

THE BREAKERS PALM BEACH
FAMILY ENTERTAINMENT CENTER
FINAL SUBMITTAL

ZON-24-0079 (ARC-24-0141)
FINAL SUBMITTAL DATE: JANUARY 27, 2025

1 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA 33480



SCOPE OF WORK

THE PROPOSED WORK INCLUDES THE DEMOLITION OF THE EXISTING BREAKERS FAMILY ENTERTAINMENT CENTER AND THE CONSTRUCTION OF A NEW FAMILY ENTERTAINMENT CENTER ON THE SAME SITE, WITH NEW LANDSCAPING, SURFACE PARKING LOT RECONFIGURATION, PLAYGROUND, AND A PEDESTRIAN BRIDGE CONNECTING THE NEW BUILDING TO THE EXISTING BREAKERS BEACH CLUB ON THE EAST SIDE TO THE SITE.

BASEMENT:	19,445 SF
GROUND FLOOR:	12,225 SF
SECOND FLOOR:	9,742 SF
THIRD FLOOR:	11,182 SF
TOTAL:	52,594 SF

PROJECT TEAM

ARCHITECT

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EMAIL: CHRISTOPHER.KEARNEY@EXP.COM

FAMILY ENTERTAINMENT CENTER FINAL SUBMITTAL SET SHEET LIST

GENERAL
G-01 COVER SHEET

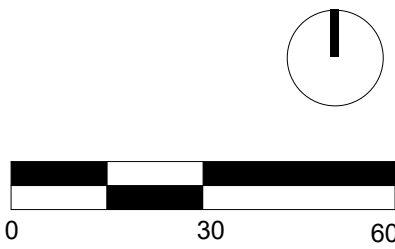
SITE DOCUMENTATION
G-02 VICINITY PLAN
G-03 EXISTING SITE PLAN
G-04 LOCATION PLAN
G-05 ZONING LEGEND
G-06 HISTORIC PHOTOS
G-07 EXISTING CONDITIONS PHOTOS
G-08 EXISTING CONDITIONS PHOTOS
G-09 CONSTRUCTION SCREENING AND LOGISTICS PLAN
G-10 TRUCK LOGISTICS PLAN
G-11 EXISTING FEC - GROUND FLOOR
G-12 EXISTING FEC - SECOND FLOOR
G-13 GROSS COMMERCIAL BUILDING AREA
G-14 OPERATIONAL PLAN
G-15 EXISTING PLAT DIAGRAM

ARCHITECTURE
A-01 EXISTING FEC - GROUND FLOOR
A-02 EXISTING FEC - SECOND FLOOR
A-03 OVERALL DEMOLITION PLAN
A-04 DEMOLITION - EXISTING SERVICE YARD
A-05 DEMOLITION - BEACH CLUB
A-06 DEMOLITION - PHOTOGRAPHS
A-07 PROPOSED SITE PLAN
A-08 BASEMENT PLAN
A-09 GROUND FLOOR PLAN
A-10 SECOND FLOOR PLAN
A-11 THIRD FLOOR PLAN
A-12 ATTIC AND ROOF WELLS PLAN
A-13 ROOF PLAN
A-14 EXTERIOR ELEVATIONS (EAST & WEST)
A-15 COLORED EXTERIOR ELEVATIONS (EAST & WEST)
A-16 EXTERIOR ELEVATIONS (NORTH & SOUTH)
A-17 COLORED EXTERIOR ELEVATIONS (NORTH & SOUTH)
A-18 EXTERIOR ELEVATIONS (ENTRY PAVILION)
A-19 COLORED EXTERIOR ELEVATIONS (ENTRY PAVILION)
A-20 EXTERIOR ELEVATIONS (BRIDGE)
A-21 COLORED EXTERIOR ELEVATIONS (BRIDGE)
A-22 MATERIAL PALETTE
A-23 STREETSCAPE ELEVATIONS - WEST
A-24 STREETSCAPE ELEVATIONS - SOUTH
A-25 STREETSCAPE ELEVATIONS - EAST
A-26 STREETSCAPE ELEVATIONS - NORTH
A-27 BUILDING SECTIONS
A-28 BUILDING SECTIONS
A-29 BUILDING SECTIONS
A-30 ARCHITECTURAL DETAILS
A-31 ARCHITECTURAL DETAILS
A-32 ARCHITECTURAL DETAILS
A-33 SHUFFLEBOARD ARBOR
A-34 SEATING PLANS
A-35 LIGHTING GENERAL NOTES
A-36 MINI GOLF ENLARGEMENT LIGHTING PLAN
A-37 LAWN ENLARGEMENT LIGHTING PLAN
A-38 PLAYGROUND ENLARGEMENT LIGHTING PLAN
A-39 3D PERSPECTIVES
A-40 3D PERSPECTIVES
A-41 3D PERSPECTIVES
A-42 3D PERSPECTIVES

LANDSCAPE
L0-00 PROPOSED SITE PLAN
L0-01 TREE DISPOSITION SCHEDULE
L0-02 TREE DISPOSITION PLAN
L1-00 MATERIAL SCHEDULE
L1-01 MATERIAL PLAN
L6-00 PLANTING SCHEDULE & LANDSCAPE LEGEND
L6-01 TREE & PALM PLAN
L6-02 SHRUB & GROUNDCOVER PLAN
L8-01 OPEN SPACE DIAGRAM
L8-02 PERSPECTIVE VIGNETTE

TENTATIVE MEETING SCHEDULE

PROJECT NUMBER: ZON-24-0079 (ARC-24-0141)
PUBLIC HEARING SCHEDULE:
TENTATIVE NOTICE TO PROCEED: 1/13/2025
TENTATIVE MEETING DATE: 02/04/2025 P&Z
02/12/2025 TC
02/19/2025 LPC



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THE BREAKERS
PALM BEACH
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01/27/2025	FINAL SUBMIT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
COVER SHEET

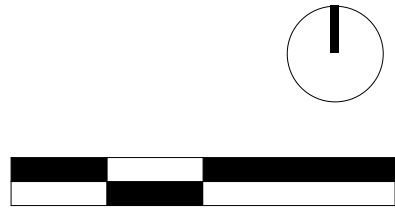
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22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-01



GENERAL LEGEND

— — — — — LIMIT OF WORK (LOW)



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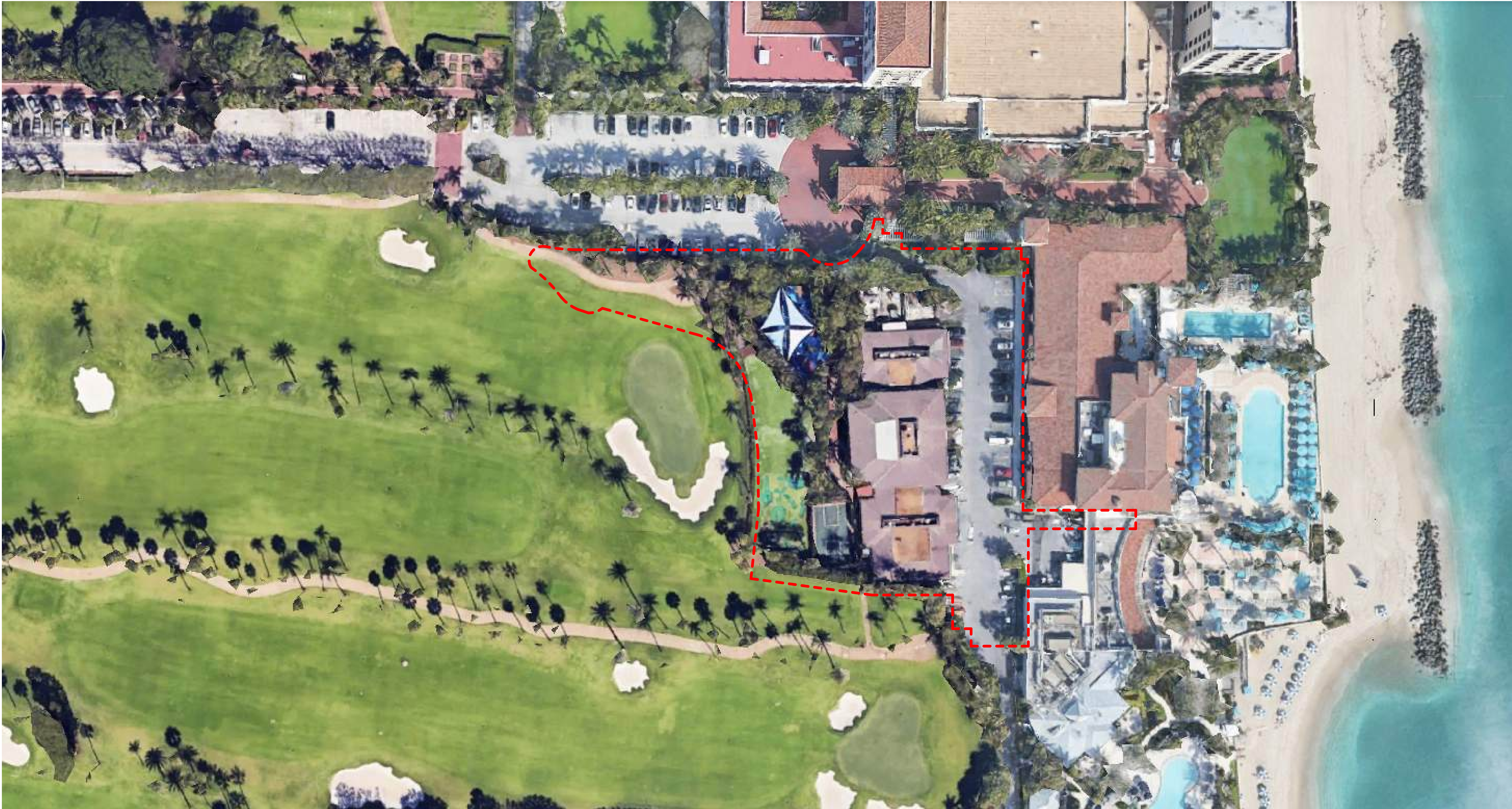
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**F.E.C.
VICINITY PLAN**

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FEC G-02



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DRAWING TITLE:
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EXISTING SITE PLAN

PROJECT #:
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FEC G-03


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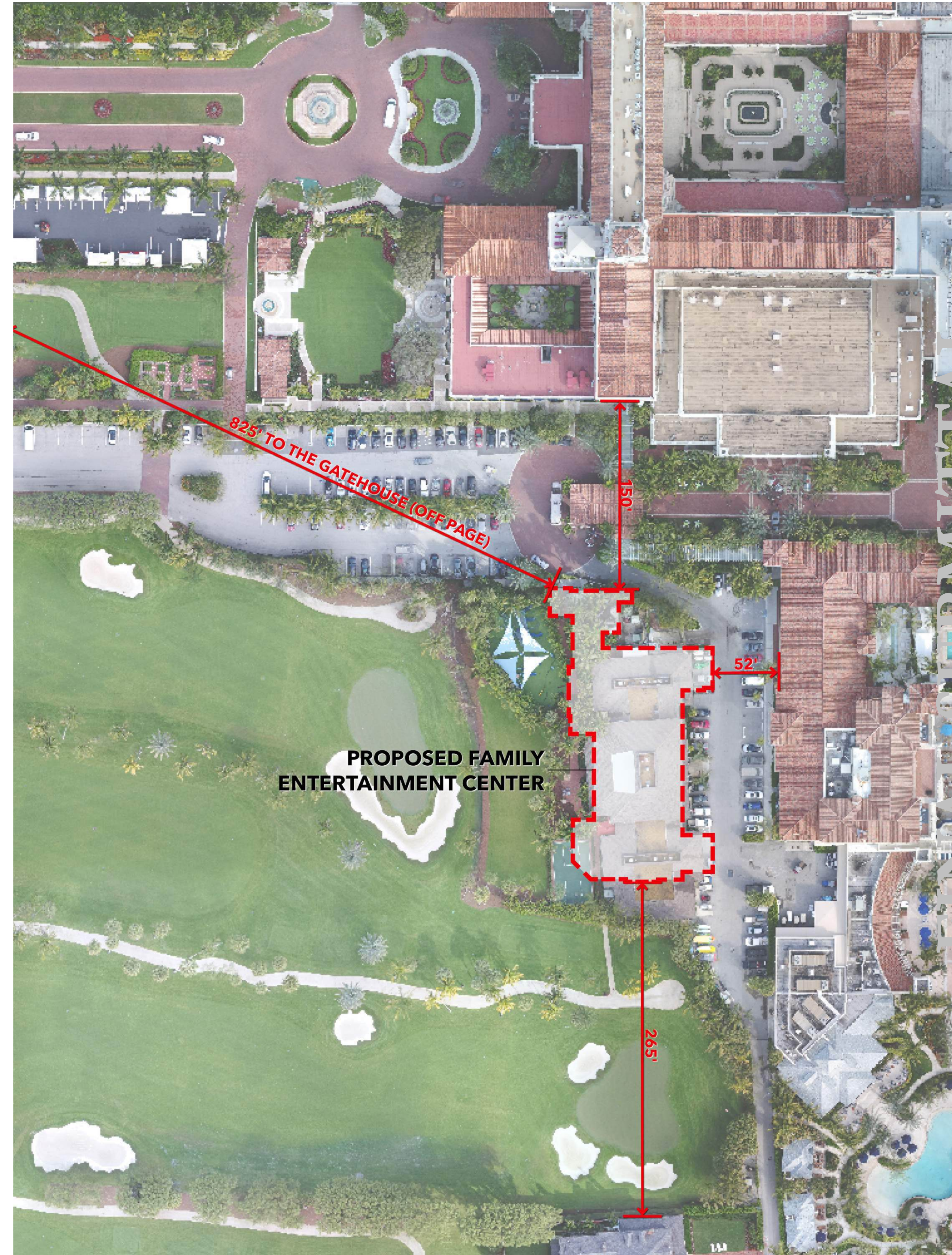


1/27/2025 4:35:00 PM



1 LOCATION PLAN ADJACENT PROPERTIES

1" = 160'-0"



2 LOCATION PLAN ADJACENT BUILDINGS

1" = 50'-0"



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PALM BEACH
1 S COUNTY RD
PALM BEACH, FLORIDA 33480

DRAWING TITLE:
F.E.C.
LOCATION PLAN

PROJECT #:
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DRAWING NO:
FEC G-04

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Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	One S County Road, Palm Beach, FL 33480		
2	Zoning District:	PUD-A		
3	Lot Area (sq. ft.):	+/- 5,833,991 SF (133.93 ACRES) for full Breakers PUD area		
4	Lot Width (W) & Depth (D) (ft.):	No Change Proposed		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	Commercial		
6	FEMA Flood Zone Designation:	Zone X		
7	Zero Datum for point of meas. (NAVD)	0.0" NAVD		
8	Crown of Road (COR) (NAVD)	N/A		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	N/A	12,136 SF	16,674 SF
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	17,176 SF	49,138 SF
12	*Front Yard Setback (Ft.)	N/A	N/A	N/A
13	* Side Yard Setback (1st Story) (Ft.)	N/A	N/A	N/A
14	* Side Yard Setback (2nd Story) (Ft.)	N/A	N/A	N/A
15	*Rear Yard Setback (Ft.)	N/A	N/A	N/A
16	Angle of Vision (Deg.)	N/A	N/A	N/A
17	Building Height (Ft.)	N/A	(+/-) +40.0 NAVD	+59.1 NAVD
18	Overall Building Height (Ft.)	N/A	(+/-) +40.0 NAVD	+67.3 NAVD
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	N/A	N/A	+1 FT
21	Finished Floor Elev. (FFE)(NAVD)	N/A	(+/-) +14.0 NAVD	(+/-) +14.6 NAVD
22	Base Flood Elevation (BFE)(NAVD)	N/A Zone X	N/A	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	N/A	N/A	N/A
24	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill [\(Sec. 134-1600\)](#)

*** Provide Native plant species info per
category as required by [Ord. 003-2023](#) on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626

LEGAL DESCRIPTION: ALL OF THAT PLAT OF
THE BREAKERS ROW NO.1, RECORDED IN PLAT
BOOK 46, PAGES 188-190, PUBLIC RECORDS OF
PALM BEACH



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THE BREAKERS
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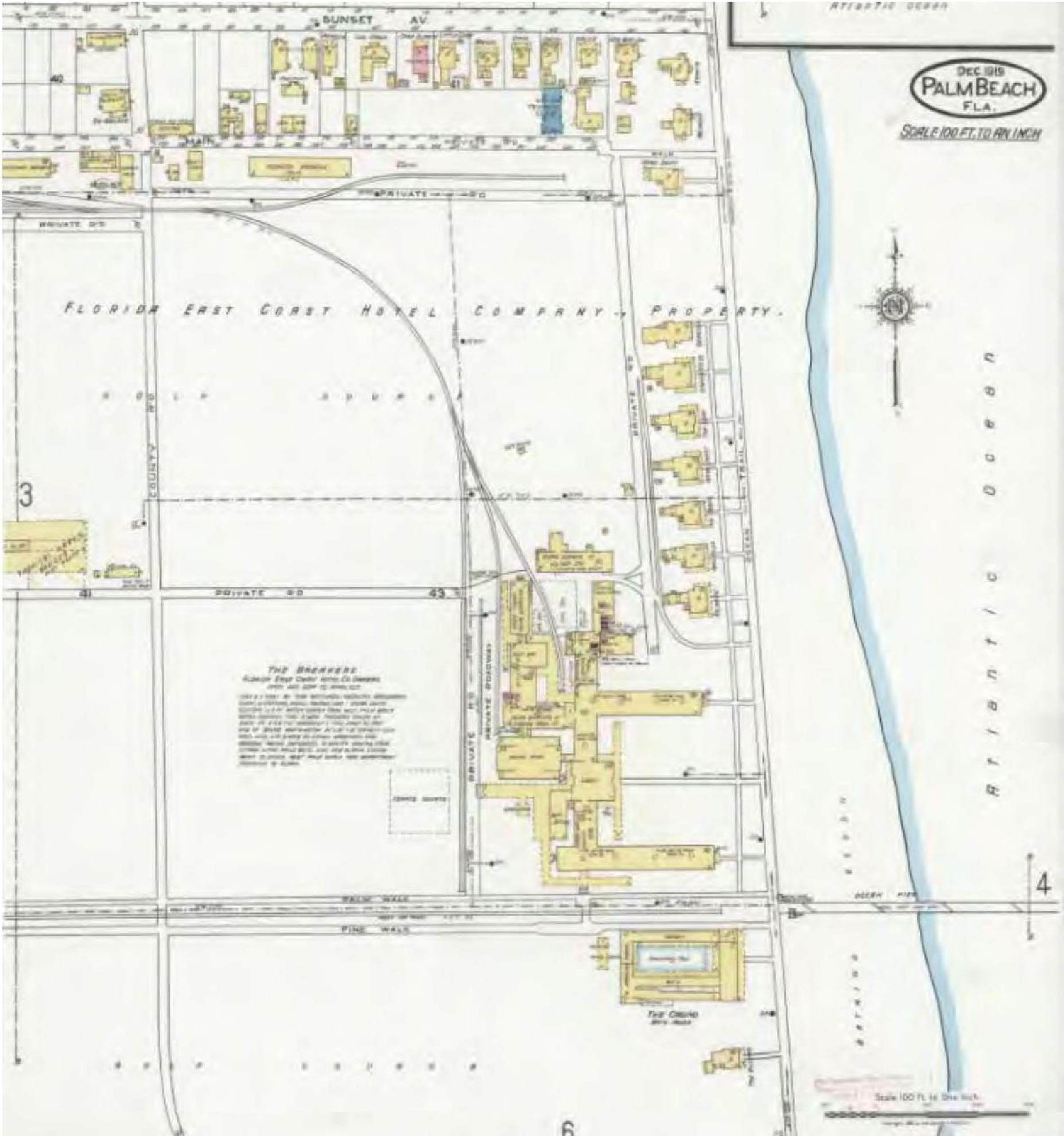
MILESTONES	
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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
ZONING LEGEND

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-05



EXCERPT SANBORN MAP - 1919



EXCERPT SANBORN MAP - 1919



BREAKERS AERIAL - CIRCA 1940



BREAKERS AERIAL - CIRCA 1927



BREAKERS ENTRY - 1926

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DRAWING TITLE:
F.E.C.
HISTORIC PHOTOS

PROJECT #:
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CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-06



EXISTING FEC FACING NORTHWEST



SOUTH BREAKERS ROW FACING NORTH



EXISTING FEC - FACING SOUTHWEST



EXISTING FEC - PARKING ENTRANCE



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F.E.C.
EXISTING
CONDITIONS
PHOTOS

PROJECT #:
22-525
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MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC
DRAWING NO.:

FEC G-07



EXISTING FEC - FACING NORTHEAST FROM MINI GOLF



FUTURE BRIDGE CONNECTION LOCATION - FACING WEST



FUTURE FEC BRIDGE LOCATION - FACING NORTHWEST



EXISTING FEC FROM BEACH CLUB



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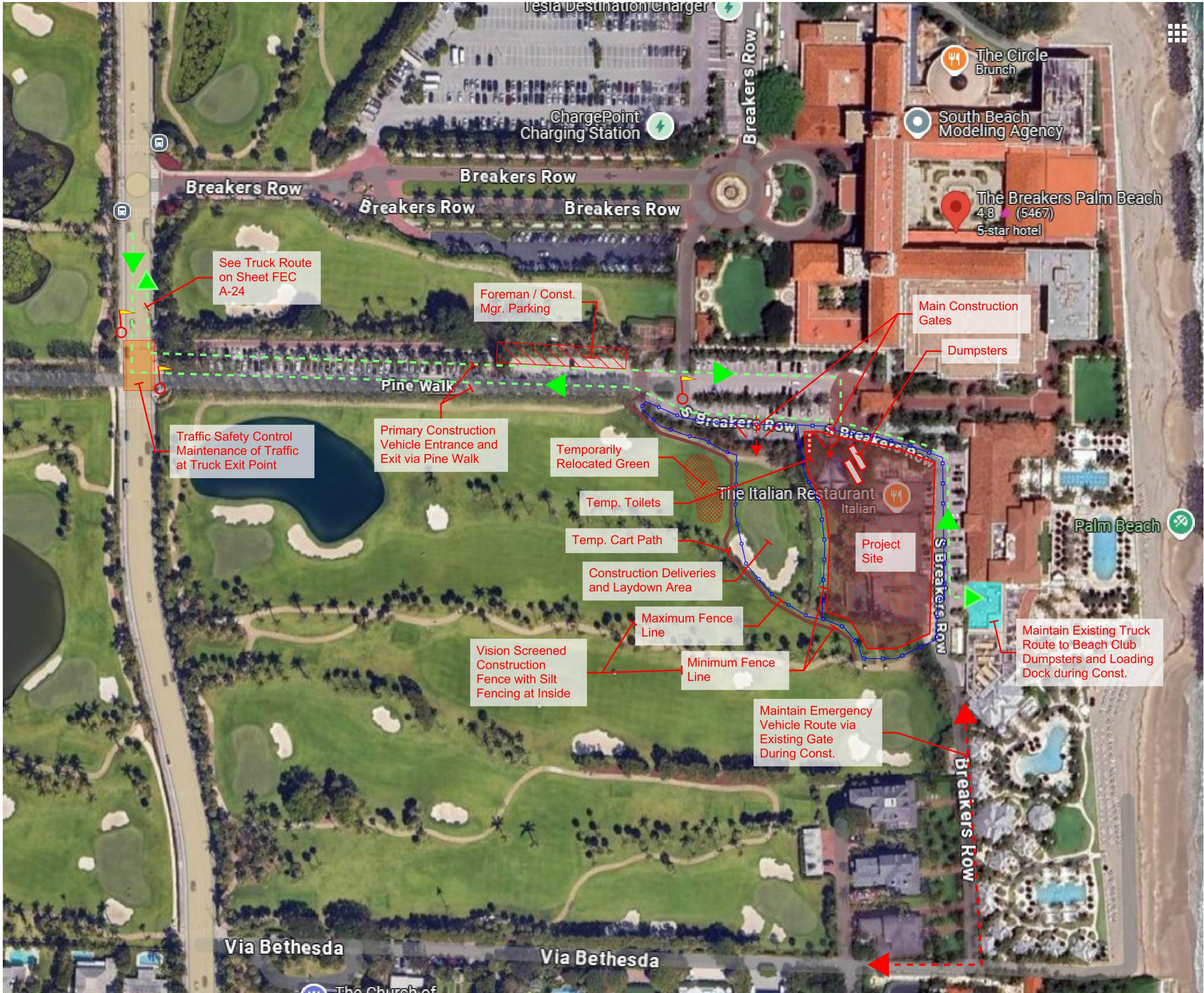
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DRAWING TITLE:
F.E.C.
EXISTING
CONDITIONS
PHOTOS

PROJECT #:
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DRAWING NO:
FEC G-08



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DRAWING TITLE:
**F.E.C.
CONSTRUCTION
SCREENING AND
LOGISTICS PLAN**

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-09



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DRAWING TITLE:
**F.E.C.
TRUCK LOGISTICS
PLAN**

PROJECT #:
22-525

DRAWN BY:
MA, WF, TV, CT

CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-10

SEAT COUNTS		EXISTING FEC AREAS
EXISTING FEC		RESTAURANT
MAIN DINING	154	ENTERTAINMENT
		OFFICE
		BATHROOM
		BREAK ROOM
		FITNESS
		MECH/BACK OF HOUSE
		KITCHEN
		CIRCULATION
		BAKERY
		TOTAL

4,130 SQ. FT.
2,337 SQ. FT.
2,854 SQ. FT.
781 SQ. FT.
944 SQ. FT.
N/A
826 SQ. FT.
1,945 SQ. FT.
3,359 SQ. FT.
N/A
17,176 SQ. FT.



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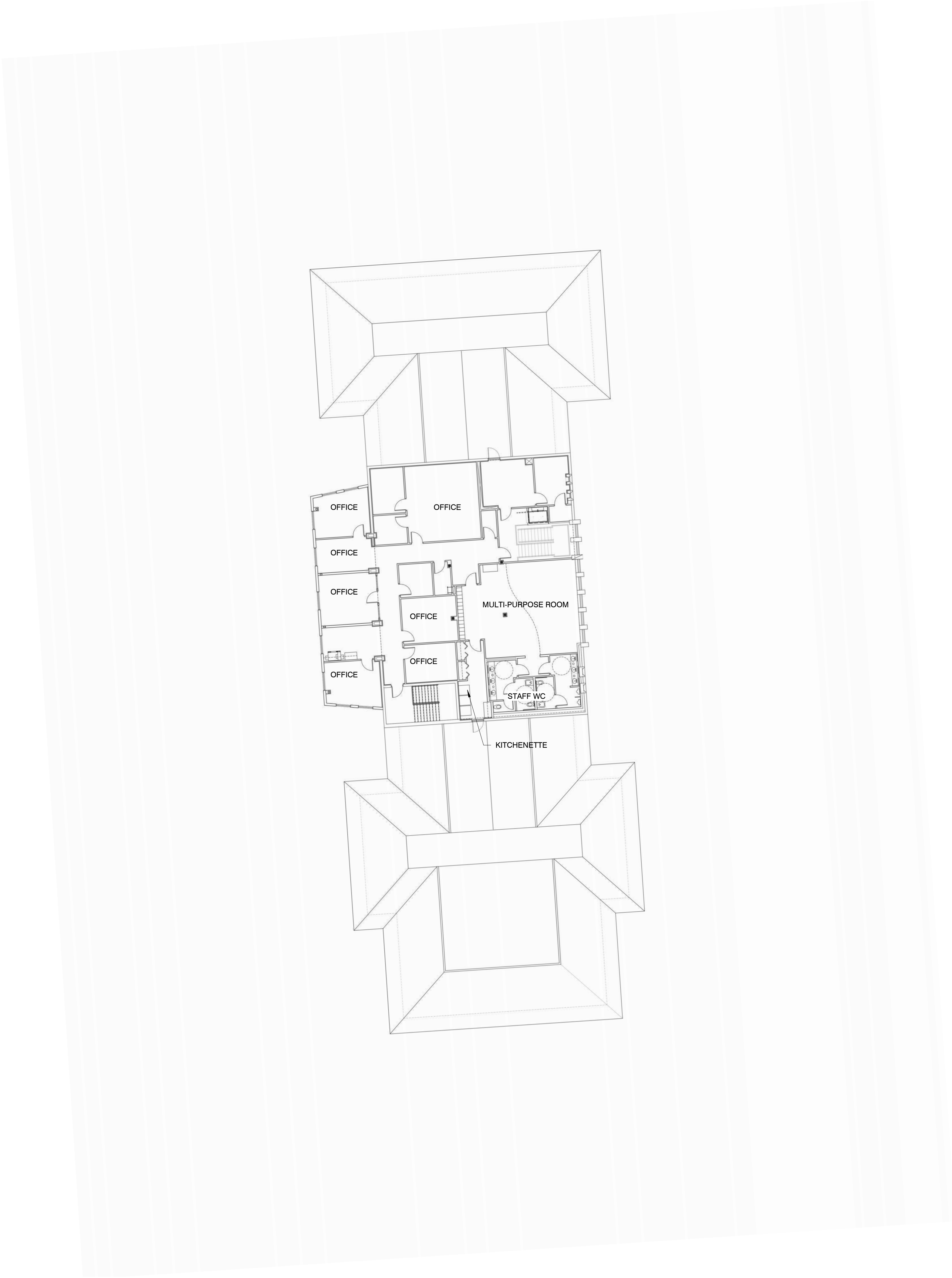
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DRAWING TITLE:
**F.E.C.
EXISTING FEC -
GROUND FLOOR**

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC
DRAWING NO:
FEC G-11



SEAT COUNTS		EXISTING FEC AREAS
EXISTING FEC		RESTAURANT
MAIN DINING	154	ENTERTAINMENT
		OFFICE
		BATHROOM
		BREAK ROOM
		FITNESS
		MECH/BACK OF HOUSE
		KITCHEN
		CIRCULATION
		BAKERY
		TOTAL



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REVISIONS

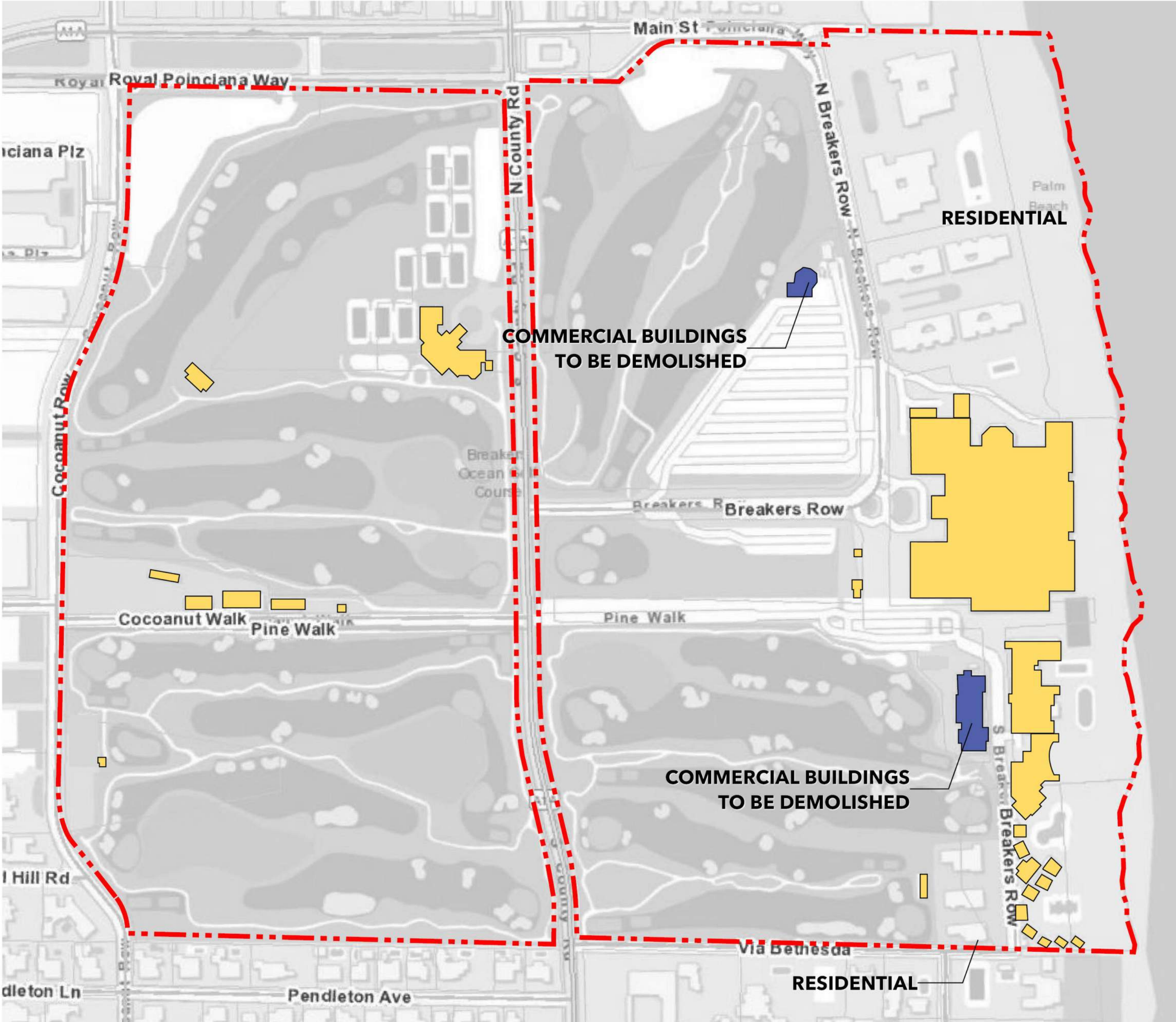
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
EXISTING FEC -
SECOND FLOOR

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC
DRAWING NO:
FEC G-12

GROSS AREA OF EXISTING COMMERCIAL BUILDINGS ON BREAKERS PUD LOTS:
-- TOTAL BREAKERS PUD AREA = +/-5,833,991 SF.
-- 20% OF TOTAL SF = +/-1,166,798 SF.
-- TOTAL AREA OF EXISTING COMMERCIAL BUILDINGS = +/-292,489 SF. (5.0% OF TOTAL PUD AREA)

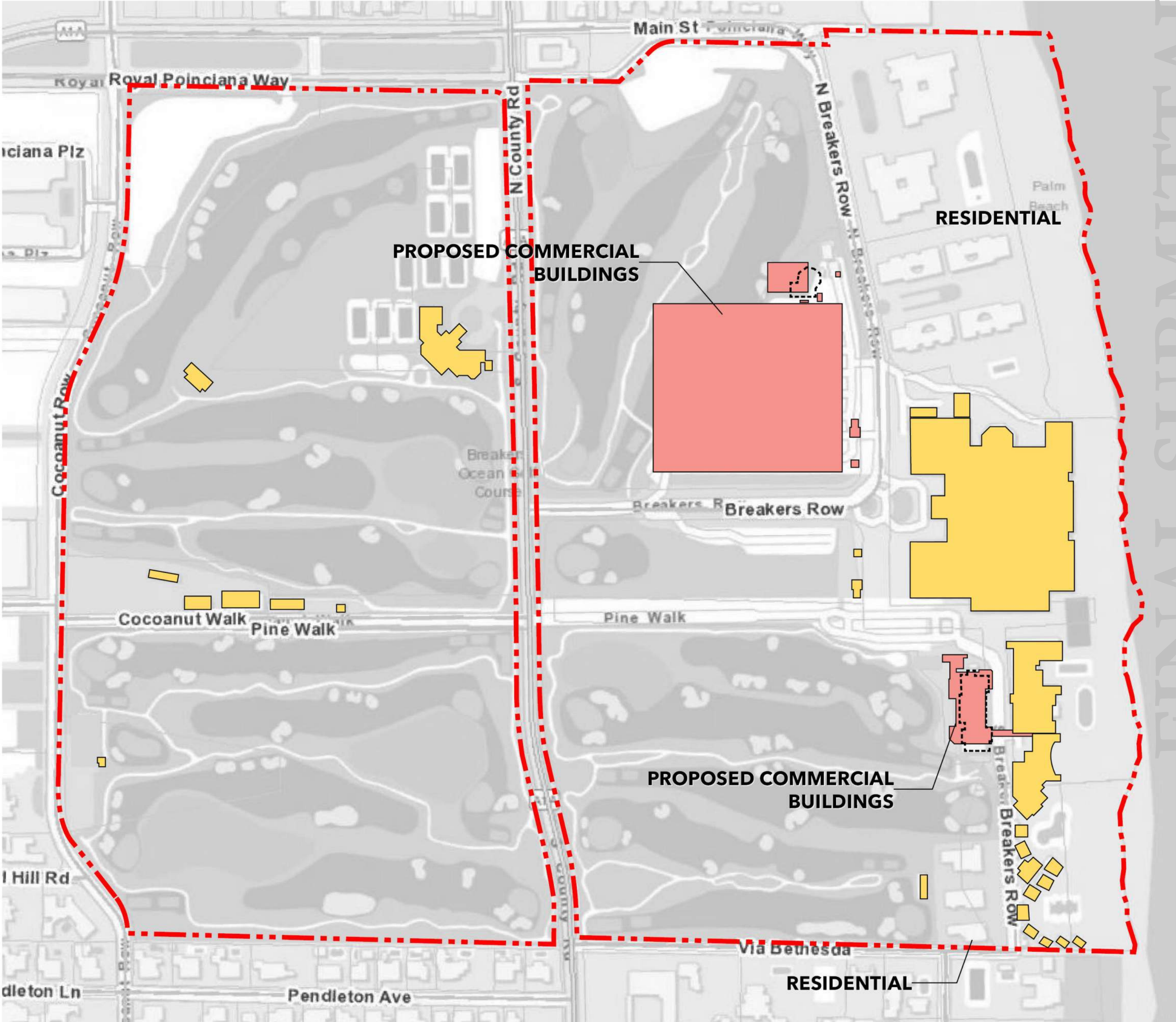
NOTE: RESIDENTIAL BUILDINGS AND RELATED OUTBUILDINGS AND PARKING STRUCTURES FOR RESIDENTIAL BUILDINGS ARE EXCLUDED FROM COMMERCIAL BUILDING AREA CALCULATIONS



SOURCE NOTES:
1) APPROXIMATE BREAKERS PUD AREA AS LISTED ON PUD PLAT PLAN.
2) AREA OF EXISTING COMMERCIAL BULDINGS WITHIN THE PUD IS APPROXIMATED BASED ON PALM BEACH COUNTY GIS AND ON-SITE OBSERVATIONS.

GROSS AREA OF PROPOSED COMMERCIAL BUILDINGS ON BREAKERS PUD LOTS:
-- TOTAL BREAKERS PUD AREA = +/-5,833,991 SF.
-- 20% OF TOTAL SF = +/-1,166,798 SF.
-- TOTAL AREA OF PROPOSED COMMERCIAL BUILDINGS = +/-520,416 SF. (8.9% OF TOTAL PUD AREA)

NOTE: RESIDENTIAL BUILDINGS AND RELATED OUTBUILDINGS AND PARKING STRUCTURES FOR RESIDENTIAL BUILDINGS ARE EXCLUDED FROM COMMERCIAL BUILDING AREA CALCULATIONS



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MILESTONES	
DATE	ISSUE
12/12/2024	1ST SUBMIT.
01/27/2025	FINAL SUBMIT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
**GROSS
COMMERCIAL
BUILDING AREA**

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:

FEC G-13



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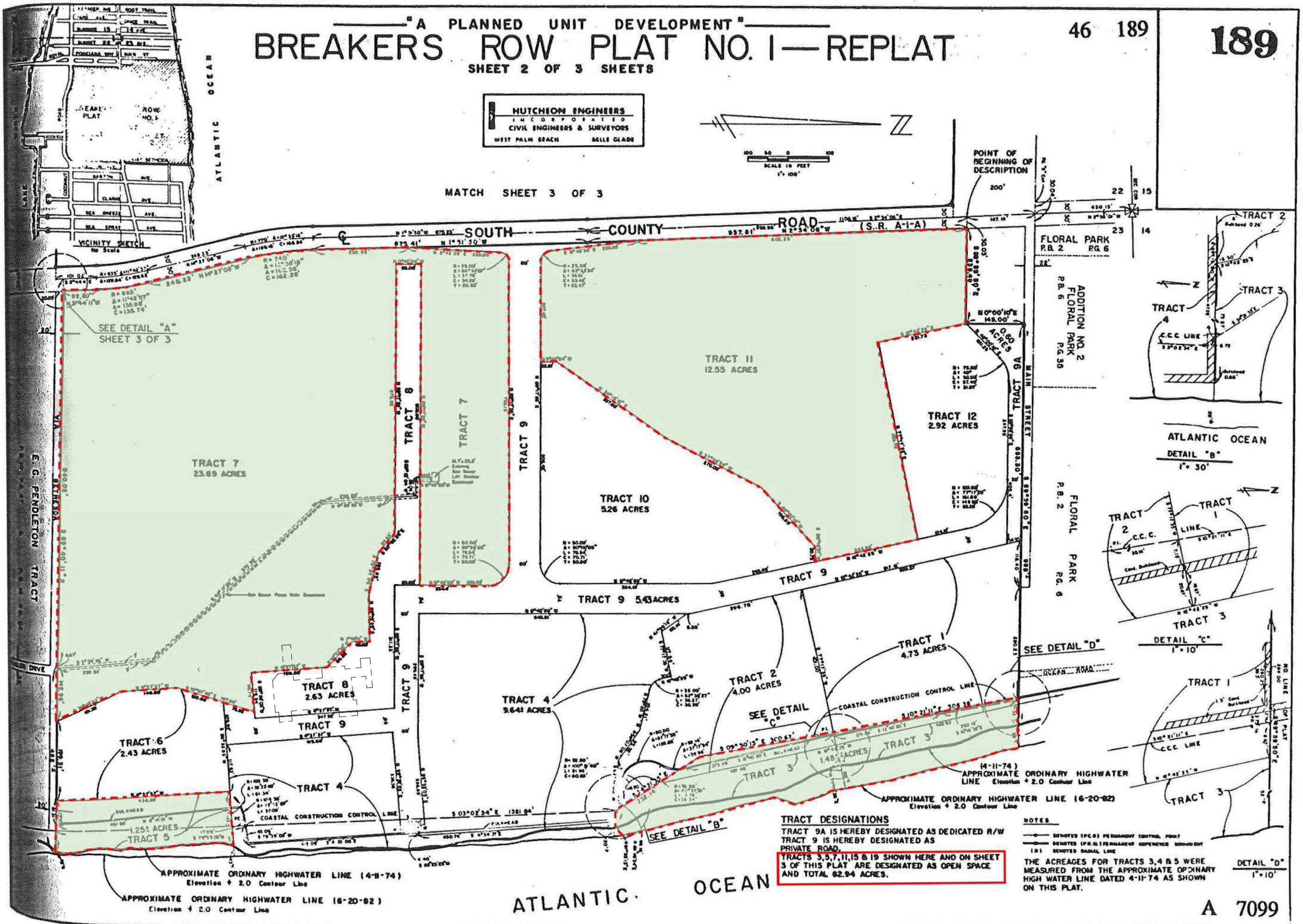
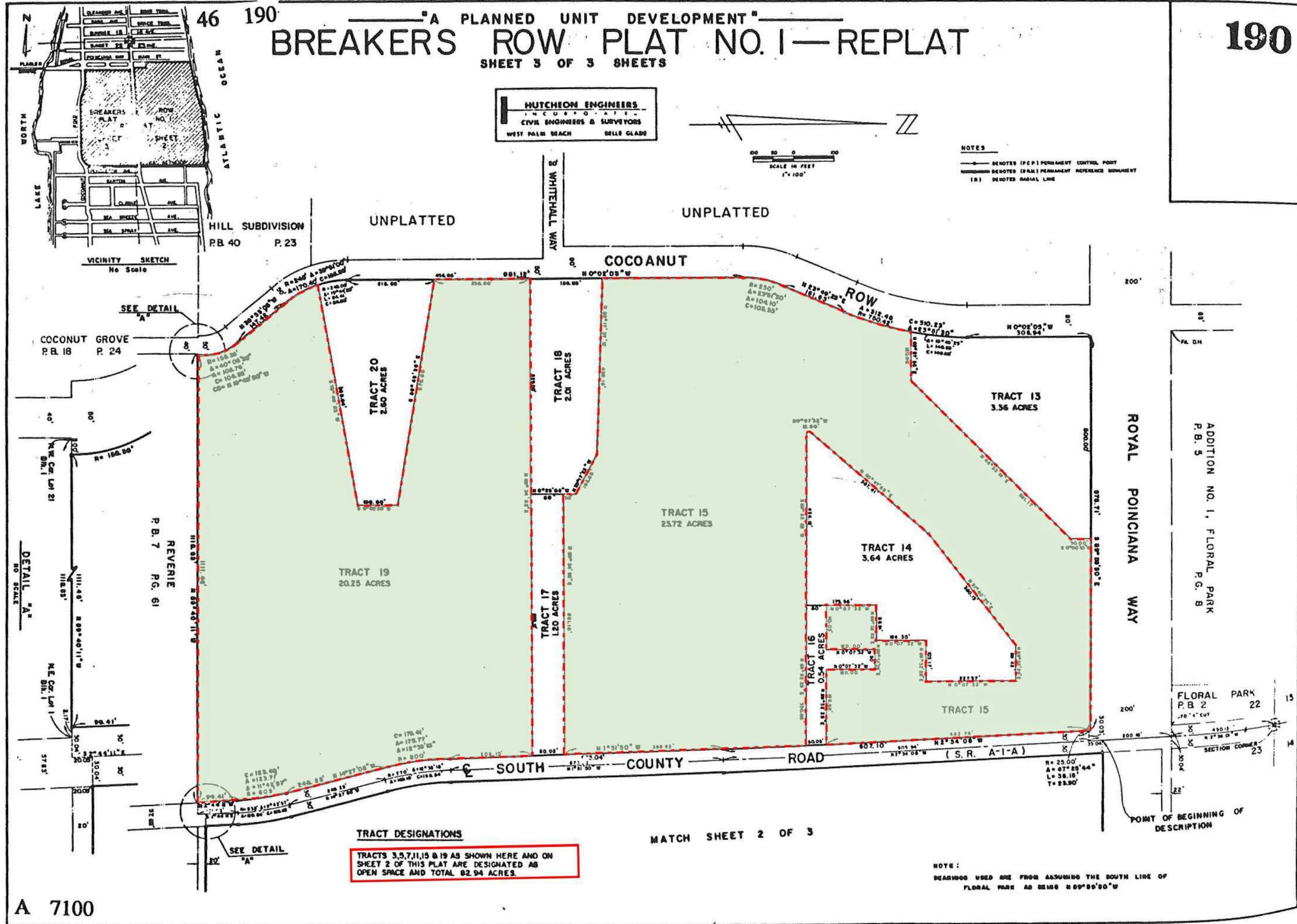
MILESTONES	
DATE	ISSUE
12/12/2024	1ST SUBMIT.
01/27/2025	FINAL SUBMIT

[illegible]

DRAWING TITLE:
F.E.C.
OPERATIONAL PLAN

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV
CHECKED BY:
AJT, RR, DR, KB, MDC

FEC G-14



"TRACT DESIGNATIONS: TRACTS 3, 5, 7, 11, 15 & 19 AS SHOWN HERE AND SHEET 2 OF THIS PLAT ARE DESIGNATED AS OPEN SPACE AND TOTAL 82.94 ACRES."

**OPEN SPACE
DIAGRAM LEGEND**

PUD OPEN SPACE

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MILESTONES	
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01/27/2025	FINAL SUBMIT.

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NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
EXISTING PLAT
DIAGRAM

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC G-15

EXCERPT FROM 1984 REPLAT WITH COLOR
ADDED TO SHOW 'OPEN SPACE'
DESIGNATED TRACTS

SEAT COUNTS		EXISTING FEC AREAS
EXISTING FEC		RESTAURANT
MAIN DINING	154	ENTERTAINMENT
		OFFICE
		BATHROOM
		BREAK ROOM
		FITNESS
		MECH/BACK OF HOUSE
		KITCHEN
		CIRCULATION
		BAKERY
TOTAL		17,176 SQ. FT.



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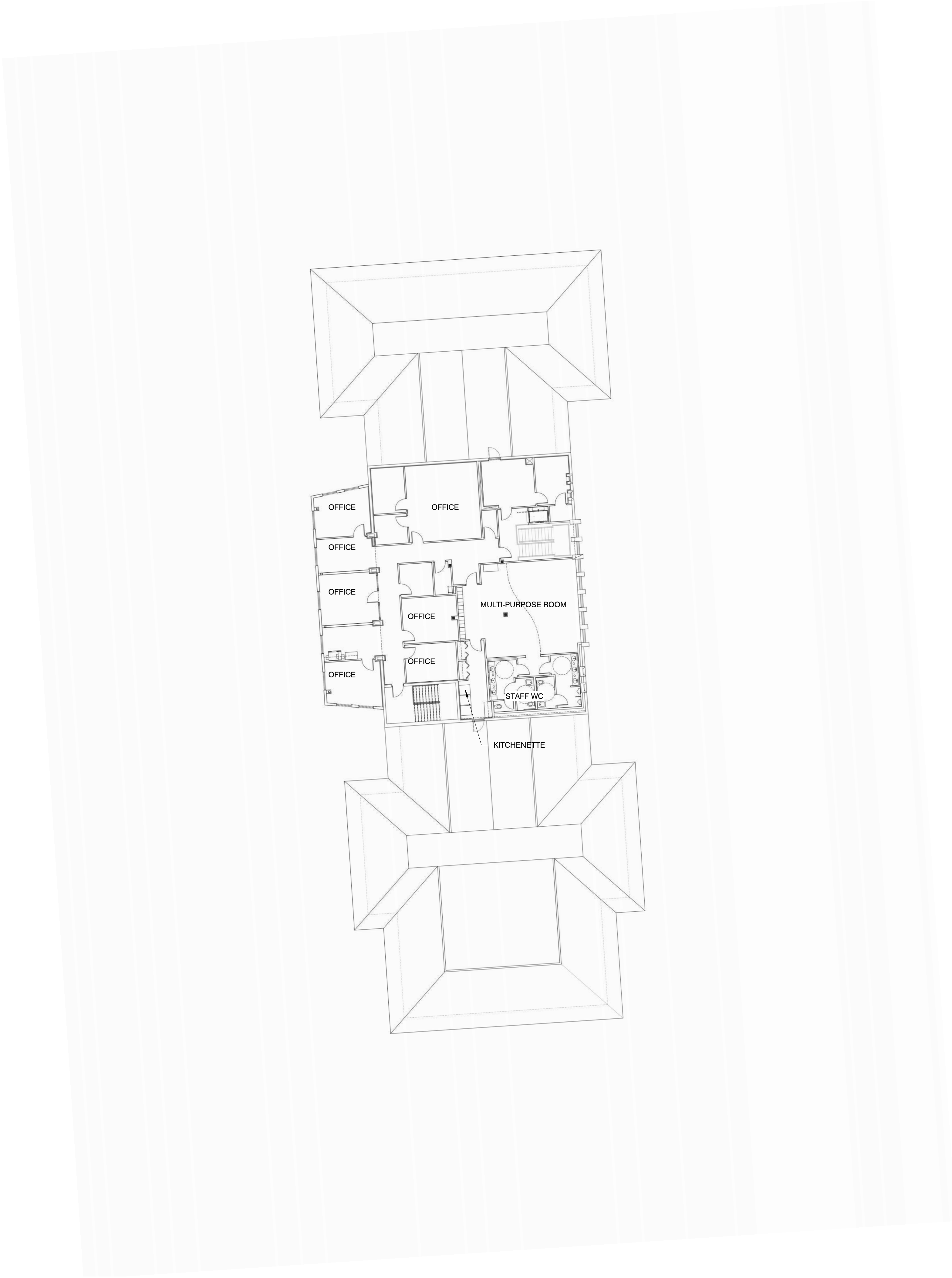
MILESTONES	
DATE	ISSUE
12/12/2024	1ST SUBMIT.
01/27/2025	FINAL SUBMIT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
EXISTING FEC -
GROUND FLOOR

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC A-01



SEAT COUNTS		EXISTING FEC AREAS
EXISTING FEC		RESTAURANT
MAIN DINING	154	ENTERTAINMENT
		OFFICE
		BATHROOM
		BREAK ROOM
		FITNESS
		MECH/BACK OF HOUSE
		KITCHEN
		CIRCULATION
		BAKERY
		TOTAL



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MILESTONES

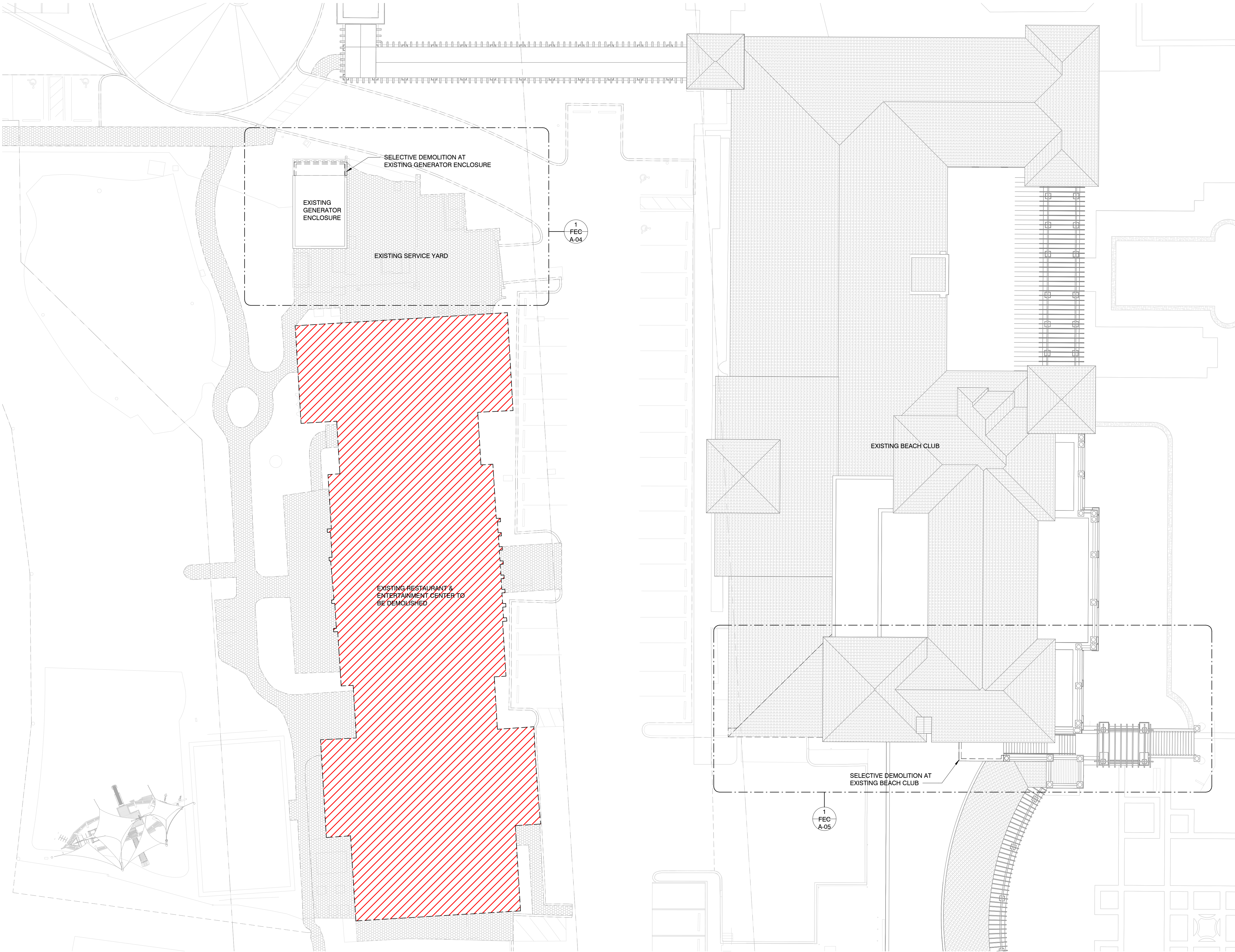
DATE	ISSUE
12/12/2024	1ST SUBMIT.
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REVISIONS

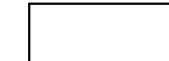
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
EXISTING FEC -
SECOND FLOOR

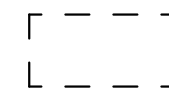
PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC
DRAWING NO:
FEC A-02



DEMOLITION LEGEND



EXISTING TO REMAIN



EXISTING TO BE DEMOLISHED

DEMOLITION REPORT

YEAR OF CONSTRUCTION: 1968; ORIGINAL ARCHITECT: UNCONFIRMED (POSSIBLY THE JACKSONVILLE FIRM KEMP, BUNCH AND JACKSON, THAT DESIGNED ADDITIONS TO THE HOTEL BUILDING AT ROUGHLY THE SAME TIME); SIGNIFICANT INTERIOR AND EXTERIOR RENOVATIONS IN 2003 TO CONVERT THE BUILDING FROM A GOLF CLUBHOUSE TO THE CURRENT 'FAMILY ENTERTAINMENT CENTER'



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01/27/2025	FINAL SUBMIT.

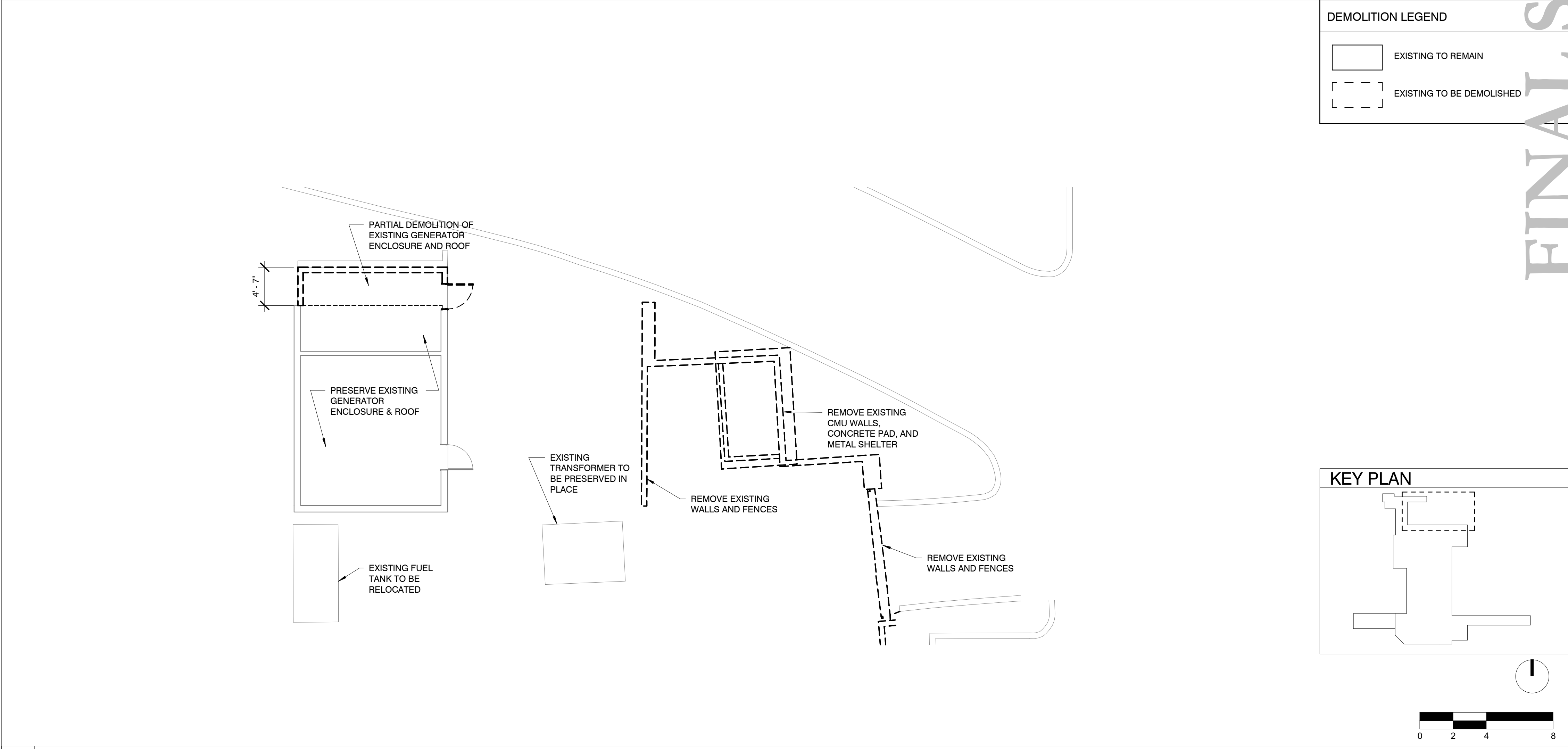
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
OVERALL
DEMOLITION PLAN

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:

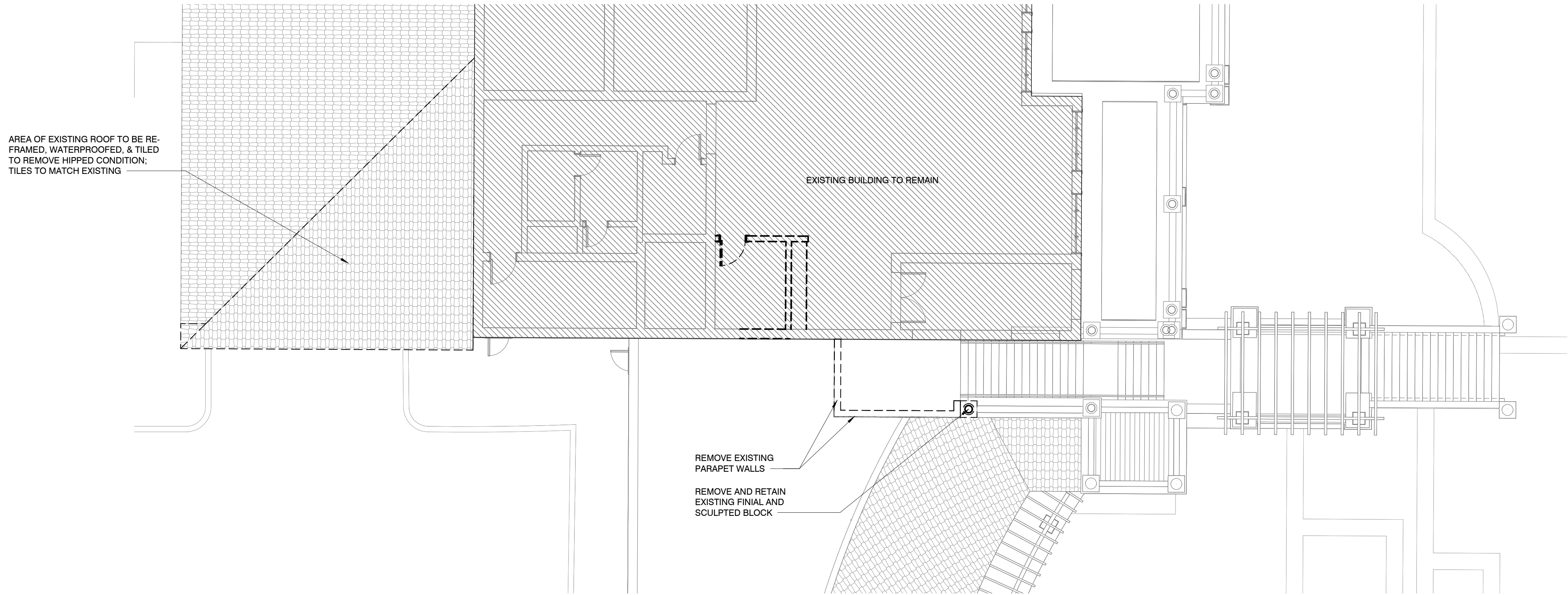
FEC A-03



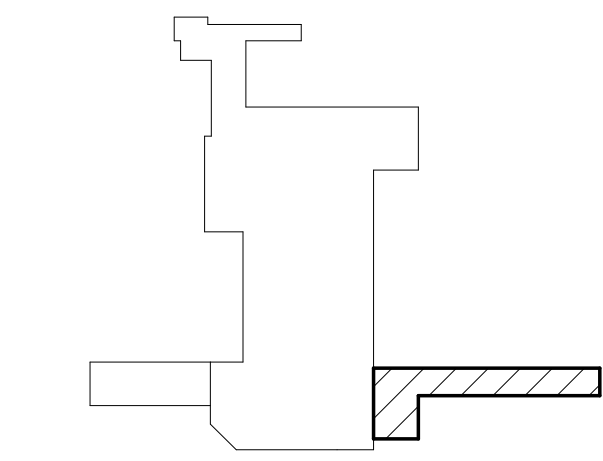
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1

DEMOLITION - EXISTING BEACH CLUB PLAN



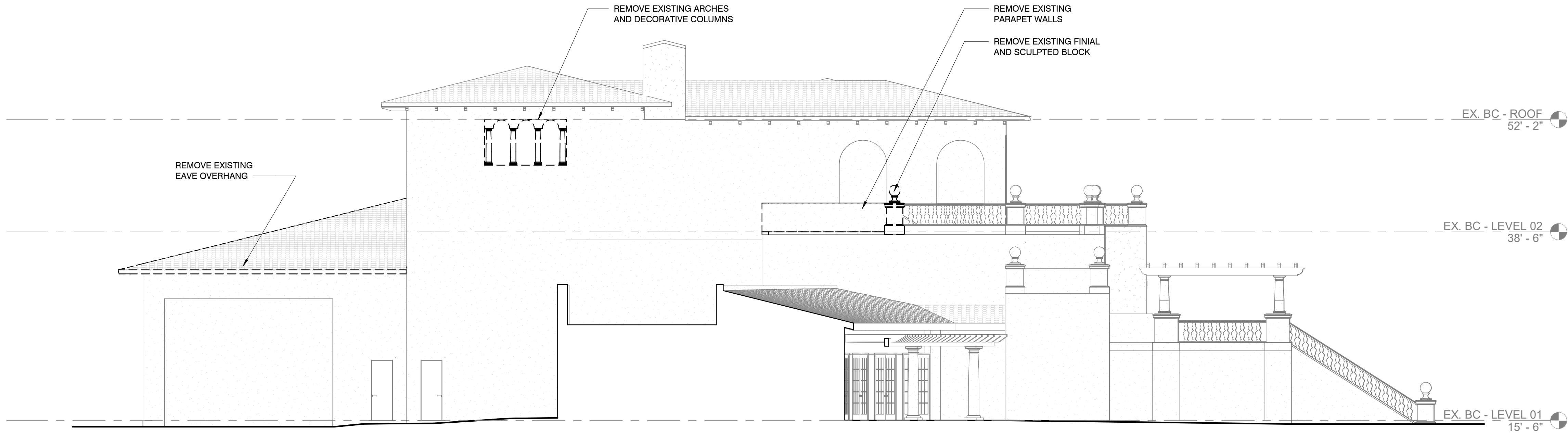
KEY PLAN



1/8" = 1'-0"

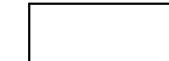
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DEMOLITION - EXISTING BEACH CLUB ELEVATION (SOUTH)

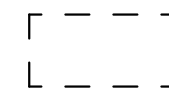


1/8" = 1'-0"

DEMOLITION LEGEND



EXISTING TO REMAIN



EXISTING TO BE DEMOLISHED



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MILESTONES	
DATE	ISSUE
12/12/2024	1ST SUBMITT.
01/27/2025	FINAL SUBMITT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.

**DEMOLITION -
EXISTING BEACH
CLUB**

PROJECT #:
22-525
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CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:

FEC A-05



EXISTING EXTRIOR



EXISTING INTERIOR



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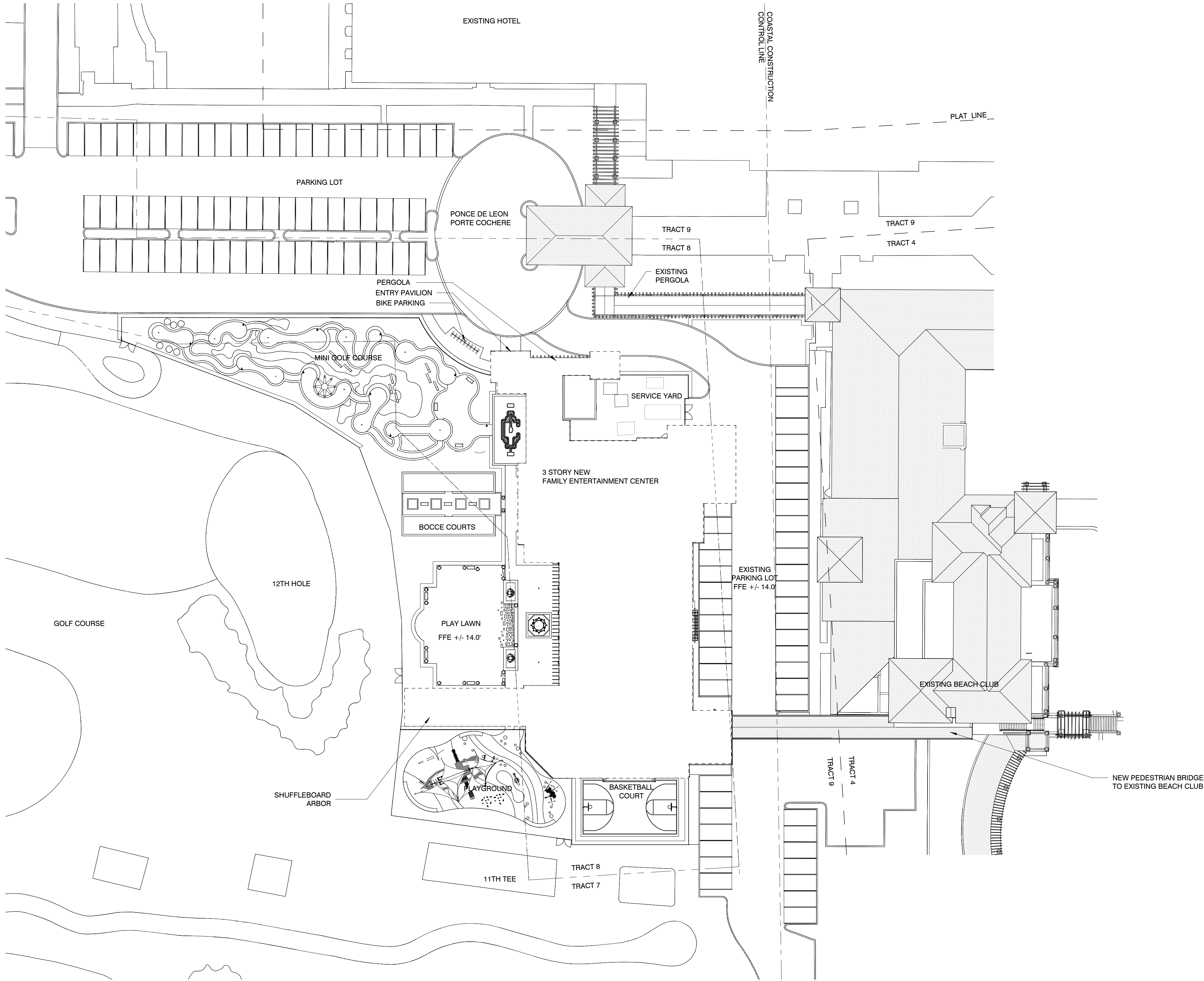
MILESTONES	
DATE	ISSUE
12/12/2024	1ST SUBMIT.
01/27/2025	FINAL SUBMIT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
DEMOLITION -
PHOTOGRAPHS

PROJECT #:
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DRAWING NO:

FEC A-06



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01/27/2025	FINAL SUBMIT.

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
F.E.C.
**PROPOSED SITE
PLAN**

PROJECT #:
22-525
DRAWN BY:
MA, WF, TV, CT
CHECKED BY:
AJT, RR, DR, KB, MDC

DRAWING NO:
FEC A-07