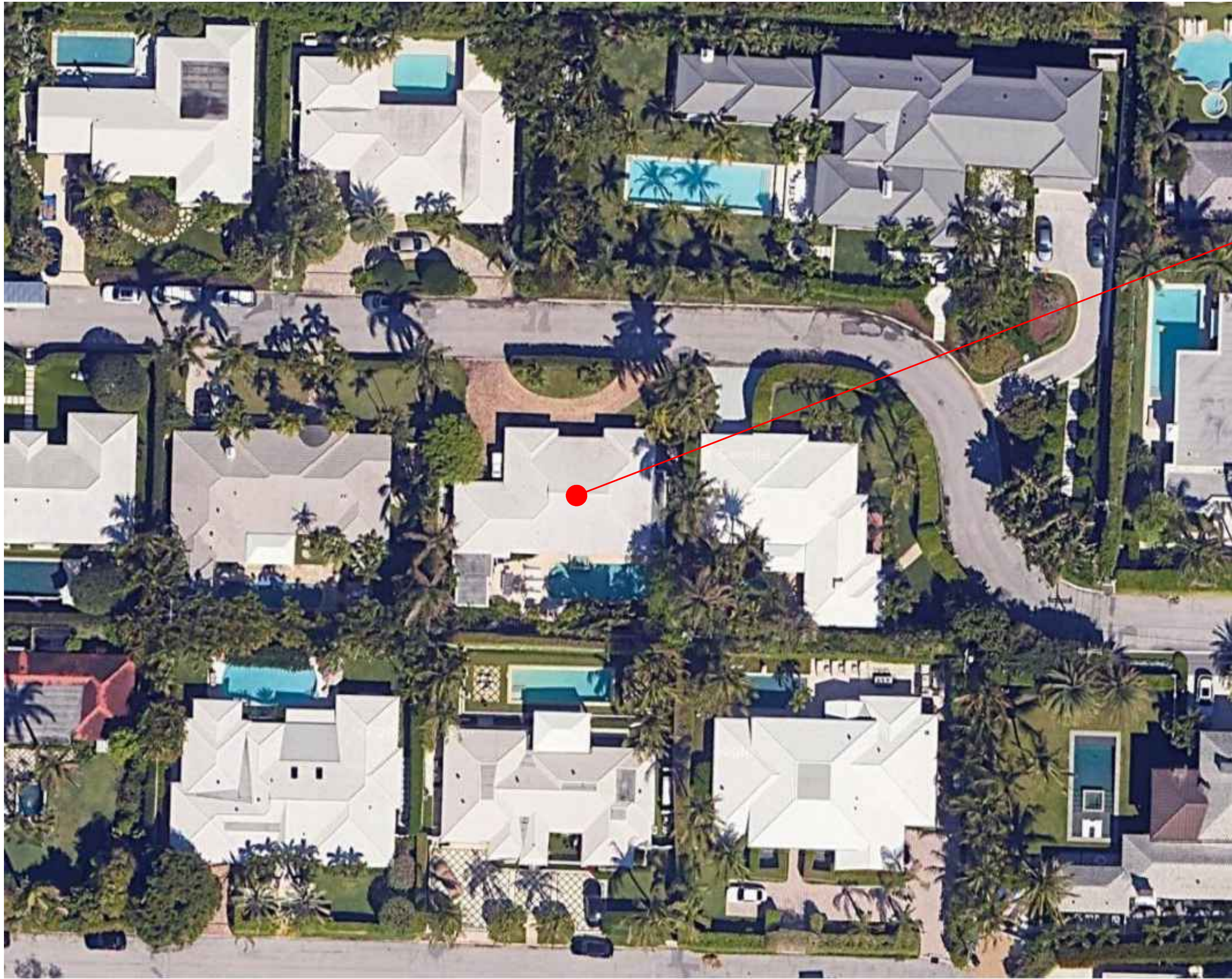


Renovation

210 VIA LINDA

210 Via Linda, Palm Beach, FL 33480



SUBJECT
PROPERTY

SHEET INDEX

- CVR - COVER
- SUR0.0 - SURVEY
- SUR1.0 - VICINITY LOCATION MAP
- SUR1.1 - EXISTING BUILDING PHOTOS
- SUR1.2 - ADJACENT BUILDING PHOTOS
- SUR1.3 - ZONING LEGEND
- SP1.0 - EXISTING SITE PLAN
- SP1.1 - PROPOSED SITE PLAN
- A1.0 - EXISTING FLOOR PLAN
- A1.1 - PROPOSED FLOOR PLAN
- A2.0 - EXISTING ROOF PLAN
- A2.1 - PROPOSED ROOF PLAN
- A3.0 - EXISTING AND PROPOSED SOUTH ELEVATIONS
- A3.1 - EXISTING AND PROPOSED EAST ELEVATIONS
- A3.2 - EXISTING AND PROPOSED NORTH ELEVATIONS
- A3.3 - EXISTING AND PROPOSED WEST ELEVATIONS

SCOPE OF WORK

- EXTERIOR WINDOWS AND DOORS IN-KIND REPLACEMENT FOR IMPACT-RATED
- NEW EXTENSION OF GARAGE AREA
- NEW EXTENSION OF ROOF

SECOND SUBMITTAL SET
12.16.2024

**Bartholemew
+Partners**

THE PLAZA CENTER
251A ROYAL PALM WAY, PENTHOUSE 600A
PALM BEACH, FLORIDA 33480

T: 561 461 0108
F: 561 461 0106

FL LIC. # AA26003943

WWW.BARTHOLEMEWPARTNERS.COM

KYLE BARTHOLEMEW FANT
ARCHITECT #AR99255
INTERIOR DESIGNER #ID6422

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INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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Project no: 24.09.149
Date: 11.20.2024
Drawn by: P. Torres / V. Antico
Project Manager: F. Rodriguez

210 Via Linda

Project Address:
210 Via Linda,
Palm Beach, FL 33480

SHEET NAME

COVER

SHEET NUMBER

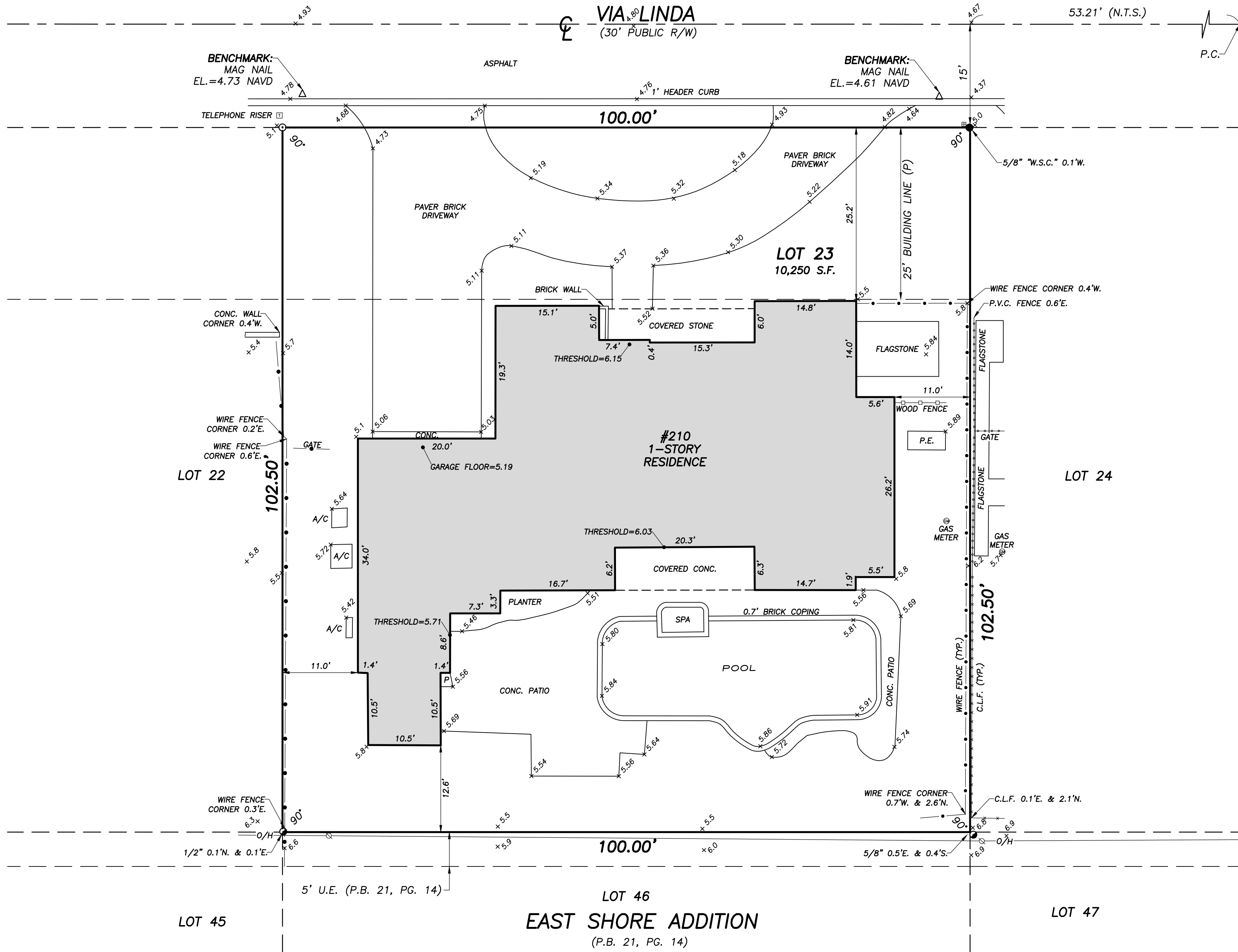
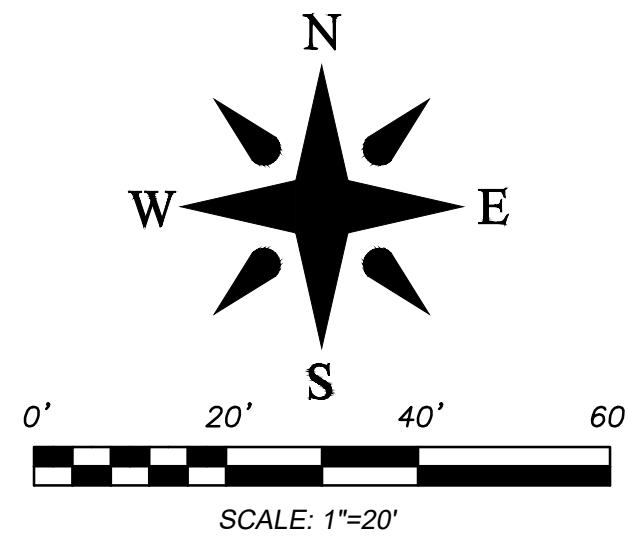
CVR

ARC-24-0127
ZON-24-0075

LEGEND

A	= ARC LENGTH
A/C	= AIR CONDITIONING
A.E.	= ACCESS EASEMENT
A.K.A.	= ALSO KNOWN AS
ASPH.	= ASPHALT
B.F.P.	= BACKFLOW PREVENTOR
BLDG.	= BUILDING
B.M.	= BENCHMARK
B.O.C.	= BACK OF CURB
B.O.W.	= BACK OF WALK
(C)	= CALCULATED
CATV	= CABLE ANTENNA TELEVISION
C.B.	= CHORD BEARING
C.B.S.	= CONCRETE BLOCK STRUCTURE
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE
CH	= CHORD
C.L.F.	= CHAIN LINK FENCE
CLR.	= CLEAR
C.M.P.	= CORRUGATED METAL PIPE
CONC.	= CONCRETE
(D)	= DESCRIPTION DATUM
D.B.	= DEED BOOK
D.C.D.A.	= DOUBLE CHECK DETECTOR ASSEMBLY
D.E.	= DRAINAGE EASEMENT
D.H.	= DRILL HOLE
D/W	= DRIVEWAY
EL.	= ELEVATION
ENC.	= ENCROACHMENT
E.O.P.	= EDGE OF PAVEMENT
E.O.W.	= EDGE OF WATER
ESMT	= EASEMENT
F.D.C.	= FIRE DEPARTMENT CONNECTION
F.F.	= FINISHED FLOOR
FND.	= FOUND
F.O.C.	= FACE OF CURB
I.D.	= INSIDE DIAMETER
INV.	= INVERT
I.T.W.C.D.	= INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E.	= LIMITED ACCESS EASEMENT
L.B.	= LICENSE BOARD
L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT
(M)	= FIELD MEASUREMENT
M.H.	= MANHOLE
M.H.W.L.	= MEAN HIGH WATER LINE
MIN.	= MINIMUM
M.L.W.L.	= MEAN LOW WATER LINE
N.A.V.D.	= NORTH AMERICAN VERTICAL DATUM
N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D.	= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S.	= NOT TO SCALE
O.A.	= OVERALL
O.D.	= OUTSIDE DIAMETER
O/H	= OVERHEAD UTILITY LINE
O.R.B.	= OFFICIAL RECORDS BOOK
O/S	= OFFSET
P	= PLANTER
(P)	= PLAT DATUM
P.B.	= PLAT BOOK
P.B.C.	= PALM BEACH COUNTY
P.C.	= POINT OF CURVATURE
P.C.C.	= POINT OF COMPOUND CURVATURE
P.E.	= POOL EQUIPMENT
PS.	= PAGE
P.I.	= POINT OF INTERSECTION
P/O	= PART OF
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
P.R.C.	= POINT OF REVERSE CURVATURE
P.R.M.	= PERMANENT REFERENCE MONUMENT
PROP.	= PROPOSED
P.T.	= POINT OF TANGENCY
PVMT	= PAVEMENT
(R)	= RADIAL
R	= RADIUS
RGE.	= RANGE
R.P.B.	= ROAD PLAT BOOK
R.P.Z.	= REDUCED PRESSURE ZONE
R/W	= RIGHT OF WAY
(S)	= SURVEY DATUM
S.B.	= SETBACK
SEC.	= SECTION
S/D	= SUBDIVISION
S.F.	= SQUARE FEET
S.F.W.M.D.	= SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D.	= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R.	= STATE ROAD
STA.	= STATION
STY.	= STORY
SW	= SIDEWALK
T.O.B.	= TOP OF BANK
T.O.C.	= TOP OF CURB
T.O.W.	= TOP OF WALL
TWP.	= TOWNSHIP
TYP.	= TYPICAL
U/C	= UNDER CONSTRUCTION
U.E.	= UTILITY EASEMENT
U.R.	= UNRECORDED
W.C.	= WITNESS CORNER
W.M.E.	= WATER MANAGEMENT EASEMENT
W.M.M.E.	= WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T.	= WATER MANAGEMENT TRACT
YD	= YARD DRAIN
⊕	= BASELINE
⊕	= CENTERLINE
▲	= CENTRAL ANGLE/DELTA
■	= CONCRETE MONUMENT FOUND (AS NOTED)
□	= CONCRETE MONUMENT SET (LB #4569)
●	= ROD & CAP FOUND (AS NOTED)
○	= 5/8" IRON ROD & CAP SET (LB #4569)
○	= IRON PIPE FOUND (AS NOTED)
●	= IRON ROD FOUND (AS NOTED)
●	= NAIL FOUND (AS NOTED)
●	= NAIL & DISK FOUND (AS NOTED)
●	= MAG NAIL & DISK SET (LB #4569)
⊕	= PROPERTY LINE
⊕	= UTILITY POLE
⊕	= FIRE HYDRANT
⊕	= WATER METER
⊕	= WATER VALVE
⊕	= LIGHT POLE
⊕	= CABLE TV RISER
⊕	= ELECTRIC BOX
⊕	= GAS METER
⊕	= SANITARY MANHOLE
⊕	= YARD DRAIN

Boundary Survey For: ROBERT L. PINKNEY & DIANA M. WOOD



NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

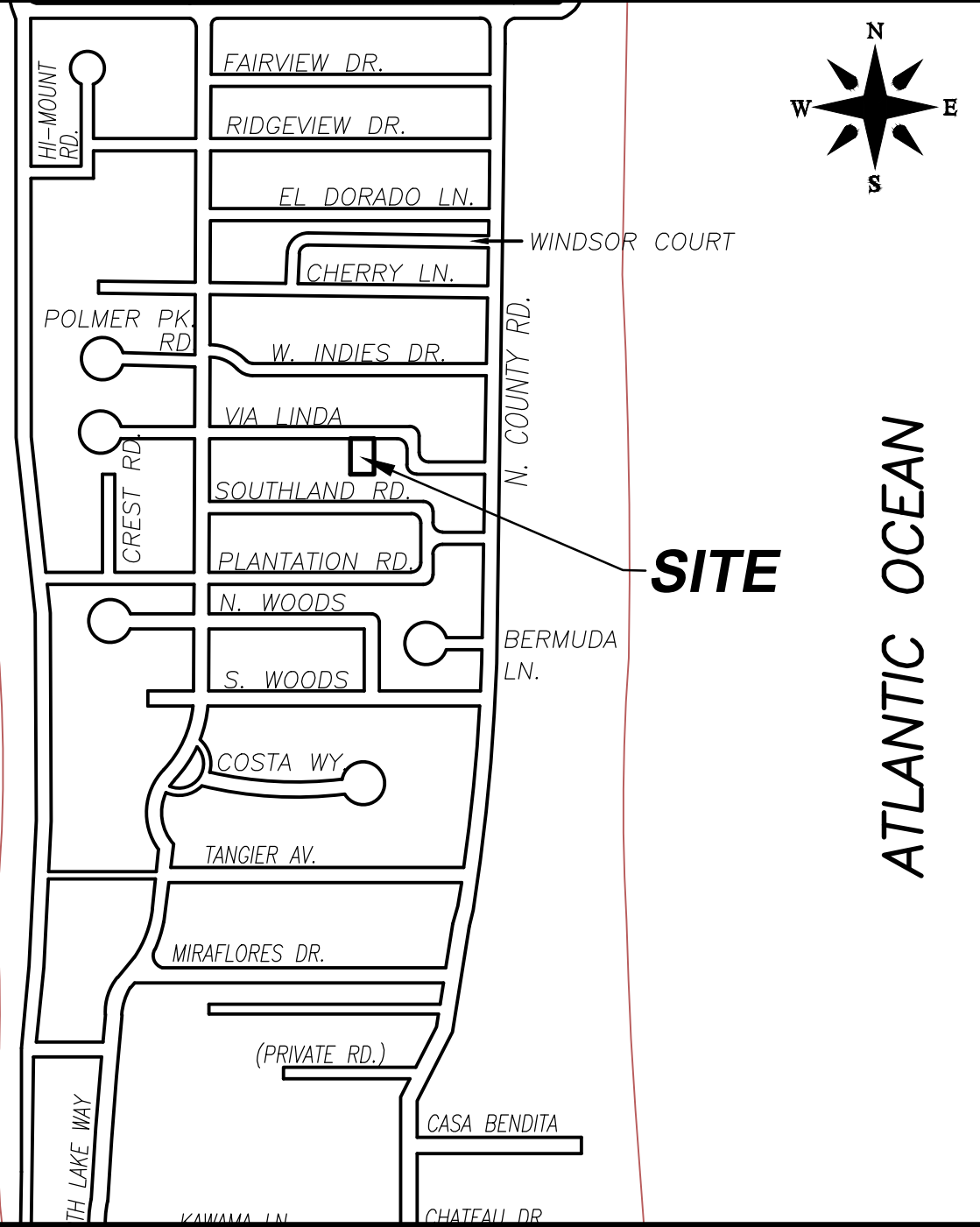
CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 11/13/2024

James G. Peden, Jr.
Professional Surveyor and Mapper
Florida Certificate No. 6122

LAKE WORTH LAGOON



VICINITY SKETCH
(NOT TO SCALE)

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

ROBERT L. PINKNEY & DIANA M. WOOD

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

210 Via Linda
Palm Beach, FL 33480

LEGAL DESCRIPTION:

Lot 23, ALLARD SUBDIVISION, according to the Plat thereof as recorded in Plat Book 23, Page 186, of the Public Records of Palm Beach County, Florida.

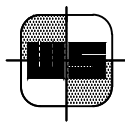
FLOOD ZONE:

This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0581F, dated 10/05/2017.

REVISIONS:

Boundary Survey For:

ROBERT L. PINKNEY &
DIANA M. WOOD



WALLACE SURVEYING
A DIVISION OF LANDTEC CONSTRUCTION
SURVEYING, LLC, LB #6598
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 (561) 840-4551

FIELD:	B.M.	JOB No.:	228596	F.B.:	PB365	PG.:	54
OFFICE:	S.W.	DATE:	11/13/24	DWG. No.:	228596		
C'K'D.:	J.P.	REF.:	228596.DWG	SHEET:	1	OF	1



1 VICINITY LOCATION MAP



2 LOCATION MAP

ARC-24-0127
ZON-24-0075

Bartholemew + Partners

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PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
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F: 561 461 0106
FL LIC. # AA26003943
BARTHOLEMEEWPARTNERS.COM

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # 054622
AIA # 30425933 NCARB # 875029

Revisions:

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Date: 11.20.2024
Drawn by: P. Torres / V. Antico
Project Manager: F. Rodriguez

210 Via Linda

Project Address:
210 Via Linda,
Palm Beach, FL 33480

SHEET NAME

VICINITY LOCATION MAP

SHEET NUMBER

SUR1.0

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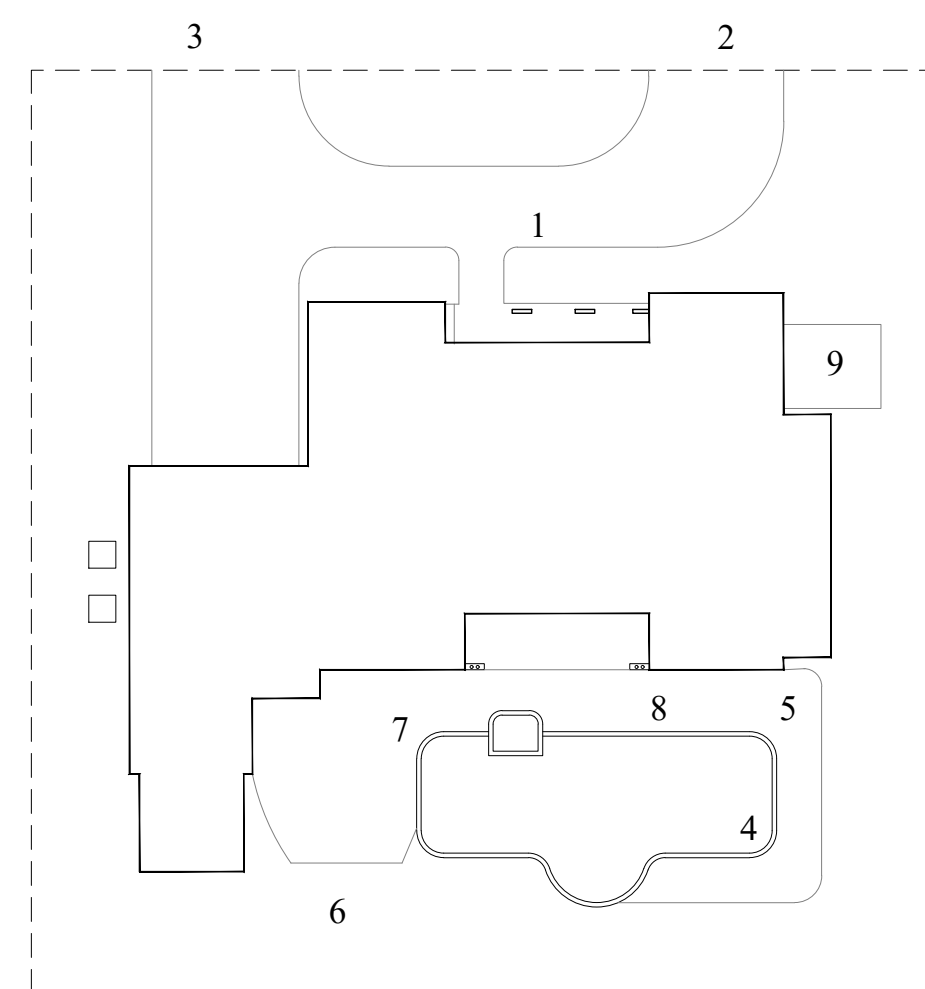
1



2



3



SITE PLAN



4



5



6



7



8



9

1. EXISTING CONDITIONS

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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210 Via Linda

Project Address:
210 Via Linda,
Palm Beach, FL 33480

SHEET NAME

EXISTING BUILDING
PHOTOS

SHEET NUMBER

SUR1.1

ARC-24-0127		
ZON-24-0075		

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA



Revisions:

Project no: 24.09.149
Date: 11.20.2024
Drawn by: P. Torres / V. Antico
Project Manager: F. Rodriguez

210 Via Linda

Project Address:
210 Via Linda,
Palm Beach, FL 33480

SHEET NAME

ADJACENT BUILDING
PHOTOS

SHEET NUMBER

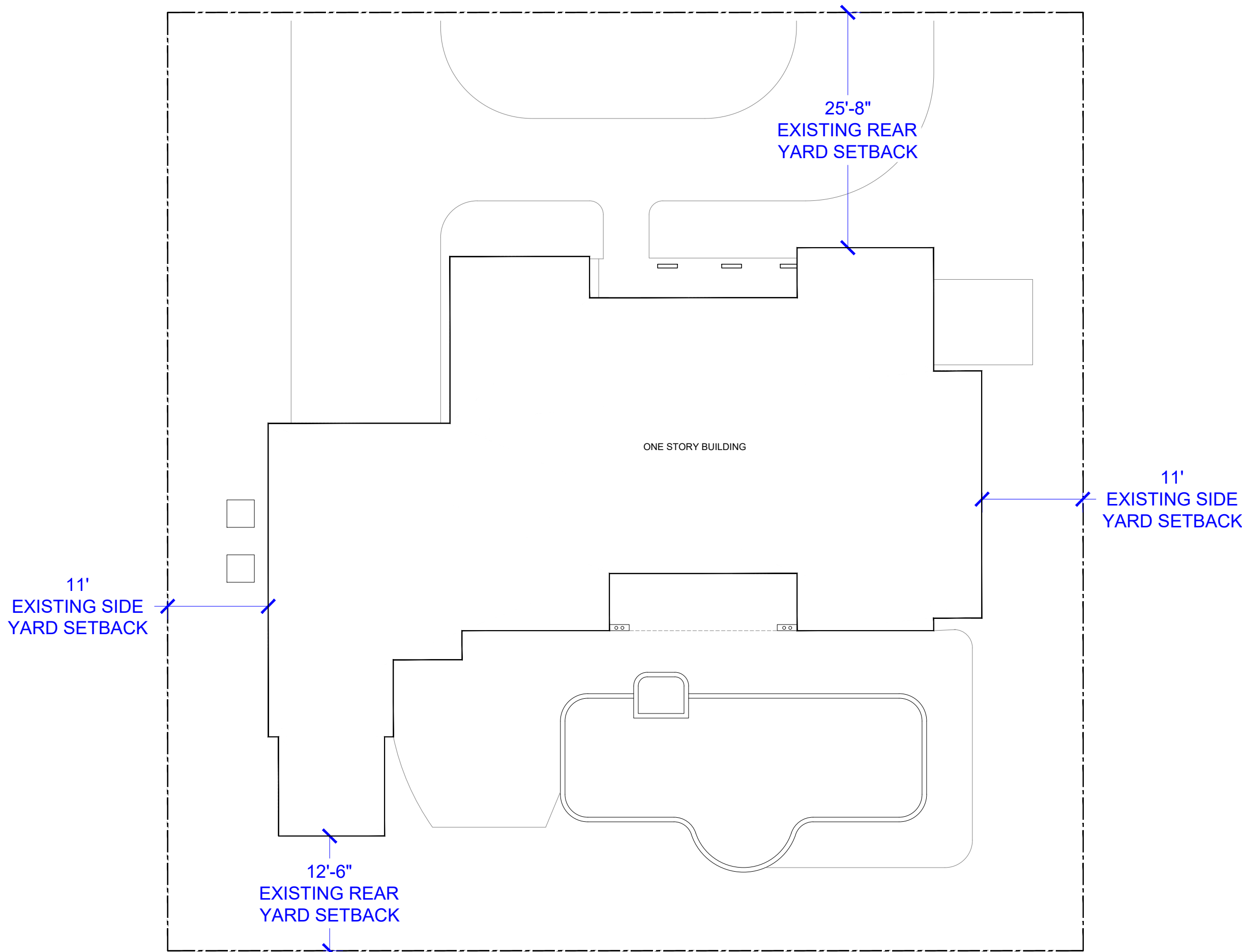
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ARC-24-0127		
ZON-24-0075		



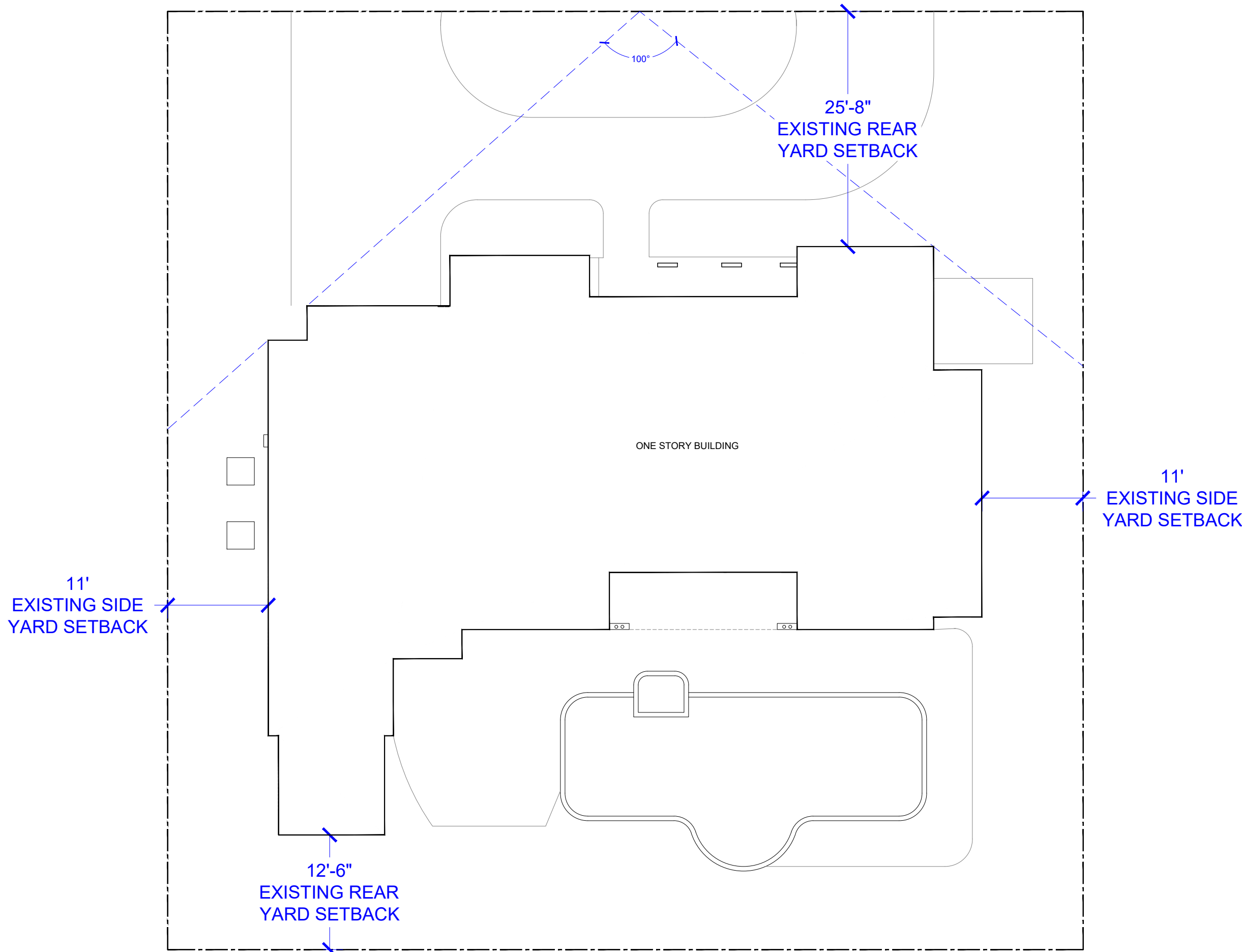
Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com



EXISTING SITE PLAN

SCALE: 3/32" = 1'



PROPOSED SITE PLAN

SCALE: 3/32" = 1'

Line #	Zoning Legend			
1	Property Address:	210 Via Linda		
2	Zoning District:	R-B ZONING		
3	Lot Area (sq. ft.):	10,250 SF		
4	Lot Width (W) & Depth (D) (ft.):	100' (D) & 102' (W)		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE-FAMILY		
6	FEMA Flood Zone Designation:	ZONE AE		
7	Zero Datum for point of meas. (NAVD)	N/A		
8	Crown of Road (COR) (NAVD)	N/A		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	40% - 4,100 SF	29.8% - 3,055 SF	32.09% - 3,290 SF
11	Enclosed Square Footage (1st & 2nd FL., Basement, Accs. Structure, etc)	N/A	2,842 SF	3,079 SF
12	*Front Yard Setback (Ft.)	25'- 0"	25'- 8"	N/C
13	* Side Yard Setback (1st Story) (Ft.)	12'- 6"	11'- 0"	N/A
14	* Side Yard Setback (2nd Story) (Ft.)	15'- 0"	N/A	N/C
15	*Rear Yard Setback (Ft.)	10'- 0" 1-STORY 15'- 0" 2-STORY	12'- 6"	N/C
16	Angle of Vision (Deg.)	N/A	N/A	N/A
17	Building Height (Ft.)	14'	8'- 4"	N/C
18	Overall Building Height (Ft.)	22'	14'- 7"	N/C
19	Cubic Content Ratio (CCR) (R-B ONLY)	41,000 CF - 4.00 CCR	25,448 CF	27,405 CF
20	** Max. Fill Added to Site (Ft.)	N/A	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	7.00' NAVD	N/A	N/A
22	Base Flood Elevation (BFE)(NAVD)	6.00 NAVD	N/A	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	N/A	N/A	N/A
24	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill [\[Sec. 134-1600\]](#)

*** Provide Native plant species info per
category as required by [Ord. 003-2023](#) on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

REV BF 20230626

KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # 054622
AIA # 30425933 NCARB # 875029

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Project Manager: F. Rodriguez

210 Via Linda

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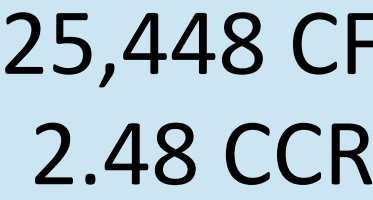
SHEET NAME

ZONING LEGEND

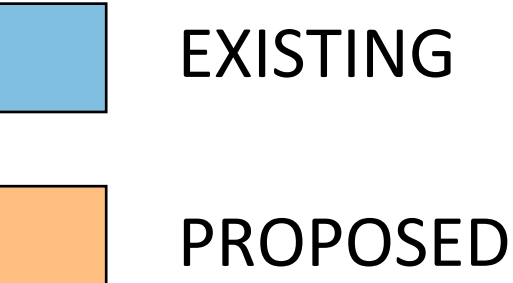
SHEET NUMBER

SUR1.3

ARC-24-0127
ZON-24-0075



EXISTING CUBIC CONTENT DIAGRAM



PROPOSED CUBIC CONTENT DIAGRAM

210 Via Linda

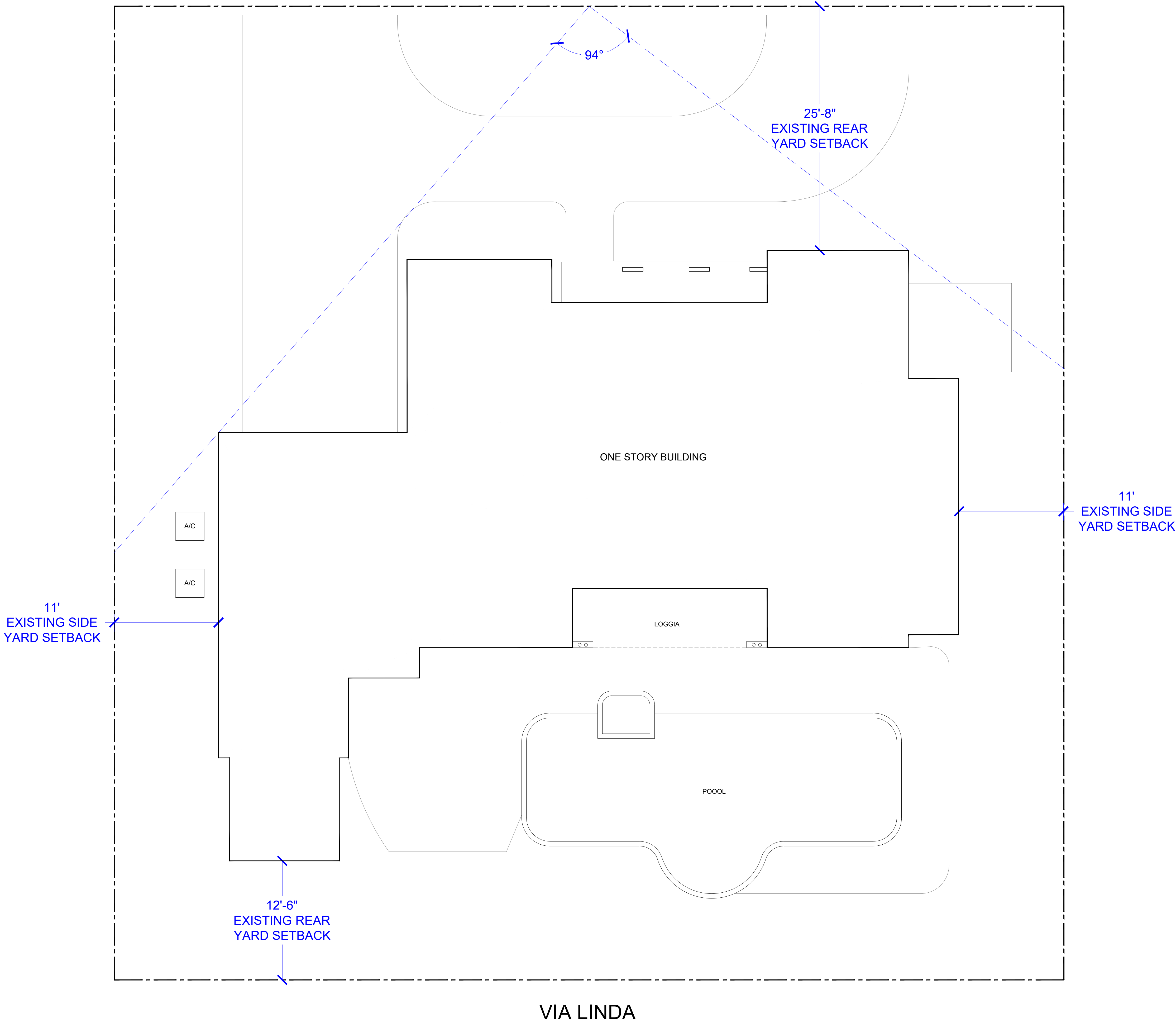
SHEET NAME

ZONING LEGEND

SHEET NUMBER

SUR1.4

ARC-24-0127
ZON-24-0075



EXISTING SITE PLAN
SCALE: 3/16" = 1'

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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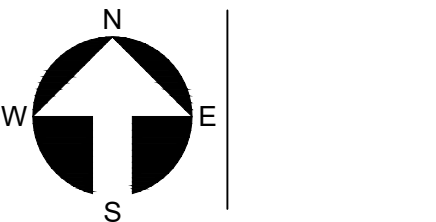
Project Address:
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Palm Beach, FL 33480

SHEET NAME

EXISTING SITE PLAN

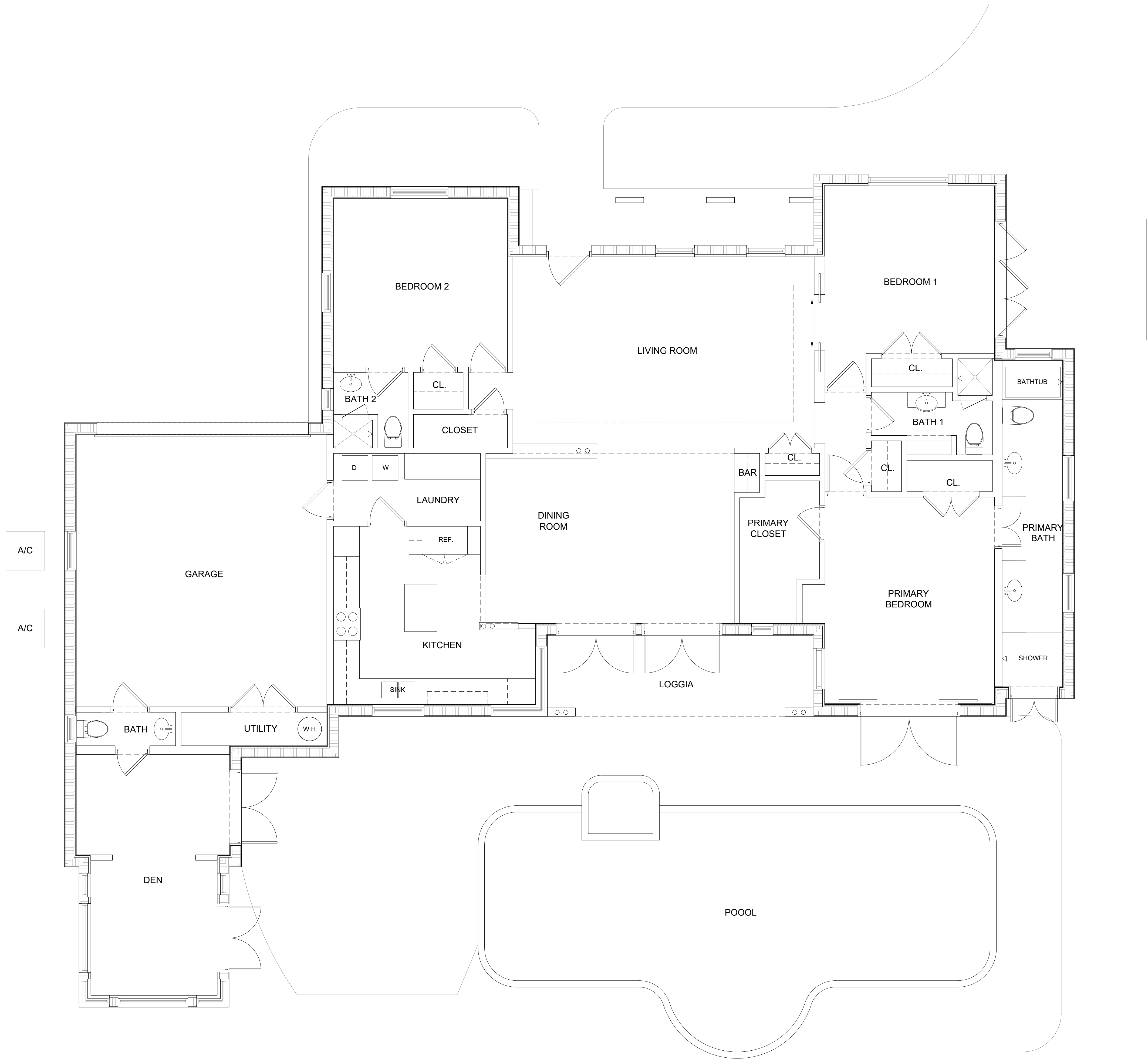
SHEET NUMBER

SP1.0



ARC-24-0127
ZON-24-0075





EXISTING FLOOR PLAN

SCALE: 1/4" = 1'

Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
251A ROYAL PALM WAY, PENTHOUSE 600A
PALM BEACH, FLORIDA 33480
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Project Manager: F. Rodriguez

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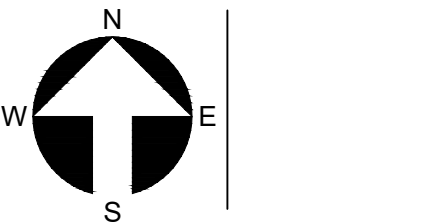
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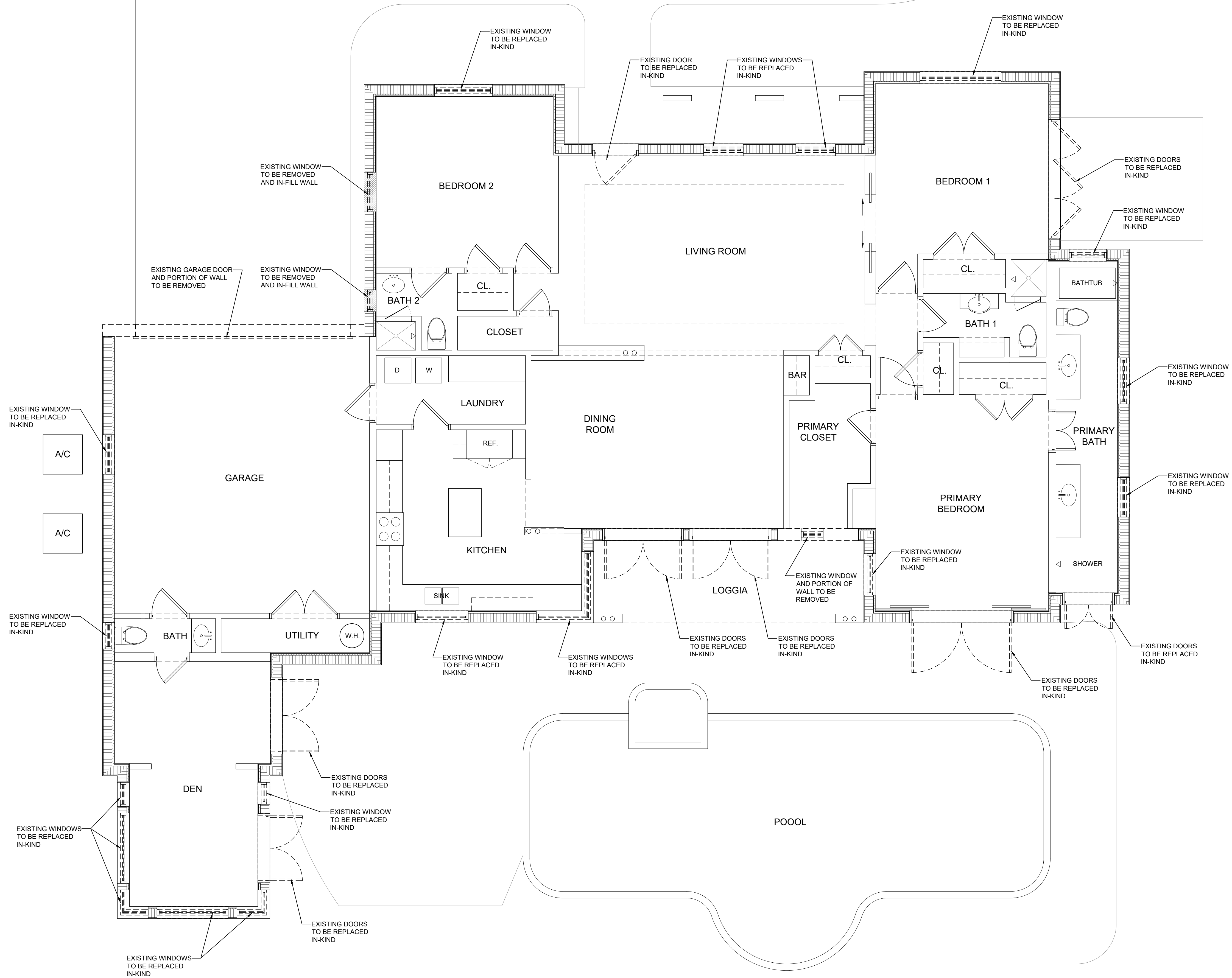
EXISTING FLOOR PLAN

SHEET NUMBER

A1.0



ARC-24-0127
ZON-24-0075



1 EXISTING / DEMOLITION FLOOR PLAN
SCALE: 1/4" = 1"

KYLE B FANT ARCHITECT # AR99255
INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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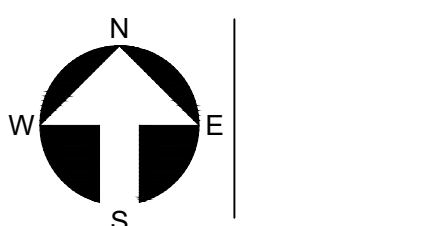
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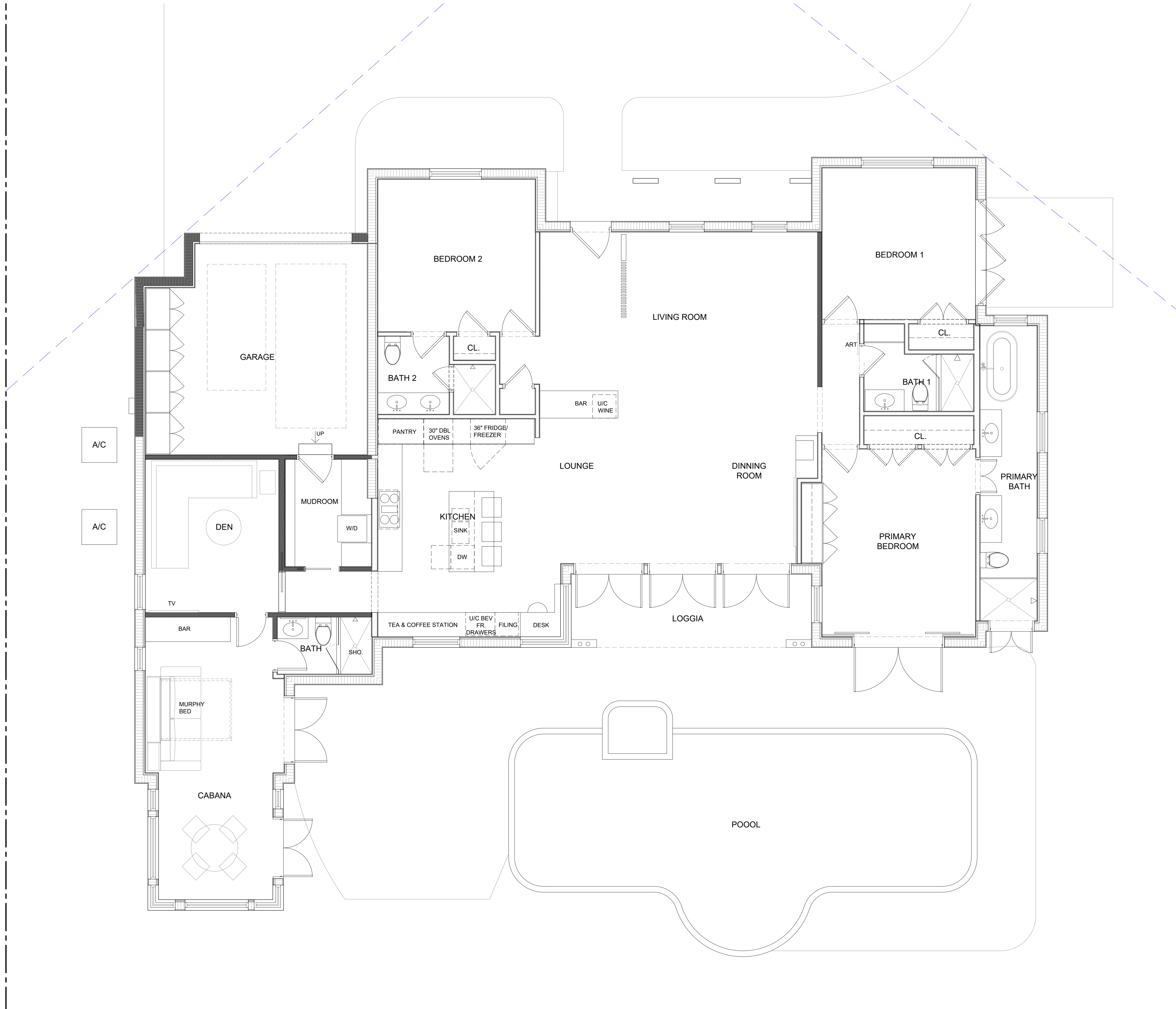
EXISTING / DEMOLITION
FLOOR PLAN

SHEET NUMBER

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PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'

ARC-24-0127
ZON-24-0075

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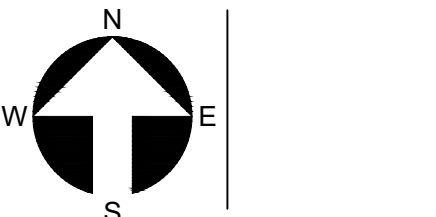
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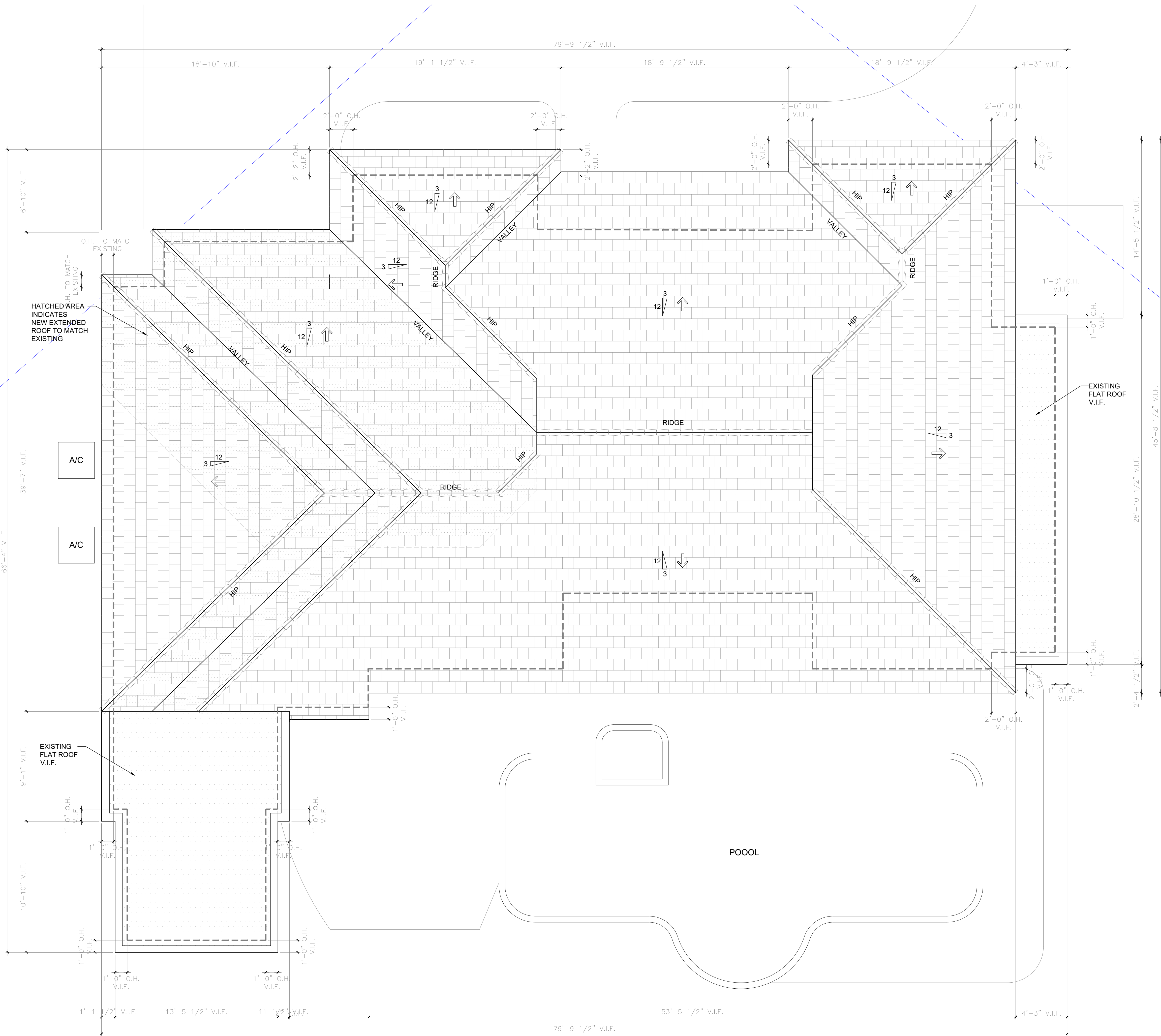
PROPOSED FLOOR PLAN

SHEET NUMBER

A1.1

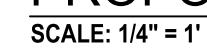
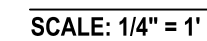


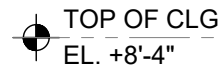




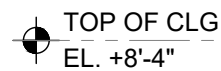
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'

ARC-24-0127
ZON-24-0075

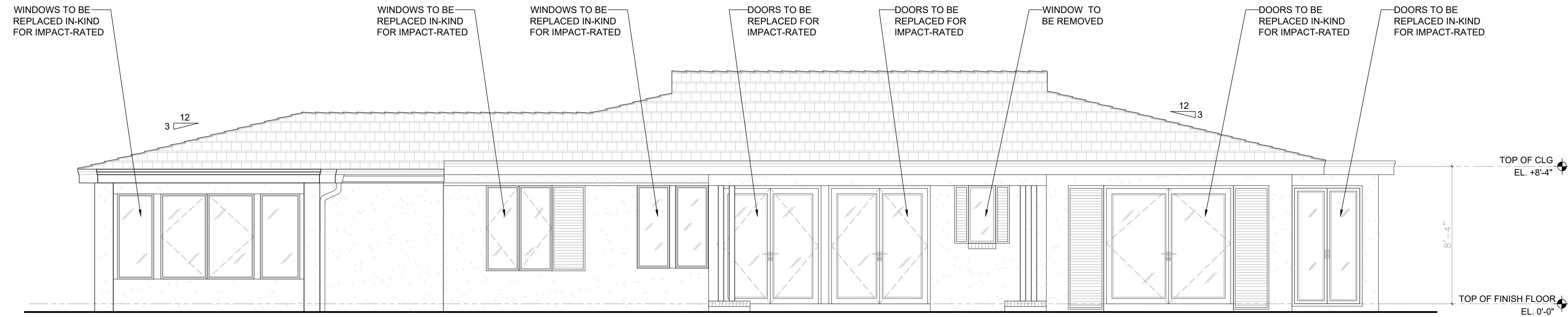




SCALE: 1/4" = 1'

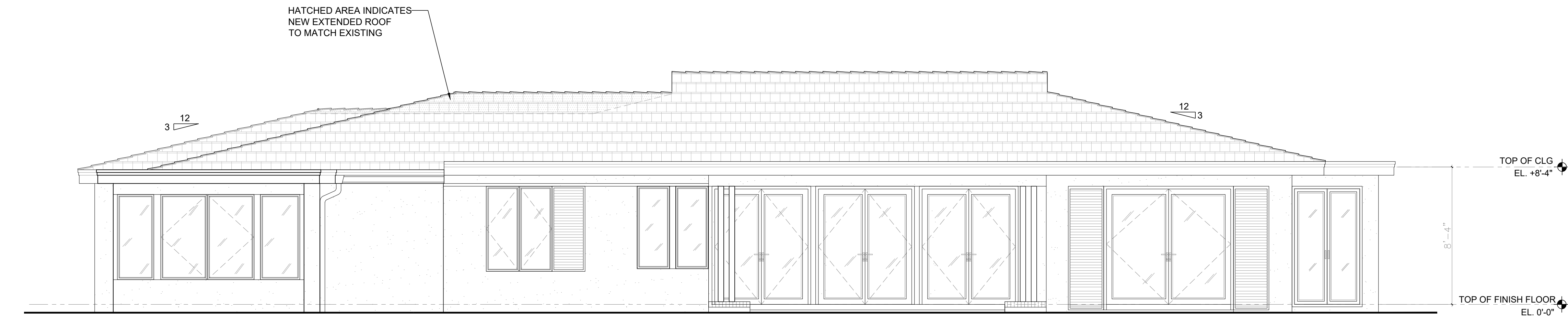


SCALE: 1/4" = 1'



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'

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ELEVATIONS

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A3.2

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EXISTING STREETVIEW PERSPECTIVE



PROPOSED STREETVIEW PERSPECTIVE

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EXISTING FRONT PERSPECTIVE



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EXISTING FRONT GARAGE PERSPECTIVE



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