

PROPOSED POOL HOUSE & GAZEBO

854 S. COUNTY ROAD

TOWN OF PALM BEACH, FLORIDA



PROJECT DATA		LOCATION MAP	
OCCUPANCY : R3      CONSTRUCTION : TYPE VB			
CODES AND REFERENCES : * THE FLORIDA BUILDING CODE, 2023 EDITION* * NATIONAL ELECTRIC CODE 2020 EDITION*			
INDEX OF DRAWINGS			
A-0.00 COVER SHEET SURVEY A-0.01 STREETSCAPE DRAWING NEIGHBOR HOOD PHOTOGRAPHS SP-1.00 SITE PLAN & SITE DATA A-1.01 POOL HOUSE PLAN & ROOF PLAN A-2.01 POOL HOUSE ELEVATIONS A-2.02 POOL HOUSE SECTIONS A-2.03 GAZEBO PLAN & ELEVATIONS A-2.04 BUILDING HEIGHT DIAGRAM A-3.01 EXTERIOR DETAILS A-3.02 MATERIALS			
1			
PROJECT NUMBER	HEARING DATES		
HSB-24-005 (ZON-24-0035)	08-21-2024 LPC 09-11-2024 TC		
SCOPE OF WORK			
1. CONSTRUCT NEW 1 STORY POOL HOUSE, TO MATCH STYLE, COLOR, MATERIALS & DETAILS OF THE MAIN RESIDENCE. 2. CONSTRUCT NEW GAZEBO, MATCHING THE COLOR & ROOF TILES OF EXISTING RESIDENCE.			
CONSULTANTS AND ENGINEERS			
CIVIL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR	ARCHITECT
	ENVIRONMENT DESIGN GROUP DUSTIN M. MIZELL, M.L.A. RA# 6666784 139 N. COUNTY ROAD SUITE # 20B PALM BEACH, FLORIDA 33480 PHONE (561) 832-4600 MOBILE (561) 313-4424 www.Dustin@environmentdesigngroup.com	MILLER LAND SURVEYING 1121 LAKE AVENUE LAKEWORTH, FLORIDA 33460 PHONE: (561) 586-2669 FAX: (561) 582-0151 www.millersurveying.com E-MAIL: orders@millersurveying.com	THE BENEDICT BULLOCK GROUP 1525 NW 3RD STREET, SUITE #1 DEERFIELD BEACH, FLORIDA 33442 PHONE (954) 570-9500 FAX (954) 570-9550 www.TBBG.net

VARIANCE REQUESTS:

1. Additional enclosed accessory building containing bedrooms with bath facilities is proposed.

2. Vehicle gate setback of 10'-0" in lieu of the 18'-0" required.

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REVISIONS

REV	BY	DATE
1	RST	07-12-2024

The Benedict Bullock Group, PA

ARCHITECTURE • PLANNING

1525 NW 3RD STREET, SUITE #1  
DEERFIELD BEACH, FLORIDA 33442  
PHONE (954) 570-9500 FAX (954) 570-9550  
www.TBBG.net

PROPOSED POOL HOUSE & GAZEBO

854 S. COUNTY ROAD

FLORIDA

PALM BEACH,

ARCHITECT'S SEAL

BRIAN BULLOCK, ARCHITECT  
AR 95754

DIGITAL SIGNATURE

DATE	06-27-2024
DRAWN BY	RST
PROJECT NO.	BR2350

SITE PLAN

A-0.00



Private Residence  
854 South County Rd  
Palm Beach

F L O R I D A

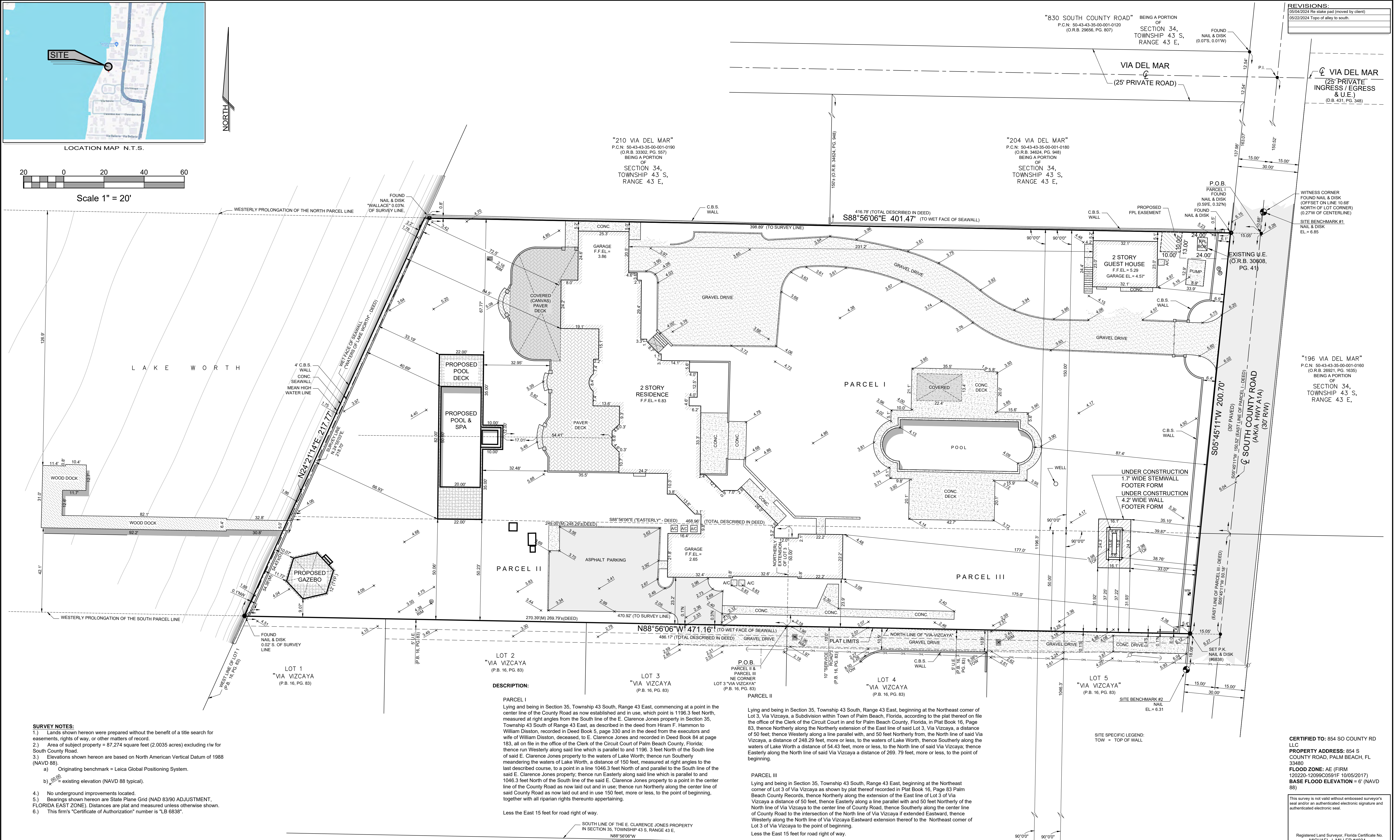
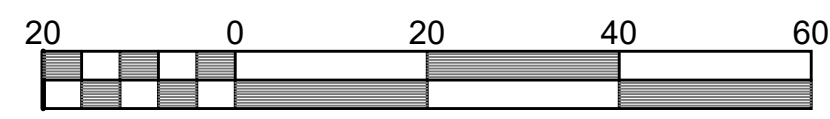
Application #:  
H/B-24-0005  
02.10.25 Submittal

#### Comments as per ARCOM / LPC Meeting 02.19.25

\* Restudy guest house.

#### Modifications to Previously Presented Plans

- Revised landscaping based on adjusted building footprint  
See Sheet L6.1
- Modifications to site data  
See Sheet L5.1



- SURVEY NOTES:**
- Lands shown hereon were prepared without the benefit of a title search for easements, rights of way, or other matters of record.
  - Area of subject property = 87,274 square feet (2.0035 acres) excluding r/w for South County Road.
  - Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
  - Originating benchmark = Leica Global Positioning System.
  - Existing elevation (NAVD 88 typical).
  - No underground improvements located.
  - Bearings shown hereon are State Plane Grid (NAD 83/90 ADJUSTMENT, FLORIDA EAST ZONE). Distances are plat and measured unless otherwise shown.
  - This firm's "Certificate of Authorization" number is "LB 6838".

**DESCRIPTION:**

**PARCEL I**  
Lying and being in Section 35, Township 43 South, Range 43 East, commencing at a point in the center line of the County Road as now established and in use, which point is 1196.3 feet North, measured at right angles from the South line of the E. Clarence Jones property in Section 35, Township 43 South of Range 43 East, as described in the deed from Hiram F. Hammon to William Disston, recorded in Deed Book 5, page 330 and in the deed from the executors and wife of William Disston, deceased, to E. Clarence Jones and recorded in Deed Book 84 at page 183, all on file in the office of the Clerk of the Circuit Court of Palm Beach County, Florida; thence run Westerly along said line which is parallel to and 1196.3 feet North of the South line of said E. Clarence Jones property to the waters of Lake Worth; thence run Southerly meandering the waters of Lake Worth, a distance of 150 feet, measured at right angles to the last described course, to a point in a line 1046.3 feet North of and parallel to the South line of the said E. Clarence Jones property; thence run Easterly along said line which is parallel to and 1046.3 feet North of the South line of the said E. Clarence Jones property to a point in the center line of the County Road as now laid out and in use; thence run Northerly along the center line of said County Road as now laid out and in use 150 feet, more or less, to the point of beginning, together with all riparian rights thereunto appertaining.

**PARCEL II**  
Lying and being in Section 35, Township 43 South, Range 43 East, beginning at the Northeast corner of Lot 3 of Via Vizcaya as shown by plat thereof recorded in Plat Book 16, Page 83 Palm Beach County Records, thence Northerly along the extension of the East line of Lot 3 of Via Vizcaya a distance of 50 feet, thence Easterly along a line parallel with and 50 feet Northerly of the North line of Via Vizcaya a distance of 50 feet, thence Southerly along the center line of County Road to the intersection of the North line of Via Vizcaya if extended Eastward, thence Westerly along the North line of Via Vizcaya Eastward extension thereof to the Northeast corner of Lot 3 of Via Vizcaya to the point of beginning.

**PARCEL III**  
Lying and being in Section 35, Township 43 South, Range 43 East, beginning at the Northeast corner of Lot 3 of Via Vizcaya as shown by plat thereof recorded in Plat Book 16, Page 83 Palm Beach County Records, thence Northerly along the extension of the East line of Lot 3 of Via Vizcaya a distance of 50 feet, thence Easterly along a line parallel with and 50 feet Northerly of the North line of Via Vizcaya to the center line of County Road, thence Southerly along the center line of County Road to the intersection of the North line of Via Vizcaya if extended Eastward, thence Westerly along the North line of Via Vizcaya Eastward extension thereof to the Northeast corner of Lot 3 of Via Vizcaya to the point of beginning.

## SPECIFIC PURPOSE SUREY ALLEY TO SOUTH TOPOGRAPHIC

LEGEND:					
CLC = CALCULATED	IP = PLAT	P.I. = POINT OF INTERSECTION	ASPHALT PAVEMENT		
C.B.S. = CONCRETE BLOCK STRUCTURE	R = RADIUS	P.O.C. = POINT OF COMMENCEMENT	CONCRETE PLATWORK		
CONC. MON. = CONCRETE MONUMENT	A = CENTRAL DELTA ANGLE	P.O.B. = POINT OF BEGINNING	PAVER BRICK PLATWORK		
CONC. = CONCRETE	CH.B. = CHAIN BEARING	RW = RIGHT OF WAY	WOOD POWER POLE		
D.E. = DRAINAGE EASEMENT	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM	W.F. = WOOD FENCE	WATER METER		
U.E. = UTILITY EASEMENT	O.B. = OFFICIAL RECORD BOOK	M.F. = METAL FENCE	FIRE HYDRANT		
P.F. = FINISHED FLOOR ELEVATION	P.B. = PLAT BOOK	C.E. = CENTRELINE	CATCH BASIN		
EL. = ELEVATION	P.C. = POINT OF CURVATURE	E. = EASEMENT	SANITARY MANHOLE		
REF. = REFERENCE	P.T. = POINT OF TANGENCY	O. = OVERHEAD LINES			
(D) = DEED	P.R.C. = POINT OF REVERSE CURVATURE	LOT LIE			
ME. = MEASURED	P.C.C. = POINT OF COMPOUND CURVATURE				

SCALE: 1" = 20'  
DRAWN BY: PICARD  
FIELD WK: F.U.  
DATE: 05/15/2024

**MILLER LAND SURVEYING**  
1121 LAKE AVENUE  
LAKE WORTH BEACH, FLORIDA 33460  
PHONE: (561) 586-2668 FAX: (561) 582-0151  
www.millersurveying.com  
e-mail: orders@millersurveying.com

**REVISIONS:**

05/04/2024	Re stake pad (moved by client)
05/22/2024	Topo of alley to south.

**CERTIFIED TO:** 854 SOUTH RD  
LLC  
**PROPERTY ADDRESS:** 854 S  
COUNTY ROAD, PALM BEACH, FL  
33480  
**FLOOD ZONE:** AE (FIRM  
120220-1208900591F 10/05/2017)  
**BASE FLOOD ELEVATION = 6'** (NAVD  
88)

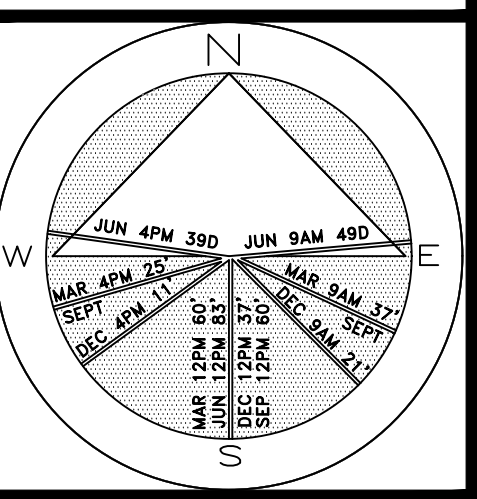
This survey is not valid without embossed surveyor's  
seal and/or an authorized electronic signature and  
authorized electronic seal.

Registered Land Surveyor, Florida Certificate No.  
MICHAEL J. MILLER #4034

CRD. FILE Y240519

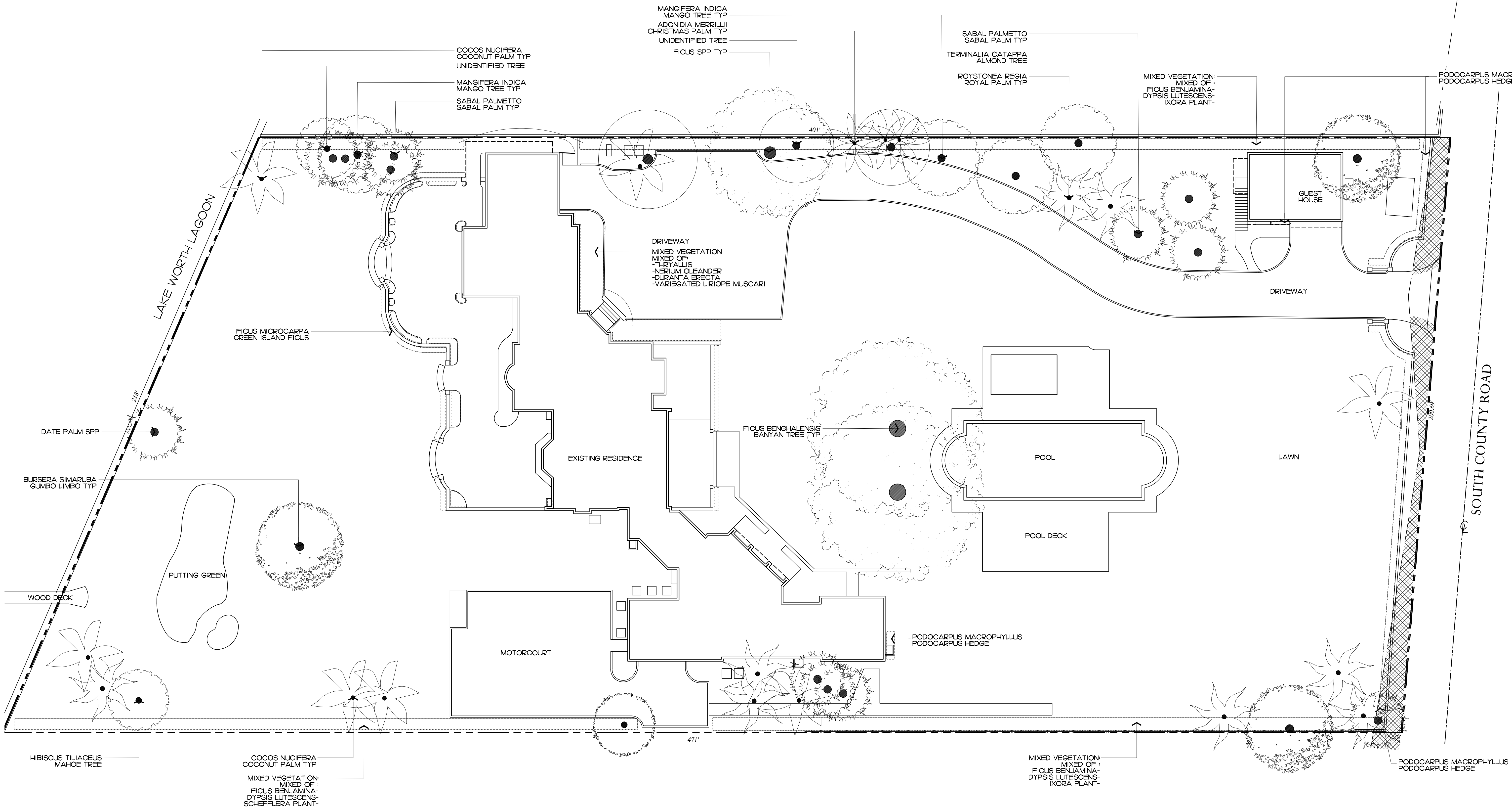
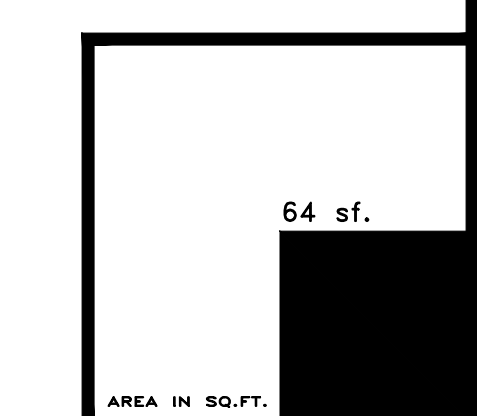
REF: B-50746 B-50770  
B-50769 B-50771  
PREV. Y240518 Y240519  
JOB NO. Y240519  
L - 2409 - E

Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Alex Bugrii  
DATE: 05.16.2024

SHEET L1.0



**2024**  
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**2024**  
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H/B: 24-0005  
ZON: 24-0035

# Existing Vegetation Inventory & Action Plan

SCALE: 1/16"=1'

64 sf.



Aerial View



Private Residence  
854 S County Road  
Palm Beach

JOB NUMBER: # 23090.00 LA  
DRAWN BY: Sean Twomey  
DATE: 03.14.2024

SHEET L1.1



Aerial View



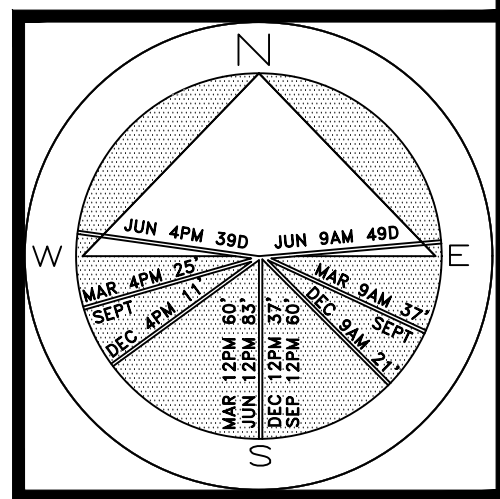
Private Residence  
854 S County Road  
Palm Beach  
FL 33480

JOB NUMBER: # 23090.00 LA  
DRAWN BY: Alex Bugrii  
DATE: 03.14.2024

SHEET L1.2



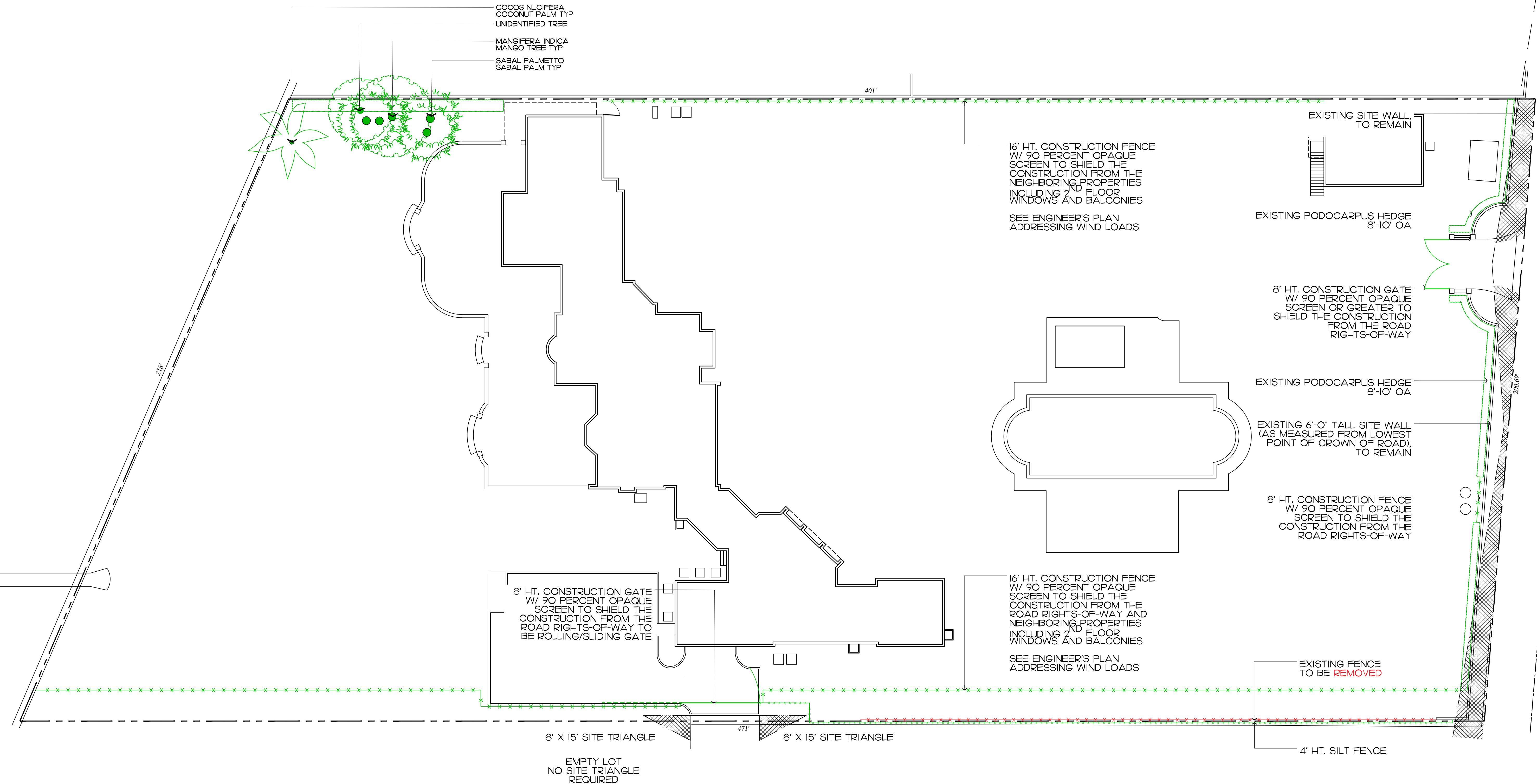
Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Alex Bugrli  
DATE: 05.16.2024  
07.01.2024

SHEET L3.0

64 sf.  
AREA IN SQ.FT.



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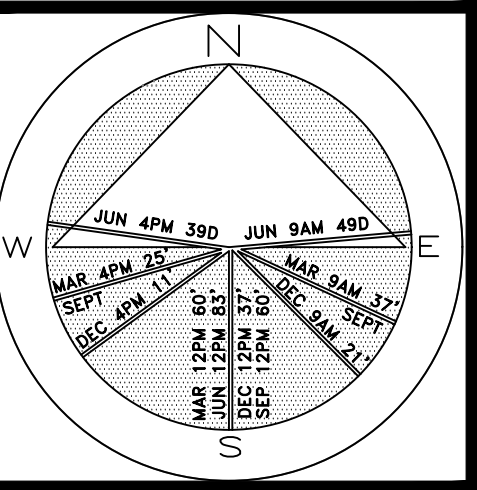
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H/B: 24-0005  
ZON: 24-0035

# Construction Screening & Staging Plan

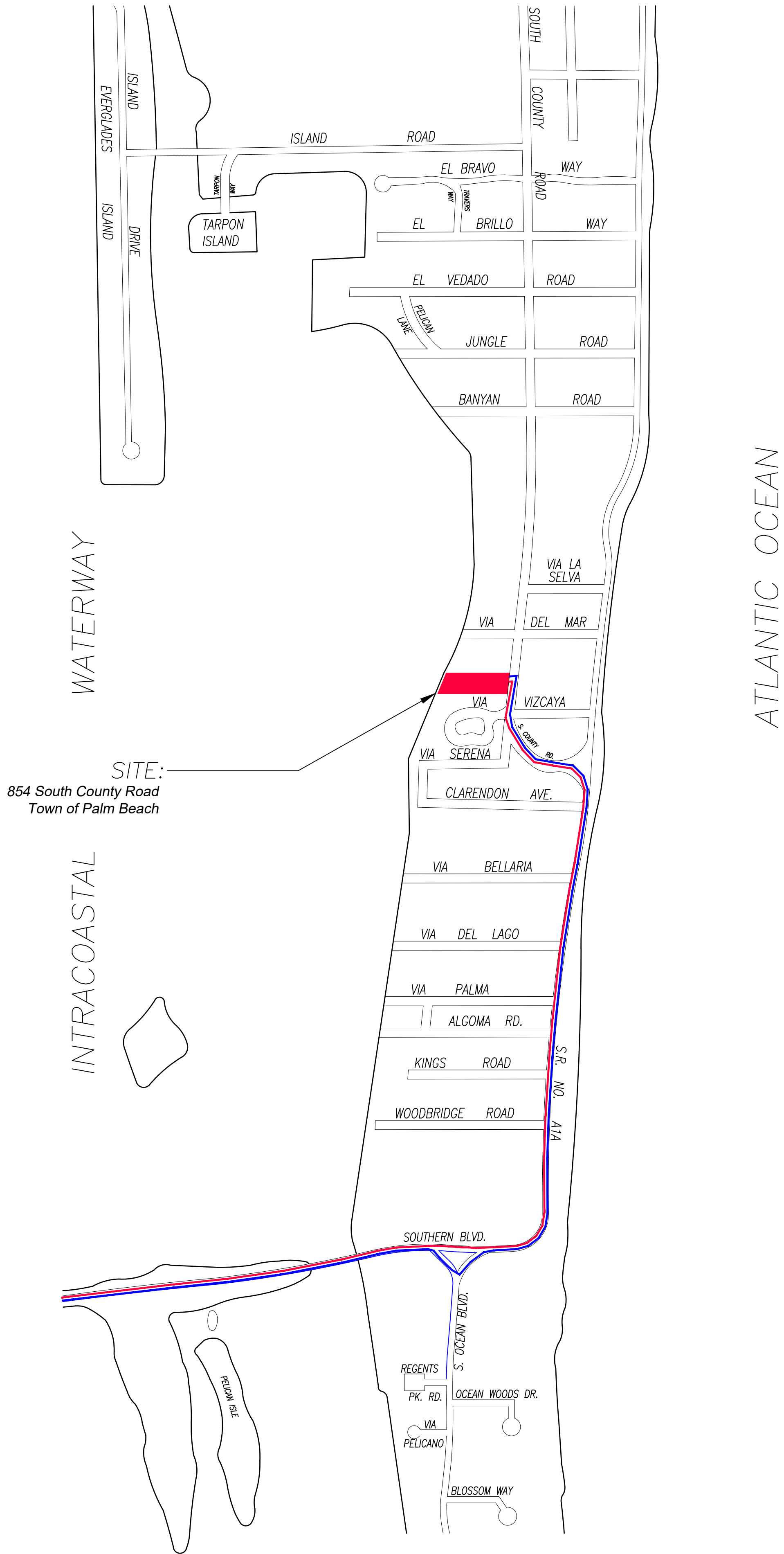
SCALE: 1/16"=1'

Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Dustin Mizell  
DATE: 05.16.2024  
07.01.2024

SHEET L4.0



1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

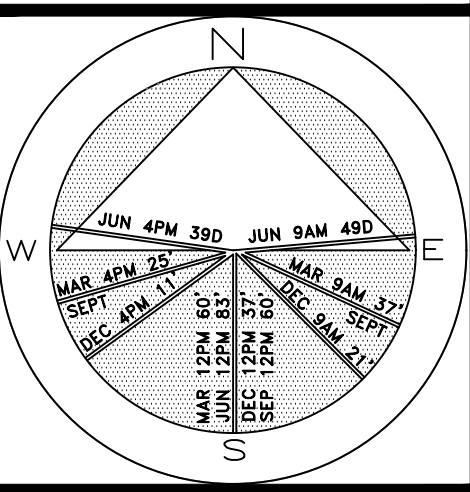
CONCEPTUAL CONSTRUCTION SCHEDULE:

MONTH 1:	DEMOLITION
MONTH 2-4	HARDSCAPE INSTALLATION
MONTH 5	LANDSCAPE INSTALLATION
MONTH 6	FINAL CERTIFICATIONS / PERMITS

LARGEST TRUCK ->  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

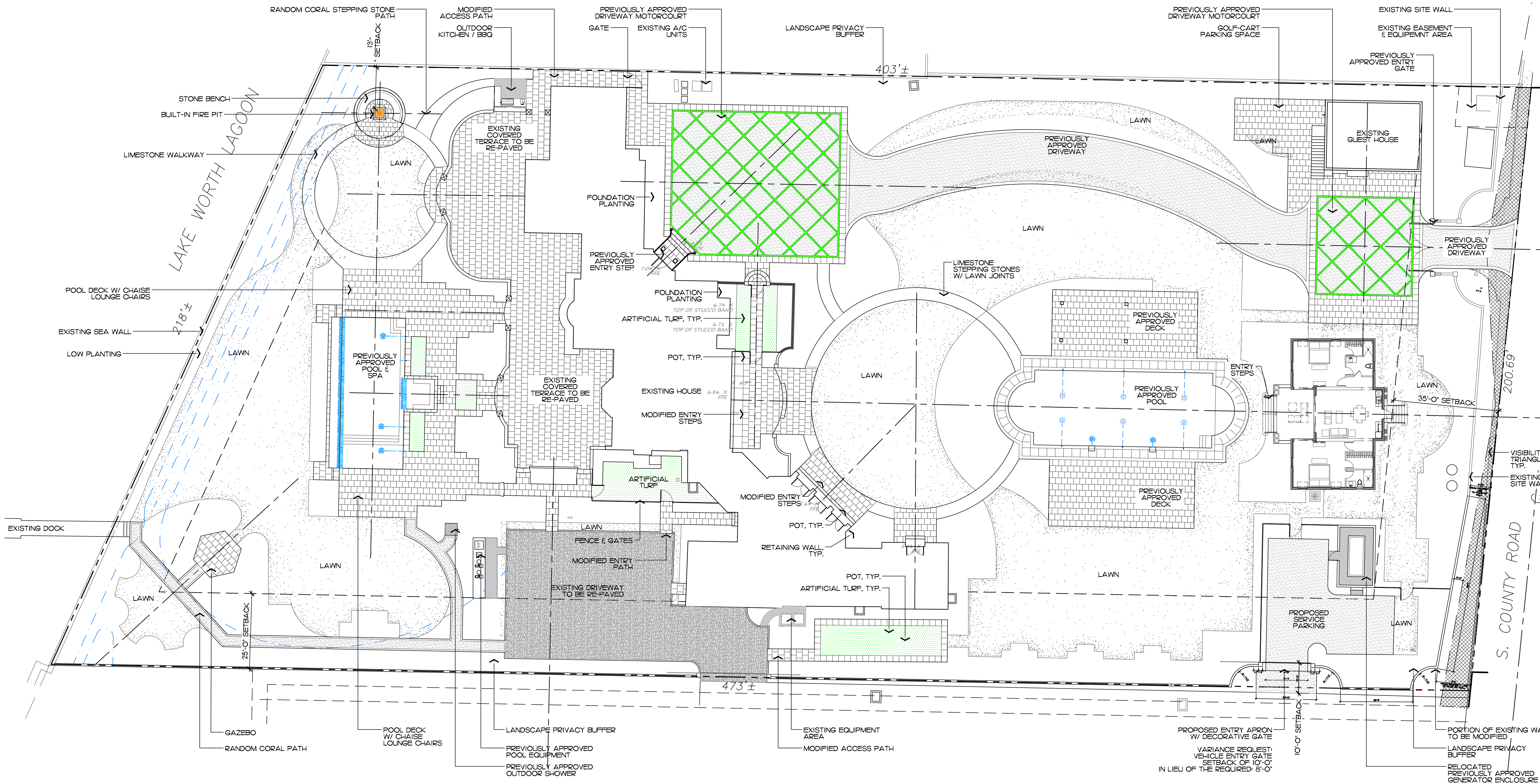
Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Adam Mills / cam. Twomey  
DATE: 03.04.2024  
02.07.2025

SHEET L5.0

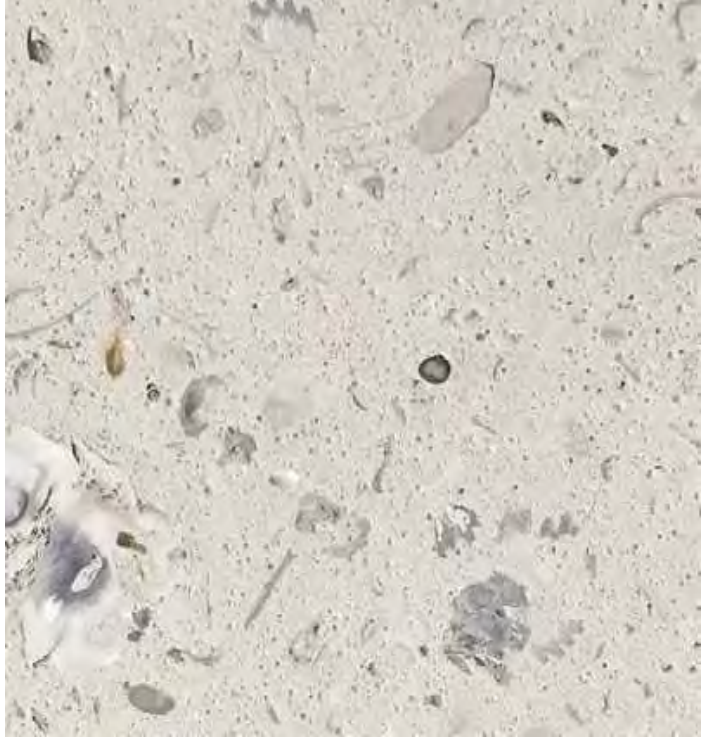
64 sf.  
AREA IN SQ.FT.



Hardscape Materials



LIMESTONE PAVERS



POURED "TABBY SHELL" CONCRETE DRIVEWAY

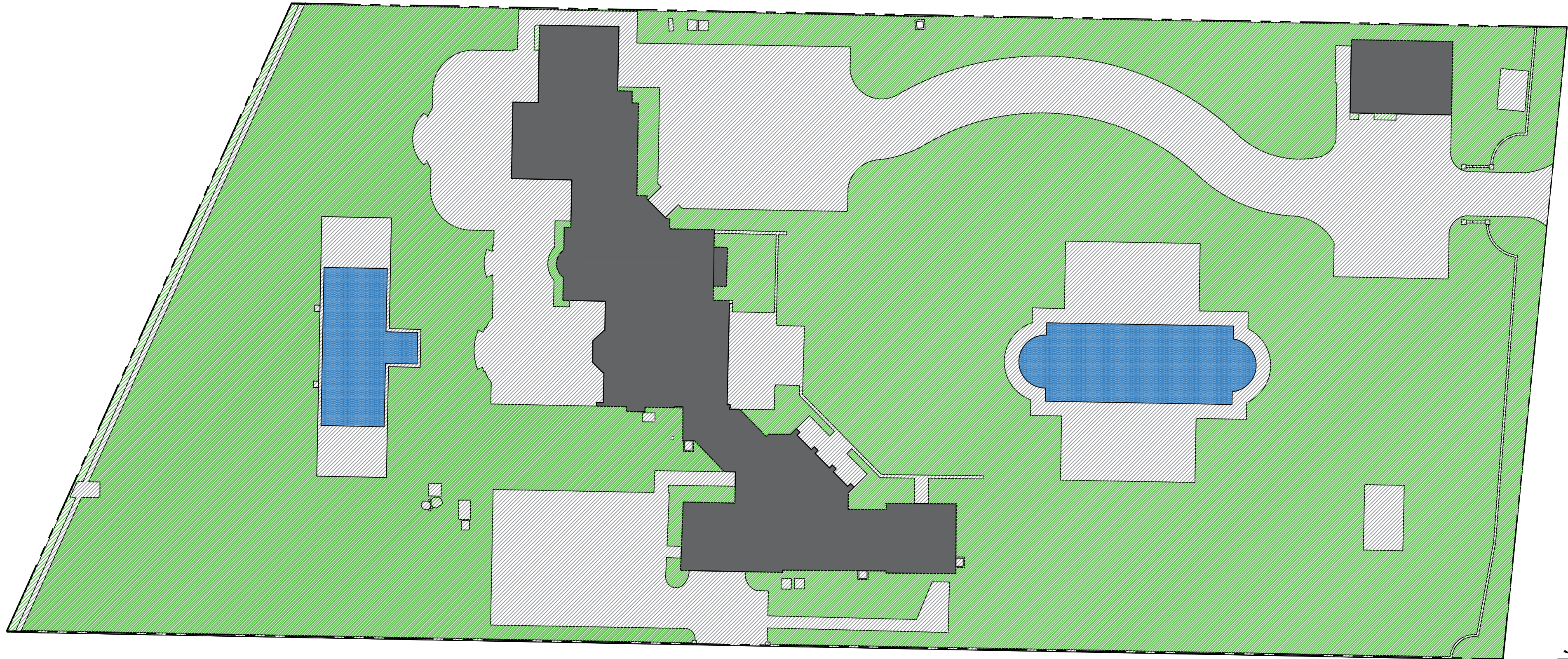
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OF FLORIDA, INC.

H/SB: 24-0005  
ZON: 24-0035

Site Plan  
SCALE IN FEET 0' 16' 32' 48'



Existing Lot Coverage Graphic

Legend

IMPERVIOUS AREA (HOUSE/STRUCTURE)

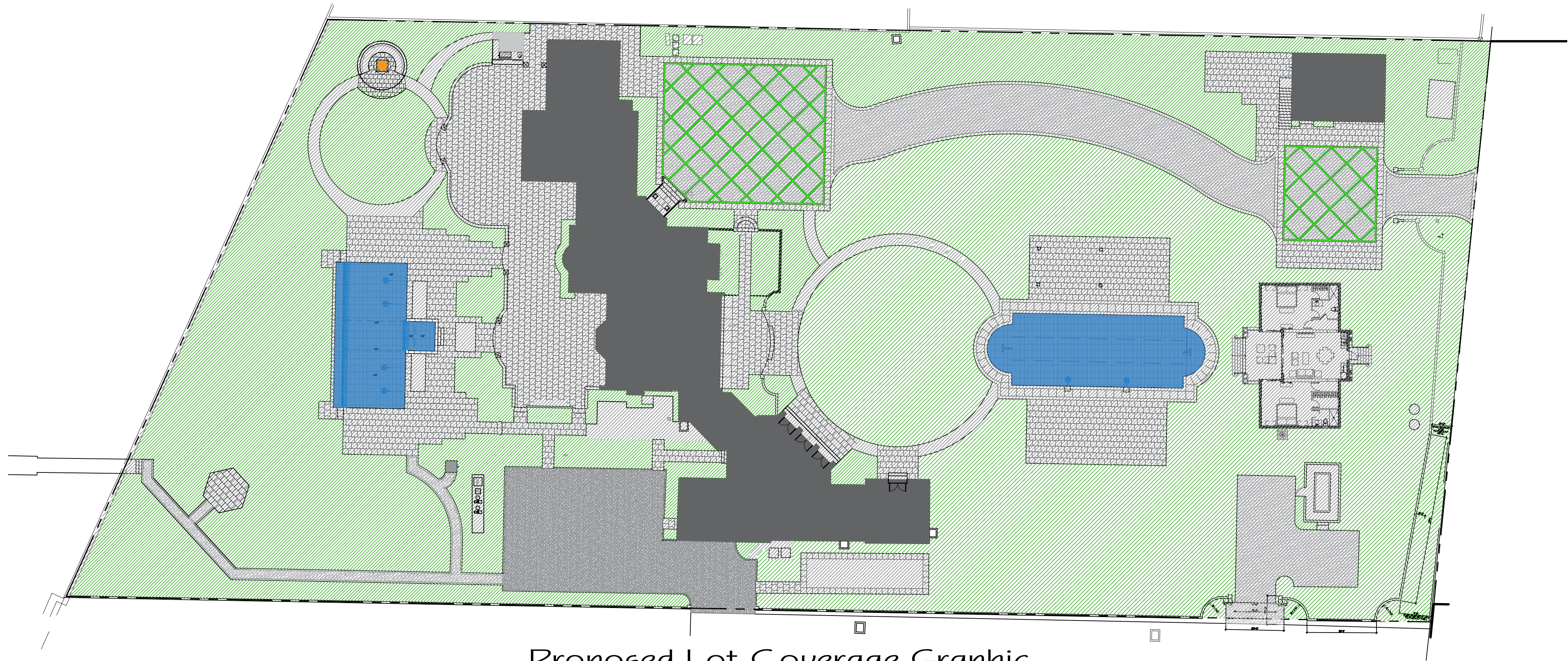
IMPERVIOUS AREA (HARDSCAPE)

PERVIOUS AREA / OPEN SPACE

IMPERVIOUS AREA / WATER FEATURE

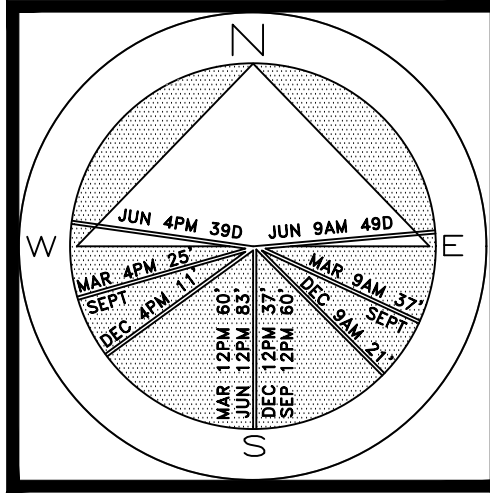
Site Data

DESCRIPTION	REQUIRED		PREVIOUSLY APPROVED		PROPOSED	
LOT ZONE			R-A - ESTATE RESIDENTIAL		R-A - ESTATE RESIDENTIAL	
LOT AREA			87,571.86 S.F.		87,571.86 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 50%	43,785.93 S.F.	63.7%	55,776.5 S.F.	52%	45,530 S.F.
FRONT YARD LANDSCAPE	MINIMUM 45% OF FRONT YARD	1,575 S.F.	89.23%	5,897.45 S.F.	72.7%	6,364.45 S.F.



Proposed Lot Coverage Graphic

Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Adam Mills  
Kerinaelle Dorinuli  
DATE: 02.07.2024  
07.01.2024  
02.07.2025

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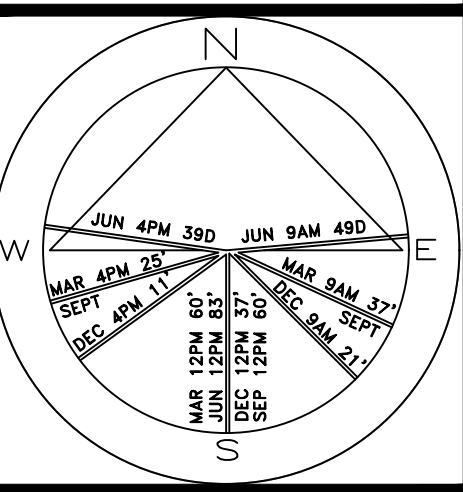
Landscape Open Space Calculations

NOT TO SCALE

64 sf.

AREA IN SQ.FT.

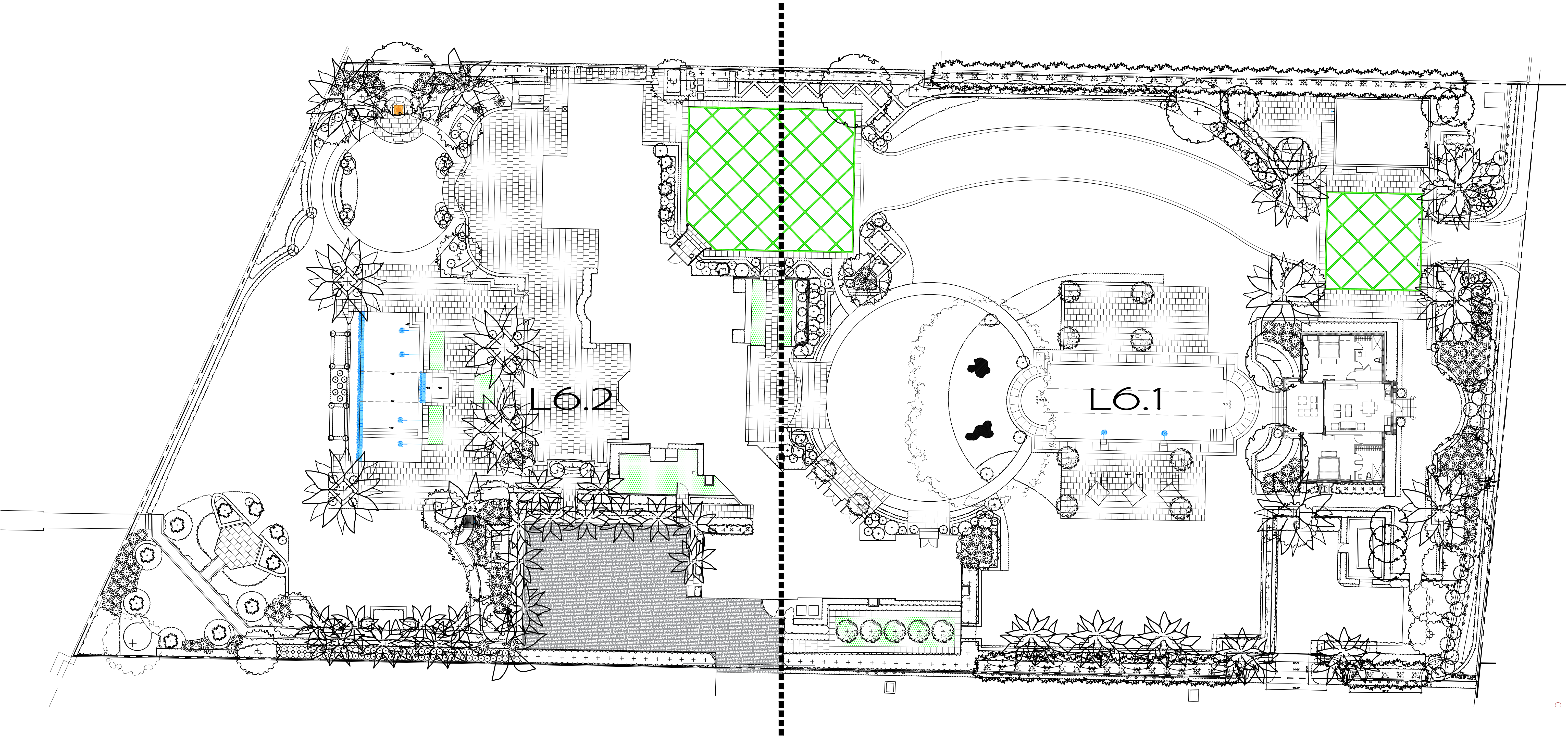
Private Residence  
854 S County Road  
Palm Beach



JOB NUMBER: # 23090.00 LA  
DRAWN BY: Adam Mills  
DATE: 02.07.2025

SHEET L6.0

256 sf.  
AREA IN SQ.FT.



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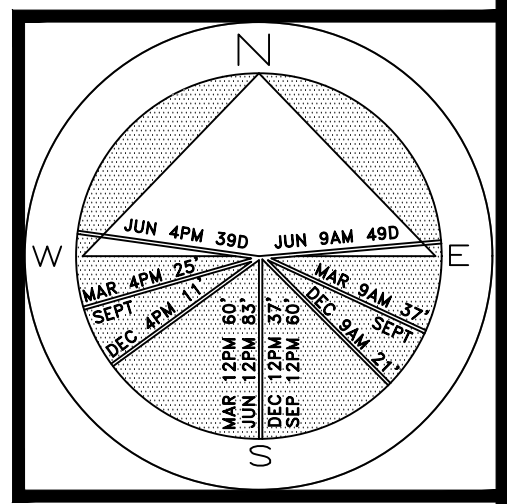
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SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

H/S/B: 24-0005  
ZON: 24-0035

Landscape Plan  
SCALE IN FEET 0' 16' 32' 48'



Private Residence  
854 S County Road  
Palm Beach

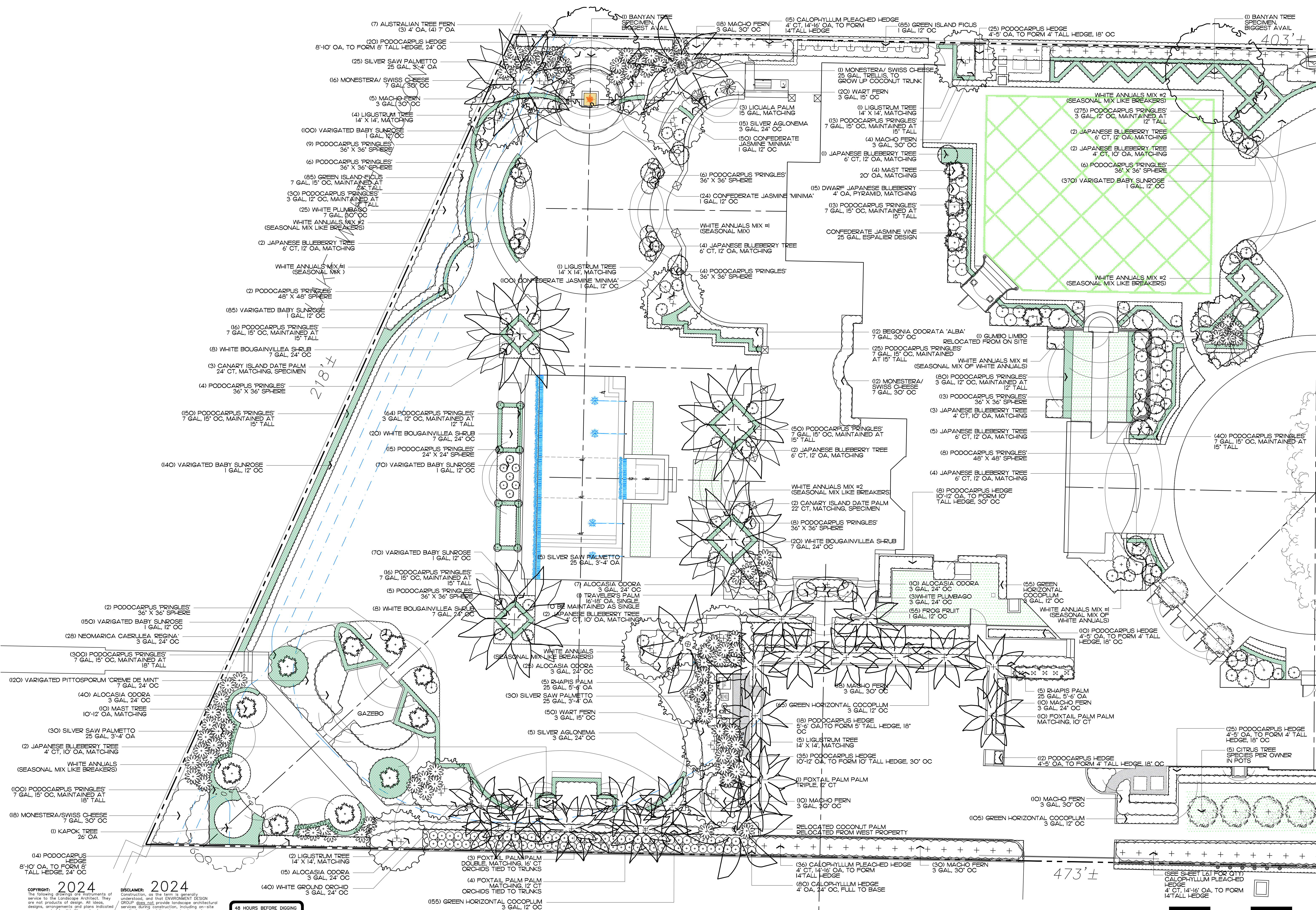


JOB NUMBER: # 23090.00 LA  
DRAWN BY: Adam Hills  
DATE: 02.07.2025

SHEET L6.2

100 sf.

AREA IN SQ. FT.



West Landscape Plan Enlargement

SCALE IN FEET 0' 10' 20' 30'

2024  
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Trees & Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BURSERA SIMARUBA GUMBO LIMBO	1	EXISTING TO BE RELOCATED	YES
	CEIBA PENTANDRA KAPOK TREE	2	LARGEST SPECIMEN AVAILABLE	NO
	COCCOLOBA DIVERSIFOLIA PIGEON PLUM TREE	7	18'-20' OA., FTB.	YES
	FICUS AUREA NATIVE BANYAN TREE	6	LARGEST SPECIMEN AVAILABLE	YES
	LIGUSTRUM LUCIDUM LIGUSTRUM TREE	27	14' X 14', MATCHING	NO
	PHOENIX CANARIENSIS CANARY ISLAND DATE PALM	6 2	14' CT, MATCHING, SPECIMEN 22' CT, MATCHING SPECIMEN	NO
	WODYETIA BIFURCATA FOXTAIL PALM	3	TRIPLE, 14' CT, MATCHING	NO
	RAVENALA MADAGASCARIENSIS TRAVELERS PALM	3 15	10'-12' OA, MATCHING TO BE MAINTAINED AS SINGLE 16'-18' OA, MATCHING TO BE MAINTAINED AS SINGLE	NO
	LICUALA GRANDIS LIQUALA PALM	3	15 GAL MATCHING	NO
	CITRUS CITRUS TREE	5	SPECIES PER OWNER IN POTS	NO
	CARYOTA FISHTAIL PALM	35 22	18'-20' OA, SINGLE MATCHING TO BE MAINTAINED AS SINGLE 18'-20' OA, FTB, MATCHING	NO
	TOTAL TREES: NATIVE SPECIES:	43 14 (32.6%)	NOTE: TREES IN POTS ARE NOT COUNTED TOWARD NATIVE CALCULATIONS	

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	MESEMBRYANTHEMUM CORDIFOLIUM VARIGATED BABY SUNROSE	1,255	1 GAL, 12' OC	NO
	PHYLLOPODOPHYLLUM FROG FRUIT	605	1 GAL, 12' OC	YES
TOTAL: NATIVE SPECIES:		1860 605 (32.5%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BEGONIA ODORATA 'ALBA' WHITE BEGONIA	30 30 8	36" HT., 24" O.C. 7 GAL, 30" O.C. 3 GAL, 24" O.C.	NO
	BOUGAINVILLEA ALBA WHITE BOUGAINVILLEA	56	7 GAL, 24' OC	NO
	CHRYSOBALANUS ICACO GREEN COCOPLUM	180	3 GAL., 18" O.C.	YES
	CALOPHYLLUM INOPHYLLUM CALOPHYLLUM HEDGE	80 22 162	4' OA., 24" O.C., F.T.B. 4' CT., 14'-16' OA. PLEACHED HEDGE 4' CT., 14'-16' OA. TO FORM 14' TALL HEDGE	NO
	CYATHEA COOPERI AUSTRALIAN TREE FERN	10	4' - 5' OAL, MATCHING	NO
	ELAEOCARPUS DECIPENS DWARF JAPANESE BLUEBERRY	15	4' OA., PYRAMID, MATCHING.	NO
	ELAEOCARPUS DECIPENS JAPANESE BLUEBERRY STANDARD	20 20	12' OA., 6' CT., MATCHING 10' OA., 4' CT., MATCHING	NO
	FICUS MICROCARPA GREEN ISLAND FICUS	515 85	7 GAL., 15" O.C. 1 GAL., 12" O.C.	NO
	MICROSORUM SCOLOPENDRIA WART FERN	70	3 GAL., 15" O.C.	NO
	MONSTERA DELICIOSA SWISS CHEESE PLANT	179 1	7 GAL., 30" O.C. 25 GAL TRELLIS, TO GROW UP COCONUT TRUNK	NO
	NEPHROLEPIS BISERRATA MACHO FERN	600 340 10	7 GAL., 30" O.C. 3 GAL., 30" O.C. 3 GAL., 24" O.C.	YES
	PODOCARPUS MACROPHYLLUS PODOCARPUS PRINGLES	143 658	3 GAL., 12" O.C. 7 GAL., 15" O.C.	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS PRINGLES	23 52 10	24" X 24" SPHERE 36" X 36" SPHERE 48" X 48" SPHERE	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	68 43 20 38	4' - 5' OA, TO FORM 4' HEDGE, 18" O.C. 10' - 12' OA, TO FORM 10' TALL HEDGE, 30" O.C. 5' - 6' OA. 8' - 10' OA, TO FORM 8' TALL HEDGE, 24" O.C.	NO
	RHAPIS EXCELSA LADY PALM	22	25 GAL., 5'-6' OA.	NO
	PLUMBAGO ZEYLANICA WHITE PLUMBAGO	35 3	7 GAL., 30" O.C. 3 GAL., 24" O.C.	NO
	BLETILLA STRIATA WHITE GROUND ORCHID	40	3 GAL 24" O.C.	NO
	POLYALTHIA LONGIFOLIA MAST TREE	20 20	20' OA, MATCHING 10'-12' OA, MATCHING	NO
	SERENOA REPENS SILVER SAW PALMETTO	97	25 GAL., 3'-4' OA.	YES
	SERENOA REPENS WHITE ANNUALS MIX	100	SEASONAL MIX	NO
	ALOCASIA ODORA ALOCASIA ODORA	97	3 GAL, 24' OC	NO
	CHRYSOBALANUS ICACO L. GREEN HORIZONTAL COCOPLUM	430	3 GAL, 12' OC	YES
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	12 150	25 GAL., ESPALIER DESIGN 1 GAL, 12 O.C.	NO
	AGLAONEMA COSTATUM CHINESE EVERGREEN	20	3 GAL, 24 O.C.	NO
	NEOMARICA CAERULEA REGINA GIANT APOSTLES	28	3 GAL, 24 O.C.	NO
	VARIGATED PITTOSPOURM 'CREME DE MINT' VARIGATED PITTOSPORUM	120	7 GAL, 24 O.C.	NO
TOTAL: NATIVE SPECIES:		4,682 1,657 (35.3%)		

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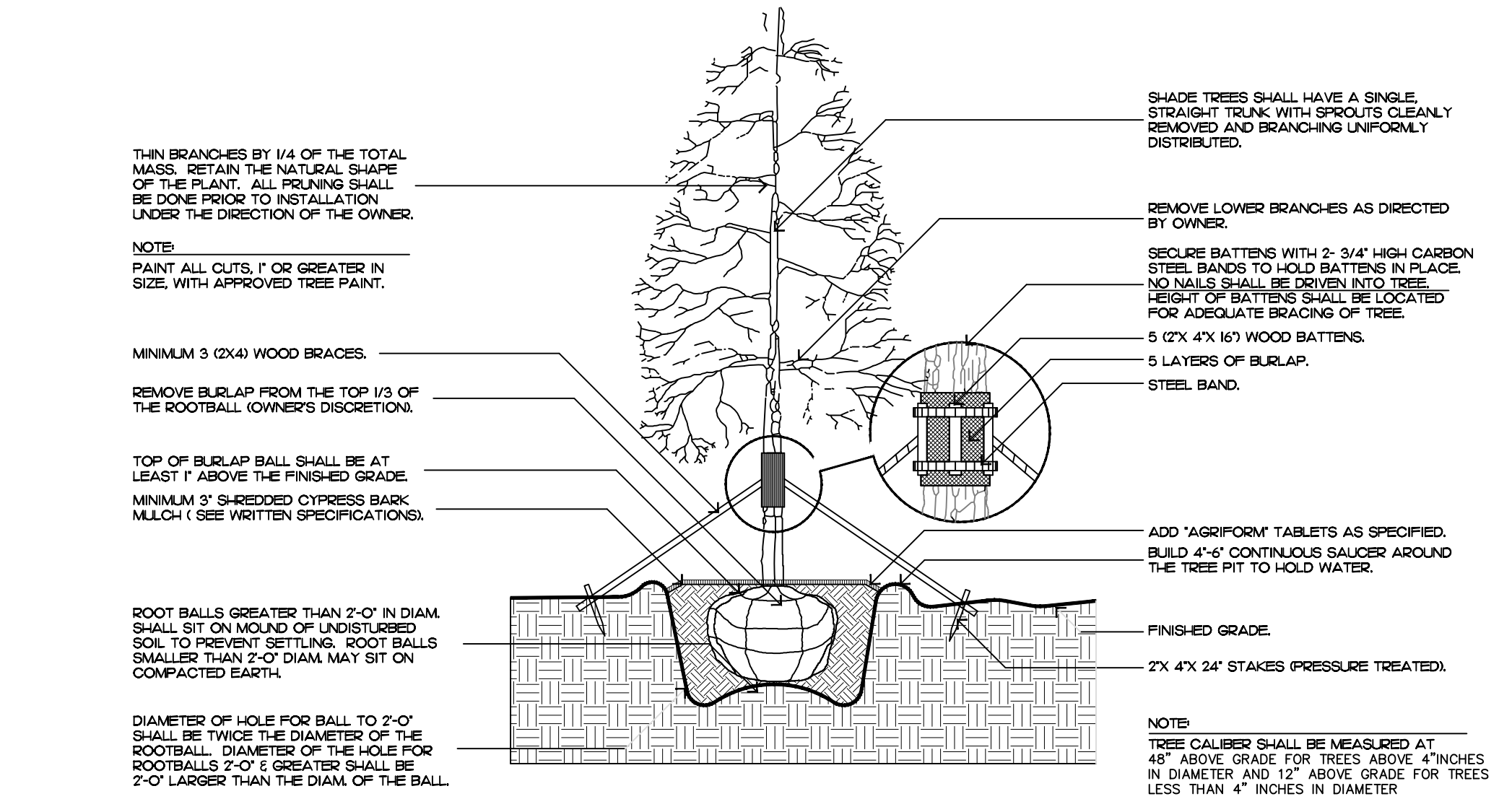
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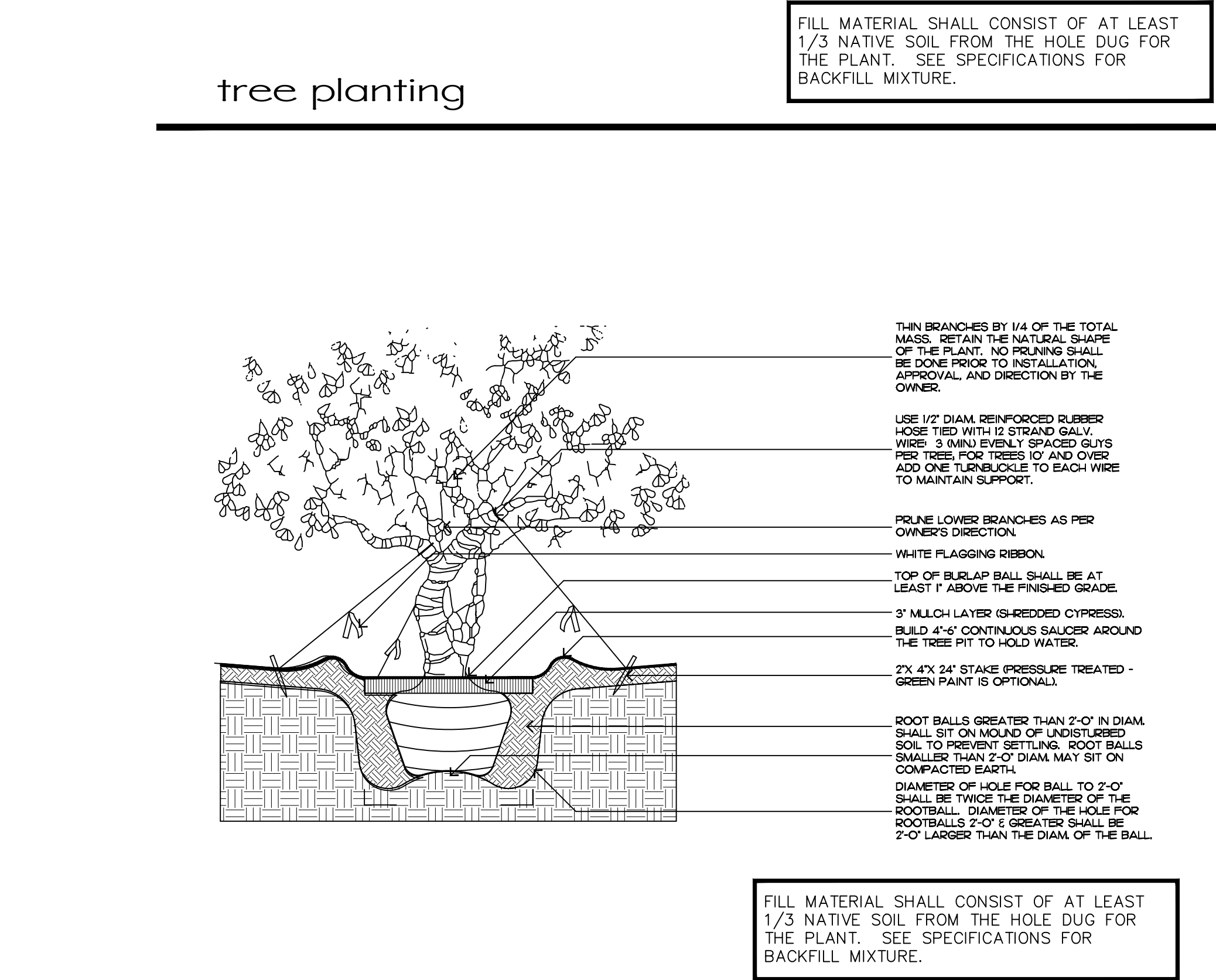
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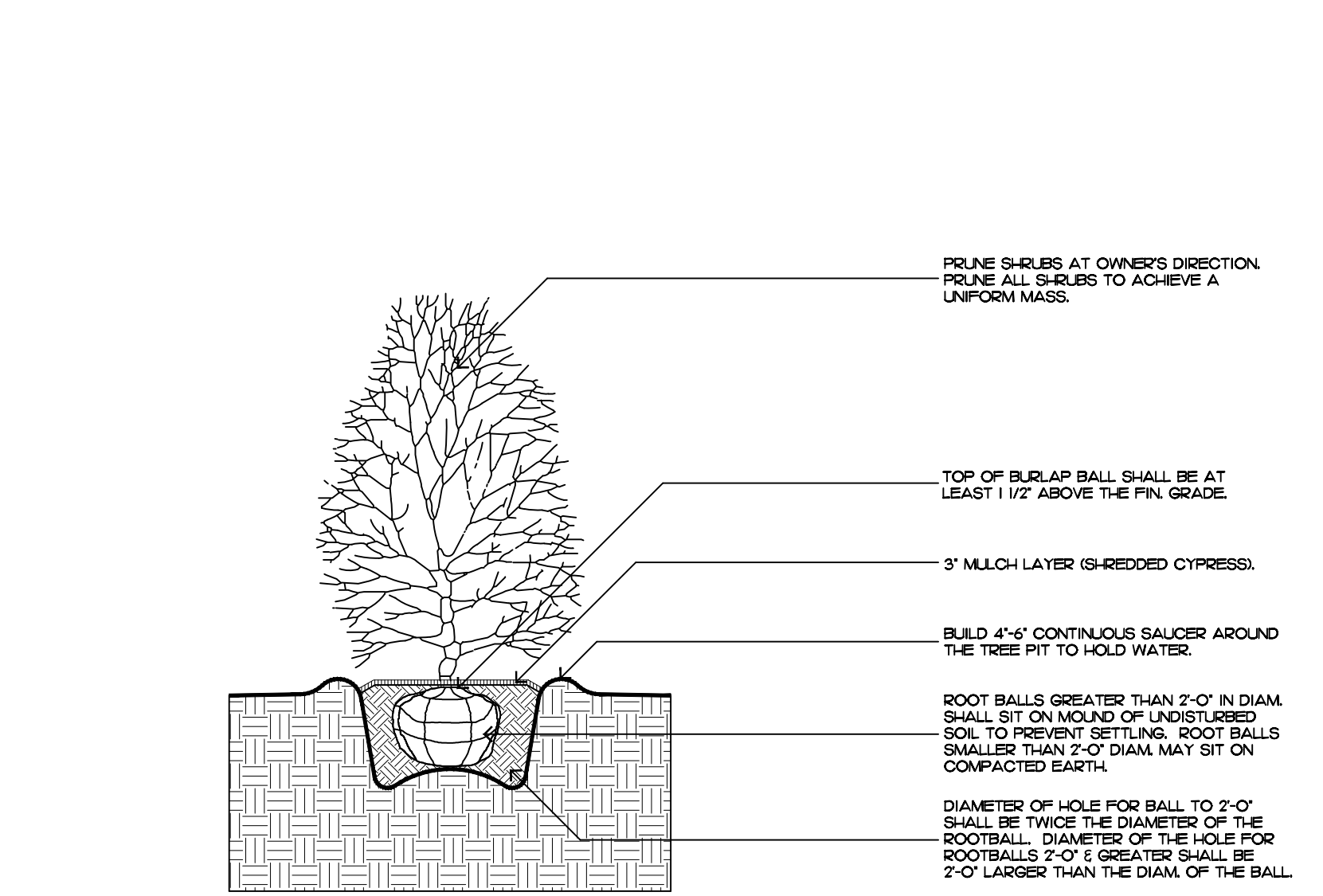
Plant Schedule



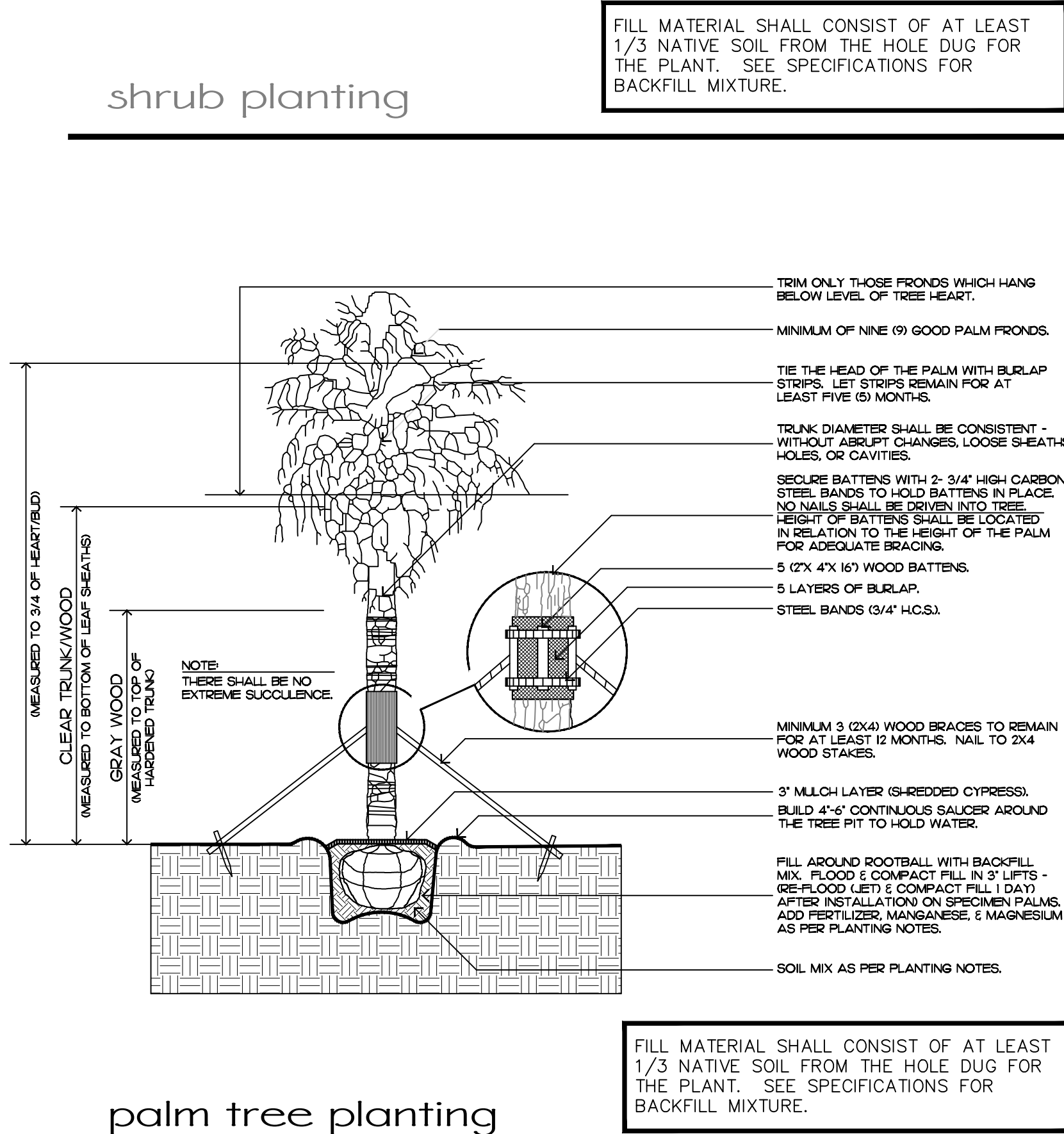
tree planting



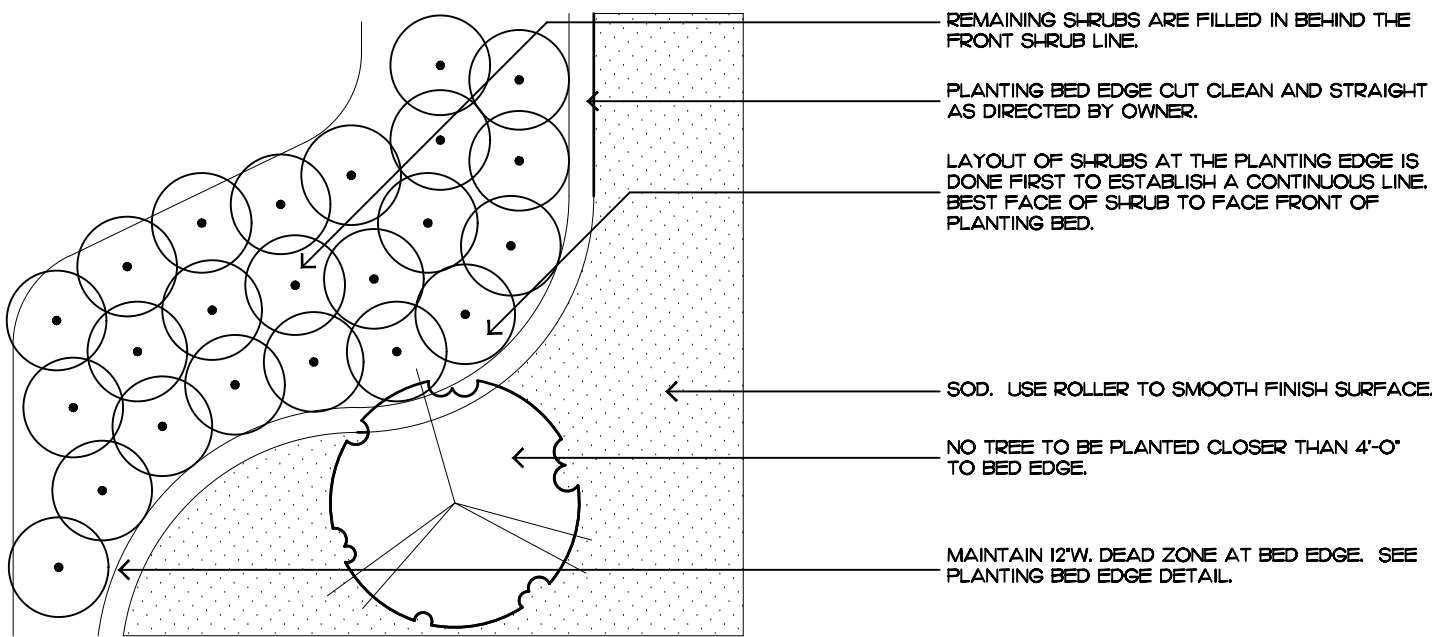
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR KUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEM. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.
- 

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ARCOM# B-000-2021

# Planting Details & Specifications

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Palm Beach

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DATE: 05.16.2024

SHEET L6.4



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Plan Rendering



East Elevation



West Elevation

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SHEET L7.1



North Elevation



South Elevation

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