

INVOICE NO.:72740

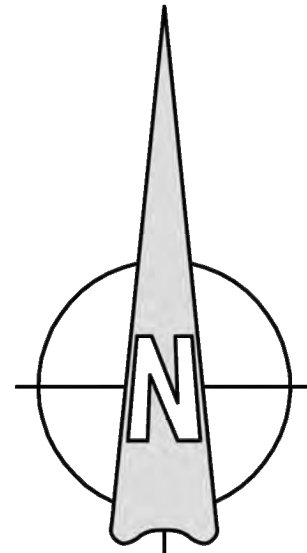
DATE:	DESCRIPTION:
12-02-2024	BOUNDARY SURVEY

ABBREVIATIONS / SYMBOLS:

A/C	= AIR CONDITIONING UNIT
ADJ	= ADJACENT
BCR	= BROWARD COUNTY RECORDS
BM	= BENCHMARK
CALC	= CALCULATED
CA	= CENTRAL ANGLE
C/L	= CENTERLINE
CB	= CATCH BASIN
CBS	= CONCRETE BLOCK WALL
CHATT	= CHATTAHOOCHEE
CONC	= CONCRETE
CM	= CONCRETE MONUMENT
COL	= COLUMN
D	= DEED
DE	= DRAINAGE EASEMENT
DS	= DRAINAGE STRUCTURE
ELEV.	= ELEVATION
EOW	= EDGE OF WATER
FD	= FOUND
FF	= FINISHED FLOOR
ID	= IDENTIFICATION
INV	= INVERT
IP	= IRON PIPE
IR	= IRON ROD
L	= LENGTH
LAE	= LIMITED ACCESS EASEMENT
LME	= LAKE MAINTENANCE EASEMENT
LP	= LIGHT POLE
M	= MEASURED
N/D	= NAIL AND DISC
N/G	= NATURAL GROUND
NR	= NON RADIAL
NTS	= NOT TO SCALE
OHC	= OVERHEAD CABLES
ORB	= OFFICIAL RECORD BOOK
P	= PLAT
PB	= PLAT BOOK
PBCR	= PALM BEACH COUNTY RECORDS
PC	= POINT OF CURVATURE
PCC	= POINT OF COMPOUND CURVATURE
PCP	= PERMANENT CONTROL POINT
PG	= PAGE
PI	= POINT OF INTERSECTION
POB	= POINT OF BEGINNING
POC	= POINT OF COMMENCEMENT
PRC	= POINT OF REVERSE CURVATURE
PRM	= PERMANENT REFERENCE MONUMENT
PT	= POINT OF TANGENCY
R	= RADIUS
RGE	= RANGE
ROE	= ROOF OVERHANG EASEMENT
R/W	= RIGHT OF WAY
SEC	= SECTION
S/W	= SIDEWALK
TOB	= TOP OF BANK
TYP	= TYPICAL
UE	= UTILITY EASEMENT
WF	= WOOD FENCE
WPP	= WOOD POWER POLE (UTILITY POLE)

OVERHEAD CABLES	CONVERSION INCHES TO DECIMAL
METAL FENCE	1" = 0.08'
WOOD FENCE	2" = 0.17'
PLASTIC FENCE	3" = 0.25'
EASEMENT LINES	4" = 0.33'
CENTERLINE (C/L)	5" = 0.42'
PLATTED LOT LINE	6" = 0.50'
BOUNDARY LINE	7" = 0.58'
	8" = 0.67'
	9" = 0.75'
	10" = 0.83'
	11" = 0.92'
	12" = 1.0'

INDICATES N.A.V.D. 88
ELEVATION



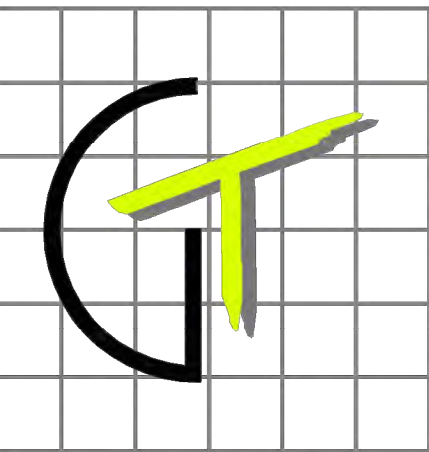
SCALE: 1"=20'

PROPERTY ADDRESS:
175 BRADLEY PLACE, PALM BEACH, FLORIDA 33480

LEGAL DESCRIPTION:
LOT 19 OF BUNGALOW PARK, AN ADDITION TO THE TOWN
OF PALM BEACH, ACCORDING TO THE PLAT THEREOF AS
RECORDED IN PLAT BOOK 7, PAGE(S) 26, OF THE PUBLIC
RECORDS OF PALM BEACH COUNTY, FLORIDA.

CERTIFICATIONS:
- ROWE PLASTIC SURGERY

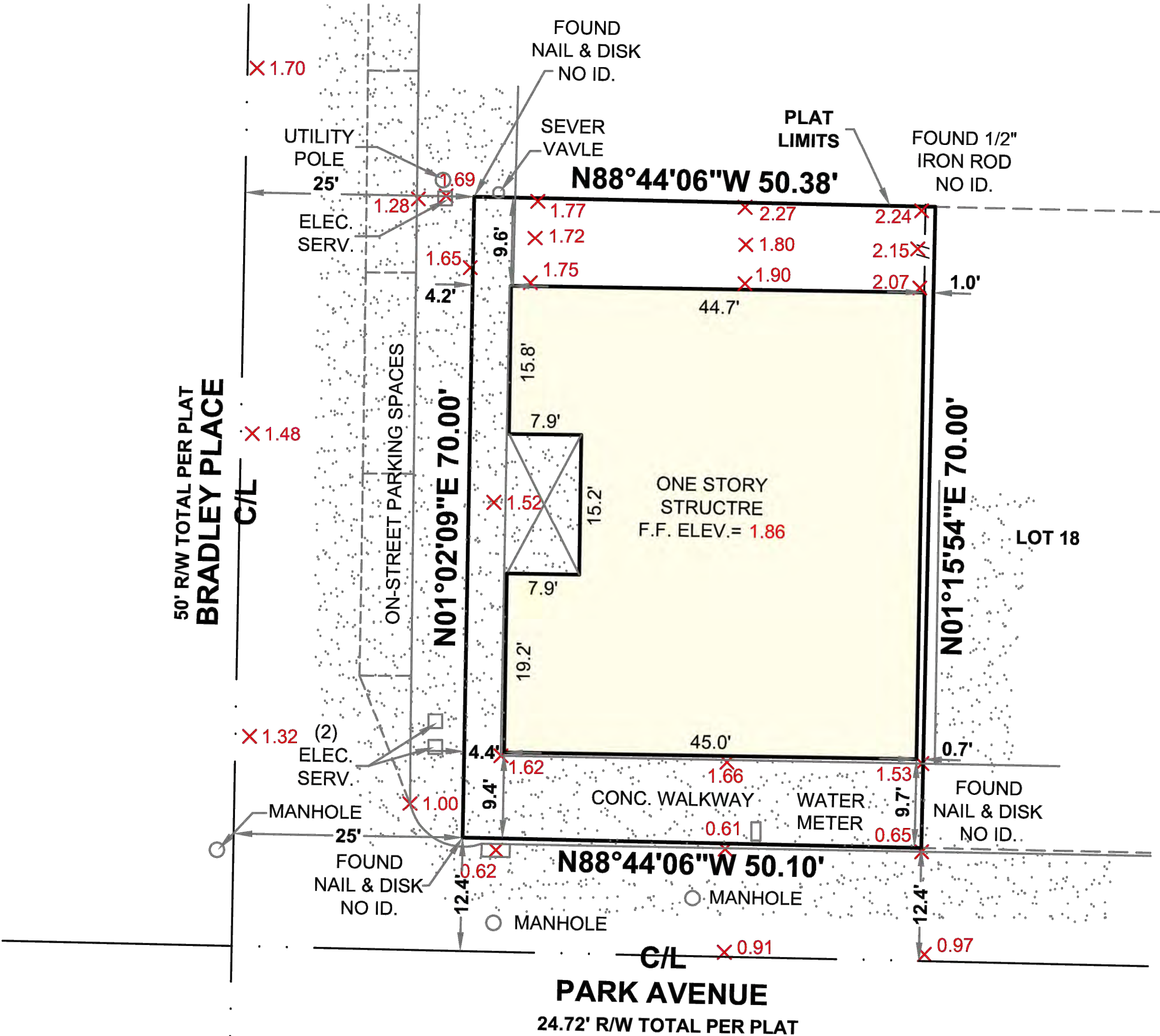
FLOOD DATA:
FLOOD ZONE: AE
COMMUNITY NUMBER: 120220
COMMUNITY NAME: TOWN OF PALM BEACH
PANEL NUMBER: 12099C0581F



GT SURVEYOR
SERVICES INC.
1660 SOUTHERN BLVD. UNIT K
WEST PALM BEACH
FLORIDA 33406-1747
OFFICE: 561-753-0353
E-MAIL: gtsurveying@gmail.com

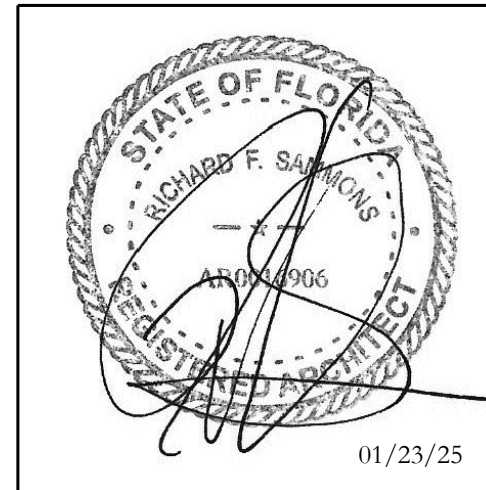
I HEREBY CERTIFY THAT THIS **MAP OF BOUNDARY SURVEY** WAS PREPARED UNDER MY
DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
FURTHERMORE THIS SURVEY SKETCH MEETS THE INTENT OF THE STANDARDS OF PRACTICE FOR
LAND SURVEYING IN THE STATE OF FLORIDA, PURSUANT TO RULE 5J-17 OF THE FLORIDA
ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA
STATUTES.

SIGNED: *[Signature]*
GINO EURLANO SURVEYOR AND MAPPER
FLORIDA LICENSE NO.: 5044
NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE FLORIDA
LICENSED SURVEYOR/MAPPER NAMED ABOVE.



GENERAL NOTES:
- BEARING BASIS PER G.P.S COORDINATE SYSTEM NAD 83, 1990 ADJUSTMENT (UNLESS OTHERWISE NOTED)
- THIS SURVEY IS BASED UPON RECORDED INFORMATION AS PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE
PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE.
- UNDERGROUND IMPROVEMENTS HAVE NOT BEEN LOCATED.
- ELEVATION ARE BASED UPON NORTH AMERICAN VERTICAL DATUM 1988 (N.A.V.D. 1988) UNLESS OTHERWISE
NOTED.
- IN SOME CASES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED FOR CLEARER ILLUSTRATION.
MEASURED RELATIONSHIP SHALL HAVE PRECEDENCE OVER SCALE POSITIONS.
- ALL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS
SPECIFICALLY NOTED OTHERWISE.
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL
POSITIONAL ACCURACY OF 0.10 (FT)
- "ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS
PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES." (CHAPTER 61G17-6.003 OF
THE FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES)

** "5J-17.052 STANDARDS OF PRACTICE: SPECIFIC SURVEY, MAP, AND REPORT REQUIREMENTS.
(2) BOUNDARY MONUMNETS- (b6) WHEN A CORNER FALLS IN A HARD SURFACE SUCH AS ASPHALT OR CONCRETE,
ALTERNATE MONUMENTATION MAY BE USED THAT IS DURABLE AND IDENTIFIABLE ." (EXAMPLES: FENCE POST,
BLDG. CORNERS, ETC.)



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

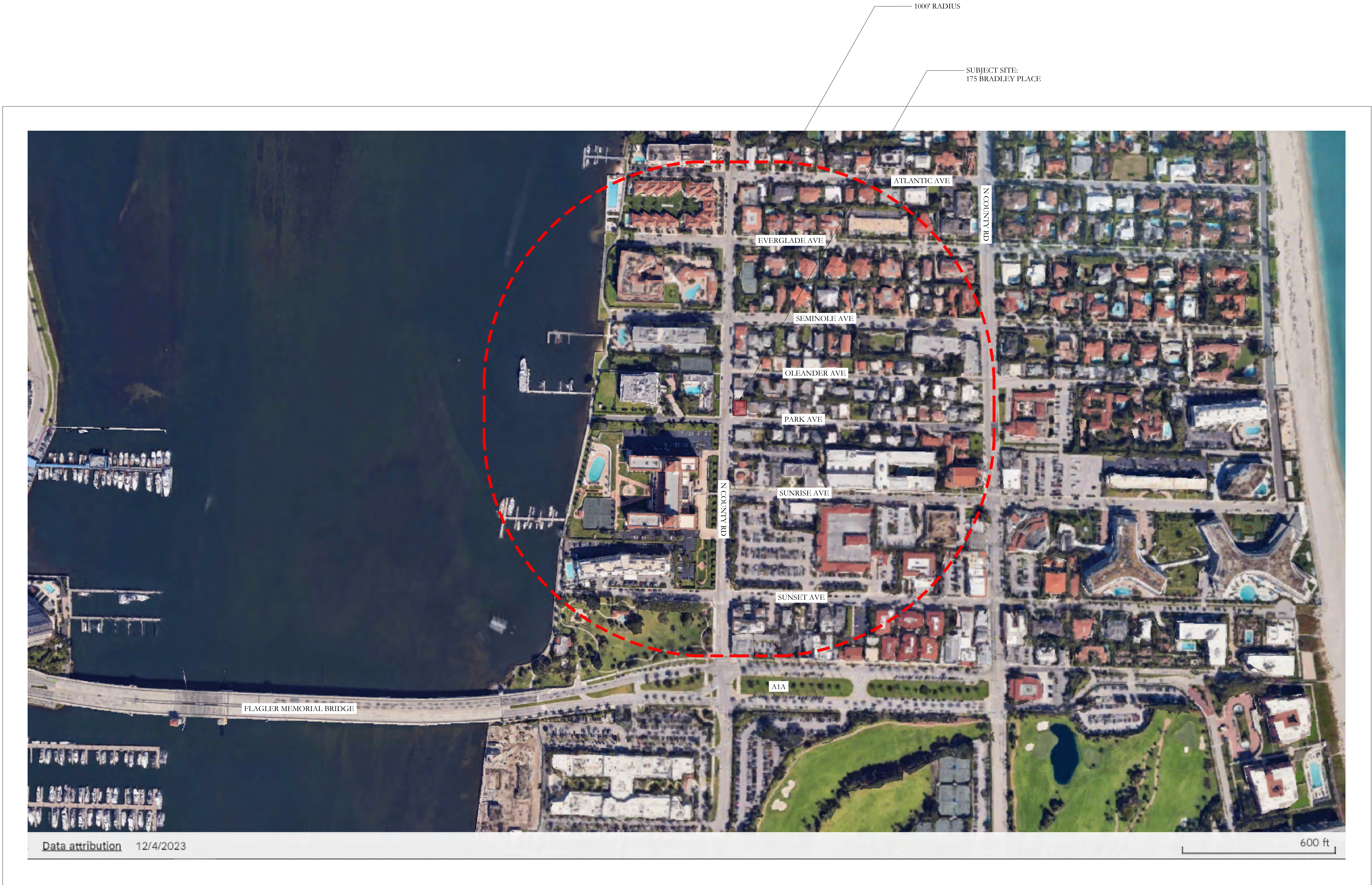
175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
BOUNDARY SURVEY

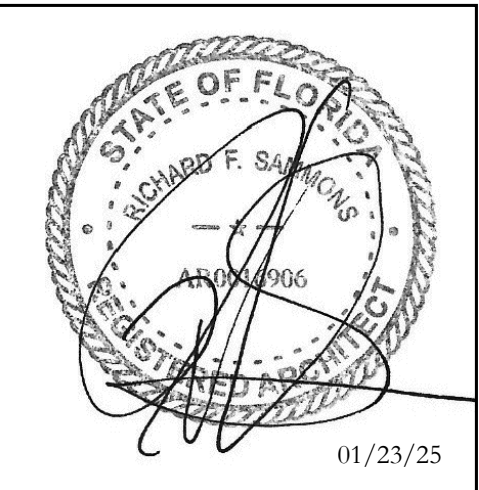
DATE	SHEET NO
SCALE	
BY	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

Drawings, Specifications and other documents prepared by
the architect are the instruments of the architect's service
and shall remain the property of the architect, whether or
not the project for which they are intended is constructed
or not. The architect's drawings, specifications and other
documents will not be used on any other projects for
additions to this project and/or for completion of this
project by others, except by agreement in writing and with
appropriate compensation to the architect.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 LOCATION SITE MAP - 1000 FT RADIUS
NTS



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
LOCATION SITE PLAN
1000 FT RADIUS

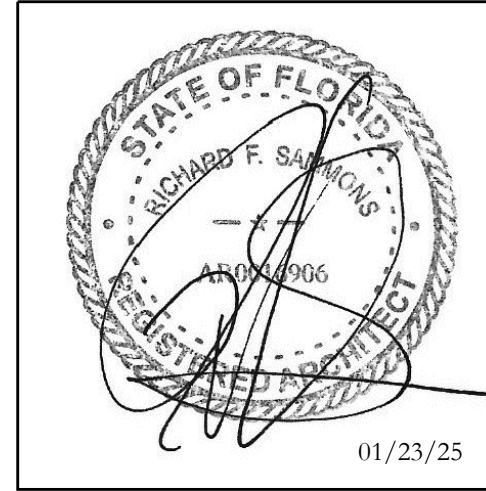
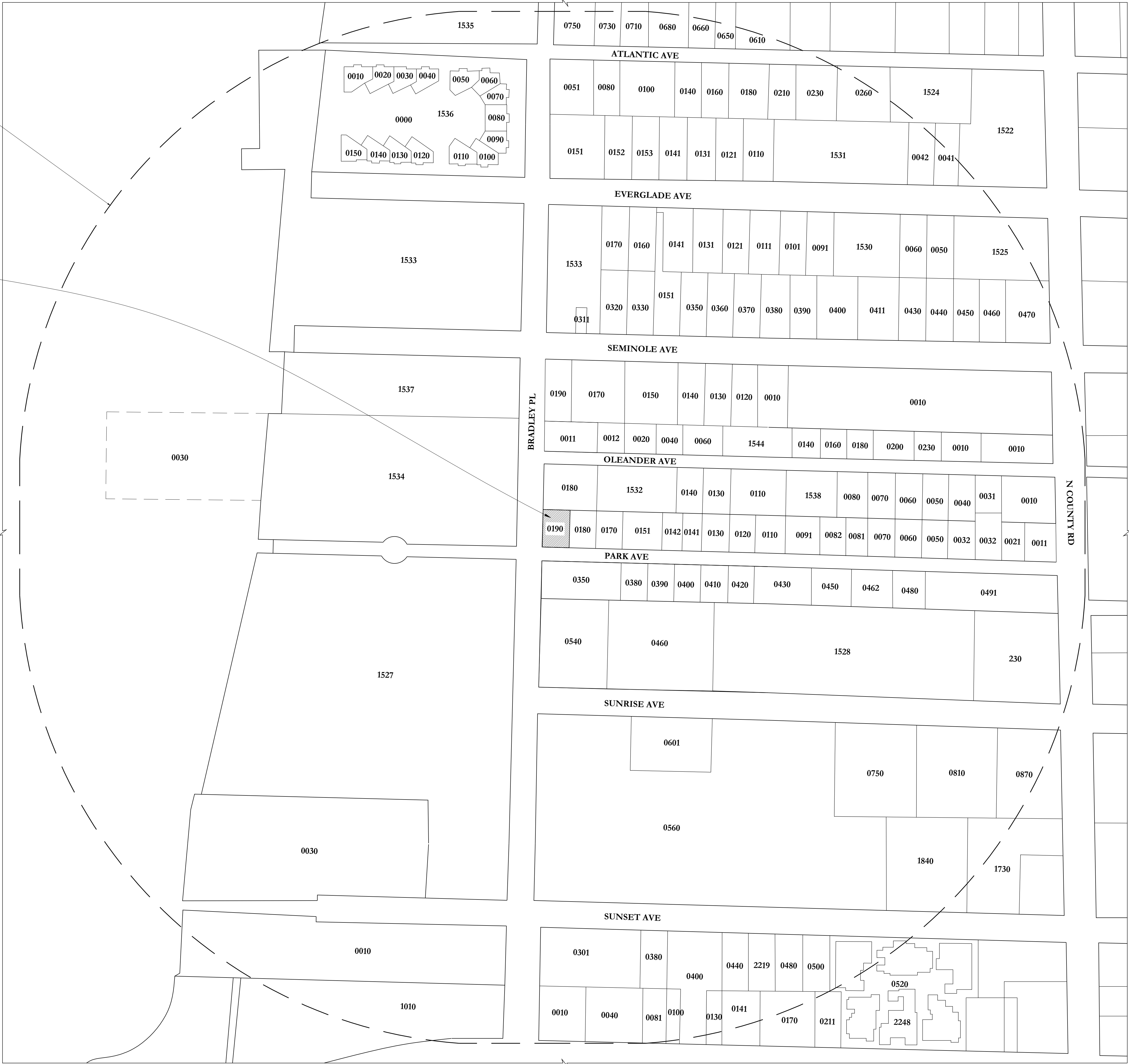
DATE 10/9/2024	SHEET NO G-001
SCALE AS NOTED	
BY MC, MRM	


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 906-0091
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

1000' RADIUS

SUBJECT SITE
175 BRADLEY PL



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

**175 BRADLEY
PLACE**
PALM BEACH, FLORIDA 33480

SHEET TITLE
LOCATION SITE MAP
CONTEXT SITE PLAN

DATE 10/9/2024	SHEET NO G-002
SCALE AS NOTED	
BY MC, MRM	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

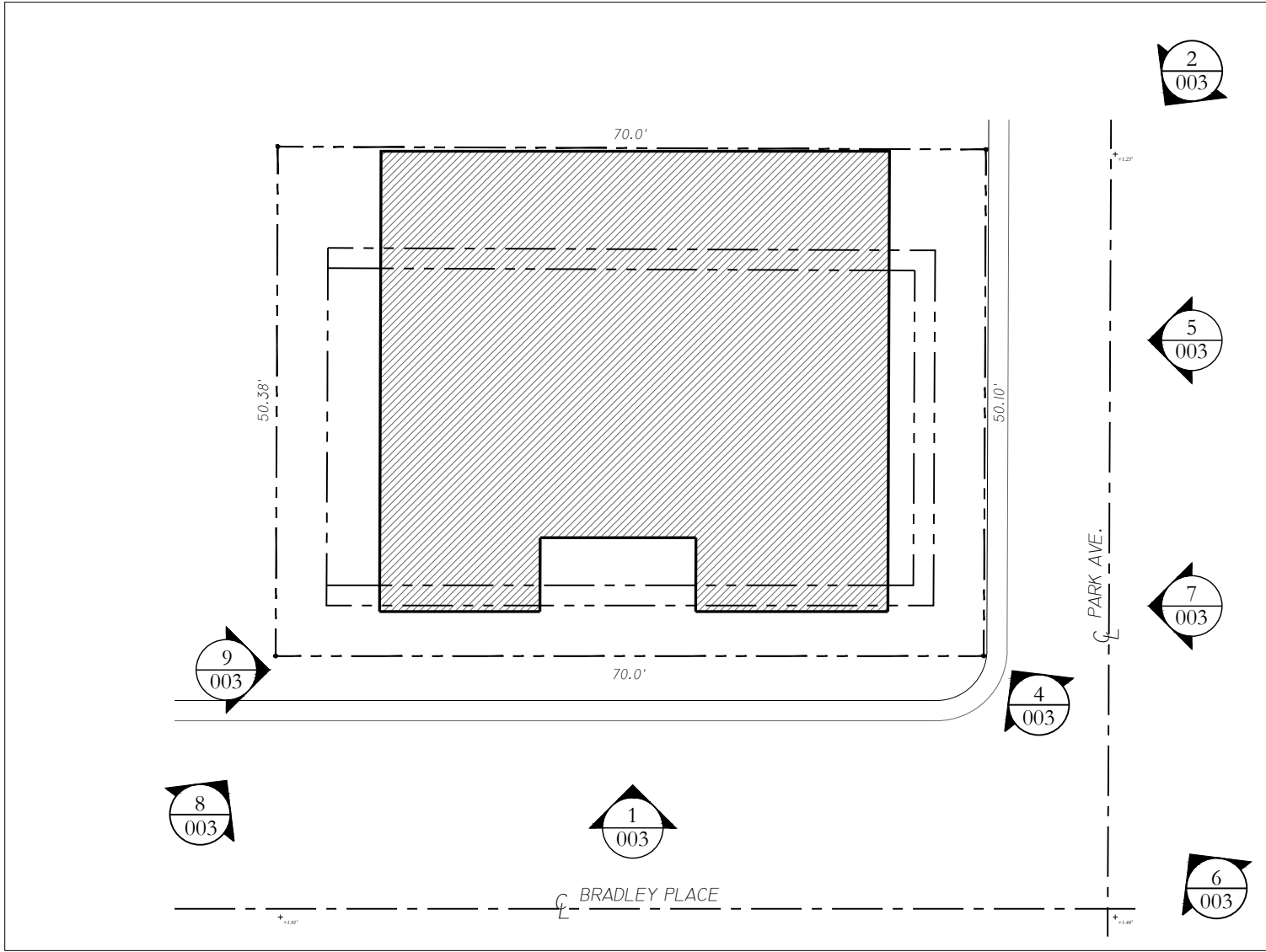
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 EXISTING SITE CONDITION



2 EXISTING SITE CONDITION



3 KEY PLAN: EXISTING CONDITION
1/16" = 1'-0"



4 EXISTING SITE CONDITION



5 EXISTING SITE CONDITION



6 EXISTING SITE CONDITION



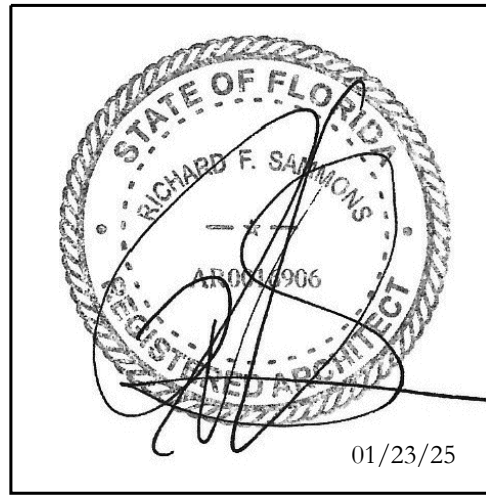
7 EXISTING SITE CONDITION



8 EXISTING SITE CONDITION



9 EXISTING SITE CONDITION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

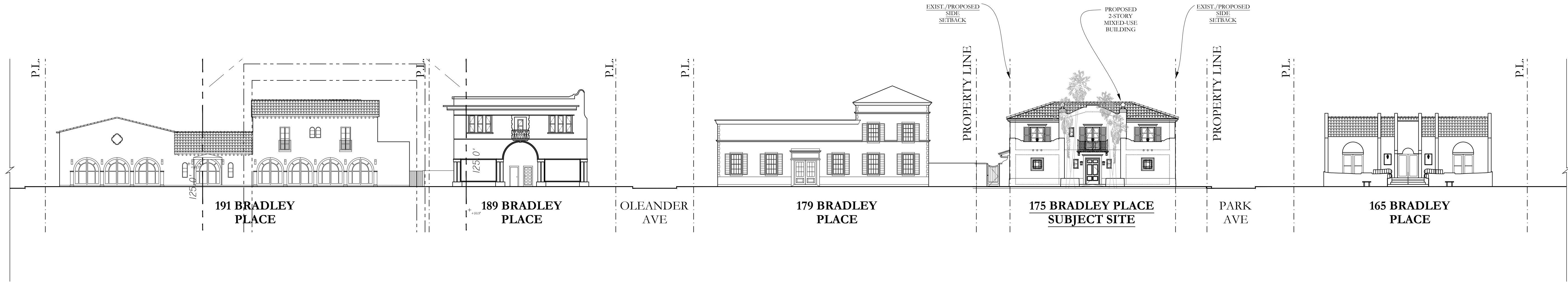
175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE	
EXISTING CONDITION SITE PHOTOS	
DATE	SHEET NO
10/9/2024	G-003
SCALE	
AS NOTED	
BY	MC, MRM
MC, MRM	



Drawings, specifications and other documents prepared by the architect are the instruments of the architect's service and shall remain the property of the architect, whether or not the project for which they are intended is constructed or not. The architect's drawings, specifications and other documents will not be used on any other projects for additions to this project and/or for completion of this project by others, except by agreement in writing and with appropriate compensation to the architect.

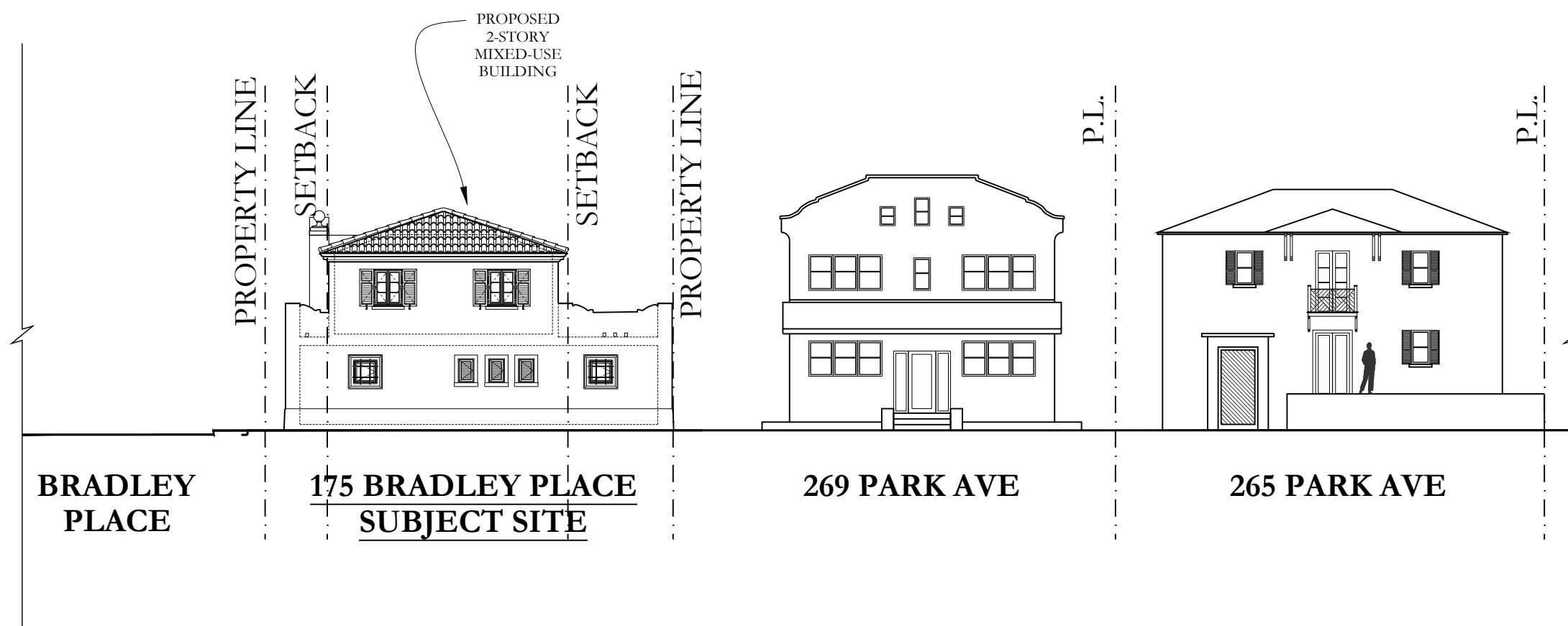
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



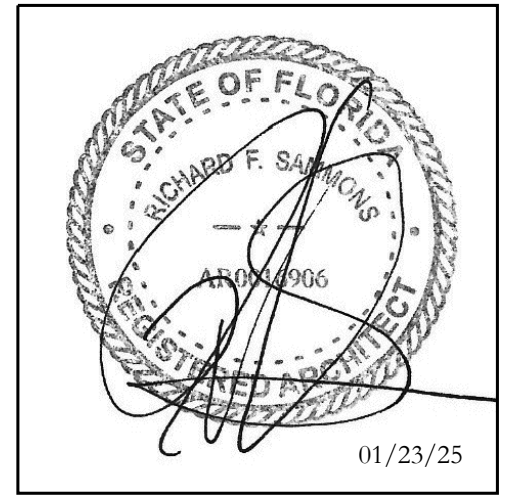
1 PROPOSED BRADLEY PLACE STREETSCAPE ELEVATION, FACING WEST
1/16"=1'-0"



3 KEY PLAN
N.T.S.



2 PROPOSED PARK AVE. STREETSCAPE ELEVATION, FACING SOUTH
1/16"=1'-0"



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

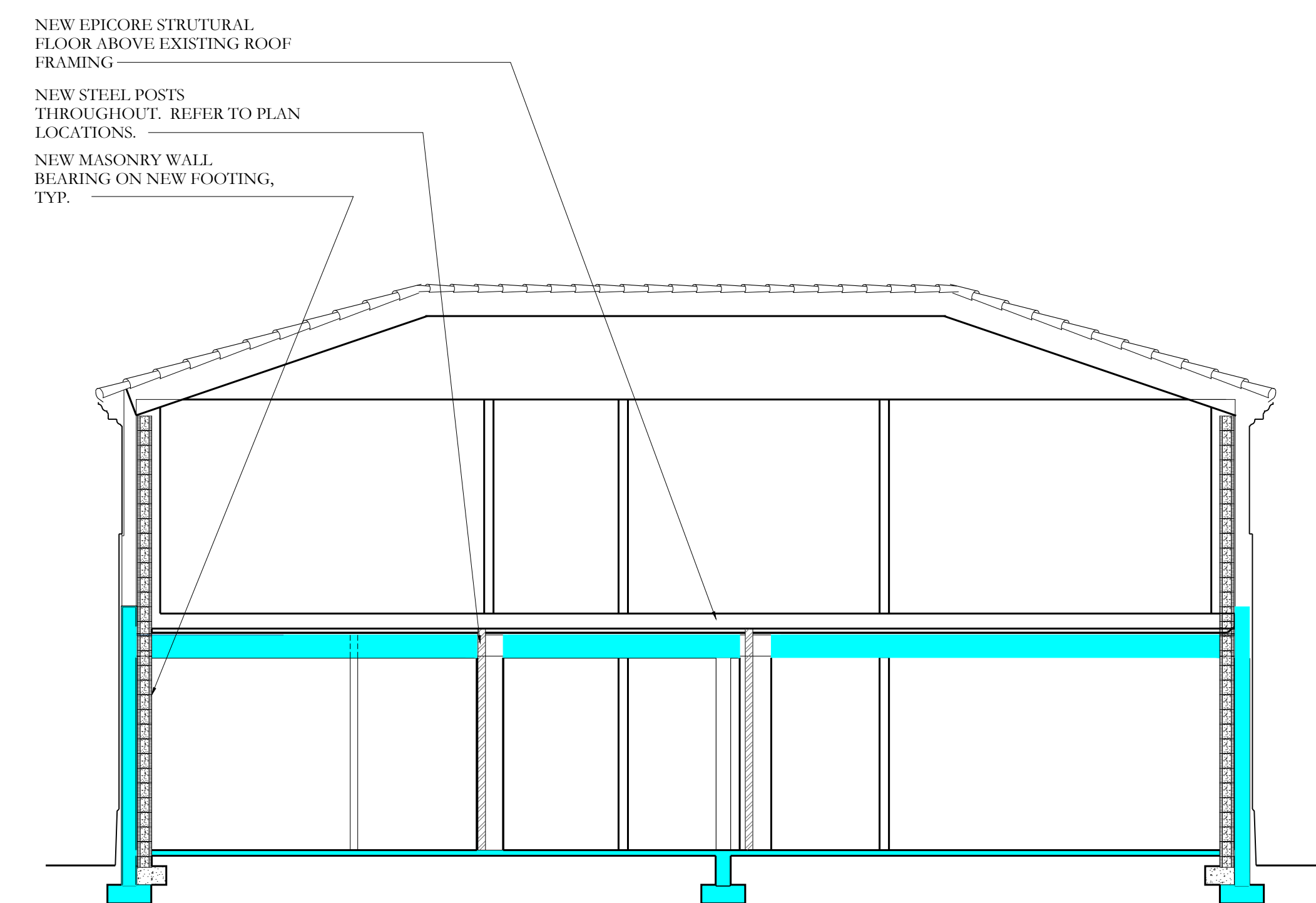
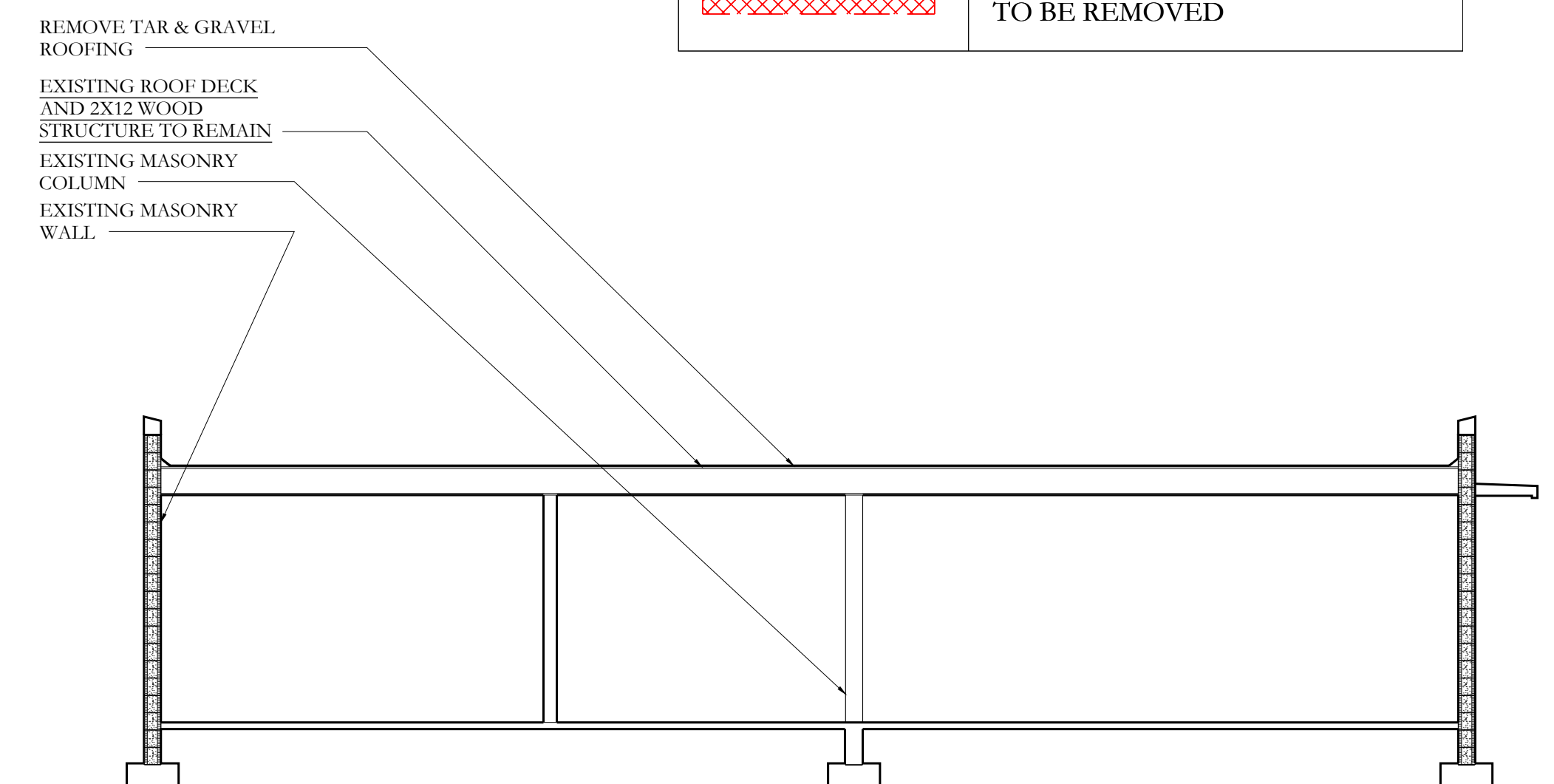
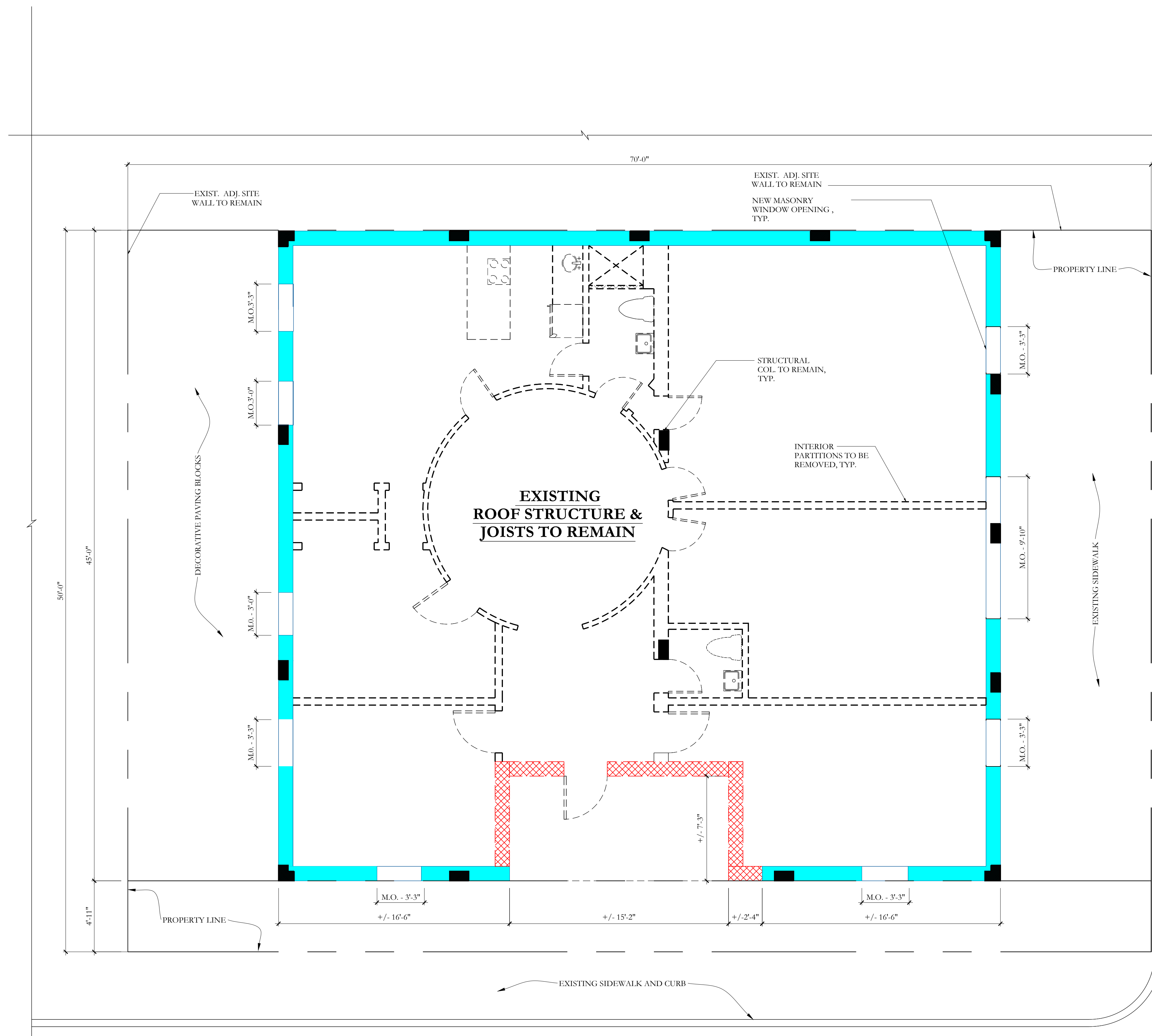
175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED
STREETSCAPE ELEVATIONS



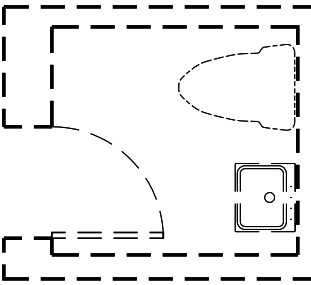

DATE 10/9/2024	SHEET NO G-004
SCALE AS NOTED	
BY MC, MRM	

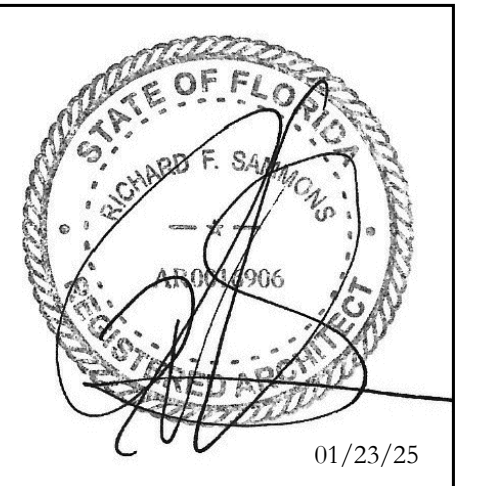

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-8081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



*DEMOLITION NOT TO EXCEED
50% OF THE EXISTING STRUCTURE

<h1>FIRST FLOOR DEMOLITION KEY:</h1>	
	<p>EXISTING MASONRY WALL TO REMAIN</p>
	<p>EXISTING MASONRY COLUMN TO REMAIN</p>
	<p>EXISTING INTERIOR WALL, DOOR AND FIXTURES TO BE REMOVED</p>
	<p>EXISTING MASONRY WALL TO BE REMOVED</p>



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE

DEMOLITION
SITE PLAN & SECTION

DATE 10/9/2024	SHEET NO DM-001
SCALE AS NOTED	
BY MC , MRM	

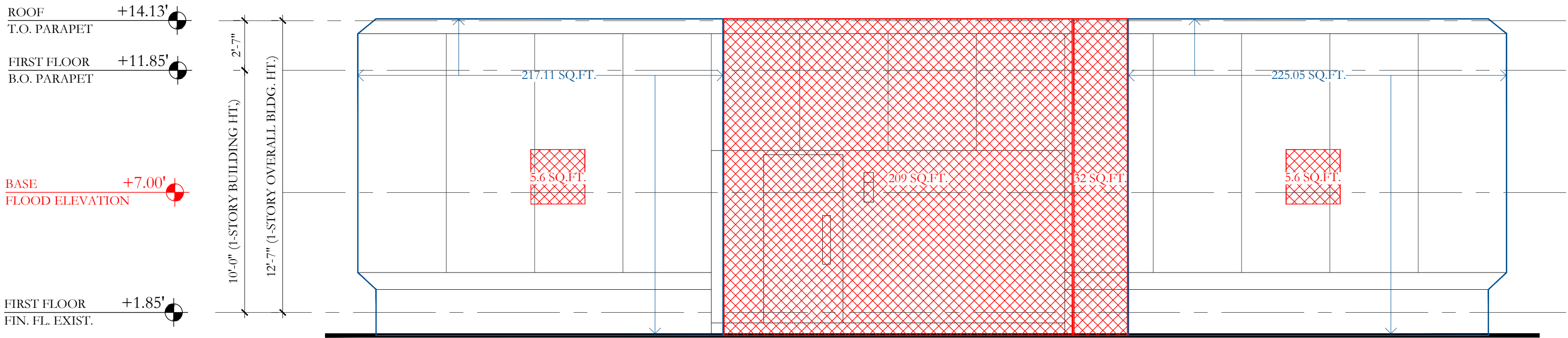


FAIRFAX & SAMMONS
— NEW YORK - PALM BEACH —

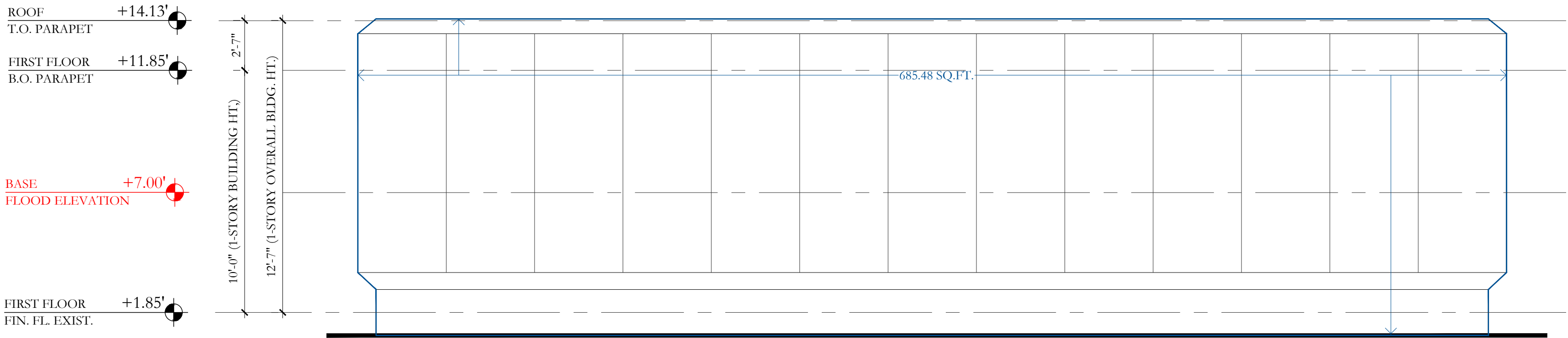
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33460
TELEPHONE (561) 808-8891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA20000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS COMPLETED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

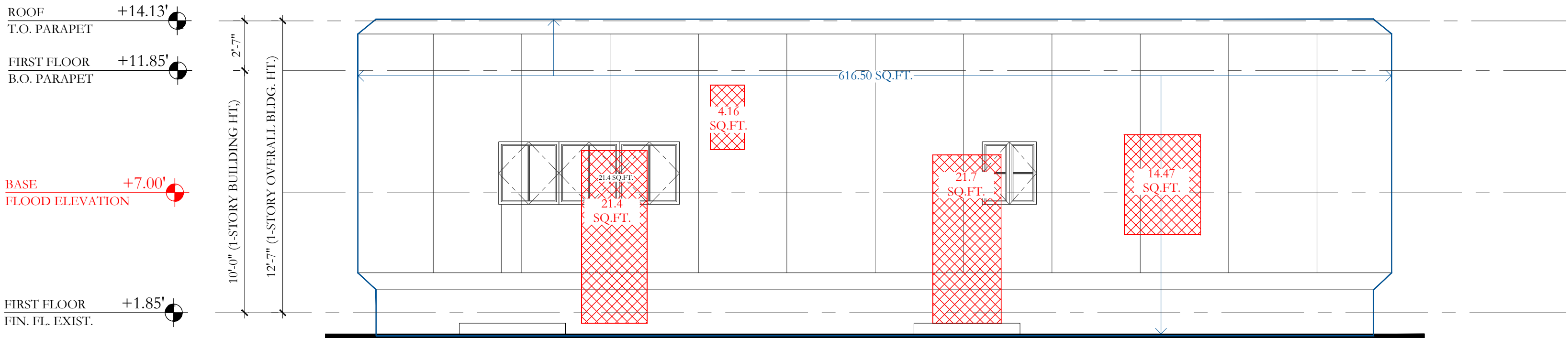
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



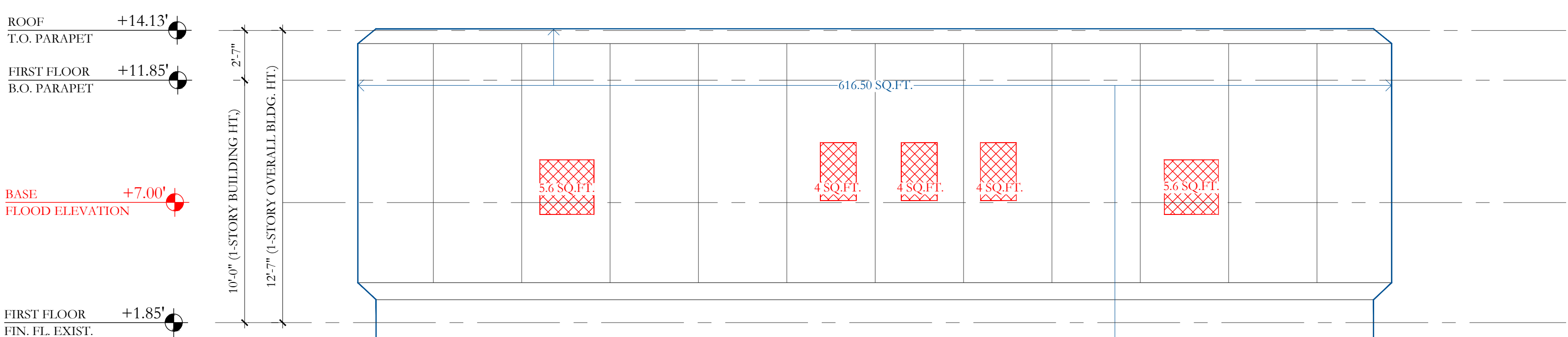
1 PROPOSED REMOVAL: WEST ELEVATION
1/4"=1'-0"



2 PROPOSED REMOVAL: EAST ELEVATION
1/4"=1'-0"



3 PROPOSED REMOVAL: NORTH ELEVATION
1/4"=1'-0"



4 PROPOSED REMOVAL: SOUTH ELEVATION
1/4"=1'-0"

WEST ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	430.96 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	252.20 SQ. FT.
EXISTING WALL AREA:	685.48 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	36.79 %

EAST ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	685.48 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	0 SQ. FT.
EXISTING WALL AREA:	685.48 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	0 %

NORTH ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	562.2 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	61.87 SQ. FT.
EXISTING WALL AREA:	616.50 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	10 %

SOUTH ELEVATION CALCULATIONS:

EXTERIOR WALL AREA TO REMAIN:	598.90 SQ. FT.
EXISTING WALL AREA TO BE DEMOLISHED:	17.60 SQ. FT.
EXISTING WALL AREA:	616.50 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	2.80 %

TOTAL DEMOLITION FOR NEW MASONRY OPENINGS:

TOTAL EXTERIOR WALL AREA TO REMAIN:	2,277.54 SQ. FT.
TOTAL EXISTING WALL AREA TO BE DEMOLISHED:	331.67 SQ. FT.
TOTAL EXISTING WALL AREA:	2,603.96 SQ. FT.
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED:	12.73 %

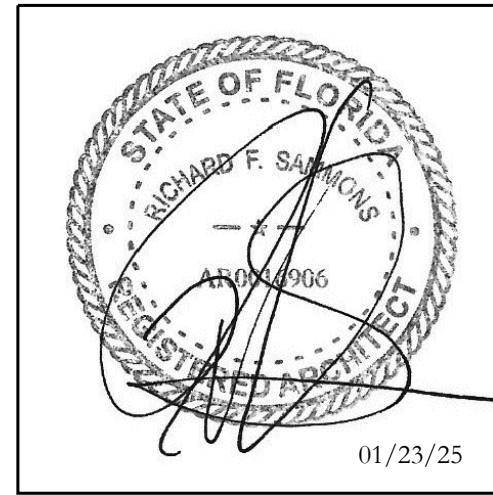
PERCENTAGE OF EXISTING WALL AREA TO BE DEMOLISHED WILL BE LESS THAN 50%

DEMOLITION KEY:

EXISTING EXTERIOR WALL TO REMAIN



NEW MASONRY OPENING



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE

MATERIAL REMOVAL
ELEVATIONS

DATE
10/9/2024

SHEET NO

SCALE
AS NOTED

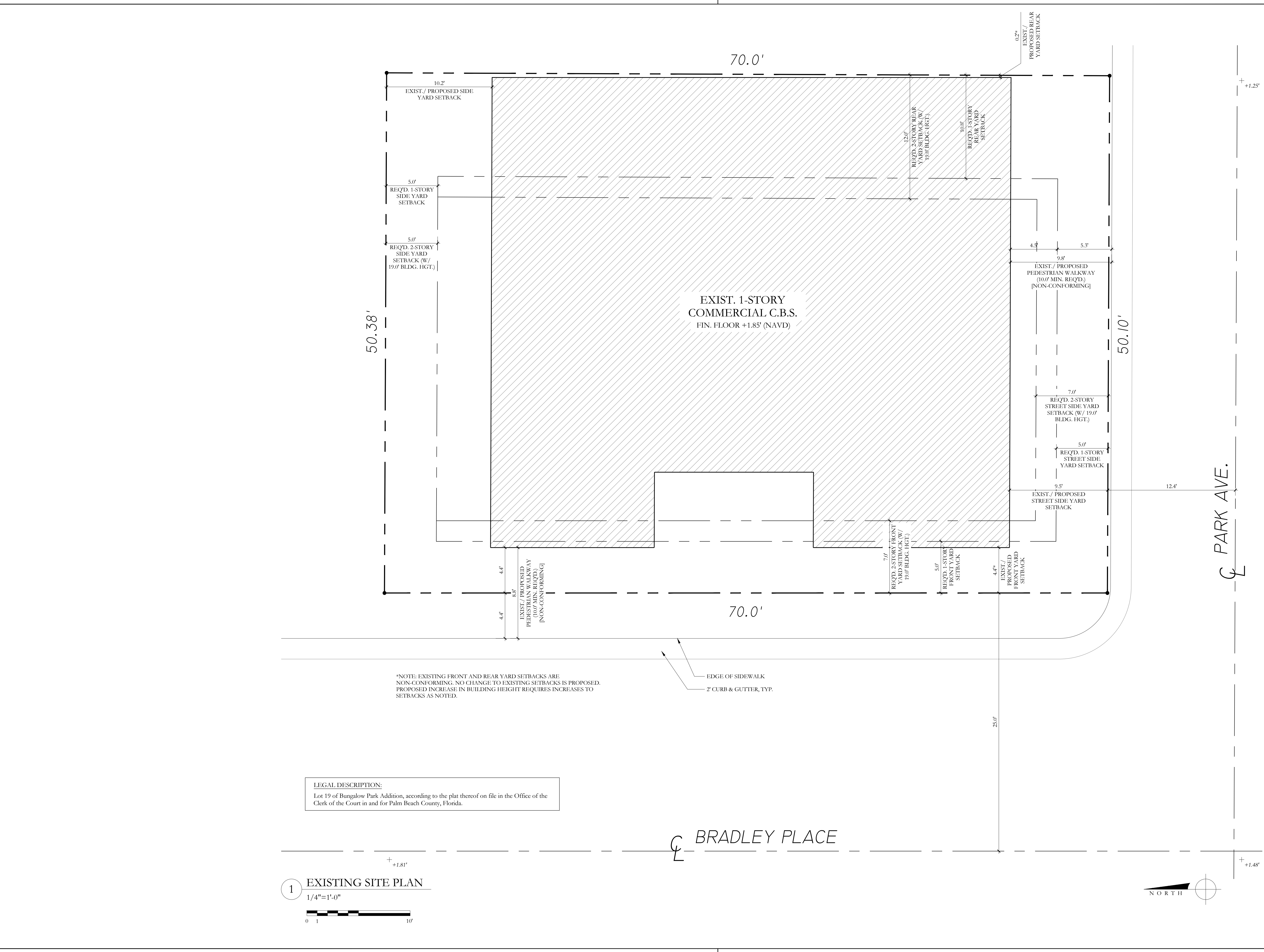
DM-002

BY
MC, MRM



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-0088
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:

+5.50'

EXISTING SPOT ELEVATION

+5'-6"

PROPOSED SPOT ELEVATION

NOTE:
 REFER TO LANDSCAPE ARCHITECTURE AND CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION

RICHARD F. SAMMONS
 STATE OF FLORIDA
 ARCHITECT
 REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
 ZON-24-0067

FILE NUMBER:
 ARC-24-0111

175 BRADLEY PLACE
 PALM BEACH, FLORIDA 33480

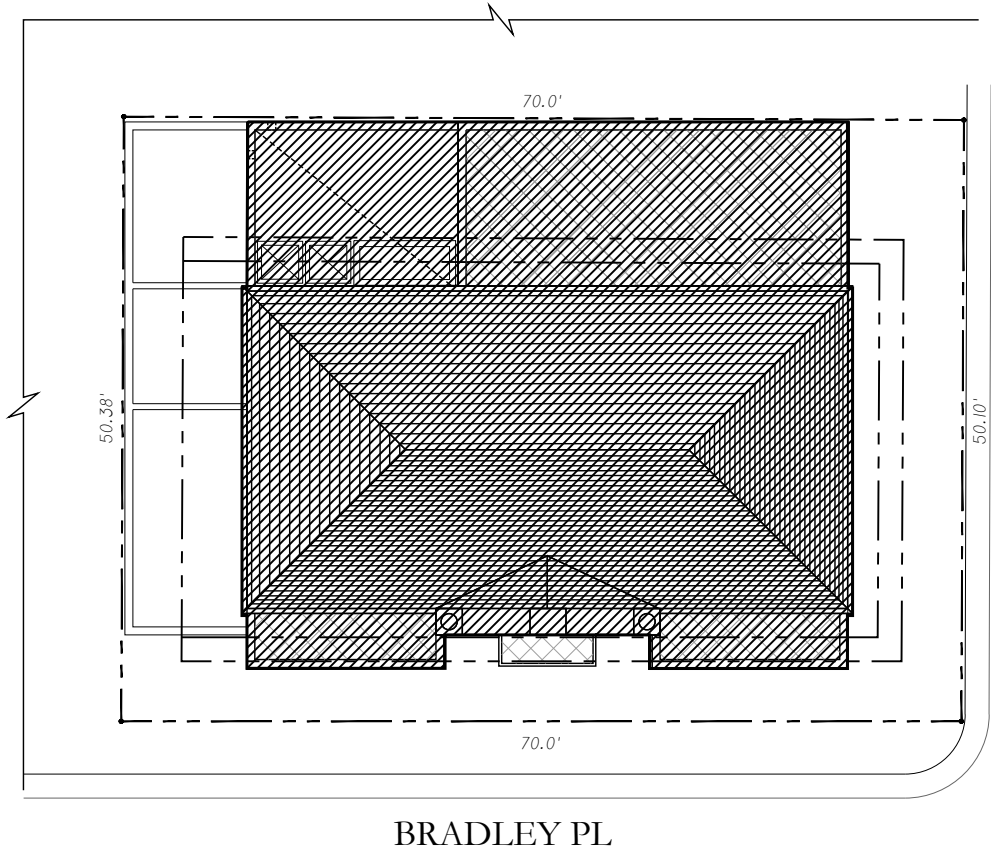
SHEET TITLE	
EXISTING SITE PLAN	
DATE	SHEET NO
SCALE AS NOTED	EX-001
BY MC, MRM	

FAIRFAX & SAMMONS
 NEW YORK - PALM BEACH
 FAIRFAX, SAMMONS & PARTNERS, LLC.
 214 BRAZILIAN AVENUE, PALM BEACH 33480
 TELEPHONE (561) 808-8881
 FAIRFAXANDSAMMONS.COM
 LICENSE NO. AA28000848

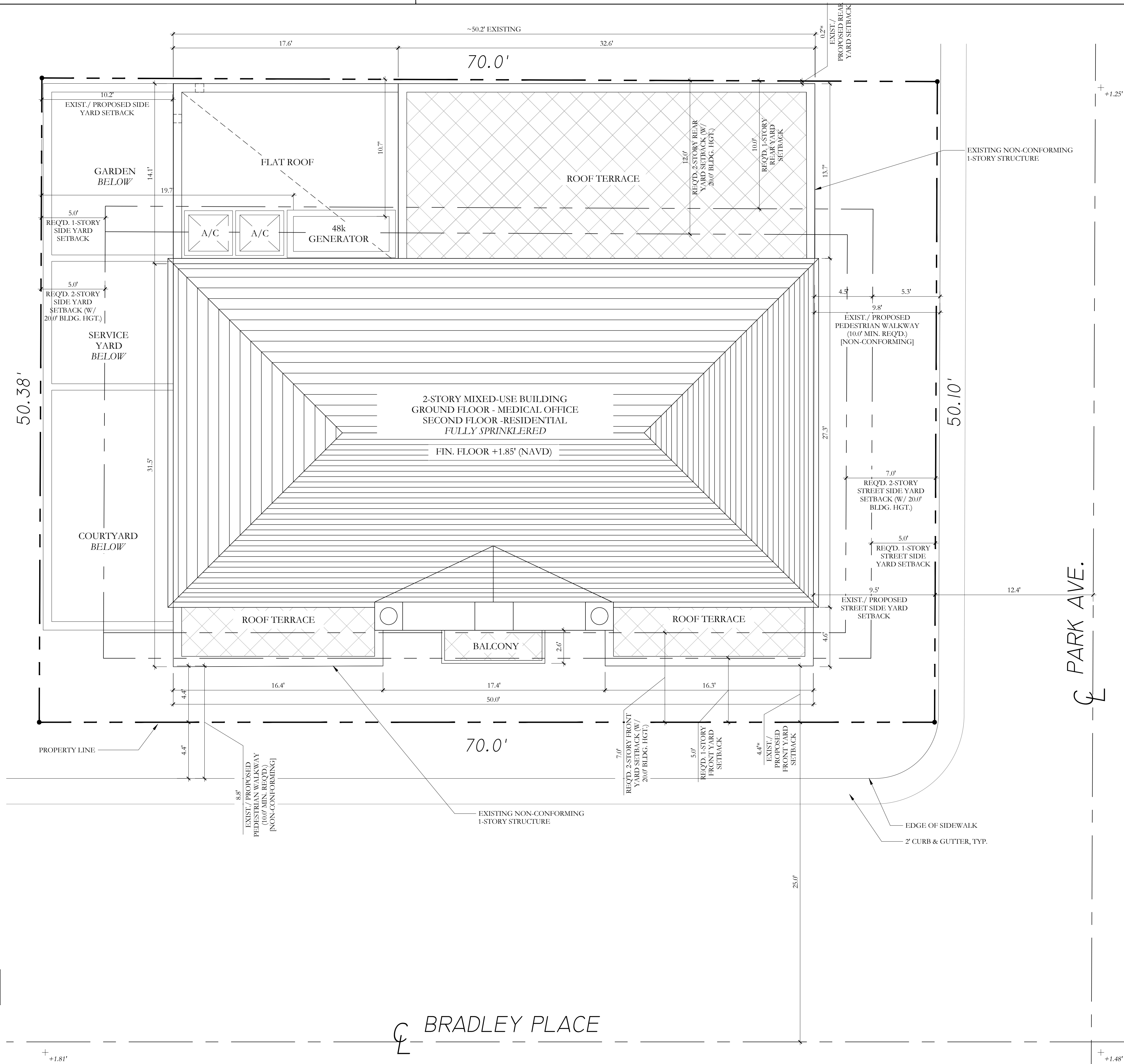
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
 © 2024 FAIRFAX & SAMMONS ARCHITECTS PC

AREA CALCULATIONS:

	CONDITIONED	UNCONDITIONED
FIRST FLOOR - MED. OFFICE, INTERIOR	2,049 FT ²	
SECOND FLOOR - RESIDENTIAL, INTERIOR	1,250 FT ²	426 FT ²
TERRACES		18 FT ²
BALCONY		
SUBTOTAL	3,299 FT ²	444 FT ²
TOTAL AREA:	APPROX.	3,743 FT ²



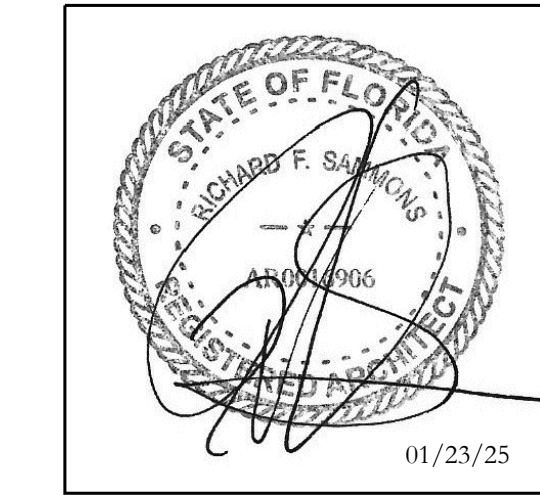
LOT AREA: 3500 SF
BUILDING AREA: 2249 SF
64% LOT COVERAGE



NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

LEGEND:
+5.50' EXISTING SPOT ELEVATION
+5'-6" PROPOSED SPOT ELEVATION

NOTE: REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL GRADING INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED SITE PLAN

DATE 9/30/2024	SHEET NO A-001
SCALE 1/4"=1'-0"	
BY MC, MRM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

2 LOT COVERAGE DIAGRAM
1/16"=1'-0"

1 PROPOSED SITE PLAN
1/4"=1'-0"



*NOTE: EXISTING FRONT AND REAR YARD SETBACKS ARE NON-CONFORMING. NO CHANGE TO EXISTING SETBACKS IS PROPOSED. PROPOSED INCREASE IN BUILDING HEIGHT REQUIRES INCREASES TO SETBACKS AS NOTED.

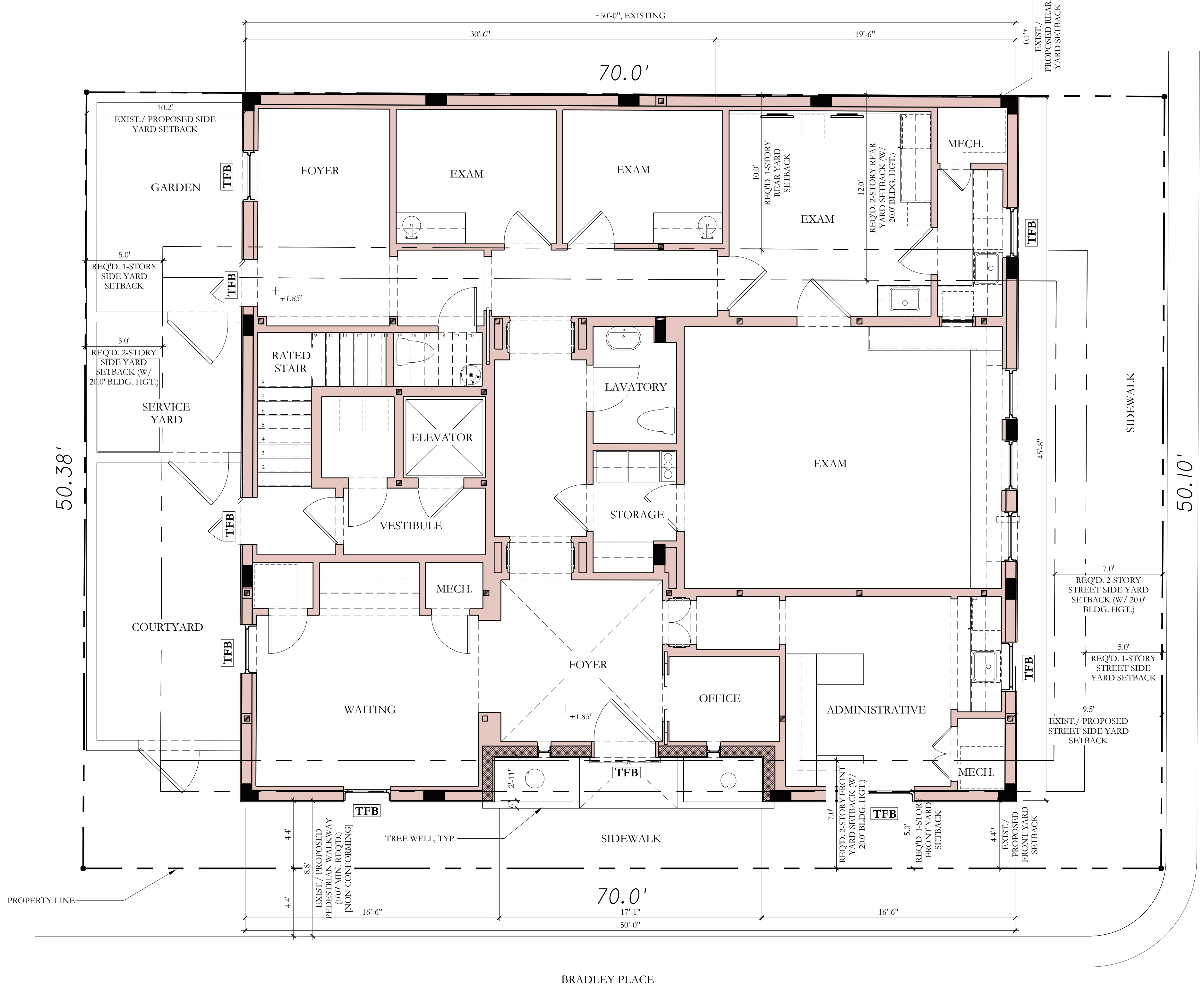
GENERAL NOTES:

- THE ENTIRE AREA OF THE LEVEL OF EXIT DISCHARGE (VESTIBULE) SHALL BE SEPARATED FROM THE OFFICE AREA BELOW BY CONSTRUCTION CONFORMING TO THE FIRE-RESISTANCE RATING OF THE INTERIOR EXIT STAIRWAY, 2023 FBC, SEC.1023 & SEC.1026.2.
- AN NFPA 72 COMPLIANT FIRE ALARM SHALL BE INSTALLED WITH NOTIFICATION TO THE RESIDENCE FOR ALL ALARMS. THE FDC SHALL COMPLY WITH NFPA 14 FOR INSTALLATION AND LOCATION FROM A FIRE HYDRANT.
- NFPA 14 CHAPTER 6, 6.4.5.4 * FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT MORE THAN 100 FT (30.5 M) FROM THE NEAREST FIRE HYDRANT CONNECTED TO AN APPROVED WATER SUPPLY.
- 6.4.6 FIRE DEPARTMENT CONNECTIONS SHALL BE LOCATED NOT LESS THAN 18 IN. (457 MM) NOR MORE THAN 48 IN. (1219 MM) ABOVE THE LEVEL OF THE ADJOINING GROUND, SIDEWALK, OR GRADE SURFACE.
- ALL PROVISIONS OF NFPA 241 SHALL BE COMPLIED WITH DURING THE CONSTRUCTION OF THE PROJECT.

FLOOD PROOFING:

BUILDING PLANS ARE DESIGNED IN ACCORDANCE WITH 2023 FBC, SEC. 1612 FLOOD HAZARD DOCUMENTATION, REFER TO BUILDING ELEVATIONS FOR THE DRY FLOOD-PROOFED ELEVATION (BFE +1). DRY FLOODPROOFING IS DESIGNED IN ACCORDANCE WITH ASCE 24, REFER TO THE PROJECT'S FLOOD EMERGENCY PLAN.

TFB = INDICATES LOCATION OF TEMPORARY FLOOD BARRIER TO BE INSTALLED AS PER FLOOD MANAGEMENT PLANS



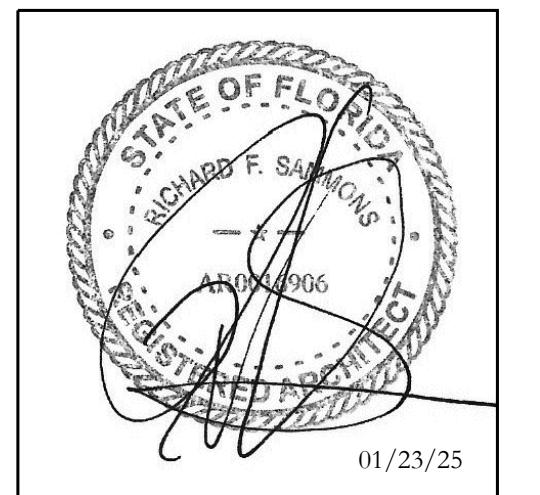
1 PROPOSED SITE PLAN W/ FIRST FLOOR PLAN
1/4"=1'-0"

NOTE: ELEVATIONS
REFERENCED TO NAVD
SURVEY ELEVATIONS

LEGEND:

- +5.50' EXISTING SPOT
ELEVATION
- +5'-6" PROPOSED SPOT
ELEVATION

NOTE:
REFER TO CIVIL
ENGINEERING DRAWINGS
FOR ADDITIONAL GRADING
INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

**175 BRADLEY
PLACE**
PALM BEACH, FLORIDA 33480

SHEET TITLE
**PROPOSED
SITE FLOORPLAN**

DATE
10/9/2024

SHEET NO

SCALE
AS NOTED

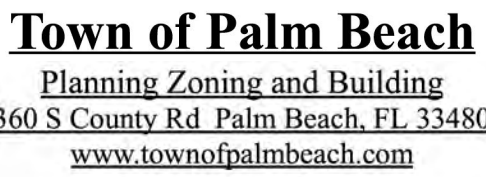
A-002

BY
MC, MRM

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-0881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



^ For buildings in excess of 15 feet in height, increase minimum yard requirements one foot for each two feet of building height, or portion thereof, exceeding 15 feet.



***** Indicate each yard area with cardinal direction (N,S,E,W)

****** *Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. $(FFE - COR) / 2 = \text{Max. Fill}$ [Sec. 134-1600]*

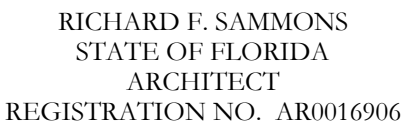
******* *Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend*

REV BF 20230626

LEGEND:

	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION

NOTE:
REFER TO LANDSCAPE
ARCHITECTURE AND CIVIL
ENGINEERING DRAWINGS
FOR ADDITIONAL GRADING
INFORMATION



DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

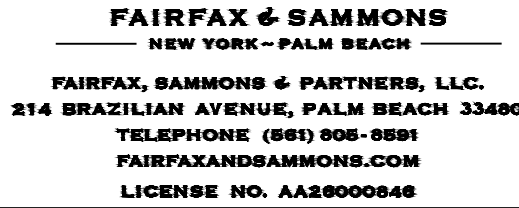
FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE

PROPOSED
ZONING LEGEND

DATE 10/9/2024	SHEET NO A-002A
SCALE AS NOTED	
BY MC, CG	

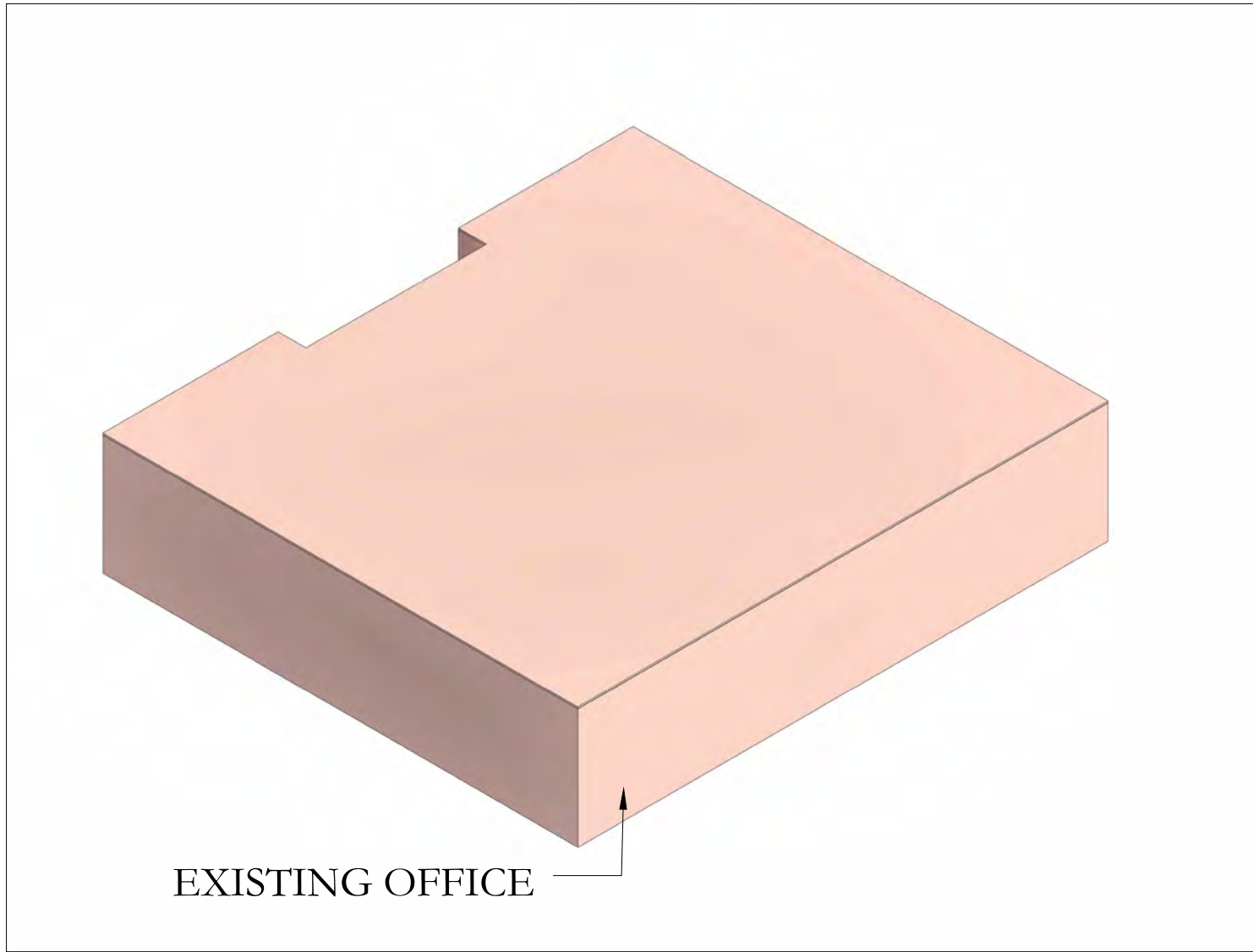


DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

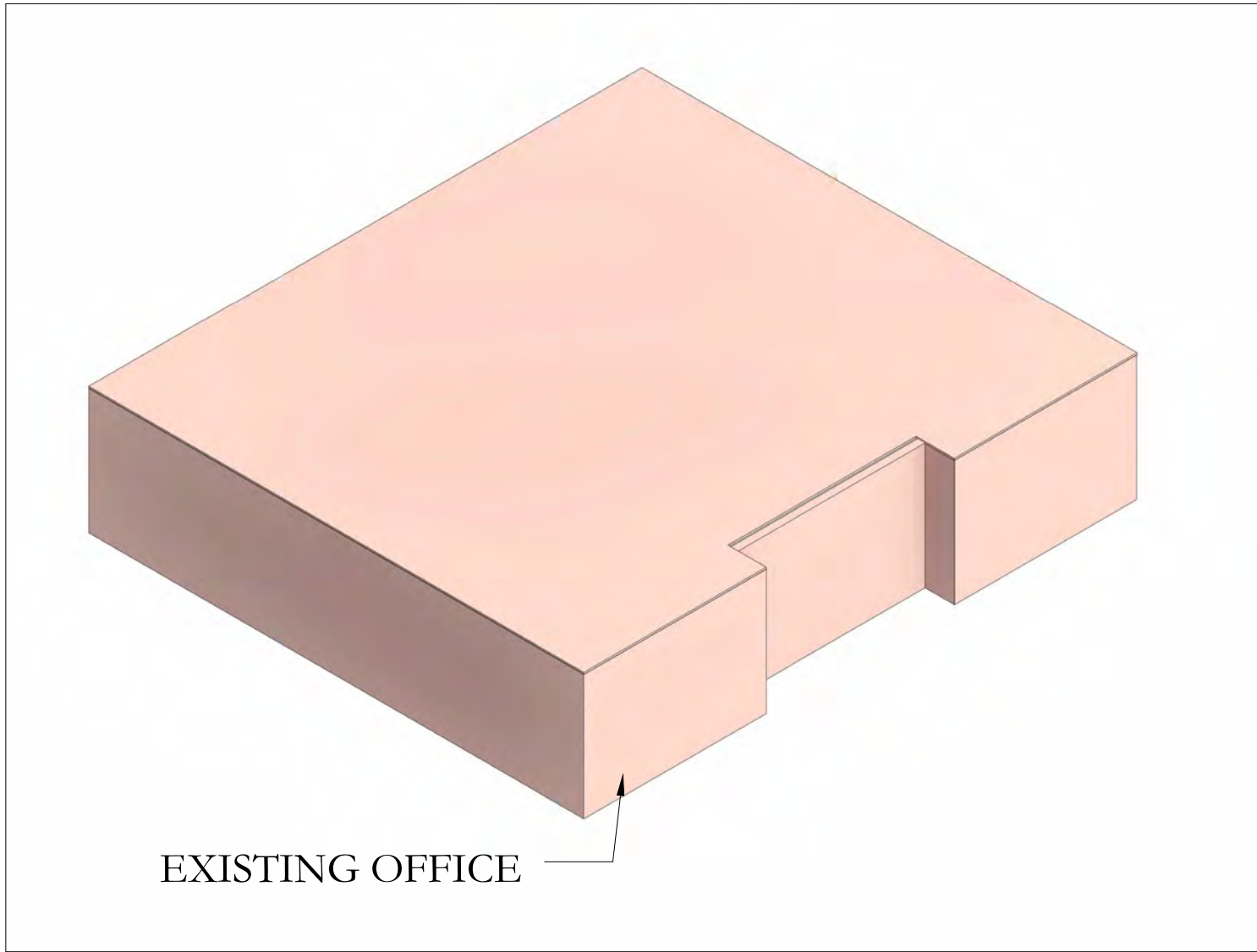
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

MASSING DIAGRAMS

EXISTING CONDITION

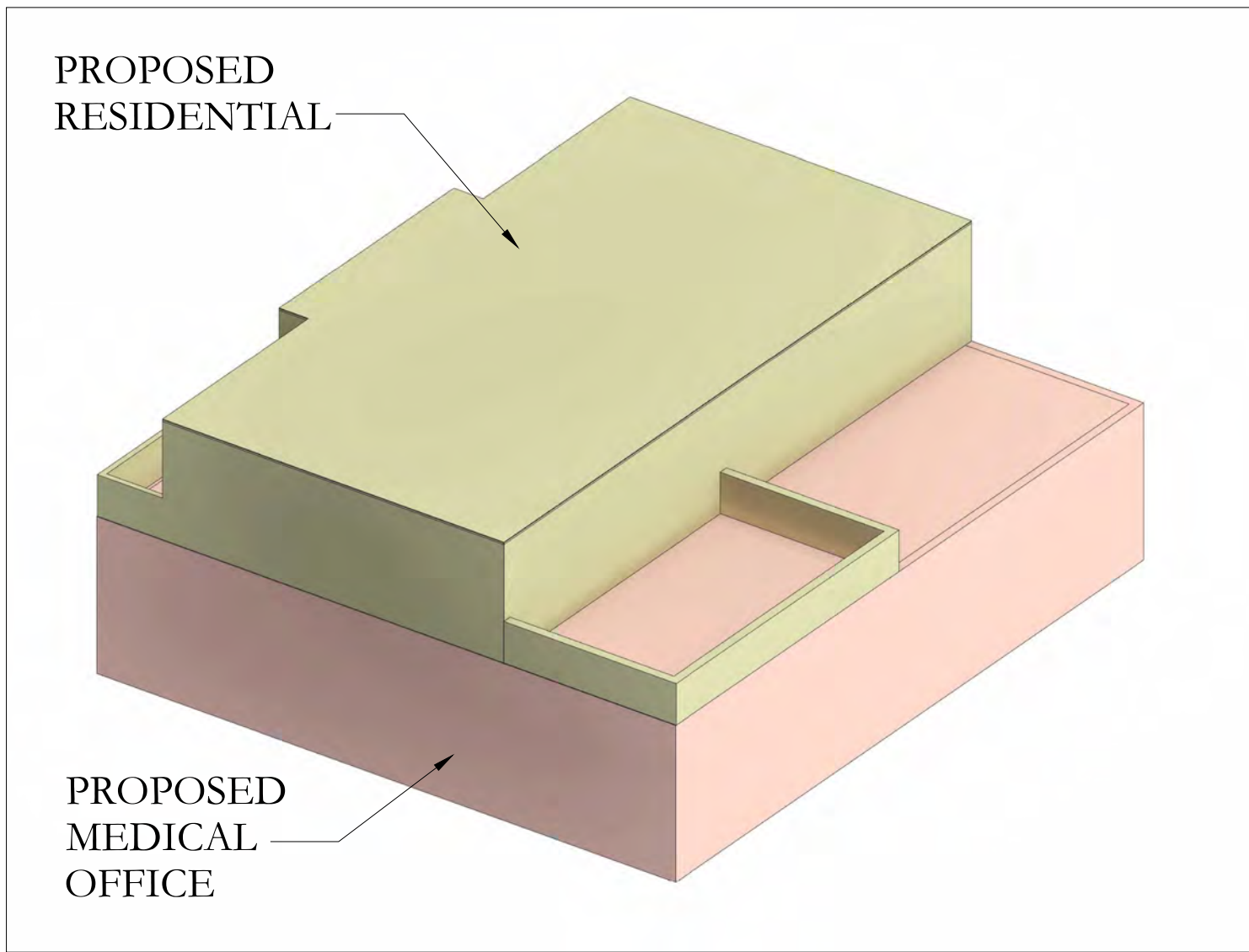


1 MASSING DIAGRAM - FROM EAST
N.T.S

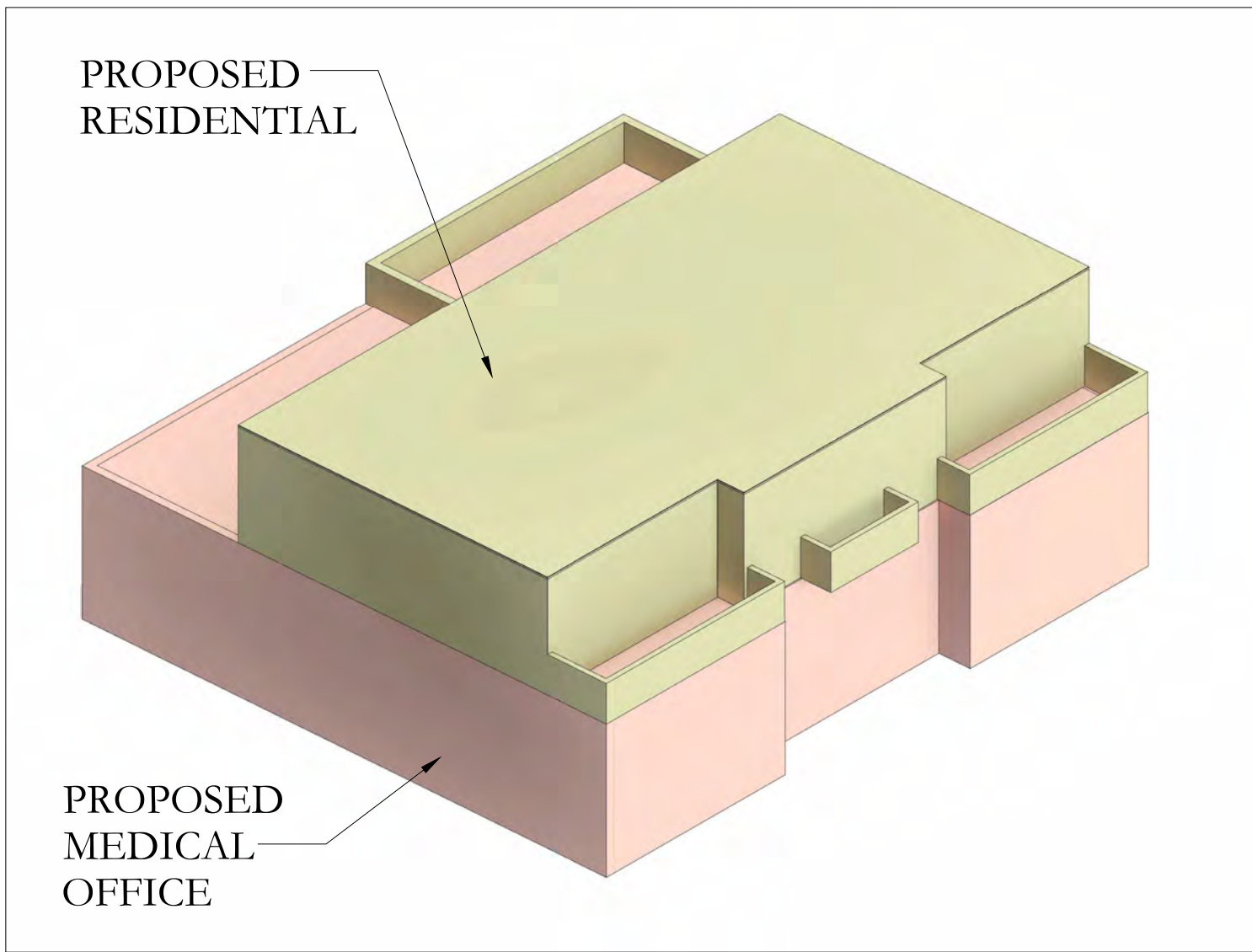


2 MASSING DIAGRAM - FROM WEST
N.T.S

PROPOSED CONDITION

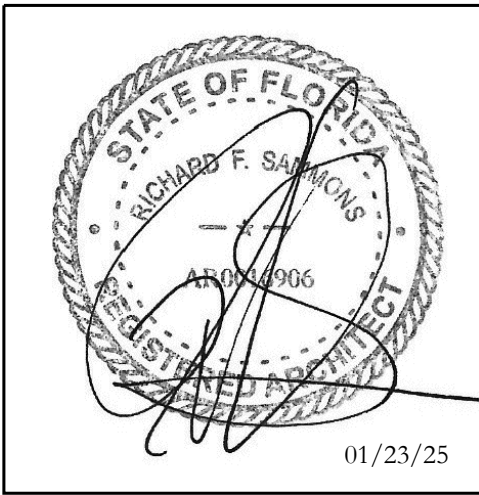


3 MASSING DIAGRAM - FROM EAST
N.T.S



4 MASSING DIAGRAM - FROM WEST
N.T.S

LEGEND	
<div></div>	FIRST FLOOR
<div></div>	SECOND FLOOR



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
MASSING DIAGRAMS

DATE 10/9/2024	SHEET NO A-003
SCALE AS NOTED	
BY MC, MRM	

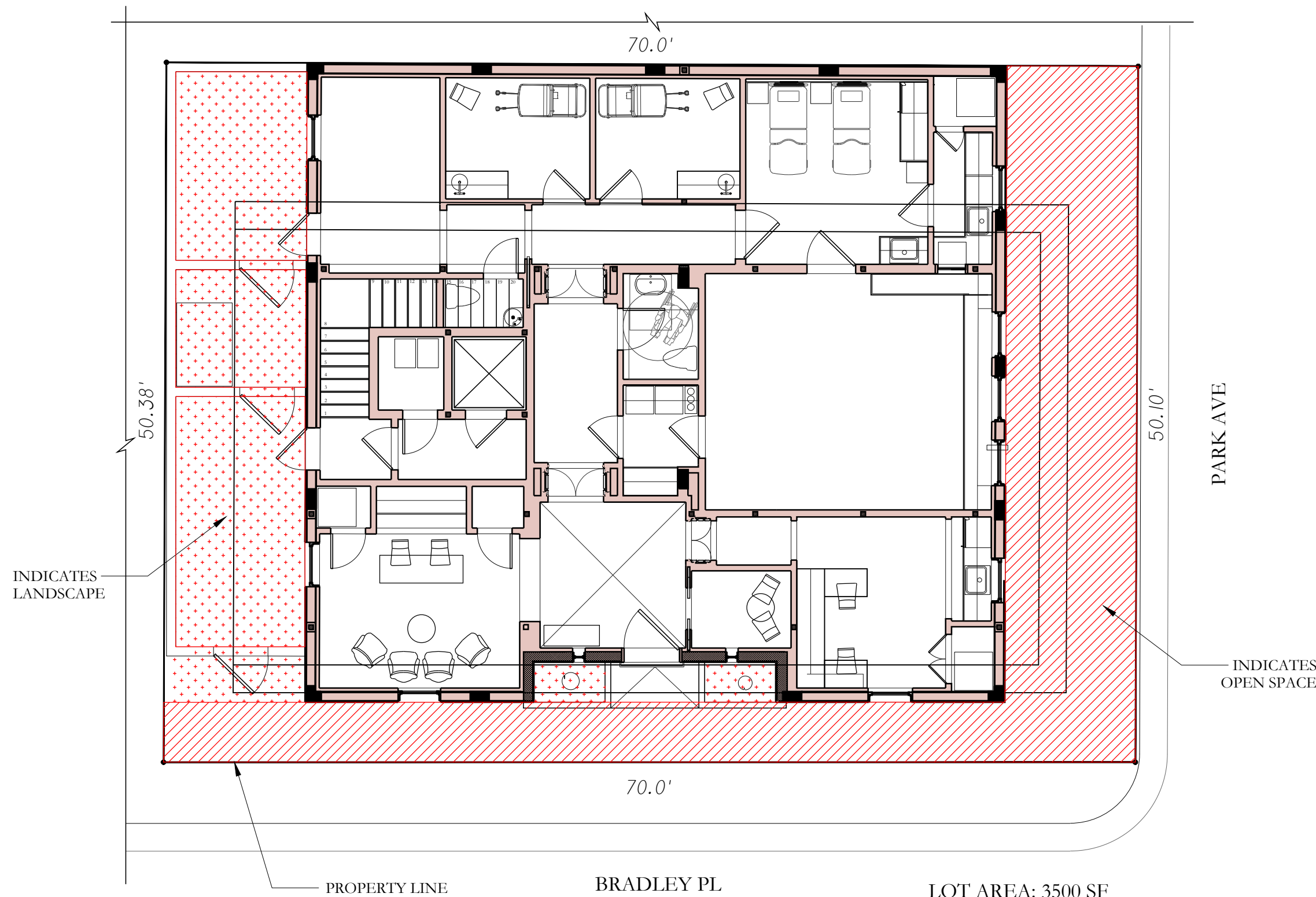


FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-0891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

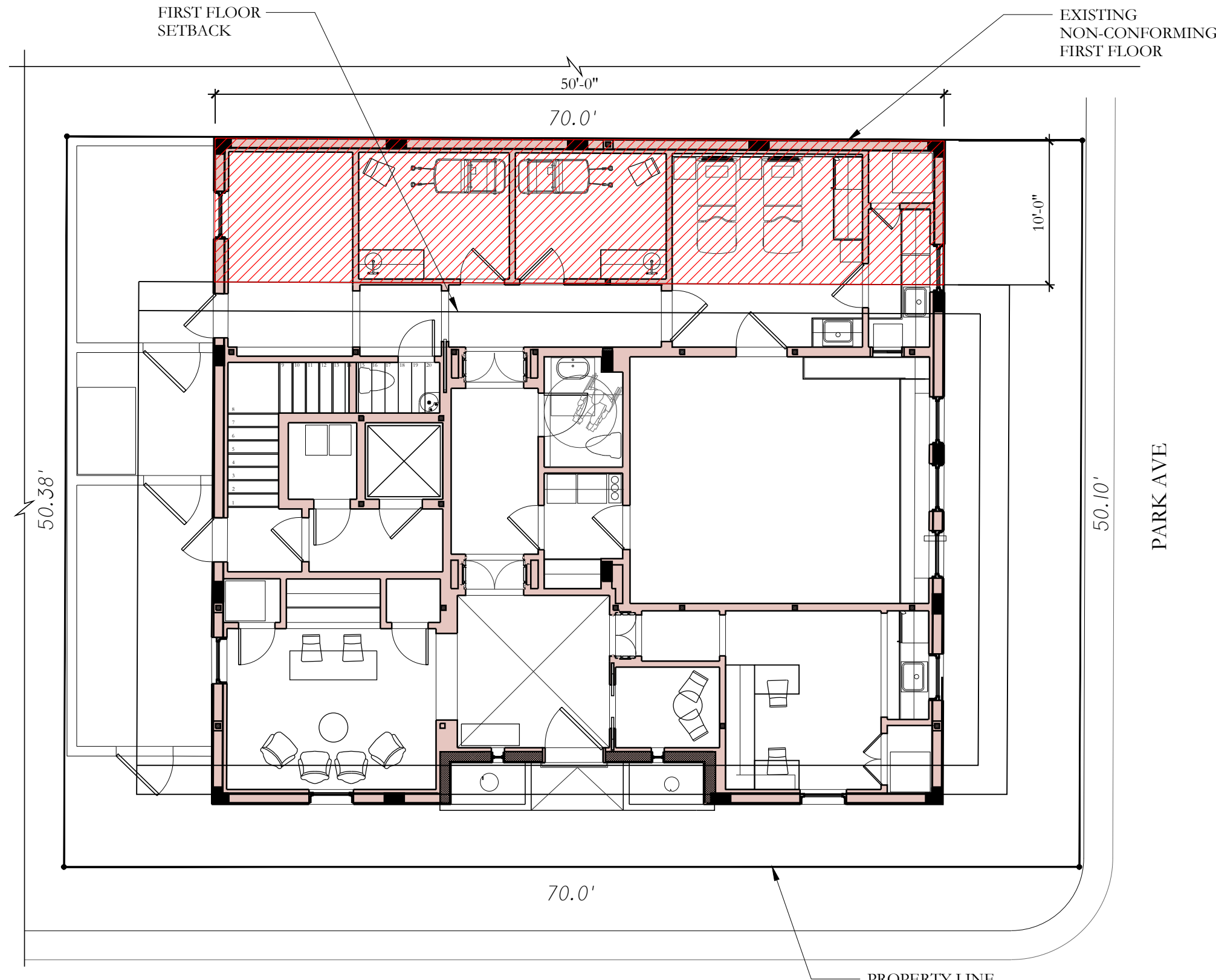
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

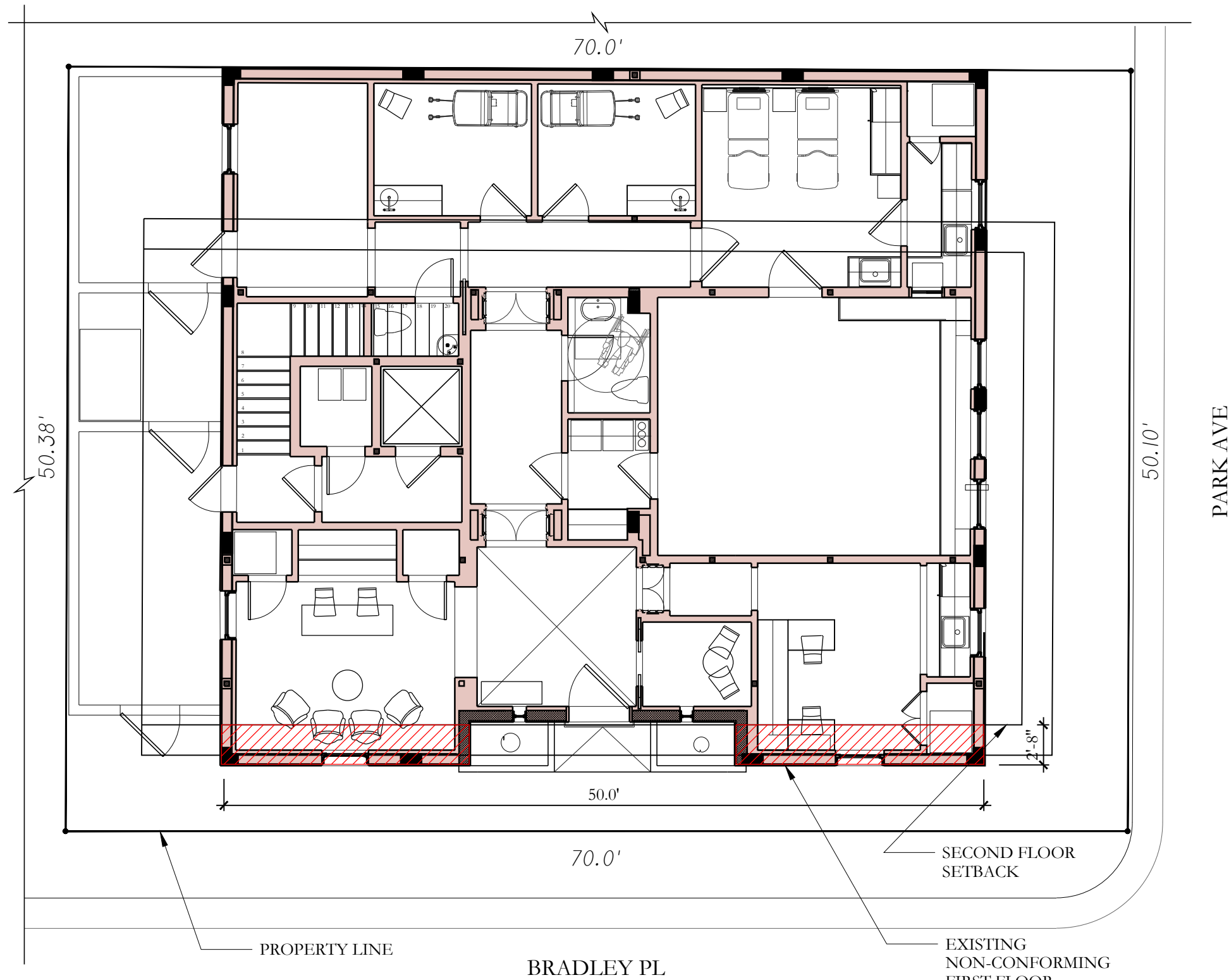


1 LANDSCAPE & OPEN SPACE
1/8"=1'-0" VARIANCE DIAGRAM

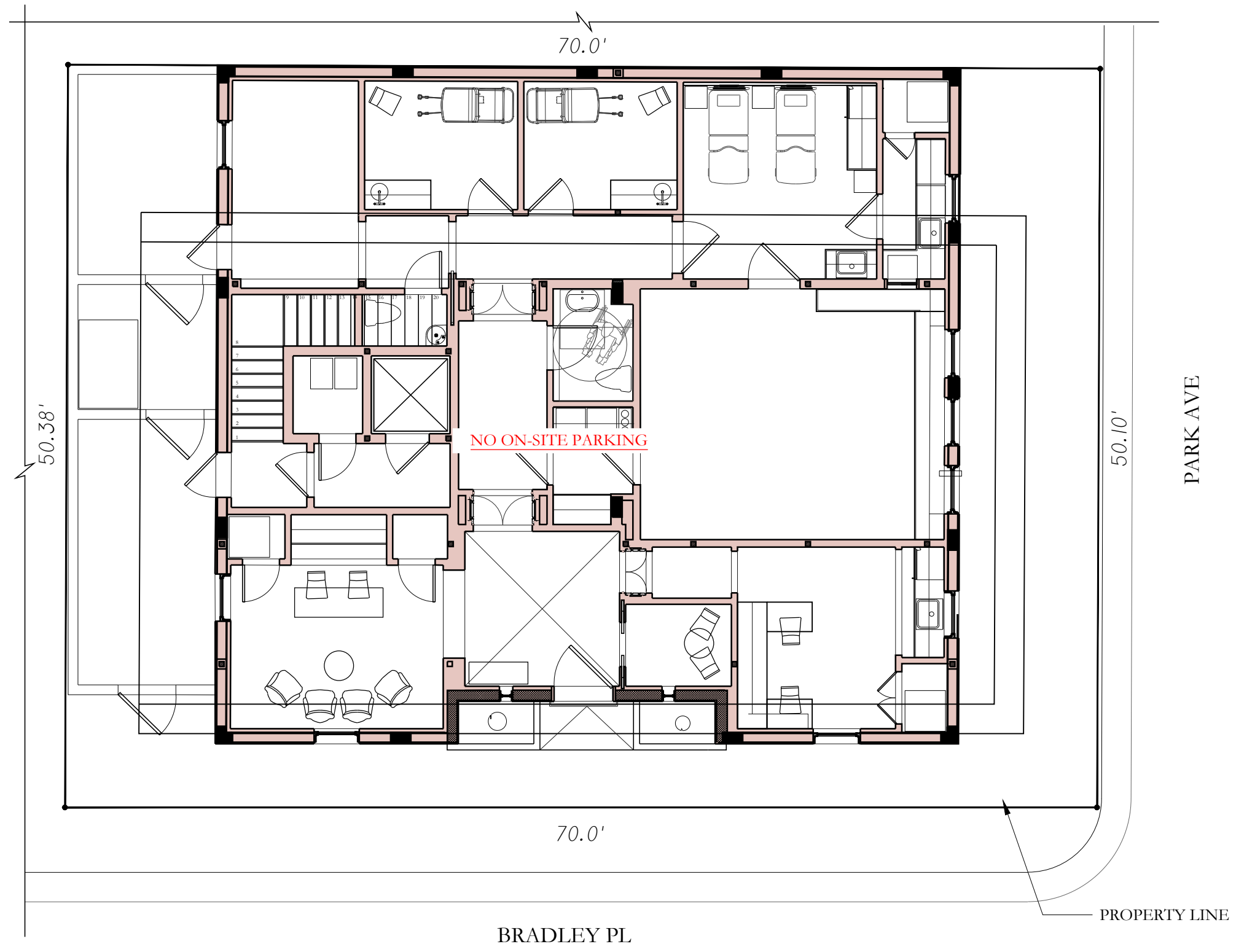
LOT AREA: 3500 SF
LANDSCAPE: 470 SF
OPENSOURCE: 744 SF
TOTAL 1214 SF
34.69% LOT COVERAGE



3 REAR YARD SETBACK
1/8"=1'-0" VARIANCE DIAGRAM

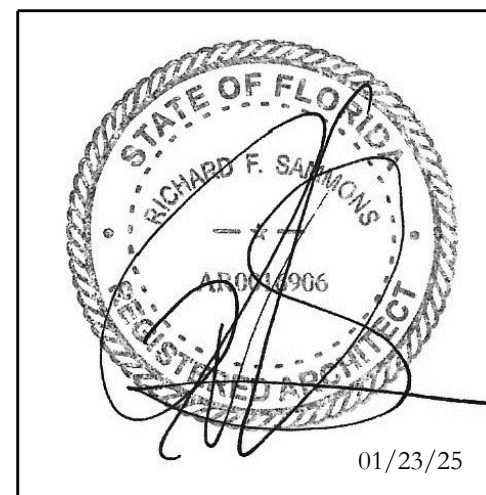


2 FRONT YARD SETBACK
1/8"=1'-0" VARIANCE DIAGRAM



4 PARKING DIAGRAM
1/8"=1'-0" VARIANCE DIAGRAM

*REFER TO TRAFFIC CONCURRENCE REPORT
FOR ADDITIONAL INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
VARIANCE DIAGRAMS

DATE
10/9/2024

SCALE
AS NOTED

BY
MC, MRM

SHEET NO

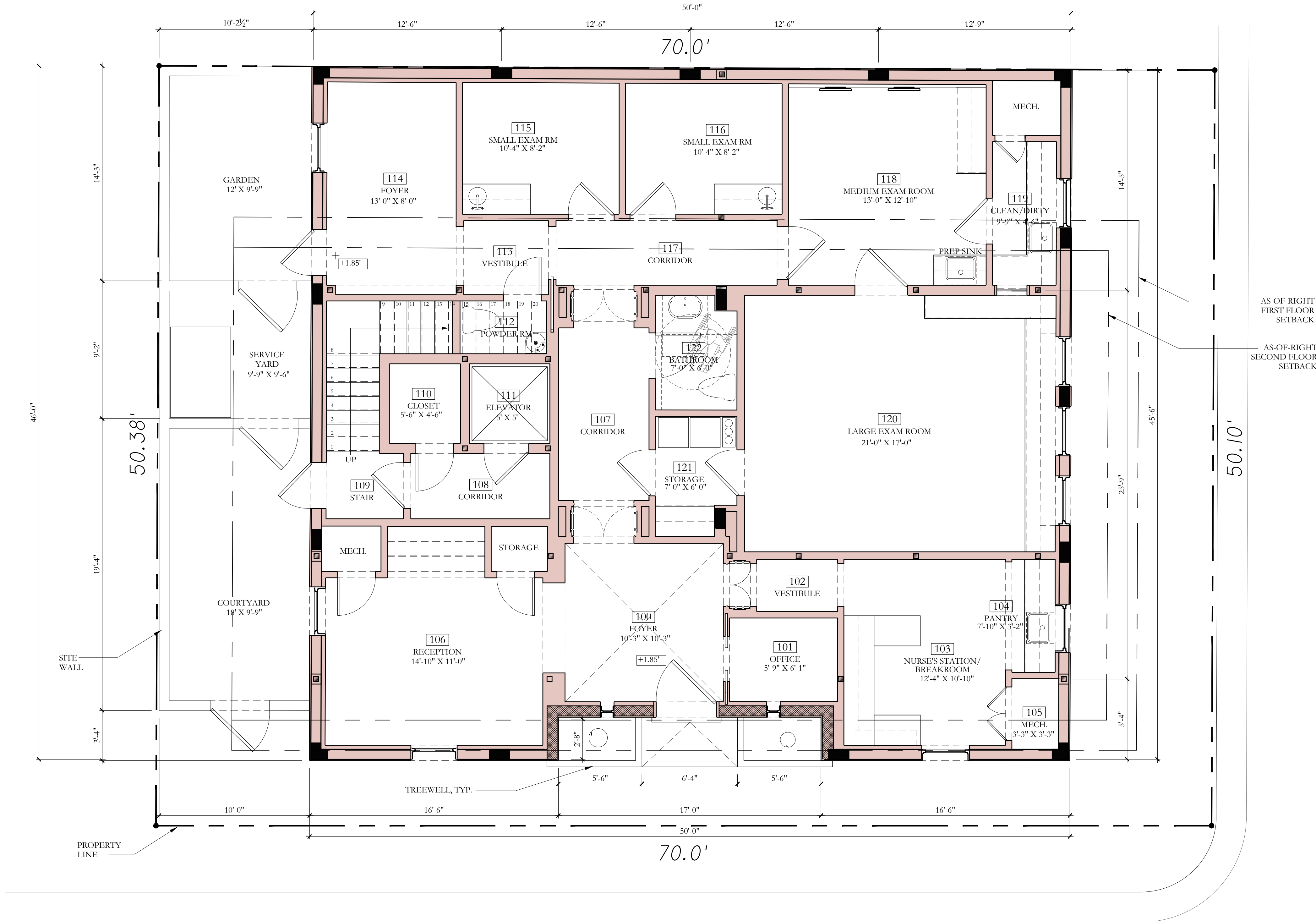
A-004



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 808-1881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY
THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE
AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR
NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED
OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER
DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR
ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS
PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH
APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"



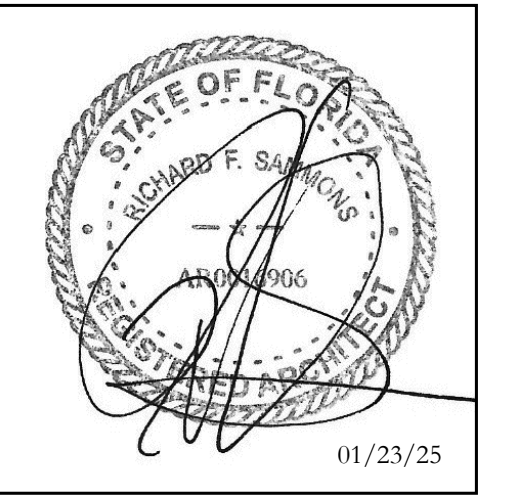
NOTE: ELEVATIONS
REFERENCED TO NAVD
SURVEY ELEVATIONS

LEGEND:

+5.50' EXISTING SPOT
ELEVATION

+5'-6" PROPOSED SPOT
ELEVATION

NOTE:
REFER TO LANDSCAPE
ARCHITECTURE AND CIVIL
ENGINEERING DRAWINGS
FOR ADDITIONAL GRADING
INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

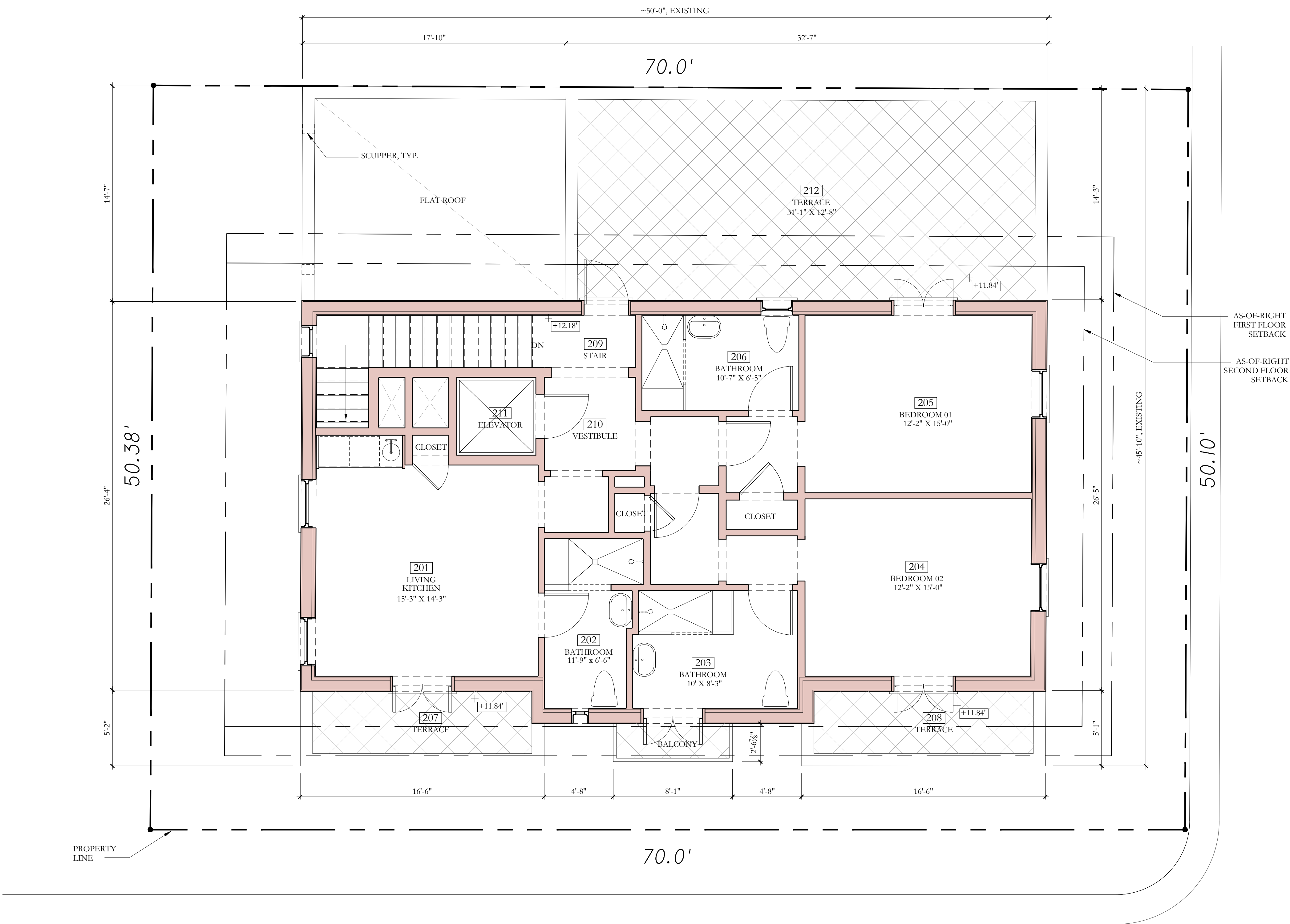
SHEET TITLE
PROPOSED
FIRST FLOOR PLAN

DATE 9/30/2024	SHEET NO A-100
SCALE 1/4"=1'-0"	
BY MC, MRM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-0888
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY
THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE
AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR
NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED
OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER
DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR
ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS
PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH
APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

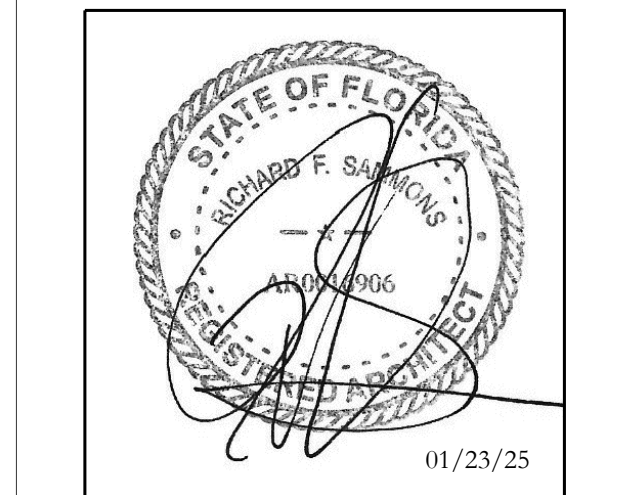


1 PROPOSED SECOND FLOOR PLAN
1/4"=1'-0"

NOTE: ELEVATIONS
REFERENCED TO NAVD
SURVEY ELEVATIONS

LEGEND:
+5.50' EXISTING SPOT
ELEVATION
+5'-6" PROPOSED SPOT
ELEVATION

NOTE:
REFER TO LANDSCAPE
ARCHITECTURE AND CIVIL
ENGINEERING DRAWINGS
FOR ADDITIONAL GRADING
INFORMATION



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

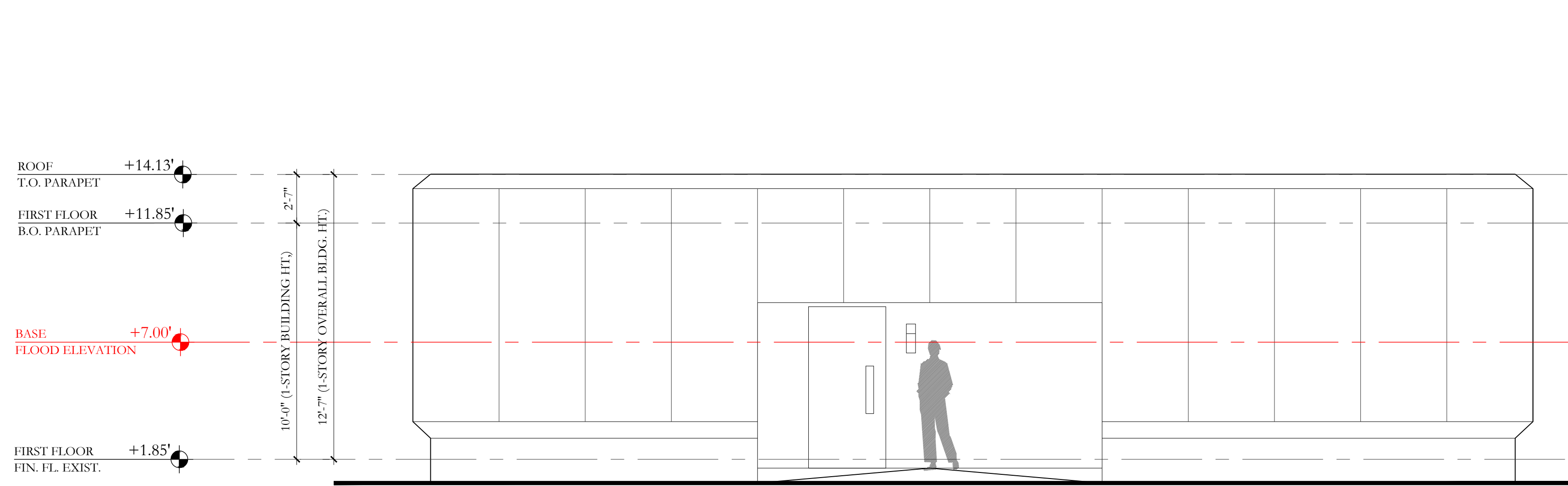
SHEET TITLE
PROPOSED
SECOND FLOOR PLAN

DATE	SHEET NO
9/30/2024	A-101
SCALE 1/4"=1'-0"	
BY MC, MRM	

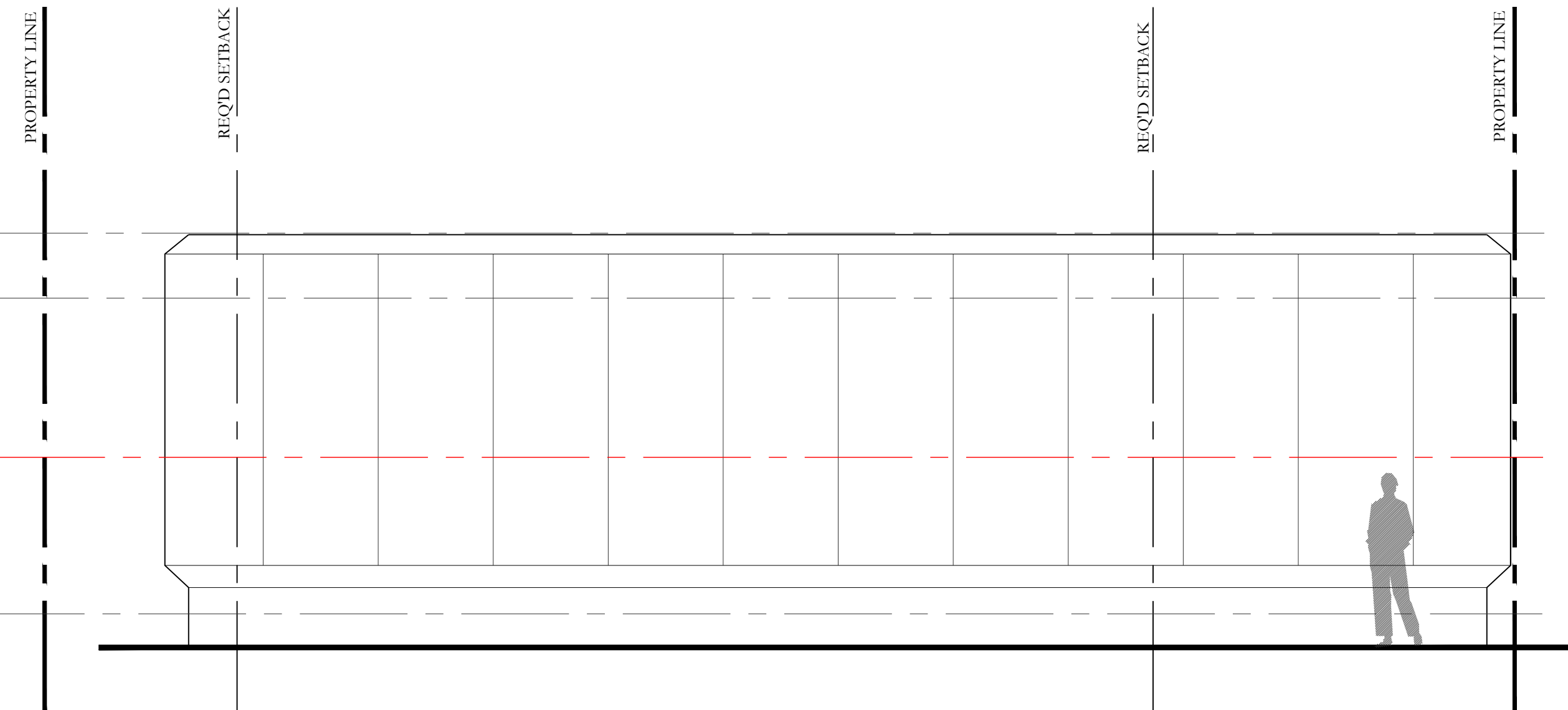
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-8888
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY
THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE
AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR
NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED
OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER
DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR
ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS
PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH
APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

NOTE: ELEVATIONS
REFERENCED TO NAVD
SURVEY ELEVATIONS



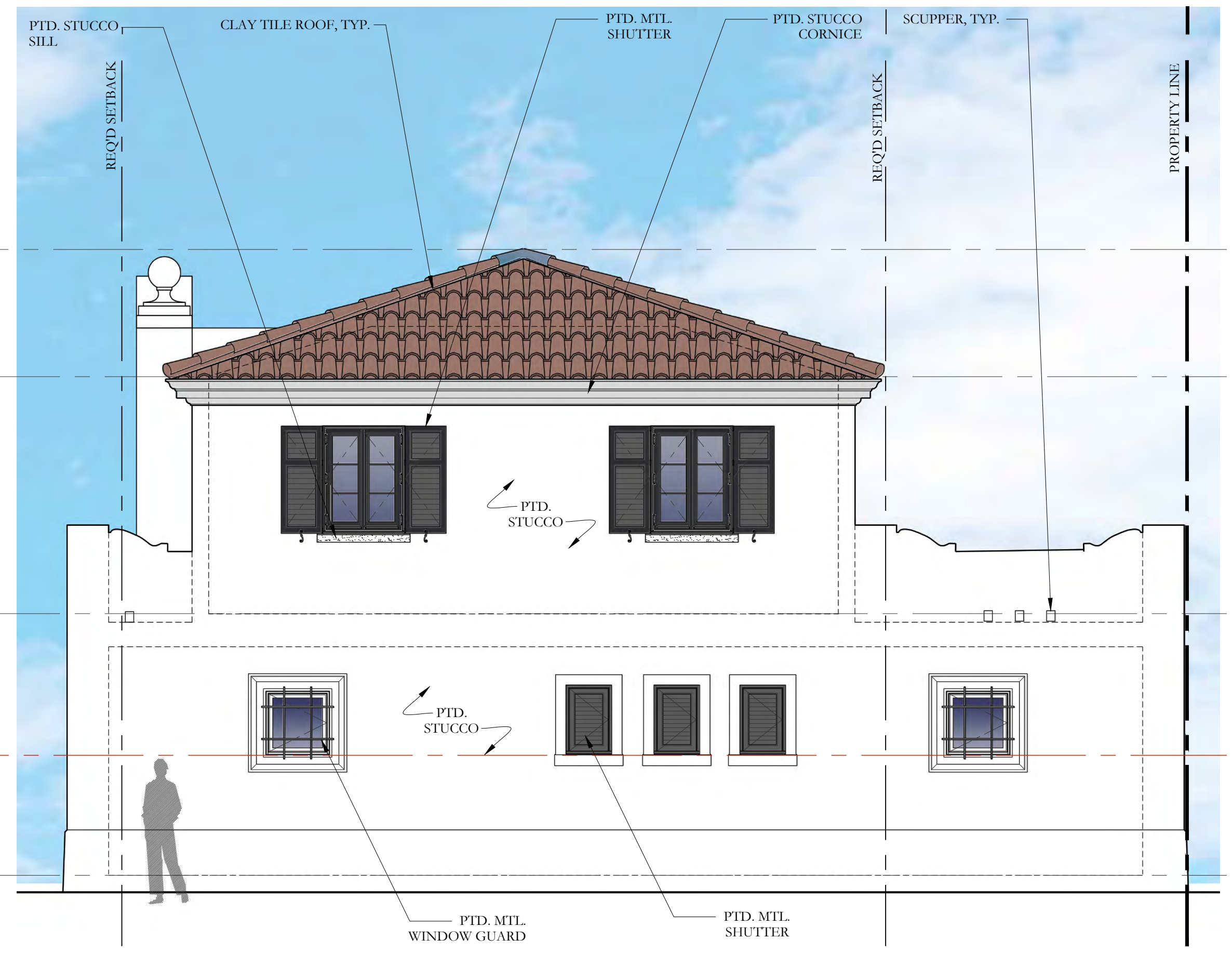
1 EXISTING: WEST ELEVATION
1/4"=1'-0"



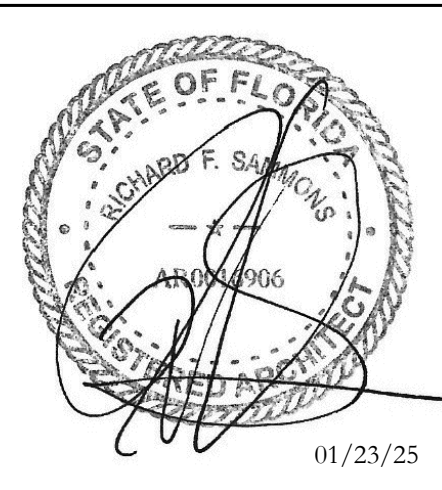
2 EXISTING: SOUTH ELEVATION
1/4"=1'-0"
YARD SECTION DIAGRAM



3 PROPOSED: WEST ELEVATION
1/4"=1'-0"



4 PROPOSED: SOUTH ELEVATION
1/4"=1'-0"
YARD SECTION DIAGRAM



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

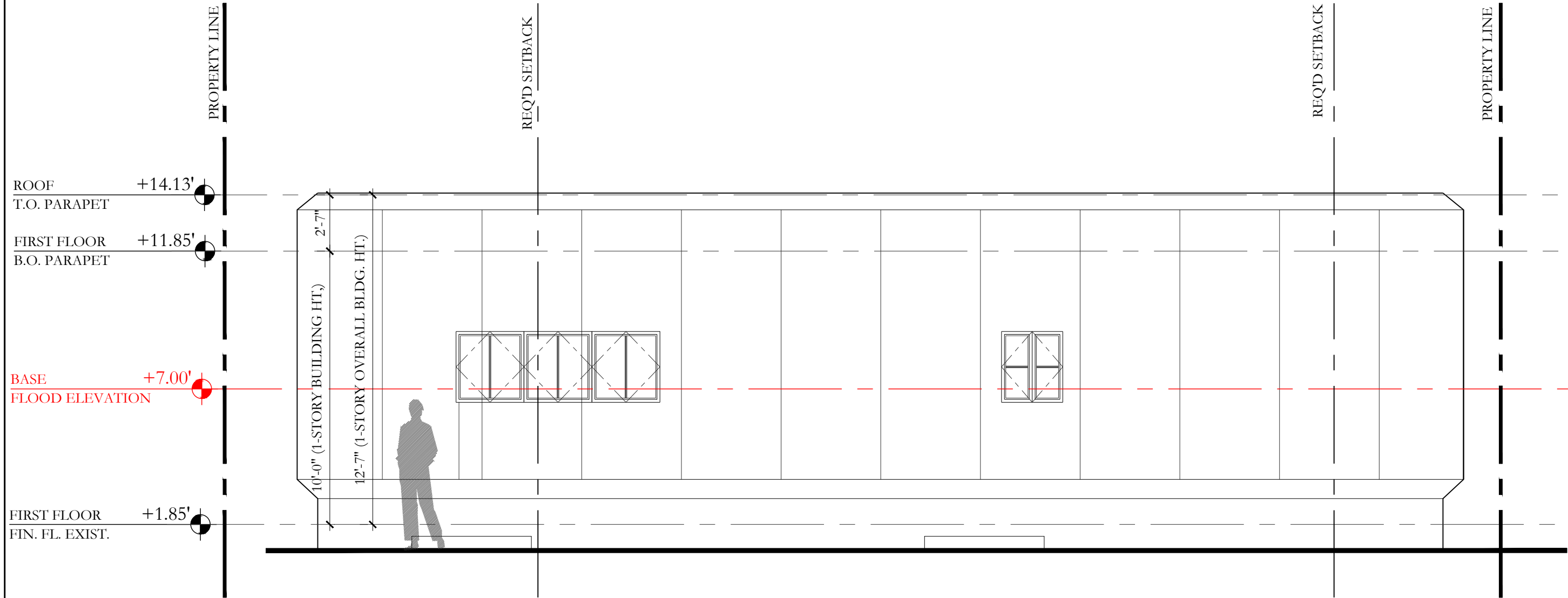
175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING/PROPOSED
SOUTH & WEST ELEVATIONS

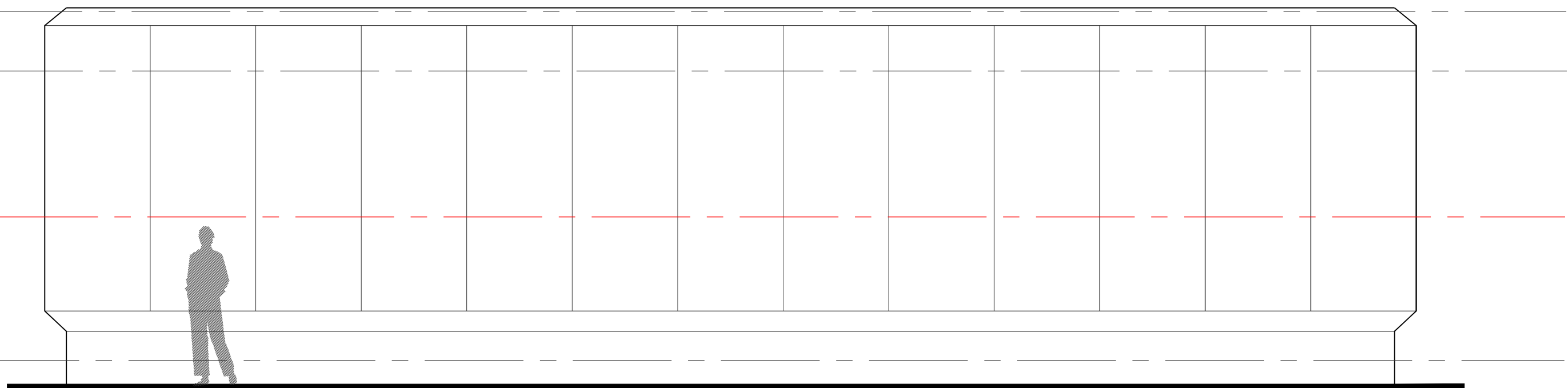
DATE 10/9/2024	SHEET NO A-110
SCALE AS NOTED	
BY MC, MRM	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-0091
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

Drawings, specifications and other documents prepared by the architect are the instruments of the architect's service and shall remain the property of the architect, whether or not the project for which they are intended is constructed or not. The architect's drawings, specifications and other documents will not be used on any other projects for additions to this project and/or for completion of this project by others, except by agreement in writing and with appropriate compensation to the architect.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 EXISTING: NORTH ELEVATION
1/4"=1'-0" YARD SECTION DIAGRAM



2 EXISTING: EAST ELEVATION
1/4"=1'-0"

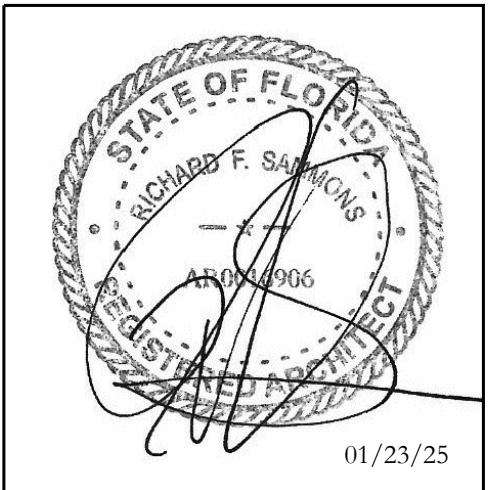


3 PROPOSED: NORTH ELEVATION
1/4"=1'-0" YARD SECTION DIAGRAM



4 PROPOSED: EAST ELEVATION
1/4"=1'-0"

NOTE: ELEVATIONS
REFERENCED TO NAVD
SURVEY ELEVATIONS



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
EXISTING/PROPOSED
NORTH & EAST ELEVATIONS

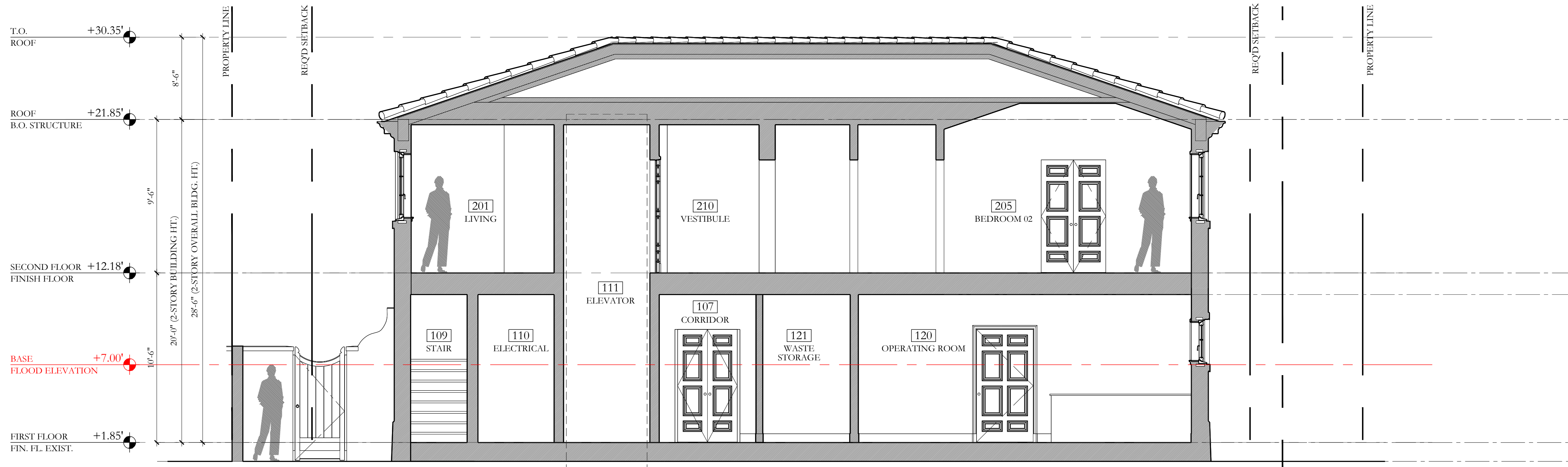
DATE 10/9/2024	SHEET NO A-111
SCALE AS NOTED	
BY MC, MRM	



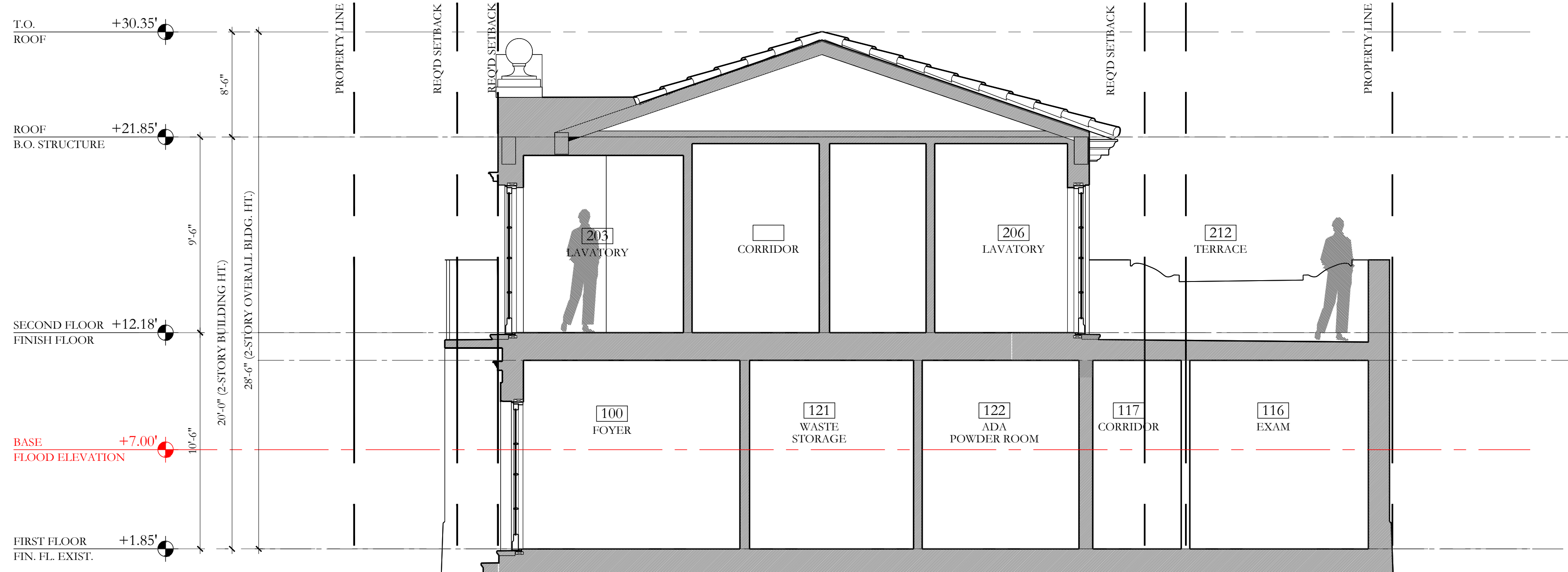
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

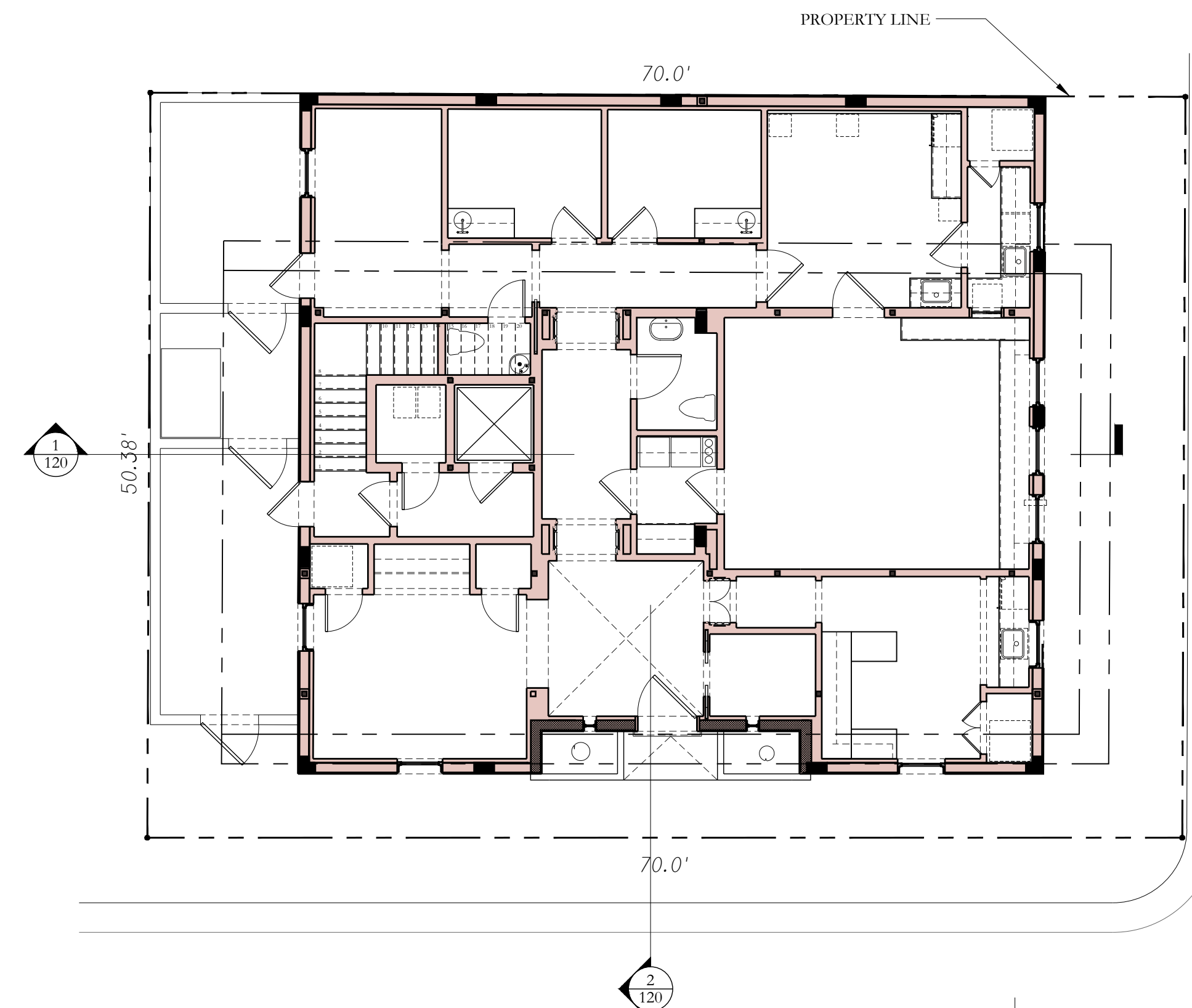
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



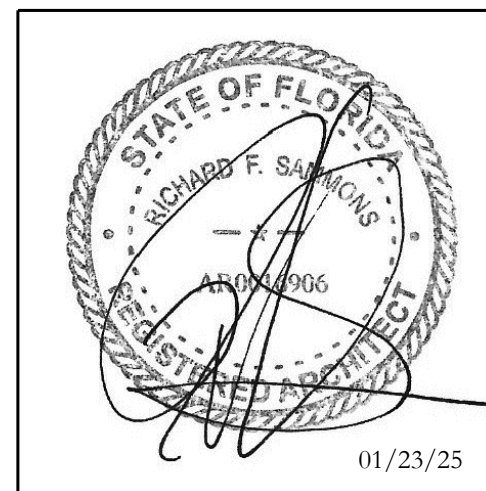
1 PROPOSED SECTION LOOKING EAST
1/4"=1'-0"



2 PROPOSED SECTION LOOKING NORTH
1/4"=1'-0"



3 KEY PLAN
1/8"=1'-0"



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED BUILDING
SECTIONS & YARD SECTIONS

DATE
10/9/2024

SCALE
AS NOTED

BY
MC, MRM

SHEET NO

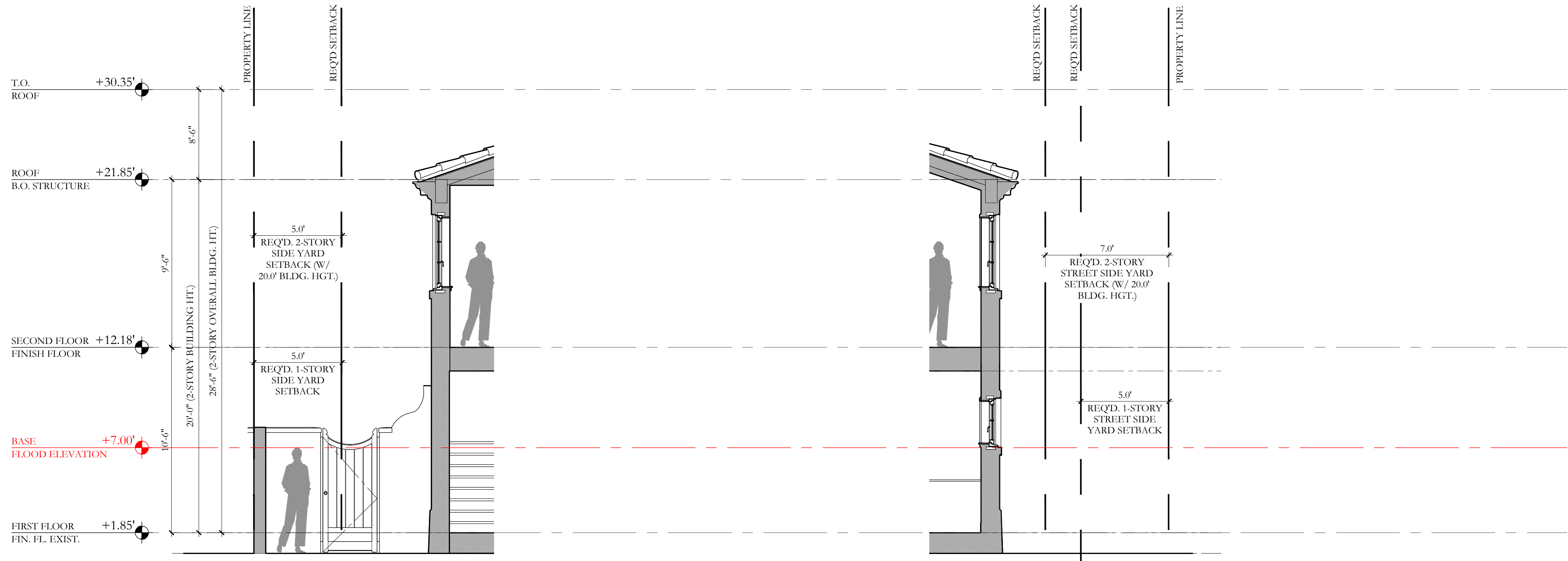
A-120



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 808-0881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

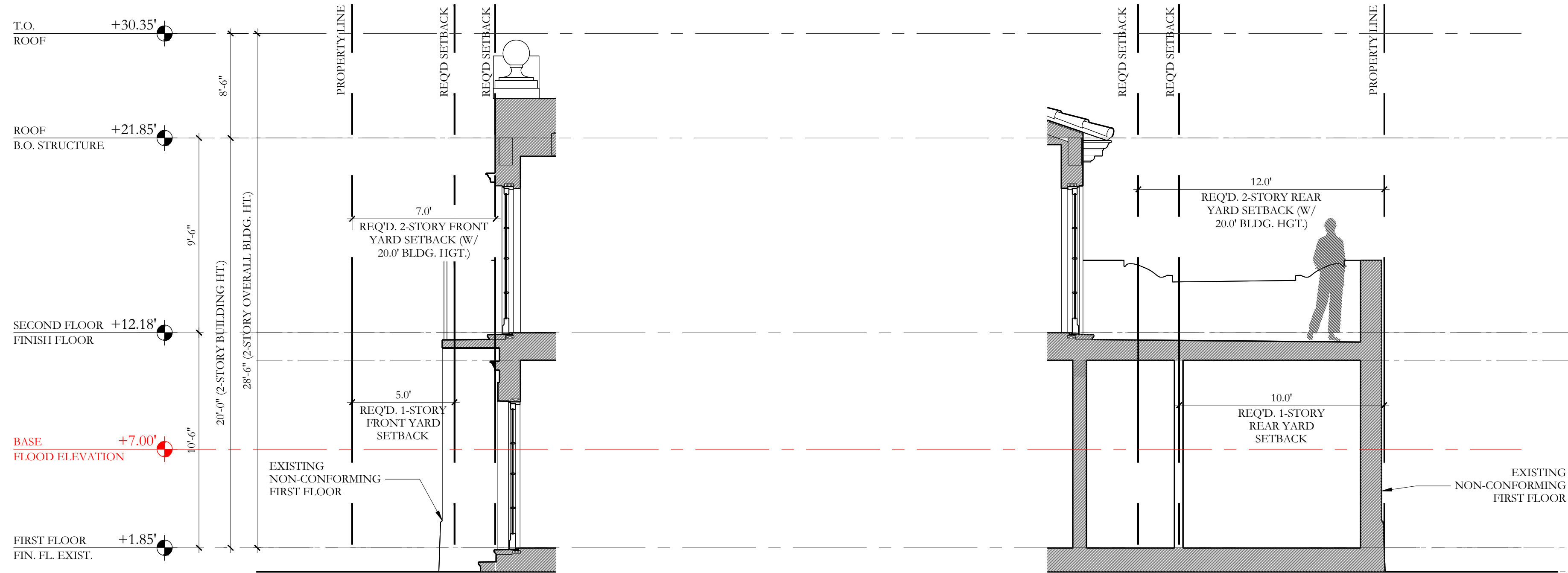
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



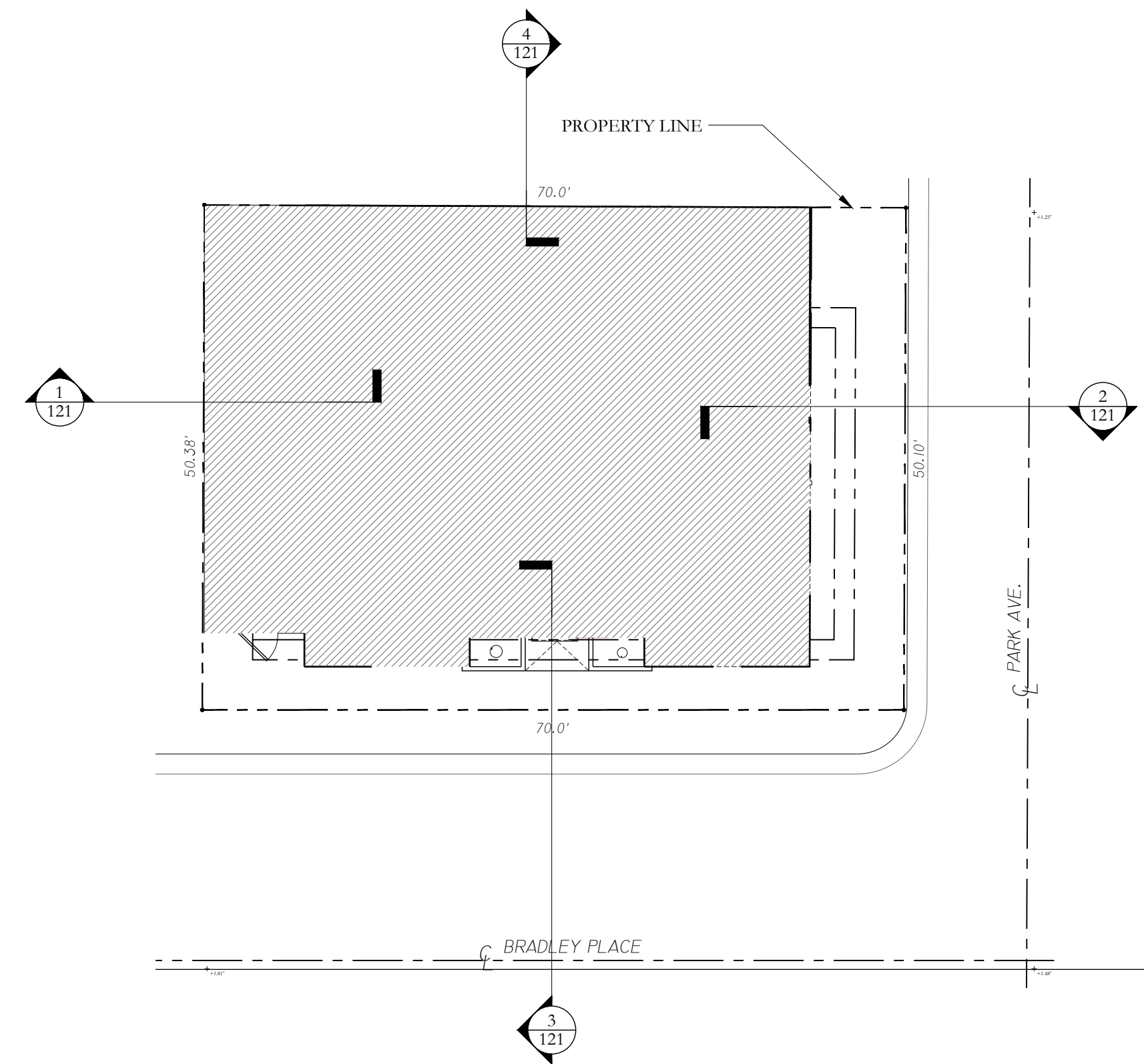
1 SIDE YARD SECTION LOOKING EAST
1/4"=1'-0"

2 SIDE YARD SECTION LOOKING WEST
1/4"=1'-0"

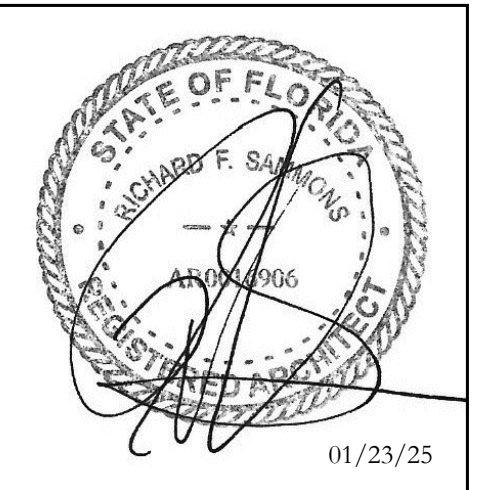


3 FRONT YARD SECTION LOOKING NORTH
1/4"=1'-0"

4 REAR YARD SECTION LOOKING SOUTH
1/4"=1'-0"



5 KEY PLAN
1/8"=1'-0"



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

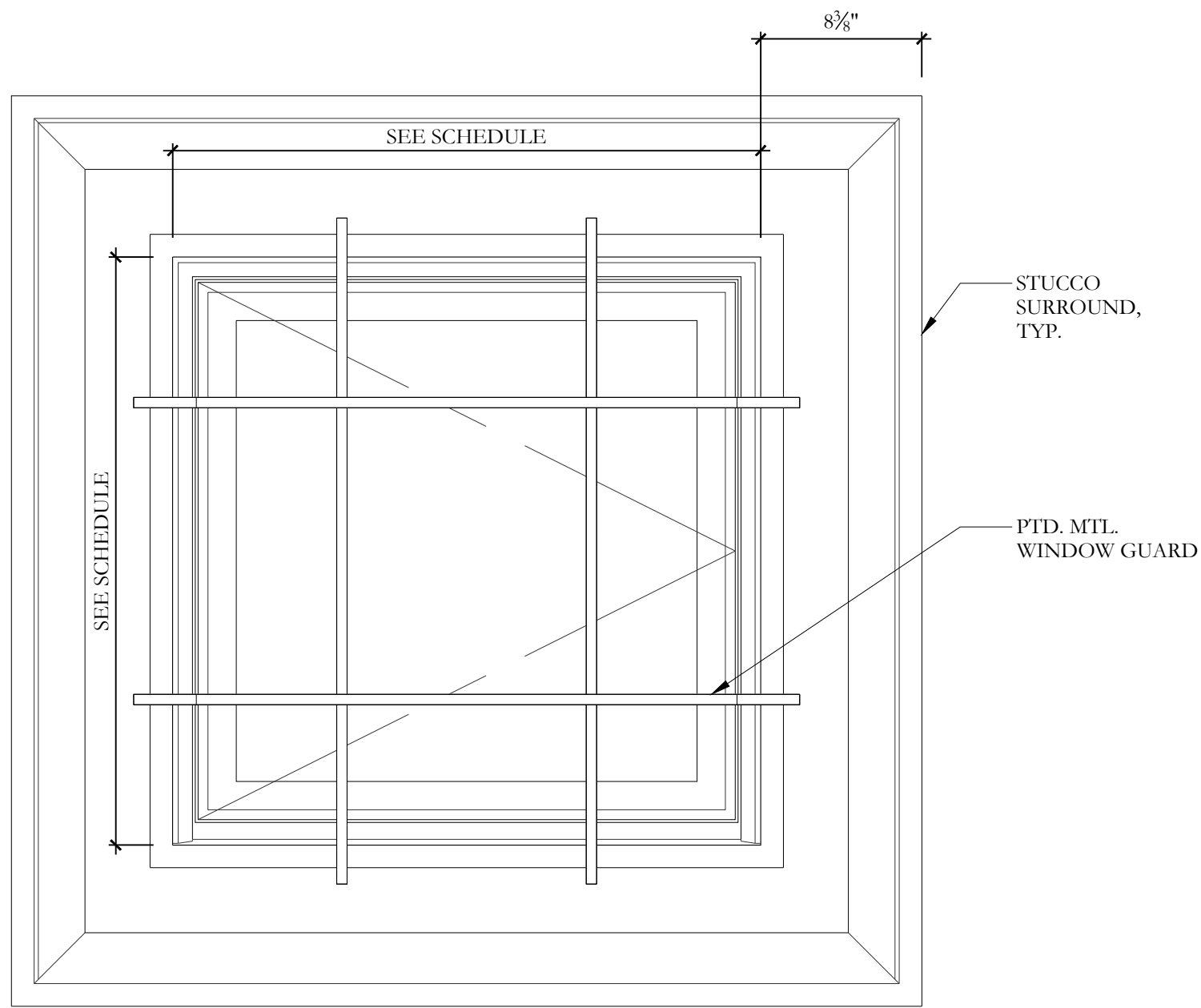
SHEET TITLE
PROPOSED BUILDING
YARD SECTIONS

DATE 10/9/2024	SHEET NO A-121
SCALE AS NOTED	
BY MC, MRM	



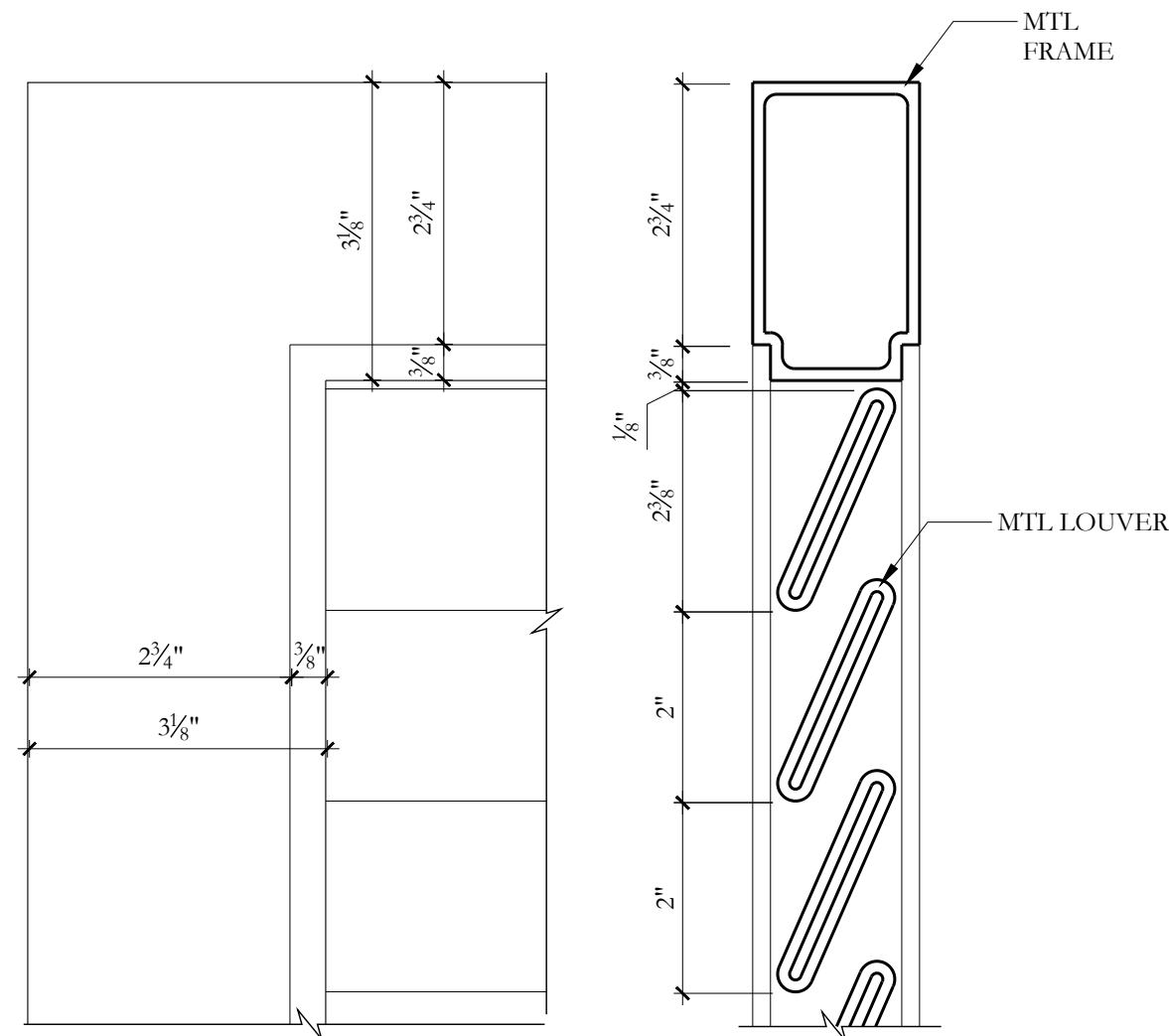
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA20000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

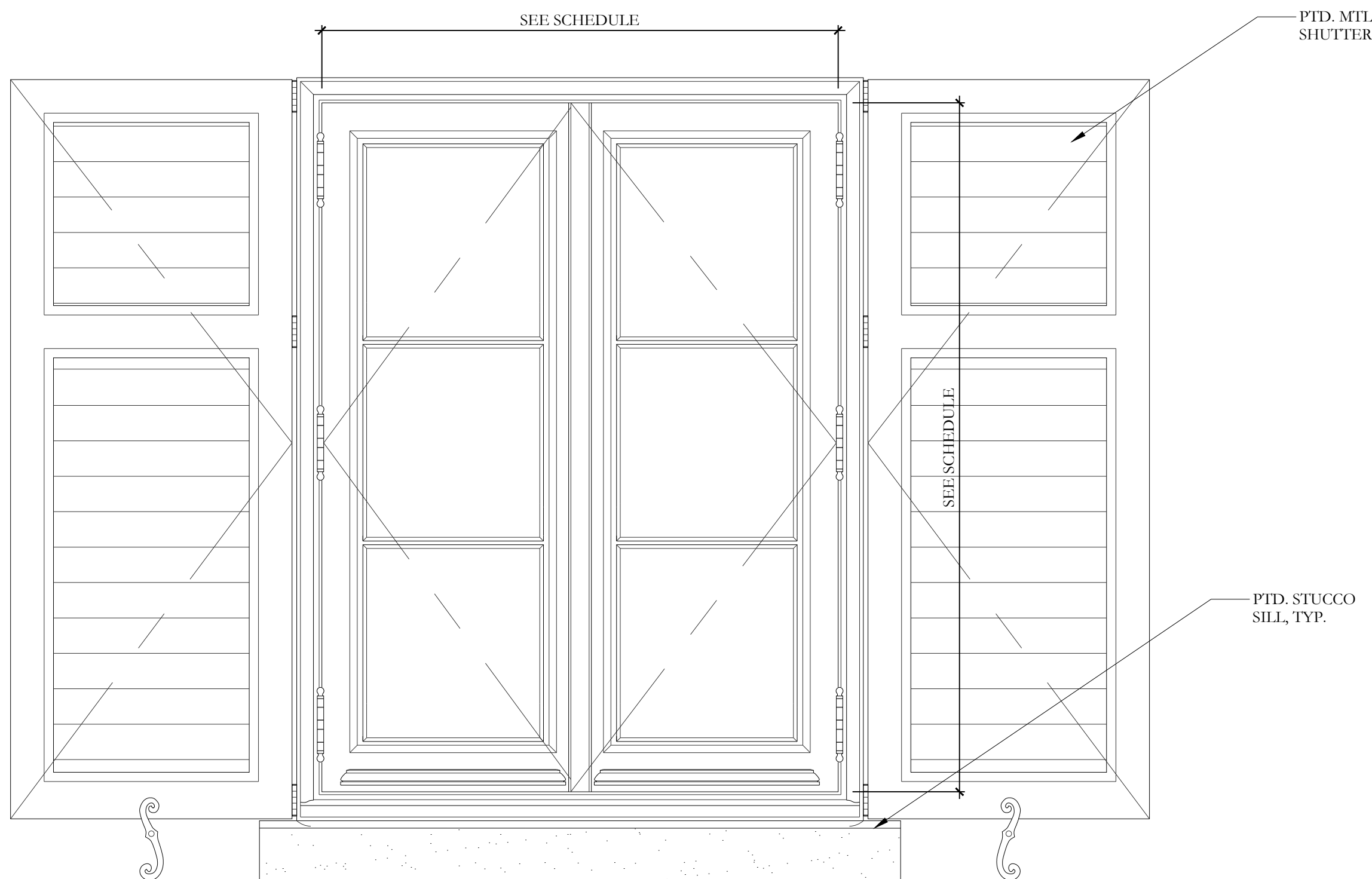


1 TYP. INSWING CASEMENT W/ WINDOW GUARD - FIRST FLOOR
1-1/2" = 1'-0"

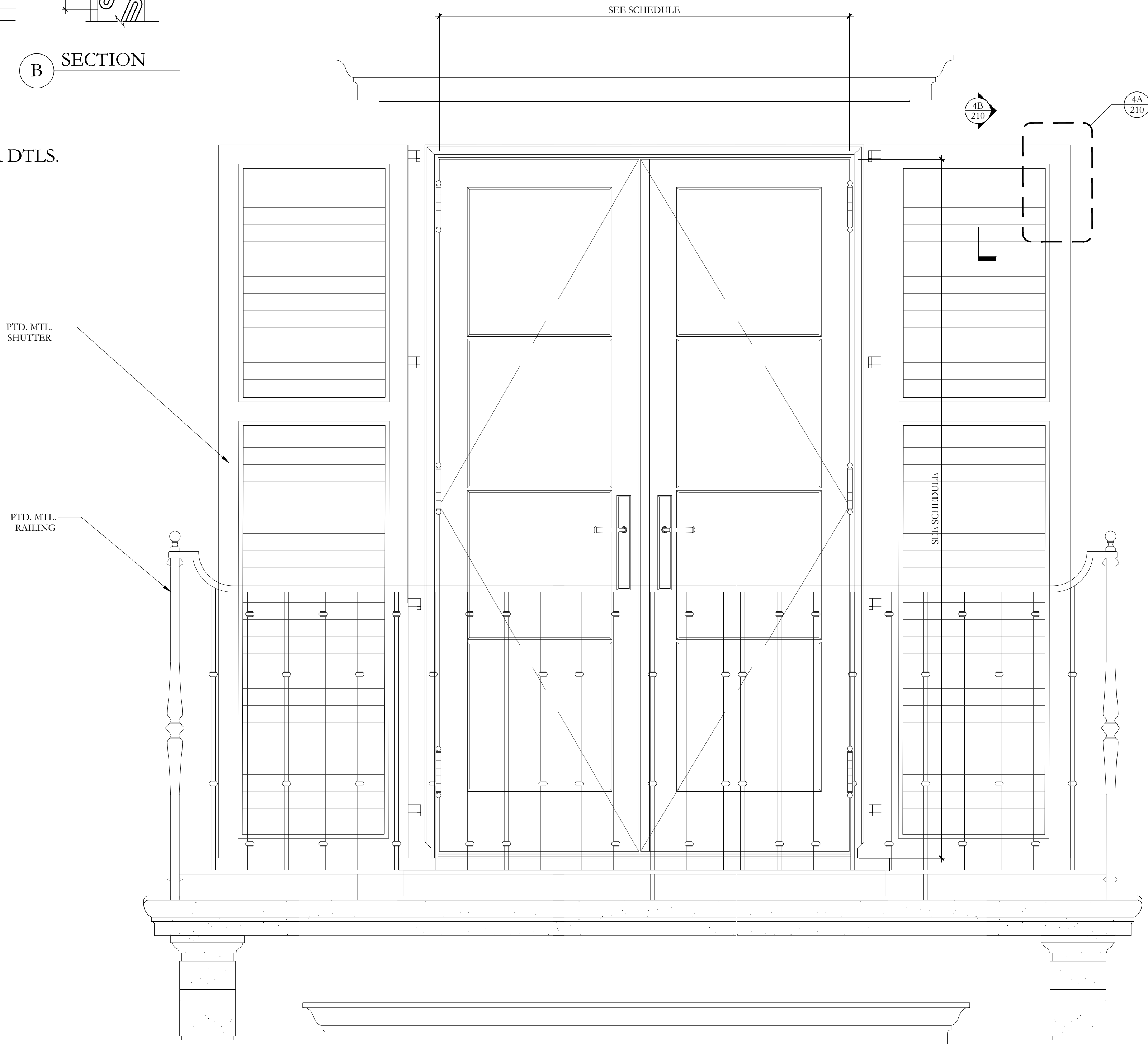
NOTE:
GROUND FLOOR WINDOWS TO BE DRY FLOODPROOFED AND DESIGNED IN ACCORDANCE WITH ASCE 24.



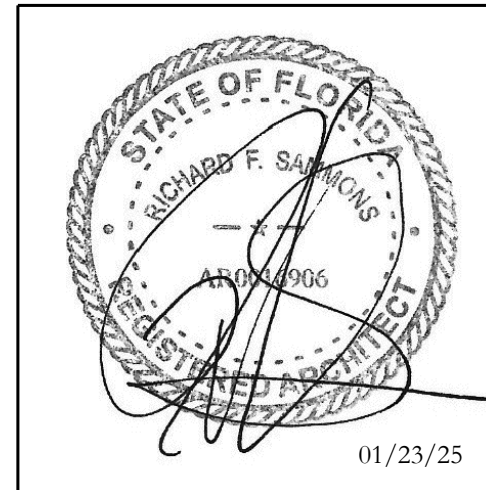
A ELEVATION
B SECTION
4 TYP. SHUTTER DTLS.
6" = 1'-0"



2 TYP. OUTSWING CASEMENT - SECOND FLOOR
1-1/2" = 1'-0"



3 TYP. OUTSWING DOUBLE DOOR, SHUTTER & BALCONY RAIL DETAIL
1-1/2" = 1'-0"



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED DETAILS
WINDOWS & DOORS

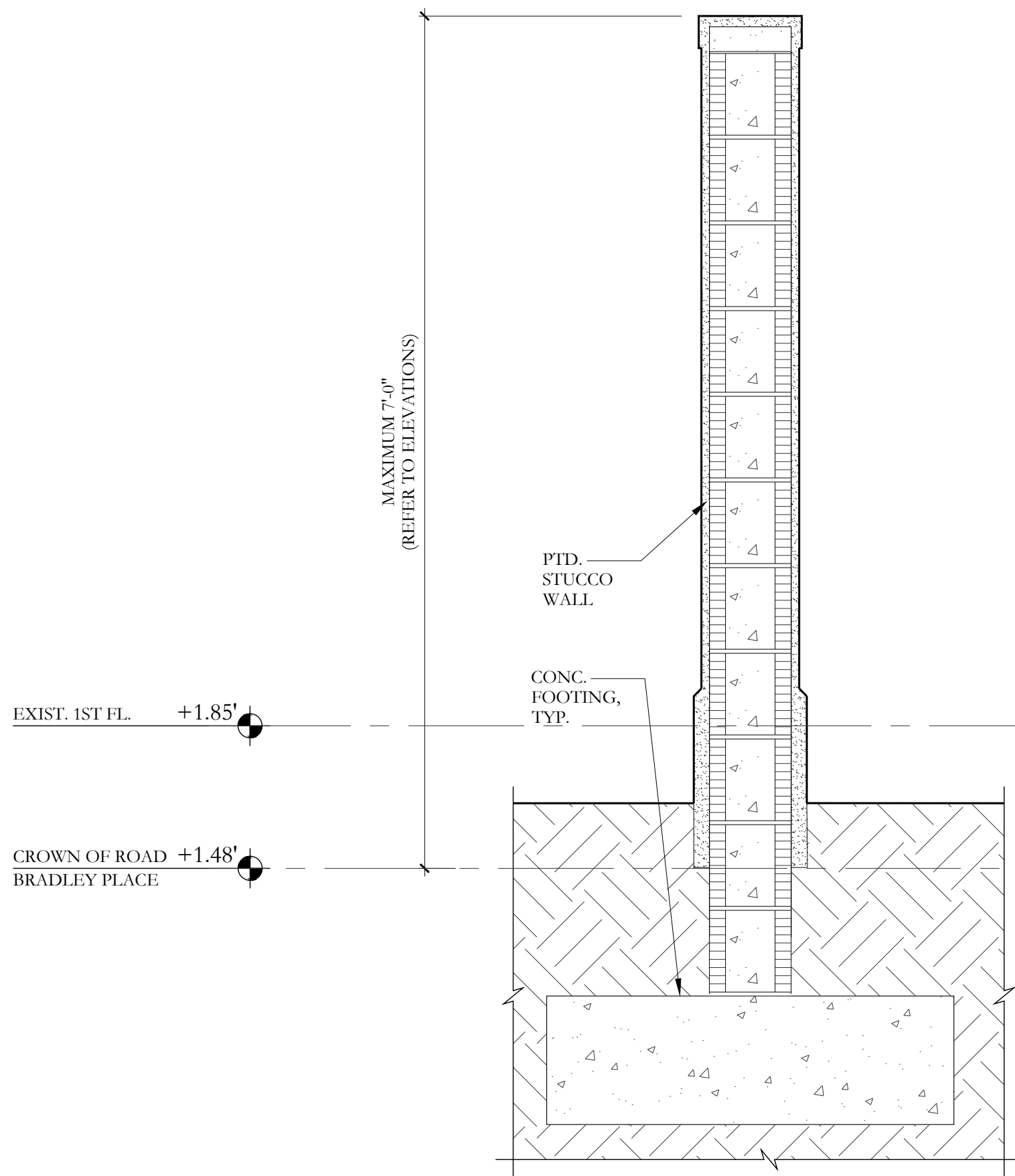
DATE 10/9/2024	SHEET NO A-210
SCALE AS NOTED	
BY MC	



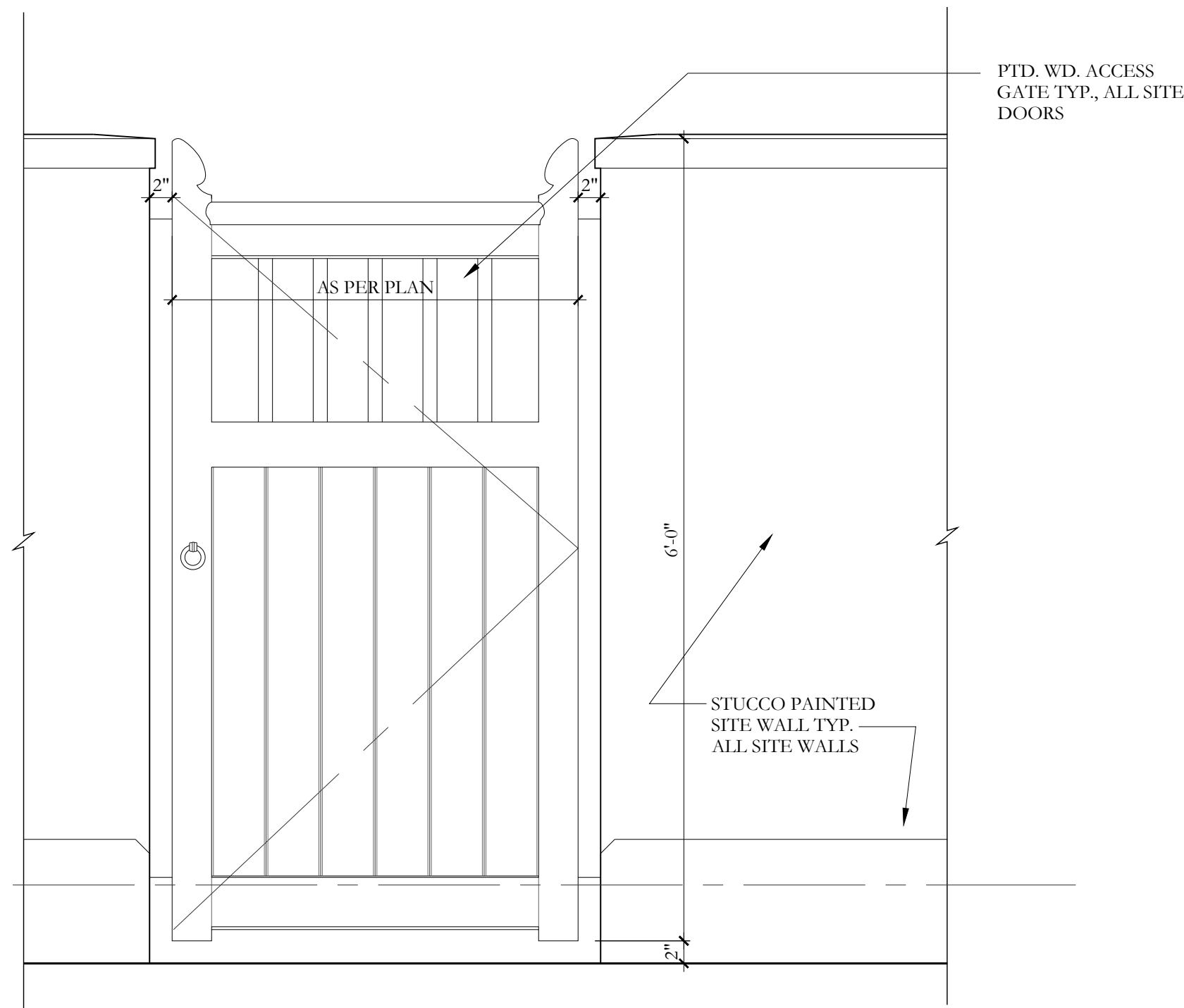
FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

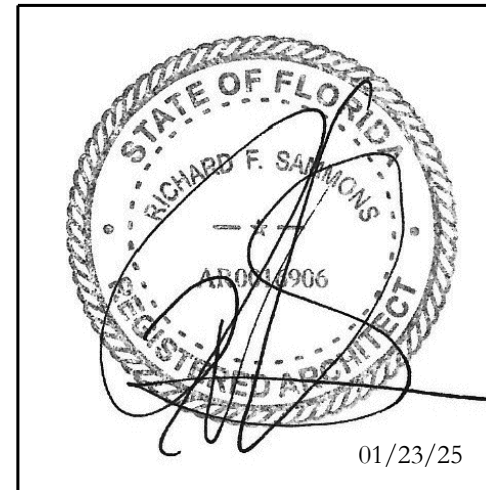
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 TYP. SITE WALL SECTION
1"=1'-0"



2 SITE WALL GATE DTL., TYP.
1"=1'-0"



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED DETAILS
SITE WALLS & GATE

DATE 10/9/2024	SHEET NO A-211
SCALE AS NOTED	
BY MC, MRM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



PAINTED STUCCO WALLS
FARROW & BALL - WIMBORNE WHITE 239



DOORS, WINDOWS & SHUTTERS
FARROW & BALL - OFF-BLACK NO. 57 - GLOSS, OR EQUIV.



SITE WALL(S)
PAINTED STUCCO - FARROW & BALL - POINTING



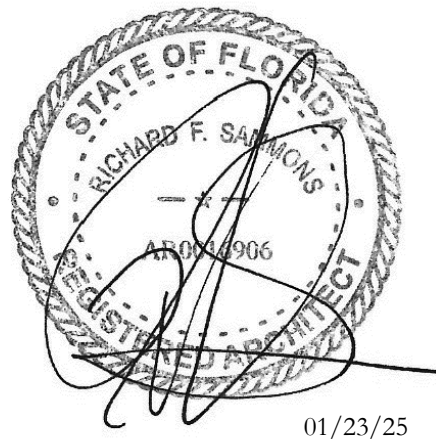
CORAL STONE PAVERS
COURTYARDS



CLAY TILE ROOF
TYPICAL TERRA COTTA



METAL BALCONY RAIL
FARROW & BALL - OFF-BLACK NO. 57 - GLOSS, OR EQUIV.



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
MATERIALS & COLORS
PALETTE

DATE	SHEET NO A-220
SCALE AS NOTED	
BY MC	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH

FAIRFAX, SAMMONS & PARTNERS, L.L.C.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (561) 908-8881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED PERSPECTIVE - NO LANDSCAPE
NTS



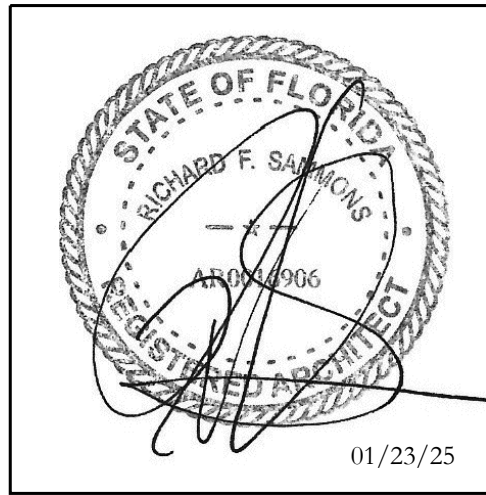
3 PROPOSED PERSPECTIVE - NO LANDSCAPE
NTS



2 PROPOSED PERSPECTIVE - WITH LANDSCAPE
NTS



4 PROPOSED PERSPECTIVE - WITH LANDSCAPE
NTS



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
PROPOSED RENDERS

DATE 10/9/2024	SHEET NO V-1
SCALE AS NOTED	
BY MC, MRM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-9891
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

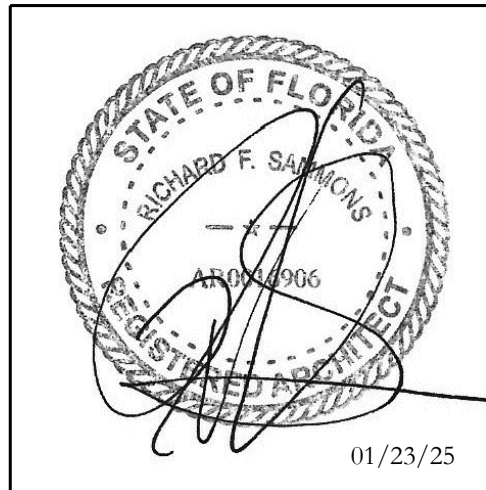
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED PERSECTIVE - NO LANDSCAPE
NTS



2 PROPOSED PERSECTIVE - WITH LANDSCAPE
NTS



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

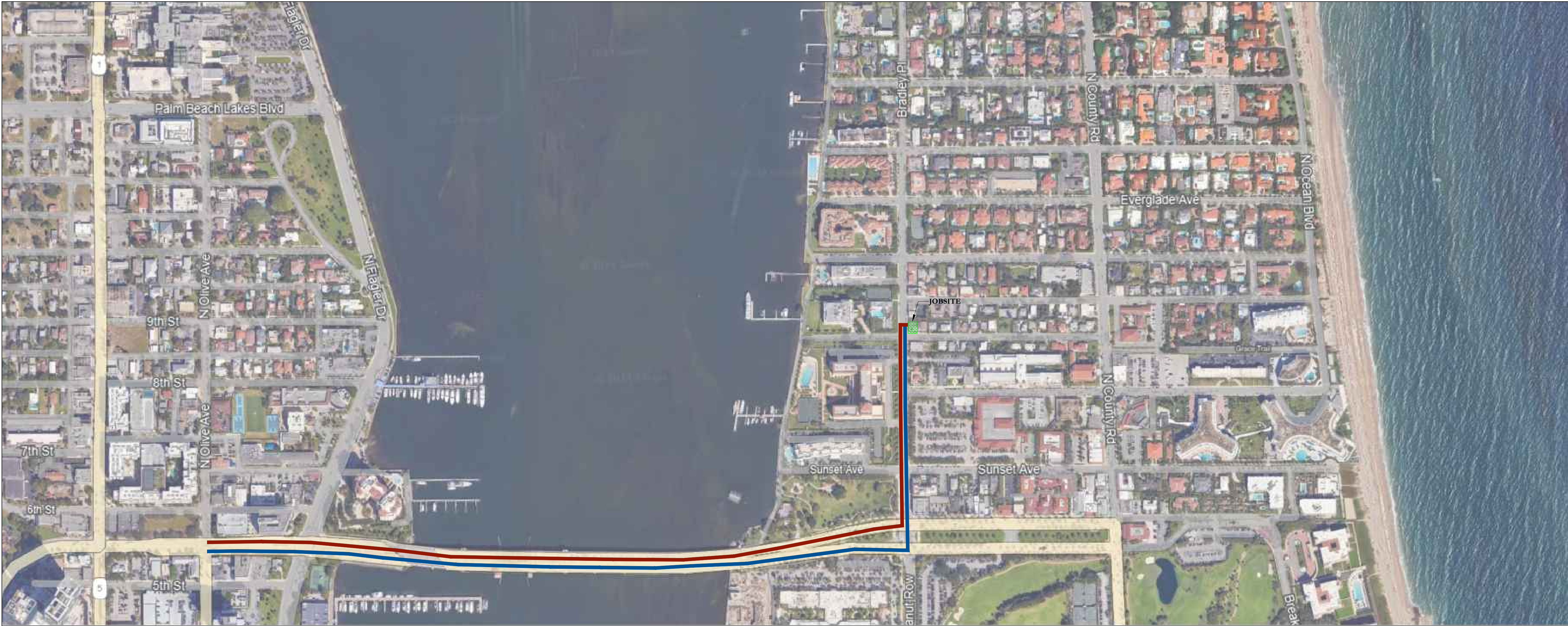
SHEET TITLE
PROPOSED RENDERS

DATE 10/9/2024	SHEET NO V-2
SCALE AS NOTED	
BY MC, MRM	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-9881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED TRUCK INGRESS/EGRESS ROUTES MAP
N.T.S.

*NOTE: SEE SEPARATE CSP SHEET IN
LANDSCAPE DRAWINGS FOR
ADDITIONAL INFORMATION

CONSTRUCTION SCREENING NOTES:

HEIGHTS OF PERIMETER 90% OPAQUE
SCREENING NEEDS TO BE SUFFICIENT
TO SHIELD ADJACENT RESIDENTS
FROM CONSTRUCTION, INCLUDING
ONES ACROSS THE STREET.
(SUGGESTIVE TO ONE'S LINE OF SIGHT
AND CANNOT OBSTRUCT SAFE SIGHT
TRIANGLE ACCESS.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

MAXIMUM VEHICLE SIZE ABLE TO BE
ACCOMMODATED ON SITE:

FULL SEMI-TRUCK W/53-FOOT TRAILER
(I.E. FULL RANGE OF TRUCK SIZES)

ALL DURATIONS ARE APPROXIMATE BASED
ON PROJECTS OF SIMILAR SCALE AND SCOPE

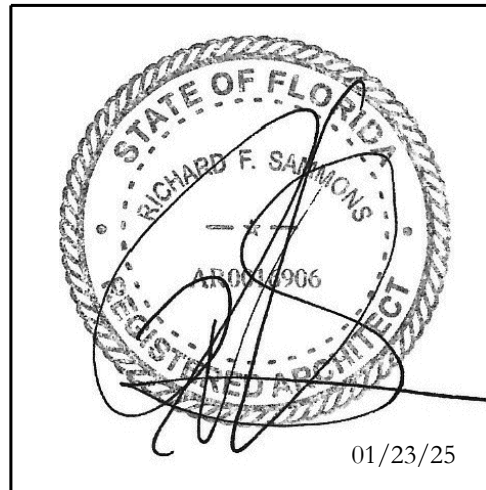
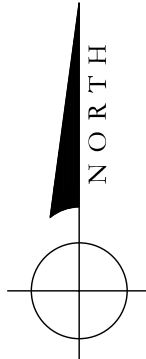
REVISED SCHEDULE TO BE PROVIDED IN
FINAL SUBMISSION

ESTIMATE OF NUMBER OF TRUCKS VISITING
JOBSITE OVER LIFE OF PROJECT:

5 WORKING DAYS/WEEK (AVG.)	
x 50 WORK WEEKS/YEAR (AVG.)	
x 1 YEAR (12-MO.) SCHEDULE (PROPOSED)	
=	250 TOTAL WORK DAYS (PROPOSED)
7 TRUCKS/DAY (AVG.)	
x 2 TRIPS/DAY (INGRESS & EGRESS)	
=	14 TRUCK TRIPS/DAY (AVG.)
250 TOTAL WORK DAYS (PROP.)	
x 14 TRUCK TRIPS/DAY (AVG.)	
=	3,500 TOTAL TRUCK TRIPS OVER LIFE OF PROJECT (EST.)

ROUGH SCHEDULE OF CONSTRUCTION
W/MAJOR CONSTRUCTION BENCHMARKS:

TASK:	DURATION (IN MONTHS):
SITE PREPARATION:	1
FOUNDATION:	1
BLOCK DELIVERIES & CONCRETE POURS:	2
ROOF TRUSS DELIVERIES & TRUSS SETTING:	1
WINDOW/DOOR DELIVERIES & INSTALLATION:	0.5
DRY-IN:	0.5
INTERIOR FRAMING:	1
ROUGH-IN:	1
DRY WALL:	1
FINISHES:	1
LANDSCAPE/HARDSCAPE INSTALLATION:	1
FINAL INSPECTIONS:	1
TOTAL PROPOSED CONSTRUCTION TIME (FOLLOWING ISSUANCE OF BUILDING PERMIT):	12 mos.



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

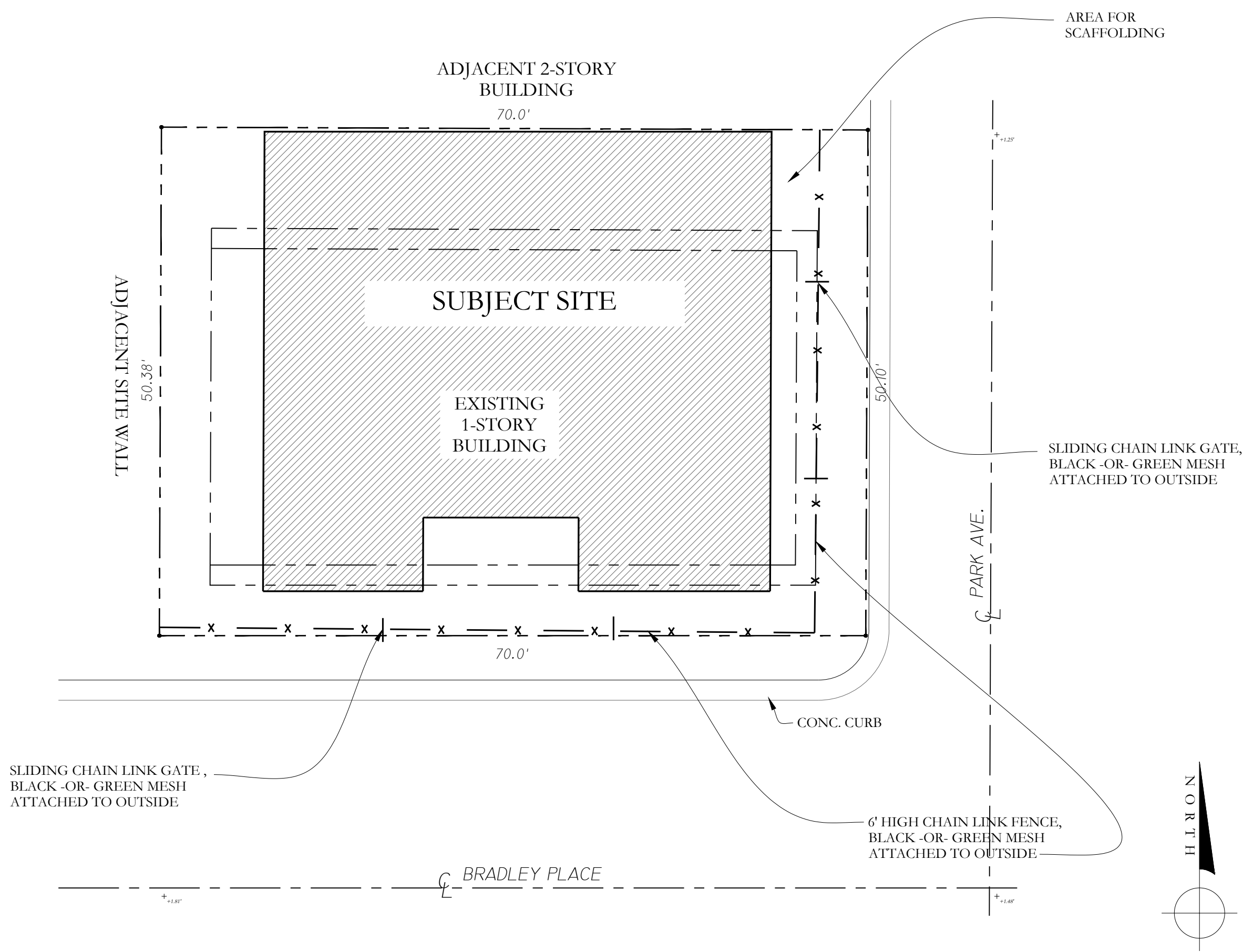
175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
TRUCK LOGSTICS PLAN &
SCHEDULE OF CONSTRUCTION

DATE	SHEET NO
10/9/2024	T-1
SCALE	
AS NOTED	
BY	
MC, MRM	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (888) 908-0081
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000848

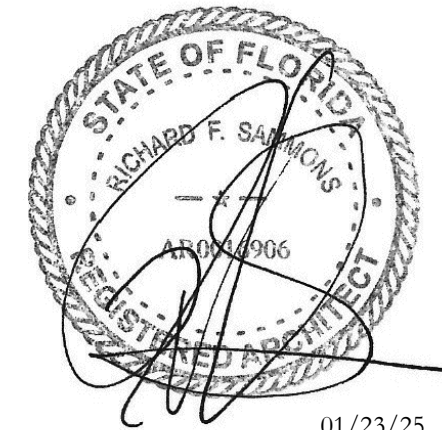
DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY
THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE
AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR
NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED
OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER
DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR
ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS
PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH
APPROPRIATE COMPENSATION TO THE ARCHITECT.
© 2024 FAIRFAX & SAMMONS ARCHITECTS PC



1 PROPOSED CSP SITE PLAN
1"=10'-0"

NOTES:

- CONSTRUCTION SCREENING NEEDS TO ACCOMMODATE THE WORK ON THE SECOND FLOOR AND SHIELD ACTIVITY FROM VIEW. THE HEIGHT OF PERIMETER 90% OPAQUE SCREENING NEEDS TO BE SUFFICIENT TO SHIELD ADJACENT RESIDENTS FROM CONSTRUCTION, INCLUDING ONES ACROSS THE STREET.
- SUGGESTED HEIGHTS 6- TO 8-FOOT FOR ONE-STORY, 16- TO 18-FOOT FOR TWO-STORY
- HEIGHTS ARE SUBJECTIVE TO ONE'S LINE OF SIGHT AND CANNOT BE WITHIN A SAFE SIGHT TRIANGLE.
- CONTRACTORS TO INSTALL SCAFFOLDING TO MEET THIS REQUIREMENT.



RICHARD F. SAMMONS
STATE OF FLORIDA
ARCHITECT
REGISTRATION NO. AR0016906

DRC FINAL SUBMITTAL	01/27/2024
DRC SECOND SUBMITTAL	12/30/2024
DRC FIRST SUBMITTAL	11/14/2024
DRC PRE-APPLICATION	10/21/2024

ZONING CASE NUMBER:
ZON-24-0067

FILE NUMBER:
ARC-24-0111

175 BRADLEY
PLACE
PALM BEACH, FLORIDA 33480

SHEET TITLE
CONSTRUCTION
SCREENING PLAN

DATE	SHEET NO
SCALE 1"=10'-0"	CSP-1
BY MC	



FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
FAIRFAX, SAMMONS & PARTNERS, LLC.
214 BRAZILIAN AVENUE, PALM BEACH 33480
TELEPHONE (855) 508-5881
FAIRFAXANDSAMMONS.COM
LICENSE NO. AA28000846

DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT ARE THE INSTRUMENTS OF THE ARCHITECT'S SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT, WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE INTENDED IS CONSTRUCTED OR NOT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS WILL NOT BE USED ON ANY OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT AND/OR FOR COMPLETION OF THIS PROJECT BY OTHERS, EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.

© 2024 FAIRFAX & SAMMONS ARCHITECTS PC

Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Root drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- 4) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 5) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 6) Video inspection of storm drainage system required prior to installation of sod.

A. SITE INFORMATION

Total Property Area = 3,534 sq.ft.
Drainage Area Impervious Surface = 3,122 sq.ft.
Drainage Area Pervious Surface = 412 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CIA$) where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 3,122 \text{ sq.ft.} \times 1 \text{ ft.}/12 \text{ in.} = 520 \text{ cu.ft.}$

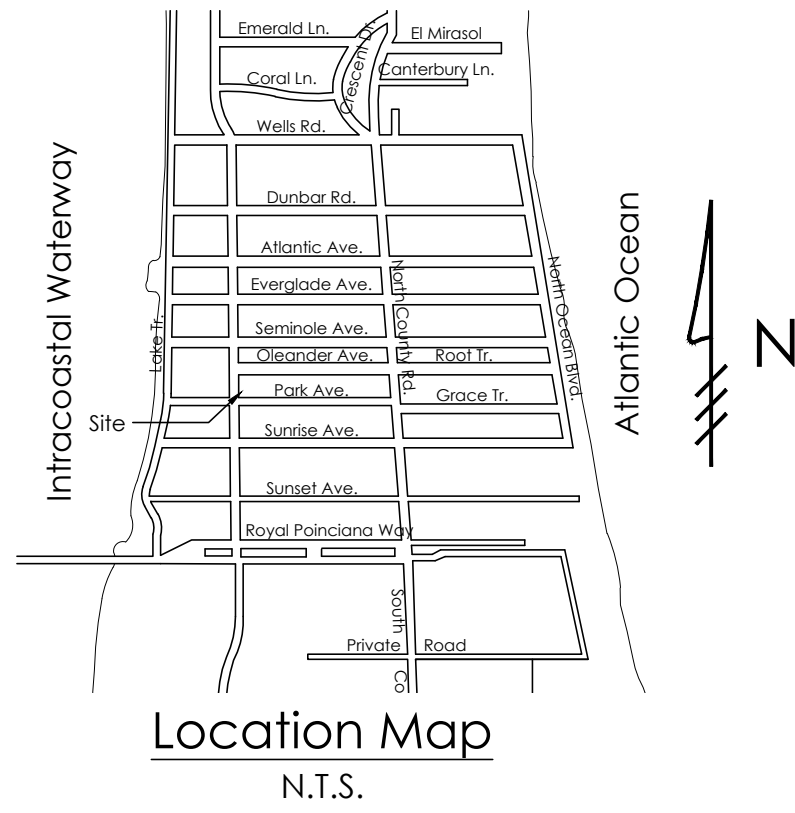
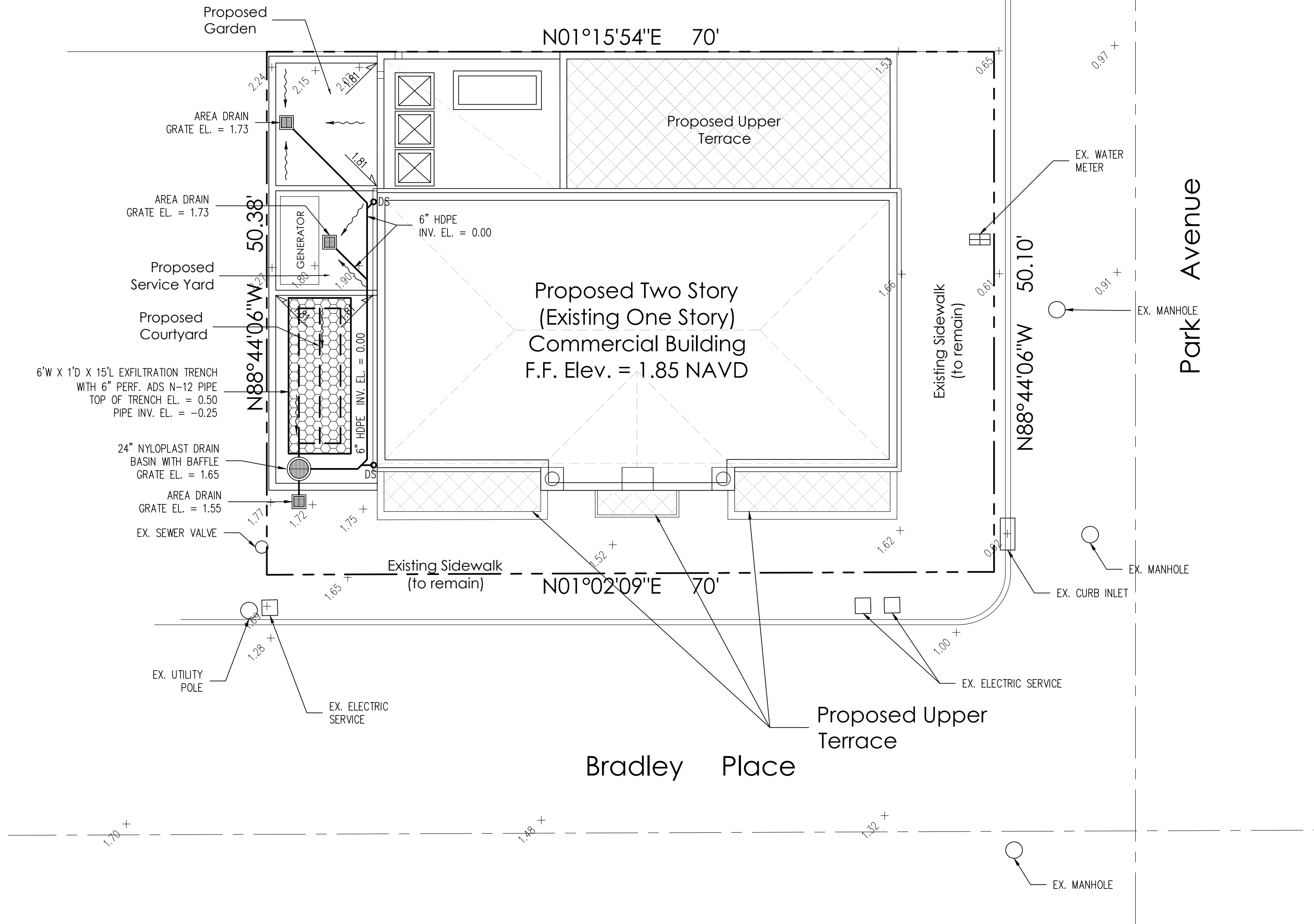
Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 412 \text{ sq.ft.} \times 1 \text{ ft.}/12 \text{ in.} = 14 \text{ cu.ft.}$

Total Volume to be Retained = 534 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

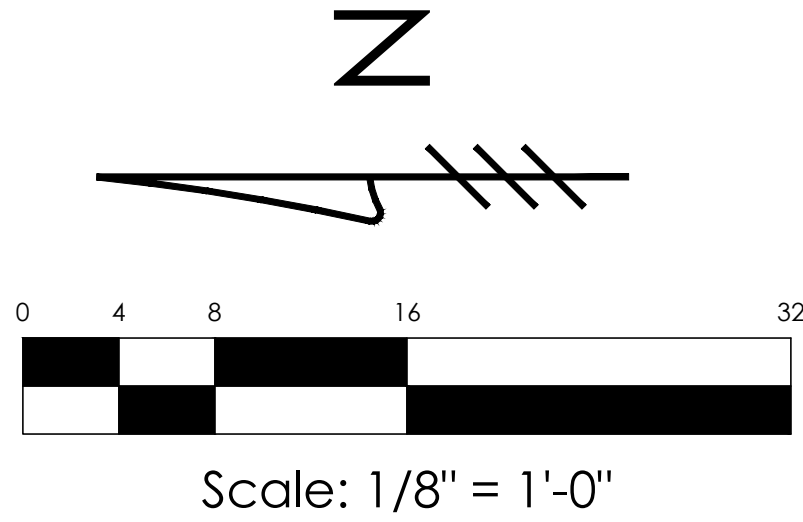
L	=	Total Length of Trench Provided	=	15	ft
W	=	Trench Width	=	6	ft
K	=	Hydraulic Conductivity	=	0.00005 cfs/sq.ft./ft. of head	
H2	=	Depth to Water Table	=	0.05	ft
DU	=	Un-Saturated Trench Depth	=	0.00	ft
DS	=	Saturated Trench Depth	=	1.00	ft
V	=	Volume Treated	=	0.3	cu.ft.

STORMWATER RETENTION CALCULATIONS



Legend

- EXISTING ELEVATION PER GT SURVEYOR SERVICES (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Conceptual Site Grading & Drainage Plan For:
PROPOSED RENOVATION
175 Bradley Place
Palm Beach, Florida

PROJECT INFORMATION:

Project No.	2024-0105
Issue Date	01/21/2025
Scale	1/8" = 1'-0"

REVISIONS:

1	
2	
3	
4	
5	
6	
7	
8	
9	
10	
11	
12	

CHAD M. GRUBER
FLORIDA P.E. NO. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

SHEET NUMBER:

C-1

Plan Background from Site Plan by
Fairfax & Sammons Architects P.C.
Received 11/11/24

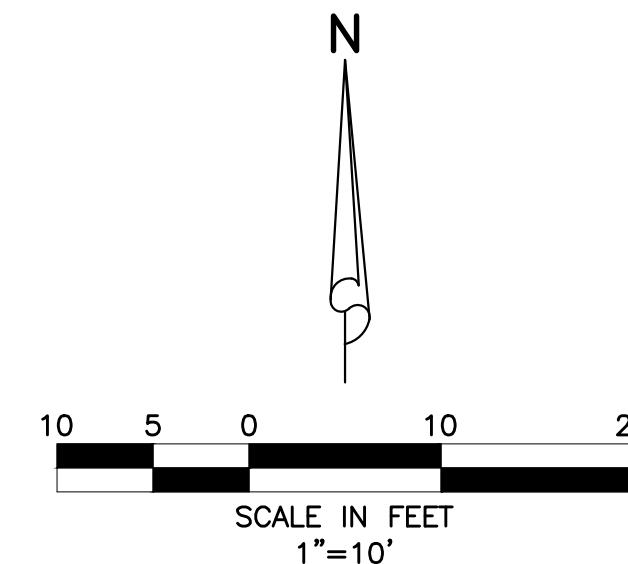
ARC-24-0111
ZON-24-0067

© 2025 Gruber Consulting Engineers, Inc.



LOCATION MAP

NOT TO SCALE



LEGEND

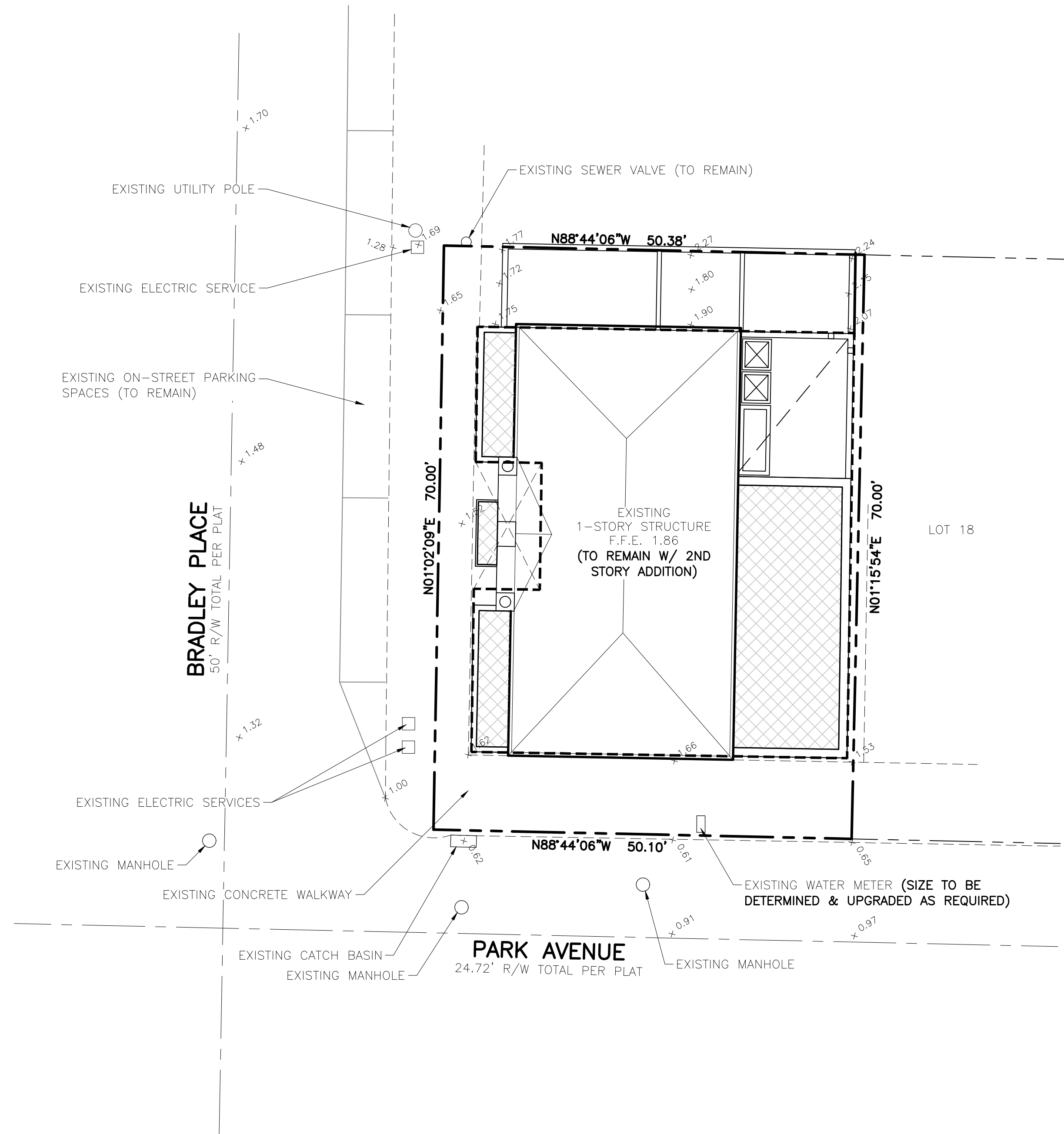
- EXISTING GRADE ELEVATION
- PROPOSED PATIO (SEE ARCH. PLANS FOR DETAILS)

NOTES:

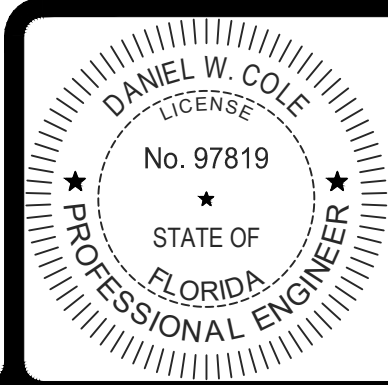
- 1.) THIS DESIGN IS CONCEPTUAL AND SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 2.) ALL WATER AND WASTEWATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WEST PALM BEACH, THE TOWN OF PALM BEACH AND THE PALM BEACH COUNTY HEALTH DEPARTMENT.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH ALL APPLICABLE GOVERNING AGENCY STANDARDS.
- 4.) LOCATIONS OF WATER AND SANITARY SEWER SERVICES, DRAINAGE STRUCTURES AND PIPES AND OTHER STRUCTURES TO BE COORDINATED WITH LANDSCAPE DESIGN DURING PREPARATION OF FINAL CIVIL ENGINEERING PLANS.
- 5.) CONSTRUCTION AND DEMOLITION TO COMPLY WITH N.F.P.A. 241.
- 6.) FIRE DEPARTMENT LOCKING CAPS WILL BE REQUIRED ON THE FIRE DEPARTMENT CONNECTION.

LAND USE AREAS:

BUILDING:	2,296 S.F.
IMPERVIOUS:	707 S.F.
PERVIOUS:	514 S.F.
TOTAL SITE:	3,517 S.F.



NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY GT SURVEYOR SERVICES, INC. (561) 753-0353.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY DANIEL W. COLE, P.E. ON 1/24/2025.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



175 BRADLEY PLACE
SECTION 15, TOWNSHIP 43S., RANGE 43E.
TOWN OF PALM BEACH, FLORIDA
CONCEPTUAL PAVING, DRAINAGE,
WATER AND WASTEWATER PLAN

REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
D.C.	D.B.			

JOB NO.	DRAWING NO.	SHEET	OF
24-164	24164C01	1	1

