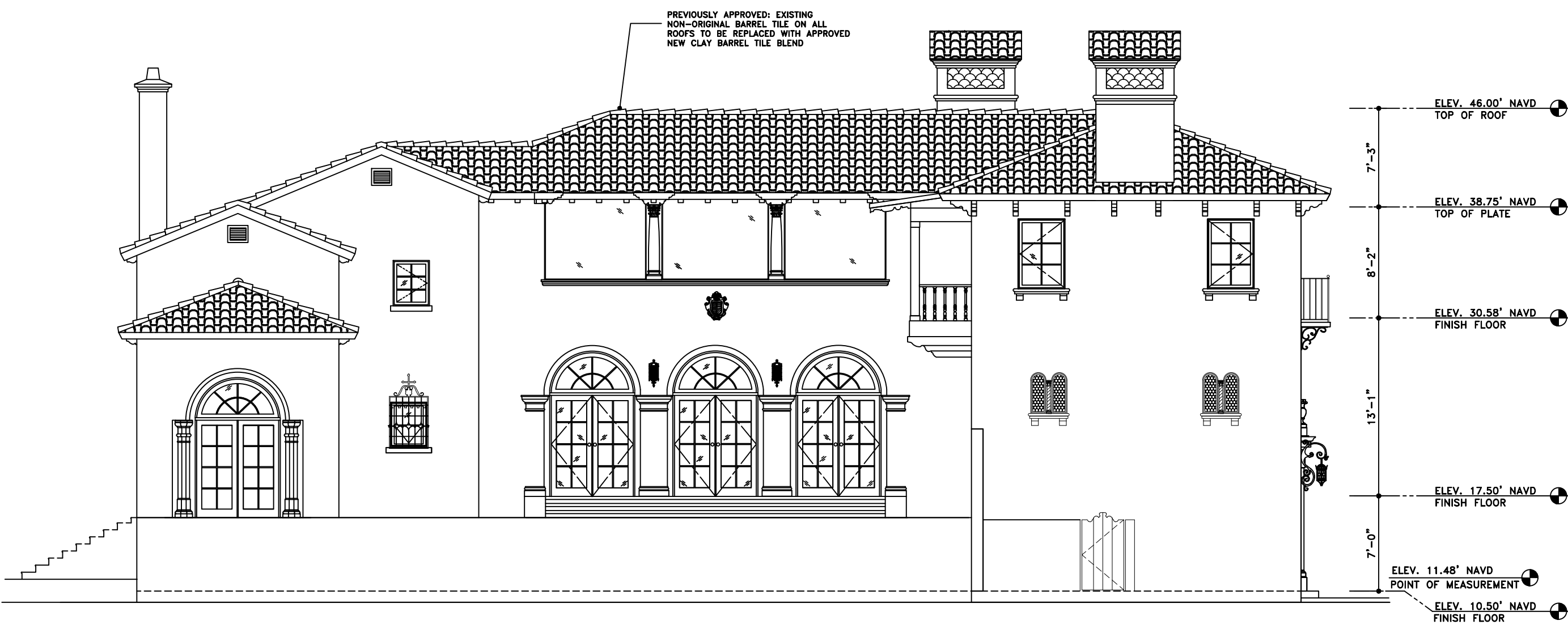




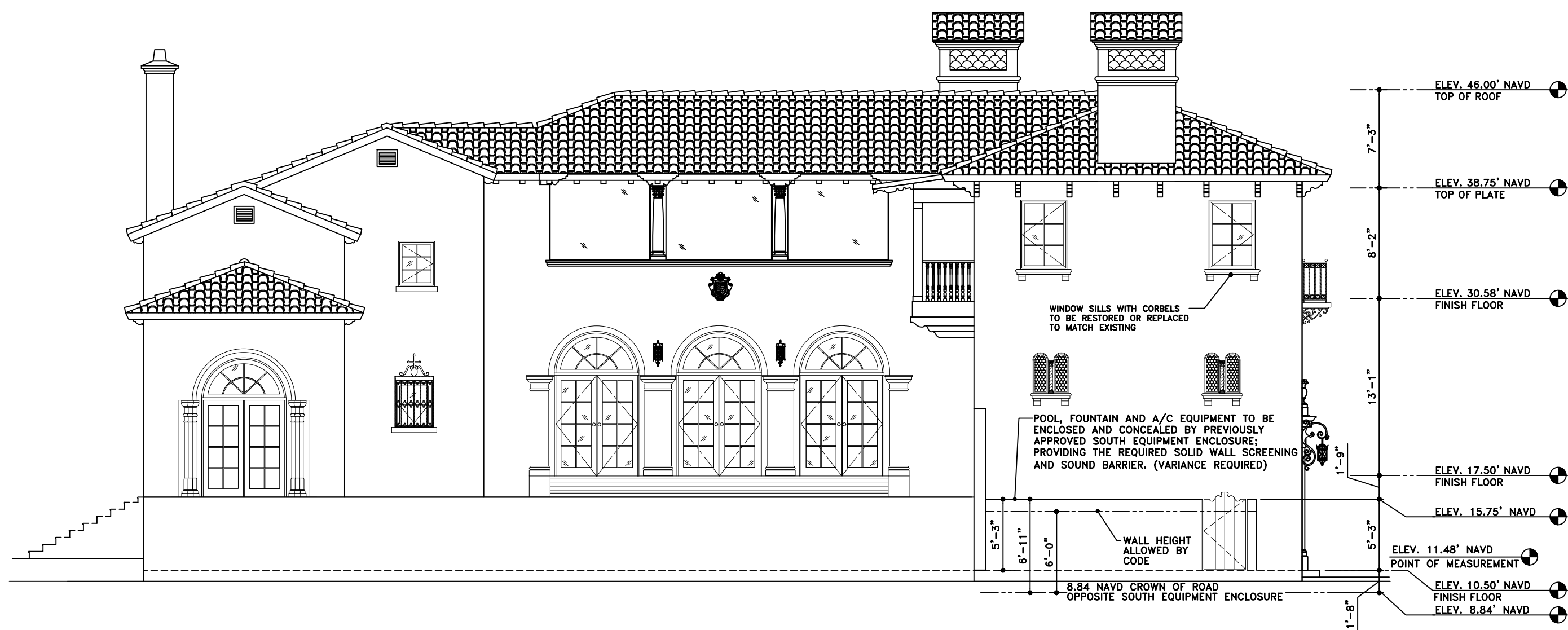
ORIGINAL SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED SOUTH ELEVATION



EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



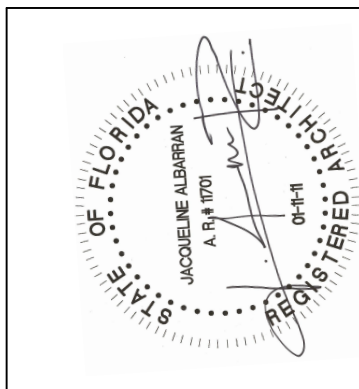
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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WINDOW/DOOR NOTE:
ALL WINDOWS AND EXTERIOR DOORS TO BE REMOVED AND REPLACED WITH PREVIOUSLY APPROVED IMPACT-RATED KOLBE/ SIGNATURE OR COMPARABLE UNITS

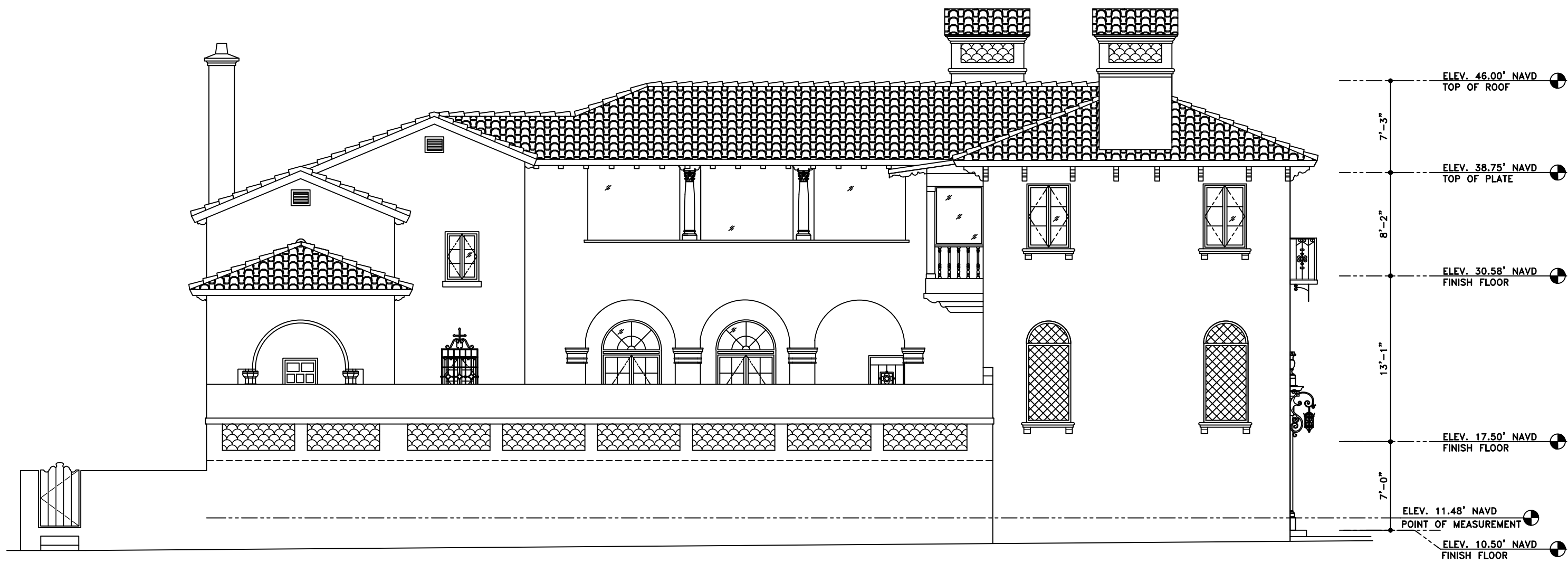
NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

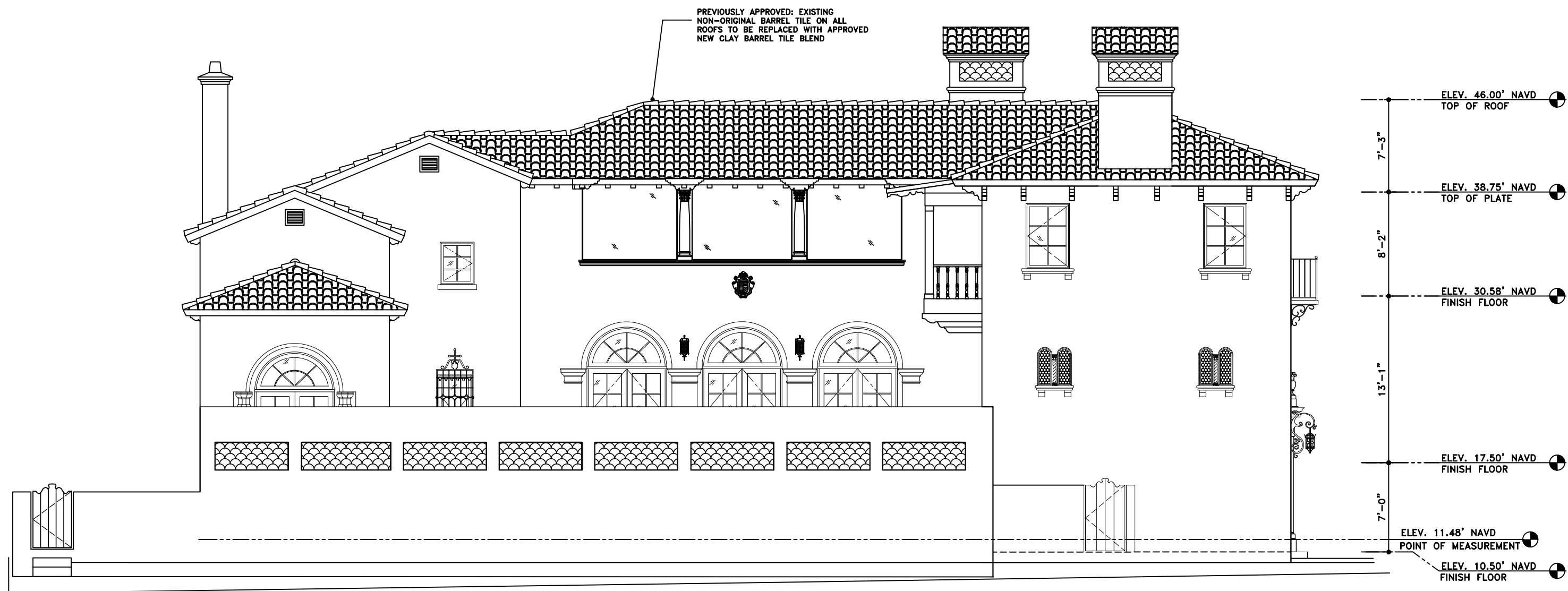


REVISIONS:

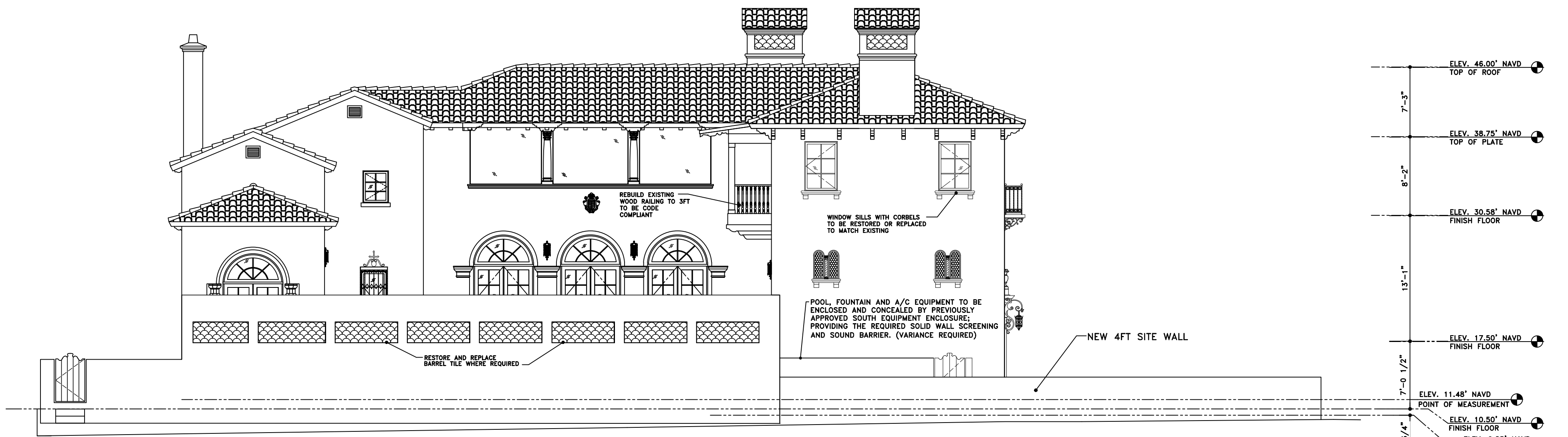
SHEET NUMBER:
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DATE: 03-03-25
JOB # 0445



EXISTING SOUTH ELEVATION—STREET VIEW
SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED SOUTH ELEVATION—STREET VIEW



PROPOSED SOUTH ELEVATION—STREET VIEW
SCALE: 1/8" = 1'-0"

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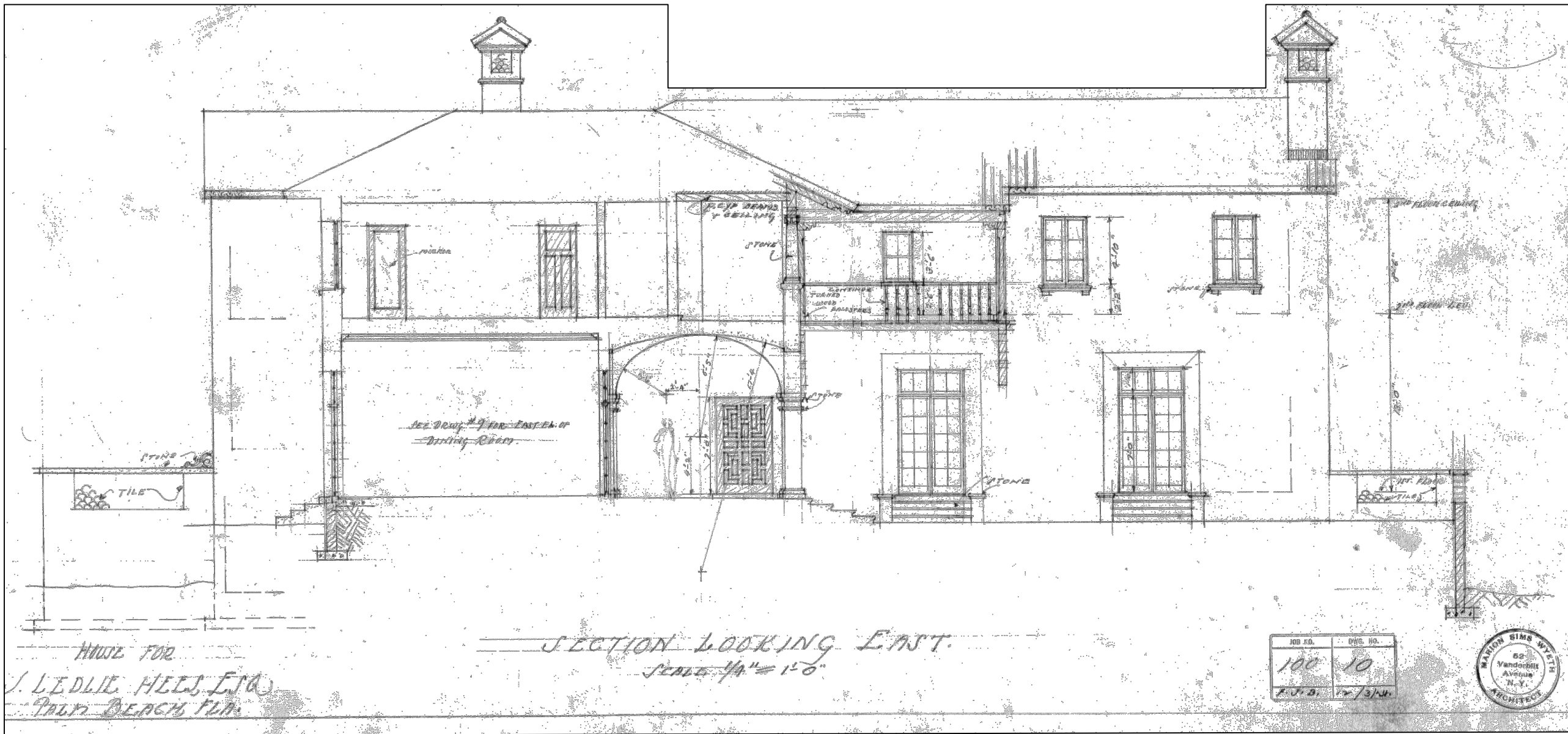
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DATE:
03-03-25
JOB #
0445



ORIGINAL COURTYARD WEST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED COURTYARD WEST ELEVATION
SCALE: 1/8" = 1'-0"

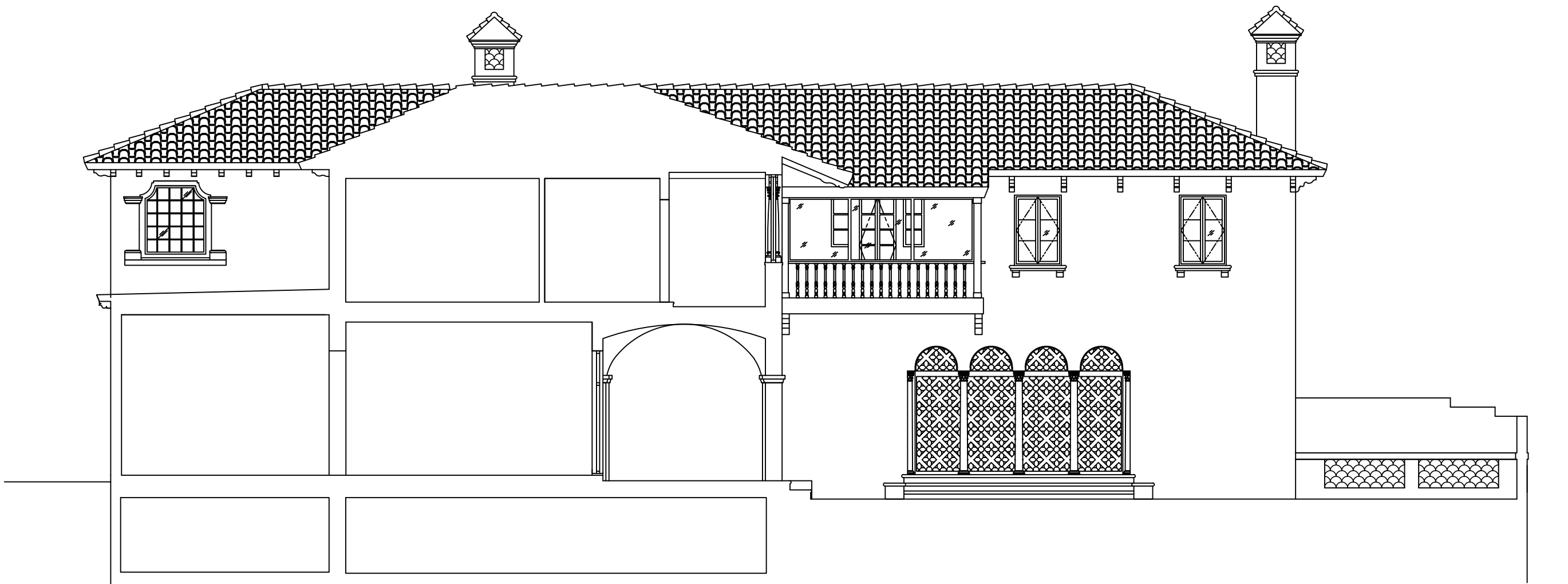
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WINDOW/DOOR NOTE:
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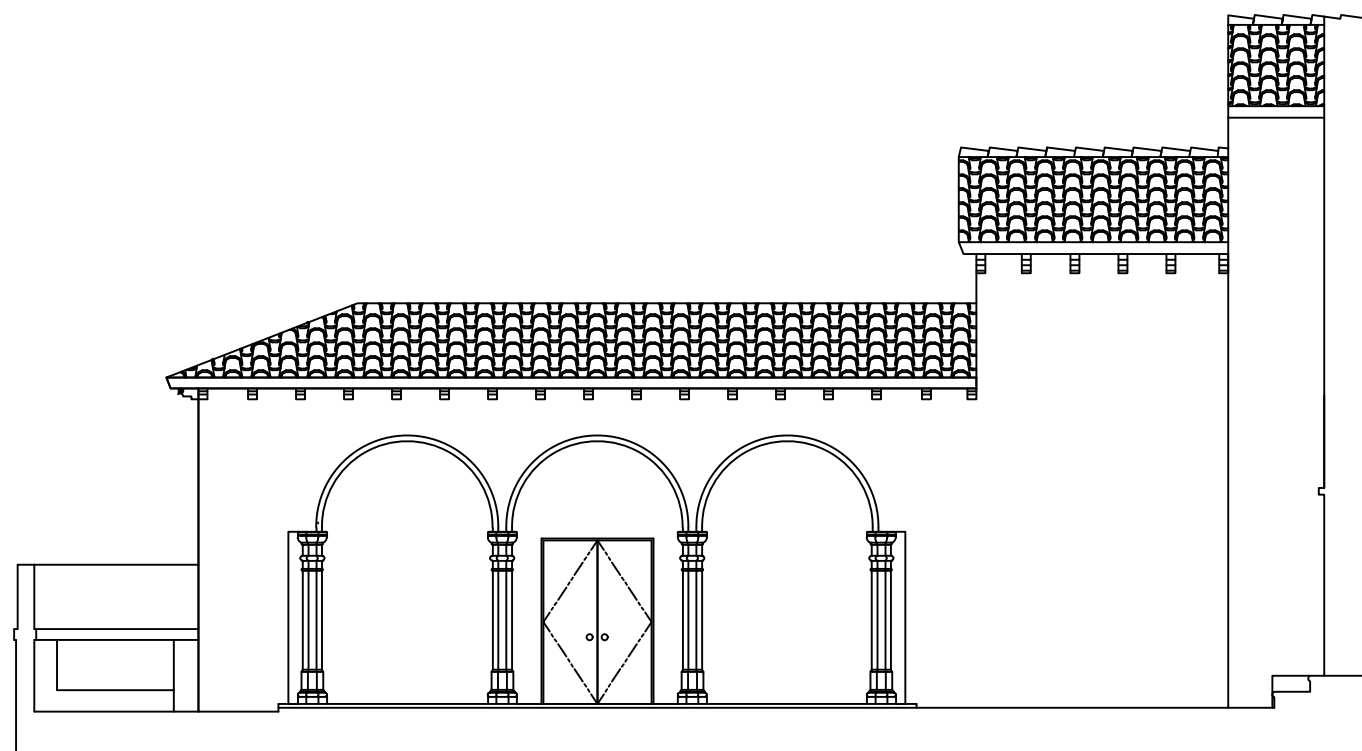
BALCONY BEAM, COLUMNS AND OUTRIGGERS TO BE REMOVED AND REPLACED TO MATCH EXISTING

WINDOW SILL WITH CORNICE TO BE RESTORED OR REPLACED TO MATCH EXISTING

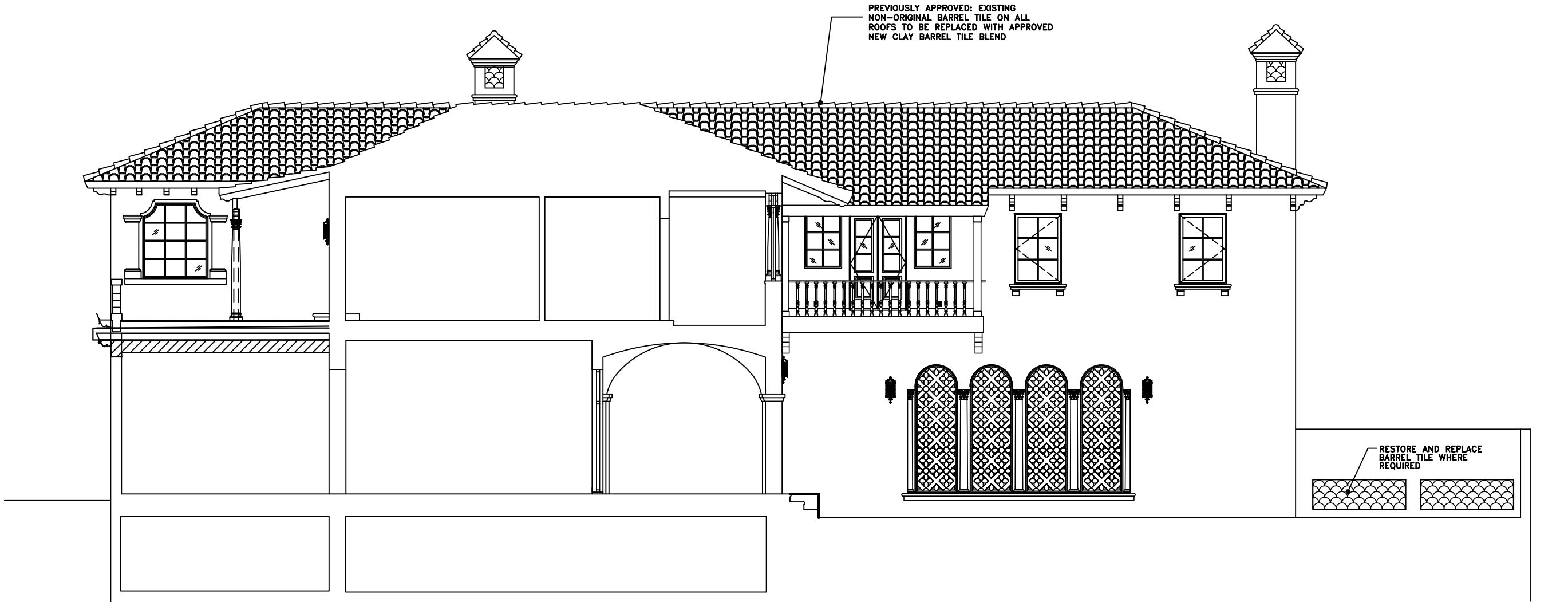
COLUMNS TO BE REPLACED TO MATCH ORIGINAL



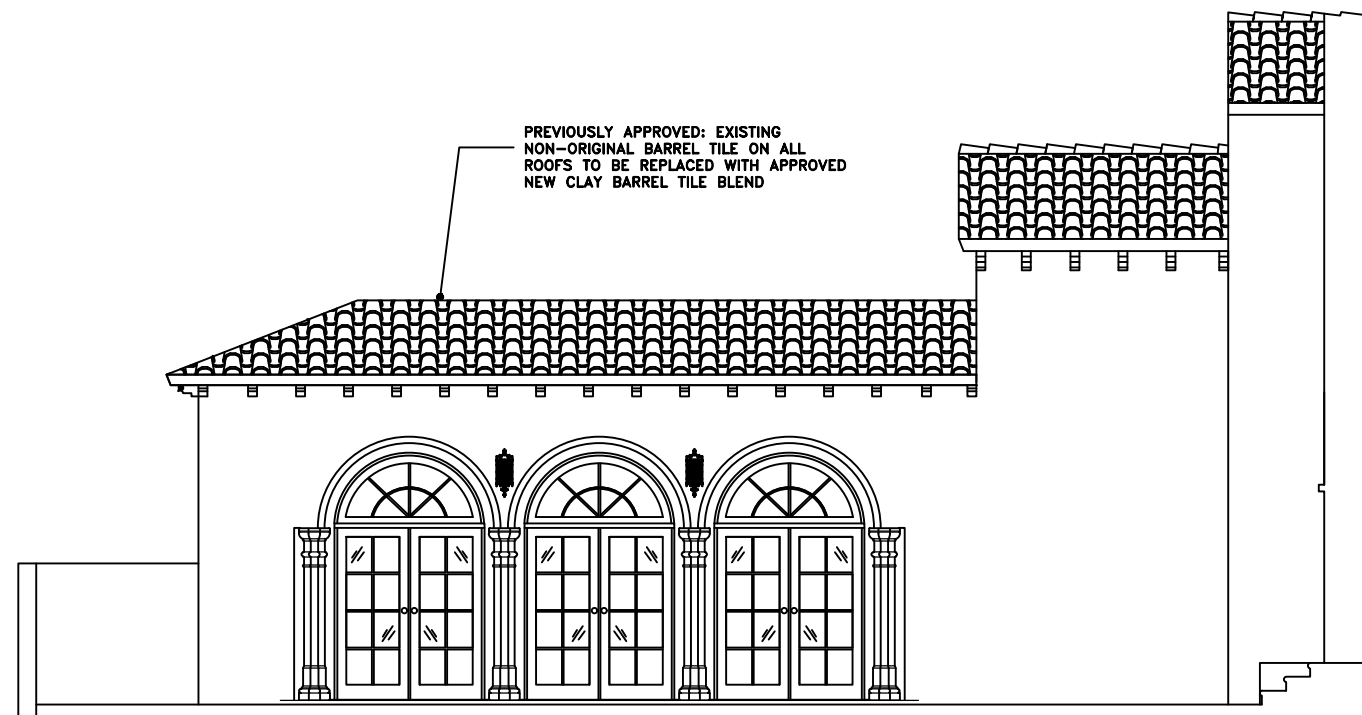
EXISTING COURTYARD WEST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING COURTYARD EAST ELEVATION
SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED COURTYARD WEST ELEVATION
SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED COURTYARD EAST ELEVATION
SCALE: 1/8" = 1'-0"

NAEGELE RESIDENCE
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DATE:

03-03-25

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0445



PROPOSED COURTYARD WEST ELEVATION
SCALE: 1/8" = 1'-0"

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BOTKIN PARSSI & ASSOCIATES, INC.
CONSULTING ENGINEERS

Revised October 30, 2024
October 28, 2024

Mrs. Jennifer Naegele
70 Middle Road
Palm Beach, FL 33480

PROJECT: 70 Middle Road, Palm Beach, FL 33480

PROJECT NO.: 23-054

REGARDING: Existing Master Bedroom Balconies

Dear Mrs. Naegele

The following are my field observations of the existing balconies:

East Balcony

- The existing framing of the balcony was only observed from inside the hallway. The existing floor sheathing was removed to expose the framing. Please refer to attached photos.
- It appears that the balcony is supported by cantilevered 2x12 floor joists at 12" o.c. with concrete infill (in between the joists). The cantilevered joists are spliced before reaching the exterior wall as shown in the photo. The cantilevered portion of the joist appears to be framed at a different time with newer lumber. The interior floor joists appear to be part of the original construction with signs of deterioration (wood in contact with concrete).
- It is unknown if the existing concrete infill is reinforced and some cracks were noticed on the surface of balcony. 8.5" depth of construction is measured at edge of the balcony, indicating possible tapered or notched framing.
- Splicing a cantilevered joint for support of balcony floor is structurally inadequate. Mixing concrete and wood are problematic, and causing wood to deteriorate. Portion of wood joist in contact with concrete has rotted and replacement is necessary.
- I recommend replacing the existing balcony framing with a new reinforced slab supported by new exterior wall below.

70 Middle Road
Existing Master Bedroom Balconies
Revised October 30, 2024
October 28, 2024
Page 2 of 2

West Balcony

- This is a covered balcony with full glass windows, framed with 4x6 roof rafters at 24" (with approximately 4 ft. overhang) supported by 4x12 spandrel beams. The beams are supported by corner posts with added filler piece under each beam bearing, refer to photos. There are no hurricane ties between rafters and beams and no connection between beams and posts. The floor framing is framed with approximately 5 ft. cantilevered 2x10's at 12" o.c. The exterior corner posts are supported by two 7x10 outriggers penetrating through terra cotta veneer wall, and face nailed to the interior wood stud wall.
- The floor joists have to be reinforced to meet current building code loading and deflection requirements. The exterior balcony wall and windows will be removed and replaced with new guard rail.
- After reviewing the structural analysis of the roof framing, some members are overstressed and replacement of beams, posts and the floor outriggers is required to meet the loading and deflection requirements of the building code. The new outriggers with be framed with structural steel with adequate connection to the existing foundation wall. Architecturally, the outriggers will be clad to match existing.

Sincerely,
BOTKIN PARSSI & ASSOCIATES, INC.

Thomas Abbasi, P.E.
Florida Registration No. 85211
CA#: 0002133

Attachment 1 – Photos 1 through 7, dated October 28, 2024

2749 Exchange Court - West Palm Beach - FL 33409 561.965.1957 Fax: 561.965.4308
<http://www.botkinparssi.com>

70 Middle Road
Existing Master Bedroom Balconies
Attachment 1
October 28, 2024
Page 3 of 4

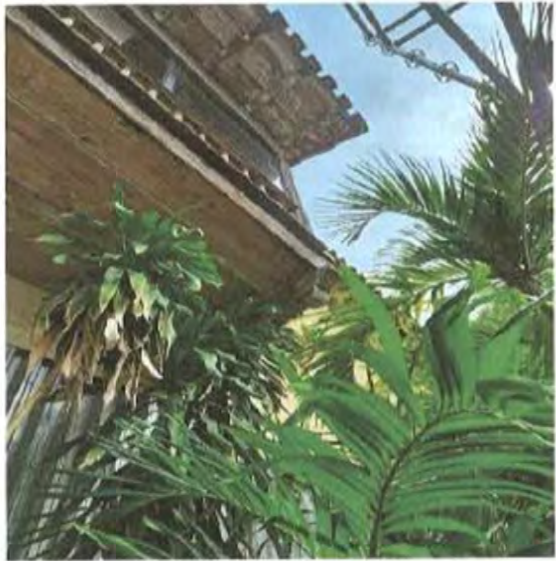


PHOTO 5 - West Balcony looking at underside of balcony floor with end outrigger for support of roof post above



PHOTO 6 - West Balcony – Looking at southwest corner of roof framing

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70 Middle Road
Existing Master Bedroom Balconies
Attachment 1
October 28, 2024
Page 4 of 4



PHOTO 7 - West Balcony looking at roof framing with corner post in two pieces, without a connection

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<http://www.botkinparssi.com>

SCOPE OF WORK: BEAMS, POSTS AND FLOOR OUTRIGGERS ARE OVERSTRESSED AND THEY NEED TO BE REPLACED TO MEET THE LOADING AND DEFLECTION REQUIREMENTS OF THE BUILDING CODE. NEW BEAM, POSTS AND OUTRIGGERS TO BE FRAMED WITH STRUCTURAL STEEL WITH AN ADECUATE CONNECTION TO THE EXISTING FOUNDATION. BEAMS, POSTS AND OUTRIGGERS TO BE CLADDED TO MATCH EXISTING.



PHOTO 4 - West Balcony – Looking at underside of balcony floor with end outrigger

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EXISTING WEST BALCONY

STRUCTURAL REPAIRS AT INTERIOR COURTYARD EAST ELEVATION

NAEGELE RESIDENCE
70 MIDDLE ROAD
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324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533



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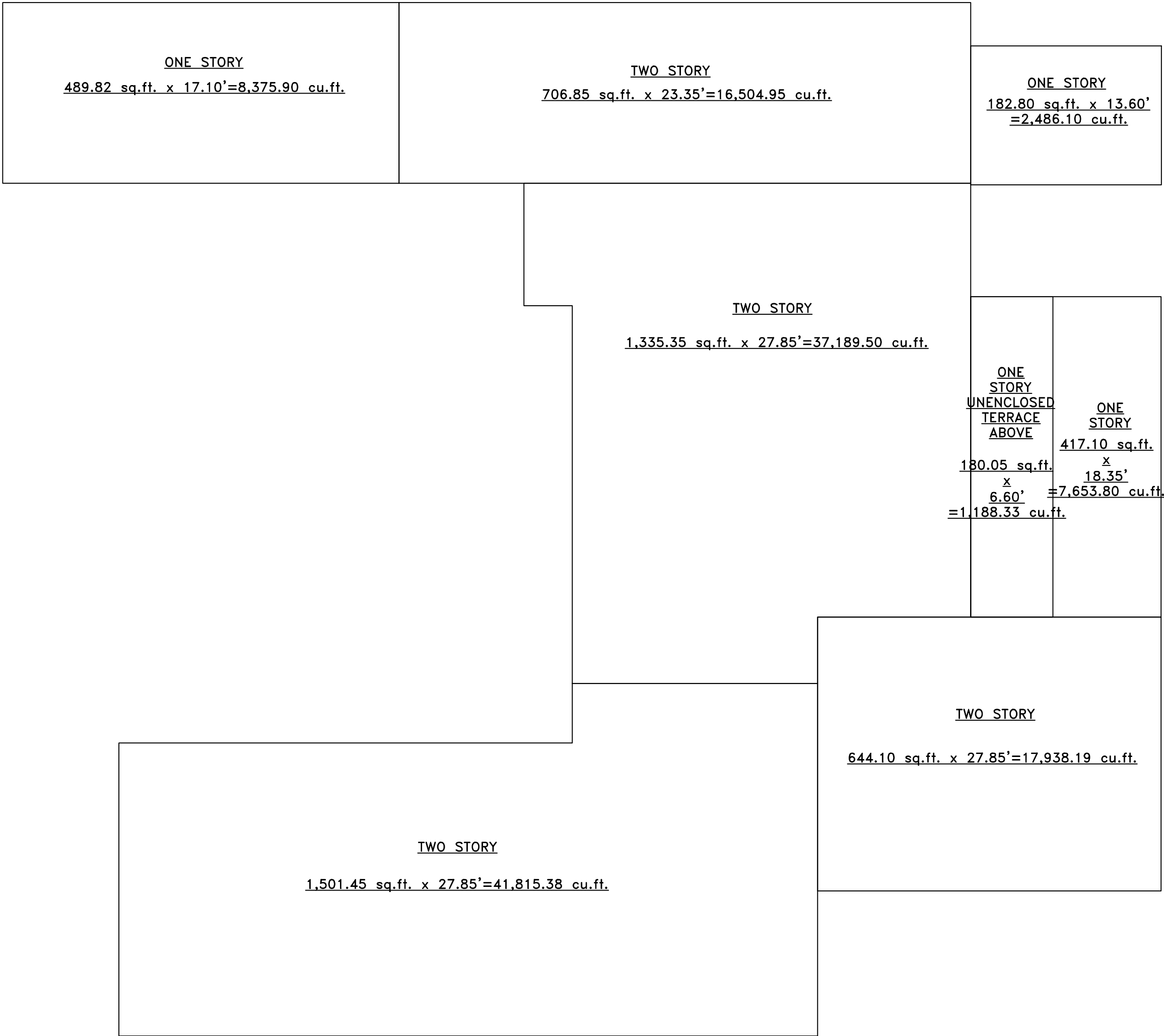
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DATE:

03-03-25

JOB #

0445



CUBIC CONTENT CALCULATIONS	
ALLOWABLE CCR	76,245 CU.FT. MAX.
AREAS	CUBIC FEET
489.82 SQ.FT. @ 17.10'	8,375.90
706.85 SQ.FT. @ 23.35'	16,504.95
182.80 SQ.FT. @ 13.60'	2,486.10
1,335.35 SQ.FT. @ 27.85'	37,189.50
417.10 SQ.FT. @ 18.35'	7,653.80
180.05 SQ.FT. @ 6.60'	1,188.33
644.10 SQ.FT. @ 27.85'	17,938.19
1,501.45 SQ.FT. @ 27.85'	41,815.38
TOTAL	133,152.15

CUBIC CONTENT CALCULATIONS
SCALE: 1/8" = 1'-0"

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NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA



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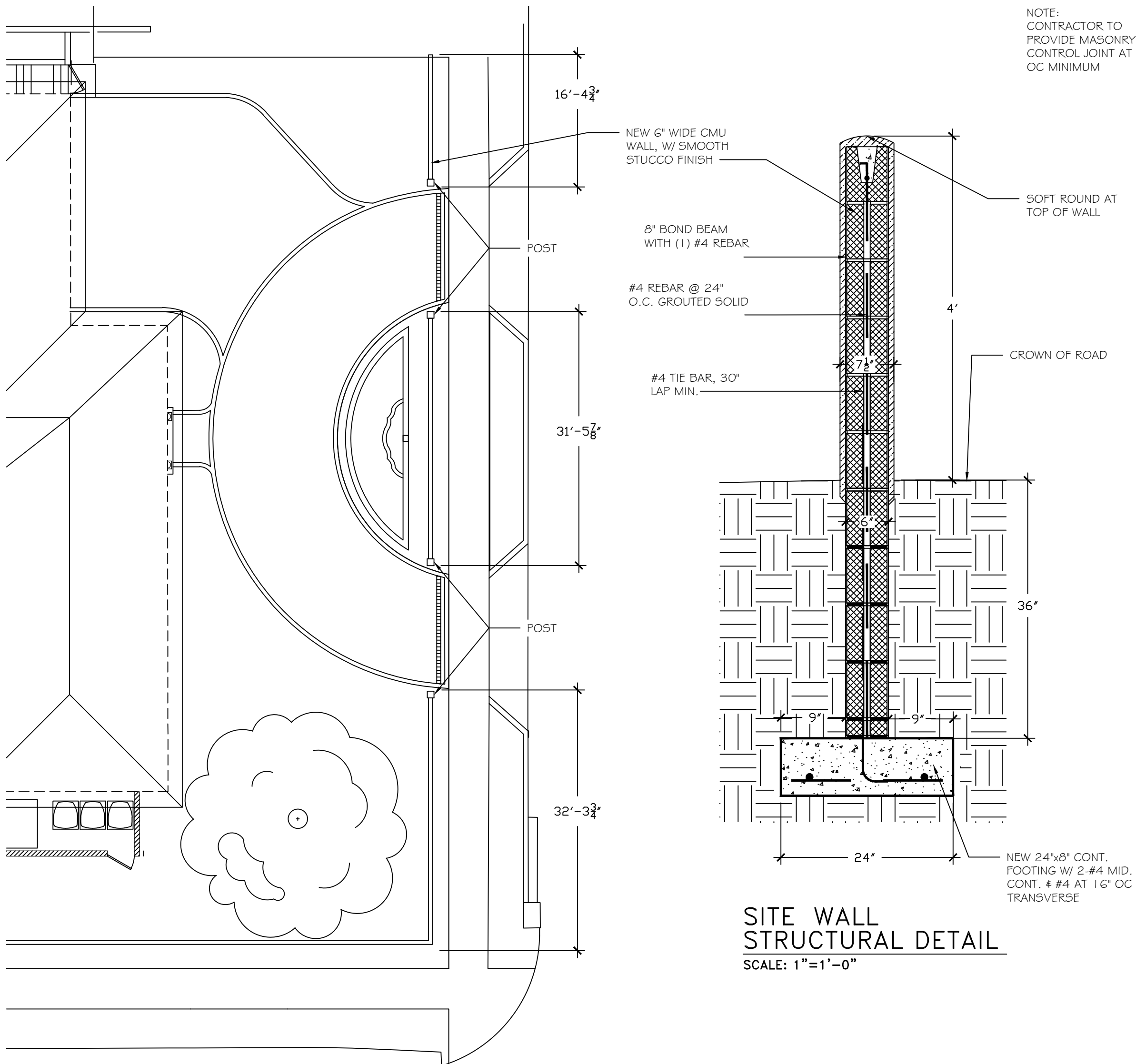
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A17
DATE:
03-03-25
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PROPOSED EAST ELEVATION WITH SITE WALL
SCALE: 3/32"=1'-0"

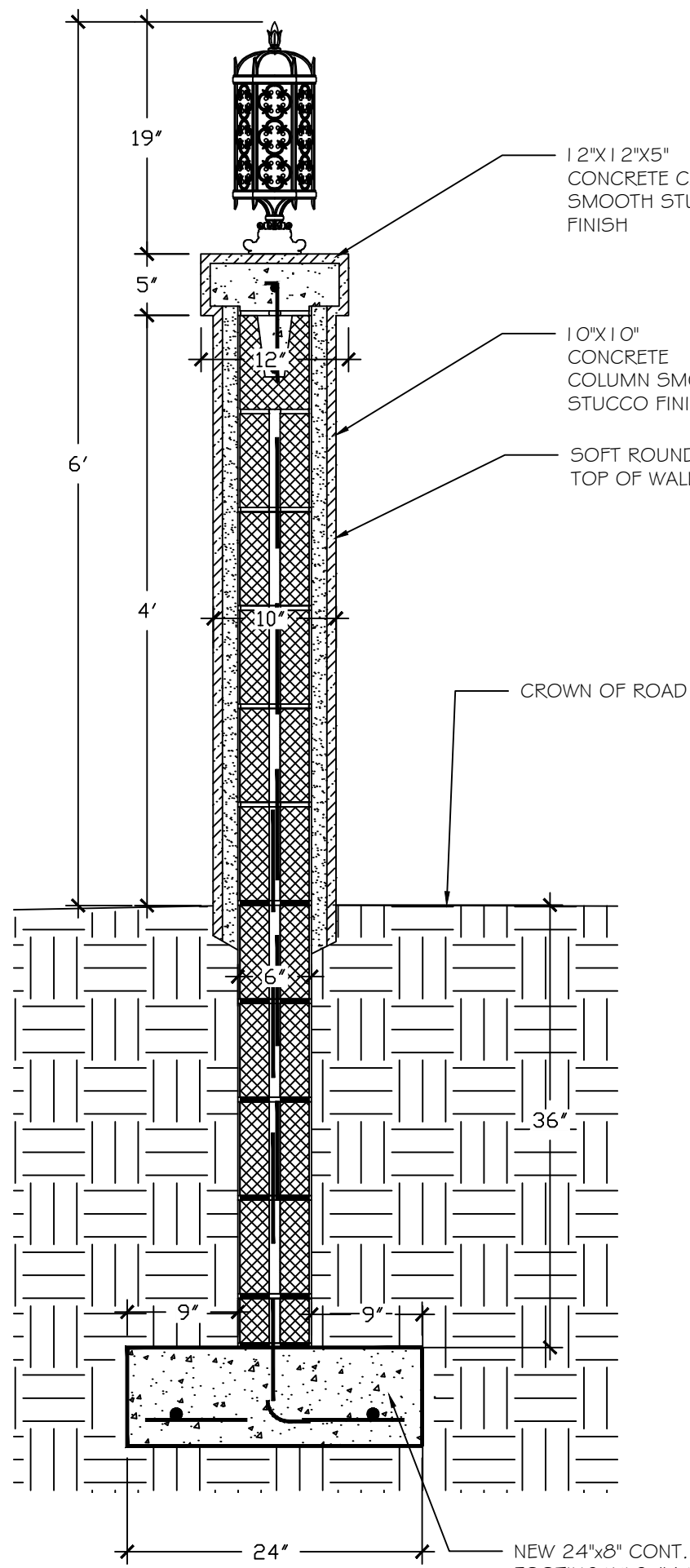


PROPOSED SOUTH ELEVATION WITH SITE WALL
SCALE: 3/32"=1'-0"

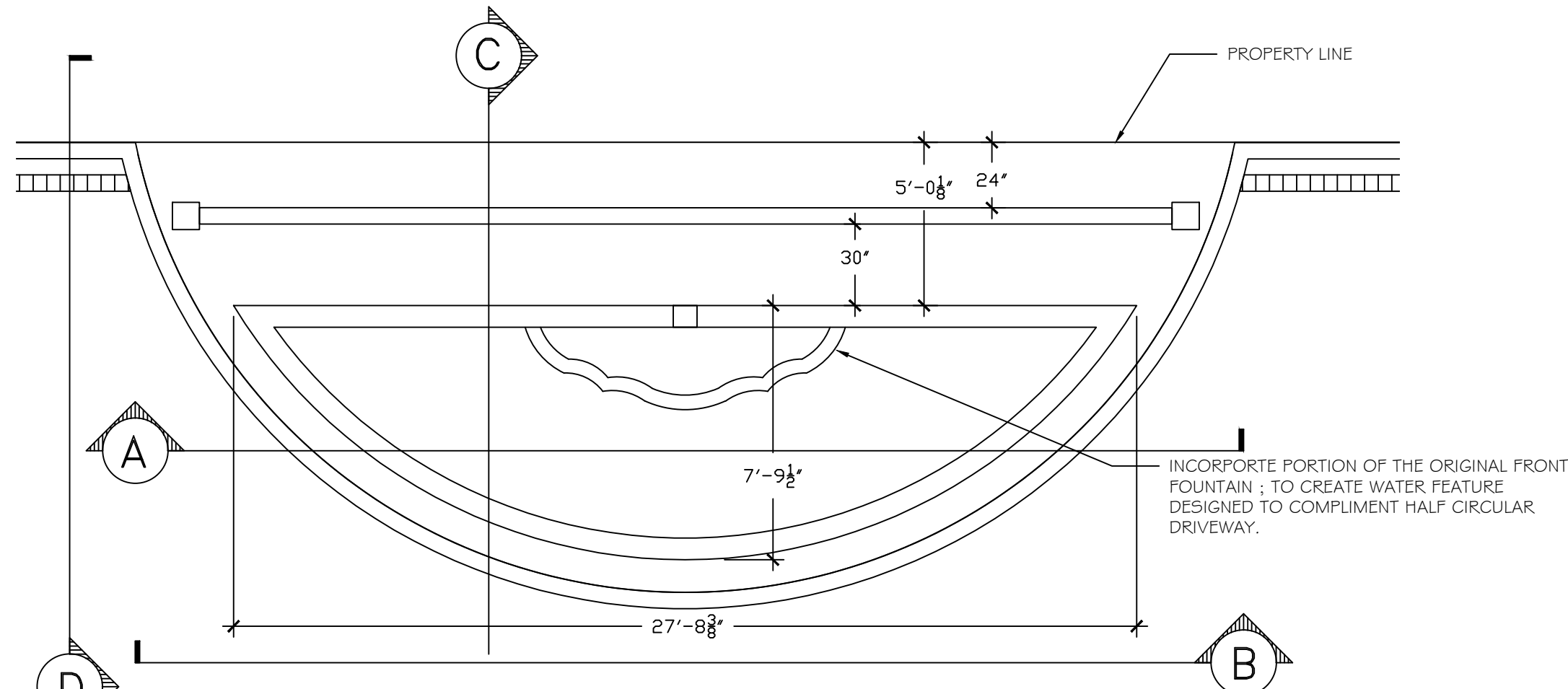


SITE WALL
STRUCTURAL DETAIL
SCALE: 1"=1'-0"

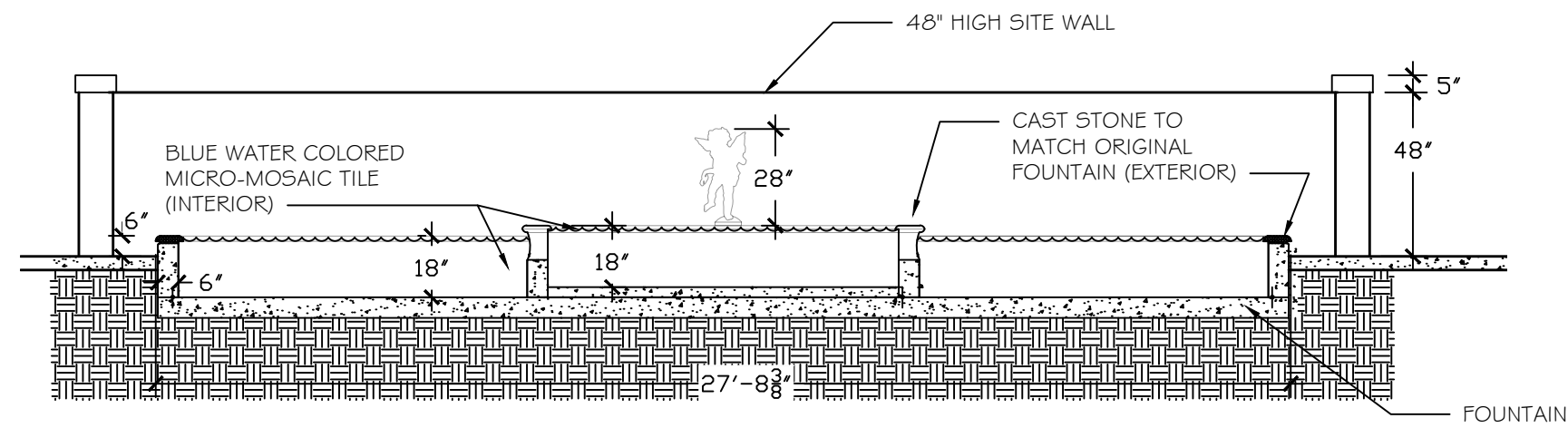
FLOOR PLAN
SCALE: 3/32"=1'-0"



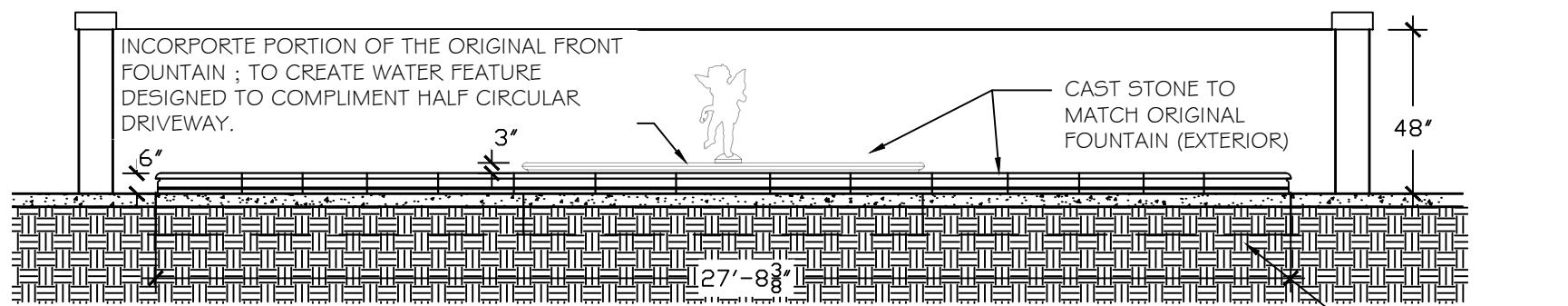
SITE WALL STRUCTURAL
CAP DETAIL AT POST
SCALE: 1"=1'-0"



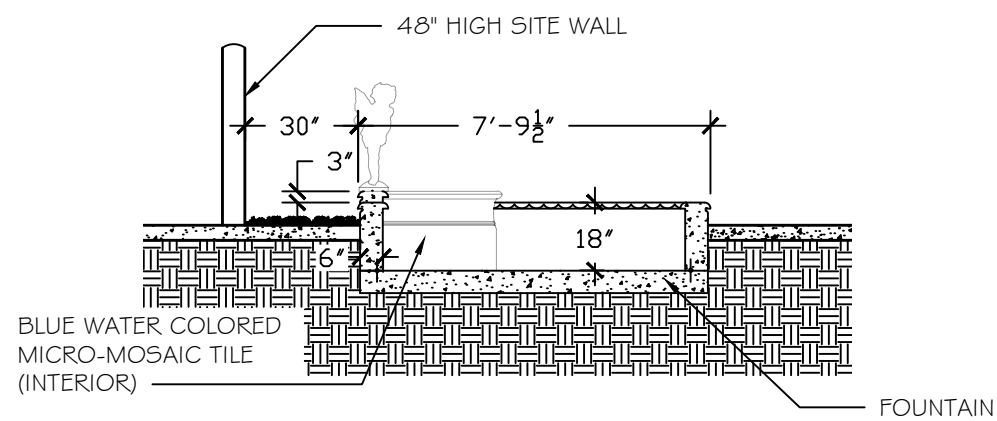
PROPOSED FOUNTAIN PLAN
SCALE: 1/4"=1'-0"



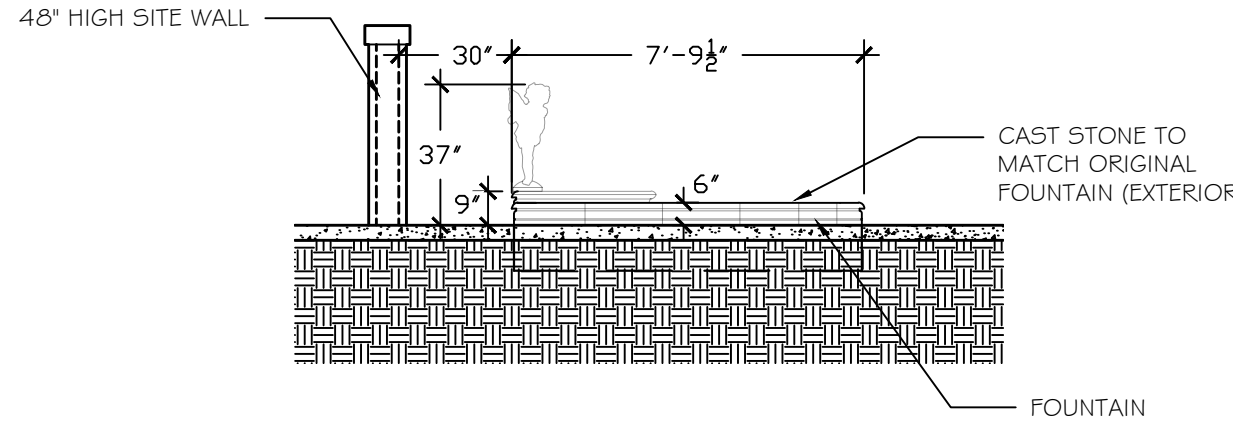
PROPOSED EAST SECTION THROUGH FOUNTAIN
SCALE: 1/4"=1'-0"



PROPOSED EAST ELEV. OF FOUNTAIN
SCALE: 1/4"=1'-0"



PROPOSED SOUTH SECTION THROUGH FOUNTAIN
SCALE: 1/4"=1'-0"

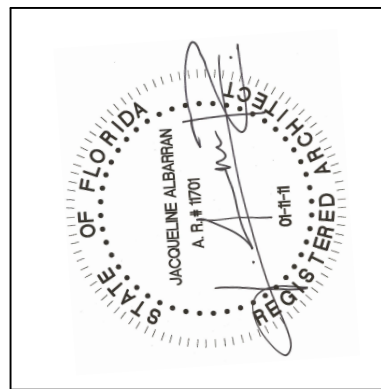


PROPOSED SOUTH ELEVATION
SCALE: 1/4"=1'-0"

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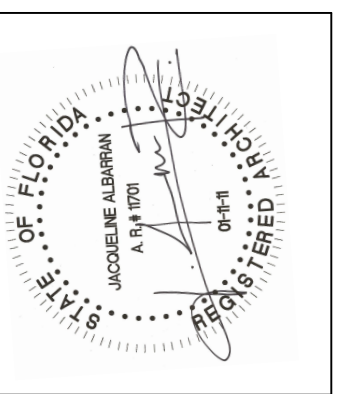
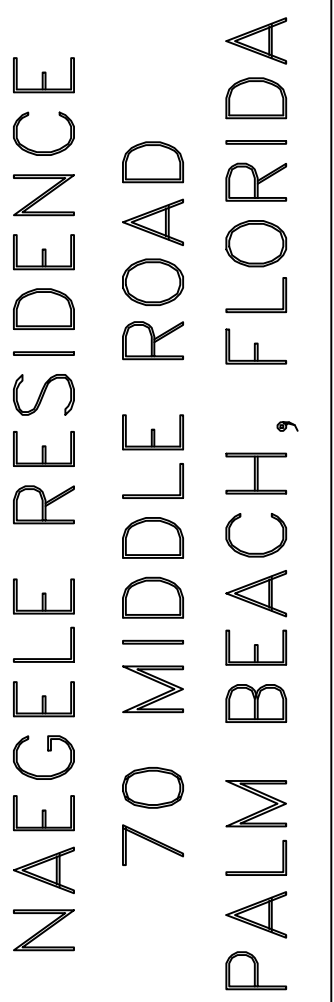
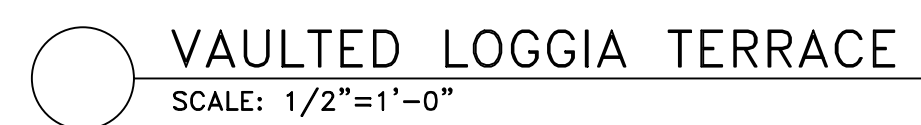
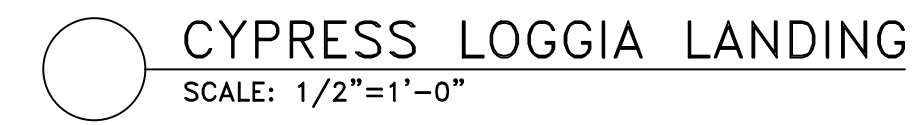


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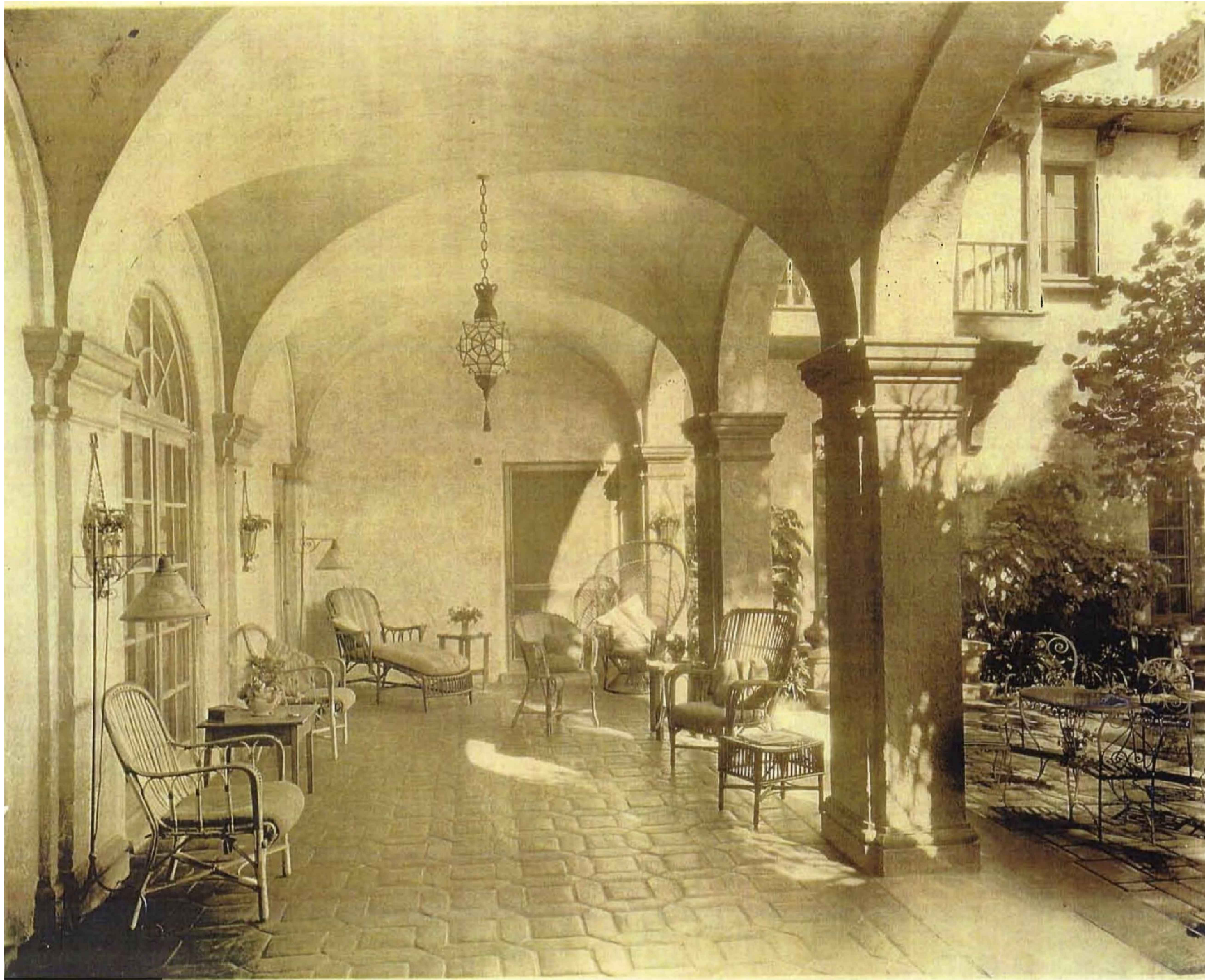
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A 19

DATE: 07-07-05

JOB #	03	03	23
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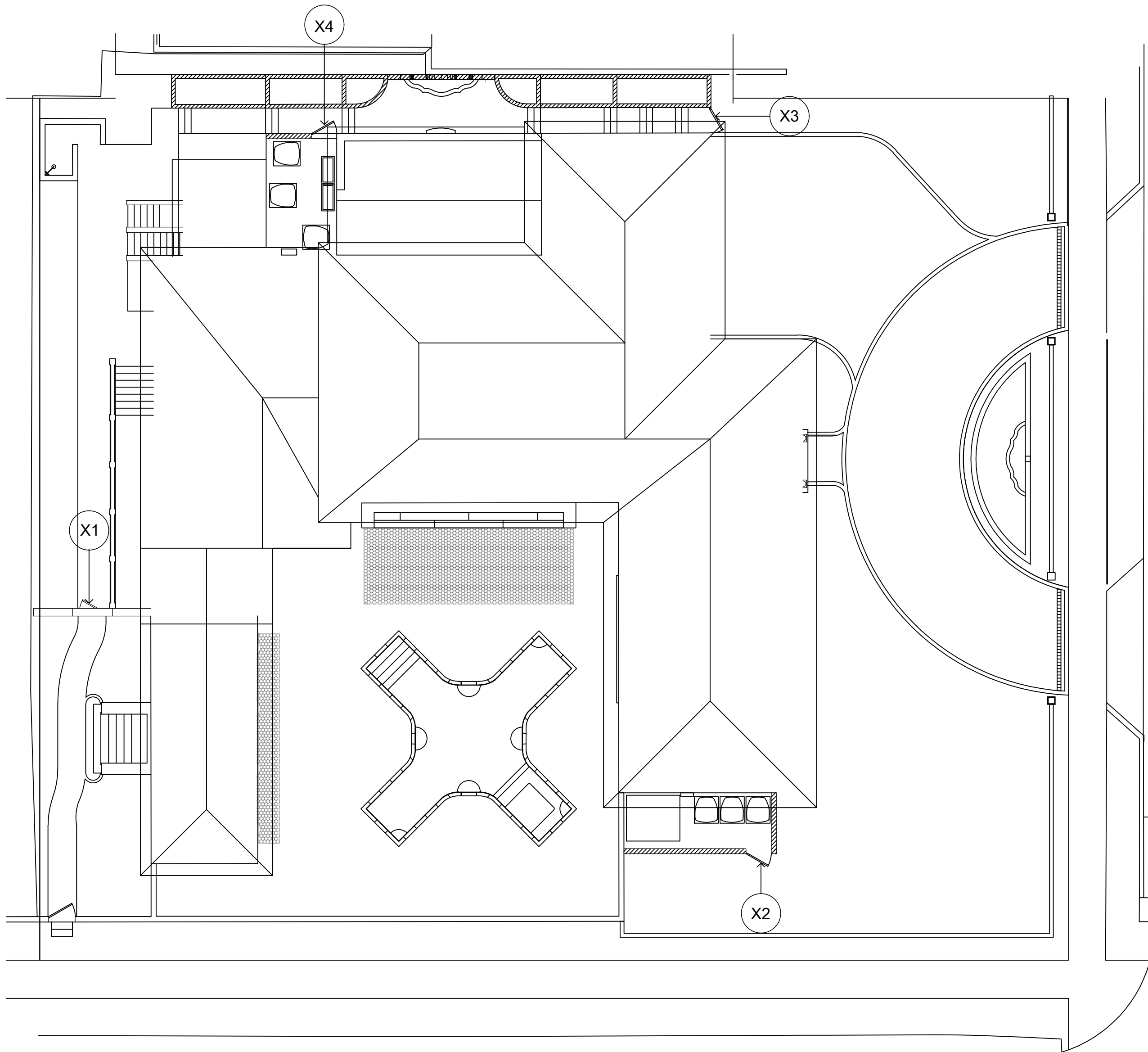
445



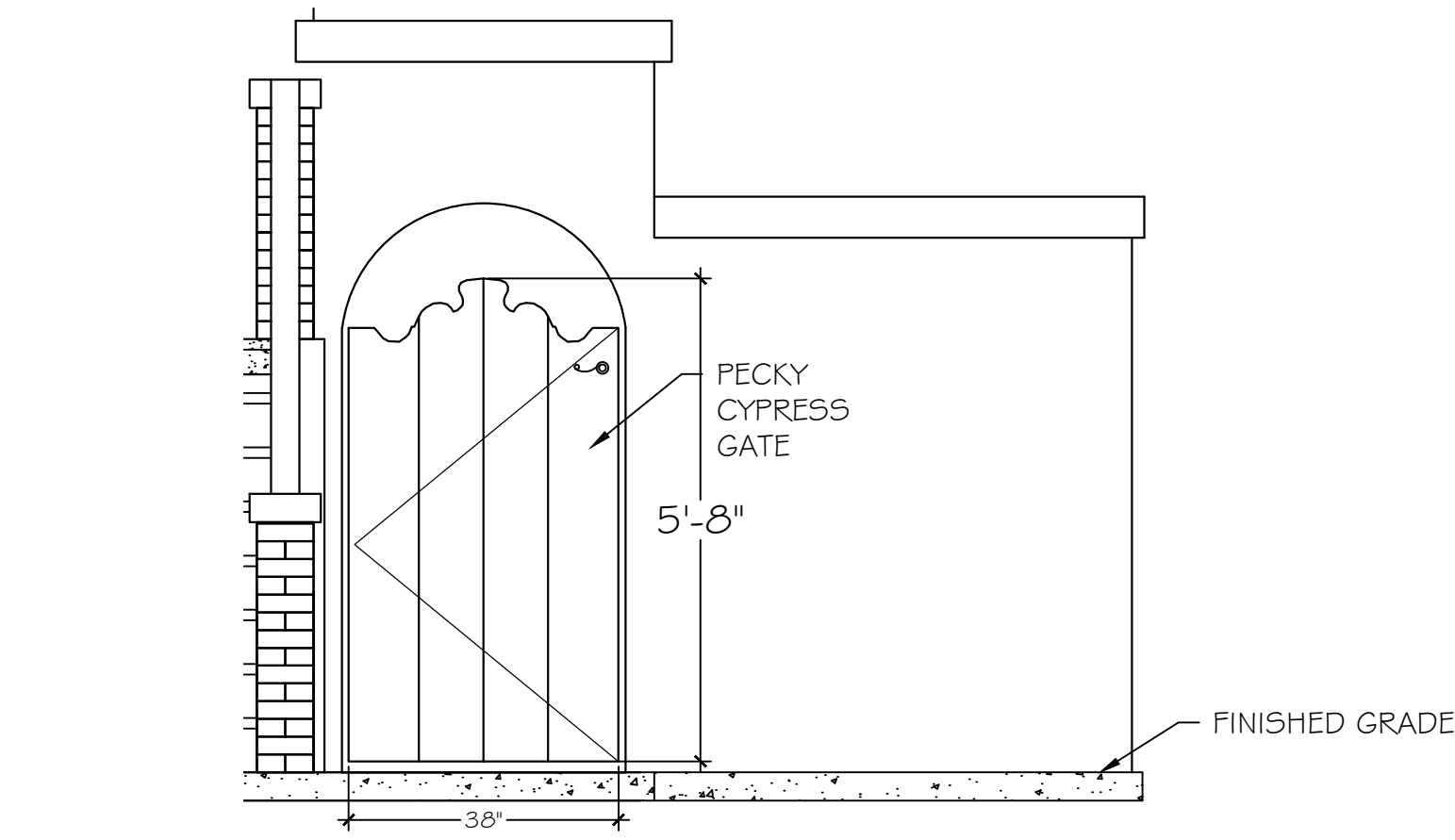
ORIGINAL VAULTED LOGGIA TERRACE EXTENDING INTO
COURTYARD (AS PER MARION SIMS WYETH c.1924)



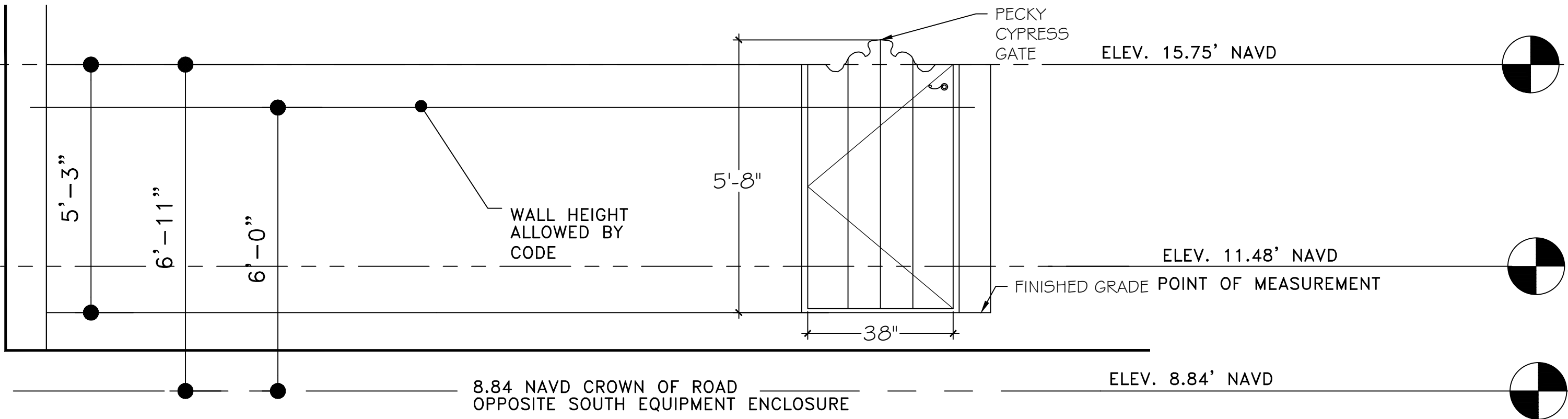
ORIGINAL VIEW SHOWING VAULTED LOGGIA WITH EXTENDED
TERRACE (AS PER MARION SIMS WYETH c.1924)



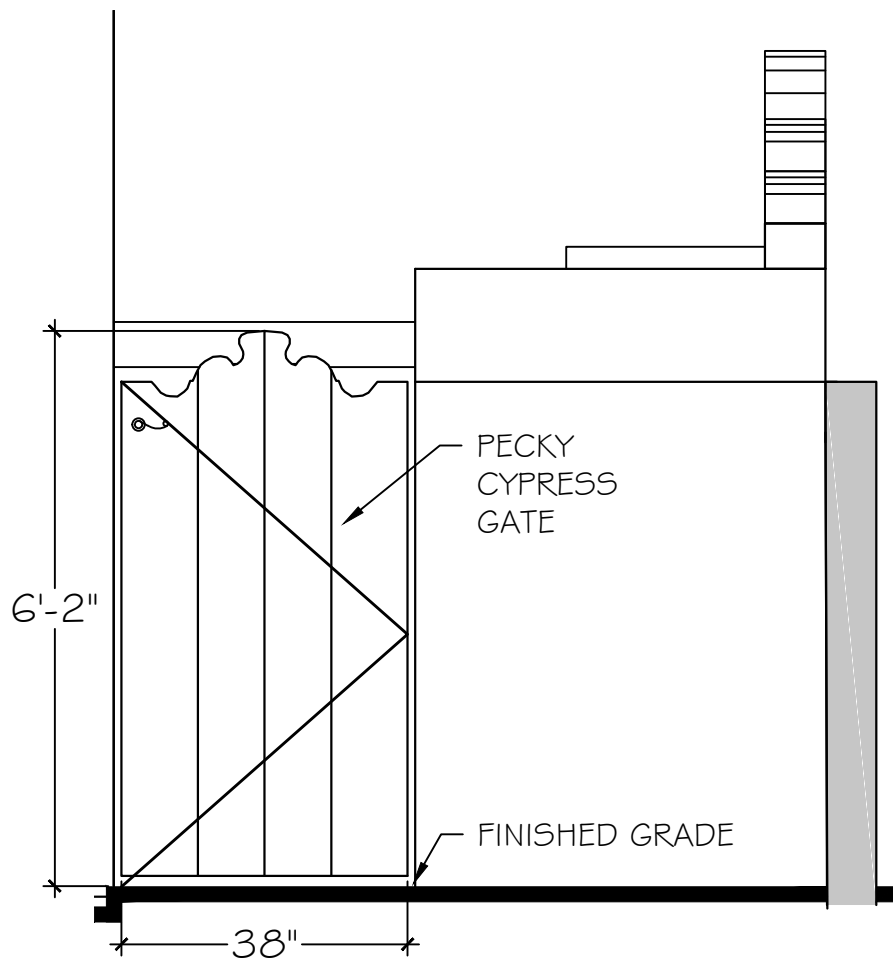
SITE PLAN SHOWING GATE LOCATIONS
SCALE: 3/32"=1'-0"



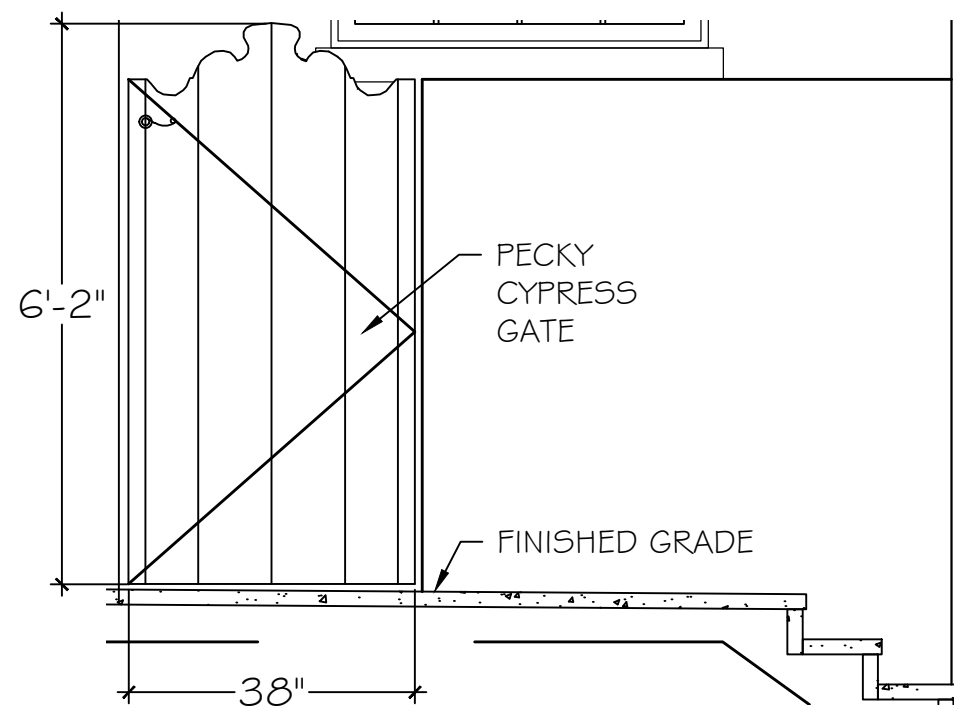
X1 NORTH ELEVATION: WEST WALKWAY GATE
SCALE: 1/2"=1'-0"



X2 SOUTH ELEVATION : SOUTH A/C ENCLOSURE GATE
SCALE: 1/2"=1'-0"



X3 EAST ELEVATION: NORTH WALKWAY GATE
SCALE: 1/2"=1'-0"



X4 NORTH ELEVATION: NORTH A/C ENCLOSURE GATE
SCALE: 1/2"=1'-0"

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EAST ELEVATION



EAST ELEVATION WITH SITE WALL



WEST ELEVATION



REVISIONS:

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A22
DATE:
03-03-25
JOB #
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 NORTH ELEVATION



 SOUTH ELEVATION WITH SITE WALL



 SITE PLAN



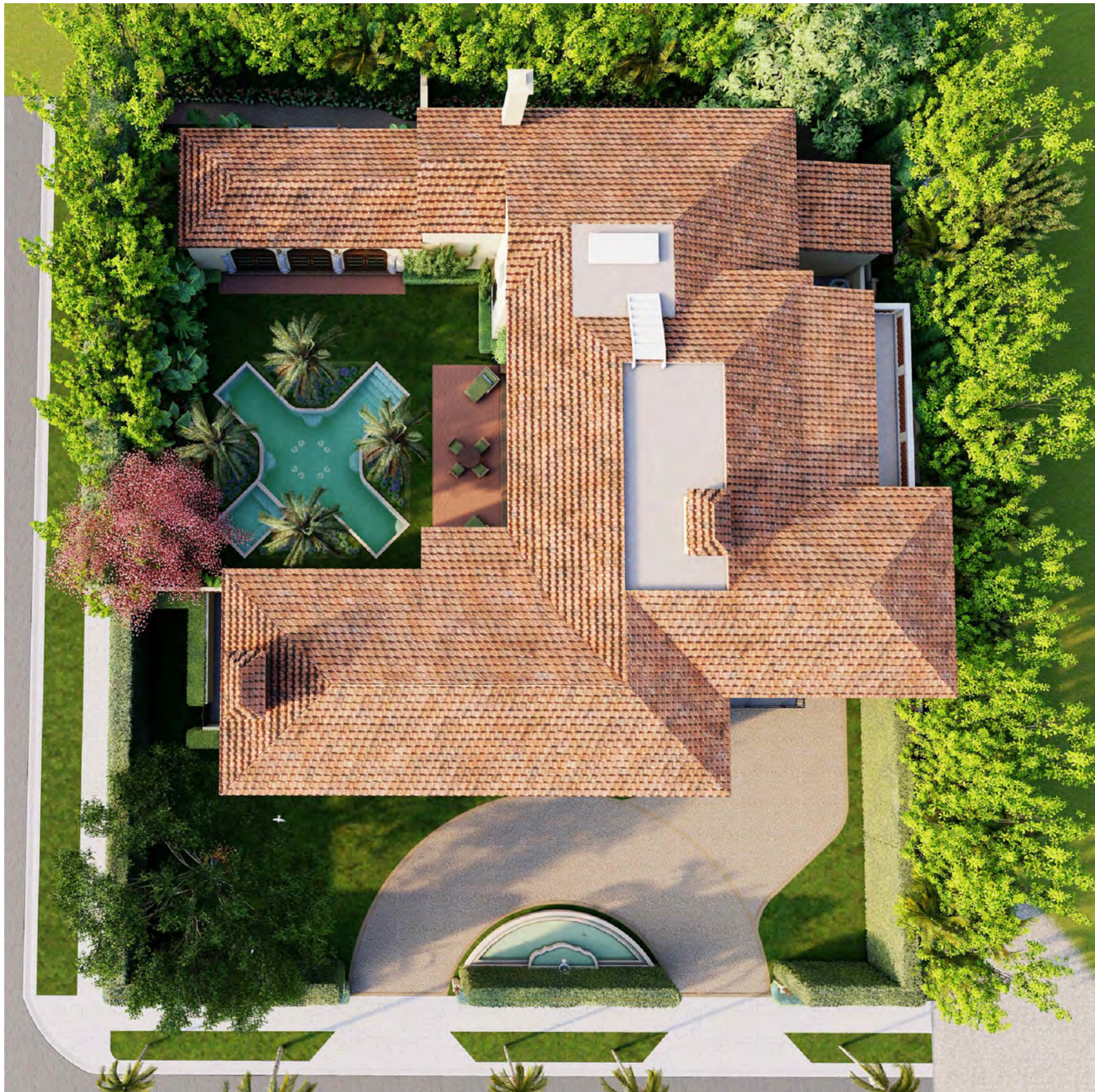
AERIAL VIEW: FRONT FAÇADE



STREET VIEW: SOUTH ELEVATION



FRONT FAÇADE: EAST ELEVATION



TOP AERIAL VIEW



REVISIONS:

SHEET NUMBER:

LP 1

DATE:

03-03-25

JOB #

0445

70 MIDDLE ROAD: LOGISTICS PLAN AND CONSTRUCTION SCHEDULE

Maximum Size Truck That Can Traverse the Streets to Access the Property: 60' tractor trailer.

Best Route to The Property: From Royal Park Bridge (Middle Bridge), South on South County Road, East on Via Marina, one block to Middle Road, Property is located on the North West corner of the intersection of Middle Road and Via Marina.

Maximum Number of Truck Trips to The Property (Estimated):

Demo = 15
Site Work = 14
Concrete = 18
Shell Construction = 12
Windows/Doors = 8
Roofing/Waterproofing = 5
Finishes = 8
Specialties = 4
MEP = 10

TOTAL = 94 (ESTIMATED)

<i>Task Name</i>	<i>Duration</i>	<i>Start</i>	<i>Finish</i>
70 Middle Road Renovation (from LPC COA-24-0013 Appeal and Permit Extension approval)	911 Days	11/13/24	05/13/27
Exterior Wall Repairs (West/North Wall/Vaulted Loggia)	195 Days	11/13/24	05/27/25
Rebuild As Existing (Family Room/Covered Terrace/Laundry Room)	245 Days	10/03/25	06/04/26
All Exterior Structural Work completion	730 Days	11/13/24	11/12/26
Roof Reinforcement	90 Days	06/02/25	09/02/25
Roof ordered	60 Days	09/03/25	10/31/25
Roof Installation	90 Days	11/01/25	02/02/26
Windows Ordered and Delivered	300 Days	01/06/25	10/03/25
Window and Door Installation	120 Days	10/04/25	02/03/26
MEP Installation	730 Days	11/13/24	11/13/26
Interior Finishes and Trim	270 Days	07/09/25	04/05/26
Exterior Finishes	270 Days	04/15/26	01/15/27
Site Work – Pool – Exterior Hardscape and Landscape	167 Days	09/15/26	02/19/27
Final Building Inspection	15 Days	02/20/27	03/07/27
CO	30 Days	02/28/27	03/29/27
Punch Out	75 Days	02/28/27	05/13/27

Gantt Chart

Gantt project			2024												2025												2026												2027																																																																			
Name	Begin date	End date	August	September	October	November	December	January	February	March	April	May	June	July	August	September	October	November	December	January	February	March	April	May	June	July	August	September	October	November	December	January	February	March	April	May																																																																						
EXTERIOR STRUCTURAL WORK	11/13/24	11/12/26																																		EXTERIOR STRUCTURAL WORK																																																																						
EXTERIOR WALL REPAIRS	11/13/24	5/27/25																																		EXTERIOR WALL REPAIRS																			[730 Day(s)]																																																			
WEST/NORTH WALL REPAIR	11/13/24	2/19/25																																		WEST/NORTH WALL REPAIR																			[98 Day(s)]																																																			
VAULTED LOGGIA/GALLERY ROOM	2/19/25	5/27/25																																		VAULTED LOGGIA/GALLERY ROOM																			[98 Day(s)]																																																			
LIVING ROOM WALL REPAIR	5/29/25	1/22/26																																																					LIVING ROOM WALL REPAIR																			[240 Day(s)]																																
REBUILD AS EXISTING	10/3/25	6/4/26																																																					REBUILD AS EXISTING																			[245 Day(s)]																																
ACCESS 3/FAMILY ROOM REBUILD	10/3/25	4/5/26																																																					ACCESS 3/FAMILY ROOM REBUILD																			[185 Day(s)]																																
COVERED TERRACE	4/6/26	5/5/26																																																					COVERED TERRACE																			[30 Day(s)]																																
LAUNDRY ROOM REBUILD	5/6/26	6/4/26																																																					LAUNDRY ROOM REBUILD																			[30 Day(s)]																																
ACCESS 4-GENERATOR ROOM	7/19/25	1/13/26																																																					ACCESS 4-GENERATOR ROOM																			[180 Day(s)]																																
ROOF REINFORCEMENT	6/2/25	9/2/25																																																					ROOF REINFORCEMENT																			[93 Day(s)]																																
ROOF ORDERED	9/2/25	10/31/25																																																					ROOF ORDERED																			[59 Day(s)]																																
ROOF INSTALLATION	11/1/25	2/2/26																																																					ROOF INSTALLATION																			[94 Day(s)]																																
WINDOWS ORDERED AND DELIVERED	1/6/26	10/9/26																																		WINDOWS ORDERED AND DELIVERED																			[271 Day(s)]																																																			
WINDOW AND DOOR INSTALLATION	10/4/25	2/2/26																																																					WINDOW AND DOOR INSTALLATION																			[123 Day(s)]																																
MEP INSTALLATION	11/13/24	11/13/26																																		MEP INSTALLATION																																	[731 Day(s)]																																					
INTERIOR FINISHES AND TRIM	7/9/25	4/5/26																																		INTERIOR FINISHES AND TRIM																																	[271 Day(s)]																																					
EXTERIOR FINISHES	4/15/26	1/15/27																																																																			EXTERIOR FINISHES																																	[276 Day(s)]				
SITE WORK	9/5/26	2/19/27																																																																			SITE WORK																																	[168 Day(s)]				
POOL	9/5/26	11/6/26																																																																			POOL																																	[60 Day(s)]				
EXTERIOR HARDSCAPE	11/4/26	1/2/27																																																																			EXTERIOR HARDSCAPE																																	[60 Day(s)]				
LANDSCAPE	1/9/27	2/19/27																																																																			LANDSCAPE																																	[48 Day(s)]				
FINAL BUILDING INSPECTION	2/20/27	3/7/27																																																																			FINAL BUILDING INSPECTION																																	[16 Day(s)]				
FINAL ELECTRICAL INSPECTION	2/20/27	3/7/27																																																																			FINAL ELECTRICAL INSPECTION																																	[16 Day(s)]				
FINAL PLUMBING INSPECTION	2/20/27	3/7/27																																																																			FINAL PLUMBING INSPECTION																																	[16 Day(s)]				
FINAL HVAC INSPECTION	2/20/27	3/7/27																																																																			FINAL HVAC INSPECTION																																	[16 Day(s)]				
CO	2/29/27	3/29/27																																																																			CO																																	[30 Day(s)]				
PUNCHOUT	2/29/27	5/13/27																																																																			PUNCHOUT																																	[75 Day(s)]				

NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA



REVISIONS:

SHEET NUMBER:

LP2

DATE:

JOB #	05	05	25
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0445



ADDENDUM
PREPARED BY OWNER:

70 MIDDLE ROAD
IS SURROUNDED BY
NEIGHBORS WHO
ARE PROTECTED BY
SITE/SECURITY WALLS



101 VIA MARINA

79 MIDDLE ROAD

The OWNER'S PRIVATE PROPERTY HAS BEEN REPEATEDLY BREACHED AND VANDALIZED.



550 OCEAN BOULEVARD

195 VIA MARINA



70 MIDDLE ROAD
SITE WALL.1

DEMONSTRATIVES PROVIDED
BY THE OWNER



70 MIDDLE ROAD SHOWING PROPOSED SITE/ SECURITY WALL FOR DEFENSE AND PROTECTION



SITE WALL.4

DEMONSTRATIVES PROVIDED BY THE OWNER

79 MIDDLE ROAD IS A LANDMARKS HOUSE THAT WAS GRANTED A
NEW SITE/ SECURITY WALL FOR DEFENSE AND PROTECTION



SITE WALL.5

DEMONSTRATIVES PROVIDED BY THE OWNER

LANDMARK HOUSES IN THE NEIGHBORHOOD WHO HAVE
SITE/ SECURITY WALLS FOR PRIVACY AND DEFENSE



61 MIDDLE RD



25 MIDDLE RD



5 MIDDLE ROAD



780 SOUTH OCEAN BOULEVARD

LANDMARK HOUSES IN THE NEIGHBORHOOD WHO HAVE SITE/ SECURITY WALLS FOR PRIVACY AND DEFENSE



710 SOUTH OCEAN BOULEVARD



640 SOUTH OCEAN BOULEVARD



102 JUNGLE ROAD



840 SOUTH OCEAN BOULEVARD

70 MIDDLE ROAD SHOWING
"STAFF CARS" PARKED IN THE
OWNER'S PRIVATE DRIVEWAY;
WITHOUT ANY VISUAL SCREENING.

70 MIDDLE ROAD

70 MIDDLE ROAD SHOWING PROPOSED
SITE/ SECURITY WALL;
TO INCLUDE PROVIDING VISUAL SCREENING
OF "STAFF CARS" PARKED IN THE OWNER'S
PRIVATE DRIVEWAY.

SITE WALL.8

DEMONSTRATIVES PROVIDED BY THE OWNER

70 MIDDLE ROAD: Showing MULTIPLE LEGALLY PARKED "STAFF CARS"
in the OWNER'S PRIVATE DRIVEWAY



"STAFF CARS" PARKED LEGALLY inside the OWNER'S PRIVATE DRIVEWAY have been the SUBJECT of the Neighbors' repeated RACIALLY MOTIVATED COMPLAINTS (because the CARS are not FANCY enough for their liking).

70 MIDDLE ROAD: Showing MULTIPLE LEGALLY PARKED "STAFF CARS"
in the OWNER'S PRIVATE DRIVEWAY with NEW SITE/ SECURITY WALL.



PROPOSED NEW SITE/ SECURITY WALL to PROTECT the OWNER and her STAFF AGAINST TRESPASSERS and VANDALIZERS; to include PROVIDING VISUAL SCREENING of " STAFF CARS" in the OWNER'S PRIVATE DRIVEWAY.

70 MIDDLE ROAD WITH SITE/ SECURITY WALL



**70 MIDDLE ROAD showing MULTIPLE “STAFF CARS”
LEGALLY parked in the OWNER’S PRIVATE DRIVEWAY
SHIELDED behind a NEW SITE/ SECURITY WALL**

70 MIDDLE ROAD WITH SITE/ SECURITY WALL

**70 MIDDLE ROAD: THE OWNER HAS BEEN REPEATEDLY TARGETED and TERRORIZED
by PREDATOR'S, "PEEPING TOM'S" and VANDALIZERS.
THESE HEINOUS ACTS of HARASSMENT and INTIMIDATION ANTICS--AGAINST the OWNER--
HAVE BEEN DOCUMENTED to PALM BEACH POLICE (between 2019 and 2024).
A DEFENSIVE SITE/ SECURITY WALL WILL PROTECT the OWNER (and her MULTI-RACIAL STAFF)
AGAINST THOSE INDIVIDUALS WHO HAVE REPEATEDLY ENGAGED
IN ANTAGONISTIC BEHAVIORS MEANT TO HARM THE OWNER.**

