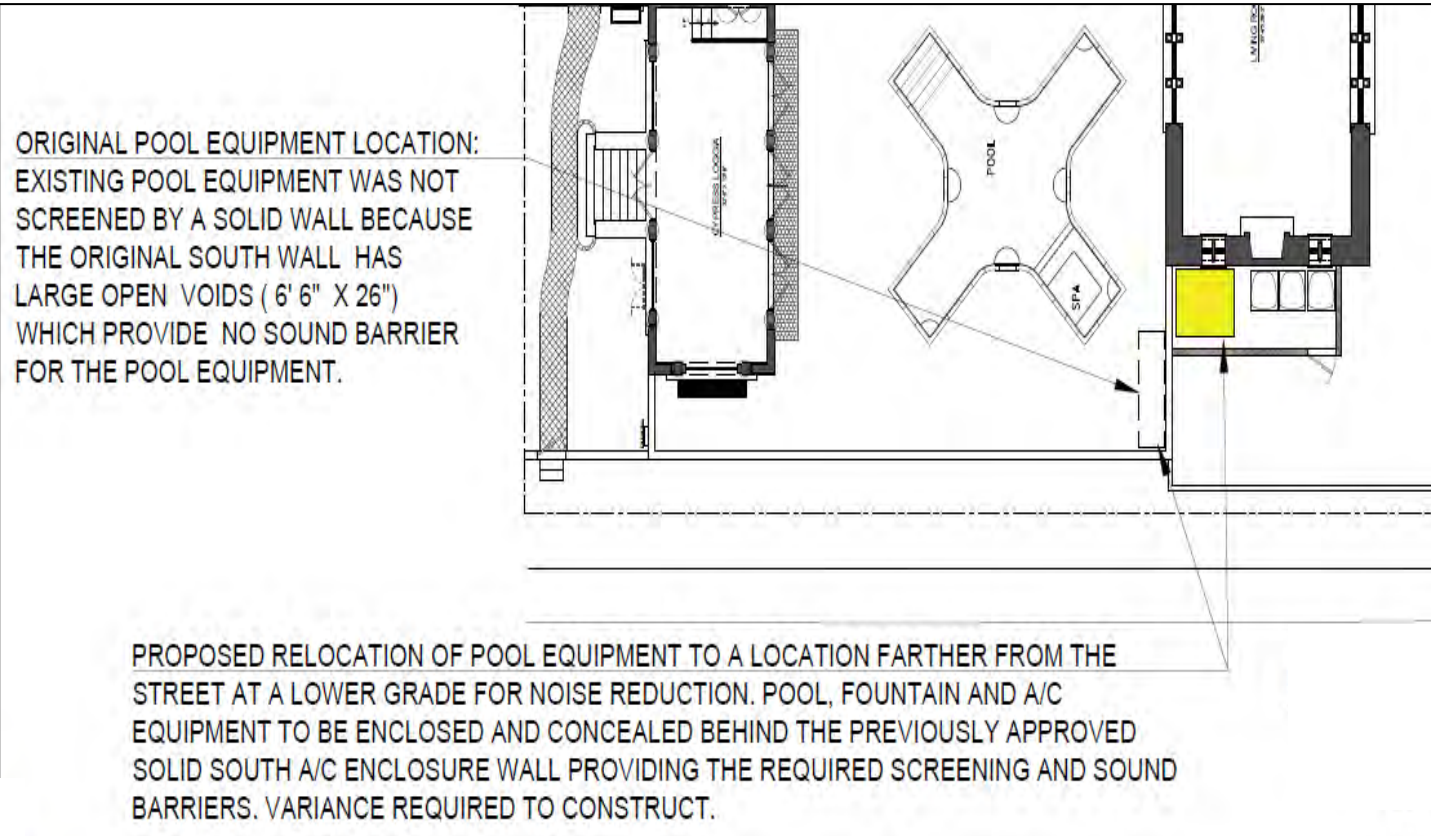
70 MIDDLE ROAD

7 FT COVERED TERRACE:
LANDMARK APPROVED BUT REQUIRE
A ZONING VARIANCE TO CONSTRUCT

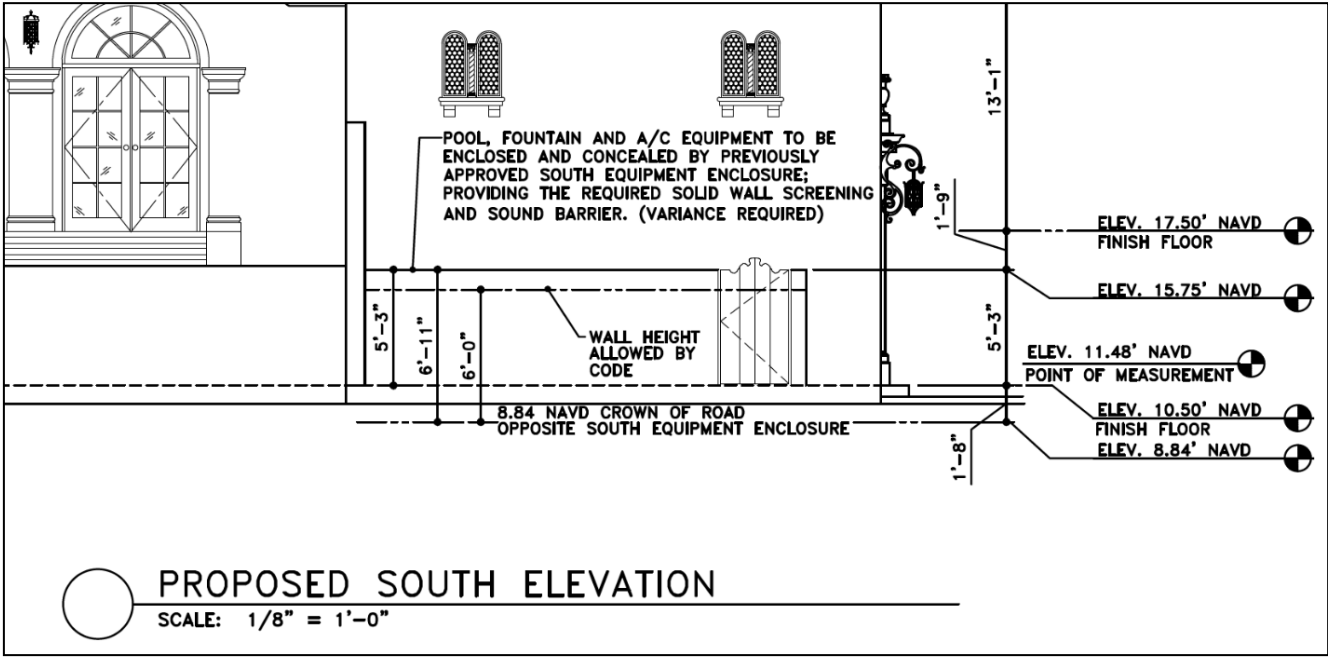
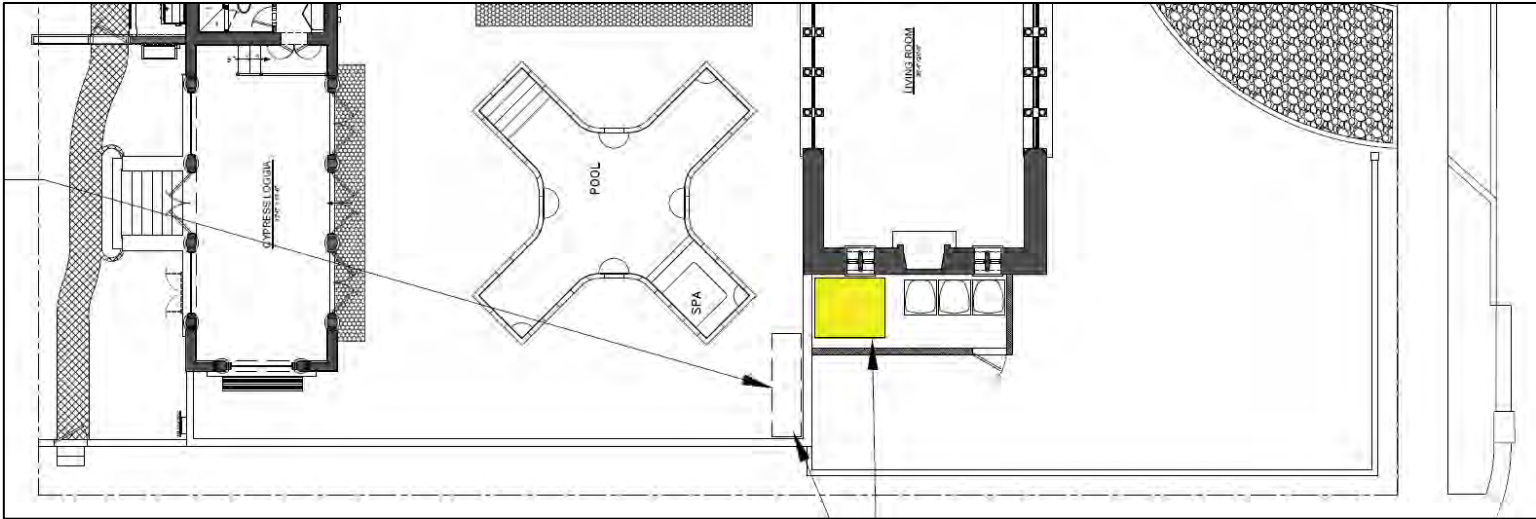
Osha recommended
Roof Steps



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6. Section 134-1667(a): A variance to increase the height of the previously approved South equipment enclosure walls in the street (South) side yard setback to 6.9 feet in height in lieu of the 6 foot maximum allowed under the Code.

1. The special conditions and circumstances related to the subject property is that this is a Historic Landmarked house in the R-B Zoning District that is currently non-conforming to the current Code.
2. The special conditions and circumstances are not the result of the applicant as the house was built in 1924 (with later additions in 1952 and 1969). The non-conforming aspects of the house were in existence at the time of acquisition by the applicant.
3. The hardship, which runs with the land, is that the house is a Town of Palm Beach Historic Landmark house (built in 1924) which is non-conforming in several aspects to the current Code as zoning has changed since the house was originally constructed 100 years ago.
4. The current location and configuration of the Landmark house limits the applicant's ability to make changes without the necessity for variances. Renovations to a Landmark house require a delicate approach in making changes to improve the livability for the year 2024.
5. The previously approved 8-foot laundry room addition (extended from the 1952 non-original structure) is relatively small and will allow for greater livability of the property to conform to current standards. The variances requested are the minimum necessary to make reasonable use of the land. The previously approved 8-foot (91 square foot) laundry room addition in the North West corner of the house will be no farther into the setback than the rest of the house currently is. The previously approved 8-foot laundry room addition will be no closer to the North property line than other portions of the house currently are (to also include providing the required solid wall screening concealing and providing a sound barrier for the existing North A/C equipment).

6. The previously approved 7-foot covered terrace on the existing 1-story flat roof of the 1969 non-original addition will not be any closer to the North property line than the flat roof currently is; nor would it be any higher than the original clay barrel tile roof currently is. The previously approved 7-foot covered terrace is a significant improvement to the 1969 non-original 1-story addition creating cohesion and unification of the North exterior elevation of the Landmarked house.

7. The relocation of the pool equipment and future fountain equipment are necessary for the pool, spa and fountain and will be enclosed within the previously approved South equipment enclosure. The pool equipment and fountain equipment will be lower in height and farther from the property line than the existing equipment is currently situated (concealed within the South equipment enclosure providing the required solid wall screening and sound barriers).

8. The OSHA recommended steps are a safety measure so the owner's staff and maintenance crew do not suffer catastrophic FALLS, INJURY or DEATH while performing various maintenance and/ or roof repairs. The owner's flat roofs require re-painting and waterproofing semi-annually. The owner's 3 chimneys frequently require cleaning and maintenance due to excessive leaves and debris which often accumulate on the flat roofs during high winds, storms and hurricanes. The owner's hand made clay roof tiles often crack, break and detach during high winds, storms and hurricanes; which require immediate replacement to avoid future code violations. The OSHA recommended steps provide a safer and more efficient access between the two flat roofs ; reducing the need for ladders and other potentially hazardous access methods to transition between the two flat roofs for chimney and roof access. The OSHA recommended steps are not visible from any right of way or street views. The OSHA recommended steps are a necessity and not a frivolity. The approval of the OSHA recommended steps will not confer any special privilege nor would they be detrimental to the public welfare. However, not installing the OSHA recommended steps could result in injury or death; of which the owner is seeking to avoid 3rd party liability.

9. The granting of these variances will not be injurious to the area involved or detrimental to the public welfare. Granting of the variances requested will not confer any special privilege that is denied to the neighboring properties.