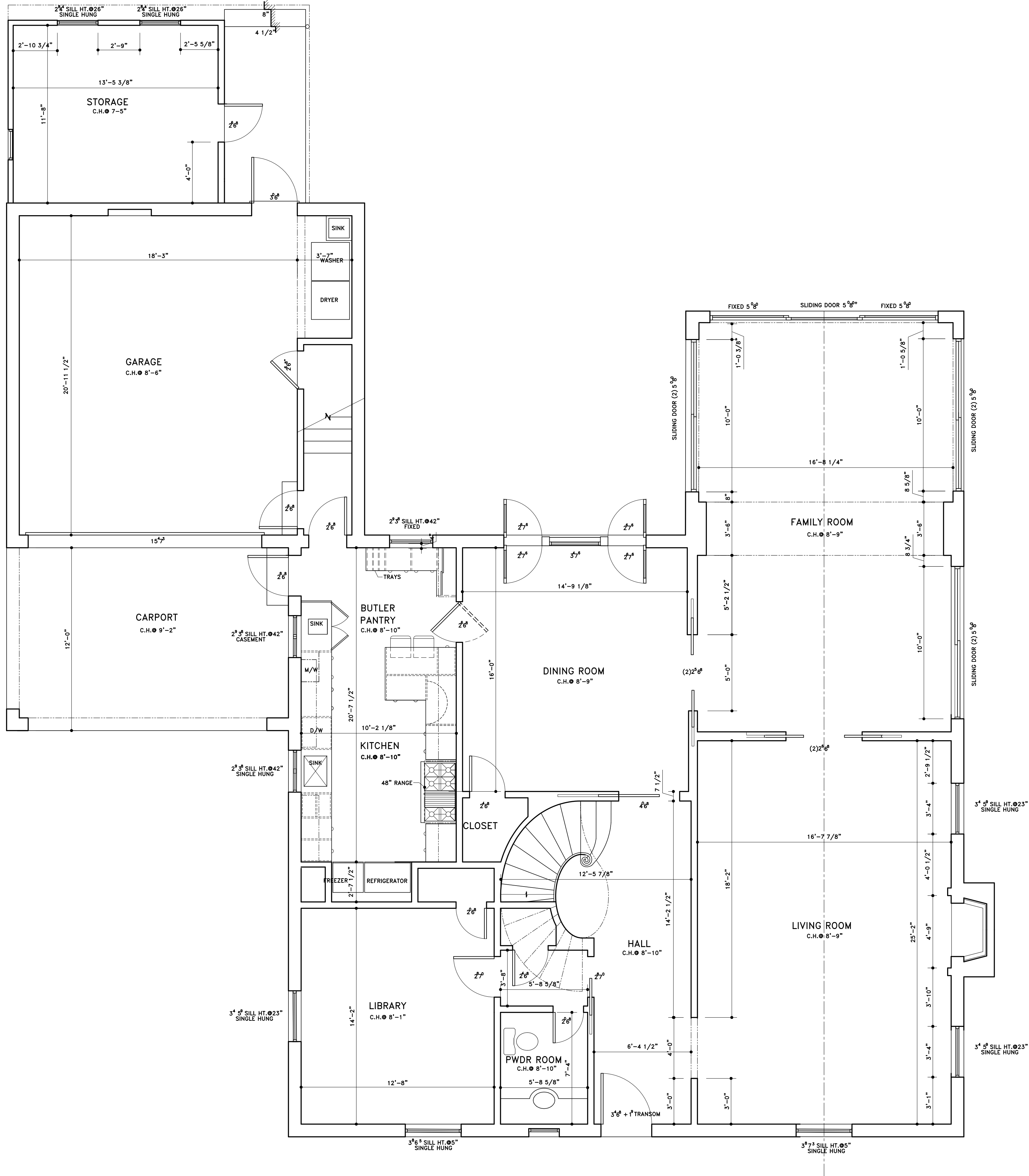




EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

LEGEND:
— EXISTING WALLS TO REMAIN
- - - ELEMENTS ABOVE

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



REVISIONS:	
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Jacqueline Albarran
Digitally signed by Jacqueline Albarran
Date: 2025.02.27 14:49:03 -05'00'

SHEET NUMBER:	
A3.2	
DATE:	03-03-25
JOB #	0502

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

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EXISTING WALLS TO REMAIN

ELEMENTS ABOVE

TO BE REMOVED

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 324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
 TEL: 561.655.7676 FAX: 561.655.3533

REVISIONS:

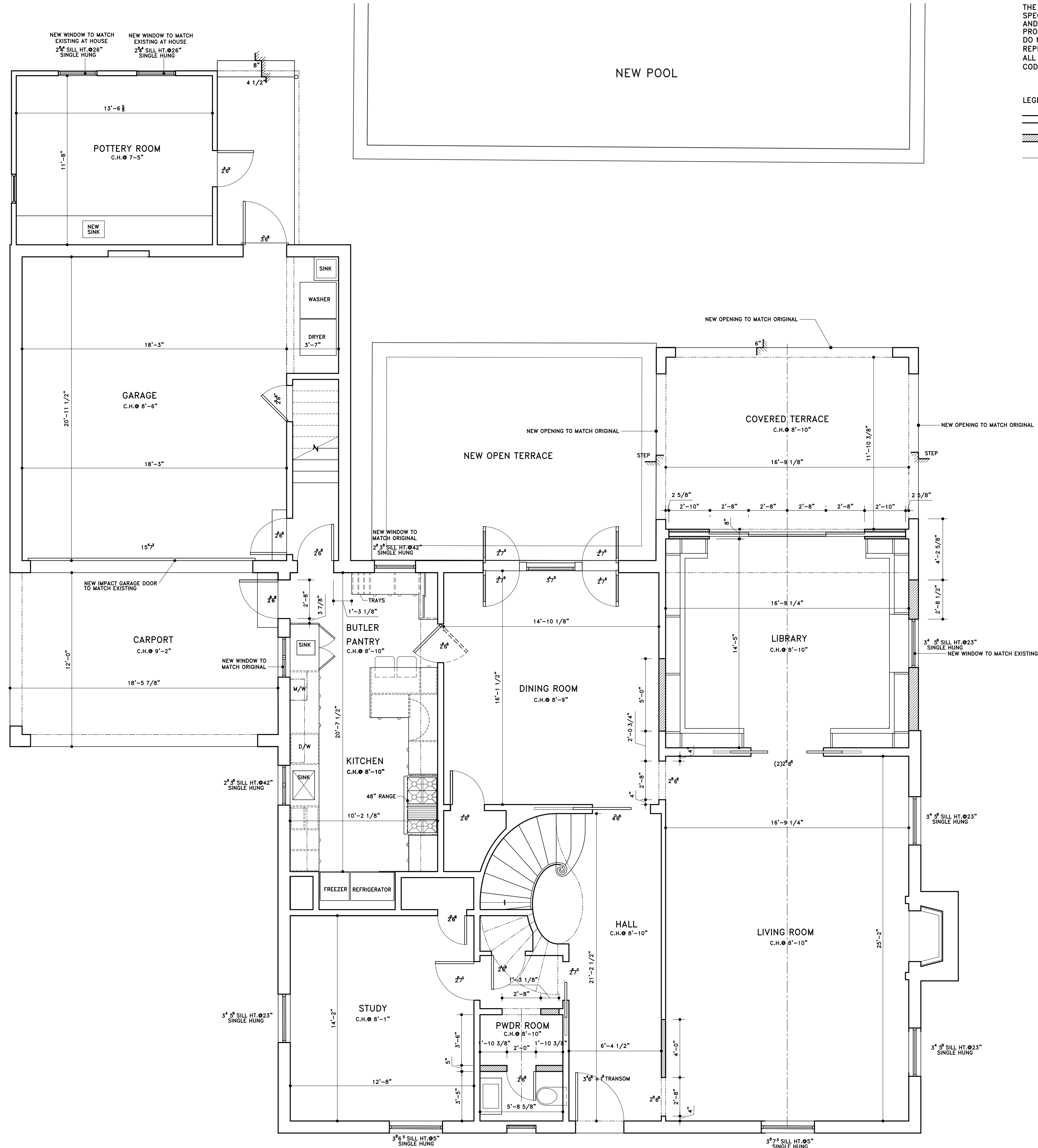
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DATE:	03-03-25
JOB #	0502

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Jacqueline Albarran
Date: 2025.02.27
14:49:25 -05'00'



DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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LEGEND:
EXISTING WALLS TO REMAIN
NEW WALLS
ELEMENTS ABOVE

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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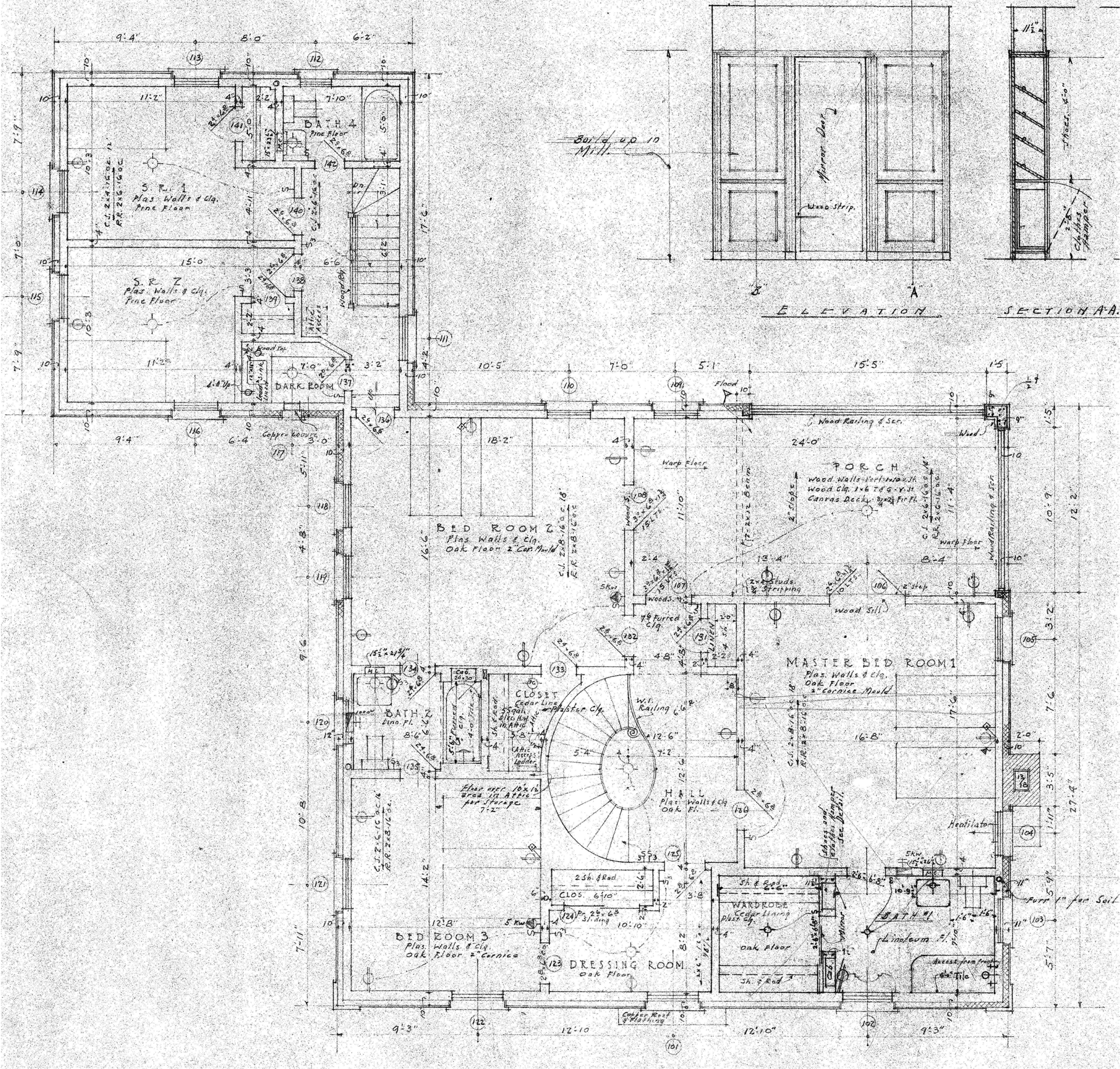
KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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SHEET NUMBER:	
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DATE:	03-03-25
JOB #	0502

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Date: 2025.02.27 14:49:49 -05'00'



ORIGINAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

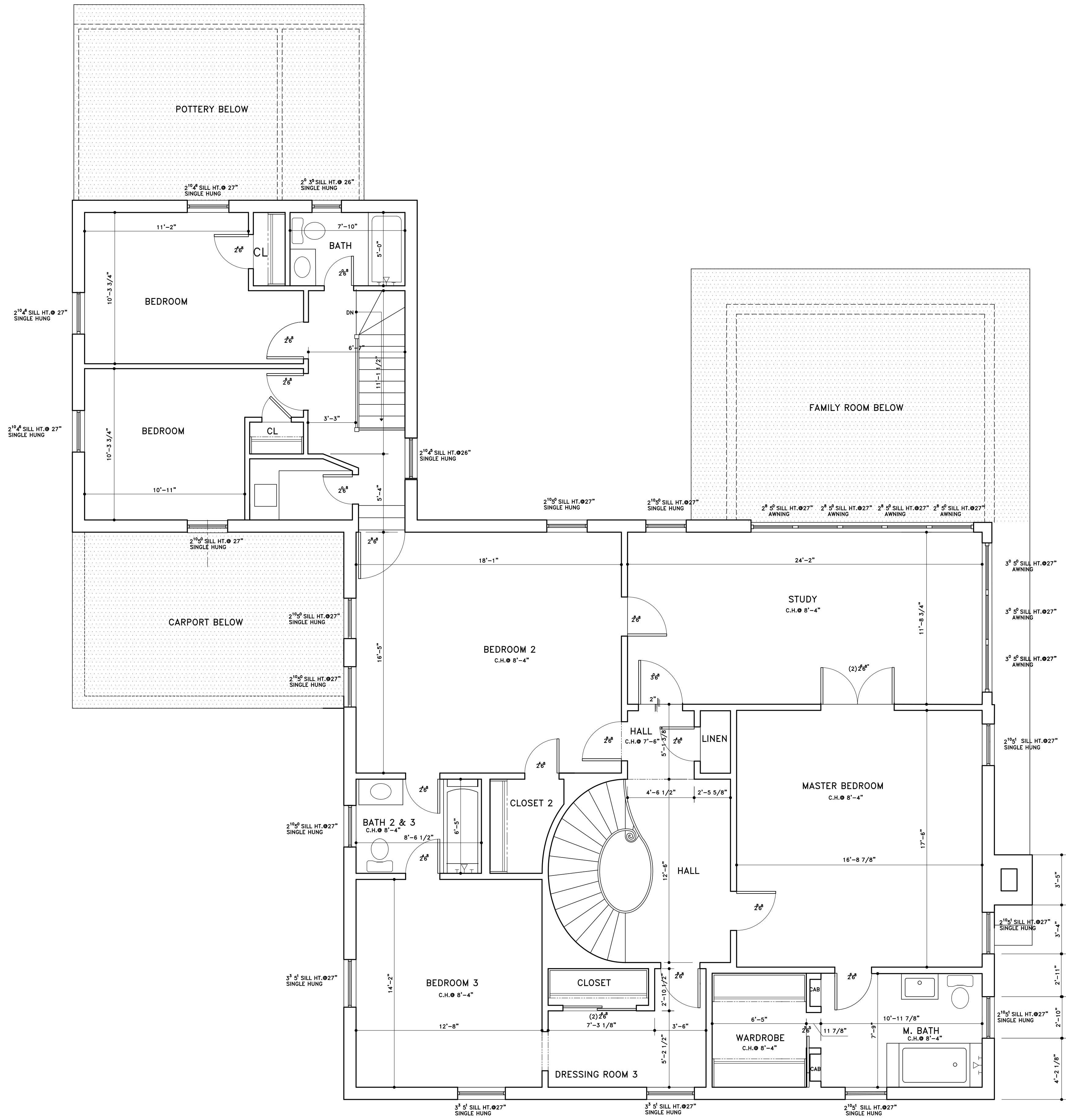
KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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Date: 2025.02.27 14:50:16 -05'00'

SHEET NUMBER:	
A6.1	
DATE:	03-03-25
JOB #	0502



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.

LEGEND:
EXISTING WALLS TO REMAIN
ELEMENTS ABOVE

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA

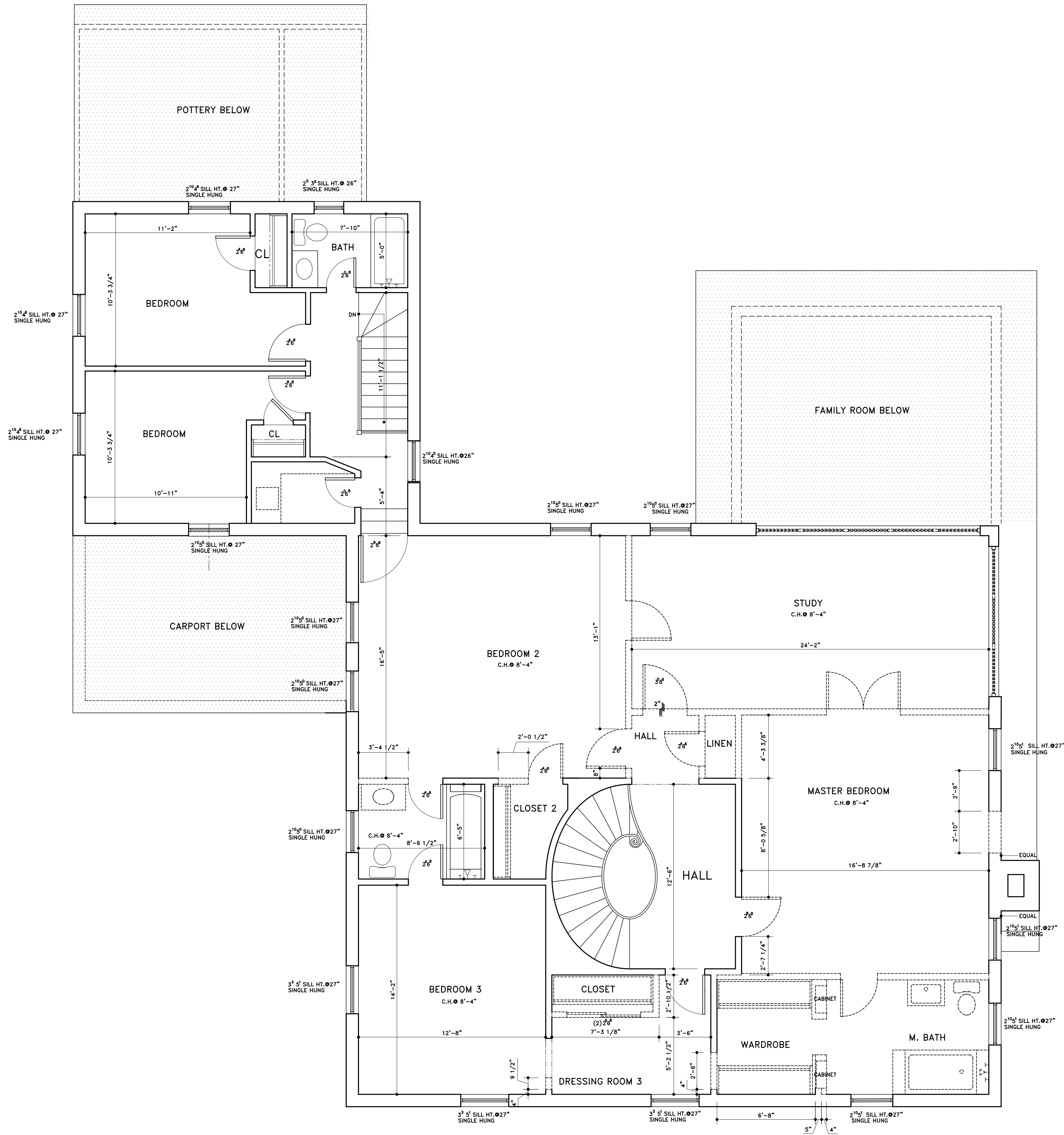


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Date: 2025.02.27 14:50:56 -05'00'

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A6.2	
DATE:	03-03-25
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TEL: 561.655.7676 FAX: 561.655.3533



DEMOLITION SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

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LEGEND:
EXISTING WALLS TO REMAIN
ELEMENTS ABOVE
ELEMENTS TO BE REMOVED

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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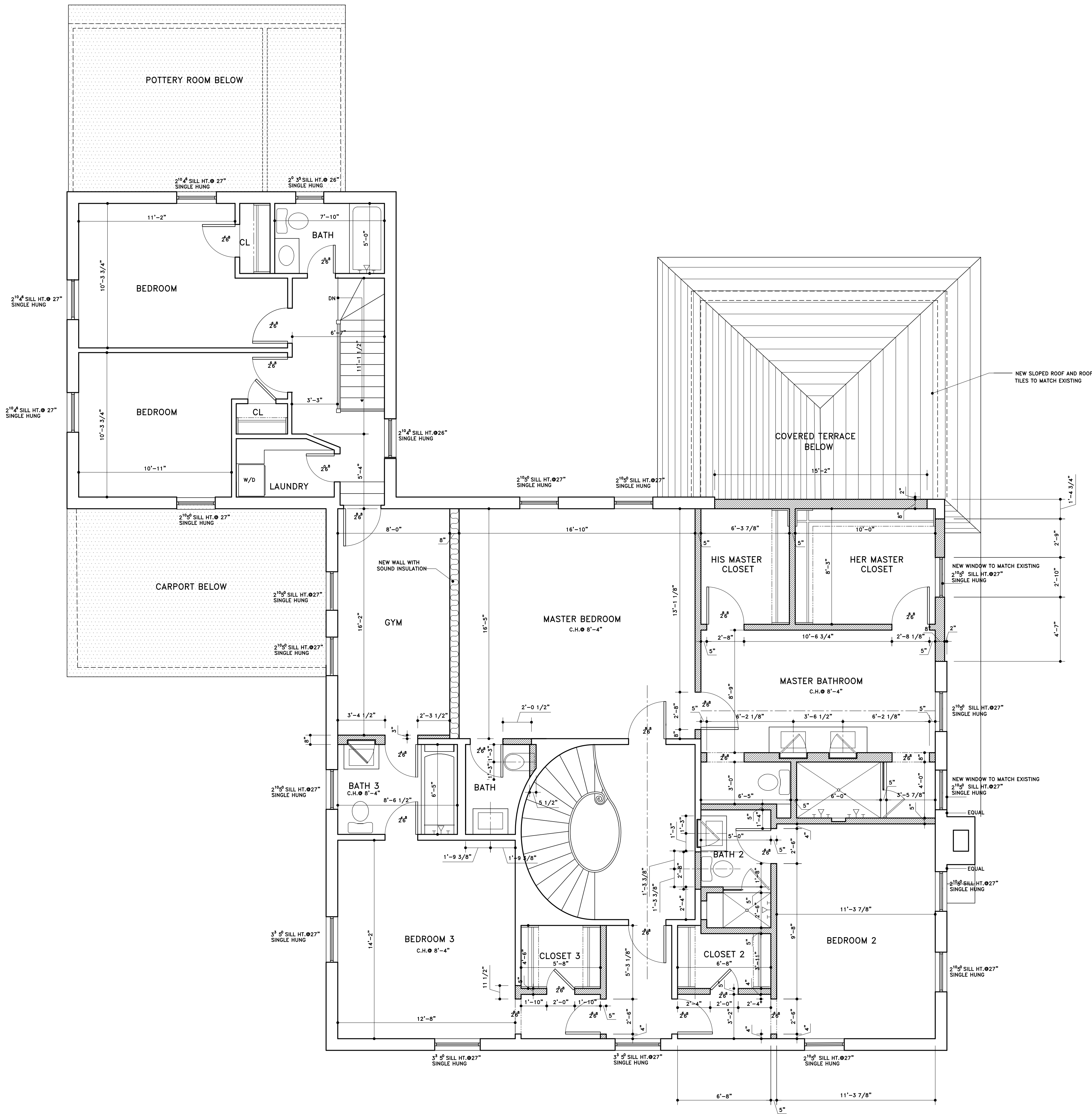
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SHEET NUMBER:	
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DATE:	03-03-25
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LEGEND:
EXISTING WALLS TO REMAIN
NEW WALLS
NEW WALLS SOUND INSULATION
ELEMENTS ABOVE



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



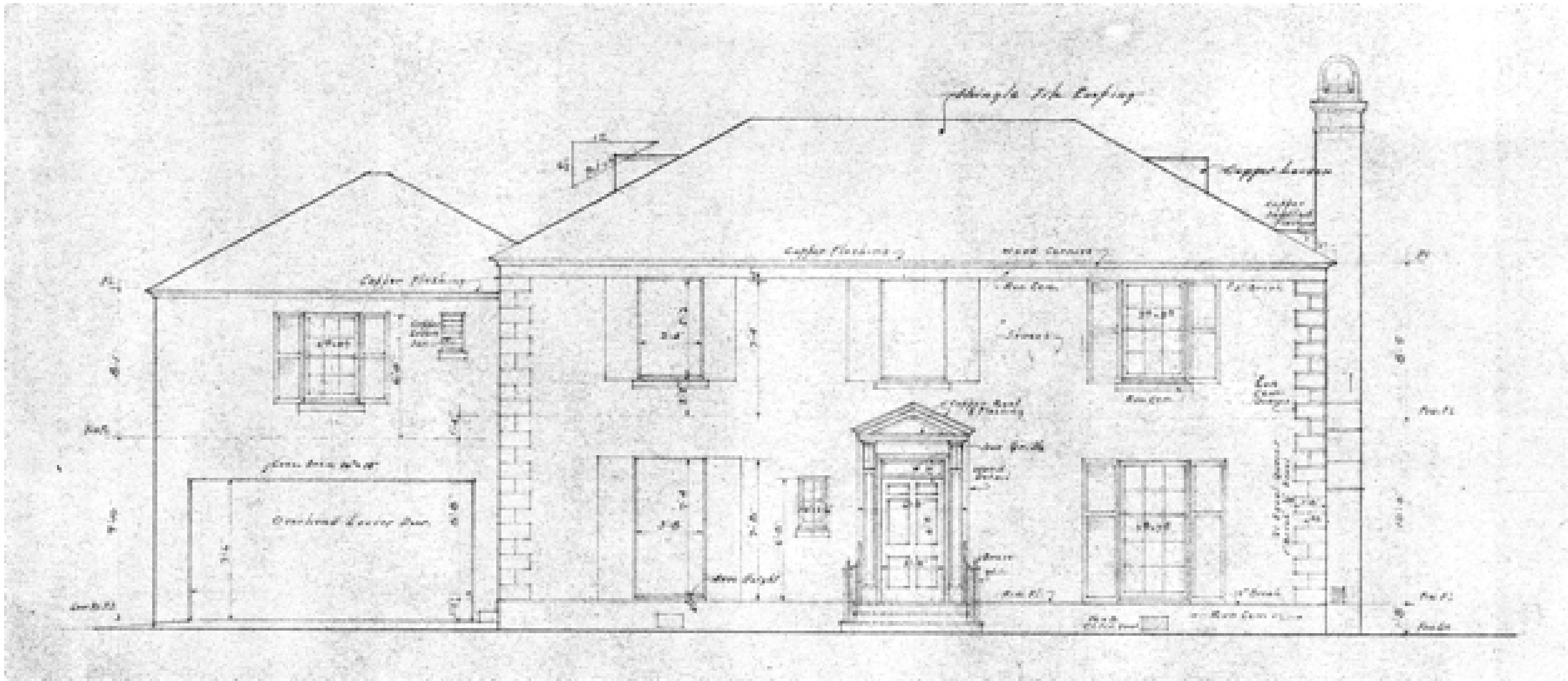
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Jacqueline Albarran
Date: 2025.02.27
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DATE:	03-03-25
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ORIGINAL SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

GENERAL NOTE:
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KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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e Albarran

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Jacqueline Albarran
Date: 2025.02.27
14:52:17 -05'00'

SHEET NUMBER:	
A9.1	
DATE:	03-03-25
JOB #	0502

GENERAL NOTE:
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ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 8th EDITION 2023.



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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TEL: 561.655.7676 FAX: 561.655.3533

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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Jacqueline Albarran
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14:55:00 -05'00'

SHEET NUMBER:	
A9.2	
DATE:	03-03-25
JOB #	0502

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FAX: 561.655.3533



Architectural elevation drawing of the front facade of a two-story house. The drawing shows a gabled roof with a chimney on the left. The second floor has a large multi-paned window on the left and two smaller windows in the center. The first floor features a covered porch with columns on the left, a central entrance with a door and shutters, and a small window. To the right is a smaller section with a gabled roof and two windows. Elevation markers are provided on both sides.

Left Side Elevation Markers:

- ELEV. 16.26' NAVD
SECOND FINISH FLOOR
- ELEV. 8.0' NAVD
POINT OF MEASUREMENT
- ELEV. 6.26' NAVD
MAIN FINISH FLOOR
POINT OF MEASUREMENT

Right Side Elevation Markers:

- ELEV. 23.16' NAVD
TOP OF BEAM
- ELEV. 14.91' NAVD
SECOND FINISH FLOOR
- ELEV. 5.71' NAVD
- ELEV. 4.45' NAVD
POTTERY FINISH FLOOR

Architectural elevation drawing of a two-story house. The drawing includes the following annotations:

- ELEV. 24.68' NAVD** TOP OF BEAM
- NEW SLOPED ROOF W/ "BORAL" SAXONY 900 WHITE CONCRETE TILES TO MATCH EXISTING**
- ELEV. 16.26 NAVD** SECOND FINISH FLOOR
- ELEV. 8.0' NAVD** POINT OF MEASUREMENT
- ELEV. 6.28' NAVD** MAIN FINISH FLOOR
- NEW OPENING TO MATCH ORIGINAL**
- NEW POCKETING SLIDING GLASS DOORS BEYOND**
- NEW CUSTOM WOOD MAHOGANY WINDOW TO MATCH ORIGINAL DOUBLE CASEMENT WINDOW**
- ELEV. 23.16' NAVD** TOP OF BEAM
- WALL COLOR TO BE BENJAMIN MOORE WHITE OC-151, LOW LUSTRE**
- ELEV. 14.91' NAVD** SECOND FINISH FLOOR
- ELEV. 5.53' NAVD** EXTERIOR FINISH FLOOR
- ELEV. 4.45' NAVD** POTTERY FINISH FLOOR
- NEW CUSTOM WOOD MAHOGANY WINDOW**

PROPOSED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



A triangle with the number 1 inside it.

A10.1

03-03-25
JOB #

0502

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Date: 2025.02.27 14:55:30 -05'00'

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KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



REVISIONS:	
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e Albarran

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Jacqueline Albarran
Date: 2025.02.27
14:55:55 -05'00'

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DATE:	03-03-25
JOB #	0502

GENERAL NOTE:
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TEL: 561.655.7676 FAX: 561.655.3533

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA

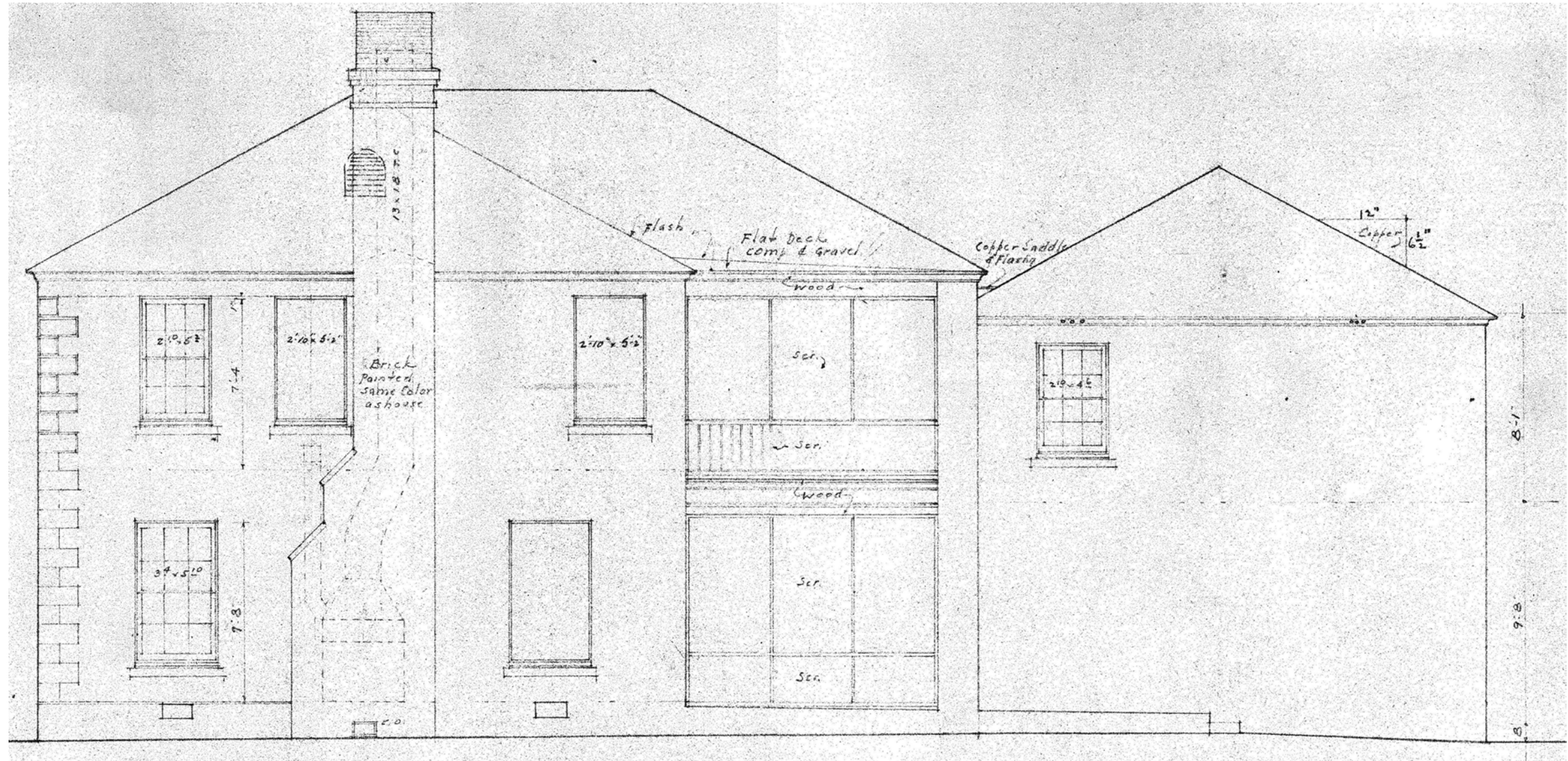


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DATE: 03-03-25
JOB # 0502

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e Albarran

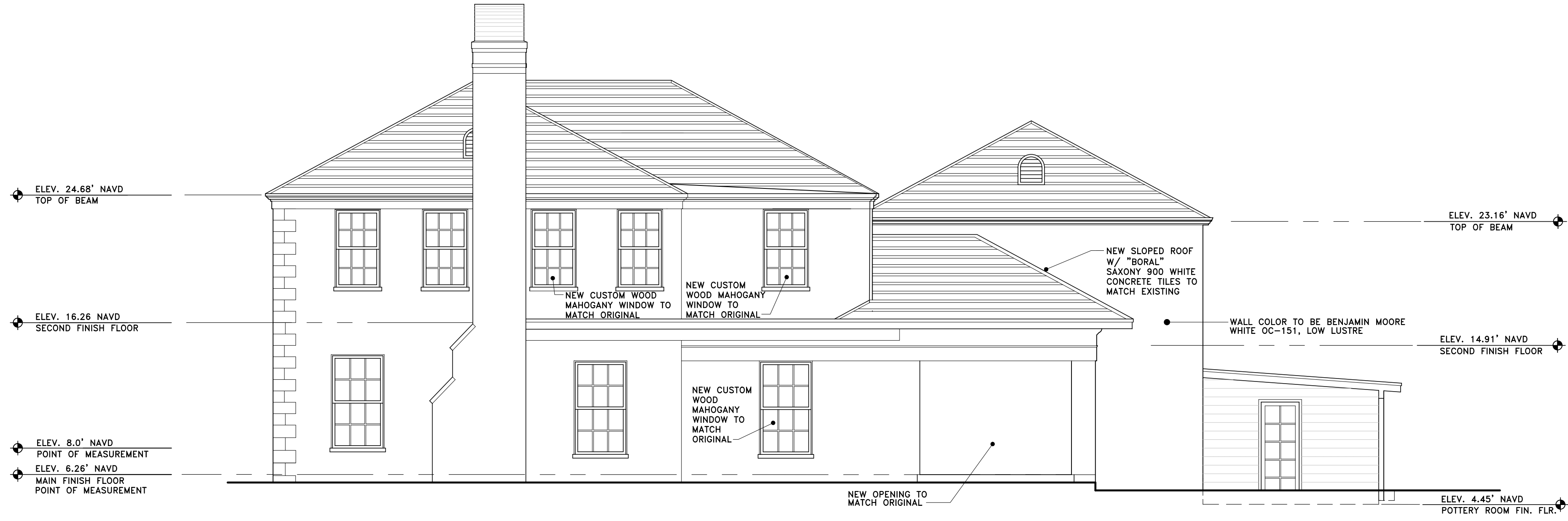
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by Jacqueline Albarran
Date: 2025.02.27 14:56:19 -05'00'



ORIGINAL EAST ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

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TEL: 561.855.7676 FAX: 561.855.3535

KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



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SHEET NUMBER:	
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DATE:	03-03-25
JOB #	0502

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Date: 2025.02.27 14:56:53 -05'00'

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KRAKOFF RESIDENCE
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PALM BEACH, FLORIDA

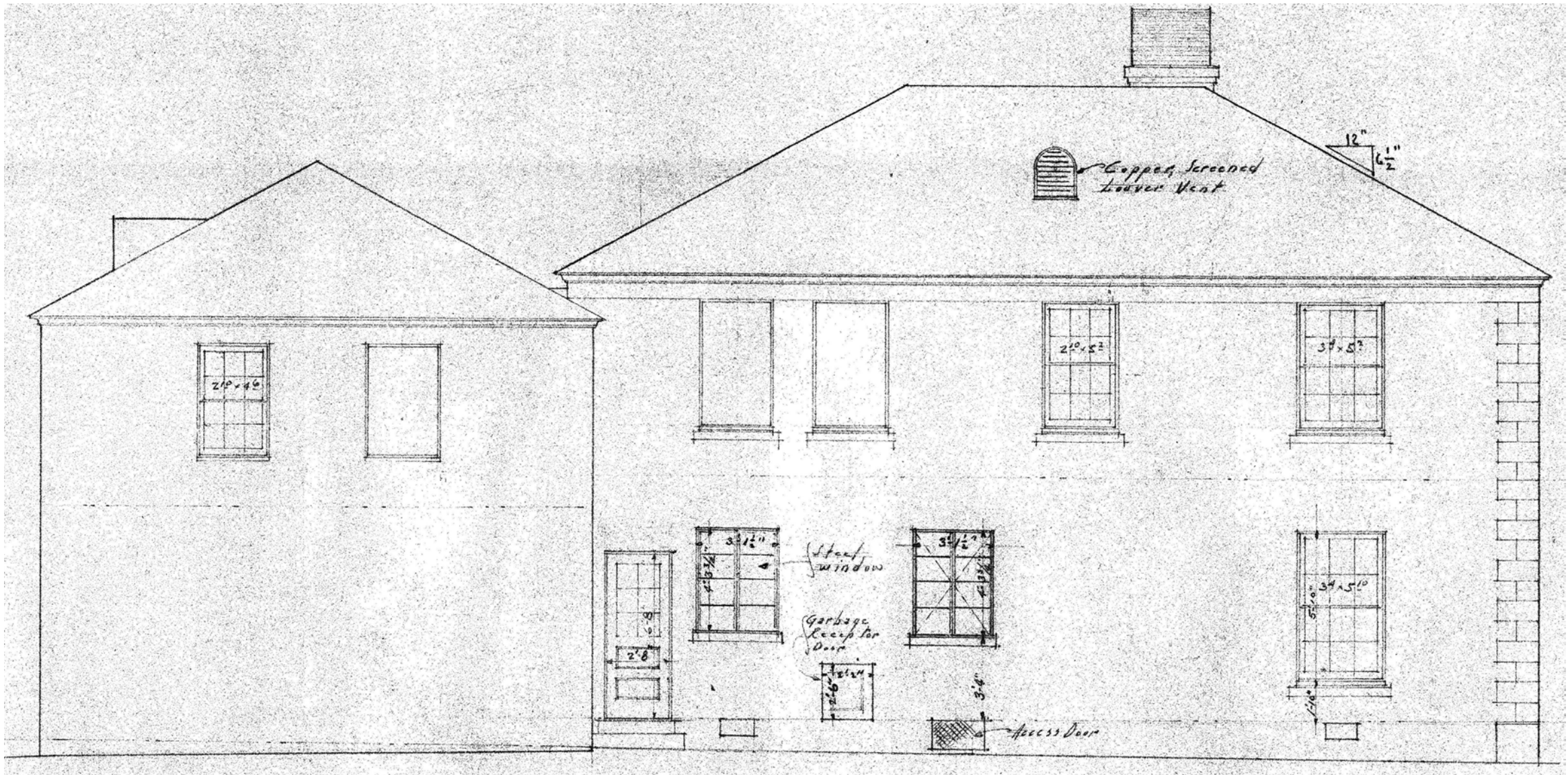


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DATE:
03-03-25
JOB #
0502

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e Albarran

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Jacqueline Albarran
Date: 2025.02.27
14:57:21 -05'00'



ORIGINAL WEST ELEVATION
SCALE: 3/16" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 3/16" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 3/16" = 1'-0"
NO CHANGE, EXCEPT PAINT COLOR



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"
NO CHANGE, EXCEPT PAINT COLOR

GENERAL NOTE:
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KRAKOFF RESIDENCE
345 PENDLETON LANE
PALM BEACH, FLORIDA



REVISIONS:	
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by Jacqueline
Albarran
Date:
2025.02.27
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DATE:	03-03-25
JOB #	0502

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324 BOWEN BLVD., SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

White C/T Color Coat*
1FMBS8001



ROOF TILES

Benjamin Moore
White
OC-151



HOUSE COLOR

MATERIALS AND FINISHES

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 10,624 sq.ft.

Drainage Area Impervious Surface = 5,446 sq.ft.

Drainage Area Pervious Surface = 5,178 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CIA$)

where:

C = 1.0 (impervious surface)

C = 0.2 (pervious surface)

i = 2 in/hr

Impervious Surface Runoff Volume:

1.0 x 2 in/hr x 5,446 sq.ft. x 1 ft./12 in. = 908 cu.ft.

Pervious Runoff Volume:

0.2 x 2 in/hr x 5,178 sq.ft. x 1 ft./12 in. = 173 cu.ft.

Total Volume to be Retained = 1,081 cu.ft.

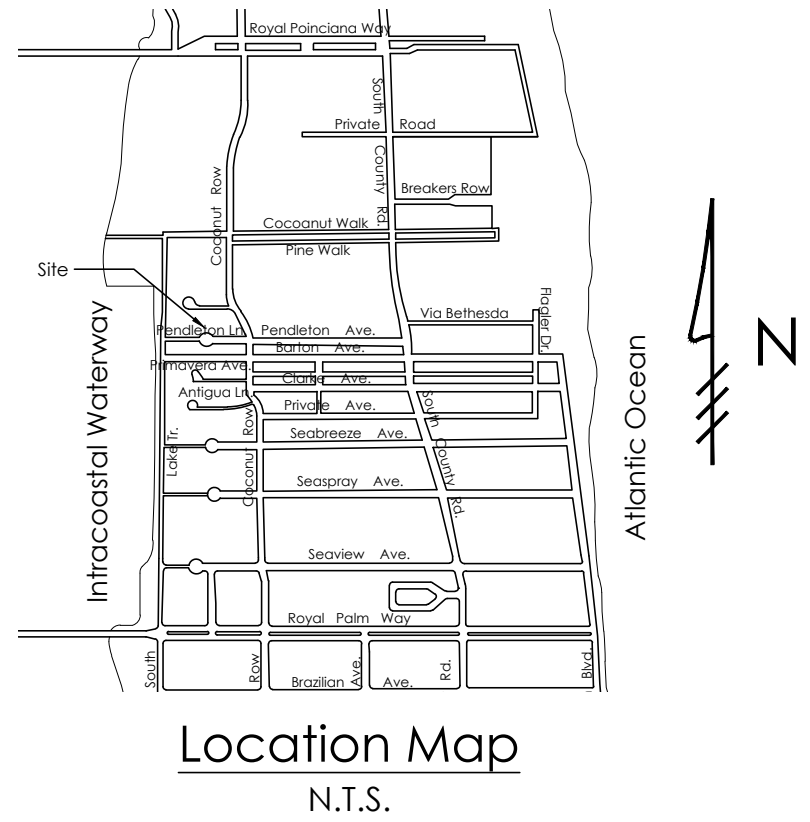
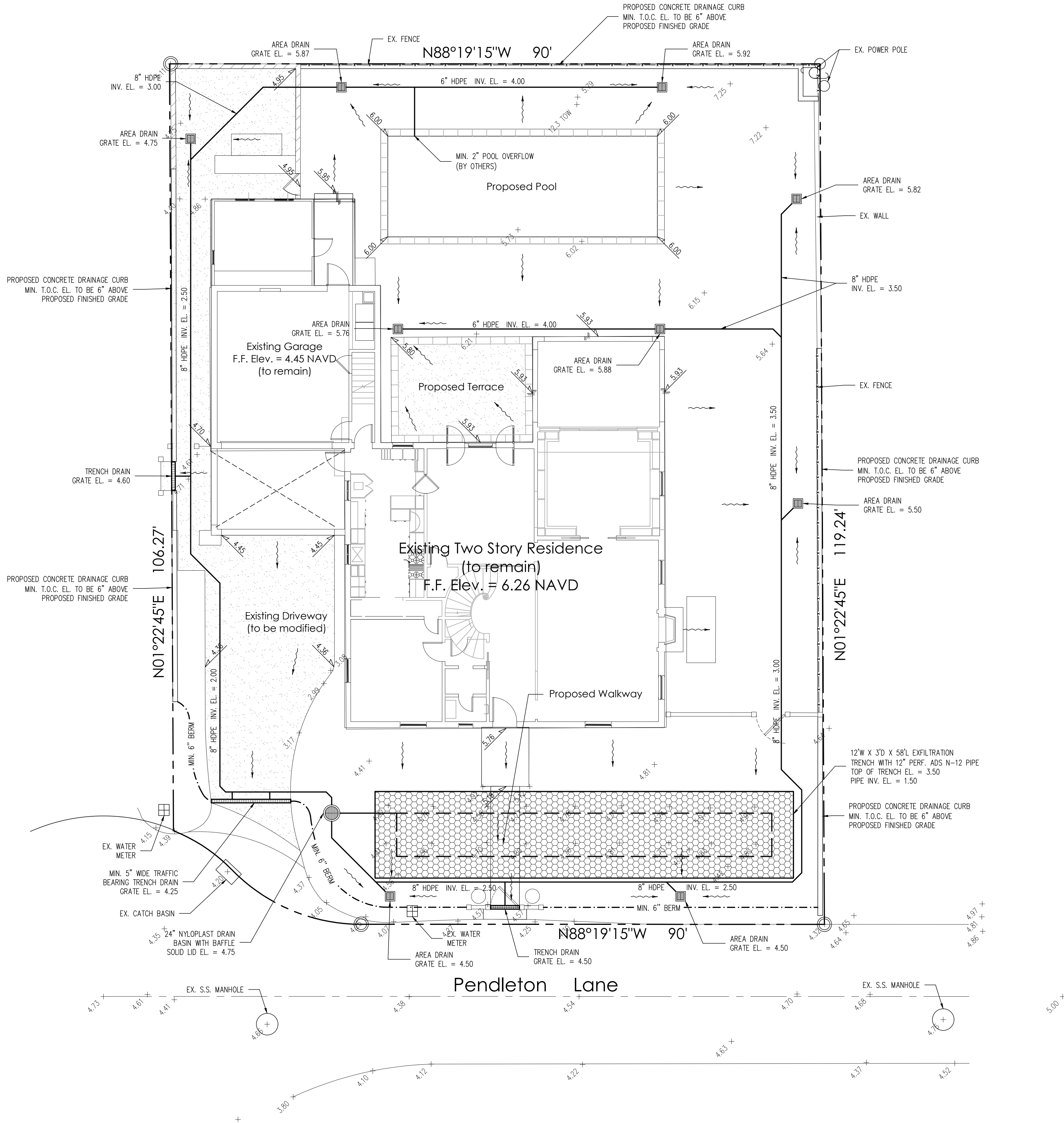
C. PROPOSED EXFILTRATION TRENCH SIZING

L = Total Length of Trench Provided = 58 ft
W = Trench Width = 12 ft
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head
H2 = Depth to Water Table = 2.75 ft
DU = Un-Saturated Trench Depth = 2.00 ft
DS = Saturated Trench Depth = 1.00 ft

V = Volume Treated = 1,181 cu.ft.

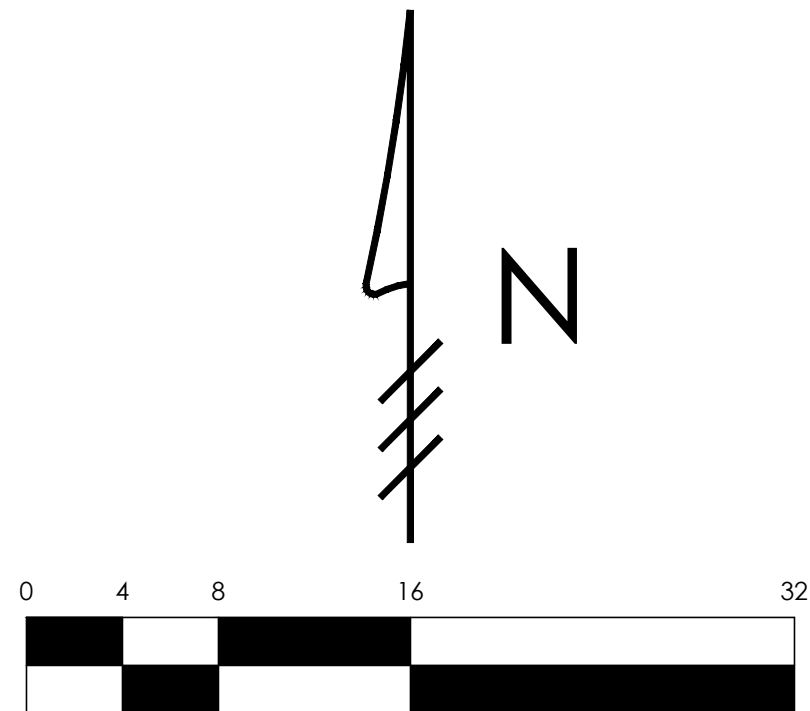
Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.



Legend

- EXISTING ELEVATION PER PRINCIPAL MERIDIAN SURVEYING INC. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Plan Background from Hardscape
Plan by SMI Landscape Architecture
Received 1/14/25

COA-25-0002

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**GRUBER
CONSULTING
ENGINEERS**

2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401

561.312.2041

office@gruberengineers.com

48 HOURS BEFORE DIGGING.
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.

Contractor is responsible for
obtaining location of existing
utilities prior to commencement
of construction activities.

Conceptual Site Grading & Drainage Plan For:

KRAKOFF RESIDENCE

345 Pendleton Lane
Palm Beach, Florida

PROJECT INFORMATION:

Project No. 2025-0005
Issue Date 02/03/2025
Scale 1/8" = 1'-0"

REVISIONS:

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CHAD M. GRUBER
FLORIDA P.E. NO. 57466

This item has been electronically
signed and sealed by Chad M. Gruber
on the date adjacent to the seal using
a SIA authentication code.
Printed copies of this document are
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the SIA authentication code must be
verified on any electronic copies.

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C-1

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

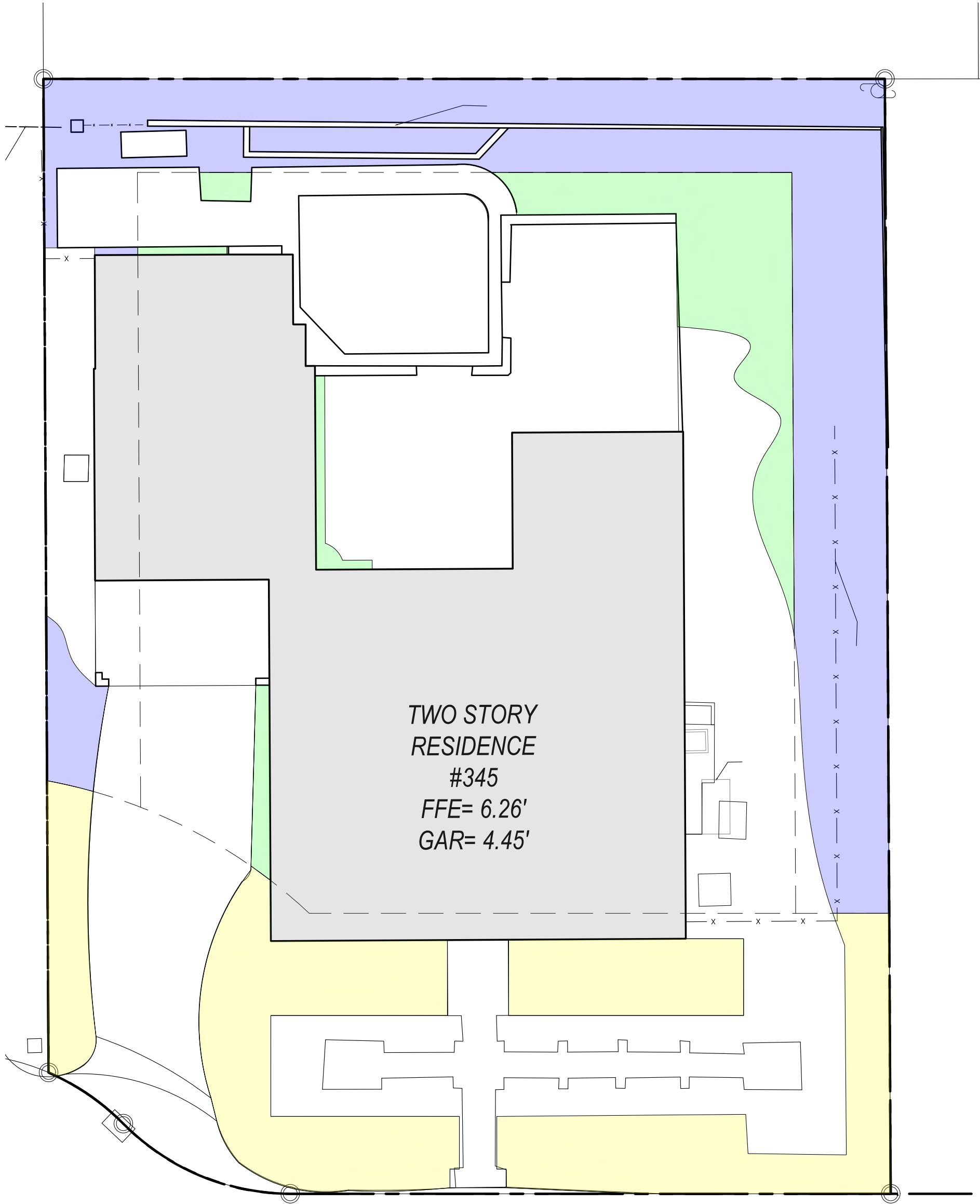
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Hardscape Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	
SEAL	DRAWING NO.	
	L1.1 SHEET 1 OF 1	

Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

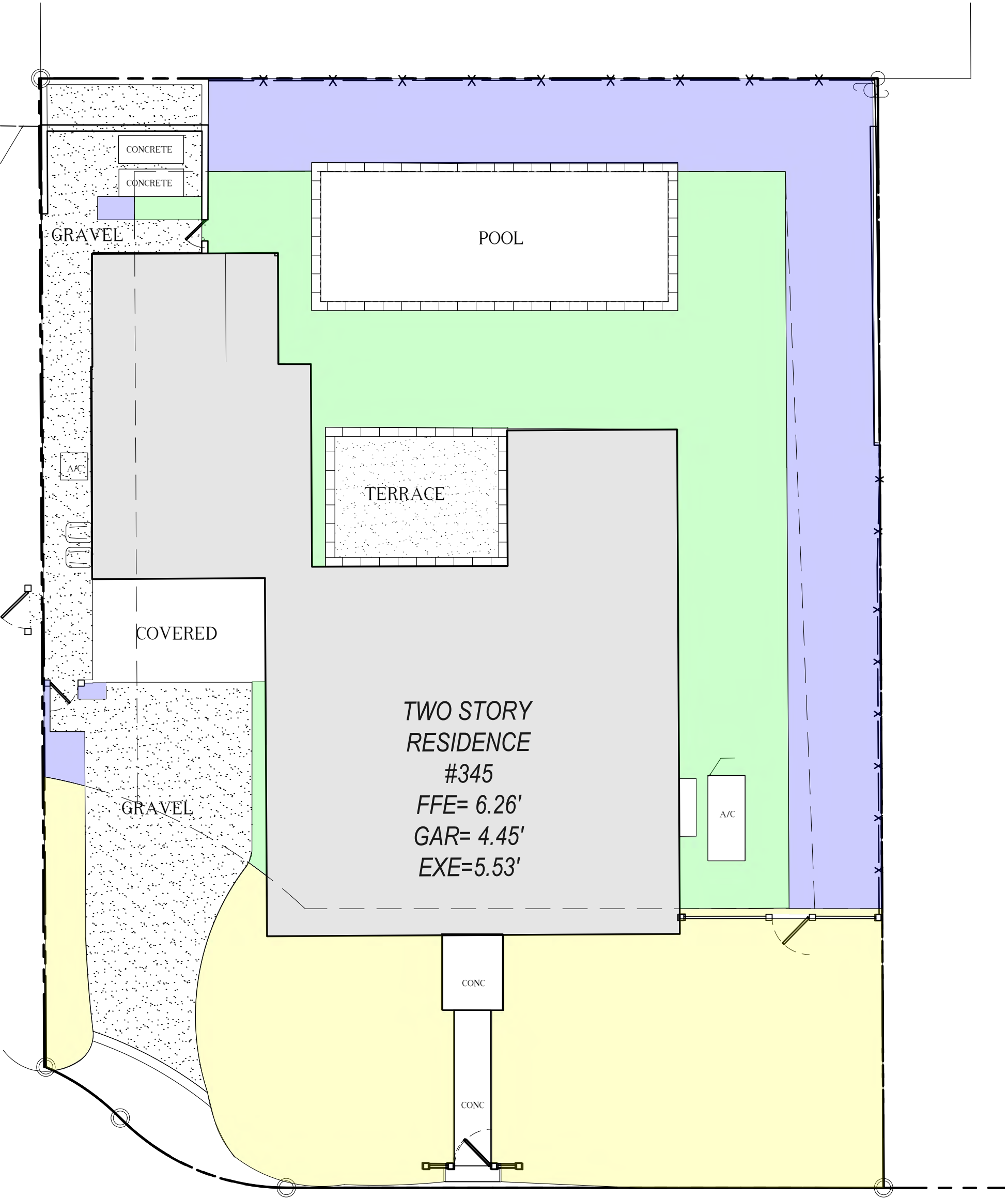
SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



EXISTING SITE PLAN

Existing Color Key

- Existing Site Pervious
- Existing Front Yard Pervious
- Existing Perimeter Pervious



PROPOSED SITE PLAN

Proposed Color Key

- Site Pervious
- Front Yard Pervious
- Perimeter Pervious

ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
TYP = TYPICAL

GRADING
BOS = BOTTOM OF STEPS
ELEV = ELEVATION
FFE = FINISHED FLOOR ELEVATION
TOS = TOP OF STEPS
TOW = TOP OF WALL

Area Calculations:

All units in square feet, unless noted otherwise

R-B District	Required		Existing		Proposed	
	Square Footage	Percentage	Square Footage	Percentage	Square Footage	Percentage
Open space/Pervious	4,772	45% or existing	3,376	32%	5,136	48%
Front Yard Pervious	1,128	40% or existing	1,255	45%	2,039	72%
Perimeter openspace	1,178	50% of required open space shall be within 10' of the property line	1,641	70%	1,495	63%
Hardscape			4,274	40%	2,372	22%
House			2,955	28%	2,955	28%
Total Lot			10,605	100%	10,605	100%

Survey By: Principal Meridian Surveying, Inc. Job # 23-0684

The
Krakoff
Residence

345 Pendelton Ln
Palm Beach, FL



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NOTES:
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-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

3	03.03.2025	Final Submittal
2	02.03.2025	2nd Submittal
1	01.15.2025	1st Submittal

REVISIONS	DATE	DESCRIPTION
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Final Submittal
COA-25-0002

S M I

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Site Comparison Plan		
SCALE 1/32" = 1'-0"	PROJECT NUMBER 2413	
DATE 03.03.2025	PRJCT MNGR PEC	CHECKED .
SEAL  03/03/25	DRAWING NO. L1.1a SHEET 1a OF 1	

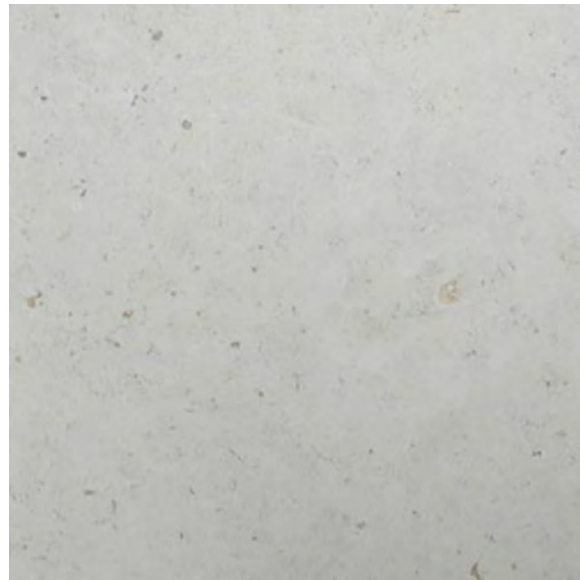
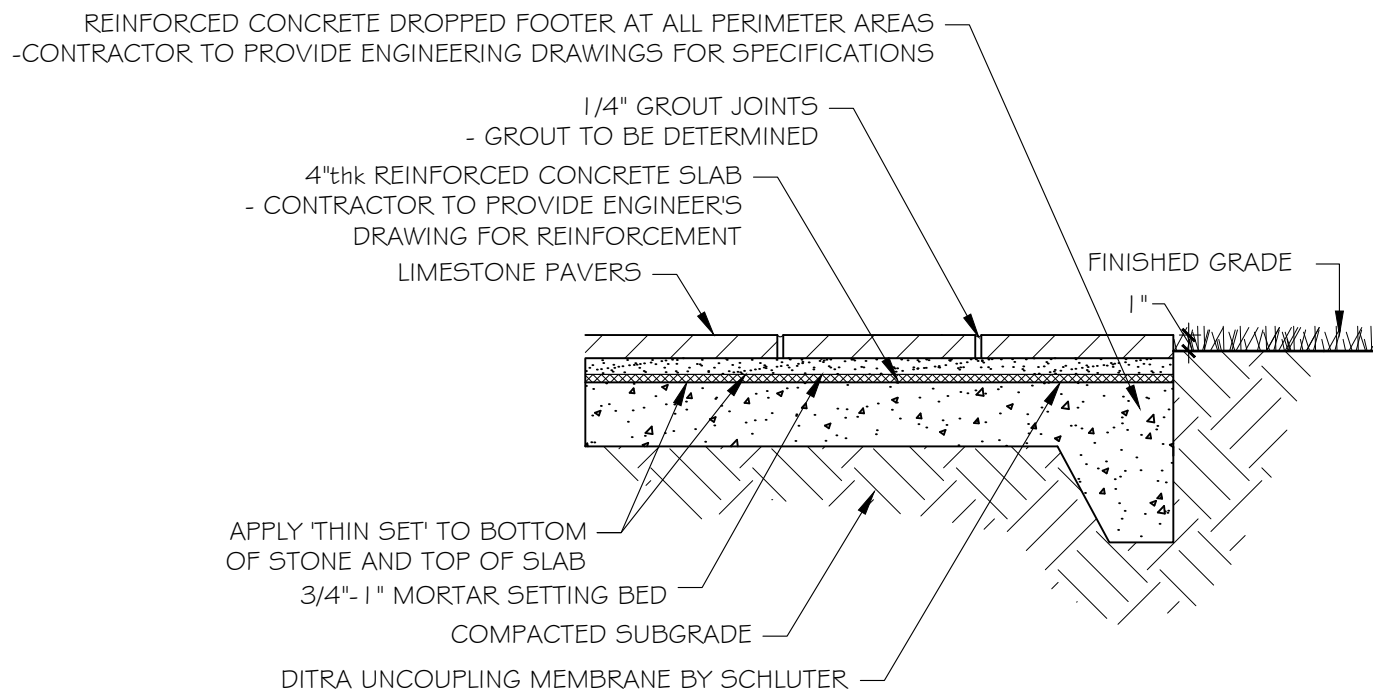


Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

ABBREVIATIONS KEY
DIA = Diameter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = Maximum
MIN = Minimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
THK = Thick
TYP = Typical

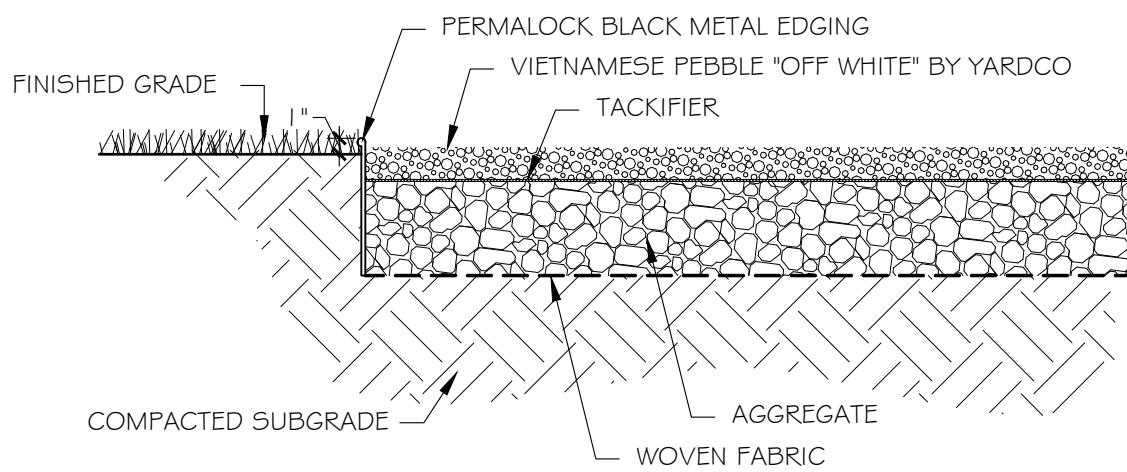
GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
FFE = Finished Floor Elevation
TOS = Top Of Steps
TOW = Top Of Wall



TERRACE & POOL COPING

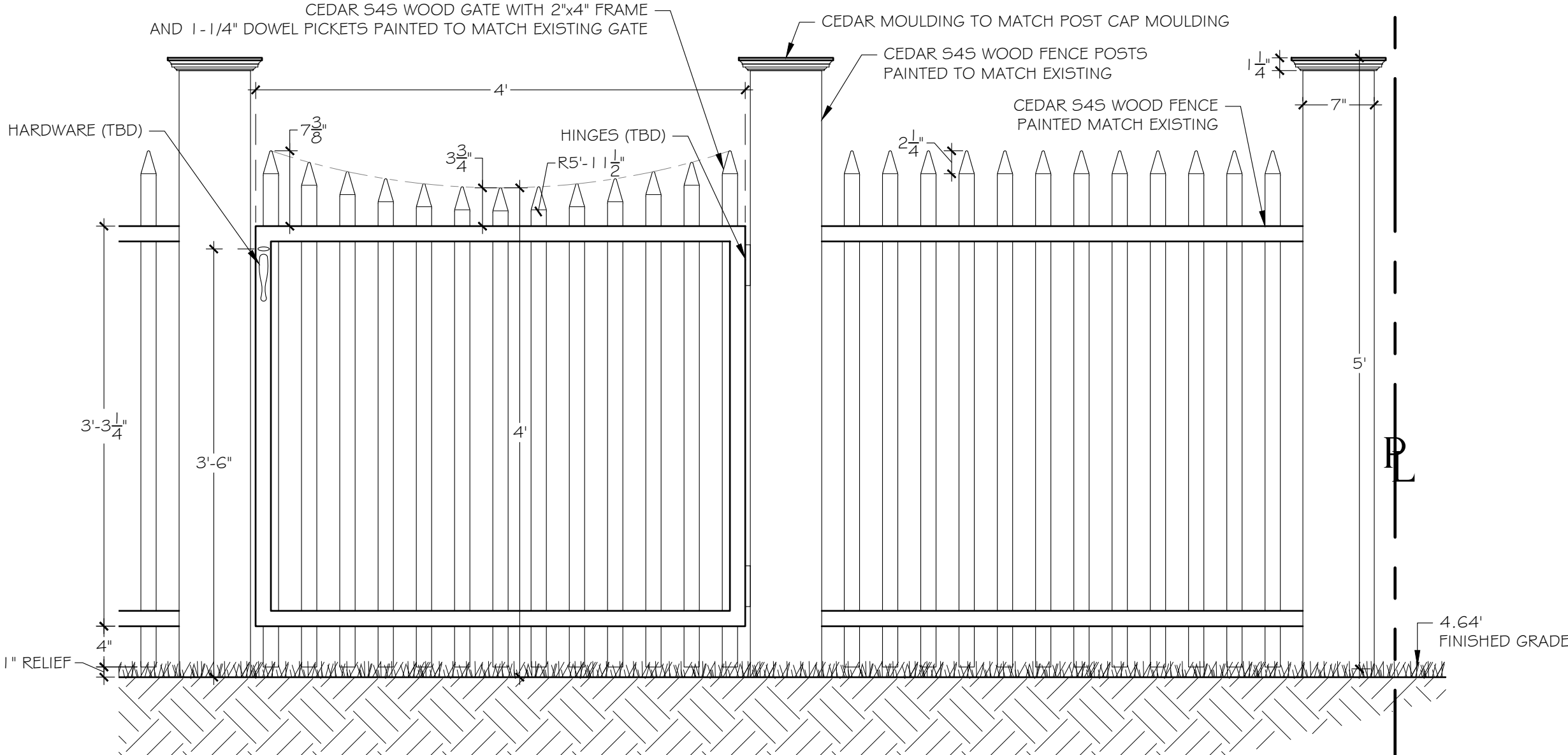
LUGET LIMESTONE

1 TERRACE DETAIL
12.1 SCALE: 1" = 1'-0"



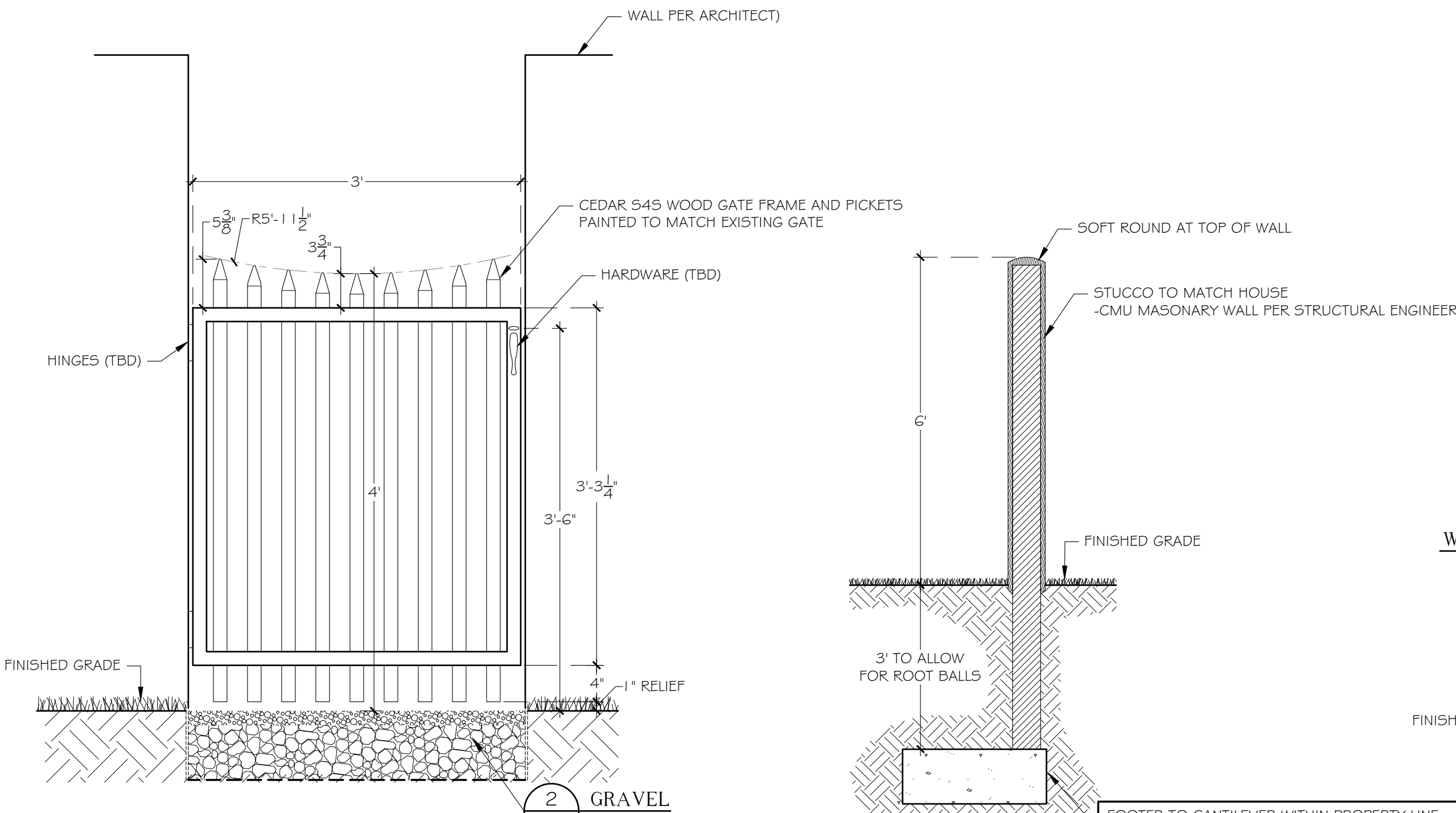
VIETNAMESE PEBBLE

2 GRAVEL DETAIL
12.1 SCALE: 1" = 1'-0"



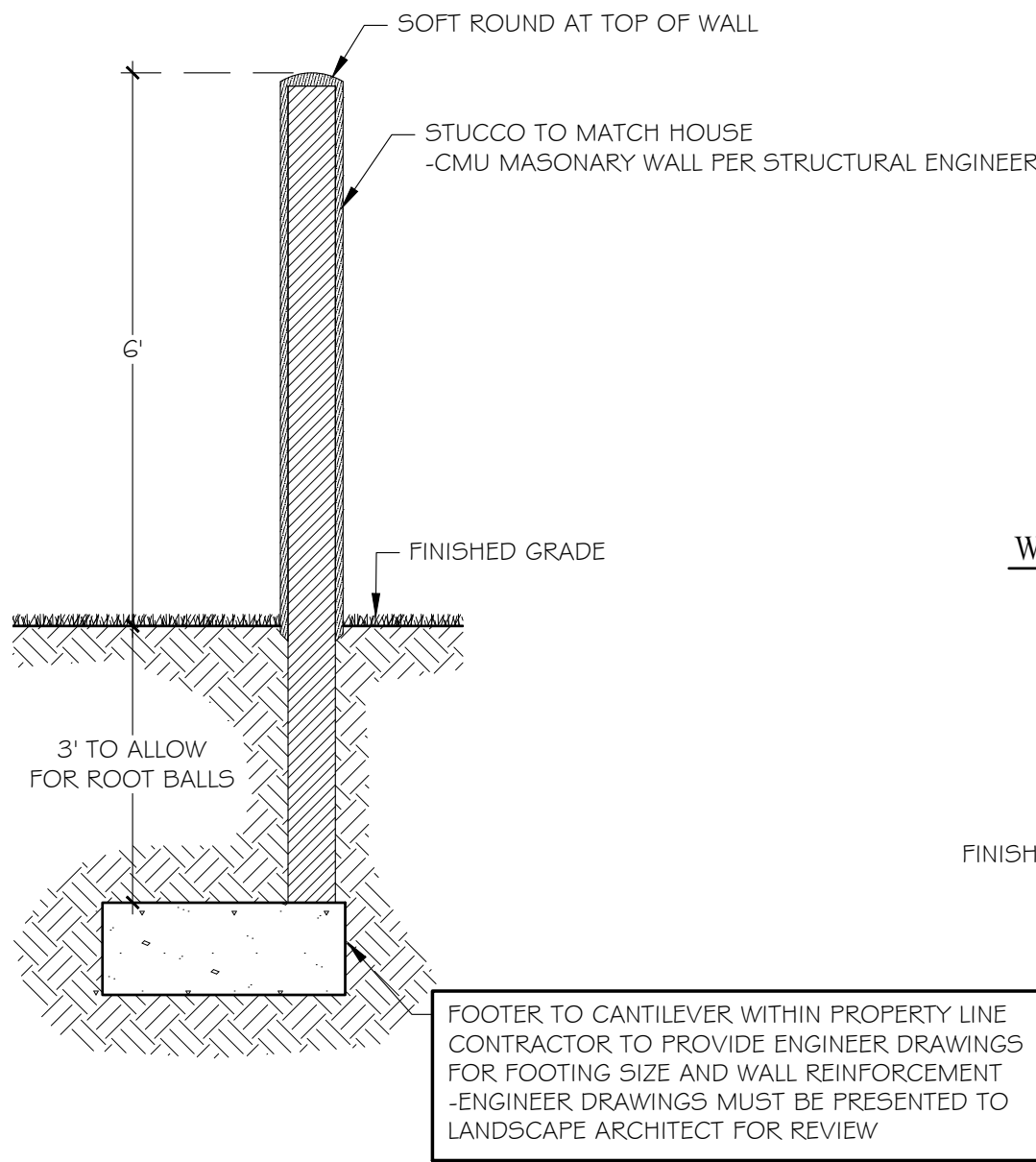
- NOTES:
1. PROVIDE GATE SHOP DRAWINGS TO SMI FOR REVIEW
2. GATE TO BE SELF LATCHING AND SELF CLOSING
3. GATE TO MEET ALL APPLICABLE POOL BARRIER CODES

3 GATE & FENCE DETAIL
12.1 SCALE: 1" = 1'-0"



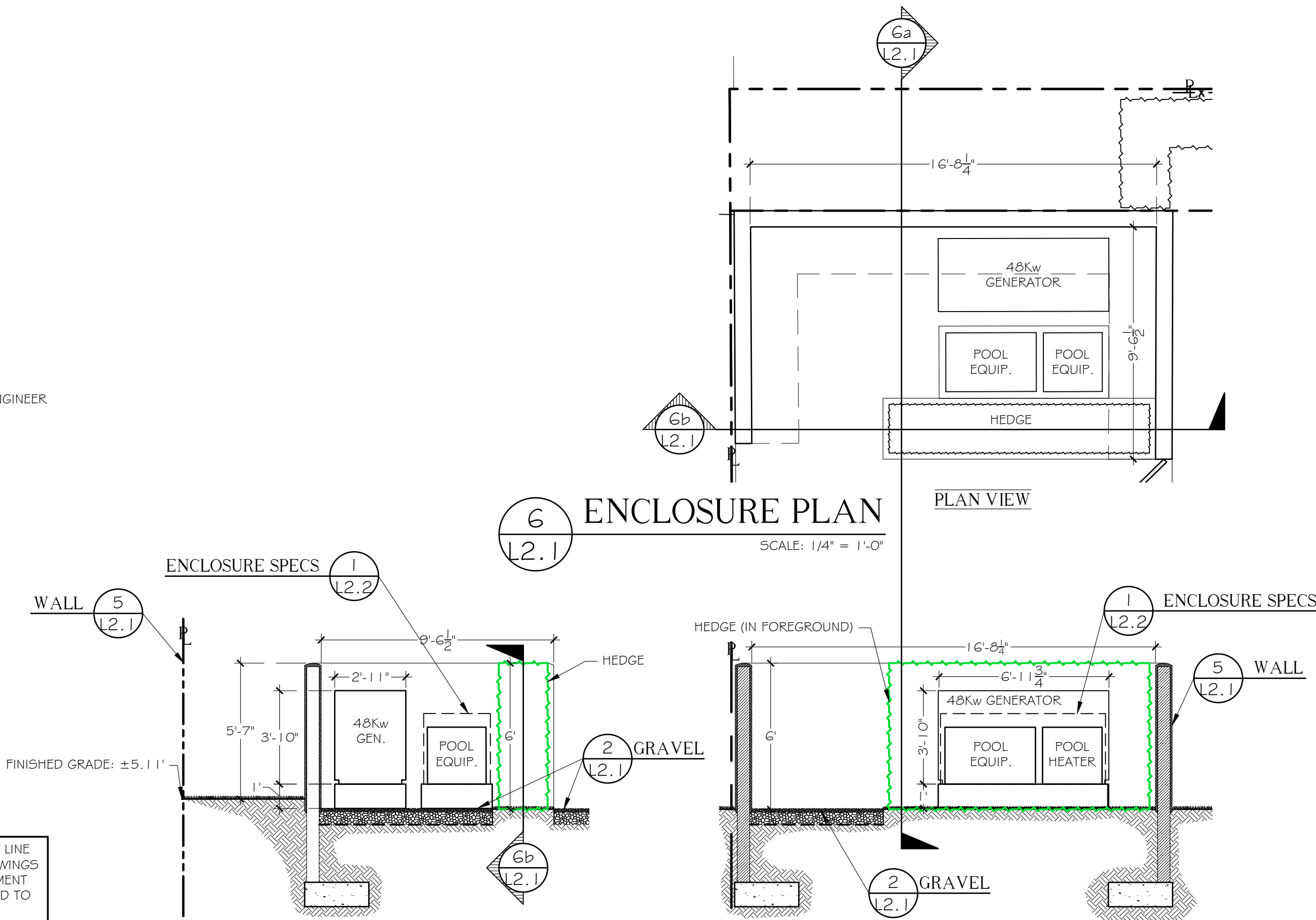
- NOTES:
1. PROVIDE GATE SHOP DRAWINGS TO SMI FOR REVIEW
2. GATE TO BE SELF LATCHING AND SELF CLOSING
3. GATE TO MEET ALL APPLICABLE POOL BARRIER CODES

4 GATE DETAIL
12.1 SCALE: 1" = 1'-0"



FOOTER TO CANTILEVER WITHIN PROPERTY LINE
CONTRACTOR TO PROVIDE ENGINEER DRAWINGS
FOR FOOTING SIZE AND WALL REINFORCEMENT
-ENGINEER DRAWINGS MUST BE PRESENTED TO
LANDSCAPE ARCHITECT FOR REVIEW

5 WALL DETAIL
12.1 SCALE: 1/2" = 1'-0"



6a ENCLOSURE SECTION
12.1 SCALE: 1/4" = 1'-0"

6b ENCLOSURE SECTION
12.1 SCALE: 1/4" = 1'-0"



ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

COQUINA / OOLITE / CORAL STONE
TO BE FINISHED WITH HARDENER
AND SEALER AS SPECIFIED:
HARDENER = RESTRUCTOR BY VALCON INDUSTRIES
SEALER = LIQUASEAL
1-866-311-9737
*CONTRACTOR TO FOLLOW MANUFACTURER'S
SPECIFICATIONS FOR APPLICATION AND PROCEDURES

The Krakoff Residence

345 Pendelton Ln
Palm Beach, FL

HARDSCAPE MOCK-UPS TO BE APPROVED
BY OWNER / LA PRIOR TO INSTALLATION

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NOTES:
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3' BELOW GRADE TO ALLOW FOR PLANTINGS /
ROOT BALLS
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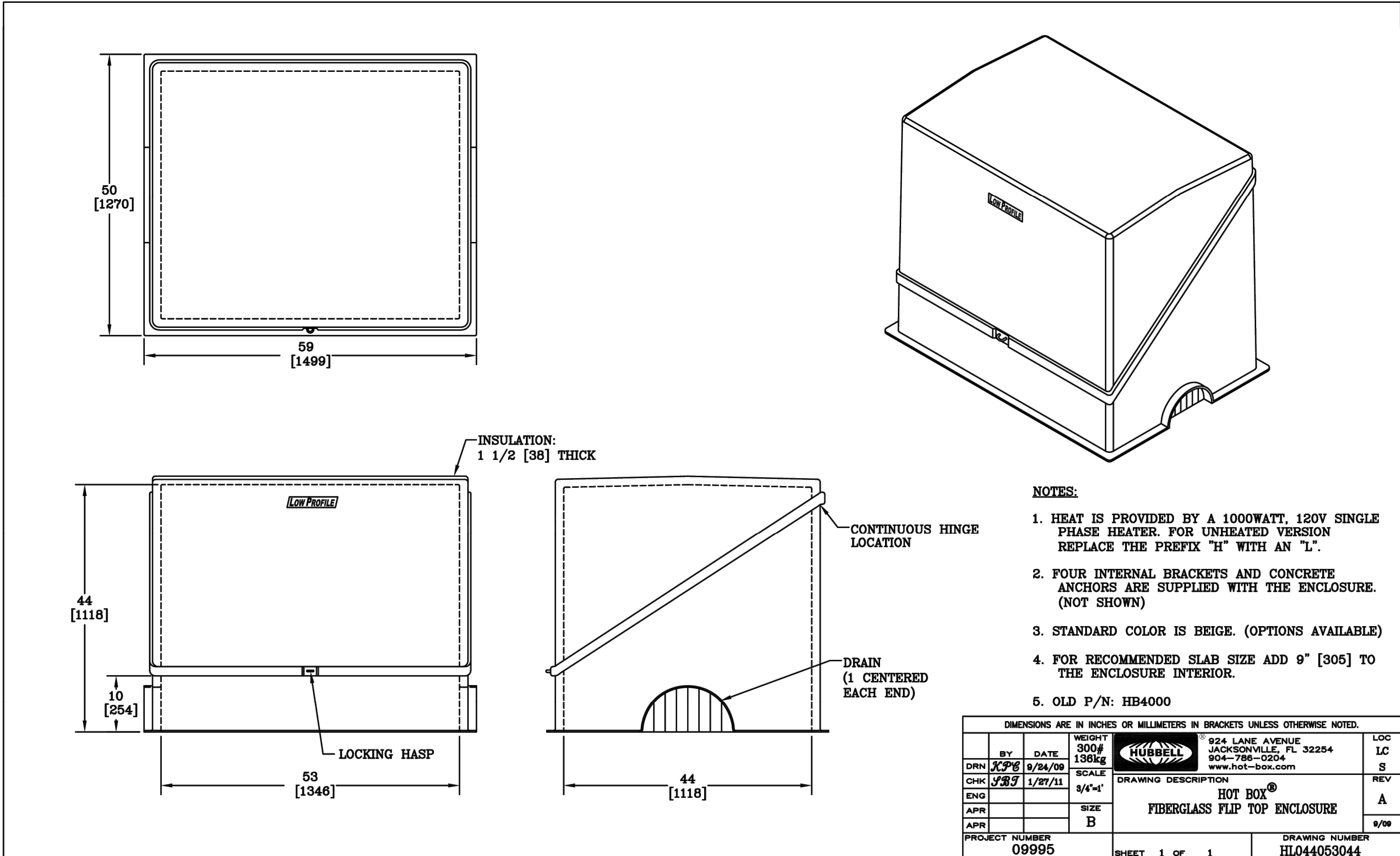
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SCALE As Noted	PROJECT NUMBER 2413	
DATE 03.03.2025	PRJCT MNGR PEC	CHECKED .
SEAL 	DRAWING NO. L2.1 SHEET 1 OF 2	

FIELD VERIFY ALL DIMENSIONS

ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
THK = THick
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GRADING
BOS = Bottom Of Steps
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TOS = Top Of Steps
TOW = Top Of Wall

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



NOTE: ENCLOSURE TO BE HUBBELL LB400 OR SIMILAR.
FINAL SIZE TO BE DETERMINED BY POOL ENGINEER.

UNHEATED EQUIPMENT ENCLOSURE SPECIFICATIONS

The
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Residence

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Palm Beach, FL

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TITLE Hardscape Details		
SCALE As Noted	PROJECT NUMBER 2413	
DATE: 03.03.2025	PRJCT MNGR: PEC	CHECKED: .
SEAL 	DRAWING NO. L2.2 SHEET 2 OF 2	



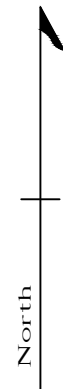
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The Krakoff Residence

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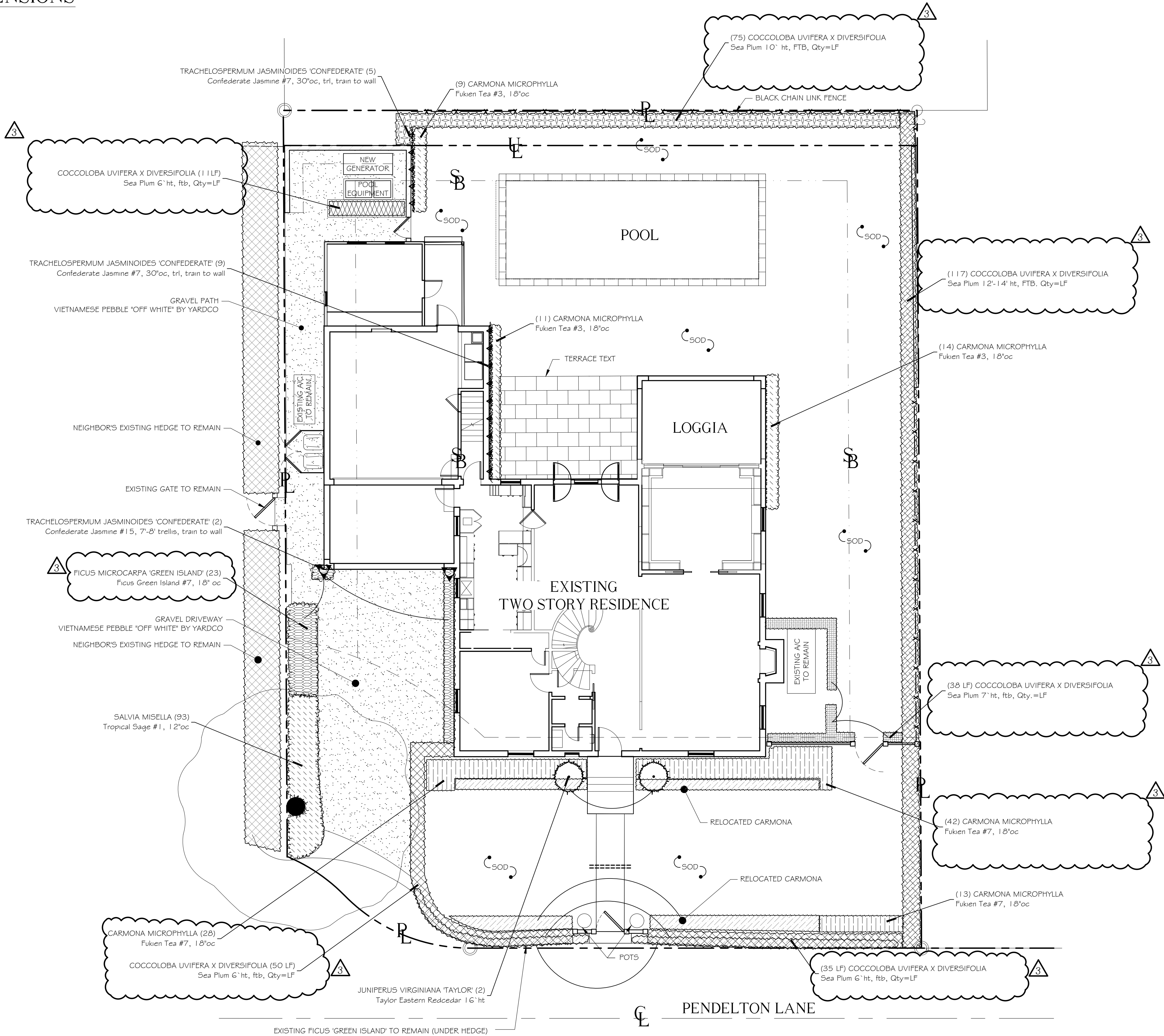
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Planting Plan		
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1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	L3.1 SHEET 1 OF 3	

ABBREVIATIONS KEY
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FTB = Full To Base
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LS = LandScape
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MIN = MINimum
OC = On Center
SMI = SMI Landscape Architecture
SPP = SPPecimen
STD = STandarD
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GRADING
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TOS = Top Of Steps
TOW = Top Of Wall

Legend

===== = PVC Sleeves

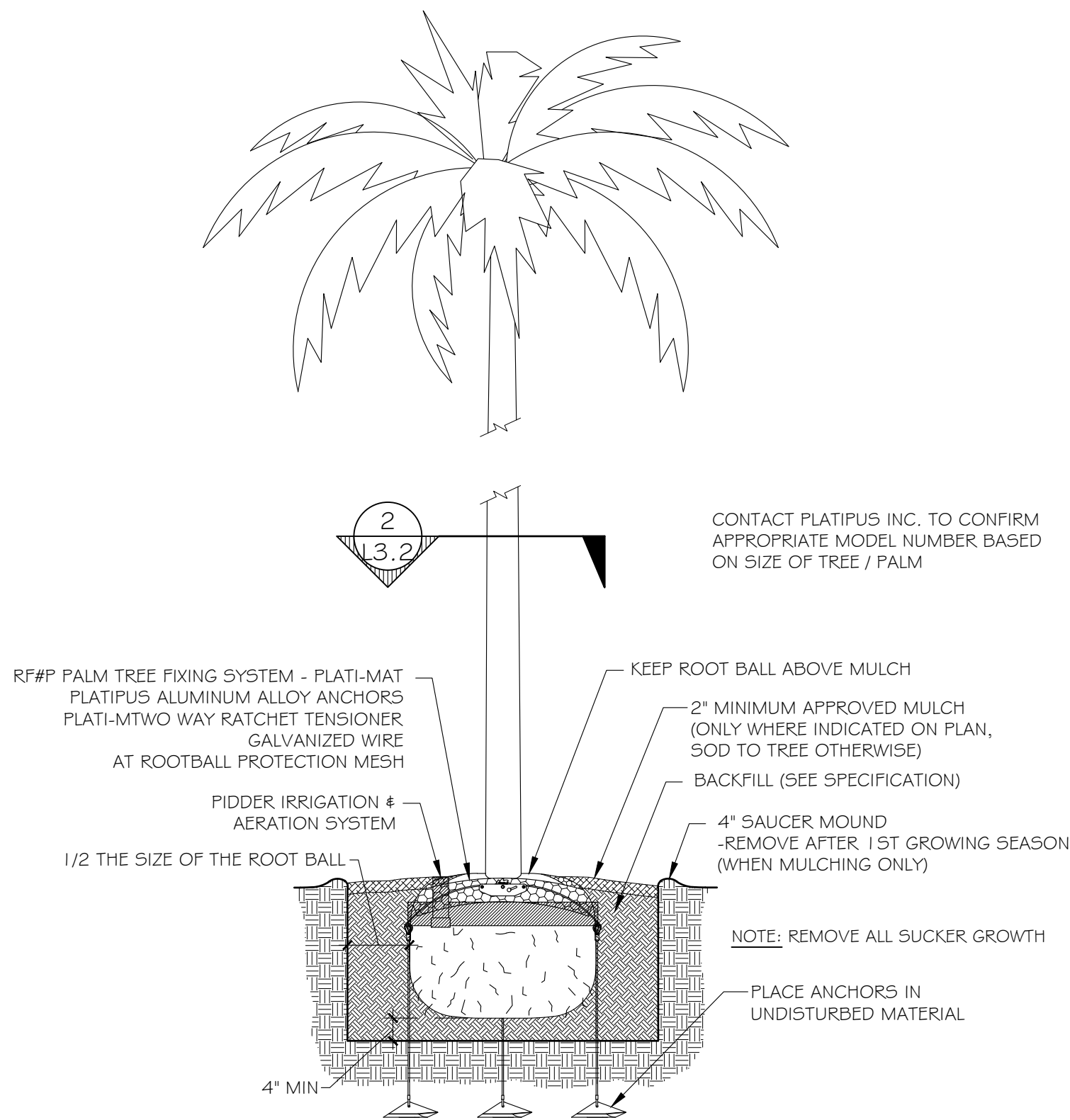


SMI TO APPROVE STAKED LAYOUT OF ALL TREES
AND PLANTING LAYOUT PRIOR TO INSTALLATION
ALL IRRIGATION, IRRIGATION EQUIPMENT AND
IRRIGATION BOXES TO BE CONCEALED
ALL PLANTING BEDS ABUTTING LAWN
TO HAVE METAL EDGE BORDER

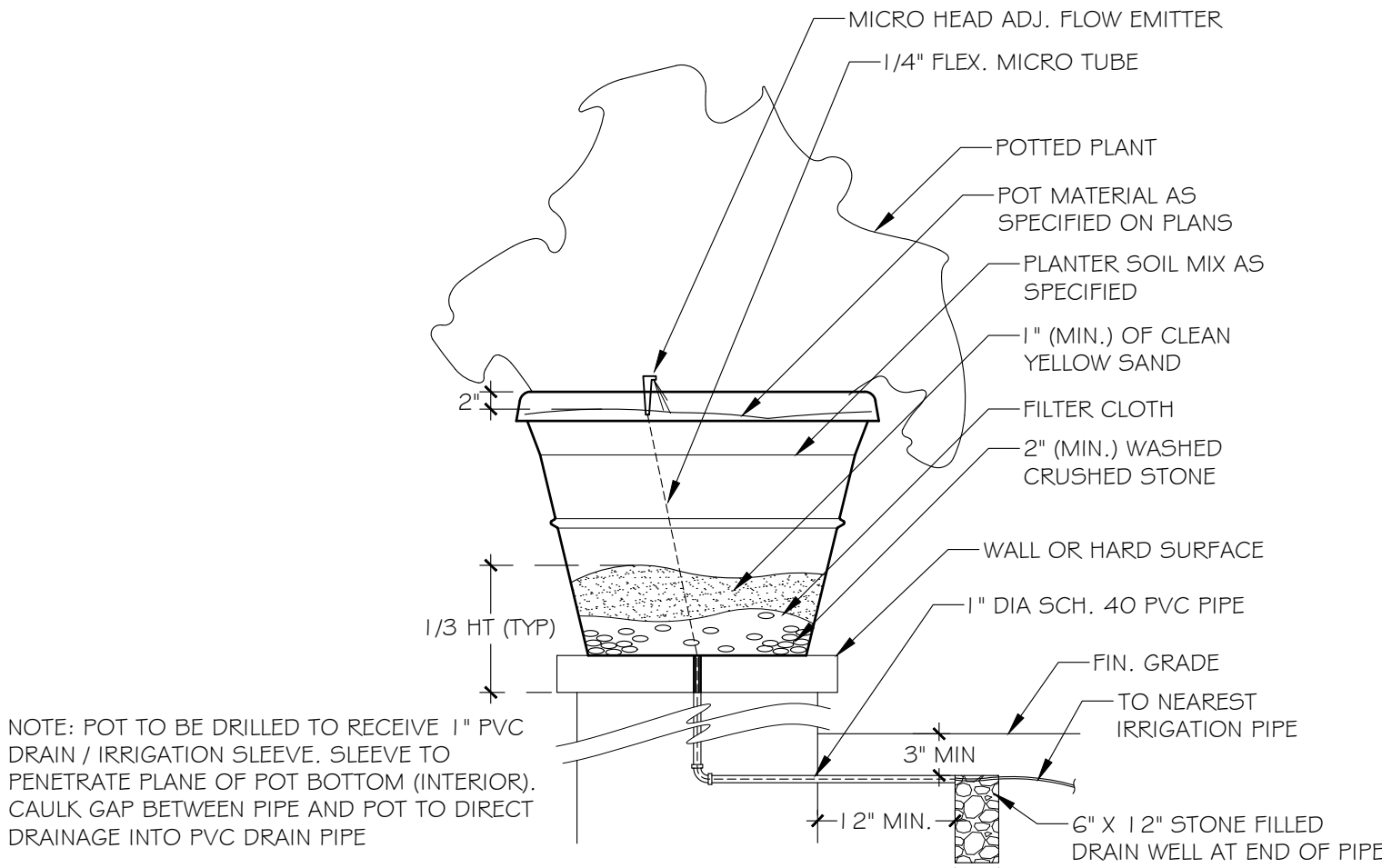


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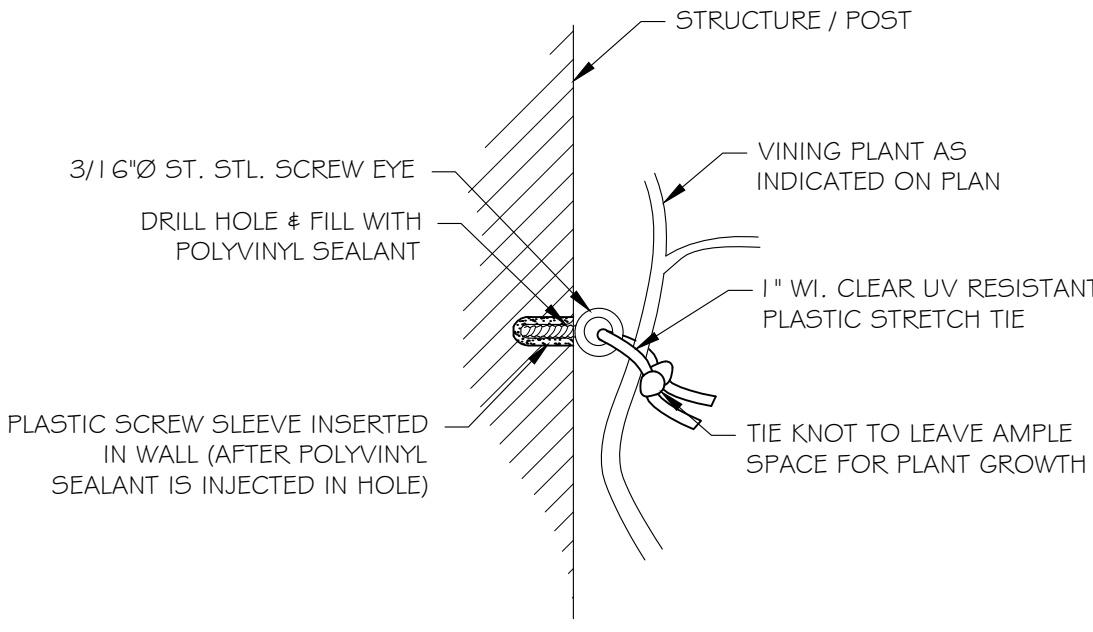
FIELD VERIFY ALL DIMENSIONS



1
L3.2 PLATIPUS TREE ANCHORING
DETAIL SCALE: NOT TO SCALE

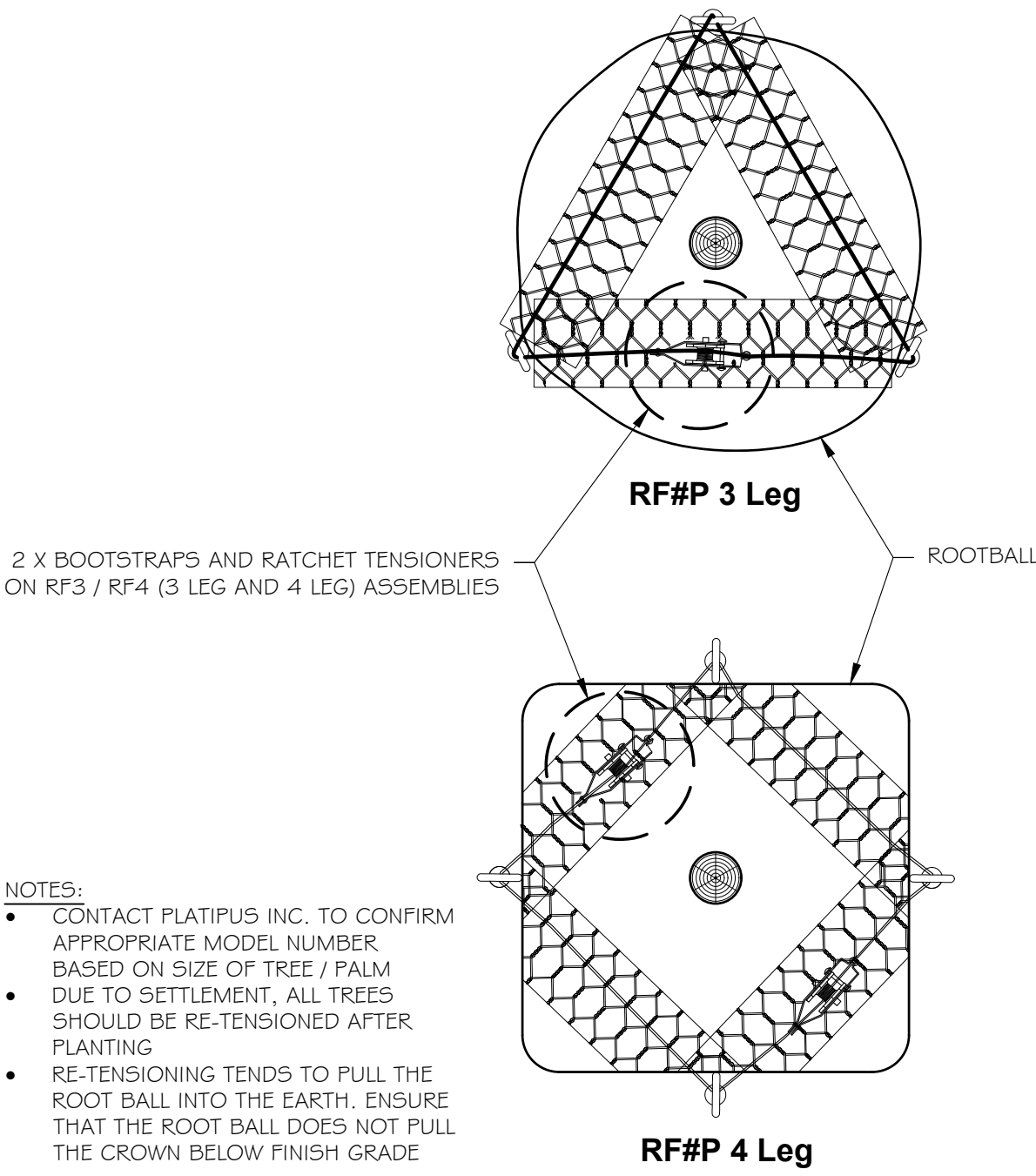


4
L3.2 POTTED PLANT DETAIL
SCALE: NOT TO SCALE

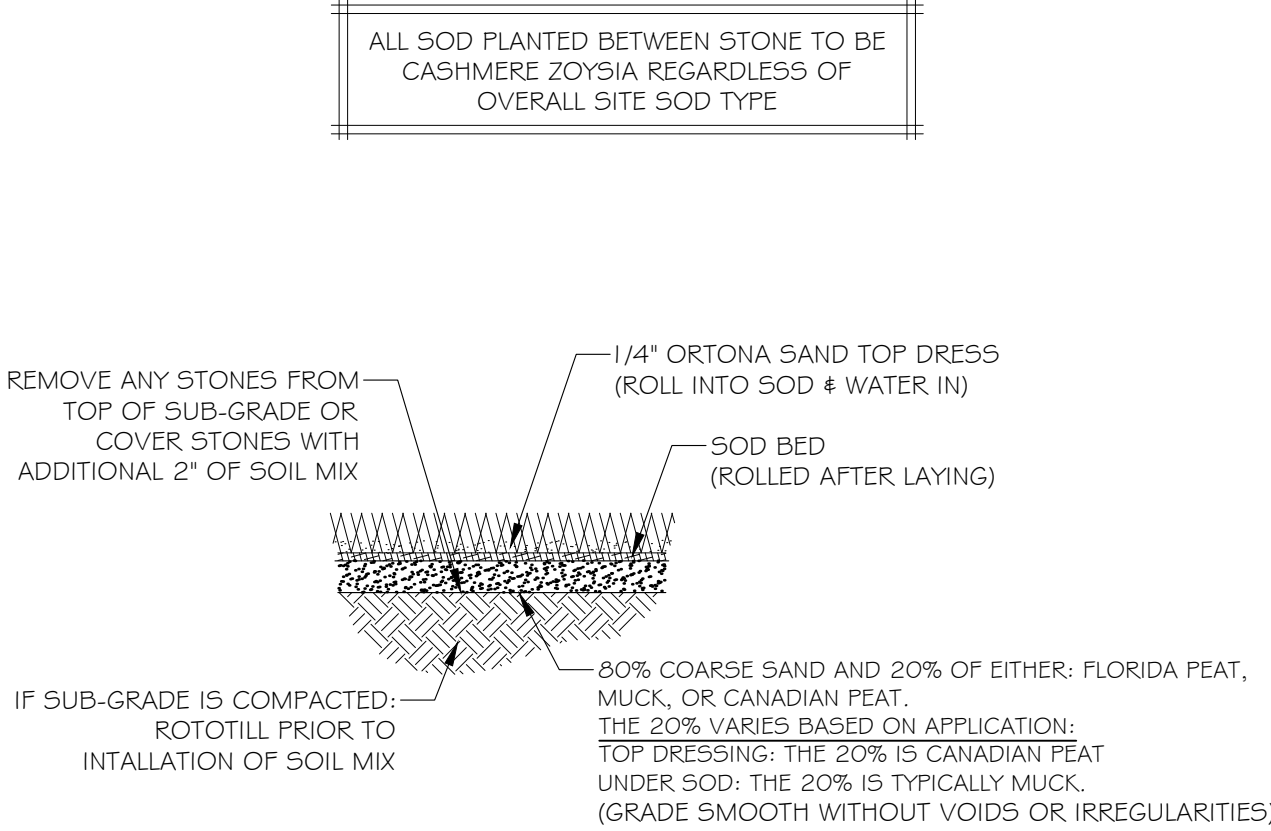


PIN TO WALL

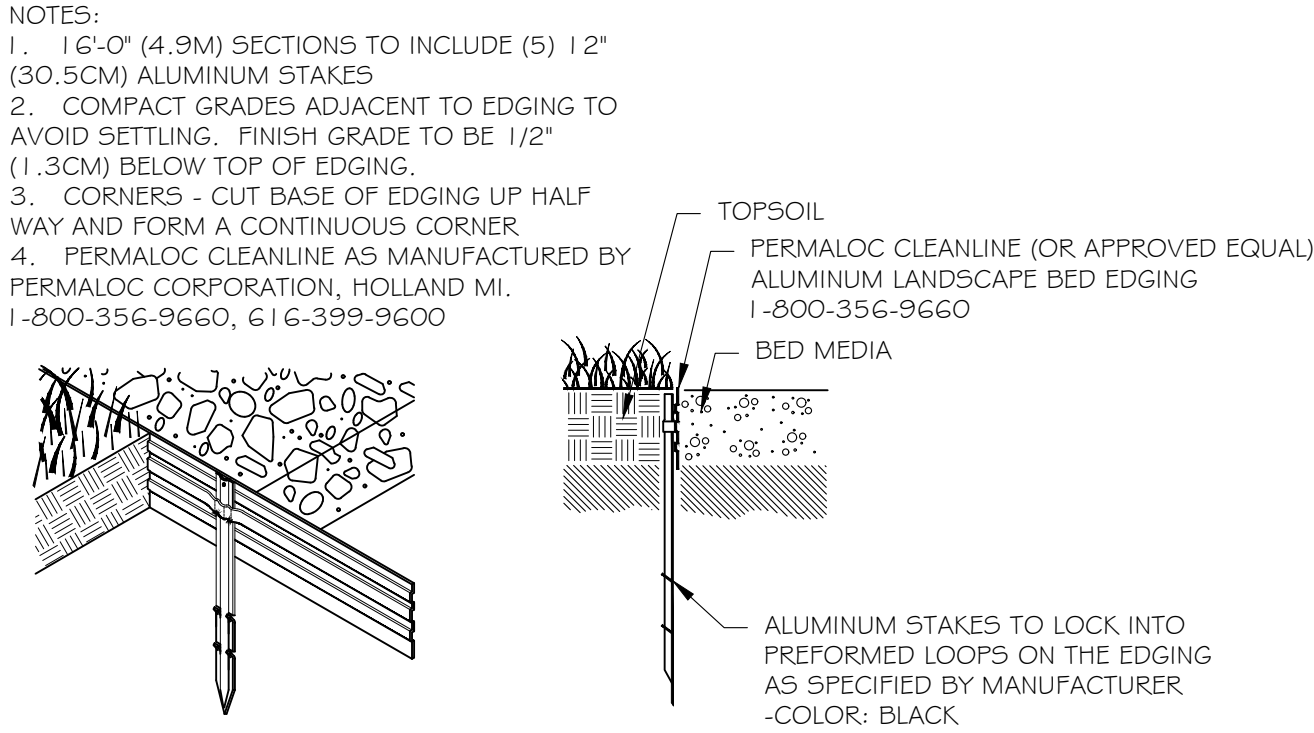
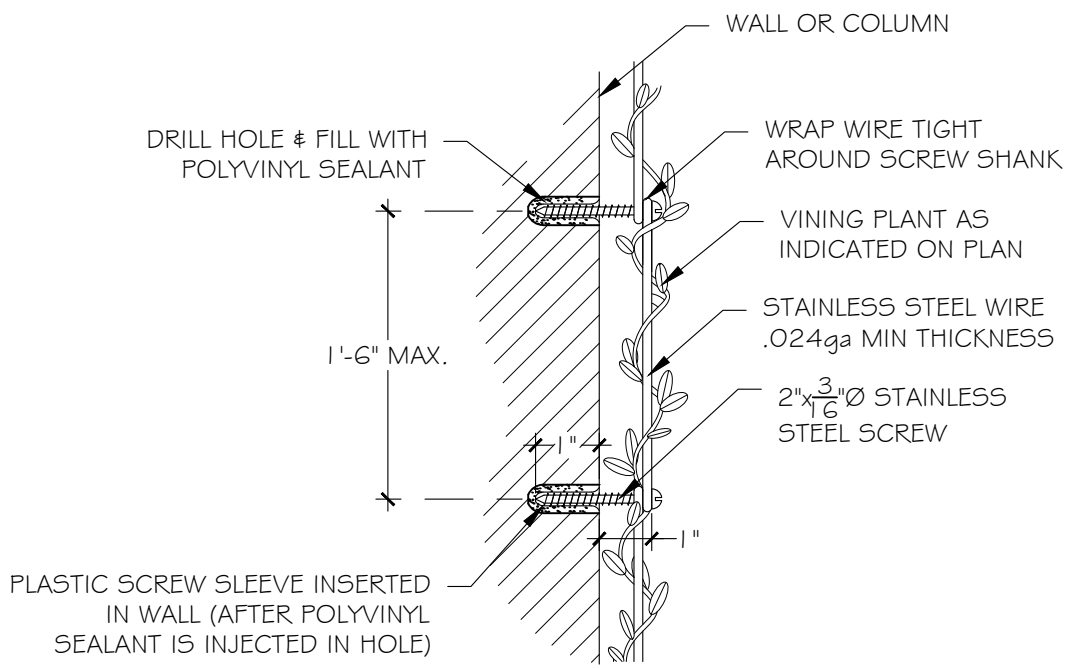
7
L3.2 VINE SUPPORT DETAIL
SCALE: NOT TO SCALE



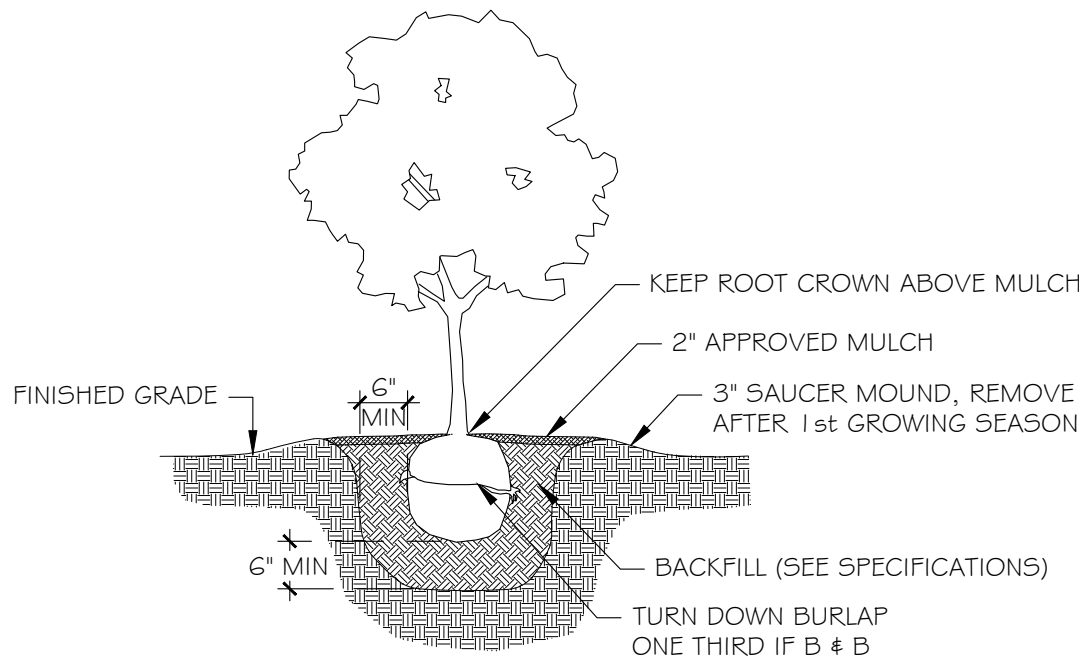
2
L3.2 PLATIPUS ROOTBALL BOOTSTRAP
DETAIL SCALE: NOT TO SCALE



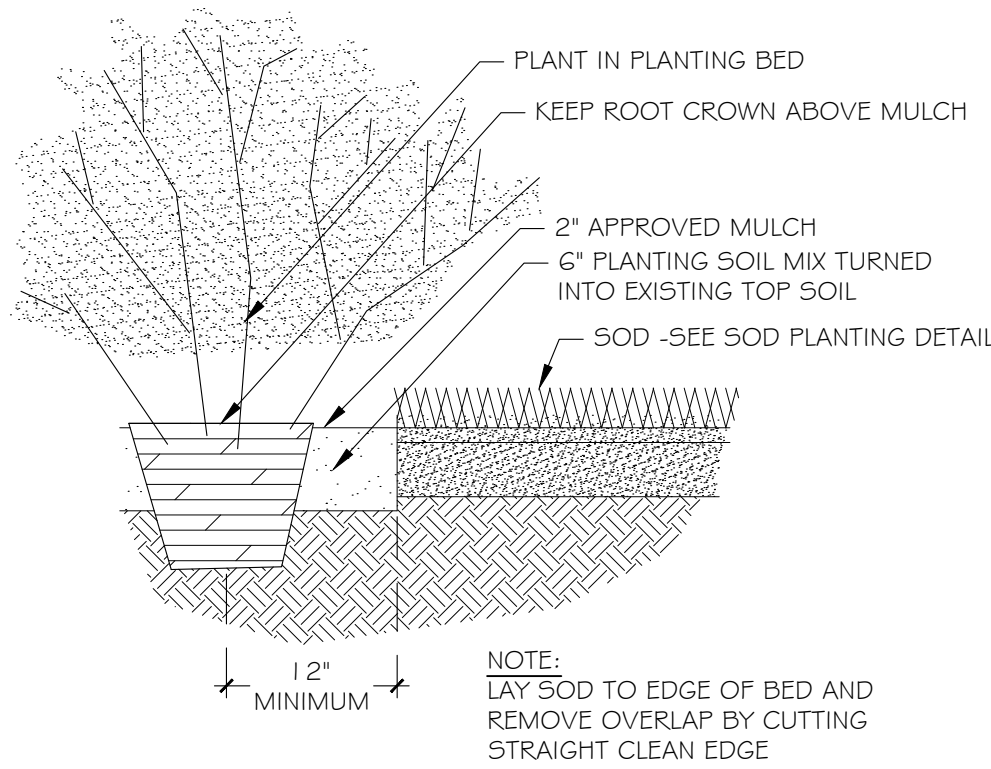
5
L3.2 SOD PLANTING DETAIL
SCALE: 1/2\"/>



8
L3.2 PLANT BED EDGING DETAIL
SCALE: NTS



3
L3.2 SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



6
L3.2 PLANTING BED DETAIL
SCALE: NOT TO SCALE

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

SMI TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION

ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED

ALL PLANTING BEDS TO HAVE STEEL EDGE BORDER

The Krakoff Residence

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TITLE		
Planting Details		
SCALE	PROJECT NUMBER:	
NOT TO SCALE	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	L3.2 SHEET 2 OF 3	

FIELD VERIFY ALL DIMENSIONS

PLANTING SPECIFICATIONS

PLEASE FURNISH FLORIDA CERTIFIED LANDSCAPE CONTRACTORS (FLC) REGISTRATION NUMBER WITH PROPOSAL.

GENERAL CONDITIONS

SCOPE:

1. THE WORK INCLUDED IN THESE SPECIFICATIONS SHALL CONSIST OF THE FURNISHING OF ALL LABOR, TOOLS, MATERIALS, PERMITS, ETC., NECESSARY FOR THE EXECUTION OF THE WORK AS HEREIN SPECIFIED AND SHOWN ON THE DRAWINGS.

2. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH SOUND NURSERY PRACTICE AND SHALL PERFORM MAINTENANCE AND WATERING UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

EXAMINATION OF DRAWINGS AND SITE:

1. THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY ACQUAINT HIMSELF WITH ALL OF THE EXISTING CONDITIONS IN ORDER THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE AS TO THE CHARACTER OR AS TO THE EXTENT OF THE WORK TO BE DONE, AND LIKEWISE, IN ORDER TO ADVISE AND ACQUAINT HIMSELF WITH ALL PRECAUTIONS TO BE TAKEN IN ORDER TO AVOID INJURY TO PERSONS OR PROPERTY OF ANOTHER. NO ADDITIONAL COMPENSATION WILL BE GRANTED BECAUSE OF ANY UNUSUAL DIFFICULTIES THAT MAY BE ENCOUNTERED IN THE EXECUTION OR MAINTENANCE OF ANY PORTION OF THE WORK. ANY DISCREPANCIES, OR OMISSIONS OR DOUBTS AS TO MEANINGS SHALL BE COMMUNICATED TO THE LANDSCAPE ARCHITECT, WHO WILL MAKE ANY INTERPRETATIONS HE/SHE DEEMS NECESSARY.

PLANT LIST:

1. ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL BE CONSIDERED AS CORRECT ON THE DRAWINGS.

PROTECTION OF PUBLIC AND PROPERTY:

1. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY GUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO A PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS FAULT OR NEGLIGENCE IN THE EXECUTION OF THE WORK.

2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY INSURANCE (\$1,000,000) AND PROPERTY DAMAGE INSURANCE (\$1,000,000.00). A COPY OF THE CERTIFICATE OF INSURANCE MUST BE FURNISHED TO OWNER.

GUARANTEE:

1. THE GUARANTEE PERIOD FOR ALL MATERIAL SHALL BEGIN AFTER FINAL APPROVAL BY LANDSCAPE ARCHITECT.

2. ALL MATERIAL EXCEPT SOD SHALL BE GUARANTEED FOR ONE YEAR PROVIDED IT RECEIVES PROPER MAINTENANCE (AS PRESCRIBED BY THE LANDSCAPE CONTRACTOR) BY THE OWNER AND IS NOT DAMAGED OR DESTROYED BY HURRICANES OR OTHER CAUSES BEYOND THE CONTRACTOR'S CONTROL.

3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT THE OWNER'S NEGLIGENCE TO PROVIDE PROPER CARE OF THE MATERIAL.

4. ALL REPLACEMENT COST OF GUARANTEED MATERIAL, INCLUDING EQUIPMENT, AND LABOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

AWARD OF CONTRACT:

1. ONLY UNIT PRICE-INSTALLED BIDS FOR THE WORK WILL BE ACCEPTABLE. HOWEVER, THE OWNER RETAINS THE RIGHT TO DELETE PORTIONS OF THE WORK FROM THE CONTRACT AND/OR AWARD SEPARATE CONTRACTS FOR PHASES OF THE PROJECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS WHEN SUCH REJECTIONS ARE IN THE INTEREST OF THE OWNER.

EXECUTION OF THE WORK:

1. THE LANDSCAPE CONTRACTOR SHALL HAVE HIS LABOR CREWS CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN PLANT MATERIALS, PLANTING, READING OF BLUEPRINTS AND COORDINATION BETWEEN JOB AND NURSERY IN ORDER TO EXECUTE INSTALLATION RAPIDLY AND CORRECTLY.

WATER:

1. WATER SOURCE SHALL BE FURNISHED BY THE OWNER.

2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH IRRIGATION CONTRACTOR.

3. ALL PLANT MATERIAL INSTALLED PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE WATERED WITH A TEMPORARY SYSTEM BY THE LANDSCAPE CONTRACTOR.

IRRIGATION:

-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

GRADING:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE OF LANDSCAPE AREAS UNLESS OTHERWISE SPECIFIED. THE TERM SUBGRADE SHALL BE DEFINED AS 4"-6" BELOW FINISH GRADE UNLESS OTHERWISE NOTED ON PLANS.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED AND FINE GRADING WITHIN PLANTER BEDS AND THE FILLING OF PLANTER BOXES. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXCESS SOIL AND DEBRIS ACCUMULATED DURING HIS WORK.

3. THE SOD CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE IN ALL SODDED AREAS. SEE SPECIFICATIONS RELATING TO SPECIES GROWERS.

DIGGING

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGING AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND AND OVERHEAD PIPES AND CABLES. SHOULD SUCH UNDERGROUND AND OVERHEAD OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE CONSULTED AND WILL ADJUST THE LOCATION OF PLANTS TO CLEAR SUCH OBSTRUCTION OR MOVE THE OBSTRUCTION.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK. PLANTING PITS

1. EXCAVATE CIRCULAR PITS WITH VERTICAL SIDES FOR ALL PLANTS, EXCEPT FOR HEDGES AND PLANTS SPECIFICALLY DESIGNATED TO BE PLANTED IN BEDS. DIAMETER OF PITS OF TREES AND SHRUBS SHALL BE AT LEAST 1/3 LARGER THAN THE DIAMETER OF THE BALL.

2. EXCAVATE PLANTING PITS AND PLANTING BEDS, PREPARE FINE SUBGRADE THROUGHOUT ALL PITS AND BEDS, AND PLACE THE PLANTS TO BE PLANTED FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.

PRUNING

1. REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL IMMEDIATELY. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL PLANTS WITH AS MUCH HEIGHT AND SPREAD AS IS PRACTICAL.

2. HEDGE MATERIALS TO BE PULLED IN, TIED AND TRIMMED TO VERTICAL AFTER INSTALLATION, WITH A FINISHED APPEARANCE UNLESS OTHERWISE NOTED.

TREE BRACING AND GUYING

1. LARGE TREES AND PALMS SHALL BE BRACED WITH CYPRESS POLES OR CLEAN LUMBER. BRACES SHALL BE PAINTED MATTE GREEN FINISH.

2. SMALL TREES SHALL BE GUYED IN THREE DIRECTIONS WITH THREE STRANDS OF NO. 12 GALVANIZED WIRE ATTACHED TO ANCHORS DRIVEN BELOW GRADE. WIRES WHICH COME IN CONTACT WITH THE TREE ARE TO BE ENCASED IN RUBBER HOSE.

PLANT MATERIALS

1. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE NAMES GIVEN IN HORTUS III AND IN STANDARDIZED PLANT NAMES, 2001, LATEST EDITION. PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN, CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2. QUALITY: PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES AND INJURIES. TREES SHALL BE HEAVILY BRANCHED, OR IN PALMS, HEAVILY LEAFED. REQUIREMENTS FOR THE MEASUREMENT, BRANCHING GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LISTS GENERALLY FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND THE AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE GRADED AS SPECIFIED ON THE DRAWINGS.

GRADES SHALL CONFORM TO GRADES AND STANDARDS FOR NURSERY STOCK, STATE PLANT BOARD OF FLORIDA. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS WITH BROKEN, DAMAGED, OR INSUFFICIENT BALLS WILL BE REJECTED. ALL PLANTS SHALL BE FLORIDA FANCY.

3. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

PLANTING SOIL

SOIL BY 'ATLAS SOIL' OR APPROVED ALTERNATE

ALL PLANTING AREAS SHALL BE CLEARED OF ALL PLANT AND MATERIAL TWO WEEKS PRIOR TO INSTALLATION OF SOIL FOR REMOVAL OF ANY NEEDS.

GROUND COVER BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH 4" OF 8270 MIX & TILL/MIX INTO EXISTING SOIL.

SHRUB BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

TREE PITS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE TREE AND REPLACE WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

PALMS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE PALM AND REPLACE WITH APPROPRIATE SOIL AND CLEAN YELLOW SAND FREE OF NEEDS.

SOIL SPECS FOR PLANTING BEDS:
ATLAS PEAT & SOIL 8270 MIX
30% can peat
25% fir peat
40% pine bark
5% airlite

SOIL SPECS FOR TREES AND LARGE SHRUBS:
SMILA SOIL MIX (APPROVED SOIL)
50% Pinebark
40% Florida Peat
10% Coarse Sand
10lbs Dolomite per/Yard
18.5lbs TurfPro per/Yard
22 pounds Nitricote 18/6/8-360 P/yard optional.

1. SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-7300

PLANTING SOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

1. SOIL FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE SMILA SOIL UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

2. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REMOVE ANY EXCESS SOIL AND DEBRIS FROM THE SITE. REFER TO THE GRADING PLAN AND GRADING SPECIFICATIONS.

3. LANDSCAPE ARCHITECT MAY REQUEST SOIL ANALYSIS FOR THE TESTING OF PLANTING SOIL UTILIZED BY THE SELECTED LANDSCAPE CONTRACTOR.

TO PROTECT AGAINST GANODERMA PALM FUNGUS ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY - STUMPS ACT AS HOSTS TO THIS DESTRUCTIVE LONG LIVED FUNGUS.

FERTILIZER

1. TREES USE ONE 21 GRAM AGRIFORM PLANTING TABLET PER 1/2" TRUNK DIAMETER. SPACE EQUALLY AROUND AT 2/3 DEPTH OF BALL.

2. SHRUBS: AGRIFORM PLANTING TABLETS SHALL BE APPLIED PER THE MANUFACTURERS SUGGESTED APPLICATION RATES.

3. SOD USE FERTILIZER AS PER BELOW WITH TRACE ELEMENTS APPLIED AT THE RATE OF 15 LBS. PER 1000 SQ. FT. PRIOR TO LAYING SOD.

4. POWDERED MYCCHORIZAE MIX: DIE HARD, 'PLANT HEALTH' CARE OR EQUAL) AND LIQUID B-THRIVE (OR EQUAL) SHOULD BE ADDED TO ALL TREES, SHRUBS AND GROUND COVER PLANTING BEDS AS PER MANUFACTERES DIRECTIONS.

5. ALL TREES, SHRUBS, GROUND COVER AND SOD TO USE LESCO 13-3-13 FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS

MULCH

ALL MULCH FOR THE PROJECT SHALL BE ATLAS GROW. MULCH SHALL BE APPLIED 2" IN TREES AND PALMS AS SPECIFIED, AND ALL PLANTING BEDS, HEDGE AND SHRUBS. KEEP CROWN OF ROOT BALL ABOVE MULCH
SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-7300

SUBMIT BAG TO LANDSCAPE ARCHITECT FOR APPROVALS.

SABAL PALMS

1. SABAL PALMS SHALL HAVE A MINIMUM TRUNK DIAMETER OF 12" MEASURED 2' ABOVE GROUND.

HEDGES

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE FULL MATERIAL TO PRODUCE A SOLID SCREEN FROM THE TOP OF HEDGE TO THE BASE OF HEDGE.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ADD FILLERS TO THE HEDGE AS NEEDED TO PRODUCE A SOLID FULL TO BASE (F.T.B.), SCREEN TO BE INCLUDED IN THE CONTRACTED PRICE.

3. PLANT MATERIAL WITH WEAK OR THIN FOLIAGE WILL NOT BE ACCEPTED.

VINES

1. MATERIALS & INSTALLATION OF VINE SUPPORTS SHALL BE INCLUDED IN UNIT COST OF VINE SPECIFIED

SODDING

1. THE LANDSCAPE CONTRACTOR SHALL SOD ALL AREAS INDICATED AND NOTED ON THE DRAWINGS.

2. NO SODDING SHALL OCCUR UNTIL ALL AREAS TO BE SODDED ARE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS, THE GROUND BROUGHT TO AN EVEN GRADE AND SPECIFIED AMENDMENTS HAVE BEEN ADDED. SEE DETAILS FOR SPECIFIC AMENDMENTS AS PER SOD TYPE. ALL SODDED AREAS WILL BE TREATED WITH 'ROUNDUP' HERBICIDE PER MANUFACTURER'S SPECIFICATIONS AT LEAST TEN DAYS PRIOR TO SOD INSTALLATION.

3. THE SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACTED GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO NOXIOUS WEEDS, OR ANY OTHER OBJECTIONABLE VEGETATION, FUNGUS, INSECTS OR DISEASE. PREPARATION OF AREAS SHALL BE PERFORMED WELL ENOUGH IN ADVANCE TO ALLOW SUFFICIENT TIME TO WORK PROPERLY. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD, CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN, AND OTHER DISEASES.

4. BEFORE BEING CUT AND LIFTED, THE SOD SHALL HAVE BEEN MOWED AT LEAST THREE TIMES WITH A LAWN MOWER, WITH THE FINAL MOWING NOT MORE THAN SEVEN DAYS BEFORE THE SOD IS CUT. THE SOD SHALL BE CAREFULLY CUT INTO UNIFORM DIMENSIONS.

5. SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A TAMPED OR ROLLED EVEN SURFACE.

6. WATERING SHALL BE ACCOMPLISHED UNTIL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT.

7. MAINTENANCE OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL OF LANDSCAPE ARCHITECT.

8. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS.

9. SEE PLANS FOR DETAILS. RE: SOD VARIETIES

10. FOR SOD, APPLY DEPTH OF SOIL AS PER PLANTING DETAILS PAGE. REMOVE ANY STONES FROM TOP OF SUB-GRADE OR COVER STONES WITH ADDITIONAL 2" OF SOIL MIX.

11. ALL SOD AREA SHALL BE TREATED WITH 'ROUND UP' TWO WEEKS PRIOR TO INSTALLATION FOR REMOVAL OF ANY EXISTING OBJECTIONABLE PLANTS. DOSAGE AND APPLICATION PER MANUFACTURERS SPECIFICATIONS.

CLEAN UP

1. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. HE SHALL LEAVE ALL PAVED AREAS "BROOM CLEAN" WHEN COMPLETED WITH THE WORK.

2. MARKS AND DAMAGE TO EXISTING PAVING MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

ALL PALMS, TREES, AND LARGE SPECIMEN PLANTS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR FOR LA APPROVAL OF LAYOUT AND LOCATIONS PRIOR TO INSTALLING SAME.

TREE STAKE PAINT FORMULA:
BEHR PREMIUM PLUS EXT FLAT -ACCENT BASE (4670)
COLORANT 02 48 46
P THALO GREEN 01 09 1
C YELLOW OXIDE 02 04 0
B LAMP BLACK 01 00 0

SUBMIT SAMPLE

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

All plants to be Florida Fancy

PLANT SCHEDULE				
QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE/NON
TREES				
2	Juniperus virginiana 'Taylor'	Taylor Eastern Redcedar	16' ht	Native
VINE/ESPALIER				
75	Coccoloba uvifera x diversifolia	Sea Plum	10' ht, FTB, Qty=LF	Native
117	Coccoloba uvifera x diversifolia	Sea Plum	12'-14' ht, FTB, Qty=LF	Native
97	Coccoloba uvifera x diversifolia	Sea Plum	6' ht, ftb, Qty=LF	Native
38	Coccoloba uvifera x diversifolia	Sea Plum	7' ht, ftb, Qty.=LF	Native
2	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	#15, 7'-8' trellis, train to wall	Not Native
14	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	#7, 30'oc, tf, train to wall	Not Native
SHRUB AREAS				
41	Ficus microcarpa 'Green Island'	Ficus Green Island	#7, 18" oc	Not Native
GROUND COVERS				
34	Carmona microphylla	Fukien Tea	#3, 18"oc	Not Native
83	Carmona microphylla	Fukien Tea	#7, 18"oc	Not Native
93	Salvia misella	Tropical Sage	#1, 12"oc	Native

The Krakoff Residence

345 Pendelton Ln
Palm Beach, FL

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3	03.03.2025	Final Submittal
2	02.03.2025	2nd Submittal
1	01.15.2025	1st Submittal
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REVISIONS		

Final Submittal
COA-25-0002

SMI

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FL registration #LA 13000223

TITLE		
Planting Specifications		
SCALE	PROJECT NUMBER:	
NONE	2413	
DATE:	PRJCT MNGR:	CHECKED:
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SEAL	DRAWING NO.	
	L3.3 SHEET 3 OF 3	



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South Elevation Rendering



East Elevation Rendering



North Elevation Rendering



West Elevation Rendering

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TITLE		
Elevation Renderings		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	E-1	
	SHEET 1 OF 1	



FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend			
1	Property Address:	345 Pendleton Ln, Palm Beach FL		
2	Lot Area (sq. ft.):	10,605 sq. ft.		
3		REQUIRED	PROPOSED	
4	Landscape Open Space (LOS) (Sq Ft and %)	4,772 sq. ft. 45%	5,278 sq. ft.	50%
5	LOS to be altered (Sq Ft and %)	N/A		
6	Perimeter LOS (Sq Ft and %)	1,178 sq. ft. 50%	1,560 sq. ft.	66%
7	Front Yard LOS (Sq Ft and %)	1,128 sq. ft. 40%	2,039 sq. ft.	72%
8	Native Trees %	30% (number of trees)	100%	
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	85%	
10	Native Groundcover %	30% (groundcover area)	44%	

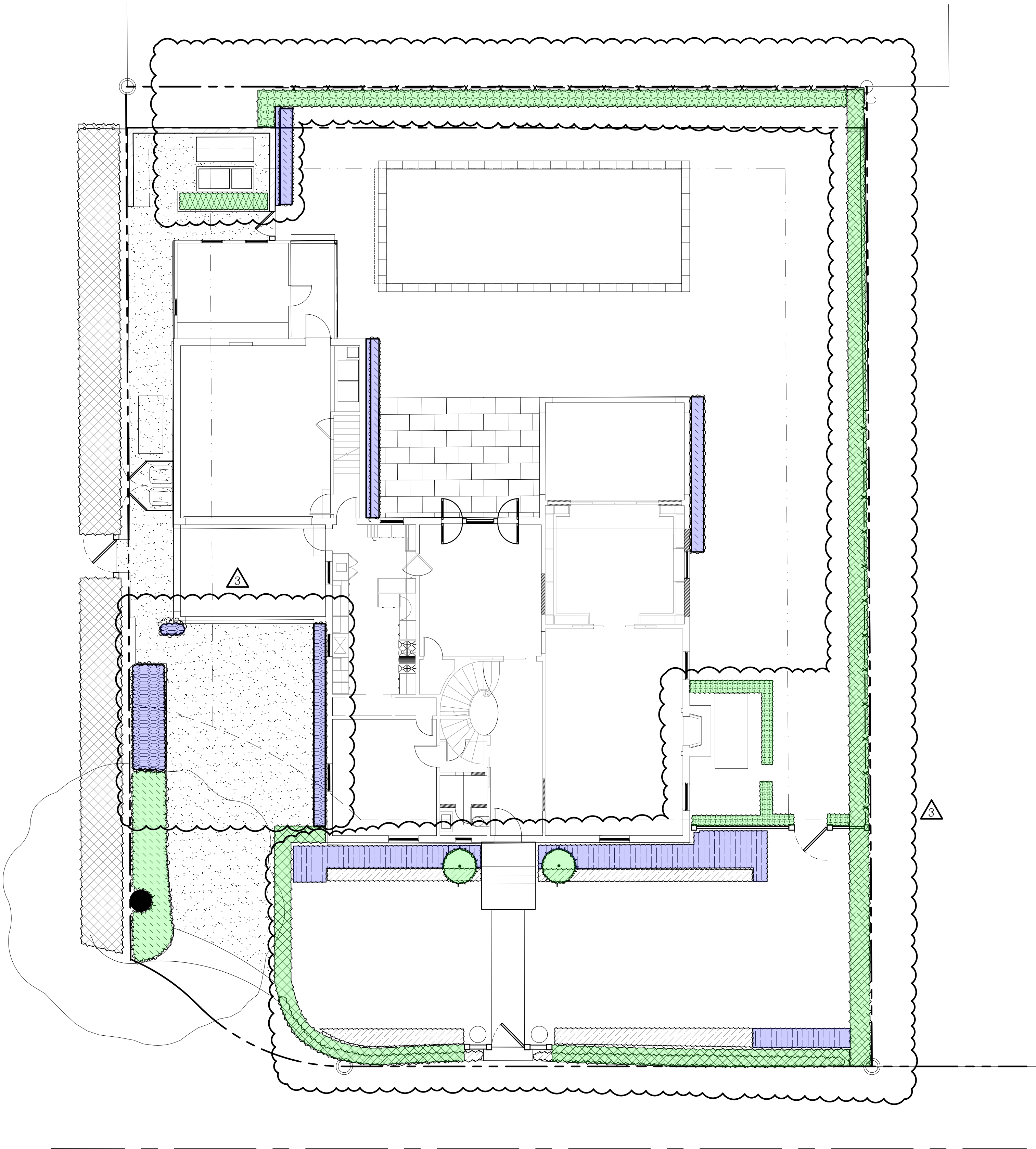
To determine qualifying native vegetation use either:
[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)
OR
[the Florida Native Plant Society Native Plants for Your Area List](#)

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023 REV BF 20230727

Native Coverage Calculations
Total coverage of new plantings 1,128 sf (100%)
Coverage by native plants..... 603 sf (53%)



- ABBREVIATIONS KEY
- DIA = DIAMeter
 - DR = Dominican Republic
 - HS = HardScape
 - HT = Height
 - LA = Landscape Architect
 - LS = LandScape
 - MAX = MAXimum
 - MIN = MINimum
 - SMI = SMI Landscape Architecture
 - TBD = To Be Determined
 - TC = Terra Cotta
 - THK = Thick
 - TYP = TYPical

- GRADING
- BOS = Bottom Of Steps
 - ELEV = ELEVation
 - FFE = Finished Floor Elevation
 - TOS = Top Of Steps
 - TOW = Top Of Wall

Newly planted non-native plant material

Newly planted native plant material

Areas not shown in color are either existing to remain, building, hardscape, or sod

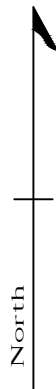
LANDSCAPE ARCHITECT TO APPROVE LAYOUT OF ALL HARDSCAPE MATERIAL PRIOR TO INSTALLATION



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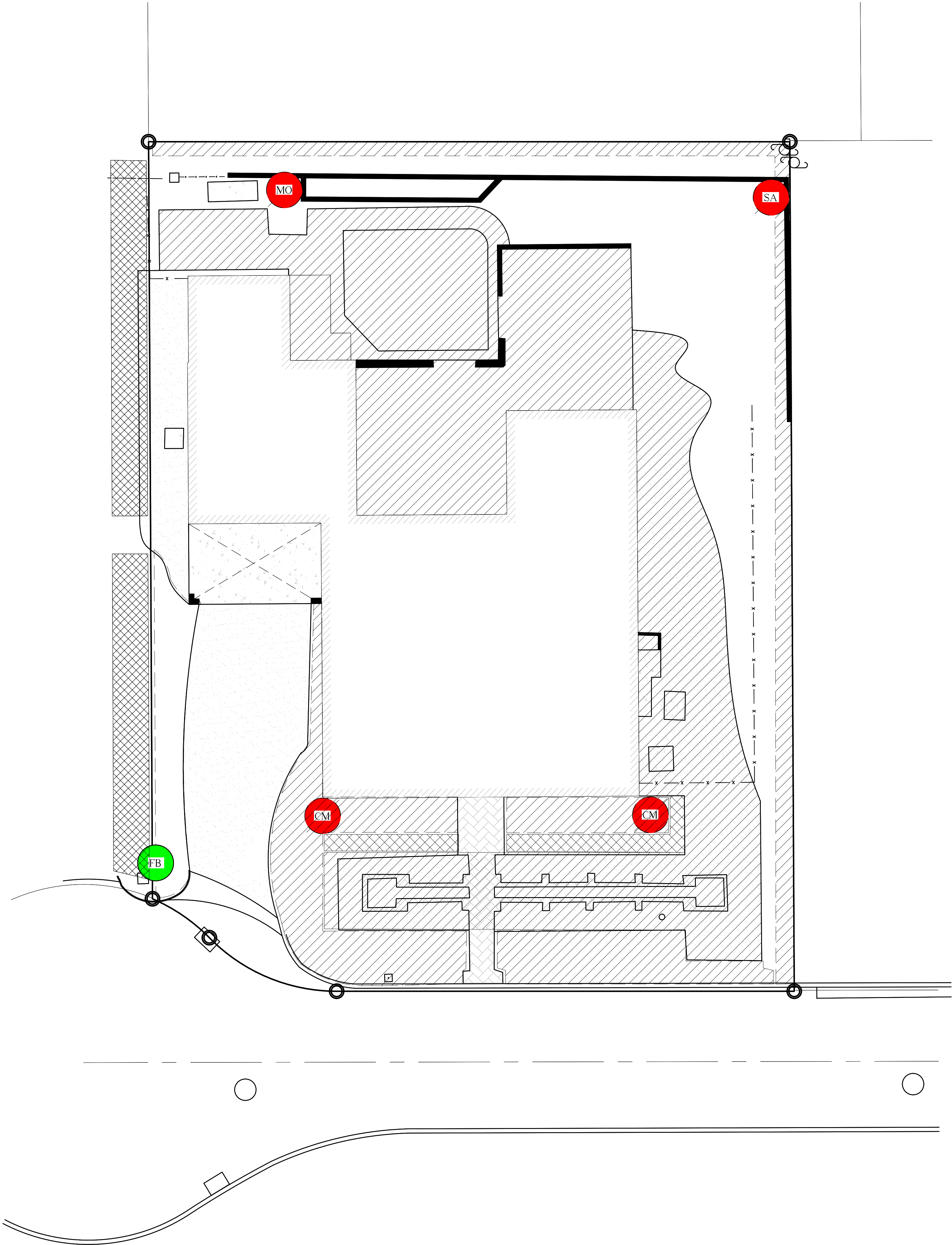
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FL registration #LA 13000223

TITLE Native Calculations		
SCALE 1/8" = 1'-0"	PROJECT NUMBER 2413	
DATE: 03.03.2025	PRJCT MNGR: PEC	CHECKED: .
SEAL  03/03/25	DRAWING NO. N-1 SHEET 1 OF 1	

FIELD VERIFY ALL DIMENSIONS



ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

NOTE:
-EXISTING SOD TO REMAIN
-CONTRACTOR TO REPAIR SOD AS NEEDED UNTIL CONSTRUCTION BEGINS
-SOD: STENOTAPHRUM SECUNDATUM 'FLORATAM'
-LOT SHALL BE SODDED AND IRRIGATED PER TOWN REQUIREMENTS

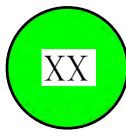
Relocation Key



----- TREES TO REMOVE



----- TREES TO RELOCATE



----- TREES TO REMAIN



----- HARDSCAPE TO BE REMOVED



----- VEGETATION TO BE REMOVED



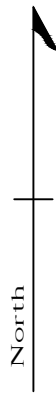
----- VEGETATION TO REMAIN

Abbreviations Key

Abbrtn	Scientific Name
CM	Caryota mitis
FB	Ficus benjamina
MO	Mahogany
SA	Sapodilla

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TITLE		
Pre-Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	D-1	
03/03/25	SHEET 1 OF 2	

ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
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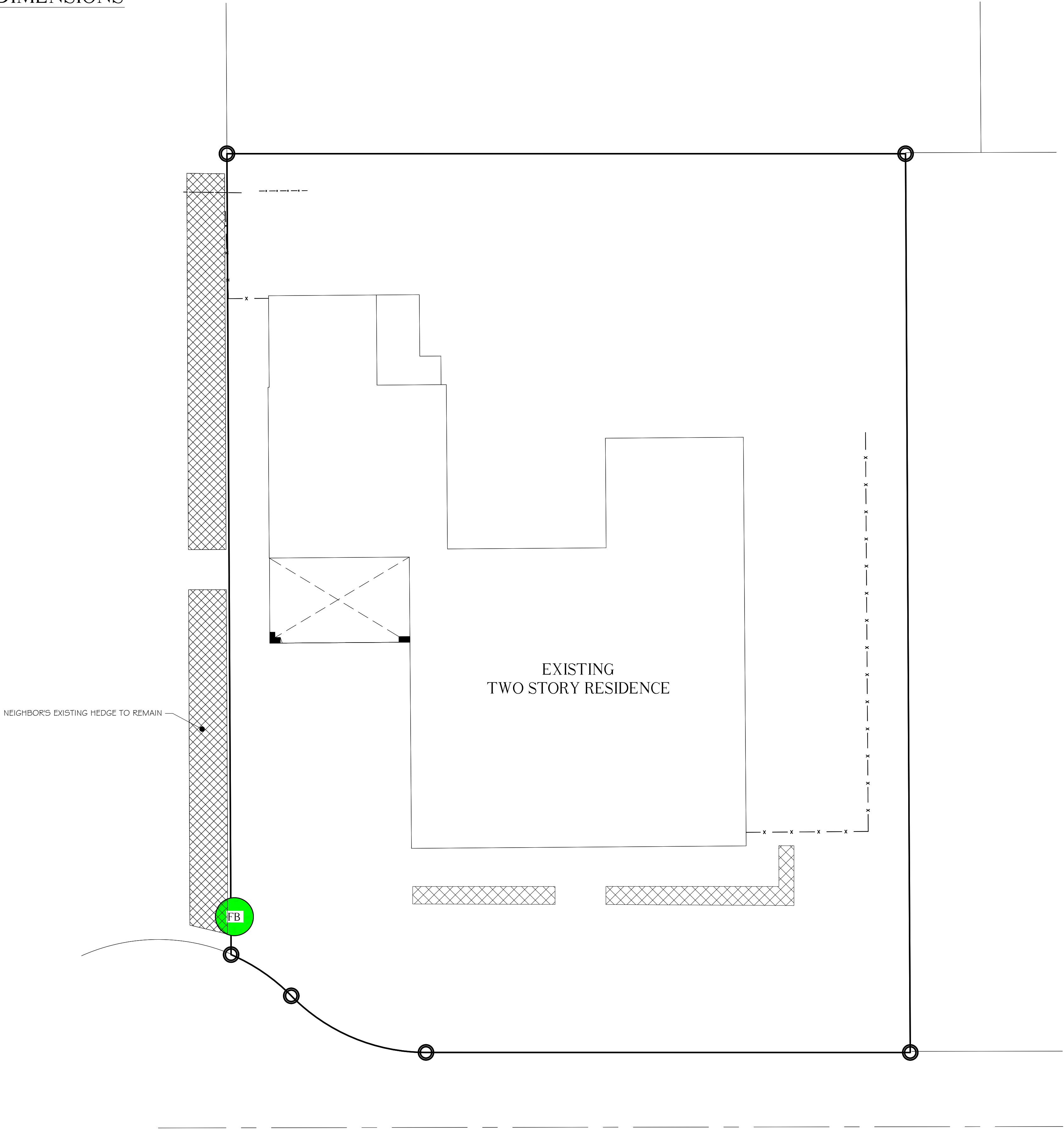
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LAYOUT OF ALL HARDSCAPE MATERIAL
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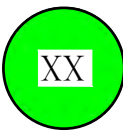
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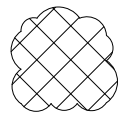
Relocation Key



----- TREES TO REMAIN



----- NEW LOCATION



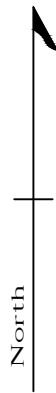
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TITLE		
Post Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	D-2	
03/03/25	SHEET 2 OF 2	

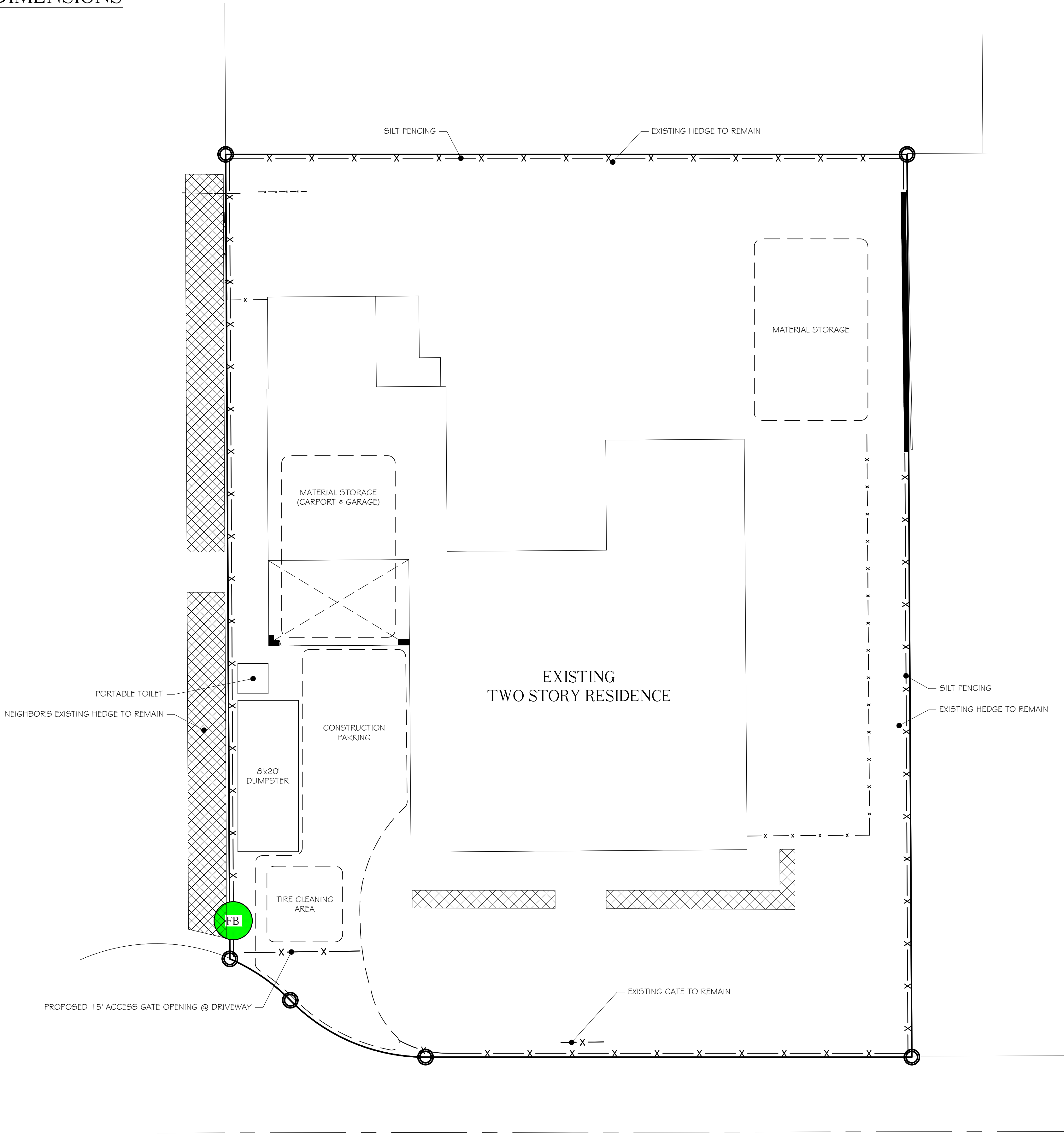
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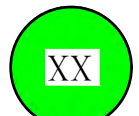
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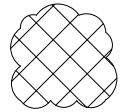
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NOTE:
-EXISTING SOD TO REMAIN
-CONTRACTOR TO REPAIR SOD AS NEEDED UNTIL CONSTRUCTION BEGINS
-SOD: STENOTAPHRUM SECUNDATUM 'FLORATAM'
-LOT SHALL BE SODDED AND IRRIGATED PER TOWN REQUIREMENTS

Relocation Key



..... TREES TO REMAIN



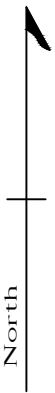
..... VEGETATION TO REMAIN

Abbreviations Key

Abbrtn	Scientific Name
CM	Caryota mitis
FB	Ficus benjamina
MO	Mahogany
SA	Sapodilla

The Krakoff Residence

345 Pendelton Ln
Palm Beach, FL



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NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST 3 BELOW GRADE TO ALLOW FOR PLANTINGS / ROOT BALLS
-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

3	03.03.2025	Final Submittal
2	02.03.2025	2nd Submittal
1	01.15.2025	1st Submittal

DATE	DESCRIPTION
03.03.2025	Final Submittal

Final Submittal
COA-25-0002

SMI

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Construction Staging & Screening Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2413	
DATE:	PRJCT MNGR:	CHECKED:
03.03.2025	PEC	.
SEAL	DRAWING NO.	
	S-1	
03/03/25	SHEET 1 OF 1	

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



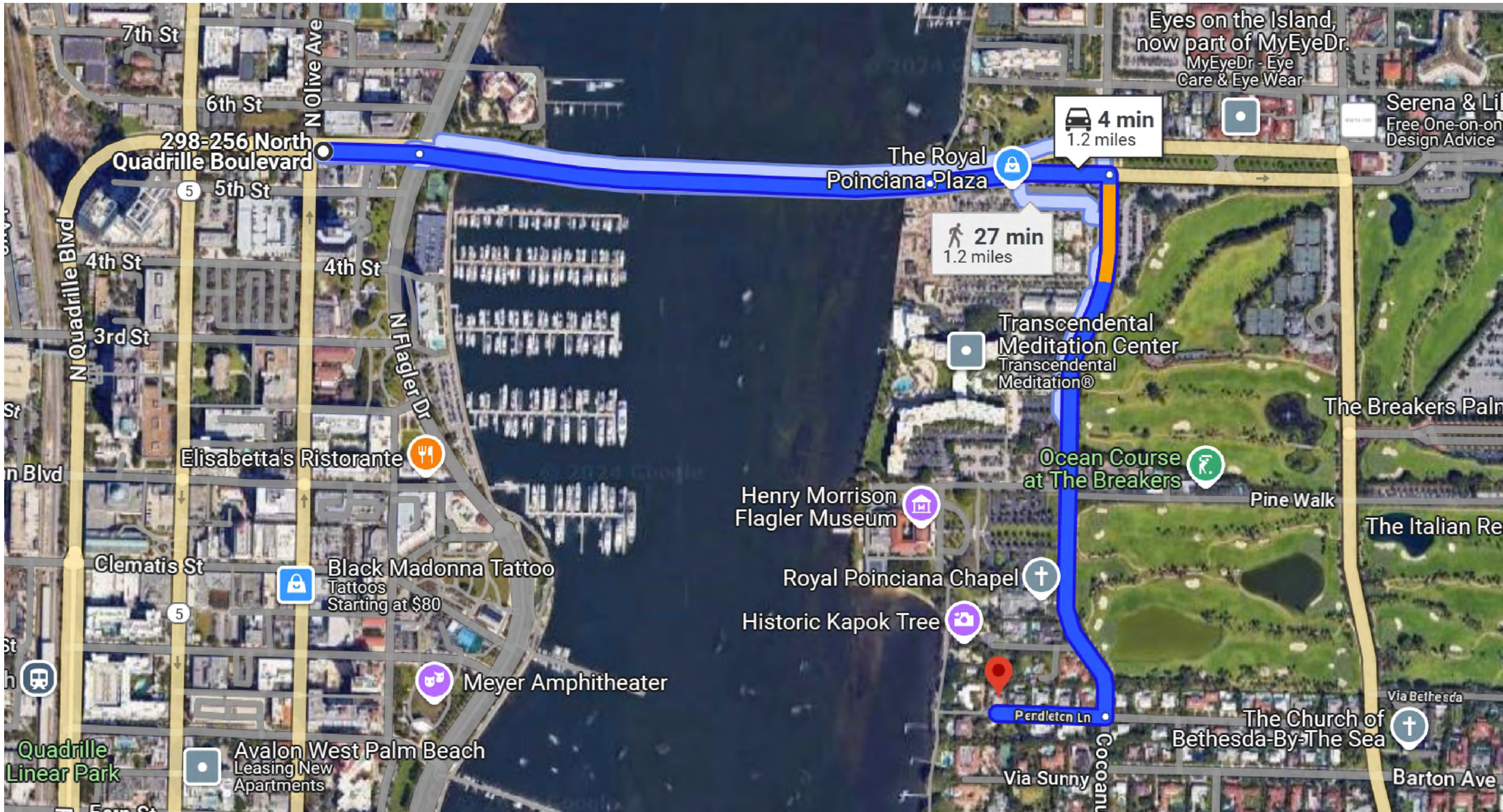
Know what's below
Call before you dig

Proposed Route Map for Truck Traffic

- A. Roadways: Deliveries and workers will be using the Royal Poinciana bridge. Head south on Coconut Row, turn right (west) onto Pendelton Ln.
- B. Maximum truck length= 60 feet
- C. Total number of estimated deliveries generated by project= 60

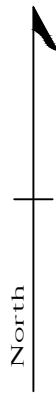
2025

- | | |
|---------------|---|
| 1 Month | Mobilization |
| 2 Months | Site/Building Preparation |
| 1 Month | Roof Truss Delivery and Set Trusses |
| 1.5 Months | Window/Door Deliveries and Installation |
| 0.5 Month | Dry-In |
| 1.5 Months | Interior Framing |
| 2 Months | Rough-In |
| 0.5 Month | Drywall |
| 6 Months | Finishes |
| 2 Months | Landscape & Hardscape Installation |
| +/- 24 Months | Final Inspection |



The
Krakoff
Residence

345 Pendelton Ln
Palm Beach, FL



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REVISIONS	DATE	DESCRIPTION
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Final Submittal
COA-25-0002

SMI

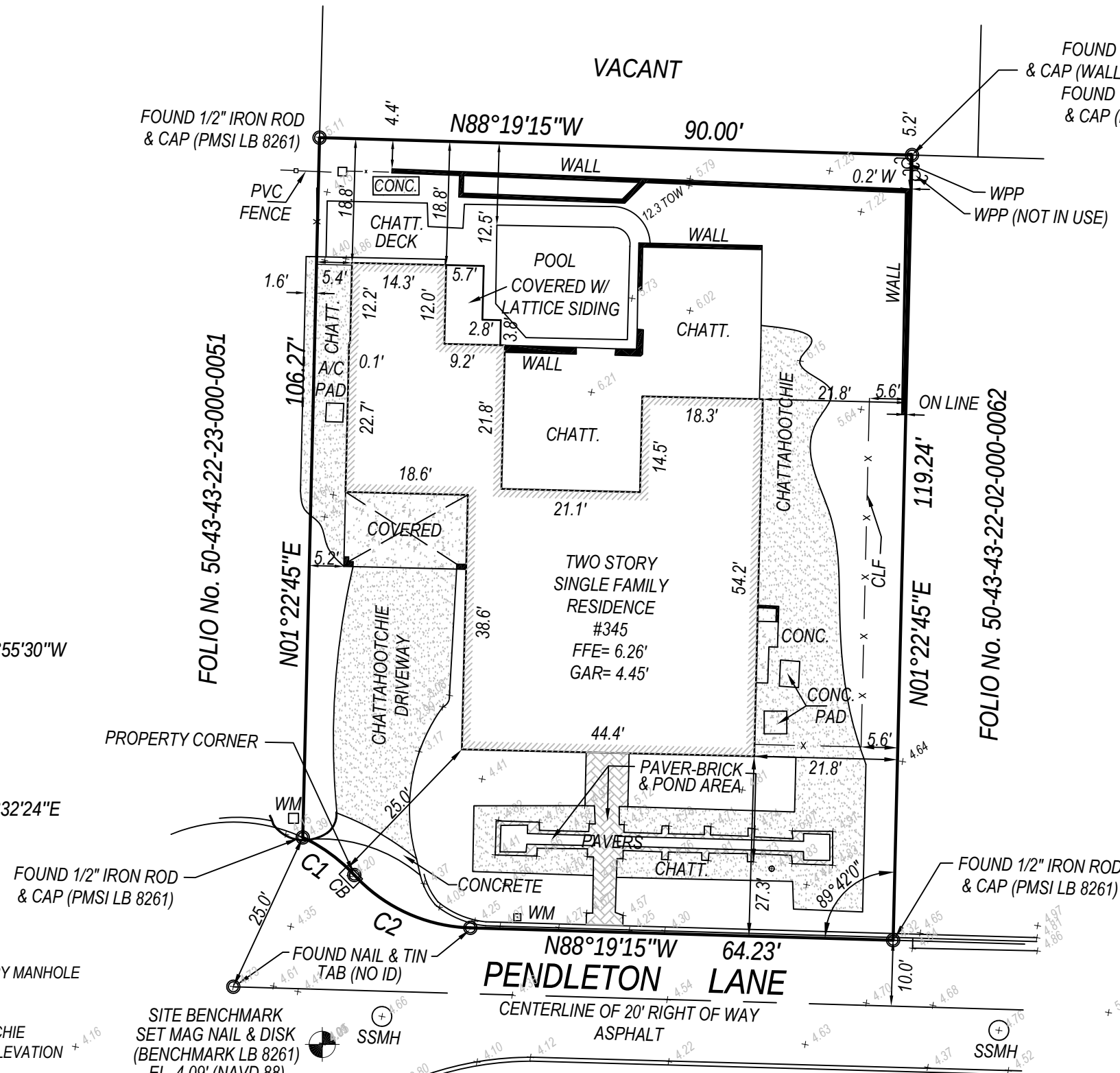
LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Truck Logistics Plan		
SCALE 1/8" = 1'-0"	PROJECT NUMBER: 2413	
DATE: 03.03.2025	PRJCT MNGR: PEC	CHECKED: .
SEAL 	DRAWING NO. TL-1 SHEET 1 OF 1	



Know what's below
Call before you dig

BOUNDARY & TOPOGRAPHIC SURVEY

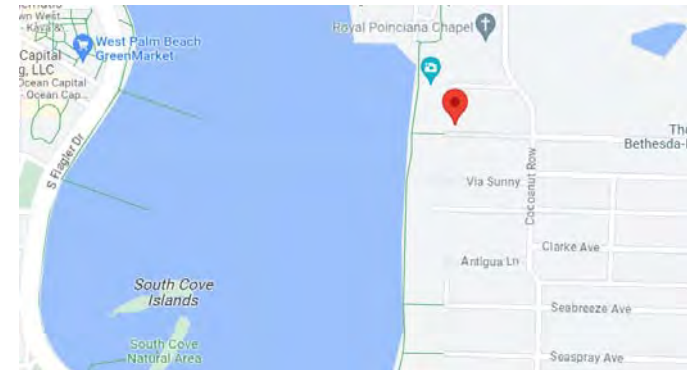
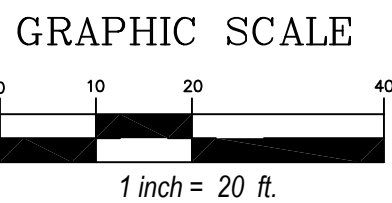


CURVE C1:
Radius=25.00'
Length=9.73'
Delta=22°17'55"
Chord=9.67
Chord Direction=N53°55'30"W

CURVE C2:
Radius=25.00'
Length=19.88'
Delta=45°33'42"
Chord=19.36
Chord Direction=S65°32'24"E

- LEGEND:
- SSMH SEWER SANITARY MANHOLE
 - CB CATCH BASIN
 - CONC CONCRETE
 - CHATT. CHATTAHOOTCHIE
 - FFE FINISH FLOOR ELEVATION
 - GAR GARAGE
 - CLF CHAIN LINK FENCE
 - WPP WOOD POWER POLE
 - PMSI PRINCIPLE MERIDIAN SURVEYING INC.
 - LB LICENSED BUSINESS
 - TOW TOP OF WALL ELEVATION
 - EL. ELEVATION
 - x 10.00 EXISTING SPOT ELEVATION
 - NAVD NORTH AMERICAN VERTICAL DATUM

TOTAL AREA = 10606 sq ft - 0.24 ACRES



PROPERTY ADDRESS:
345 PENDLETON LANE
PALM BEACH, FL 33480

FLOOD ZONE: "X and AE 6"
PANEL NO: 12099C 0583F
DATE: OCTOBER 5, 2017

CERTIFIED TO:

1. DELPHINE KRAKOFF
2. SCOTT A. ELK, P.A.
3. CHICAGO TITLE INSURANCE COMPANY

LEGAL DESCRIPTION:
THE WEST 90 FEET OF LOT 6, COCOANUT GROVE, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGE 24, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA

SURVEYORS' NOTES:

1. I HEREBY CERTIFY THIS SURVEY MEETS STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.050-.052, OF THE FLORIDA ADMINISTRATIVE CODE, ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES.
2. THE SURVEY MAP AND REPORT AND THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR VERIFIED ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
3. UNDERGROUND OR OBSCURED IMPROVEMENTS WERE NOT LOCATED.
4. DIMENSIONS ARE RECORD AND FIELD UNLESS OTHERWISE NOTED.
5. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
6. THIS FIRM'S CERTIFICATE OF AUTHORIZATION NUMBER IS LB 8261.
7. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
8. SURVEY SUBJECT TO RESERVATIONS, RESTRICTIONS, EASEMENTS AND RIGHTS-OF-WAY OF RECORD. (SEE TITLE REVIEW).
9. LOCATION MAP IS GLEANED FROM ONLINE MAPPING SITES AND AND IS ONLY APPROXIMATE.
10. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.

TITLE REVIEW:
A REVIEW OF THE COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE INSURANCE COMPANY, NUMBER 12011400, EFFECTIVE 09-10-24 @ 11:00 PM, WAS REVIEWED BY THIS OFFICE.

SCHEDULE B-II EXCEPTIONS ARE AS FOLLOWS:
EXCEPTIONS 1-5 ARE GENERAL EXCEPTIONS AND ARE NOT DEPICTED
EXCEPTION 6, PLAT BOOK 18, PAGE 24, DEPICTED
EXCEPTION 7, DEED BOOK 615, PAGE 259, AFFECTS UNPLOTTABLE
EXCEPTION 8, REPEAT OF #7
EXCEPTION 9, ORB 35136, PAGE 595, NO PLOTTABLE AFFECTS

PRINCIPAL MERIDIAN
SURVEYING, Inc.
LICENSED BUSINESS No. 8261
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764

SIGNED:
DOUG WALKER
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE NO. 7211

23-0684	UPDATE	10-15-24	AK	10-23-23
	UPDATE / CHATT.	03-12-24	DPK	DATE
	UPDATE / TOPO	1-5-24	DPK	
	BOUNDARY SURVEY		CD	
	PURPOSE		FIELD	DRAFT
			JOE	