

STORMWATER RETENTION CALCULATIONS
(BASIN A)

A. SITE INFORMATION

Total Property Area = 9,710 sq.ft.
Drainage Basin A Area = 5,789 sq.ft.
Drainage Area Impervious Surface = 2,918 sq.ft.
Drainage Area Pervious Surface = 2,871 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$) where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 2,918 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 487 \text{ cu.ft.}$
Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 2,871 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 96 \text{ cu.ft.}$
Total Volume to be Retained = 583 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #A-1			
L	=	Total Length of Trench Provided	= 34 ft
W	=	Trench Width	= 6 ft
K	=	Hydraulic Conductivity	= 0.00005 cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	= 3.50 ft
DU	=	Un-Saturated Trench Depth	= 3.00 ft
DS	=	Saturated Trench Depth	= 0.00 ft
V	=	Volume Treated	= 512 cu.ft.
Exfiltration Trench #A-2			
L	=	Total Length of Trench Provided	= 50 ft
W	=	Trench Width	= 4 ft
K	=	Hydraulic Conductivity	= 0.00005 cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	= 3.50 ft
DU	=	Un-Saturated Trench Depth	= 3.00 ft
DS	=	Saturated Trench Depth	= 0.00 ft
V	=	Volume Treated	= 538 cu.ft.
Total Volume Retained in Basin A			
			= 1,050 cu.ft.

STORMWATER RETENTION CALCULATIONS
(BASIN B)

A. SITE INFORMATION

Total Property Area = 9,710 sq.ft.
Drainage Basin B Area = 3,921 sq.ft.
Drainage Area Impervious Surface = 2,422 sq.ft.
Drainage Area Pervious Surface = 1,499 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$) where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

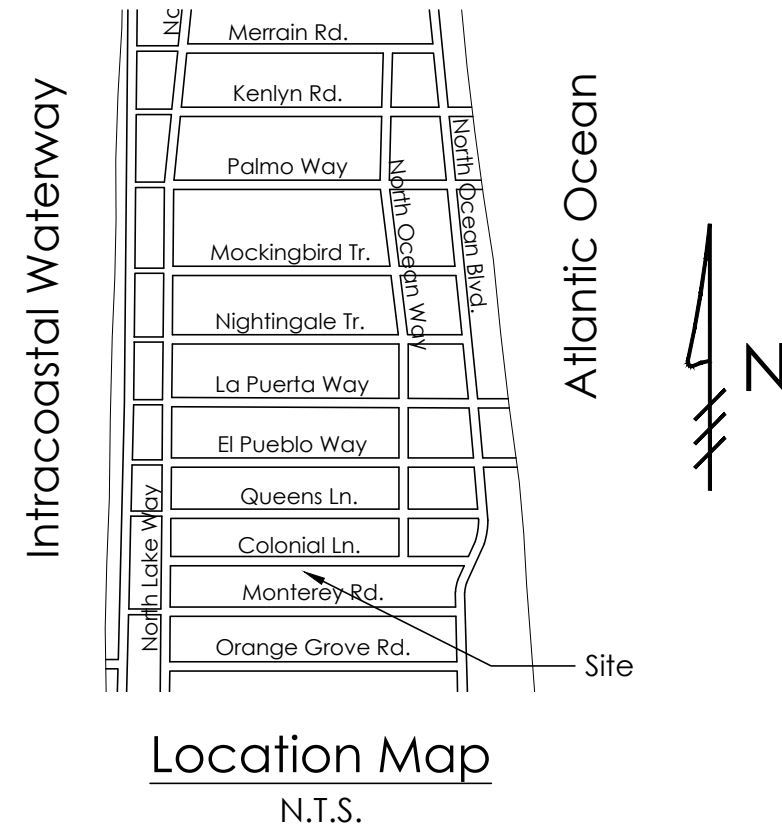
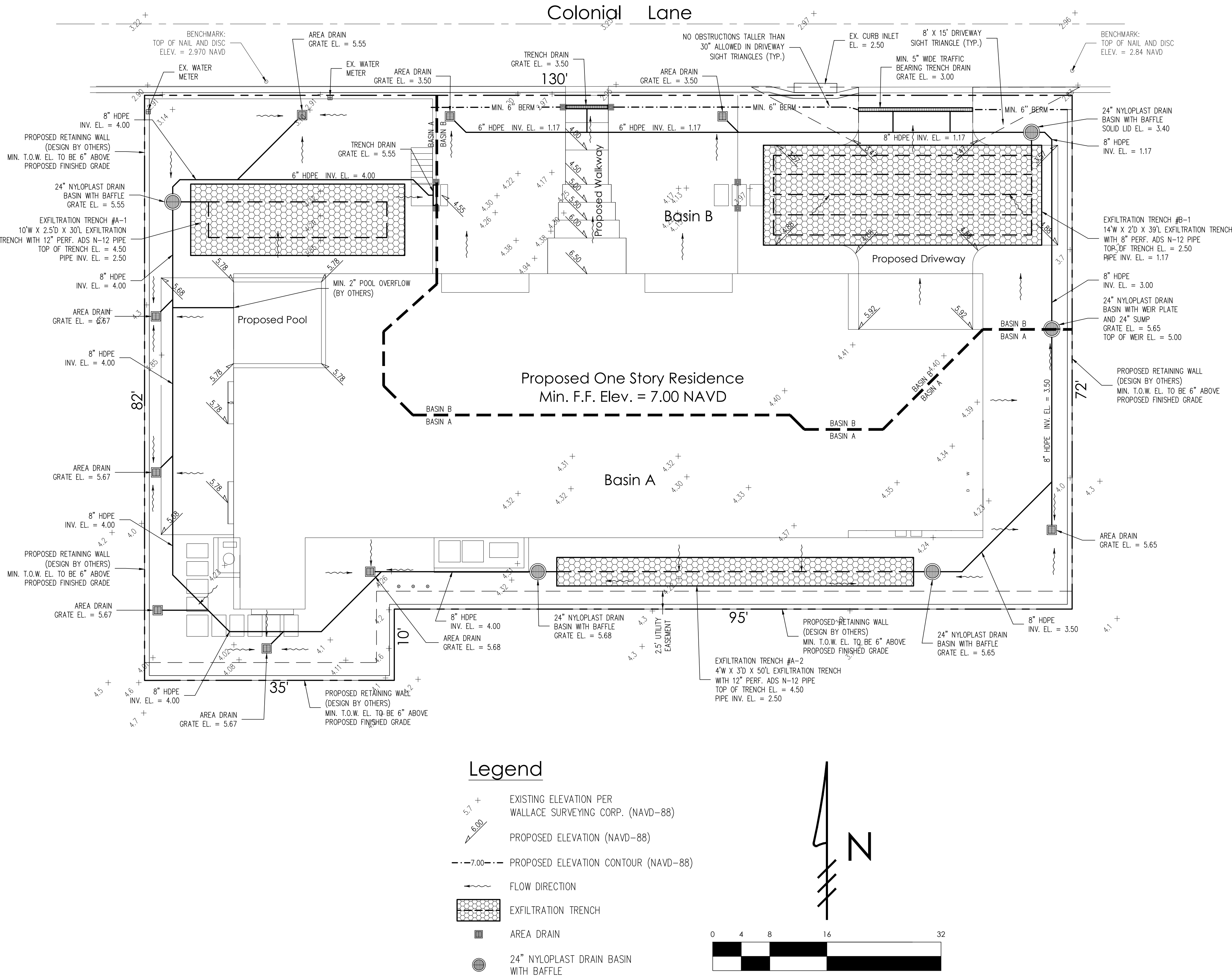
Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 2,422 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 404 \text{ cu.ft.}$
Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 1,499 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 50 \text{ cu.ft.}$
Total Volume to be Retained = 454 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #B-1			
L	=	Total Length of Trench Provided	= 39 ft
W	=	Trench Width	= 14 ft
K	=	Hydraulic Conductivity	= 0.00005 cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	= 1.50 ft
DU	=	Un-Saturated Trench Depth	= 1.00 ft
DS	=	Saturated Trench Depth	= 1.00 ft
V	=	Volume Treated	= 459 cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



Conceptual Site Grading & Drainage Plan For:

PROPOSED RESIDENCE

260 Colonial Lane
Palm Beach, Florida

PROJECT INFORMATION:	
Project No.	2024-0022
Issue Date	12/02/2024
Scale	1/8" = 1'-0"

REVISIONS:	
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CHAD M. GRUBER
FLORIDA P.E. NO. 57466
Digitally signed by Chad M Gruber
Date: 2024.12.02 13:41:21 -05'00'

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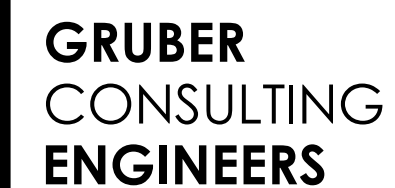
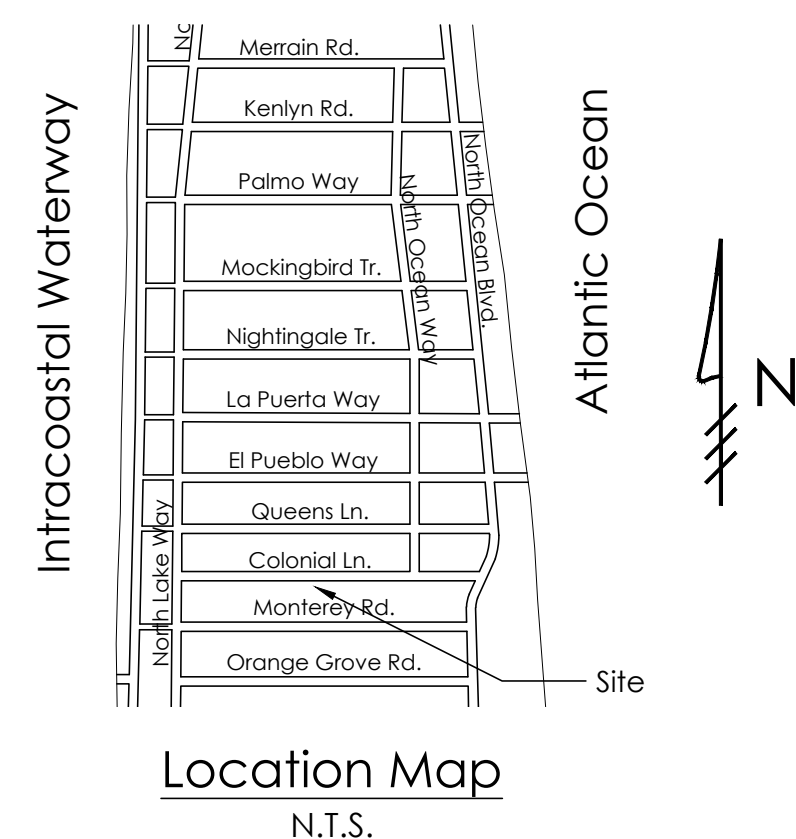
SHEET NUMBER:

C-1

Plan Background from Site Plan by
Northworks Architects & Planner
Received 10/29/24

ARC-24-0106
ZON-24-0063

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2475 Mercer Avenue, Suite 305
West Palm Beach, FL 33401
☎ 561.312.2041
✉ office@gruberengineers.com

**48 HOURS BEFORE DIGGING,
CALL 1-800-432-4770
SUNSHINE STATE ONE
CALL OF FLORIDA, INC.**

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Conceptual Erosion Control Plan For:

PROPOSED RESIDENCE

260 Colonial Lane
Palm Beach, Florida

PROJECT INFORMATION:

Project No.	2024-0022
Issue Date	10/18/2024
Scale	1/8" = 1'-0"

REVISIONS:

1	
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CHAD M. GRUBER
FLORIDA P.E. NO. 57466

Digitally
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Chad M
Gruber
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2024.12.02
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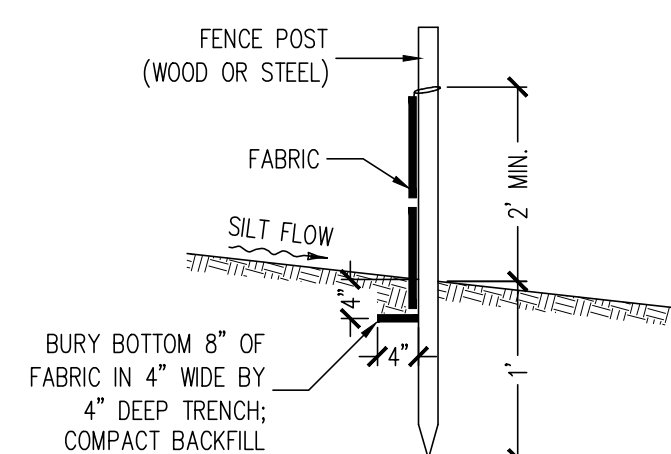
SHEET NUMBER:

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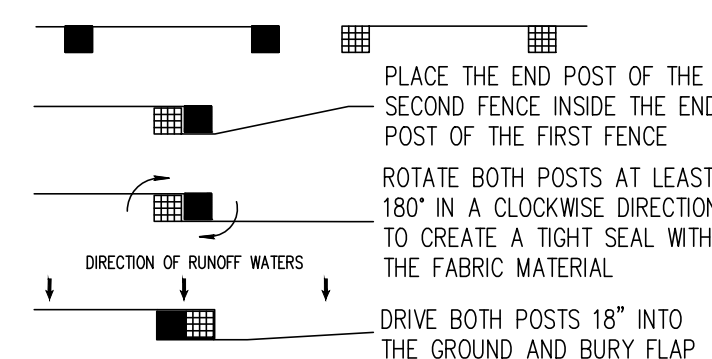
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EC-1



N.T.S.

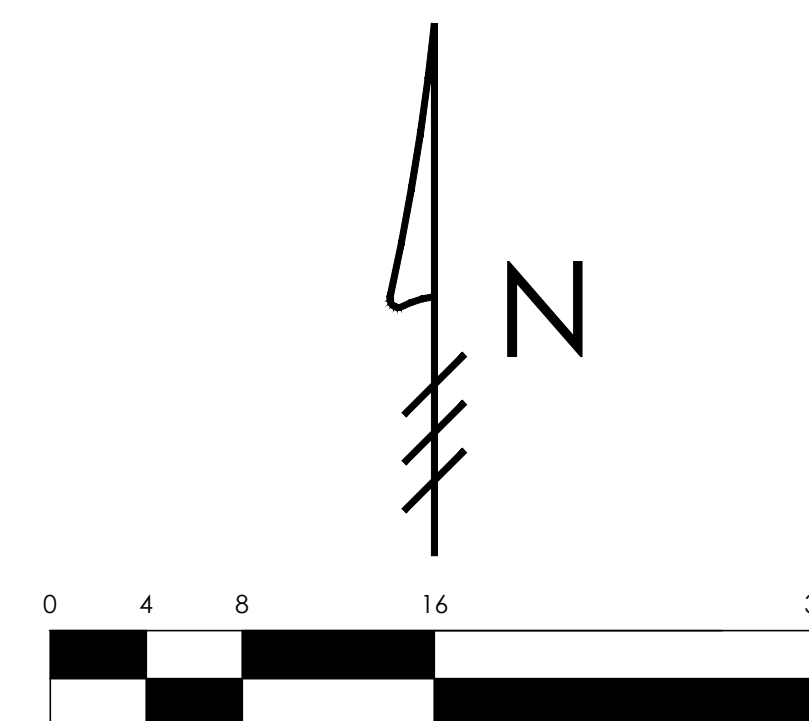


N.T.S

CONSTRUCTION STAGING AREA

— SILT — SILT — SILT FENCE (SEE DETAIL)

- 1) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 2) Contractor to investigate condition of existing sewer service prior to building permit submittal. If existing service is cast iron, or in poor condition, service will be replaced to main per Town of Palm Beach standards.



Scale: 1/8" = 1'-0"

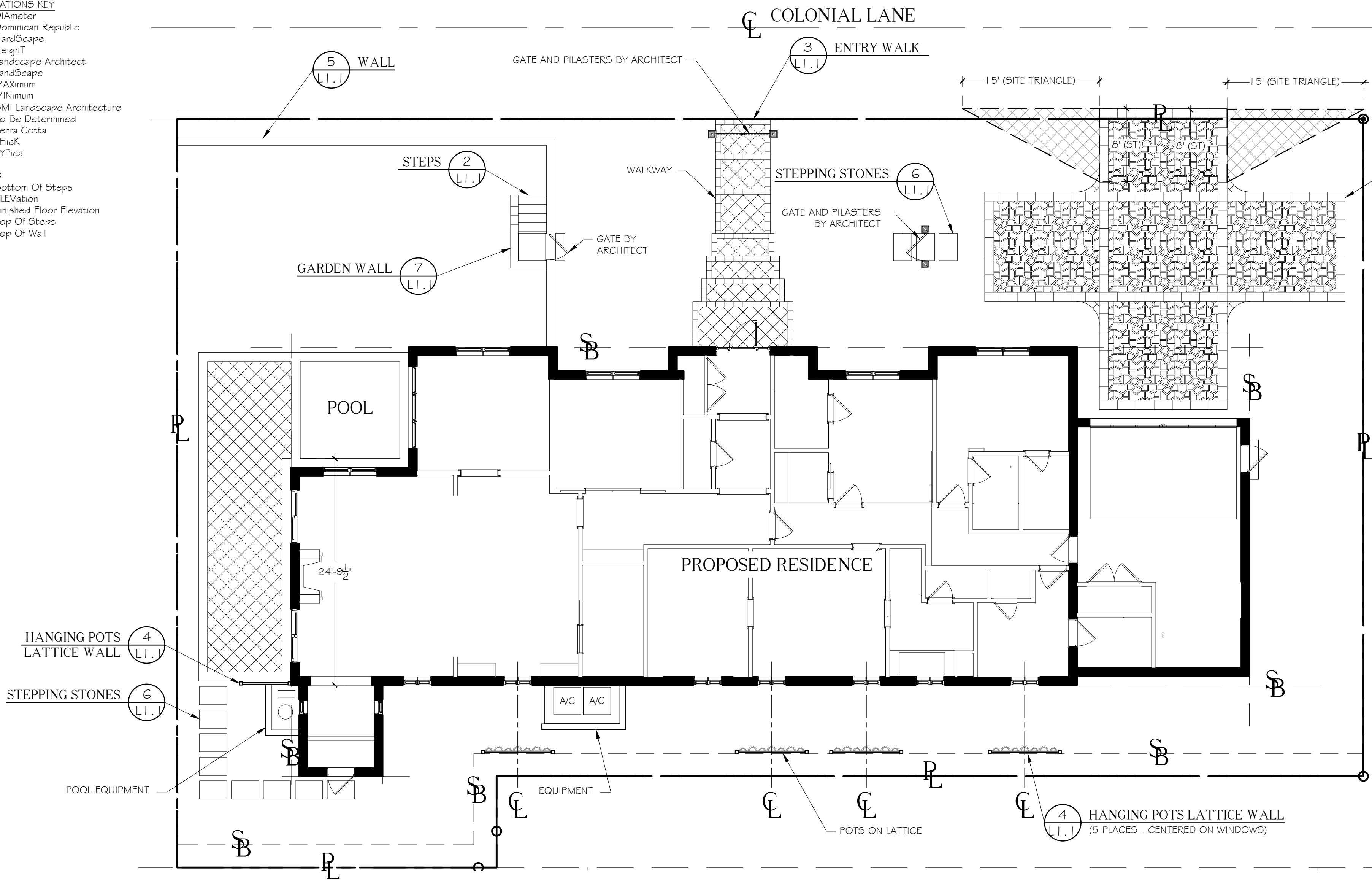
Notes:

- 1) The height of a slit fence shall not exceed 36".
- 2) Fitter fabric shall be purchased in a continuous roll and cut to the length of the barrier to avoid the use of joints.
- 3) Posts shall be spaced a maximum of 10' apart at the barrier location and driven securely into the ground a minimum of 12". When extra strength fabric is used, the distance between the wire support fence, post spacing shall not exceed 6'.
- 4) A trench shall be excavated approximately 4" wide and 4" deep along the line of posts and upslope from the barrier.
- 5) When standard strength fitter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1" long, tie wires, or hog rings. The wire shall extend into the trench a minimum of 2". The wire shall not extend more than 36" above the original ground surface.
- 6) The standard strength fitter fabric shall be stapled or wired to the trench at least 6" of the trench depth and extend into the trench. The fabric shall not extend more than 36" above the original ground surface.
- 7) The trench shall be backfilled and the soil compacted over the fitter fabric.

N.T.S.

FIELD VERIFY ALL DIMENSIONS

- ABBREVIATIONS KEY
- DIA = DIAMETER
 - DR = DOMINICAN REPUBLIC
 - HS = HANDSCAPE
 - HT = HEIGHT
 - LA = LANDSCAPE ARCHITECT
 - LS = LANDSCAPE
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - SMI = SMI LANDSCAPE ARCHITECTURE
 - TBD = TO BE DETERMINED
 - TC = TERRA COTTA
 - THK = THICK
 - TYP = TYPICAL
- GRADING
- BOS = BOTTOM OF STEPS
 - ELEV = ELEVATION
 - FFE = FINISHED FLOOR ELEVATION
 - TOS = TOP OF STEPS
 - TOW = TOP OF WALL



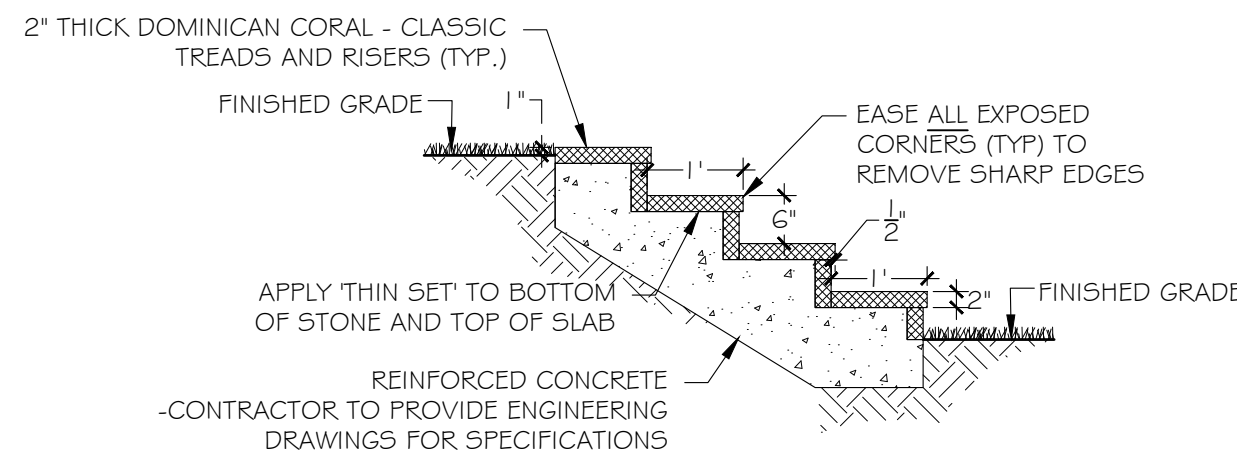
ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI

PROVIDE SHOP DRAWINGS FOR SMI APPROVAL

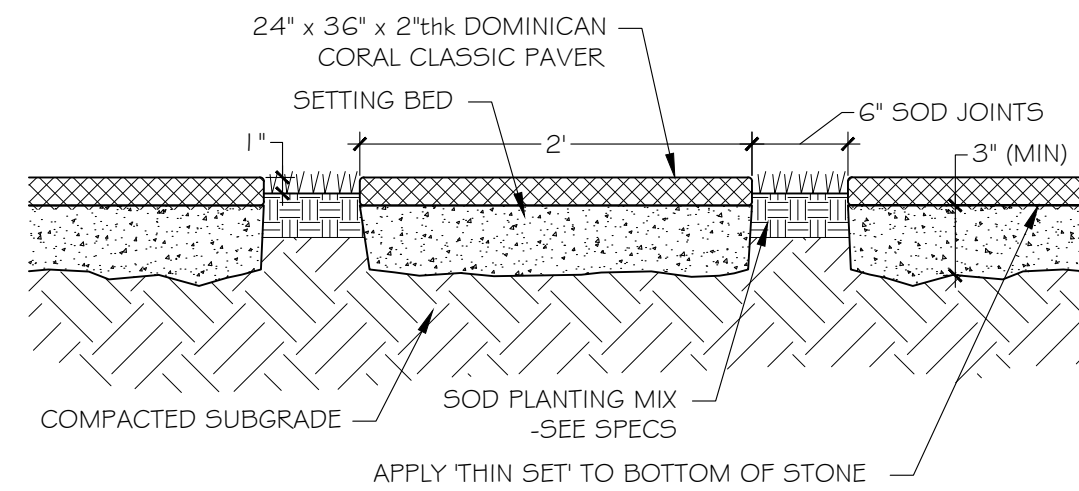
ALUMINUM - COLOR TO MATCH HOUSE SHUTTERS

REFER TO FABRICATOR'S SHOP DRAWINGS FOR COMPLETE CONSTRUCTION DOCUMENTS (BY OTHERS)

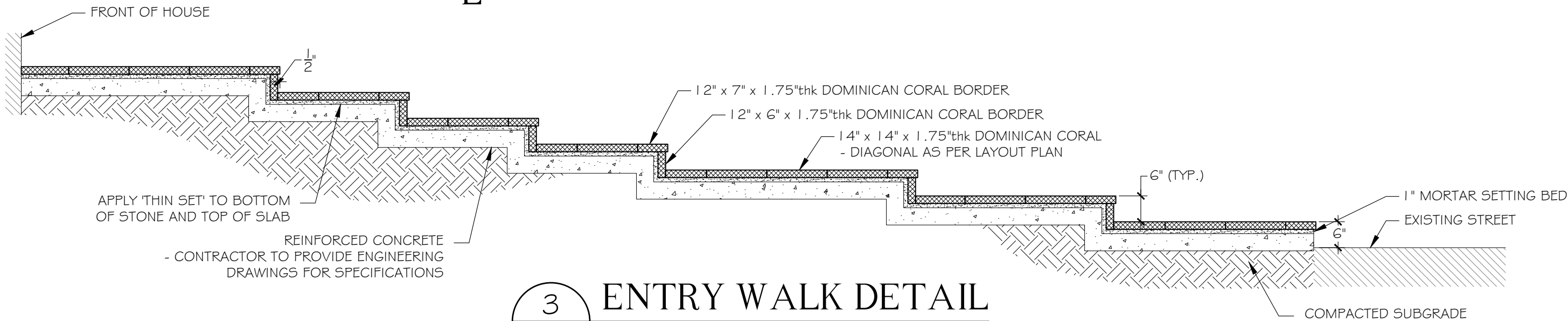
1 DRIVEWAY
SCALE: 1" = 1'-0"



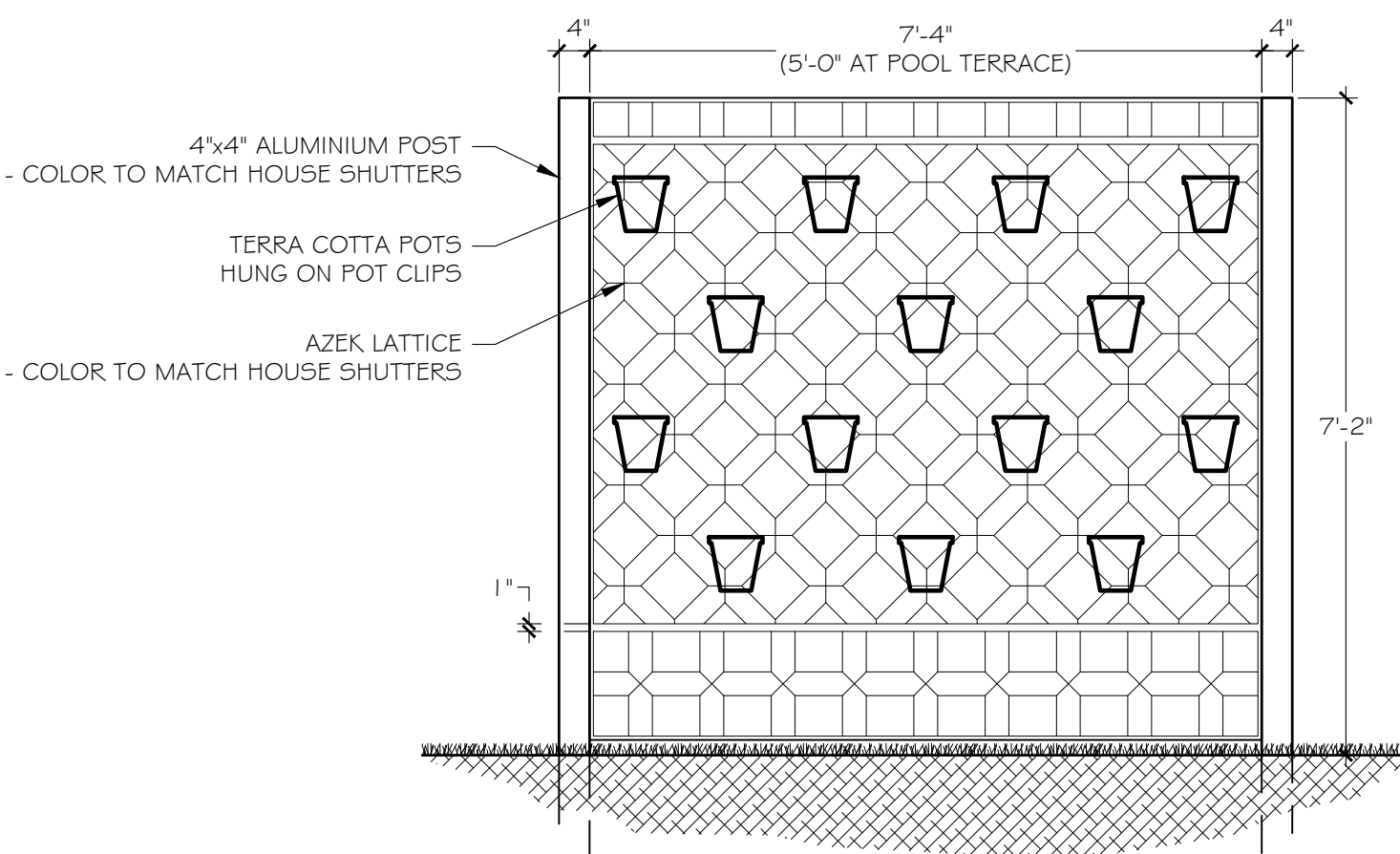
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SCALE: 1/2" = 1'-0"



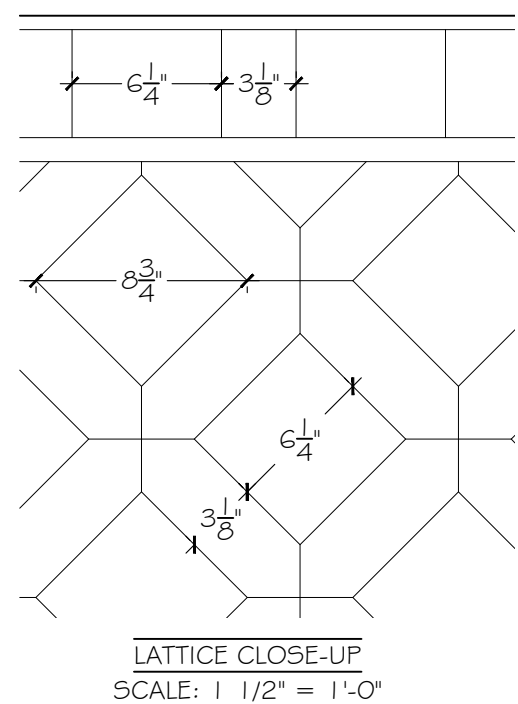
6 STEPPING STONES
SCALE: 1" = 1'-0"



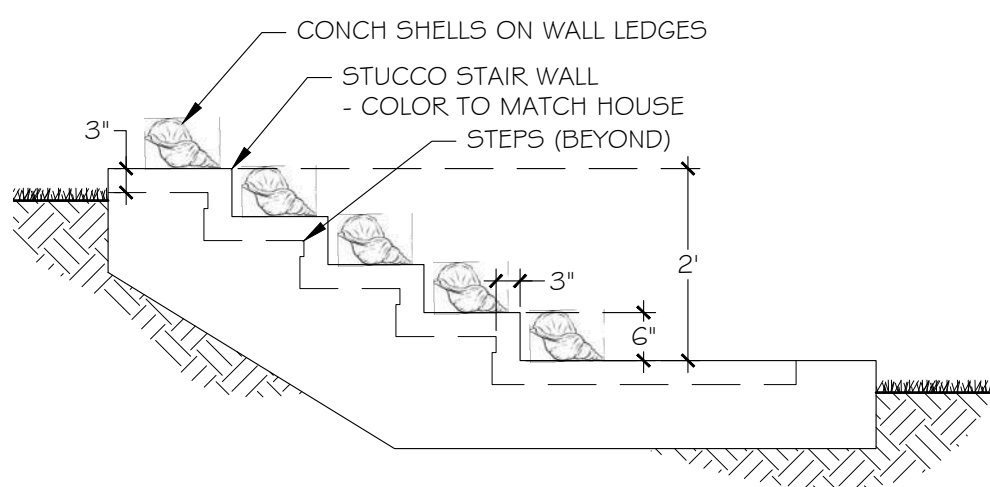
3 ENTRY WALK
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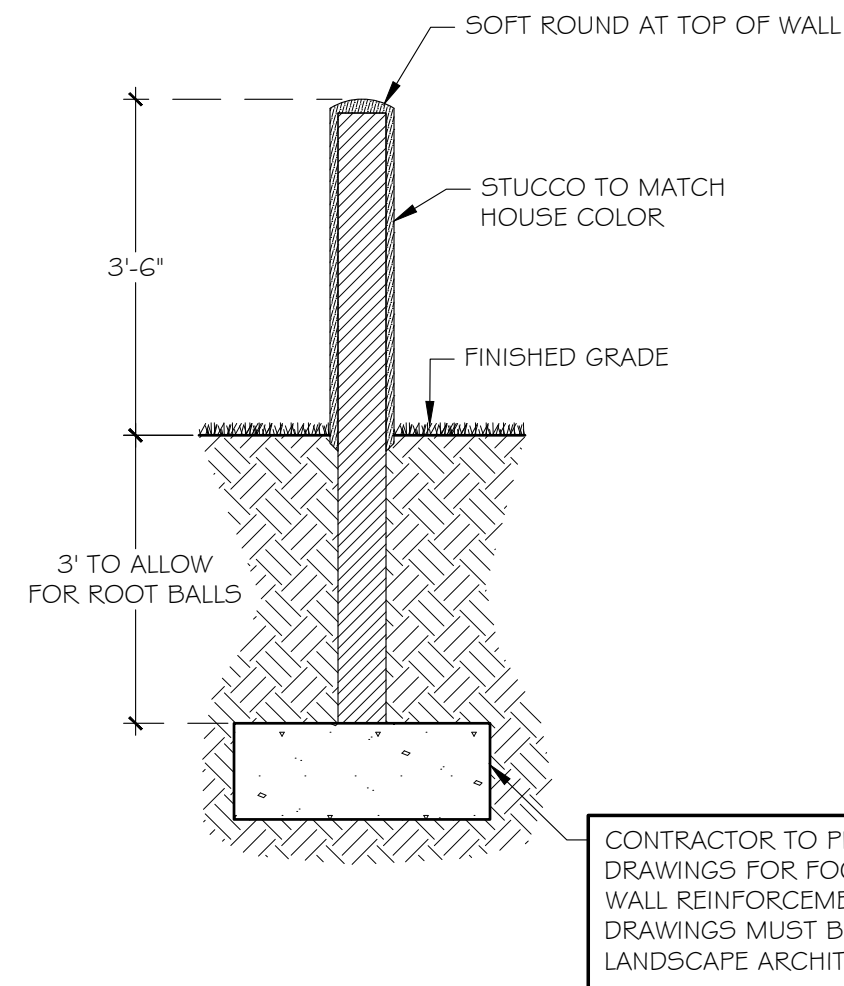
4 HANGING POTS LATTICE WALL
SCALE: 1/2" = 1'-0"



LATTICE CLOSE-UP
SCALE: 1 1/2" = 1'-0"



7 GARDEN WALL
SCALE: 1/2" = 1'-0"

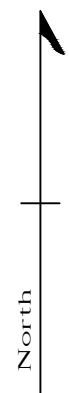


5 TYPICAL WALL
SCALE: 1/2" = 1'-0"



The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

7	02.10.2025	PRESENTATION
6	01.26.2025	PRESENTATION REV 01
5	12.04.2024	PRESENTATION
4	11.04.2024	FINAL SUBMITTAL
3	10.21.2024	SECOND SUBMITTAL
2	10.03.2024	FIRST SUBMITTAL
1	09.16.2024	PRE-APPLICATION

REVISIONS	DATE	DESCRIPTION
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PRESENTATION

SMI

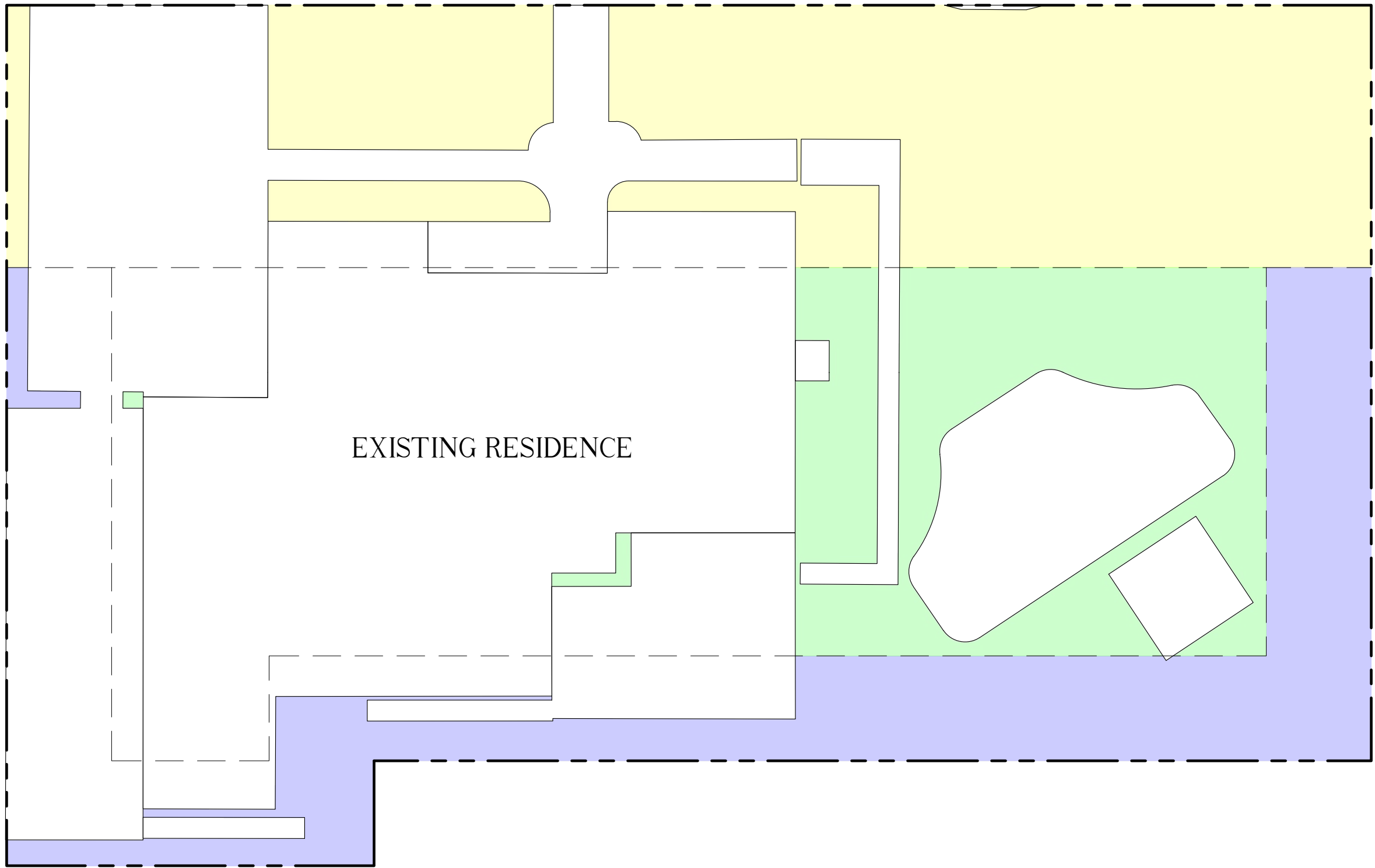
LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Site Plan		
SCALE 1/8" = 1'-0"	PROJECT NUMBER 2402	
DATE 02.10.2025	PRJCT MNGR CFV	CHECKED CFV
SEAL 	DRAWING NO. L1.1 SHEET 1 OF 2	

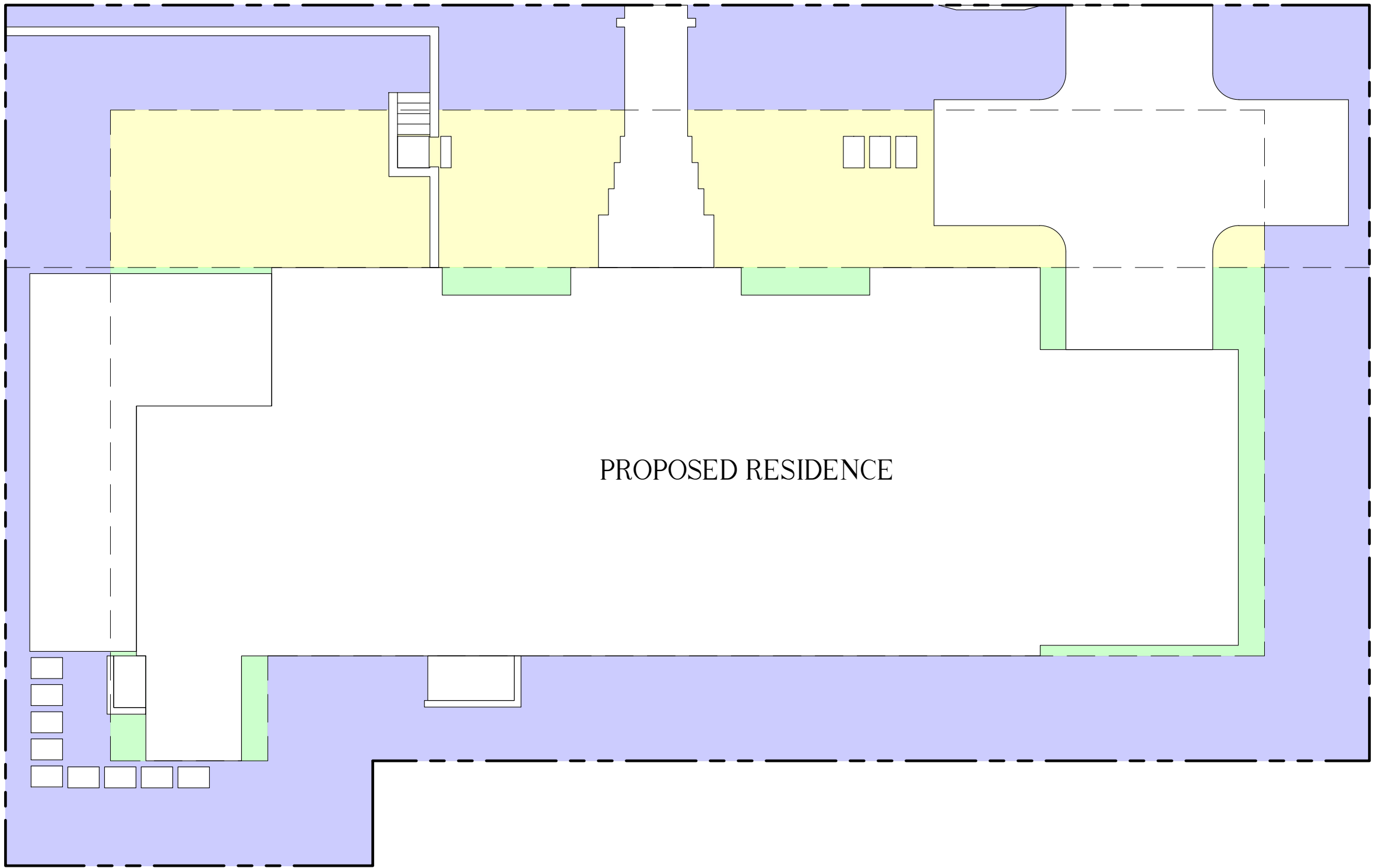
FIELD VERIFY ALL DIMENSIONS

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SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



EXISTING SITE PLAN



PROPOSED SITE PLAN

Existing Color Key

- Existing Site Pervious
- Existing Front Yard Pervious
- Existing Perimeter Pervious

Proposed Color Key

- Site Pervious
- Front Yard Pervious
- Perimeter Pervious

Pervious / Impervious Calculations: RB							
Lot Size	Dwelling 1 Floor	Required Pervious		Existing Pervious		Proposed Pervious	
		Square Footage	Percentage	Square Footage	Percentage	Square Footage	Percentage
9,711 sf	3,576 sf						
Overall Hardscape (Impervious)							
1,648 sf		4,370	45%min (or Existing)	4,471	46%	4,487	46%
Front Yard Calculations							
25' Setback Area	Hardscape (Impervious)	1,300	40%min (or Existing)	2,111	65%	2,219	68%
3,250 sf	1,031 sf						
Perimeter Hardscape							
10' Offset from PL / Area	Hardscape (Impervious)	2,185	50% of required open space shall be within 10' of property line	1,337	31%	3,031	69%
3,840 sf	809 sf						

The
Hunt
Residence

260 Colonial Lane
Palm Beach, Florida



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2	10.03.2024	FIRST SUBMITTAL
1	09.16.2024	PRE-APPLICATION

DATE	DESCRIPTION
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REVISIONS
PRESENTATION

S M I

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Site Comparison Plan		
SCALE	PROJECT NUMBER:	
3/32" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	L1.1a	
	SHEET 1a OF 2	



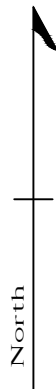
Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
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The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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REVISIONS	DATE	DESCRIPTION

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Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Hardscape Layout Plan		
SCALE 1/8" = 1'-0"	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L1.2 SHEET 2 OF 2	

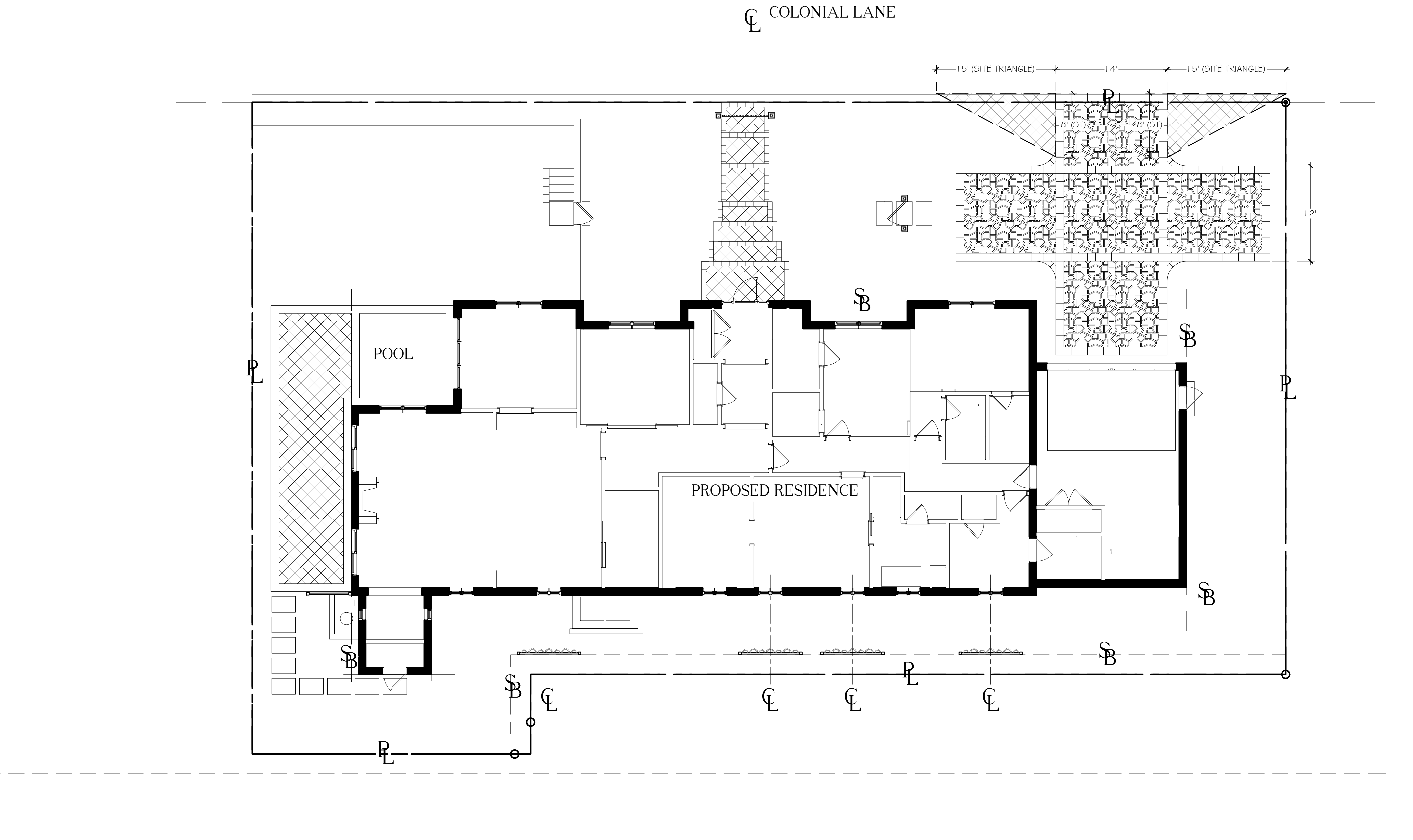
SMI TO APPROVE LAYOUT OF
ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



Know what's below
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ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
TYP = TYPICAL


GRADING
BOS = BOTTOM OF STEPS
ELEV = ELEVATION
FFE = FINISHED FLOOR ELEVATION
TOS = TOP OF STEPS
TOW = TOP OF WALL



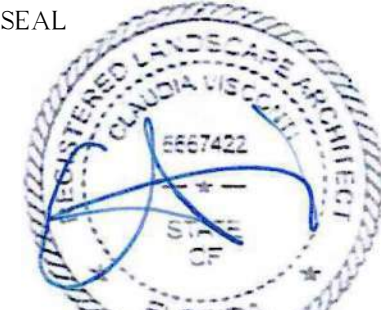
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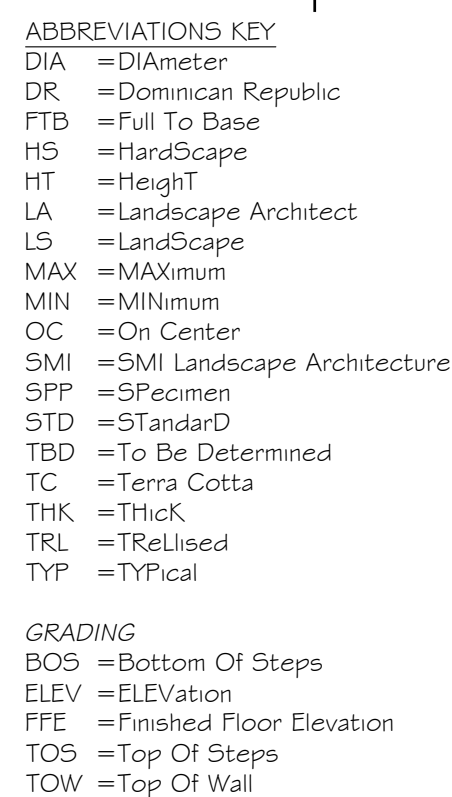
260 Colonial Lane
Palm Beach, Florida

NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST
3' BELOW GRADE TO ALLOW FOR PLANTINGS /
ROOT BALLS
-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED
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	DATE	DESCRIPTION
REVISIONS		

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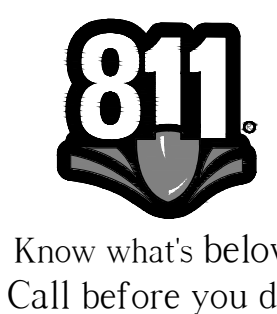
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DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	<p>L2.1</p> <p>SHEET 1 OF 3</p>	



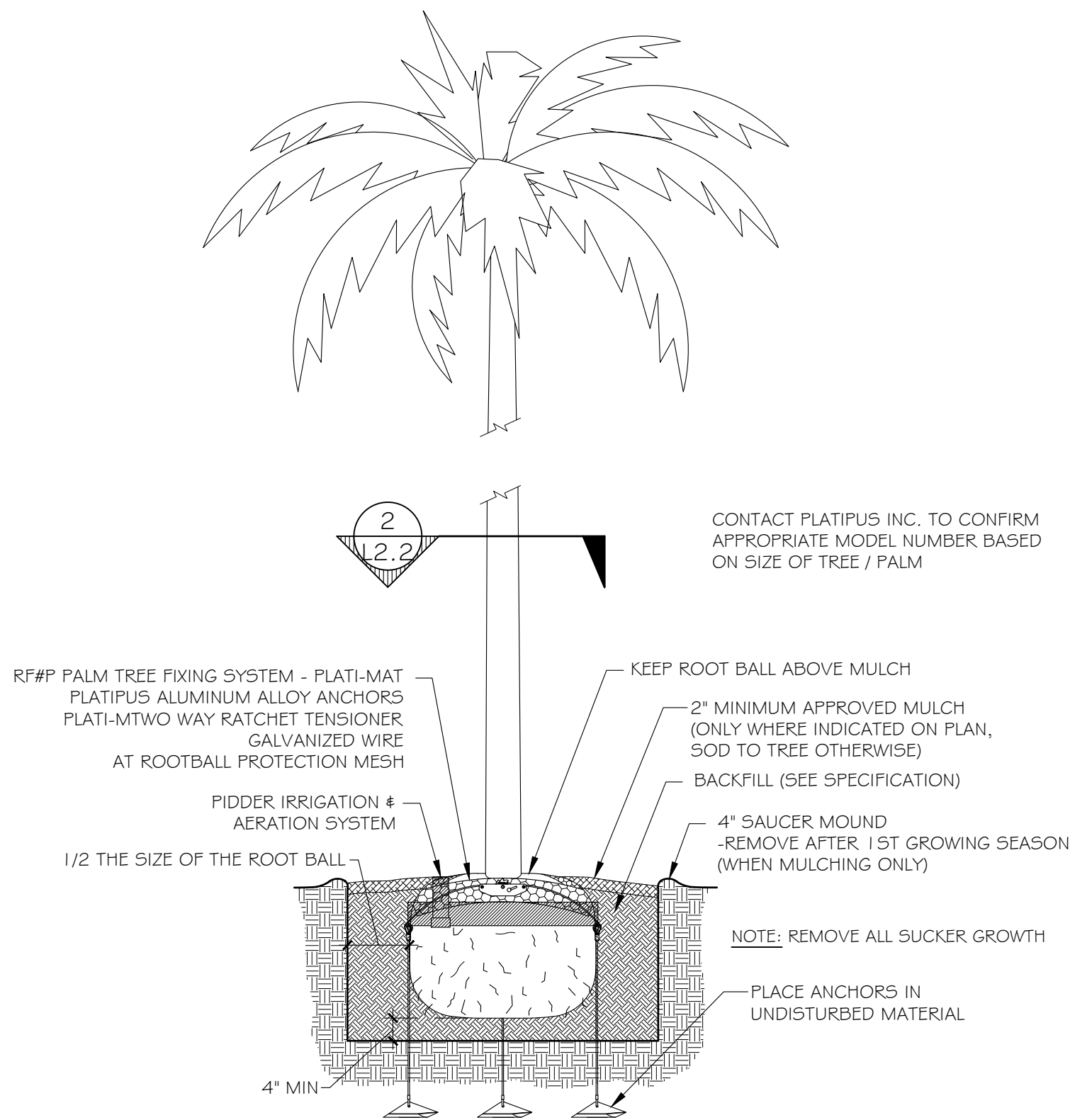
SMI TO APPROVE STAKED LAYOUT OF ALL TREES
AND PLANTING LAYOUT PRIOR TO INSTALLATION

ALL IRRIGATION, IRRIGATION EQUIPMENT AND
IRRIGATION BOXES TO BE CONCEALED

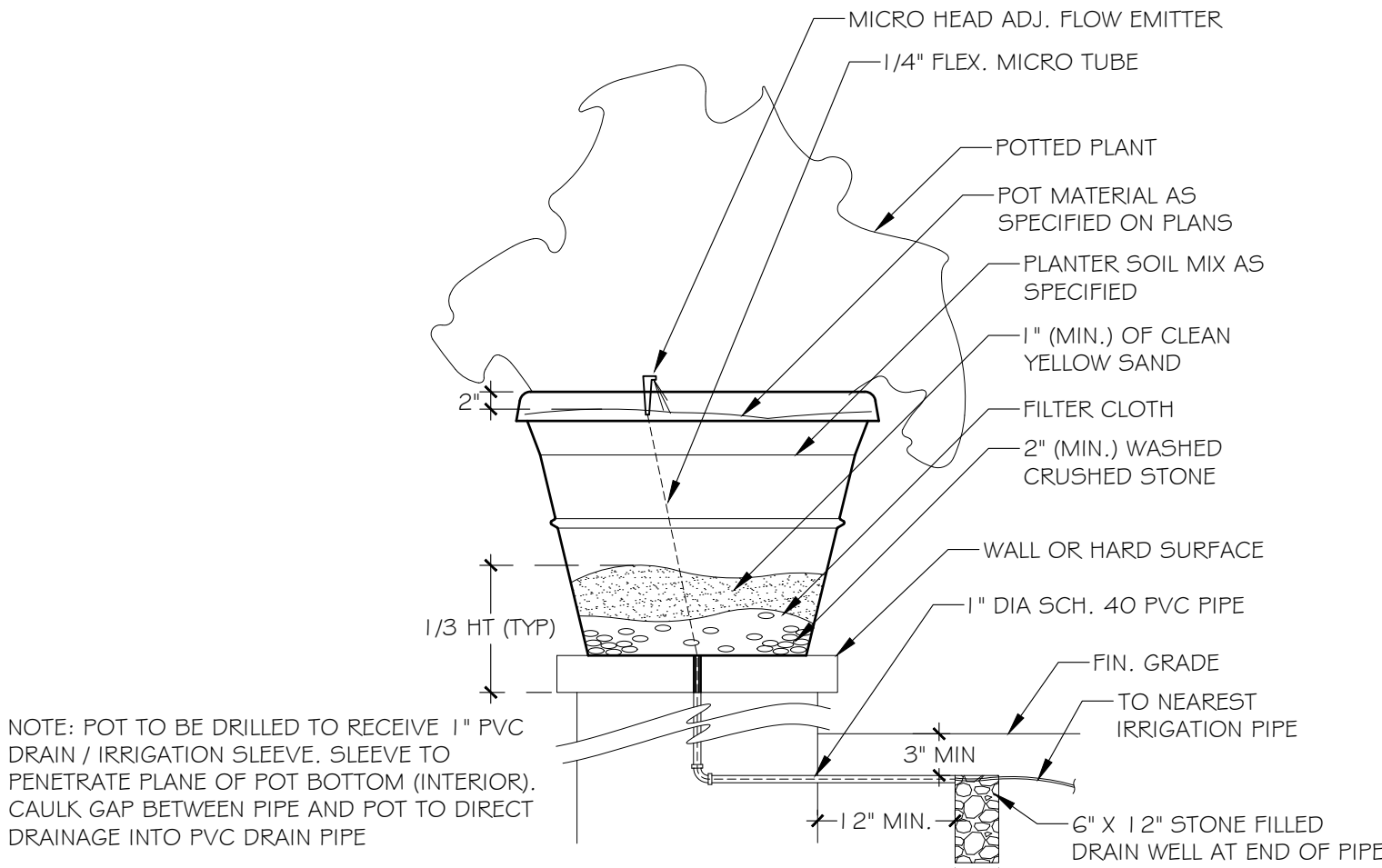
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TO HAVE METAL EDGE BORDER



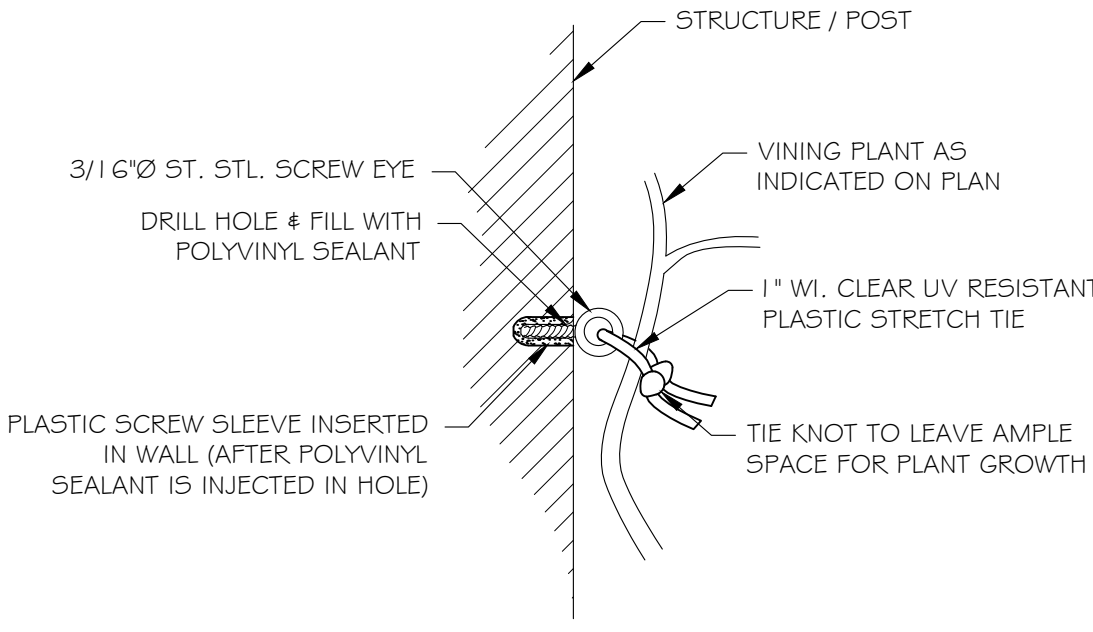
FIELD VERIFY ALL DIMENSIONS



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L2.2
PLATIPUS TREE ANCHORING
DETAIL
SCALE: NOT TO SCALE

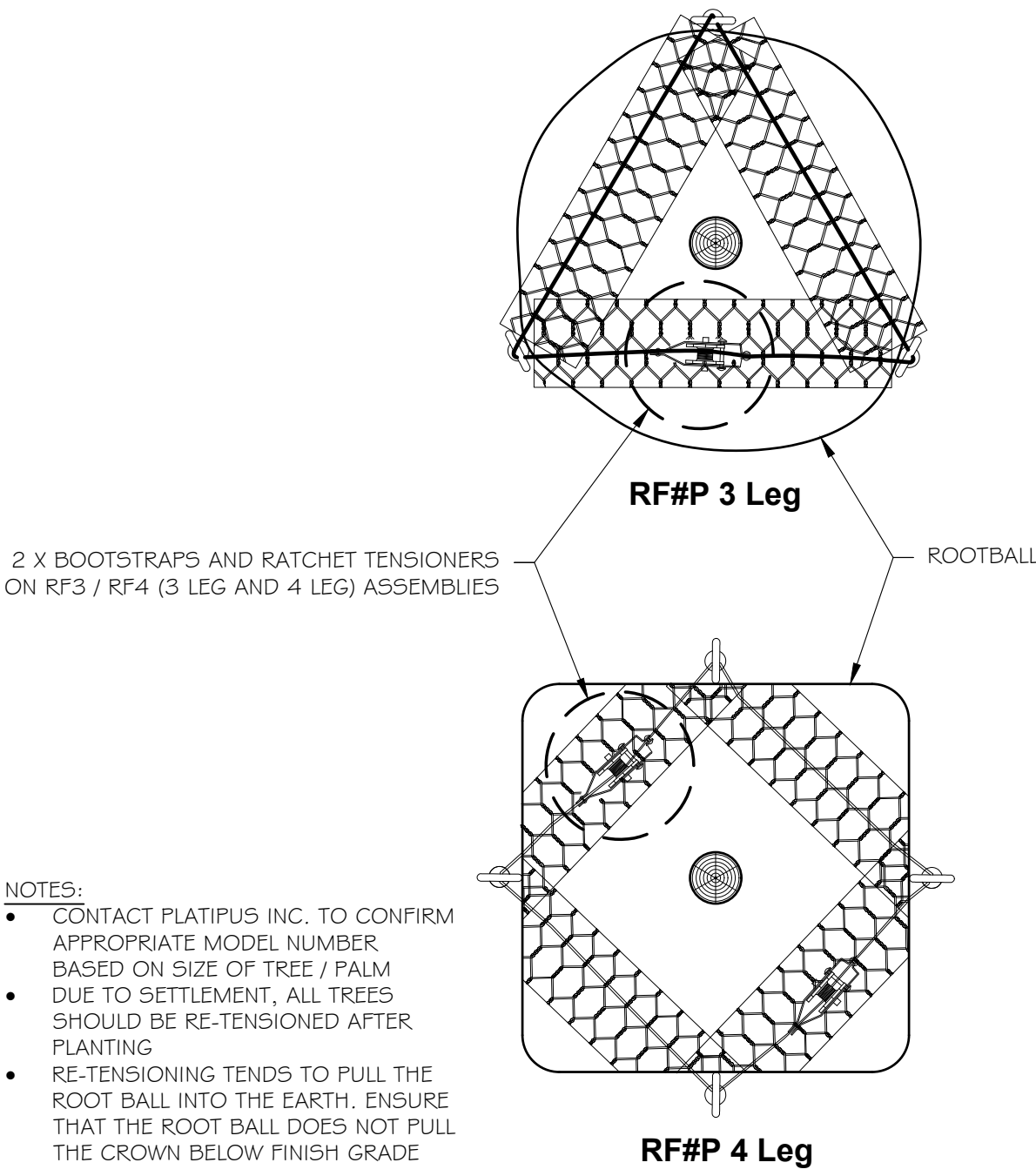


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L2.2
POTTED PLANT DETAIL
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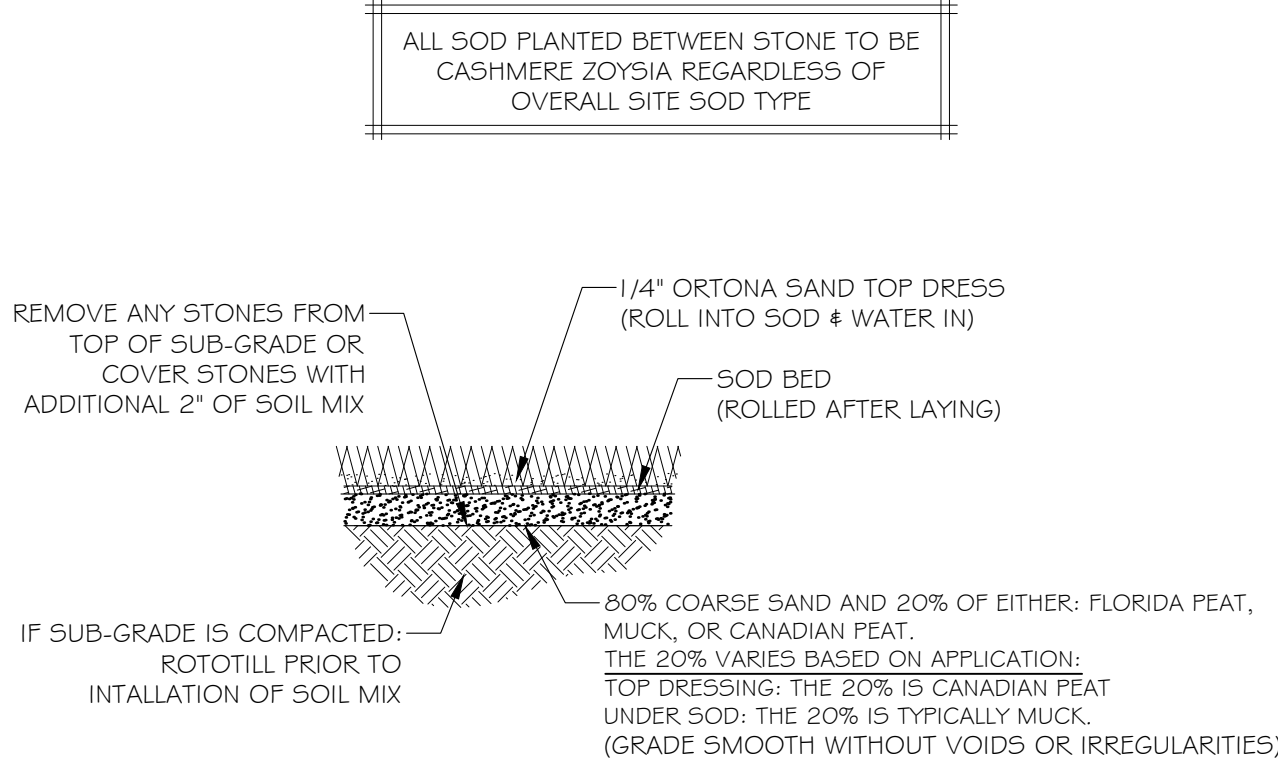


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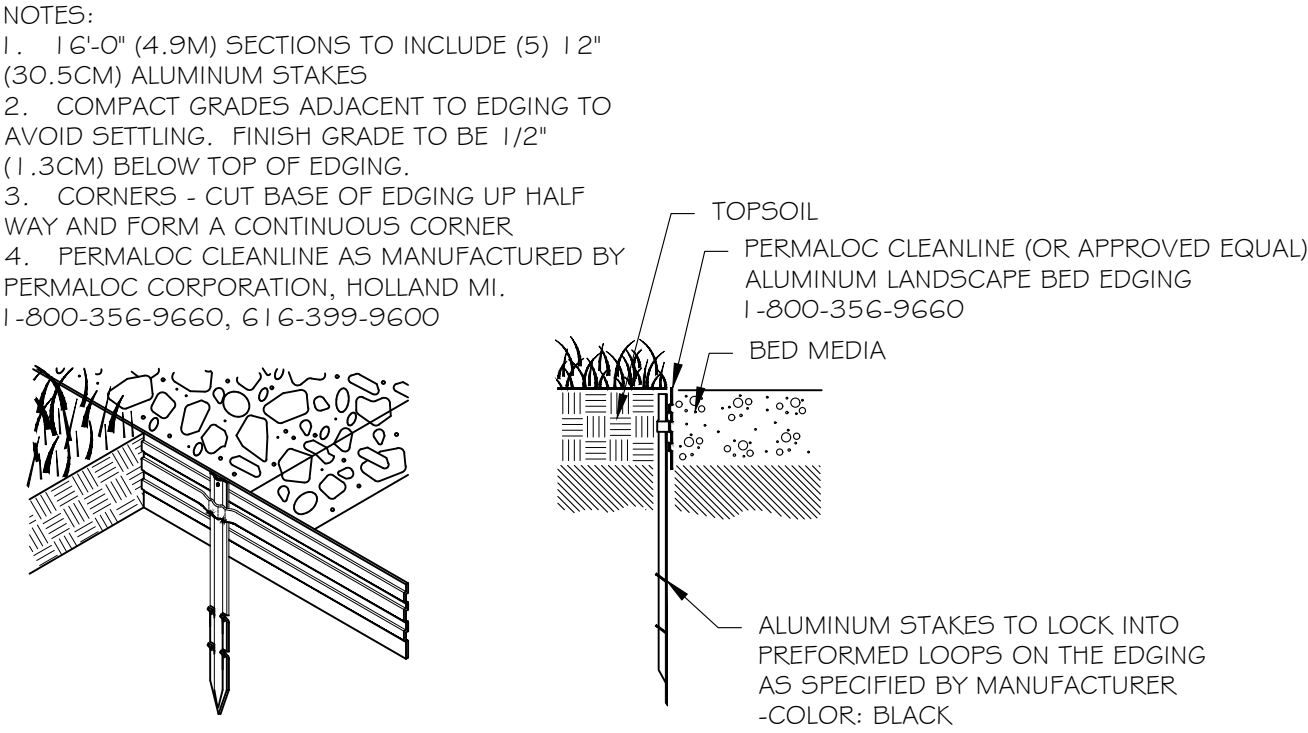
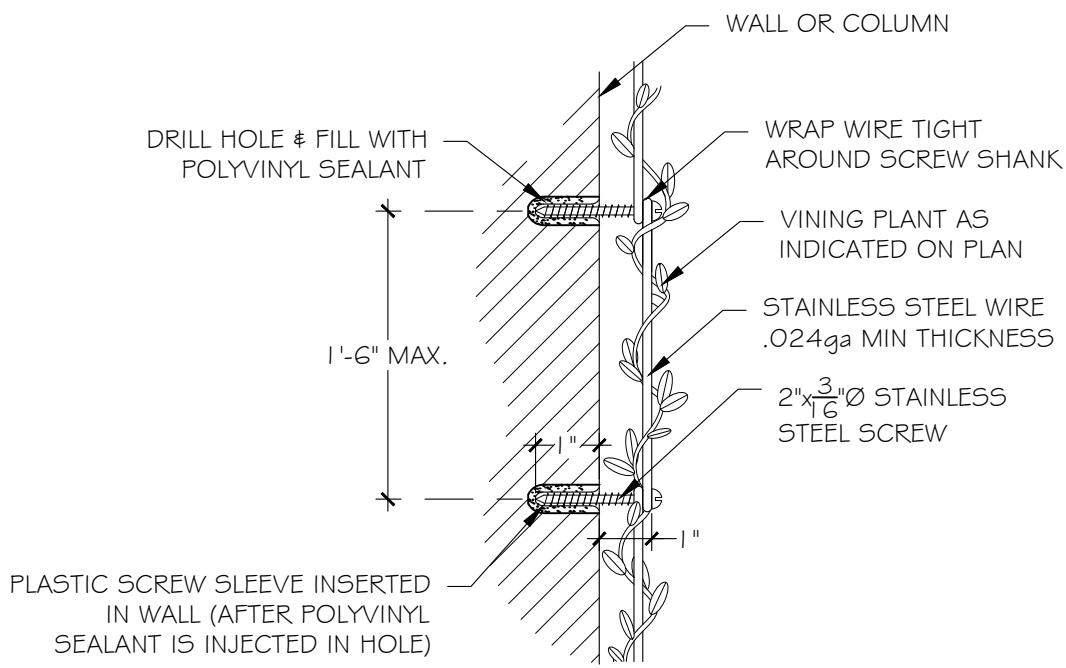
7
L2.2
VINE SUPPORT DETAIL
SCALE: NOT TO SCALE



2
L2.2
PLATIPUS ROOTBALL BOOTSTRAP
DETAIL
SCALE: NOT TO SCALE



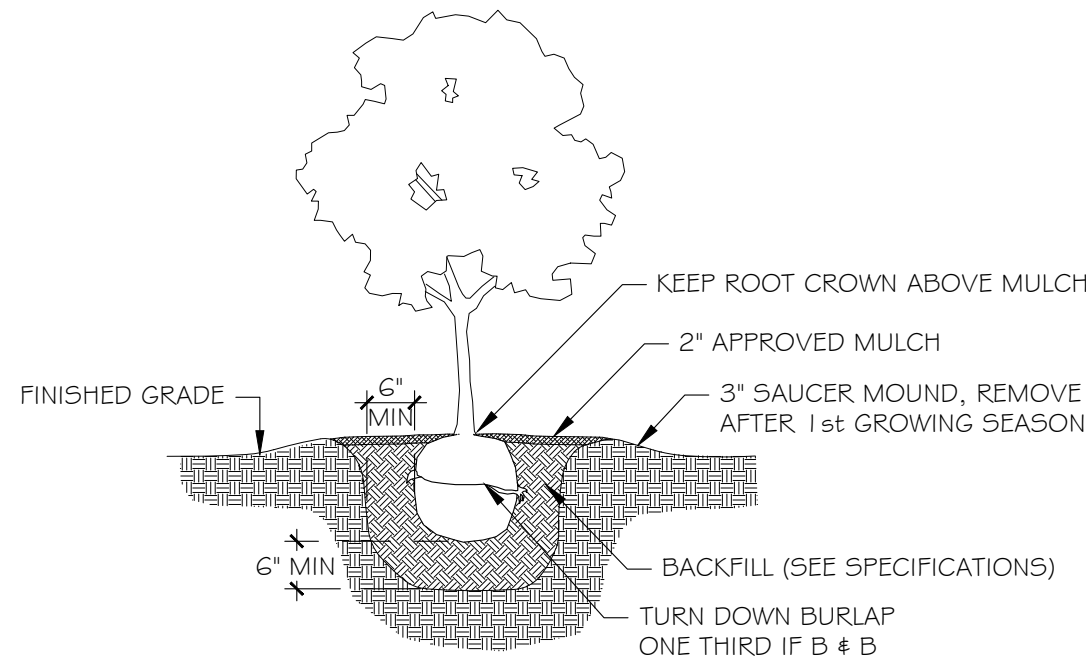
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L2.2
SOD PLANTING DETAIL
SCALE: 1/2\"/>



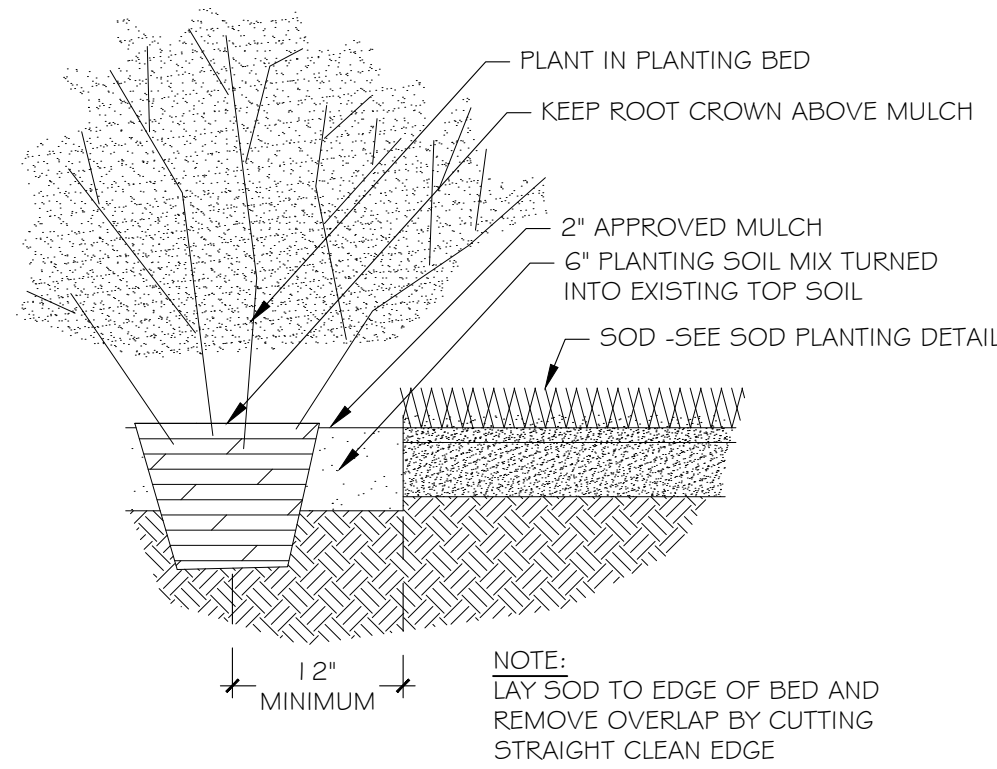
8
L2.2
PLANT BED EDGING DETAIL
SCALE: NTS

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SMI TO APPROVE STAKED LAYOUT OF ALL TREES AND PLANTING LAYOUT PRIOR TO INSTALLATION
ALL IRRIGATION, IRRIGATION EQUIPMENT AND IRRIGATION BOXES TO BE CONCEALED
ALL PLANTING BEDS TO HAVE STEEL EDGE BORDER



3
L2.2
SHRUB PLANTING DETAIL
SCALE: NOT TO SCALE



6
L2.2
PLANTING BED DETAIL
SCALE: NOT TO SCALE

The Hunt Residence

260 Colonial Lane
Palm Beach, Florida

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NOTES:
-FOOTINGS FOR ALL STRUCTURES TO BE AT LEAST 3\"/>

7	02.10.2025	PRESENTATION
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2	10.03.2024	FIRST SUBMITTAL
1	09.16.2024	PRE-APPLICATION

DATE	DESCRIPTION
02.10.2025	PRESENTATION

PRESENTATION

SMI

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Planting Details		
SCALE NOT TO SCALE	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. L2.2 SHEET 2 OF 3	



Know what's below
Call before you dig

FIELD VERIFY ALL DIMENSIONS

PLANTING SPECIFICATIONS

PLEASE FURNISH FLORIDA CERTIFIED LANDSCAPE CONTACTORS (FCLC) REGISTRATION NUMBER WITH PROPOSAL.

GENERAL CONDITIONS

SCOPE:

1. THE WORK INCLUDED IN THESE SPECIFICATIONS SHALL CONSIST OF THE FURNISHING OF ALL LABOR, TOOLS, MATERIALS, PERMITS, ETC., NECESSARY FOR THE EXECUTION OF THE WORK AS HEREIN SPECIFIED AND SHOWN ON THE DRAWINGS.

2. THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL MATERIAL IN ACCORDANCE WITH SOUND NURSERY PRACTICE AND SHALL PERFORM MAINTENANCE AND WATERING UNTIL FINAL COMPLETION AND ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

EXAMINATION OF DRAWINGS AND SITE.

1. THE LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY ACQUAINT HIMSELF WITH ALL OF THE EXISTING CONDITIONS IN ORDER THAT NO MISUNDERSTANDING MAY AFTERWARDS ARISE AS TO THE CHARACTER OR AS TO THE EXTENT OF THE WORK TO BE DONE, AND LIKEWISE, IN ORDER TO ADVISE AND ACQUAINT HIMSELF WITH ALL PRECAUTIONS TO BE TAKEN IN ORDER TO AVOID INJURY TO PERSONS OR PROPERTY OF ANOTHER. NO ADDITIONAL COMPENSATION WILL BE GRANTED BECAUSE OF ANY UNUSUAL DIFFICULTIES THAT MAY BE ENCOUNTERED IN THE EXECUTION OR MAINTENANCE OF ANY PORTION OF THE WORK. ANY DISCREPANCIES, OR OMISSIONS OR DOUBTS AS TO MEANINGS SHALL BE COMMUNICATED TO THE LANDSCAPE ARCHITECT, WHO WILL MAKE ANY INTERPRETATIONS HE/SHE DEEMS NECESSARY.

PLANT LIST:

1. ANY DISCREPANCY BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL BE CONSIDERED AS CORRECT ON THE DRAWINGS.

PROTECTION OF PUBLIC AND PROPERTY:

1. THE LANDSCAPE CONTRACTOR SHALL PROTECT ALL MATERIALS AND WORK AGAINST INJURY FROM ANY CAUSE AND SHALL PROVIDE AND MAINTAIN ALL NECESSARY GUARDS FOR THE PROTECTION OF THE PUBLIC. HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE OR INJURY TO A PERSON OR PROPERTY WHICH MAY OCCUR AS A RESULT OF HIS FAULT OR NEGLIGENCE IN THE EXECUTION OF THE WORK.

2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY INSURANCE (\$1,000,000) AND PROPERTY DAMAGE INSURANCE (\$1,000,000.00). A COPY OF THE CERTIFICATE OF INSURANCE MUST BE FURNISHED TO OWNER.

GUARANTEE:

1. THE GUARANTEE PERIOD FOR ALL MATERIAL SHALL BEGIN AFTER FINAL APPROVAL BY LANDSCAPE ARCHITECT.

2. ALL MATERIAL EXCEPT SOD SHALL BE GUARANTEED FOR ONE YEAR PROVIDED IT RECEIVES PROPER MAINTENANCE (AS PRESCRIBED BY THE LANDSCAPE CONTRACTOR) BY THE OWNER AND IS NOT DAMAGED OR DESTROYED BY HURRICANES OR OTHER CAUSES BEYOND THE CONTRACTOR'S CONTROL.

3. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT THE OWNER'S NEGLIGENCE TO PROVIDE PROPER CARE OF THE MATERIAL.

4. ALL REPLACEMENT COST OF GUARANTEED MATERIAL, INCLUDING EQUIPMENT, AND LABOR, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR

AWARD OF CONTRACT:

1. ONLY UNIT PRICE-INSTALLED BIDS FOR THE WORK WILL BE ACCEPTABLE. HOWEVER, THE OWNER RETAINS THE RIGHT TO DELETE PORTIONS OF THE WORK FROM THE CONTRACT AND/OR AWARD SEPARATE CONTRACTS FOR PHASES OF THE PROJECT. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS WHEN SUCH REJECTIONS ARE IN THE INTEREST OF THE OWNER.

EXECUTION OF THE WORK:

1. THE LANDSCAPE CONTRACTOR SHALL HAVE HIS LABOR CREWS CONTROLLED AND DIRECTED BY A LANDSCAPE FOREMAN WELL VERSED IN PLANT MATERIALS, PLANTING, READING OF BLUEPRINTS AND COORDINATION BETWEEN JOB AND NURSERY IN ORDER TO EXECUTE INSTALLATION RAPIDLY AND CORRECTLY.

WATER:

1. WATER SOURCE SHALL BE FURNISHED BY THE OWNER.

2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH IRRIGATION CONTRACTOR.

3. ALL PLANT MATERIAL INSTALLED PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE WATERED WITH A TEMPORARY SYSTEM BY THE LANDSCAPE CONTRACTOR.

IRRIGATION:

-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

GRADING:

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBGRADE OF LANDSCAPE AREAS UNLESS OTHERWISE SPECIFIED. THE TERM SUBGRADE SHALL BE DEFINED AS 4"-6" BELOW FINISH GRADE UNLESS OTHERWISE NOTED ON PLANS.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHED AND FINE GRADING WITHIN PLANTER BEDS AND THE FILLING OF PLANTER BOXES. THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXCESS SOIL AND DEBRIS ACCUMULATED DURING HIS WORK.

3. THE SOD CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADE IN ALL SODDED AREAS. SEE SPECIFICATIONS RELATING TO SPECIES GROWERS.

TO PROTECT AGAINST GANODERMA PALM FUNGUS ALWAYS REMOVE ALL PALM STUMPS FROM PROPERTY - STUMPS ACT AS HOSTS TO THIS DESTRUCTIVE LONG LIVED FUNGUS.

DIGGING

1. THE LANDSCAPE CONTRACTOR SHALL EXERCISE CARE IN DIGGINGS AND OTHER WORK SO AS NOT TO DAMAGE EXISTING WORK, INCLUDING UNDERGROUND AND OVERHEAD PIPES AND CABLES. SHOULD SUCH UNDERGROUND AND OVERHEAD OBSTRUCTIONS BE ENCOUNTERED WHICH INTERFERE WITH PLANTING, THE LANDSCAPE ARCHITECT OR THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE CONSULTED AND WILL ADJUST THE LOCATION OF PLANTS TO CLEAR SUCH OBSTRUCTION OR MOVE THE OBSTRUCTION.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMMEDIATE REPAIR OF ANY DAMAGE CAUSED BY HIS WORK.

PLANTING PITS

1. EXCAVATE CIRCULAR PITS WITH VERTICAL SIDES FOR ALL PLANTS, EXCEPT FOR HEDGES AND PLANTS SPECIFICALLY DESIGNATED TO BE PLANTED IN BEDS. DIAMETER OF PITS OF TREES AND SHRUBS SHALL BE AT LEAST 1/3 LARGER THAN THE DIAMETER OF THE BALL.

2. EXCAVATE PLANTING PITS AND PLANTING BEDS, PREPARE FINE SUBGRADE THROUGHOUT ALL PITS AND BEDS, AND PLACE THE PLANTS TO BE PLANTED FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION.

PRUNING

1. REMOVE DEAD AND BROKEN BRANCHES FROM ALL PLANT MATERIAL IMMEDIATELY. PRUNE TO RETAIN TYPICAL GROWTH HABIT OF INDIVIDUAL PLANTS WITH AS MUCH HEIGHT AND SPREAD AS IS PRACTICAL.

2. HEDGE MATERIALS TO BE PULLED IN, TIED AND TRIMMED TO VERTICAL AFTER INSTALLATION, WITH A FINISHED APPEARANCE UNLESS OTHERWISE NOTED.

TREE BRACING AND GUYING

1. REMEMBER TO CONSIDER SOIL CONDITIONS WHEN PLANTING TREES IN MADE UP GROUND AND THE NEED TO PLACE THE ANCHORS IN A UNDISTURBED MATERIAL. IF SO, YOU CAN ORDER 'ED' KITS (EXTRA DEPTH). TO ALLOW FOR THIS YOU MAY ALSO NEED A LONGER DRIVE ROD.

2. THE ANCHOR SHOULD BE DRIVEN TO THE FULL WORKING DEPTH USING A SUITABLE DRIVE ROD.

3. YOU MUST LOADLOCK THE ANCHORS PROPERLY INTO THEIR WORKING POSITION, BY APPLYING AN UPWARDS FORCE / LOAD ON THE WIRE TENDON.

4. IF THE ANCHORS ARE NOT LOADLOCKED PROPERLY, THE TREE WILL BECOME LOOSE WHEN THE FIRST WINDS ARRIVE.

5. PALM TREE ROOTBALLS MUST BE A MINIMUM OF 5' DIAMETER, PROPERLY ROOT WRAPPED AND OF SUFFICIENT STRENGTH AND PROPORTION TO SUPPORT A ROOTBALL FIXING METHOD. THE CORRECT PALM TREE KIT REQUIRED MUST BE SPECIFIED BY THE LANDSCAPE ARCHITECT ONCE THE ROOTBALL DIMENSIONS, TREE HEIGHT AND SAIL AREA OF THE TREE HAVE BEEN ESTABLISHED.

6. THE D-MAN CELLS / DEADMEN SHOULD BE INSTALLED AT LEAST 12" BELOW THE BASE OF THE ROOTBALL WITH THE SOIL COMPACTED ABOVE THE CELLS TO 60%, RIGHT UP TO THE NURSERY LINE.

7. IT IS NOT ADVISABLE TO USE STRAP SYSTEMS FOR CONTAINER GROWN STOCK (SEE PLATI-MAT SYSTEMS).

8. DUE TO SETTLEMENT OF THE TREE & AFTER WATERING RE-TENSIONING IS HIGHLY RECOMMENDED.

9. REFER TO MANUFACTURERS SPECIFICATIONS FOR COMPLETE INSTALLATION INSTRUCTIONS AT WWW.PLATIFUS.US.

10. SMALL TREES SHALL BE GUYED IN THREE DIRECTIONS WITH THREE STRANDS OF NO. 12 GALVANIZED WIRE ATTACHED TO ANCHORS DRIVEN BELOW GRADE. WIRES WHICH COME IN CONTACT WITH THE TREE ARE TO BE ENCASED IN RUBBER HOSE.

PLANT MATERIALS

1. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO THE NAMES GIVEN IN HORTUS III AND IN STANDARDIZED PLANT NAMES, 2001, LATEST EDITION. PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF VARIETIES NOT INCLUDED THEREIN, CONFORM GENERALLY WITH NAMES ACCEPTED IN THE NURSERY TRADE.

2. QUALITY: PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECT PESTS, PLANT DISEASES AND INJURIES. TREES SHALL BE HEAVILY BRANCHED, OR IN PALMS, HEAVILY LEAFED. REQUIREMENTS FOR THE MEASUREMENT, BRANCHING, GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LISTS GENERALLY FOLLOW THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., AND THE AMERICAN STANDARD FOR NURSERY STOCK. PLANT MATERIAL SHALL BE GRADED AS SPECIFIED ON THE DRAWINGS.

GRADES SHALL CONFORM TO GRADES AND STANDARDS FOR NURSERY STOCK, STATE PLANT BOARD OF FLORIDA. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED. PLANTS WITH BROKEN, DAMAGED, OR INSUFFICIENT BALLS WILL BE REJECTED. ALL PLANTS SHALL BE FLORIDA FANCY.

3. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.

PLANTING SOIL

SOIL BY 'ATLAS SOIL' OR APPROVED ALTERNATE

ALL PLANTING AREAS SHALL BE CLEANED OF ALL PLANT AND MATERIAL TWO WEEKS PRIOR TO INSTALLATION OF SOIL FOR REMOVAL OF ANY NEEDS.

GROUND COVER BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH 4" OF 8270 MIX & TILL/MIX INTO EXISTING SOIL.

SHRUB BEDS -REMOVE 6" OF EXISTING SOIL AND FILL WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

TREE PITS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE TREE AND REPLACE WITH A MIX OF 50% APPROVED SOIL & 50% EXISTING SOIL.

PALMS -REMOVE SOIL IN THE AMOUNT OF 1/2 LARGER THAN THE BALL OF THE PALM AND REPLACE WITH APPROPRIATE SOIL AND CLEAN YELLOW SAND FREE OF NEEDS.

SOIL SPECS FOR PLANTING BEDS:	
ATLAS PEAT & SOIL 8270 MIX	
20% can peat	•
25% flt peat	•
40% pine bark	•
15% dirlite	•
SOIL SPECS FOR TREES AND LARGE SHRUBS:	
SMILA SOIL MIX (APPROVED SOIL)	•
50% Pinebark	•
40% Florida Peat	•
10% Coarse Sand	•
10lbs Dolomite per/Yard	•
10.5lbs TurfPro per/Yard	•
25 pounds NutriCote 10/6/0-360 P/Yard optional	•

1. SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-1300

PLANTING SOIL NOT MEETING THESE REQUIREMENTS WILL NOT BE ACCEPTED.

1. SOIL FOR PLANTING TREES, SHRUBS AND GROUND COVER SHALL BE SMILA SOIL UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS.

2. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REMOVE ANY EXCESS SOIL AND DEBRIS FROM THE SITE. REFER TO THE GRADING PLAN AND GRADING SPECIFICATIONS.

3. LANDSCAPE ARCHITECT MAY REQUEST SOIL ANALYSIS FOR THE TESTING OF PLANTING SOIL UTILIZED BY THE SELECTED LANDSCAPE CONTRACTOR.

FERTILIZER

1. TREES USE ONE 21 GRAM AGRIFORM PLANTING TABLET PER 1/2" TRUNK DIAMETER. SPACE EQUALLY AROUND AT 2/3 DEPTH OF BALL.

2. SHRUBS: AGRIFORM PLANTING TABLETS SHALL BE APPLIED PER THE MANUFACTURERS SUGGESTED APPLICATION RATES.

3. SOD USE FERTILIZER AS PER BELOW WITH TRACE ELEMENTS APPLIED AT THE RATE OF 15 LBS. PER 1000 SQ. FT. PRIOR TO LAYING SOD.

4. POWDERED MYCORIZAE MIX; DIE HARD, PLANT HEALTH CARE OR EQUAL) AND LIQUID B-THRIVE (OR EQUAL) SHOULD BE ADDED TO ALL TREES, SHRUBS AND GROUND COVER PLANTING BEDS AS PER MANUFACTURERES DIRECTIONS.

5. ALL TREES, SHRUBS, GROUND COVER AND SOD TO USE LESCO 13-9-13 FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS

MULCH

ALL MULCH FOR THE PROJECT SHALL BE ATLAS GROW. MULCH SHALL BE APPLIED 2" IN TREES AND PALMS AS SPECIFIED, AND ALL PLANTING BEDS, HEDGE AND SHRUBS. KEEP CROWN OF ROOT BALL ABOVE MULCH

SOLE SOURCE - FROM ATLAS PEAT & SOIL INC., P.O. BOX 3867, BOYNTON BEACH, FLORIDA, 33424-3867, (561) 734-1300

SUBMIT BAG TO LANDSCAPE ARCHITECT FOR APPROVALS.

SABAL PALMS

1. SABAL PALMS SHALL HAVE A MINIMUM TRUNK DIAMETER OF 12" MEASURED 2' ABOVE GROUND.

HEDGES

1. THE LANDSCAPE CONTRACTOR SHALL PROVIDE FULL MATERIAL TO PRODUCE A SOLID SCREEN FROM THE TOP OF HEDGE TO THE BASE OF HEDGE.

2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO ADD FILLERS TO THE HEDGE AS NEEDED TO PRODUCE A SOLID FULL TO BASE (F.T.B.), SCREEN TO BE INCLUDED IN THE CONTRACTED PRICE.

3. PLANT MATERIAL WITH KEAK OR THIN FOLIAGE WILL NOT BE ACCEPTED.

VINES

1. MATERIALS & INSTALLATION OF VINE SUPPORTS SHALL BE INCLUDED IN UNIT COST OF VINE SPECIFIED

SODDING

1. THE LANDSCAPE CONTRACTOR SHALL SOD ALL AREAS INDICATED AND NOTED ON THE DRAWINGS.

2. NO SODDING SHALL OCCUR UNTIL ALL AREAS TO BE SODDED ARE CLEARED OF ANY ROUGH GRASS, NEEDS, AND DEBRIS, THE GROUND BROUGHT TO AN EVEN GRADE AND SPECIFIED AMENDMENTS HAVE BEEN ADDED. SEE DETAILS FOR SPECIFIC AMENDMENTS AS PER SOD TYPE. ALL SODDED AREAS WILL BE TREATED WITH 'ROUNDUP' HERBICIDE PER MANUFACTURER'S SPECIFICATIONS AT LEAST TEN DAYS PRIOR TO SOD INSTALLATION.

3. THE SOD SHALL BE FIRM, TOUGH TEXTURE, HAVING A COMPACTED GROWTH OF GRASS WITH GOOD ROOT DEVELOPMENT. IT SHALL CONTAIN NO NOXIOUS NEEDS, OR ANY OTHER OBJECTIONABLE VEGETATION, FUNGUS, INSECTS OR DISEASE. PREPARATION OF AREAS SHALL BE PERFORMED WELL ENOUGH IN ADVANCE TO ALLOW SUFFICIENT TIME TO WORK PROPERLY. THE SOIL EMBEDDED IN THE SOD SHALL BE GOOD, CLEAN EARTH, FREE FROM STONES AND DEBRIS. THE SOD SHALL BE FREE FROM FUNGUS, VERMIN, AND OTHER DISEASES.

4. BEFORE BEING CUT AND LIFTED, THE SOD SHALL HAVE BEEN MOVED AT LEAST THREE TIMES WITH A LAWN MOWER WITH THE FINAL MOWING NOT MORE THAN SEVEN DAYS BEFORE THE SOD IS CUT. THE SOD SHALL BE CAREFULLY CUT INTO UNIFORM DIMENSIONS.

5. SOLID SOD SHALL BE LAID WITH CLOSELY ABUTTING JOINTS WITH A TAMPED OR ROLLED EVEN SURFACE.

6. WATERING SHALL BE ACCOMPLISHED UNTIL ACCEPTANCE OF THE WORK BY THE LANDSCAPE ARCHITECT.

7. MAINTENANCE OF MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL APPROVAL OF LANDSCAPE ARCHITECT.

8. IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO BRING THE SOD EDGE IN A NEAT, CLEAN MANNER TO THE EDGE OF ALL PAVING AND SHRUB AREAS.

9. SEE PLANS FOR DETAILS. RE: SOD VARIETIES

10. FOR SOD, APPLY DEPTH OF SOIL AS PER PLANTING DETAILS PAGE. REMOVE ANY STONES FROM TOP OF SUB-GRADE OR COVER STONES WITH ADDITIONAL 2" OF SOIL MIX.

11. ALL SOD AREA SHALL BE TREATED WITH ROUND UP TWO WEEKS PRIOR TO INSTALLATION FOR REMOVAL OF ANY EXISTING OBJECTIONABLE PLANTS. DOSAGE AND APPLICATION PER MANUFACTURERS SPECIFICATIONS.

CLEAN UP

1. THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS EMPLOYEES OR WORK. HE SHALL LEAVE ALL PAVED AREAS "BROOM CLEAN" WHEN COMPLETED WITH THE WORK.

2. MARKS AND DAMAGE TO EXISTING PAVING MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

ALL PALMS, TREES, AND LARGE SPECIMEN PLANTS SHALL BE STAKED BY THE LANDSCAPE CONTRACTOR FOR LA APPROVAL OF LAYOUT AND LOCATIONS PRIOR TO INSTALLING SAME.

TREE STAKE PAINT FORMULA:			
BEHR PREMIUM PLUS EXT FLAT -ACCENT BASE (4670)			
COLORANT	OZ	48	96
D THALO GREEN	01	04	1
C YELLOW OXIDE	02	04	0
B LAMP BLACK	01	00	0

SUBMIT SAMPLE

PLANT LIST

All plants to be Florida Fancy

QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
TREES				
2	Coccoloba diversifolia	Pigeon Plum	per SMI	Native
2	Coccoloba uvifera	Sea Grape	per SMI	Native
1	Cordia sebestena	Orange Geiger Tree	10' ht, SMI to approve	Native
1	Fortunella japonica 'Variegata'	Variegated Kumquat	#65, SMI to approve	Not Native

PALM TREES				
3	Sabal palmetto	Cabbage Palmetto	mixed heights, 14'gw, 18'gw, 20'gw, booted	Native

SHRUBS				
3	Dombeya x seminole	Pink Dombeya	#15, 36"oc	Not Native
2	Hibiscus rosa-sinensis 'La France'	Hibiscus 'La France'	Pink, per SMI	Not Native
124	Radermachera x 'Kunming'	Kunming Dwarf Tree Jasmine	6'ht, ftb, hedge, Qty=LF, SMI to approve	Not Native

VINE/ESPALIER				
3	Solandra grandiflora	Showy Chalice Vine	#15, trl, solid green leaf, train up wall over garage door	Not Native
1	Trachelospermum jasminoides 'Confederate'	Confederate Jasmine	#7, trl, train to lattice	Not Native

SHRUB AREAS				
10	Annuals	per client	#1, TBD, (in pots)	Not Native
80	Coccoloba uvifera x diversifolia	Hybrid Sea Plum	#3, 30'ht, 14"oc	Native
30	Heliotropium angiospermum	Scorpion's Tail	#3, 16"oc	Native
39	Ilex vomitoria 'Schillings'	Schillings Yaupon Holly	#7, 18"oc	Native
30	Mix: Farfugium & Begonia fusca	Leopard Plant / Iron Cross Begonia	#3, 18"oc	Not Native
27	Perennials Mix Per SMI	See Perennial Mix Chart	#3, 18"oc	Not Native

GROUND COVERS				
150	Mimosa strigillosa	Sunshine Mimosa	#1, 12"oc	Native
136	Phyla incisa	Frog Fruit	#1, 12"oc	Native

PERENNIAL MIX

QTY	BOTANICAL NAME	COMMON NAME	SIZE	NATIVE
SHRUBS				
6	Clerodendrum ugandense	Blue Glorybower	#3, 18"oc	Not Native
5	Rondeletia leucophylla	Panama Rose	#3, 18"oc	Not Native
5	Salvia x 'BBSAL01301'	Rockin® Blue Suede Shoes Sage	#3, 18"oc	Not Native
5	Tabernaemontana divaricata 'Netty'	Netty Pinwheel Jasmine	#3, 18"oc	Not Native
6	Thyallis glauca	Thyallis	#3, 18"oc	Not Native

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NOTES:
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-DRIP IRRIGATION MAY ONLY BE USED IF SPECIFIED BY SMI OR IF REQUIRED BY MUNICIPALITY

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	DATE	DESCRIPTION
REVISIONS		

PRESENTATION

SMI
LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration *LA 13000223

TITLE		
Planting Specifications		
SCALE	PROJECT NUMBER:	
NONE	2402	
DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	L2.3 SHEET 3 OF 3	

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



DRIVEWAY
CORAL FLAGGING



ENTRY WALK
DOMINICAN CORAL



STEPS
DOMINICAN CORAL



TERRACE & POOL COPING
DOMINICAN CORAL



LATTICE
AZEK
COLOR: REFER TO ARCHITECT'S SHUTTER COLOR

ABBREVIATIONS KEY
DIA = DIAMeter
DR = Dominican Republic
HS = HardScape
HT = Height
LA = Landscape Architect
LS = LandScape
MAX = MAXimum
MIN = MINimum
SMI = SMI Landscape Architecture
TBD = To Be Determined
TC = Terra Cotta
THK = Thick
TYP = Typical

GRADING
BOS = Bottom Of Steps
ELEV = ELEVation
FFE = Finished Floor Elevation
TOS = Top Of Steps
TOW = Top Of Wall

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION



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North

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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

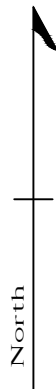
TITLE		
Materials Sheet		
SCALE	PROJECT NUMBER:	
None	2402	
DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	<div>M-1</div> <div>SHEET 1 OF 1</div>	

FIELD VERIFY ALL DIMENSIONS

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7	02.10.2025	PRESENTATION
6	01.26.2025	PRESENTATION REV 01
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3	10.21.2024	SECOND SUBMITTAL
2	10.03.2024	FIRST SUBMITTAL
1	09.16.2024	PRE-APPLICATION

REVISIONS	DATE	DESCRIPTION
		PRESENTATION

S M I

LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Native Calculations		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	N-1 SHEET 1 OF 1	



Know what's below
Call before you dig

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION

Town of Palm Beach		
Planning Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com		
Line #	Landscape Legend	
1	Property Address: 260 Colonial Lane, Palm Beach, FL	
2	Lot Area (sq. ft.): 9,710 Sq. Ft.	
3	REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	4,325 Sq. Ft. (45% min.) 4,347 Sq. Ft. (45%)
5	LOS to be altered (Sq Ft and %)	N/A 9,710 Sq. Ft. (100%)
6	Perimeter LOS (Sq Ft and %)	1,120 Sq. Ft. (50% min.) 1,866 Sq. Ft. (83%)
7	Front Yard LOS (Sq Ft and %)	1,300 Sq. Ft. (40% min.) 2,234 Sq. Ft. (69%)
8	Native Trees %	30% (number of trees) 83%
9	Native Shrubs & Vines %	30% (number of shrubs & vines) 44%
10	Native Groundcover %	30% (groundcover area) 100%
To determine qualifying native vegetation use either: the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List OR the Florida Native Plant Society Native Plants for Your Area List		
Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.		
This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.		
See Ord. 003-2023 REV 8F 20230727		

Native Coverage Calculations

Total coverage of new plantings 2,130 sf (100%)

Coverage by native plants 1,112 sf (52.2%)



Newly planted non-native plant material



Newly planted native plant material

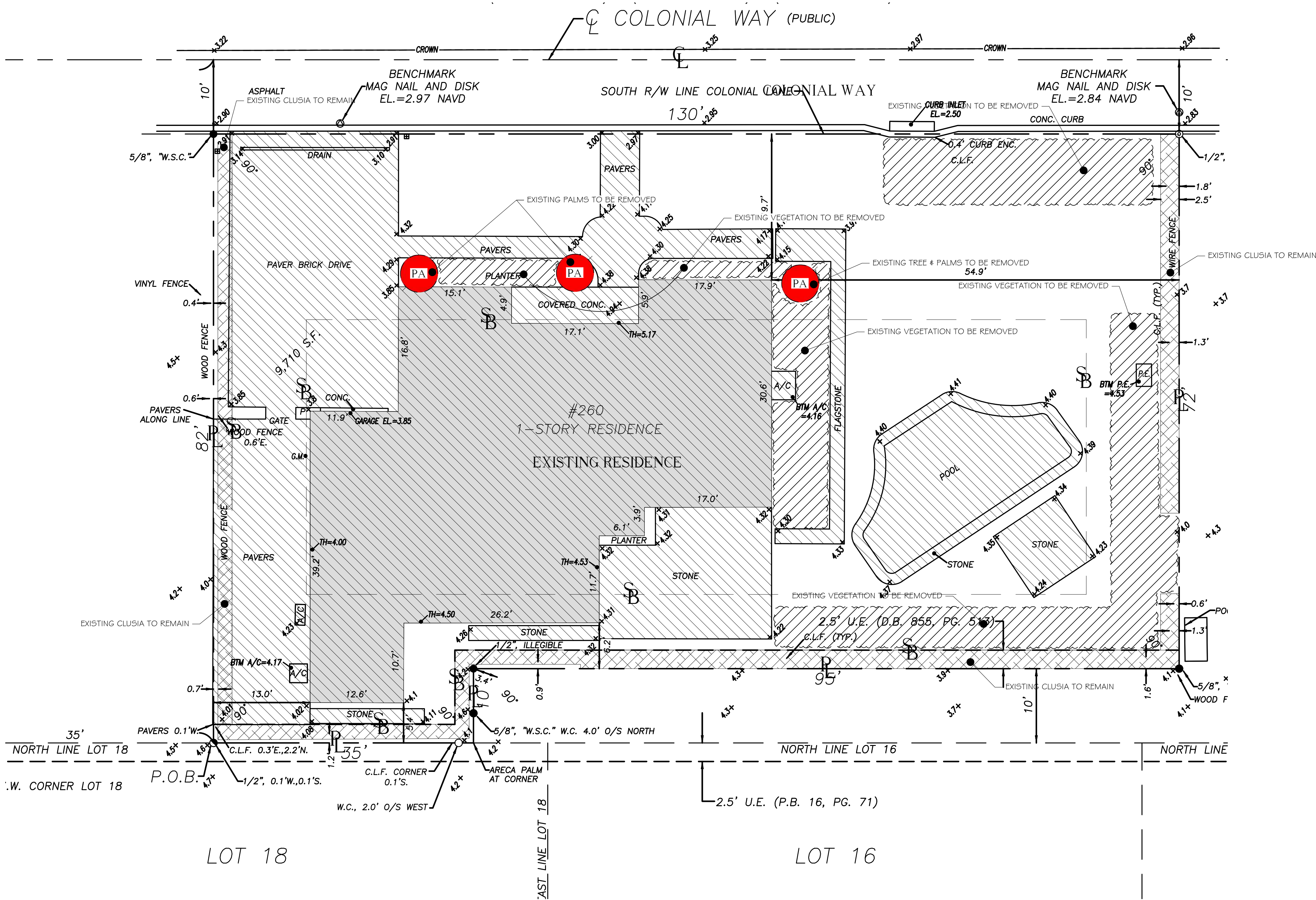
Areas not shown in color are either existing to remain,
building, hardscape, or sod

ABBREVIATIONS KEY
DIA = DIAMETER
DR = DOMINICAN REPUBLIC
HS = HARDSCAPE
HT = HEIGHT
LA = LANDSCAPE ARCHITECT
LS = LANDSCAPE
MAX = MAXIMUM
MIN = MINIMUM
SMI = SMI LANDSCAPE ARCHITECTURE
TBD = TO BE DETERMINED
TC = TERRA COTTA
THK = THICK
TYP = TYPICAL

GRADING
BOS = BOTTOM OF STEPS
ELEV = ELEVATION
FFE = FINISHED FLOOR ELEVATION
TOS = TOP OF STEPS
TOW = TOP OF WALL

FIELD VERIFY ALL DIMENSIONS

ANY/ALL TRACK DRAINS, TRENCH DRAINS AND DRAIN GRATES
TO BE CAST IRON UNLESS OTHERWISE SPECIFIED BY SMI



Abbreviations Key	
Abvtrn	Scientific Name
PA	PALM

Relocation Key	
	Remove
	Relocate
	Remain
	Hardscape to be removed
	Vegetation to be removed
	Vegetation to remain

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1	09.16.2024	PRE-APPLICATION

DATE	DESCRIPTION
02.10.2025	PRESENTATION

PRESENTATION

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LANDSCAPE ARCHITECTURE
140 Royal Palm Way, Suite #206, Palm Beach, Florida 33480
Telephone: 561-655-9006 Fax: 561-655-9007
eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE		
Pre-Demolition Plan		
SCALE	PROJECT NUMBER:	
1/8" = 1'-0"	2402	
DATE:	PRJCT MNGR:	CHECKED:
02.10.2025	CFV	CFV
SEAL	DRAWING NO.	
	D-1 SHEET 1 OF 2	

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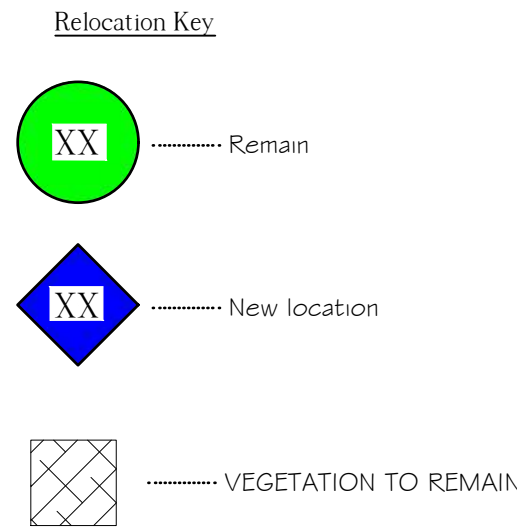
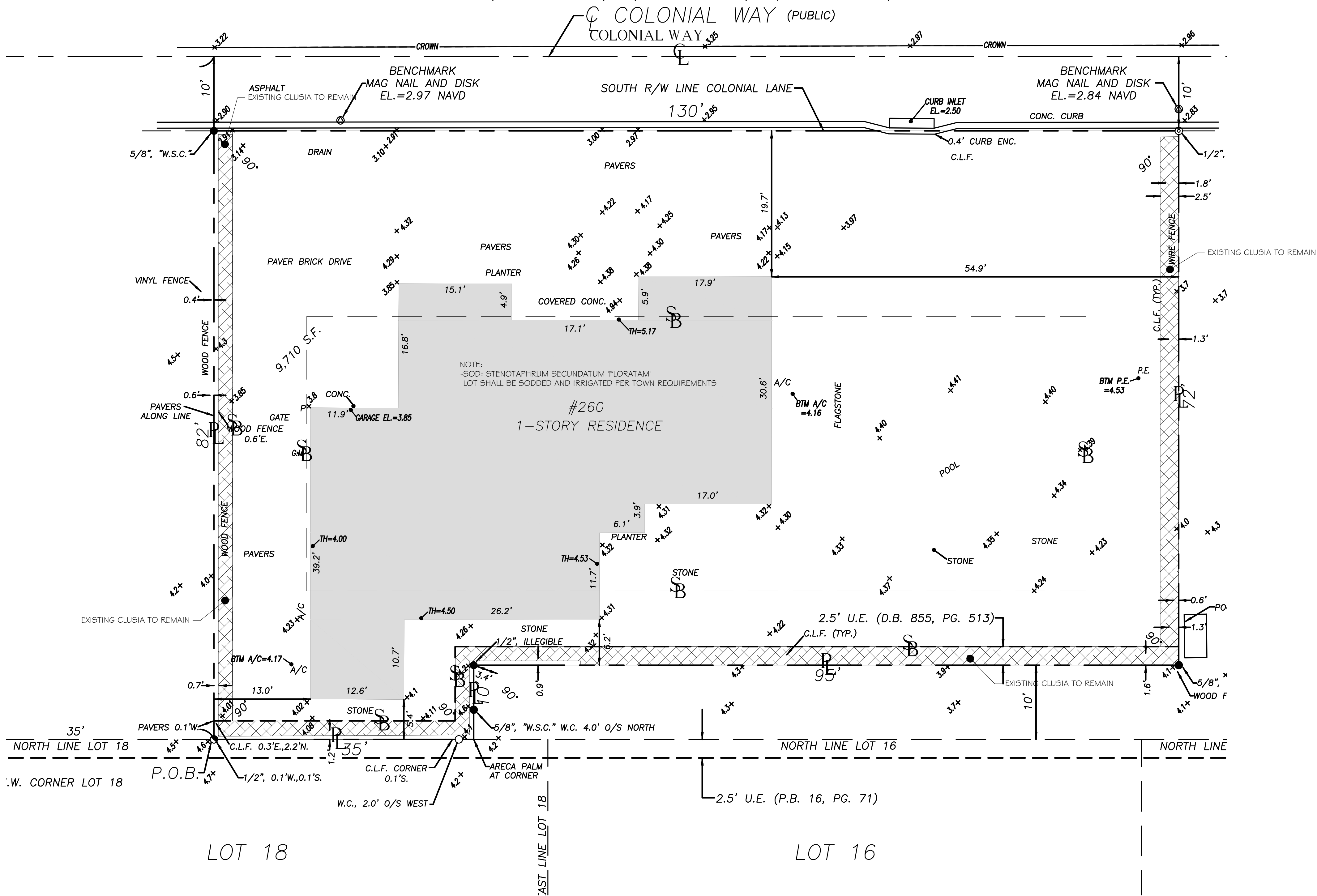
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The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Post Demolition Plan		
SCALE 1/8" = 1'-0"	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. D-2 SHEET 2 OF 2	

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LANDSCAPE ARCHITECT TO APPROVE
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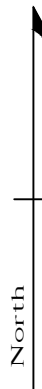
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TITLE North/South Elevation View		
SCALE AS NOTED	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. E-1 SHEET 1 OF 2	



1 NORTH ELEVATION
E-I



2 SOUTH ELEVATION
E-I

SCALE: N.T.S

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1 EAST ELEVATION
E-2 SCALE: N.T.S



2 WEST ELEVATION
E-2 SCALE: N.T.S

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260 Colonial Lane
Palm Beach, Florida

North

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TITLE East/West Elevation View		
SCALE AS NOTED	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. E-2 SHEET 2 OF 2	



Surrounding Property Map - Colonial Lane



Subject Property -260 Colonial



270 Colonial



266 Colonial



292 Colonial



242 Colonial



232 Colonial



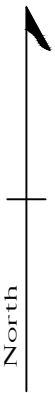
248 Colonial



1123 N lake Way

The Hunt Residence

260 Colonial Lane
Palm Beach, Florida



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REVISIONS	DATE	DESCRIPTION
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PRESENTATION

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TITLE Neighboring Properties		
SCALE None	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. NP-1 SHEET 1 OF 1	

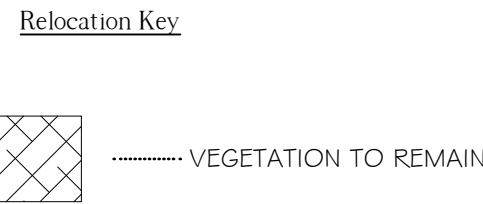
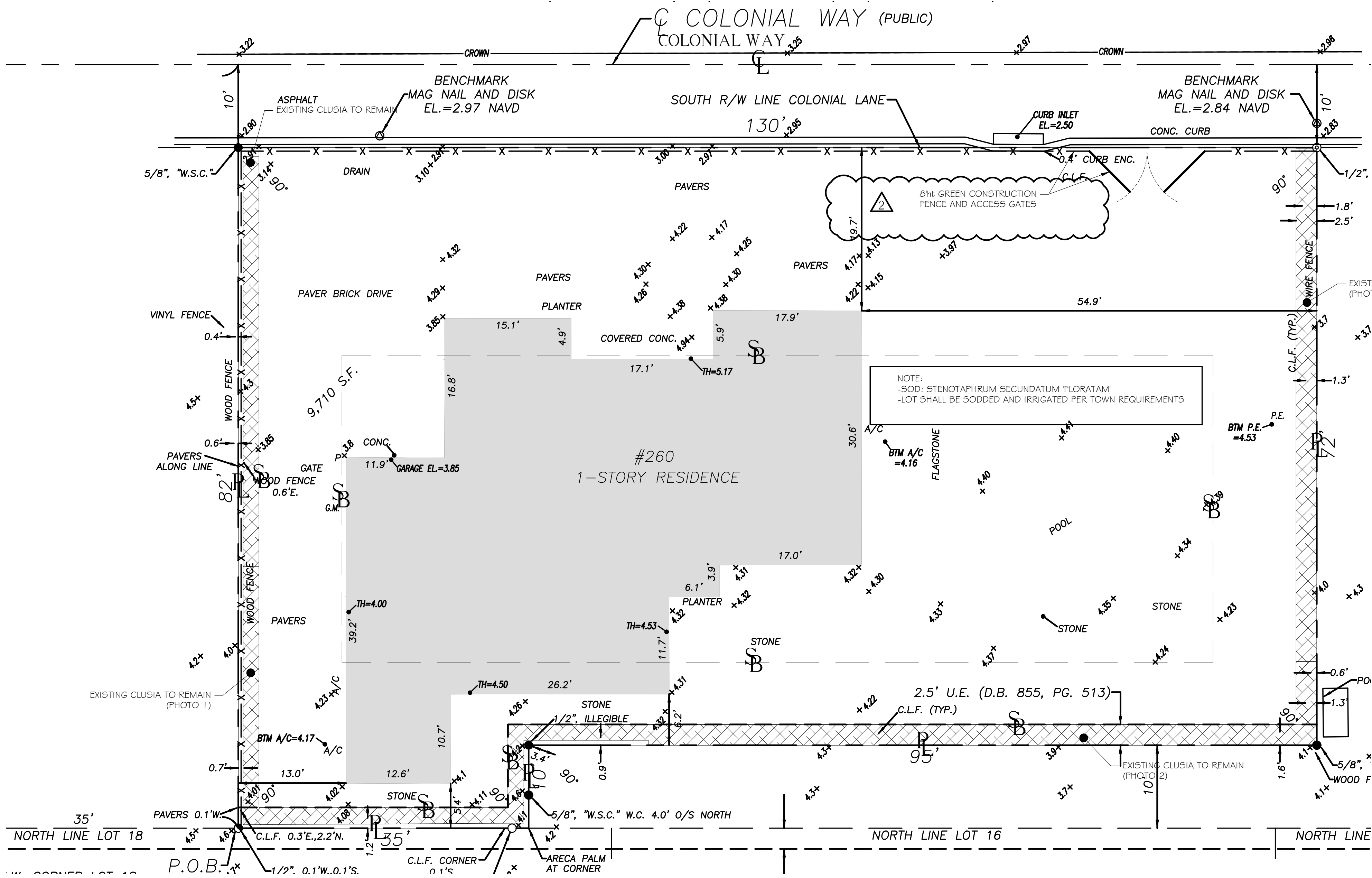


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The Hunt Residence

260 Colonial Lane
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eMail: Office@smila.net www.smila.net
FL registration #LA 13000223

TITLE Screening Plan		
SCALE 1/8" = 1'-0"	PROJECT NUMBER: 2402	
DATE: 02.10.2025	PRJCT MNGR: CFV	CHECKED: CFV
SEAL 	DRAWING NO. S-1 SHEET 1 OF 1	

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PHOTO 1
WEST SIDE



PHOTO 2
SOUTH SIDE



PHOTO 3
EAST SIDE

LANDSCAPE ARCHITECT TO APPROVE
LAYOUT OF ALL HARDSCAPE MATERIAL
PRIOR TO INSTALLATION

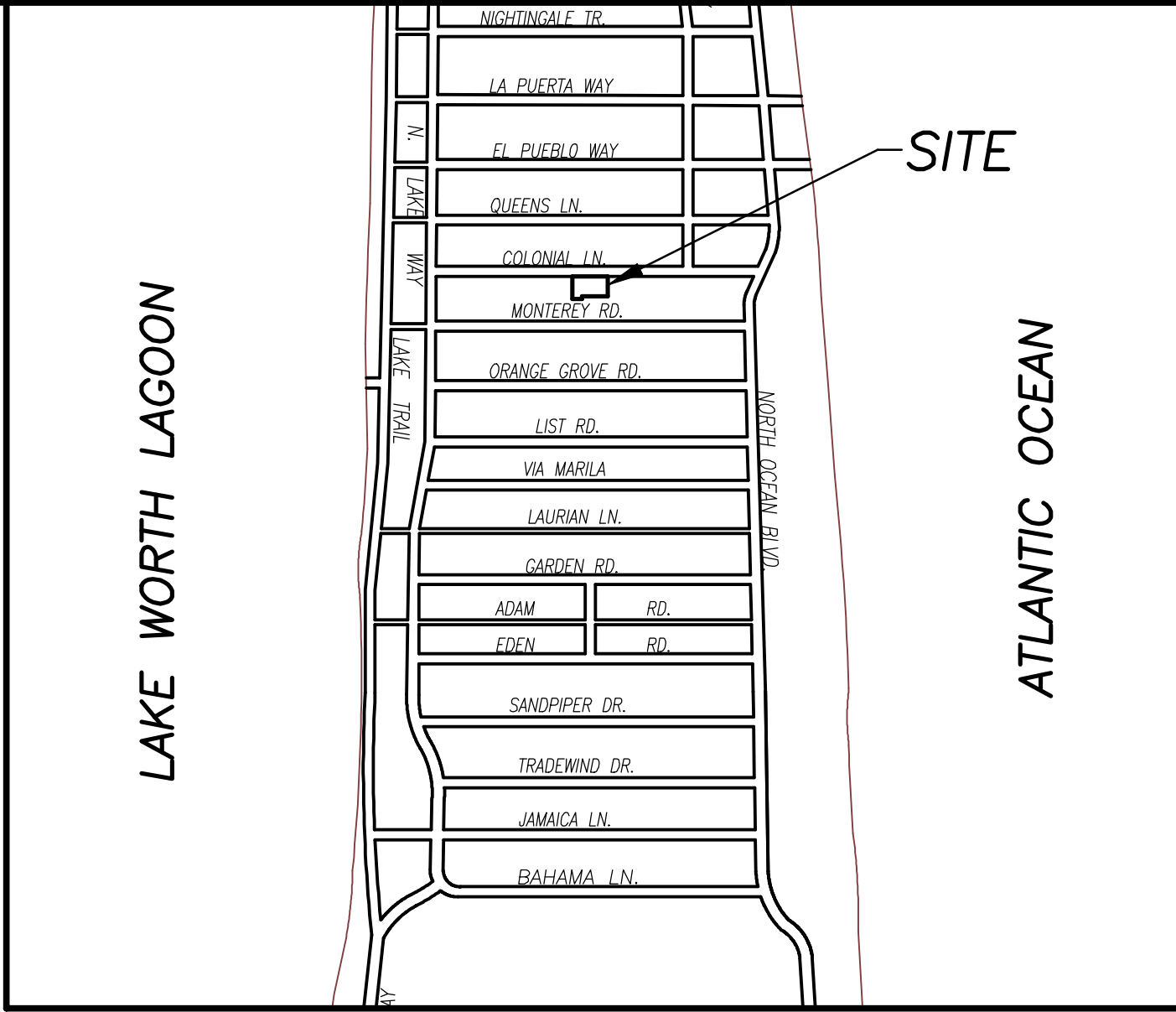
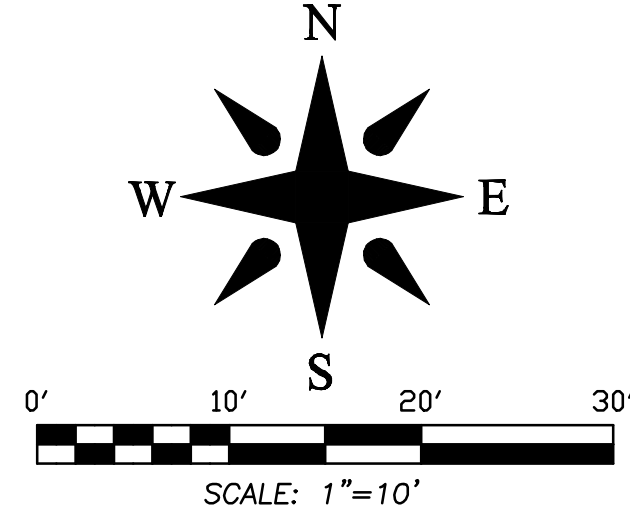
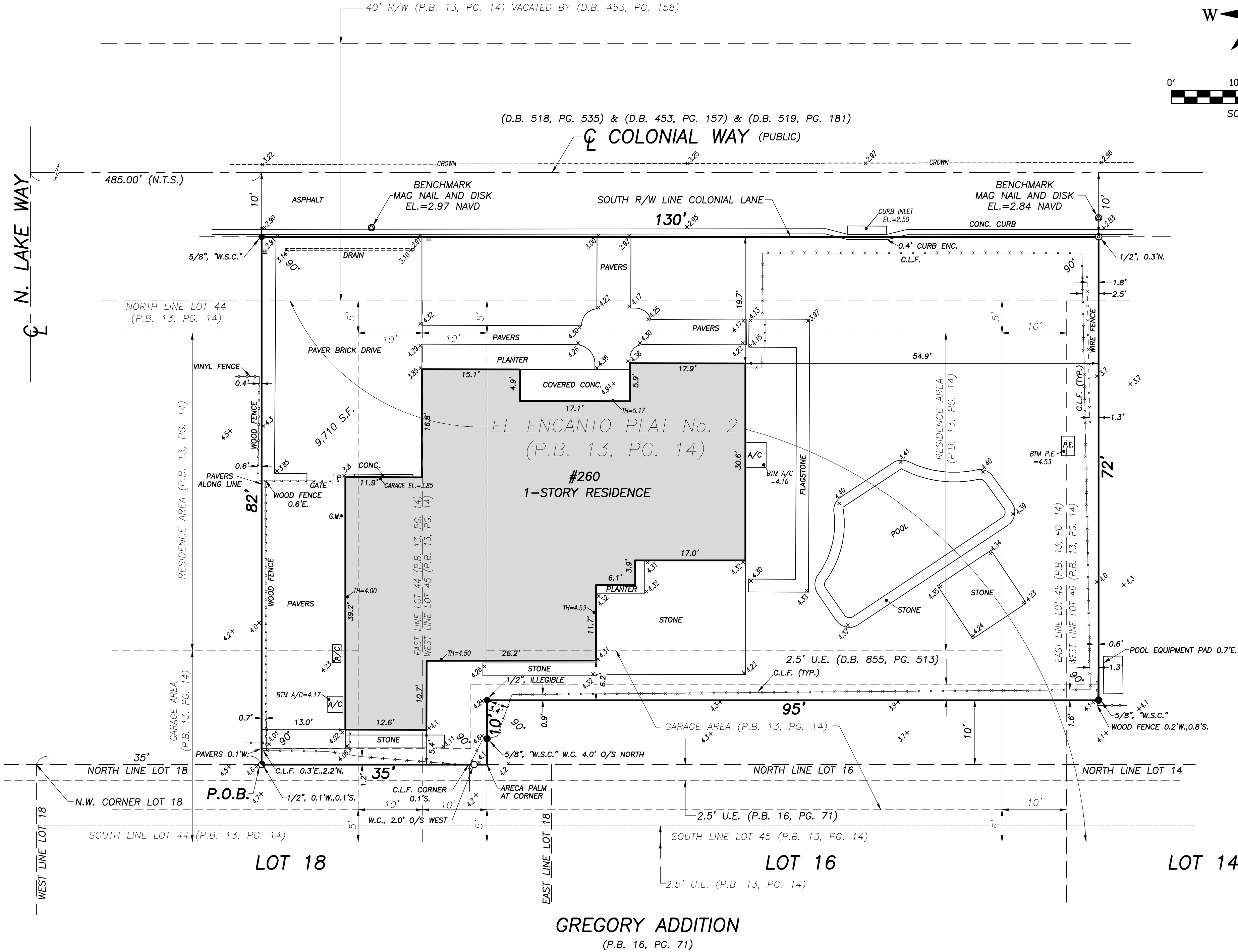


Know what's below
Call before you dig



LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
F.O.C. = FACE OF CURB
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
P = PLANTER
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R = RADIUS
RGE = RANGE
R.P.B. = ROAD PLAT BOOK
R/W = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
B = BASELINE
C = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
□ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = 5/8" ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
● = IRON ROD FOUND (AS NOTED)
▲ = NAIL FOUND
● = NAIL & DISK FOUND (AS NOTED)
● = MAG NAIL & DISK SET (LB #4569)
— = PROPERTY LINE
— = UTILITY POLE
— = FIRE HYDRANT
— = WATER METER
— = WATER VALVE
— = LIGHT POLE
— = PINE TREE
* = SABAL PALM



BOUNDARY SURVEY FOR:
MEREDITH E. HUNT AND MATTHEW DEATLEY

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

Meredith E. Hunt and Matthew DeAtley
First American Title Insurance Company
Kochman & Ziska, PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
260 Colonial Lane
Palm Beach, FL 33480

LEGAL DESCRIPTION:
All that tract or parcel of land beginning at a point in the North line of Lot Eighteen, as shown on the Plat of GREGORY ADDITION TO THE TOWN OF PALM BEACH, FLORIDA, on file in the Office of the Clerk of the Circuit Court of Palm Beach County, Florida, in Plat Book 16, Page 71, which point is 35 feet Easterly from the Northwesterly corner of said Lot 18;
thence in an Easterly direction, along the Northerly line of said Lot 18 for a distance of 35 feet;
thence at right angles running in a Northerly direction for a distance of 10 feet to a point;
thence at right angles and running in an Easterly direction along a line parallel to the Northerly line of Lot 18, 16 and 14 of said GREGORY ADDITION, for a distance of 95 feet to a point;
thence at right angles and running in a Northerly direction for a distance of 72 feet to a point in the South side of Colonial Lane;
thence in a Westerly direction along the South side of Colonial Lane for a distance of 130 feet to a point;
thence at right angles running in a Southerly direction for a distance of 82 feet to the POINT OF BEGINNING.

TITLE COMMITMENT REVIEW					
CLIENT:	MEREDITH E. HUNT AND MATTHEW DEATLEY	COMMITMENT NO.:	1062-4765839	DATE:	MAY 13, 2020
REVIEWED BY:	CRAIG L. WALLACE	JOB NO.:	16-1490.3		
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT
1 TO 8	N/A	Standard Exceptions			
9	N/A	Any Lien			
10a	PB 13, PG 14	Plat of EL ENCANTO PLAT NO. 2	•		
10b	DB 453, PG 158	Ordinance by the Town of Palm Beach (abandonment of 40' right-of-way)	•		
10c	DB 453, PG 157	Resolution by the Town of Palm Beach	•		
10d	DB 518, PG 535	Dedication of the perpetual use by the public	•		
10e	DB 519, PG 191	Quit Claim Deed	•		
11	DB 855, PG 513	Perpetual easement for utility purposes	•		

FLOOD ZONE:
This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0393F, dated 10/05/2017

- NOTES:
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1062-4765839 issued by First American Title Insurance Company, dated May 13, 2020. This office has made no search of the Public Records.
 - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
 - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.


DATE OF LAST FIELD SURVEY: 10/25/2023

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS:
10/25/23 SURVEY AND TIE-IN UPDATE B.M./M.B. 16-1490.4 PB354/63
06/09/20 SURVEY AND TIE-IN UPDATE B.M./M.B. 16-1490.3 PB294/38
12/17/16 SURVEY AND TIE-IN UPDATE J.C./M.B. 16-1490.2 PB232/24

BOUNDARY SURVEY FOR:

MEREDITH E. HUNT AND MATTHEW DEATLEY

			
FIELD	B.M.	JOB NO.	16-1490
OFFICE	M.B.	DATE	8/11/16
C.K.D.	C.W.	REF.	16-1490.DWG
F.B.	PB226	PG.	41
DWG. NO.	16-1490	SHEET	1 OF 1