

REAR ELEVATION (SOUTH)

PARCEL CONTROL #:  
60-43-42-34-08-006-0370

SURVEY NOTES:  
ALL SURVEY NOTATION AND DESCRIPTIONS  
ARE RELAYED FROM 1 INFORMATION TAKEN  
BY "WALLACE SURVEYING, 6553  
VILLAGE BLVD .. WEST PALM BEACH, FL 33407.  
(561) 640-4551.' SEE ATTACHED SURVEY.

LEGAL DESCRIPTION:  
LOT 37, OF NORTH SHORE ADD TO PALM  
BEACH, ACCORDING TO THE PLAT THEREOF,  
AS RECORDED IN PLAT BOOK  
05720, PAGE 0182, OF THE PUBLIC RECORDS  
OF PALM BEACH, FLORIDA IDA.



SHEET KEY

- A1 FLOOR PLAN
- A2 REAR & LEFT ELEVATIONS
- A3 EXIST/DEMOLITION PLAN
- A4 TERRACE REPAIR DETAILS
- E1 ELECTRICAL
- M1 MECHANICAL DUCT PLAN
- S1.0 STRUCTURAL NOTES
- S1.1 ROOF REPAIR PLAN
- SITE SITE PLAN

MATERIALS

PAINT TO MATCH EXISTING:  
PURE WHITE SERWIN WILLIAMS 7005  
WOOD: MATCH EXISTING TYPE OR EQUAL  
STRUCTURAL COLUMNS TO REMAIN

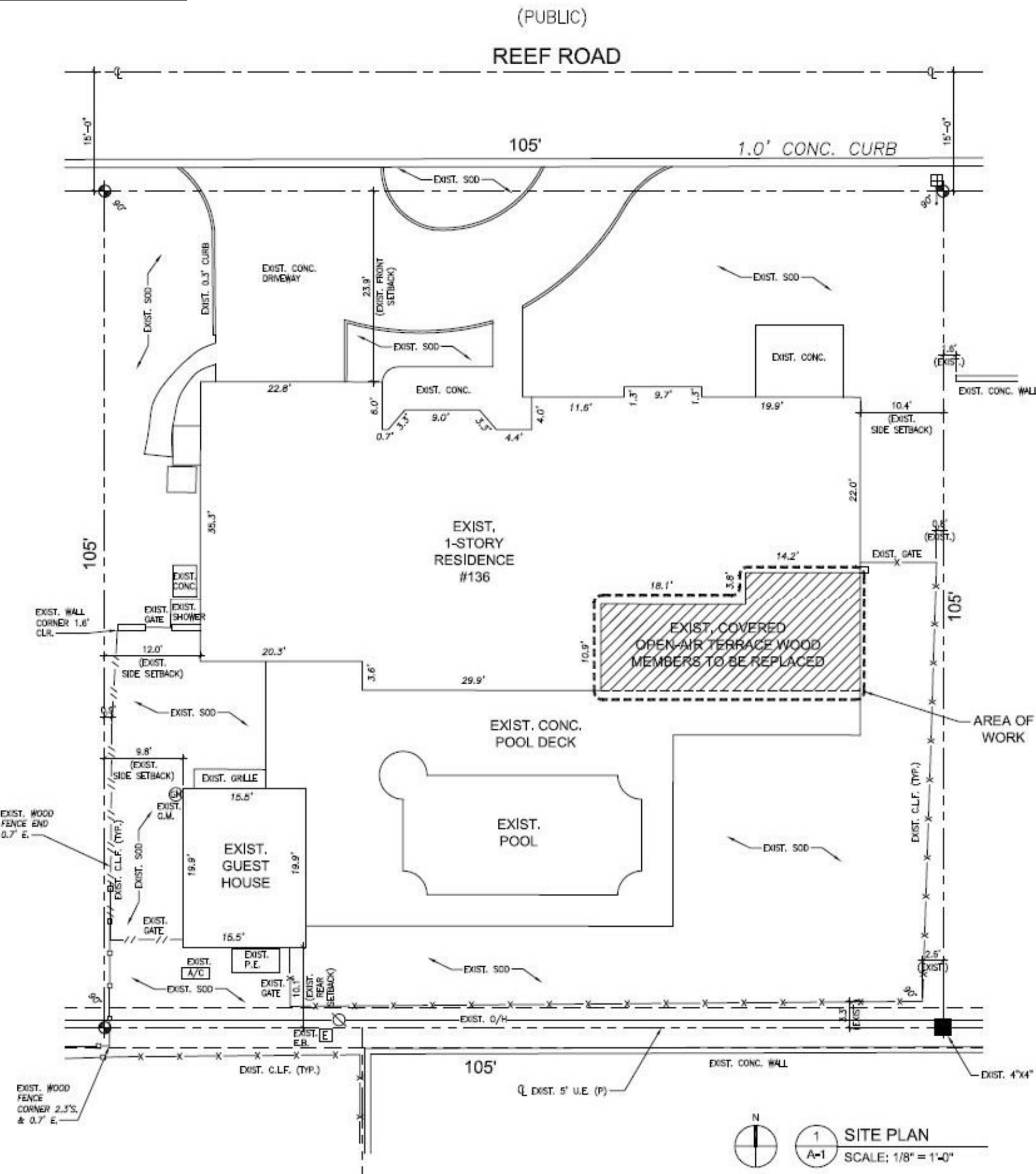


EXISTING TERRACE TO BE REPAIRED

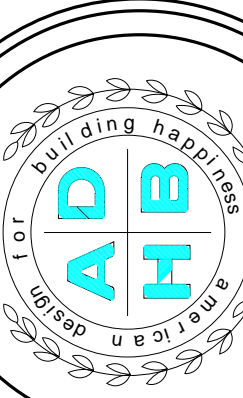
SECOND SUBMITTAL  
ARCHITECTURAL REVIEW  
ARC-24-0119 (ZON-24-0072)

Architectural Hearing: 01-29-25  
Town Conncil Hearing: 02-12-25

Stepan RESIDENCE  
ADDRESS: 136 REEF ROAD  
PALM BEACH, FLORIDA 33480  
SCOPE OF WORK:  
THE SCOPE OF WORK IS THE  
REPLACEMENT OF THE EXISTING  
TERRACE WOOD ROOF MEMBERS  
AT THE REAR OF AN EXISTING  
SINGLE-FAMILY RESIDENCE.



A & F ENGINEERING, INC.  
FL P.E. License # 53842  
General Contractor # CC1604448  
FL P.E. License # 53842  
Roofing Contractor # CC1325766  
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116



REPLACEMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these drawings comply with the requirements of the 2023 Florida Building Code.  
David Forkey, P.E.  
FL License No. 53842

REVISION	
12/ 16/ 24	
Drawn	A.G.H
Date	10/ 28/ 24

DRAWING  
CP





UNDER TERRACE  
(WEST)



UNDER TERRACE  
(NORTH)



EXISTING TERRACE TO  
BE REPAIRED



FRONT ELEVATION (NORTH)  
NO CHANGE



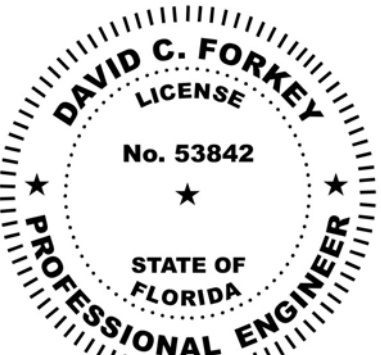
LEFT ELEVATION (EAST)  
NO CHANGE



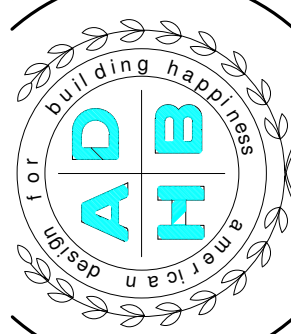
REAR ELEVATIONS (SOUTH)  
NO CHANGE

David  
C  
Forkey

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by David C  
Forkey  
Date:  
2024.11.20  
12:39:45 -05'00'



**A & F ENGINEERING, INC.**  
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REVISION	
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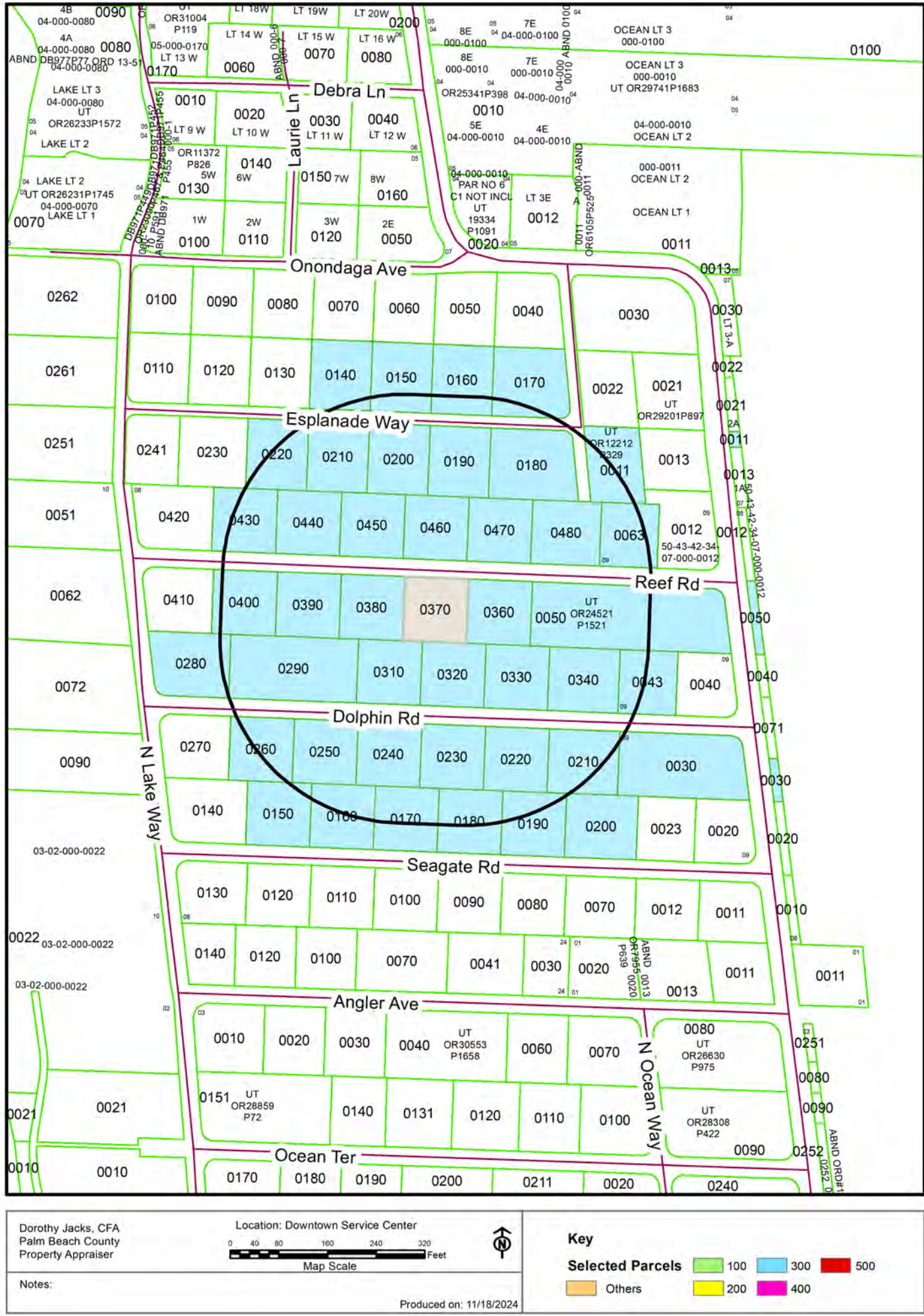
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Date 10/28/24

DRAWING  
CP2



REQUESTED VARIANCE FOR TERRACE SLIGHTLY INCREASED OF 24.38 SQ.FT. OR 1'-6" INTO SIDE SETBACK OF 12'-0"

EXIST. RESIDENCE TO REMAIN UNDISTURBED



### Variance Request

Section 134-893(7)b.: A request to allow a east side yard setback for the addition of 10'-6" feet in lieu of the 12 foot minimum required for a single story structure.

### EXISTING CUBIC CONTENT RATIO CALCULATIONS:

LOT AREA: 11,025 SQ. FT.  
ALLOWABLE: CCR = 3.5 + (((60,000-11,025)/ 50,000))X 0.5] = 3.5+0.49 = 3.99 CCR = 3.99X11,025 43,990 CU. FT.  
CUBIC CONTENT RATIO: (CUBIC CONTENT/LOT AREA) = 43,990 CU.FT./11,025 SQ.FT. = 3.99 CCR

NO CHANGE TO CUBIC CONTENT

### CUBIC CONTENT CALCULATIONS



**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Zoning Legend			
	Property Address:	136 REEF ROAD		
1	Property Address:	136 REEF ROAD		
2	Zoning District:	R-B		
3	Lot Area (sq. ft.):	11,025.00		
4	Lot Width (W) & Depth (D) (ft.):	105' (W) & 105 (D)		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE-FAMILY		
6	FEMA Flood Zone Designation:	AE		
7	Zero Datum for point of meas. (NAVD)	N/A		
8	Crown of Road (COR) (NAVD)	N/A		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	N/A	11,025 SF.	N/C
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A		N/C
12	*Front Yard Setback (Ft.)	N/A		N/C
13	* Side Yard Setback (1st Story) (Ft.)	12'-0"	10.40'	10.40'
14	* Side Yard Setback (2nd Story) (Ft.)	N/A		N/C
15	*Rear Yard Setback (Ft.)	25'-0"		N/C
16	Angle of Vision (Deg.)	N/A		N/C
17	Building Height (Ft.)	N/A		N/C
18	Overall Building Height (Ft.)	N/A		N/C
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A		N/C
20	** Max. Fill Added to Site (Ft.)	N/A		N/C
21	Finished Floor Elev. (FFE)(NAVD)	N/A		N/C
22	Base Flood Elevation (BFE)(NAVD)	N/A		N/C
23	Landscape Open Space (LOS) (Sq Ft and %)	N/A		N/C
24	Perimeter LOS (Sq Ft and %)	N/A		N/C
25	Front Yard LOS (Sq Ft and %)	N/A		N/C
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

\* Indicate each yard area with cardinal direction (N,S,E,W)

\*\* Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill ([Sec. 134-1600](#))

\*\*\* Provide Native plant species info per category as required by [Ord. 003-2023](#) on separate TOPB Landscape Legend

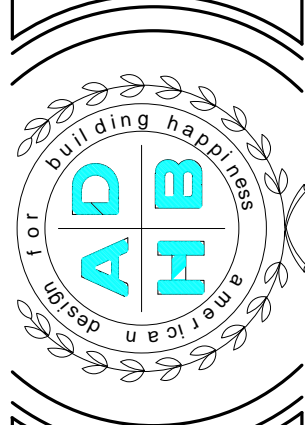
Enter N/A if value is not applicable.  
Enter N/C if value is not changing.

REV BF 20230626

### ZONING LEGEND

**A & F ENGINEERING, INC.**

FL P.E. License # 53842  
General Contractor # CC01504448  
FL Building Code Official # 33414  
FL Roofing Contractor # CC01325766  
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116



REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these calculations comply with the requirements of the 2023 Florida Building Code.  
David Forkley, P.E.  
FL License No. 53842

### REVISION

1	12/ 16/ 24
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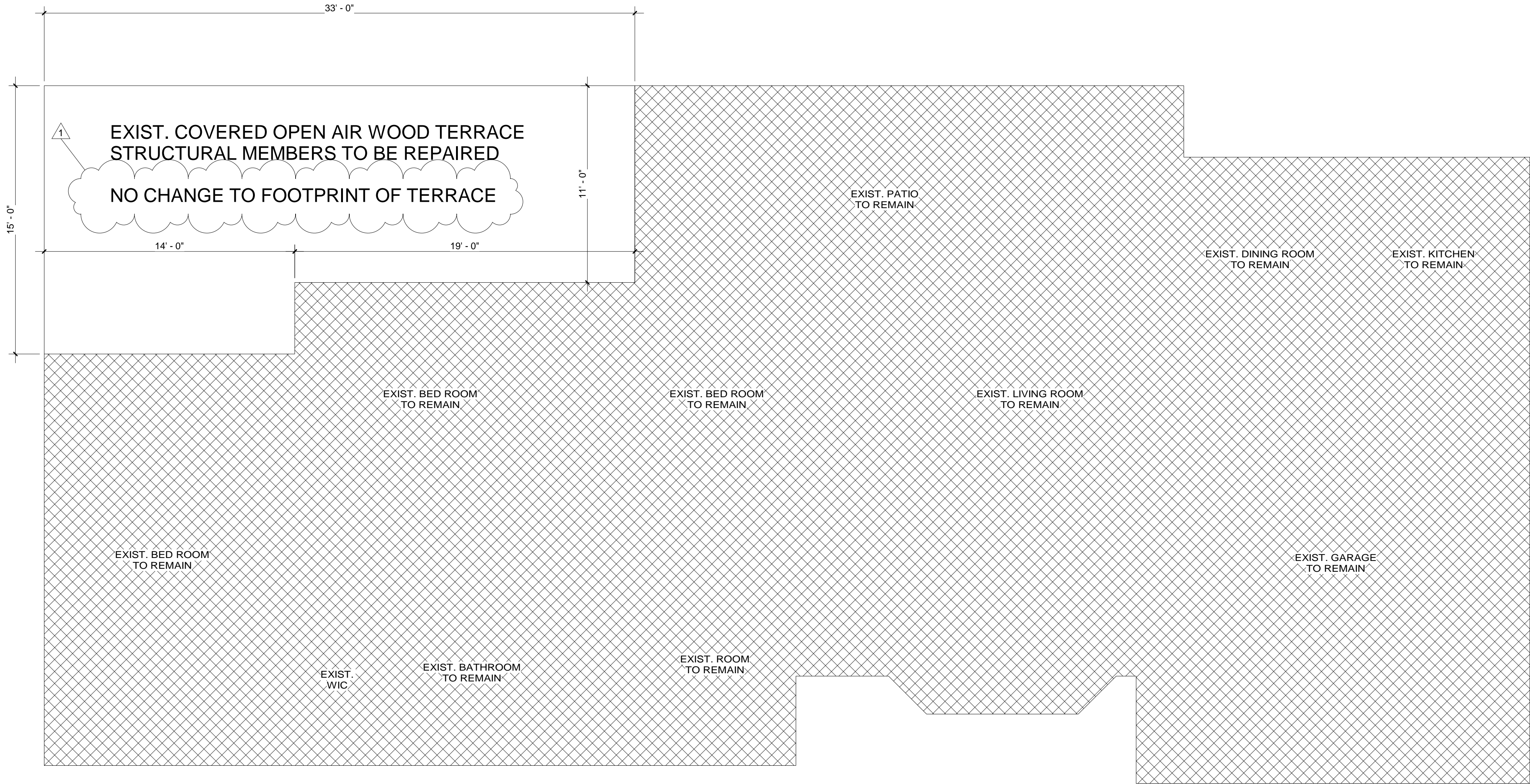
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Date 10/ 28/ 24

DRAWING

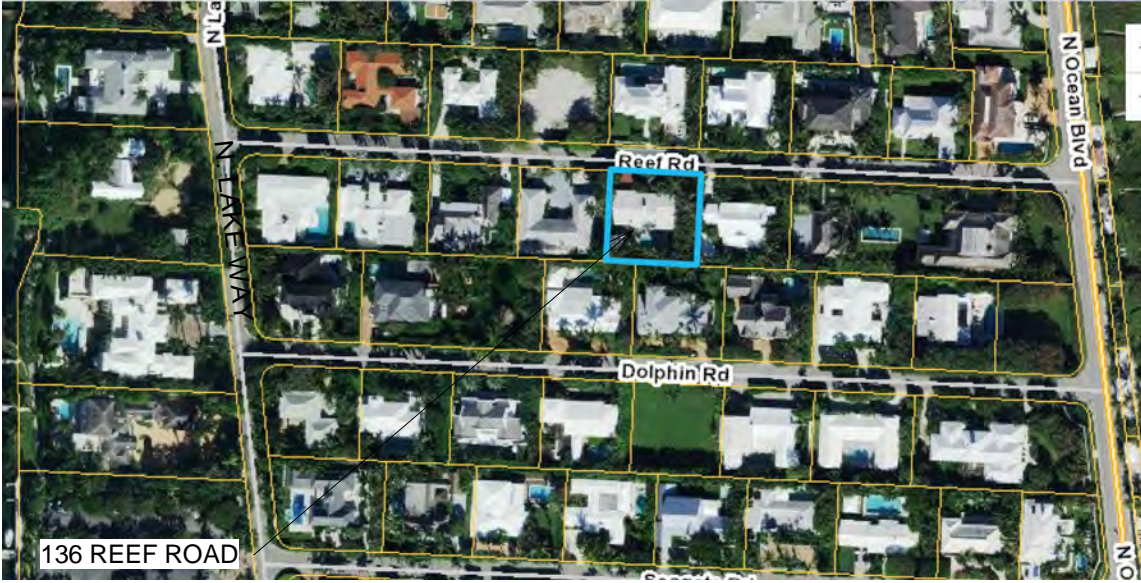
**A-ZL**

### SITE CALULATIONS & VARIENCE





HATCH LEGEND	
RECONSTRUCTED TERRACE	
EXIST. TO REMAIN UNDISTURBED	



AREA MAP

EXISTING CONDITIONS. NOTES:

1. IT SHOULD BE NOTED THAT ALL OBSERVATIONS AND RECOMMENDATIONS ARE BASED UPON A VISUAL NONDESTRUCTIVE INSPECTION PROCESS. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE CONTRADICTED BY THE PRESENCE OF HIDDEN DEFECTS.
2. THIS DRAWING SHOULD IN NO WAY BE TAKEN AS AN IMPLIED WARRANTY THAT THERE ARE NOT ADDITIONAL HIDDEN DEFECTS PRESENT THAT WERE NOT ACCESSIBLE OR VISIBLE AT THE TIME OF THE ON-SITE INSPECTION AND WHETHER OR NOT THIS STRUCTURE WAS ORIGINALLY CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, THE ORIGINAL CONSTRUCTION DOCUMENTS OR ON SOUND ENGINEERING PRINCIPLES AND PRACTICES.
3. CONTACT THE DESIGNER IF CONDITIONS CITED ARE IN CONTRADICTION WITH THIS DRAWING.
4. THE ROOF STRUCTURE, SLAB, FOOTERS, AND C.B.S. WALLS ARE ALL EXISTING AND BY OTHERS. THEY ARE NOT THE RESPONSIBILITY OF DAVID FORKEY P.E.

★ **NOTE:**  
NO WINDOWS OR DOORS WILL BE IMPACTED WITH THIS CONSTRUCTION

GENERAL NOTES:

- 1- ALL POURED CONCRETE SHALL BE F'c= 3000 PSI MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED ON DRAWINGS.
- 2- REINFORCING STEEL SHALL BE NEW BILLET STEEL CONFORMING TO ASTM-A-615, GRADE 60 AND SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH CRSI AND ACI STANDARDS.
- 3- ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
- 4- FRAMING LUMBER UNLESS OTHERWISE NOTED SHALL BE AS FOLLOWS:  
NON-BEARING WOOD STUDS- MINIMUM 225 psi = fb,  
LOAD BEARING WOOD STUDS- MINIMUM 625 psi = fb,  
BEAMS, RAFTERS AND JOISTS- MINIMUM 1000 psi = fb,  
ALL OTHER STRUCTURAL MEMBERS- MINIMUM 1000 psi = fb.
- 5- HAVC SUBCONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF DESIGN AND LAYOUT TO OWNER FOR REVIEW AND APPROVAL.
- 6- THIS STRUCTURE HAS BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 2000 P.S.F. UNLESS OTHERWISE NOTED.
- 7- WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS IN ALL CASES.
- 8- CONTRACTOR SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO BEGINNING OF WORK.

DESIGN PARAMETERS  
Where Applicable

2023 FBC- Residential, 8th Edition  
2023 FBC- 8th Edition, Fuel Gas  
FLORIDA FIRE PREVENTION CODE 8TH EDITION WITH NFPA 70A- (NEC) 2020 EDITION.  
LEVEL OF ALTERATION - N/A  
BUILDING DESIGN AS OPEN  
RISK CATEGORY II  
WIND SPEED DESIGN per/ 1609.4 - 160 MPH 3 sec. Gust  
MEAN ROOF HEIGHT = N/A  
IMPORTANCE/USE FACTOR - 1.0  
INTERNAL PRESSURE COEFFICIENT = 0.18

SCOPE OF WORK:

1. REMOVE AND REPLACE EXISTING TERRACE WOOD ROOF MEMBERS AT THE REAR OF THE EXISTING SINGLE FAMILY RESIDENCE.

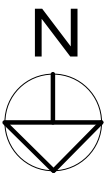
**NOTE:** NO PLUMBING OR MECHANICAL WORK HEREIN.

TYPE OF BUILDING:	CBS
NUMBER OF STORIES:	ONE STORY
TOTAL SQUARE FEET:	APPROX. 3402

AREA TABULATIONS

EXIST FRONT ENTRY	19 SF.
EXIST. ENCLOSED PORCH	319 SF.
EXIST. GARAGE	462 SF.
EXIST. UNDER AIR	1,883 SF.
EXIST. CABANA	300 SF.
(TERRACE/REPLACEMENT	419 SF.
<b>TOTAL AREA UNCHANGED</b>	<b>3,402 SF.</b>

PROPOSED FLOOR PLAN



To the best of my knowledge, these drawings were prepared in accordance with the requirements of the 2023 Florida Building Code.  
David Forkey, P.E.  
FL License No. 53842

REVISION	
	12/ 16/ 24
Drawn	A.G.H
Date	10/ 28/ 24

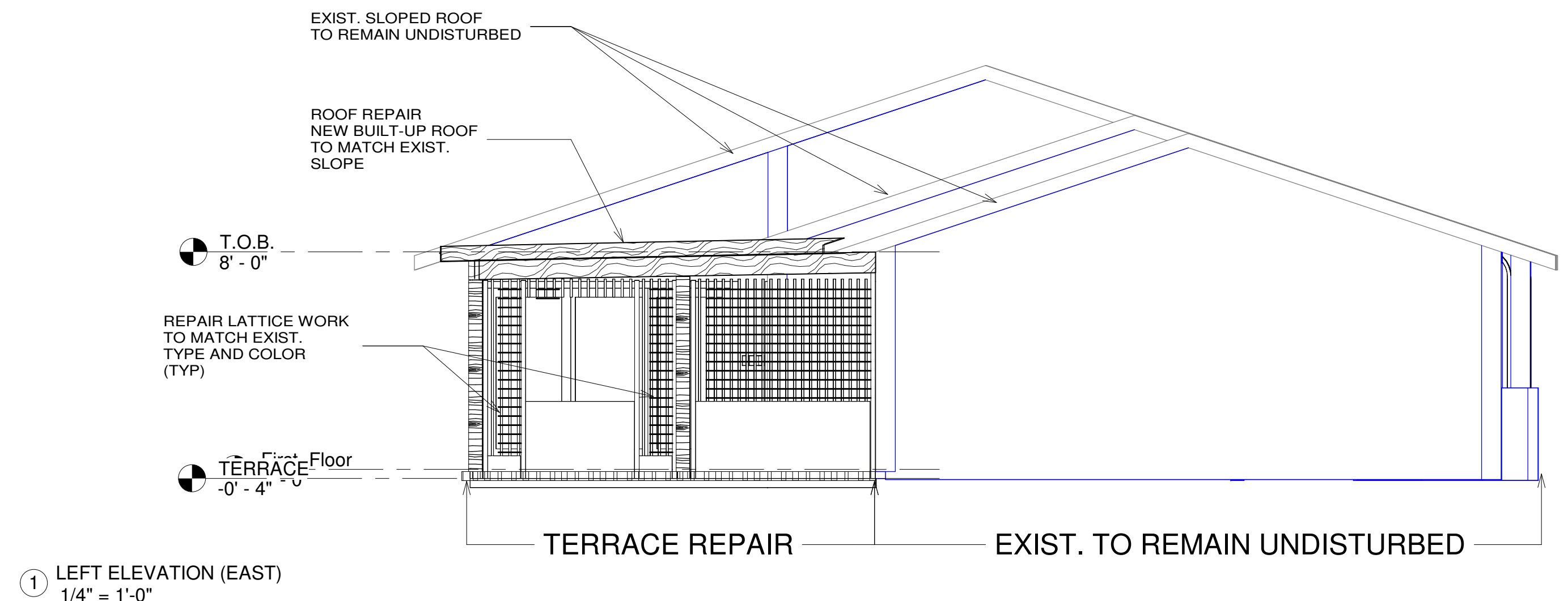
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REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480



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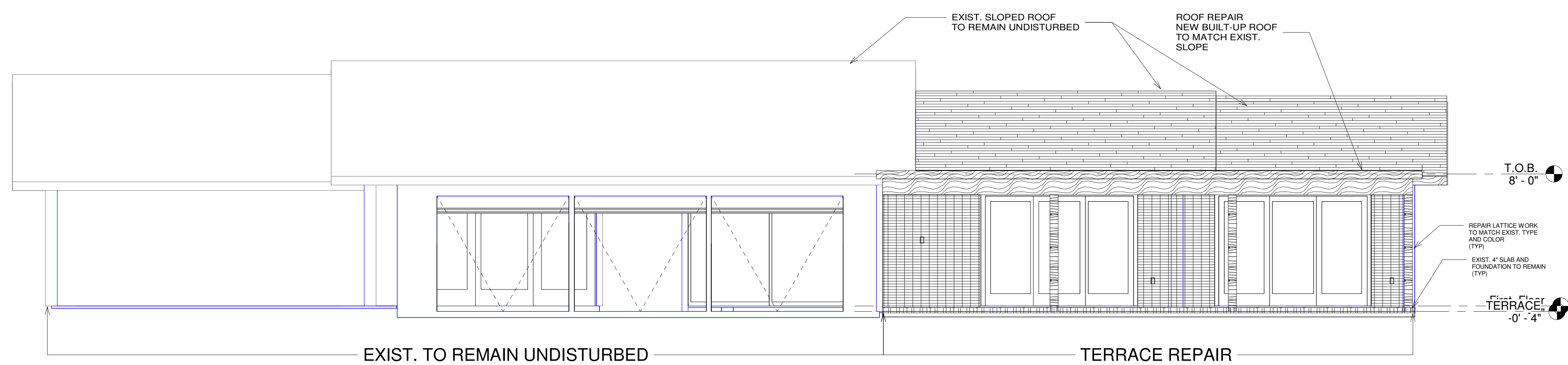




① LEFT ELEVATION (EAST)  
1/4" = 1'-0"

FLORIDA BUILDING CODE 160 MPH 3 SECOND WIND VELOCITY,  
IMPORTANCE FACTOR = 1.0  
OPEN

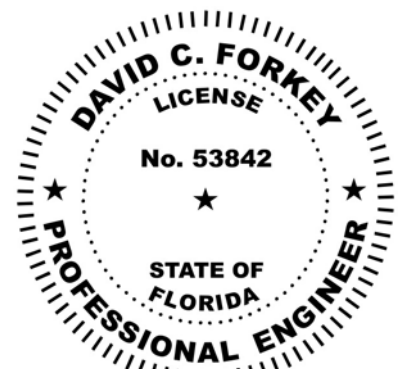
DESIGN WIND PRESSURES	
ROOF	WINDOWS & DOORS (WORSE CASE ALL OPENINGS)
FIELD (ZONE 1) -63.5 PSF	+ 37.9 PSF
3' EDGE (ZONE 2a) -82.7 PSF	- 50.7 PSF
3'x3' CORNERS (ZONE 2a, 3a) -89.2 PSF	



② REAR ELEVATION (SOUTH)  
1/4" = 1'-0"

PROPOSED REAR AND LEFT ELEVATIONS

David C. Forkey  
Digitally signed by David C. Forkey  
Date: 2024.11.20 12:40:22 -05'00'



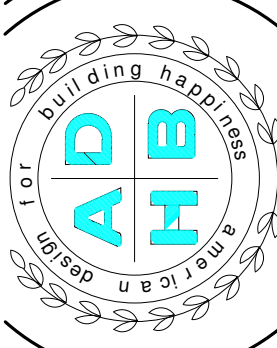
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REVISION	
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Drawn A.G.H.  
Date 10/28/24

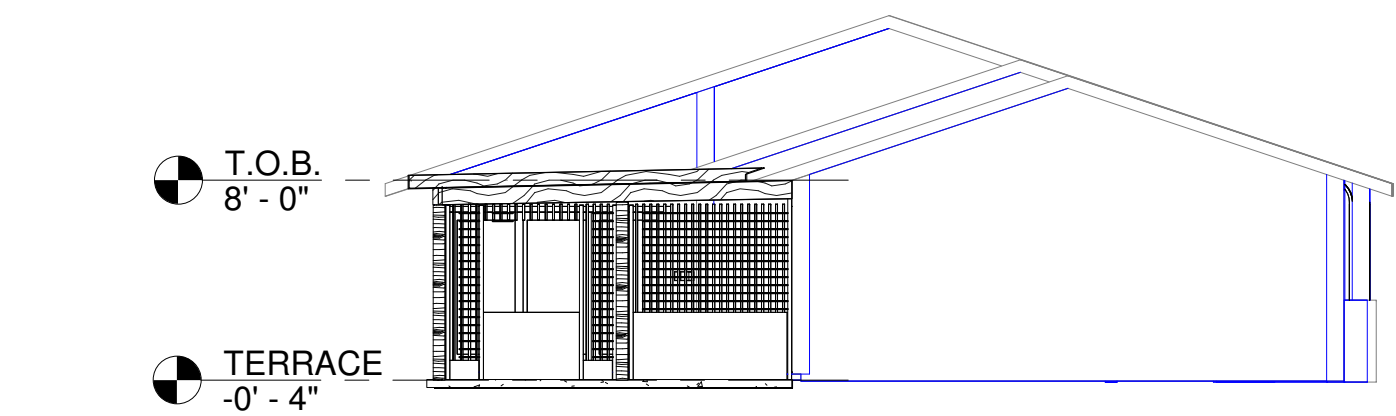
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REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

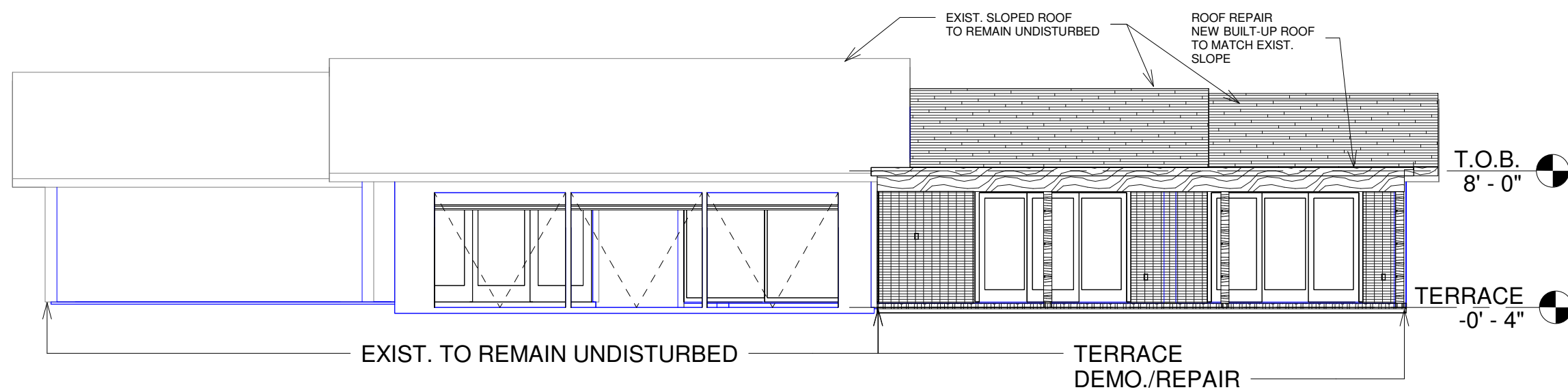


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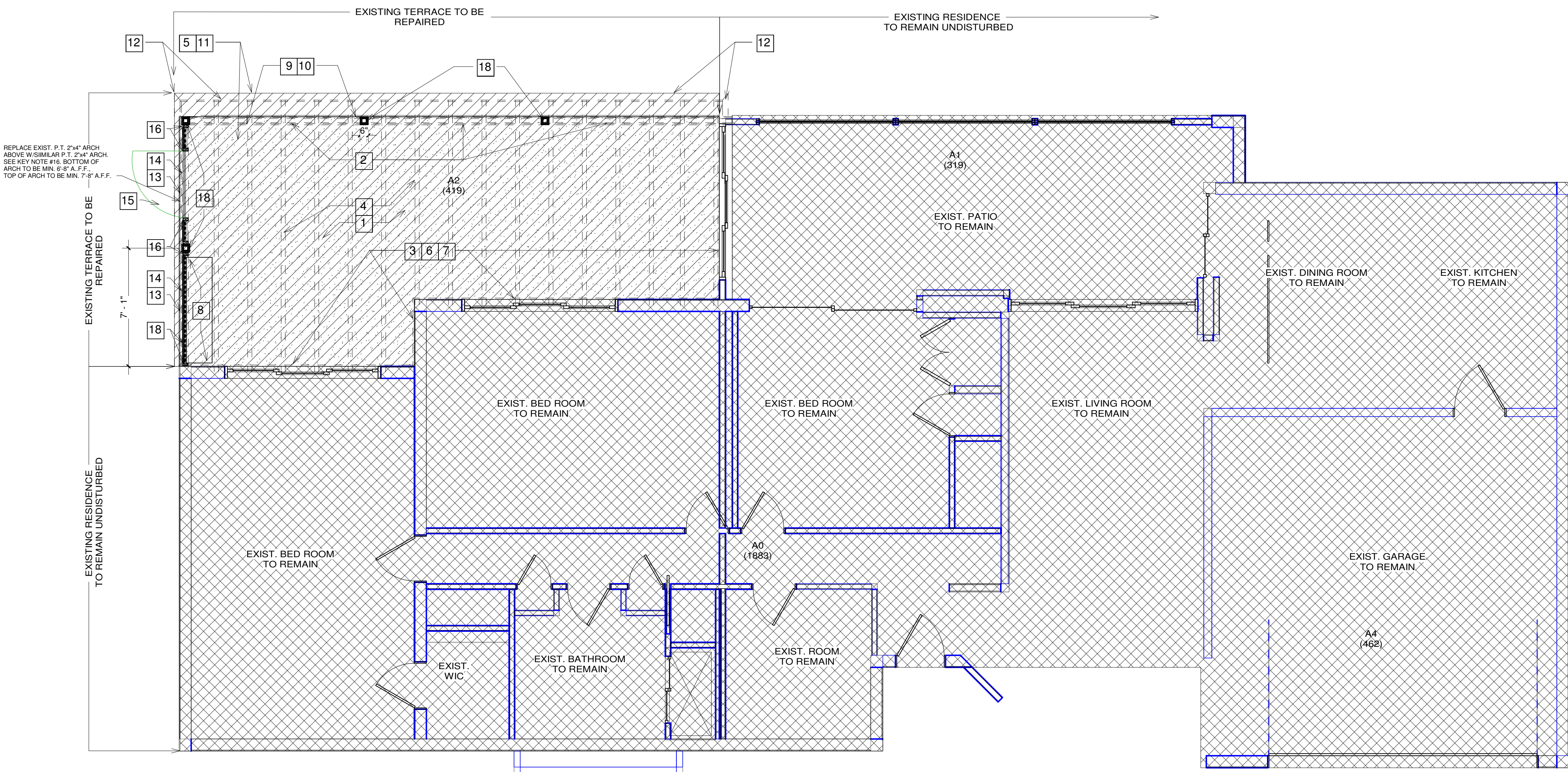




2 LEFT ELEVATION (EAST) demo  
1/8" = 1'-0"



3 REAR ELEVATION(SOUTH)demo  
1/8" = 1'-0"



REPLACE EXIST. P.T. 2"x4" ARCH.  
ABOVE W/SIMILAR P.T. 2"x4" ARCH.  
SEE KEY NOTE #16. BOTTOM OF  
ARCH TO BE MIN. 6" A.F.F.  
TOP OF ARCH TO BE MIN. 7'-8" A.F.F.

EXISTING TERRACE TO BE  
REPAIRED

EXISTING RESIDENCE  
TO REMAIN UNDISTURBED

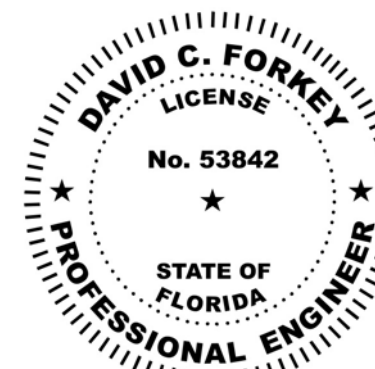
### PROPOSED EXIST./DEMO FLOOR PLAN

1 PROPOSED DEMO FLOOR PLAN  
1/4" = 1'-0"

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Forkey

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signed by  
David C Forkey  
Date:  
2024.11.20  
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-05'00"



### HATCH LEGEND

REMOVE/REPALCE DAMAGED ROOF COMPONENTS TERRACE STRUCTURE		APPROX. 459 SF
EXISTING HOUSE TO REMAIN UNDISTURBED		

### NOTES:

1. REMOVE EXISTING TERRACE ROOF,  
POSTS AND LATTICES WOOD.
2. EXISTING FOUNDATION AND SLAB  
TO REMAIN

### GENERAL DEMOLITION NOTES:

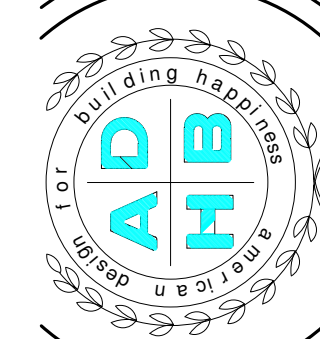
- A. PROTECT ALL EXISTING AREAS AS WELL AS ALL NEW  
AND EXISTING MATERIALS FROM NEW CONSTRUCTION  
(DUST, DAMAGE, ETC.)
- B. ALL TRADES TO CLEAN UP THE JOBSITE DAILY OF ALL  
DEMOLISHED TRASH.
- C. COORDINATE WITH BUILDING MANAGEMENT ON WORKS  
TO BE PERFORMED, OBTAIN ALL NECESSARY  
APPROVALS AND/OR PERMITS BEFORE COMMENCING  
WITH WORK.
- D. ANY DAMAGE OCCURRING DURING DEMOLITION IS  
TO BE FIXED OR REPLACED BY THIS CONTRACTOR TO  
MATCH EXISTING.

### KEYNOTES

1. REMOVE ALL OF THE EXISTING 3"x8" P.T. WOOD RAFTERS @ 24" O.C. &  
REPLACE W/SIMILAR 3"x8" P.T. WOOD RAFTERS @ 24" O.C. ATTACHED TO  
THE EXISTING WOOD PLATE (TYP.).
2. REMOVE THE 3 EXISTING PIECES OF 3"x12" P.T. WOOD BEAMS & REPLACE  
W/ 3 SIMILAR PIECES OF 3"x12" P.T. WOOD BEAMS (SOUTHERN PINE #1).
3. REMOVE THE EXISTING PIECES OF 2"x2" P.T. DECORATIVE WOOD PIECES &  
REPLACE W/ SIMILAR PIECES OF 2"x2" P.T. DECORATIVE WOOD PIECES (TYP.).
4. REMOVE THE EXISTING TONGUE & GROOVE CEILING AT THE UNDERSIDE OF  
THE EXISTING ROOF & REPLACE W/ A SIMILAR TONGUE & GROOVE CEILING  
ATTACHED W/(2) 10D NAILS EACH SUPPORT. (TYP)
5. REMOVE THE EXISTING BUILT-UP ROOF SYSTEM & REPLACE W/ A SIMILAR  
BUILT-UP ROOF SYSTEM (TO MATCH EXISTING) ON ONE LAYER OF 90#  
MINERAL SURFACED PAPER HOT MOPPED TO ONE LAYER OF 30# ASPHALT  
FELT PAPER TIN TAGGED TO 5/8" LAPPED 5-PLY CDX EXTERIOR PLYWOOD  
SHEATHING (STAGGERED). NAILING PATTERN FOR ROOF SHEATHING SHALL BE  
8d RING SHANK NAILS OR 1 Dd COMMON NAILS @ 6" O.C. AT SUPPORTED  
EDGES & AT INTERMEDIATE SUPPORTS. PROVIDE PRODUCT CONTROL APPROVAL.
6. REMOVE THE EXISTING 1"x P.T. WOOD CLOSER PIECES & REPLACE W/  
SIMILAR PIECES OF 1"x P.T. WOOD CLOSER PIECES. (TYP)
7. REMOVE THE EXISTING PIECES OF 1"x P.T. DECORATIVE WOOD PIECES &  
REPLACE W/ SIMILAR PIECES OF 1"x P.T. DECORATIVE WOOD PIECES. (TYP)
8. REMOVE THE EXISTING DECORATIVE WOOD BENCH & REPLACE W/ A SIMILAR  
DECORATIVE WOOD BENCH.
9. REMOVE THE EXISTING PIECES OF 1"x12" P.T. DECORATIVE WOOD TRIM  
PIECES & REPLACE W/ SIMILAR PIECES OF 1"x12" P.T. DECORATIVE WOOD  
TRIM PIECES. (TYP)
10. REMOVE THE EXISTING PIECES OF 1"x2" P.T. DECORATIVE WOOD TRIM PIECES  
& REPLACE W/ SIMILAR PIECES OF 1"x2" P.T. DECORATIVE WOOD TRIM  
PIECES. (TYP)
11. REMOVE THE EXISTING PIECES OF 1"x10" P.T. WOOD FASCIA & REPLACE W/  
SIMILAR PIECES OF 1"x10" P.T. WOOD FASCIA PIECES ANCHORED W/ (2) 16d  
NAILS EACH END. (TYP)
12. REMOVE THE EXISTING WHITE 4" WIDE CONTINUOUS ALUMINUM GUTTER &  
DOWNSPOUT & REPLACE THEM W/ SIMILAR WHITE 4" WIDE CONTINUOUS  
ALUMINUM GUTTER & DOWNSPOUT.
13. REMOVE THE EXISTING 1"x2" P.T. HORIZONTAL DECORATIVE WOOD LATTICE PIECES  
@ 3.5" O.C. & REPLACE W/ SIMILAR 1"x2" P.T. HORIZONTAL DECORATIVE WOOD  
LATTICE PIECES @ 3.5" O.C. ATTACHED W/ (2) 16d NAILS EACH END. (TYP)
14. REMOVE THE EXISTING 1"x2" P.T. VERTICAL DECORATIVE WOOD LATTICE PIECES @  
3.5" O.C. & REPLACE W/ SIMILAR 1"x2" P.T. HORIZONTAL DECORATIVE WOOD  
LATTICE PIECES @ 3.5" O.C. ATTACHED W/ (2) 16d NAILS EACH END. (TYP)
15. REMOVE THE EXISTING DECORATIVE 36" WIDE x 36" HIGH WOOD DOOR &  
REPLACE W/ A SIMILAR DECORATIVE 36" WIDE x 36" HIGH WOOD DOOR.
16. REMOVE THE EXISTING 2"x4" P.T. WOOD LATTICE FRAME PIECES & REPLACE  
W/ SIMILAR 2"x4" P.T. WOOD LATTICE FRAME PIECES. (TYP)
17. REMOVE THE EXISTING 1"x P.T. DECORATIVE WOOD TRIM PIECES AROUND THE  
EXISTING COLUMNS & REPLACE W/ SIMILAR 1"x P.T. DECORATIVE WOOD TRIM  
PIECES (TYP.).
18. EXISTING STEEL HSS 3"x3"x1/4" COLUMN TO REMAIN. (TYP)
19. REPLACE THE EXIST. 1"x2" P.T. NAILER W/ A SIMILAR 1"x2" P.T. NAILER. (TYP)
20. REPLACE THE EXIST. PRIMED AND PAINTED GALVANIZED METAL DRIP EDGE W/  
A SIMILAR PRIMED AND PAINTED GALVANIZED METAL DRIP EDGE. (TYP)
21. REMOVE THE 2 EXISTING PIECES OF 3"x12" P.T. WOOD BEAMS & REPLACE  
W/ 2 SIMILAR PIECES OF 3"x12" P.T. WOOD BEAMS (SOUTHERN PINE #1).

**A & F ENGINEERING, INC.**

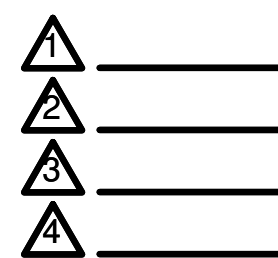
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136 REEF ROAD  
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Building Code.  
David C. Forkey, P.E.  
FL License No. 53842

### REVISION



Drawn A.G.H  
Date 10/28/24

DRAWING

A003



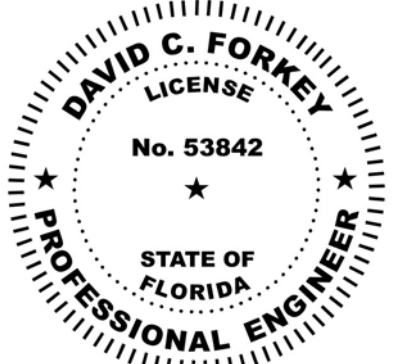
# A & F ENGINEERING, INC.





STREETSCAPE PHOTOS

David C Forkey  
Digitally signed by David C Forkey  
Date: 2024.11.20 12:41:39 -05'00'



A & F ENGINEERING, INC.

FL P.E. License # 53842  
General Contractor # CC1504448  
FL P.E. License # 53842  
FL Roofing Contractor # CC1325766  
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116



REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these drawings comply with the requirements of the 2023 Florida Building Code.  
David Forkey, P.E.  
FL License No. 53842

REVISION	
1	
2	
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4	

Drawn A.G.H.  
Date 10/ 28/ 24

DRAWING  
A005





230 Esplanade



236 Esplanade



251 Esplanade



245 Esplanade



211 Esplanade



1436 N. Ocean



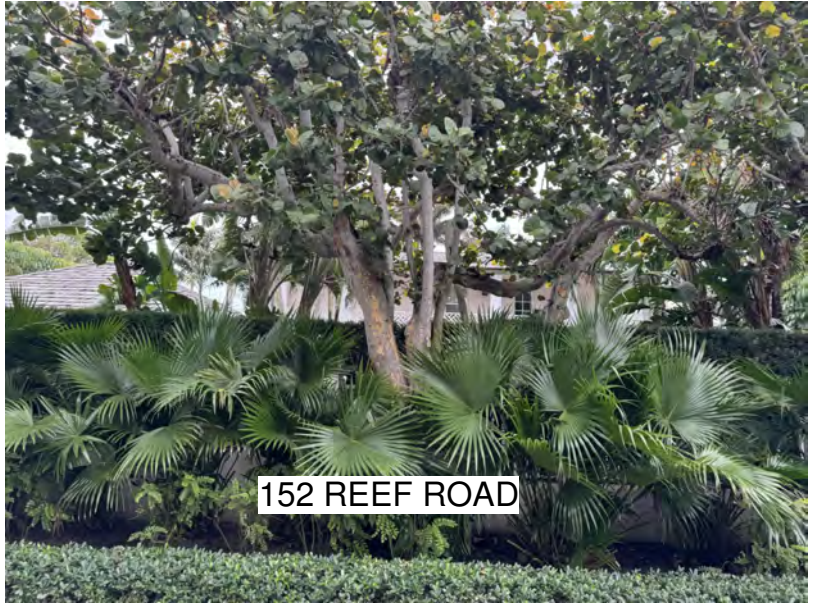
220 Esplanade



210 Esplanade



160 REEF ROAD



152 REEF ROAD



153 REEF ROAD



151 REEF ROAD



152 REEF ROAD



144 REEF ROAD



136 REEF ROAD  
SUBJECT  
PROPERTY



130 REEF ROAD



120 REEF ROAD



102 REEF ROAD



## STREETSCAPE PHOTOS

David C. Forkey  
Digitally signed by David C. Forkey  
Date: 2024.11.20 12:41:52 -05'00'



**A & F ENGINEERING, INC.**

FL P.E. License # 53842  
General Contractor # CC1504448  
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3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116

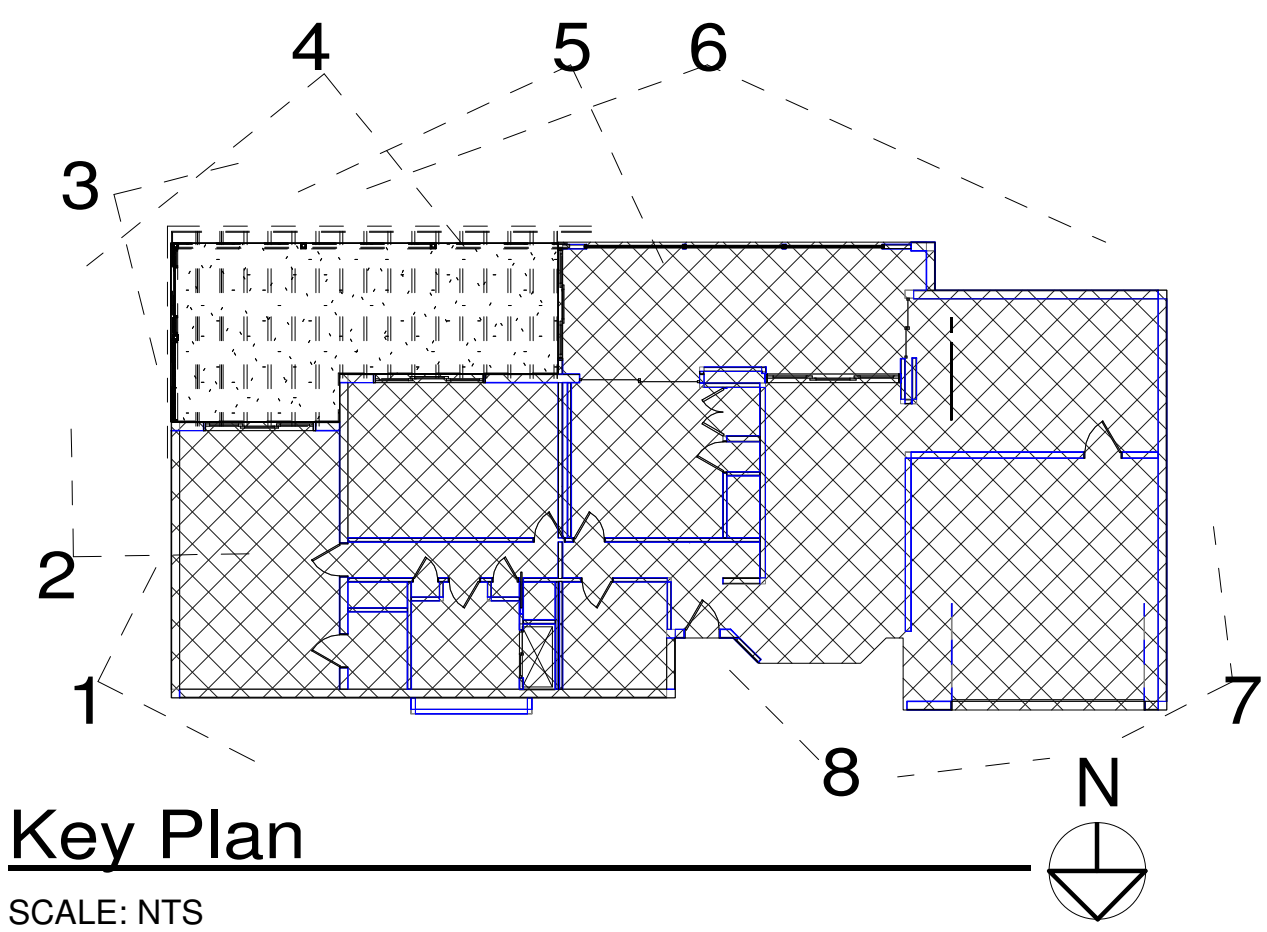
REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these drawings were prepared in accordance with the requirements of the 2023 Florida Building Code.  
David C. Forkey, P.E.  
FL License No. 53842

REVISION  
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Drawn: A.G.H.  
Date: 10/28/24

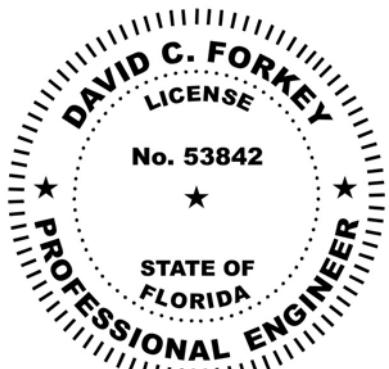
DRAWING  
**A006**





EXISTING EXTERIOR CONDITIONS PICTURES

David C Forkey  
Digitally signed  
by David C Forkey  
Date: 2024.11.20  
12:42:06 -05'00'

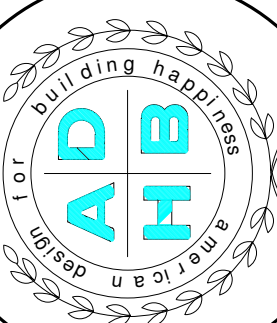


To the best of my knowledge, these drawings comply with the requirements of the 2023 Florida Building Code.  
David C. Forkey, P.E.  
FL License No. 53842

REVISION	
1	
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4	
Drawn	A.G.H
Date	10/ 28/ 24

DRAWING  
**A007**

**REPLACMENT OF TERRACE**  
**136 REEF ROAD**  
**PALM BEACH, FL 33480**



**A & F ENGINEERING, INC.**  
FL P.E. License # 53842  
General Contractor # CCC1504448  
FL License # CCC1325766  
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116



BOUNDARY SURVEY FOR:  
JOHN STEPHAN

This survey is made specifically and only for the following party for the purpose of discovery on the surveyed property.

John Stephan

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

136 Reef Road  
Palm Beach, FL 33480

LEGAL DESCRIPTION:

Lot 37, **NORTHSHORE ADDITION**, according to the Plat thereof, on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 20, Page 62.

FLOOD ZONE:

This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0393F, dated 10/05/2017.

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 1/29/2024

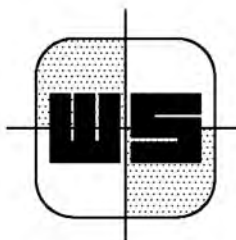
Craig L. Wallace  
Digitally signed by Craig L. Wallace  
Date: 2024.02.01 16:53:57 -05'00'



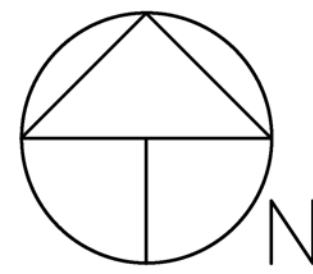
Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357  
Sheet 1 of 2

LEGEND

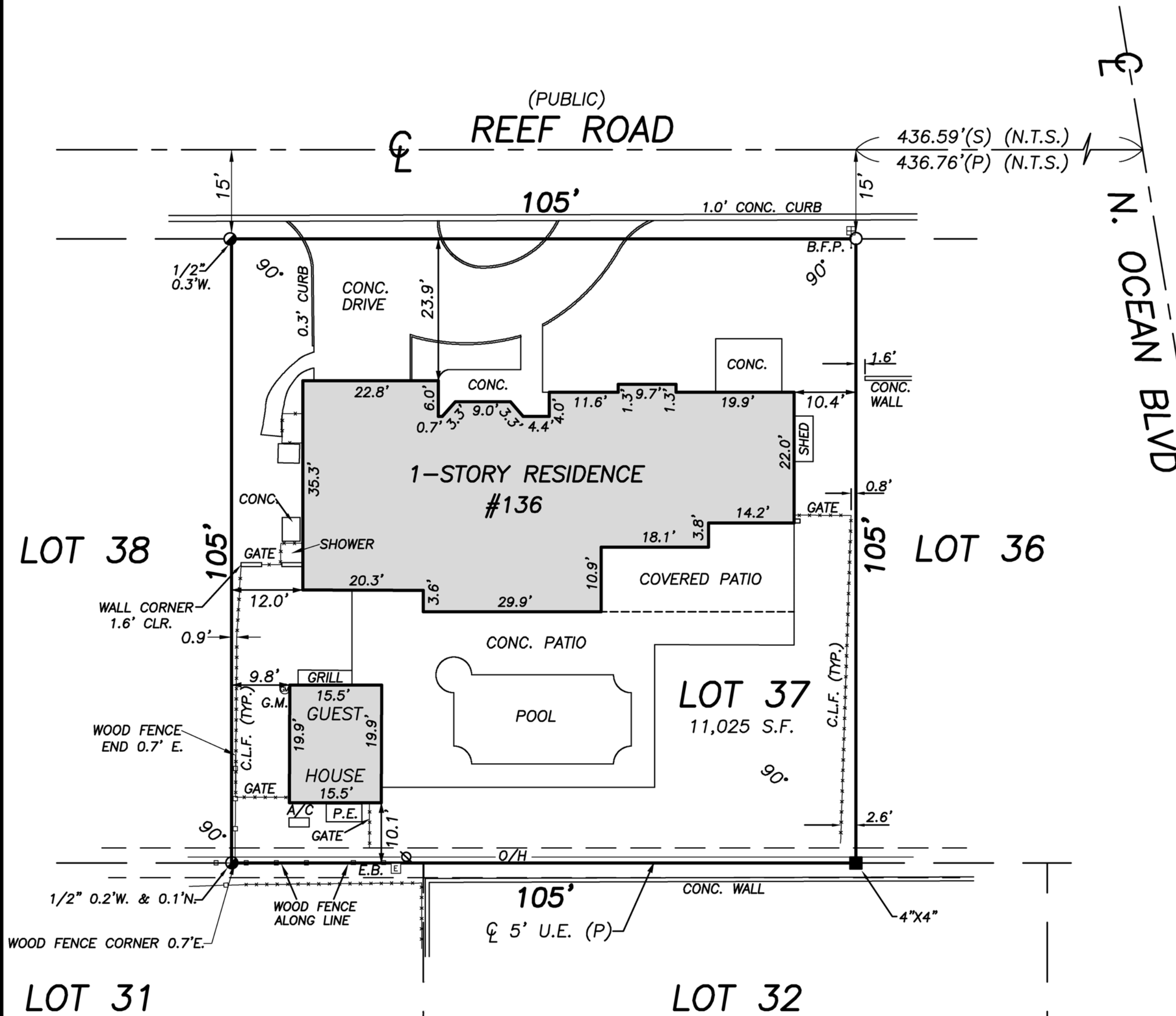
A	= ARC LENGTH	F.O.C.	= FACE OF CURB	P.O.C.	= POINT OF COMMENCEMENT	W.C.	= WITNESS CORNER
A/C	= AIR CONDITIONING	I.D.	= INSIDE DIAMETER	P.R.C.	= POINT OF REVERSE CURVATURE	W.M.E.	= WATER MANAGEMENT EASEMENT
A.E.	= ACCESS EASEMENT	INV.	= INVERT	P.R.M.	= PERMANENT REFERENCE MONUMENT	W.M.M.E.	= WATER MANAGEMENT MAINTENANCE EASEMENT
A.K.A.	= ALSO KNOWN AS	I.T.W.C.D.	= INDIAN TRAIL WATER CONTROL DISTRICT	PROP.	= PROPOSED	W.M.T.	= WATER MANAGEMENT TRACT
ASPH.	= ASPHALT	L.A.E.	= LIMITED ACCESS EASEMENT	P.T.	= POINT OF TANGENCY	Δ	= CENTERLINE
B.L.D.G.	= BUILDING	L.B.	= LICENSE BOARD	P.V.M.T.	= PAVEMENT	Δ	= CENTRAL ANGLE/DELTA
B.M.	= BENCHMARK	L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT	(R)	= RADIAL	■	= CONCRETE MONUMENT FOUND (AS NOTED)
B.O.C.	= BACK OF CURB	(M)	= FIELD MEASUREMENT	R	= RADIUS	□	= CONCRETE MONUMENT SET (LB #4569)
B.O.W.	= BACK OF WALK	M.H.	= MANHOLE	RGE	= RANGE	●	= ROD & CAP FOUND (AS NOTED)
(C)	= CALCULATED	M.H.W.L.	= MEAN HIGH WATER LINE	R.P.B.	= ROAD PLAT BOOK	○	= 5/8" ROD & CAP SET (LB #4569)
C.A.T.V.	= CABLE ANTENNA TELEVISION	MIN.	= MINIMUM	R.T.W.	= RIGHT OF WAY	○	= IRON PIPE FOUND (AS NOTED)
C.B.	= CHORD BEARING	M.L.W.L.	= MEAN LOW WATER LINE	(S)	= SURVEY DATUM	○	= IRON ROD FOUND (AS NOTED)
C.B.S.	= CONCRETE BLOCK STRUCTURE	N.A.V.D.	= NORTH AMERICAN VERTICAL DATUM	S.B.	= SETBACK	○	= NAIL FOUND (AS NOTED)
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE	N.P.B.C.I.D.	= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT	SEC.	= SECTION	○	= NAIL & DISK FOUND (AS NOTED)
CH	= CHORD	N.T.S.	= NOT TO SCALE	S.I.R.W.C.D.	= SOUTH INDIAN RIVER WATER CONTROL DISTRICT	○	= MAG NAIL & DISK SET (LB #4569)
C.L.F.	= CHAIN LINK FENCE	O.A.	= OVERALL	S.R.	= STATE ROAD	○	= PROPERTY LINE
CLR.	= CLEAR	O.D.	= OUTSIDE DIAMETER	STA.	= STATION	○	= UTILITY POLE
C.M.P.	= CORRUGATED METAL PIPE	O.H.P.	= OVERHEAD UTILITY LINE	STY.	= STORY	○	= FIRE HYDRANT
CONC.	= CONCRETE	O.R.B.	= OFFICIAL RECORDS BOOK	SW	= SIDEWALK	○	= WATER METER
(D)	= DESCRIPTION DATUM	O/S	= OFFSET	T.O.B.	= TOP OF BANK	○	= WATER VALVE
D.B.	= DEED BOOK	(P)	= PLAT DATUM	T.O.C.	= TOP OF CURB	○	= LIGHT POLE
D.E.	= DRAINAGE EASEMENT	P.B.	= PLAT BOOK	TWP.	= TOWNSHIP		
D.H.	= DRILL HOLE	P.B.C.	= PALM BEACH COUNTY	TYP.	= TYPICAL		
D.W.	= DRIVEWAY	P.C.	= POINT OF CURVATURE	U/C	= UNDER CONSTRUCTION		
EL.	= ELEVATION	P.C.C.	= POINT OF COMPOUND CURVATURE	U.E.	= UTILITY EASEMENT		
ENC.	= ENCROACHMENT	P.E.	= POOL EQUIPMENT	U.R.	= UNRECORDED		
E.O.P.	= EDGE OF PAVEMENT	P.G.	= PAGE				
E.O.W.	= EDGE OF WATER	P.I.	= POINT OF INTERSECTION				
ESMT	= EASEMENT	P/O	= PART OF				
F.F.	= FINISH FLOOR	P.O.B.	= POINT OF BEGINNING				
FND.	= FOUND						



**WALLACE SURVEYING**  
CORP. LICENSED BUSINESS # 4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4551

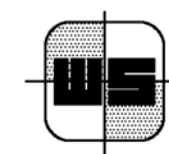


SCALE: 1"=20'



REVISIONS:

01/29/24 SURVEY AND TIE-IN UPDATE J.M./M.B. 196119 PB355/55  
06/25/20 SURVEY & TIE-IN UPDATE J.O./S.W. 03-1239.2 PB295/78

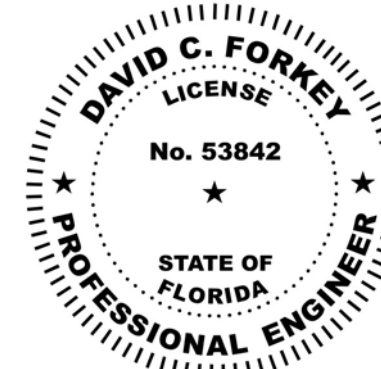


**WALLACE SURVEYING**  
CORP. LICENSED BUSINESS # 4569  
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4551

FIELD:	F.G.	JOB NO.:	03-1239	F.B. PB57	PG. 35
OFFICE:	M.B.	DATE:	09/04/03	DWG. NO.	03-1239
C/K'D:	C.W.	REF:	03-1239.DWG	SHEET	2 OF 2

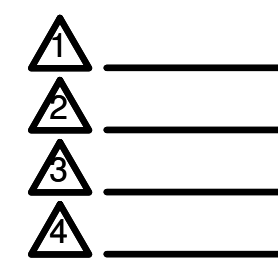
David C Forkey

Digitally signed by David C Forkey  
Date: 2024.11.20 12:42:23 -05'00'



To the best of my knowledge, these calculations and drawings conform to the requirements of the 2023 Florida Building Code.  
David C Forkey, P.E.  
FL License No. 53842

REVISION



Drawn **A.G.H**  
Date 10/28/24

DRAWING

**A008**

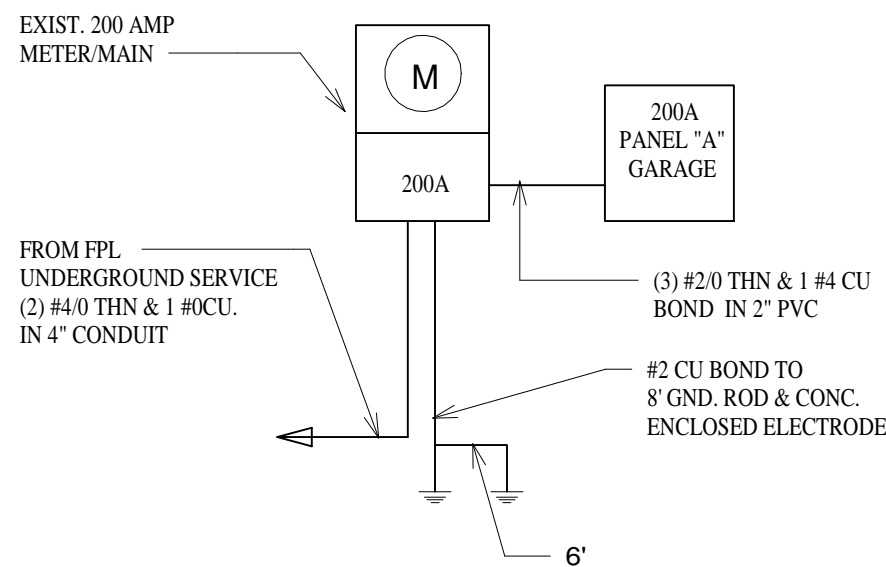
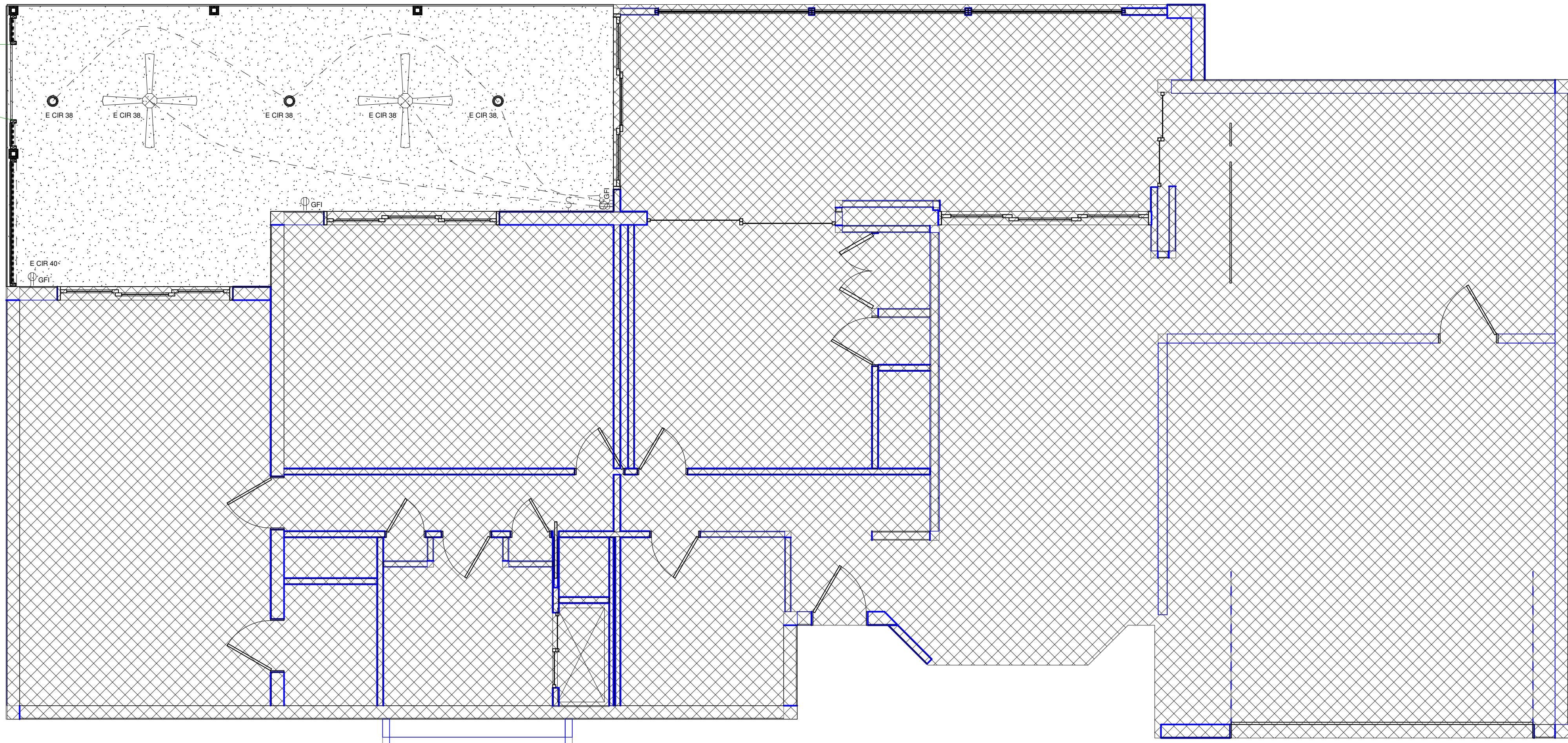
**A & F ENGINEERING, INC.**



REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

FL P.E. License # 53842  
General Contractor # CC01504448  
FL Professional Engineer # 12221  
FL Roofing Contractor # CC01925766  
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116





ELECTRICAL RISER DIAGRAM  
EXISTING 200 AMP SERVICE  
N.T.S.

PANEL A 200 AMP CAPACITY; 120-240 V. SINGLE PHASE																	
WATTS	WIRE	POLE	TRIP	DESCRIPTION		CIR	CIR	DESCRIPTION		TRIP	POLE	WIRE	WATTS				
5,000*	8	2	40	AIR HANDLER		1	2	DRYER		30	2	8	4500				
2500*	10	2	30	A-C COMPRESSOR		3	4	KITCHEN LIGHTS		15	1	14					
						5	6			20	1	12	400				
						7	8			25	1	12					
5000	6	2	40	OVEN		9	10	RANGE HOOD VENT		15	1	14	900				
						11	12	KITCHEN GFI	20	1	12	1500					
1500	12	1	20	MICROWAVE APPLIANCE		13	14	BEDROOM #3 LIGHTS		15	1	14					
				GARAGE LIGHTS		13A	14A	BEDROOM #3 OUTLETS		15	1	14					
				LIVING ROOM OUTLETS		15	16	OUTSIDE GFI		15	1	14					
				KITCHEN LIGHTS		15A	16A	BATH ROOM #1 LIGHTS		20	1	12					
400	12	1	20	DISPOSAL		17	18	DINING ROOM LIGHT		15	1	14					
500	12	1	20	REFRIGERATOR		19	20	GARAGE OUTLETS GFI		20	1	12					
400	12	1	20	DISHWASHER		21	22	COOKTOP		30	2	10	4500				
				SPARE		21A	22A	WATER HEATER		30	2	10	4500				
2500	12	2	20	POOL PUMPEQUIPMENT		23	24			20	2	10	4500				
				SPARE		23A	24A	BATH #2 GFI		20	1	12					
	12	1	20	DINING ROOM OUTLETS GFI		25A	26A	BATH #2 LIGHTS		15	1	14					
				MASTER BEDROOM LIGHTS		27	28	BATH #3 GFI		20	1	12					
				BATH ROOM #3 LIGHTS		27A	28A	LIVING ROOM LIGHTS		15	1	14					
				MASTER BATH GFIS		29	30	BEDROOM #4 OUTLETS		15	1	14					
				MASTER BEDROOM OUTLETS		31	32	SPARE									
				BATHROOM #1 GFI		33	34	SPARE									
				BEDROOM #1 LIGHTS		35	36	MASTER BATH LIGHTS		15	1	14					
				BEDROOM #1 OUTLETS		37	38	TERRACE/FAN LIGHTS		15	1	14					
				BEDROOM #2 OUTLETS		39	40	TERRACE GFI		20	1	12					
				BEDROOM #2 LIGHTS		41	42	BEDROOM #4 LIGHTS		15	1	14					
				AREA= 1,883 SF APPROX. TOTAL WATTAGE GENERAL LIGHTING= 1,883 SF x 3= 5,649 WATTS													
				5,649 ← TOTAL WATTAGE FOR SIDE A TOTAL WATTAGE FOR SIDE B → 16,300													
				TOTALS OF A&B				32,249									
				TOTAL WATTS				32,249				NON CONCURRENT LOAD *** (HAVC) GREATER OF AHU @ 65% OR AC @ 100% IS:					
FIRST 10 KW @ 100%				10,000													
REMAINDER @ 40%				12,899.6													
NON CONCURRENT LOAD				6,500													
TOTAL WATTS FROM "A":				29,399.6/240= 122.50													

ELECTRICAL SCOPE OF WORK

- REMOVE AND RE-CONNECT 2 EXISTING FAN JUCTION BOXES AND 3 EXISTING LIGHTS AT THE UNDERSIDE OF THE CEILING AND THE ELECTRICAL CONNECTIONS AFTER REPLACING THE EXISTING ROOF FRAMING MEMBERS ALL CIRCUITS ARE EXISTING AND WILL BE REUSED.

- ELECTRICAL NOTES -

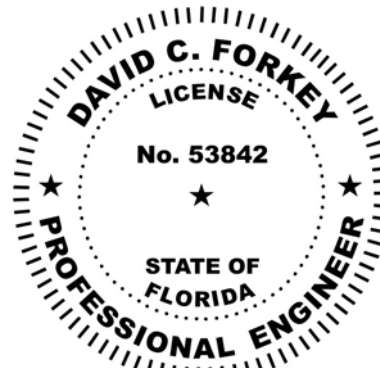
- ALL WORK TO BE PERFORMED I.A.W. LOCAL & NATIONAL CODES, RULES & ORDINANCES.
- ALL LOADING/WIRE SIZING & DESIGN TO BE DETERMINED & INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR PER CODES AS STATED IN #1.
- ALL WIRE TO BE COPPER UNLESS SPECIFIED OTHERWISE. WHERE ALUMINUM IS SPECIFIED, USE INHIBITOR COMPOUND ON ALL JOINTS & CONNECTIONS, & PROPERLY TORQUE.
- ALL 110V, 10, 15, & 20 AMP. RECEPTACLES INSTALLED OUTDOORS & IN BATHROOMS SHALL HAVE A GROUND FAULT CIRCUIT INTERRUPTER.

HATCH LEGEND

RECONSTRUCTED TERRACE	
EXIST. TO REMAIN UNDISTURBED	

David C  
Forkey

Digitally signed  
by David C  
Forkey  
Date: 2024.11.20  
12:42:35 -05'00'



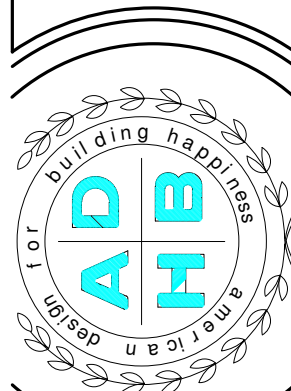
ELECTRICAL NOTES -  
ALL NEW ELECTRICAL BEING INSTALLED SHALL BE IN  
ACCORD WITH FBC 2023 8TH EDITION AND 2020 NAT  
ELECTRICAL CODE AND LOCAL JURISDICTION  
WHERE APPLICABLE

PROPOSED ELECTRICAL PLAN

1 Electrical Plan  
1/4" = 1'-0"

A & F ENGINEERING, INC.

FL P.E. License # 53842  
General Contractor # CCC1504448  
FL P.E. License # 53842  
Roofing Contractor # CCC1325766  
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Wellington, FL 33414  
Phone: (561) 790-3116



REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these  
drawings were prepared in accordance  
with the requirements of the 2023 Florida  
Building Code.  
David C. Forkey, P.E.  
FL License No. 53842

REVISION

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Drawn A.G.H  
Date 10/28/24

DRAWING

E1



GENERAL STRUCTURAL NOTES

DESIGN CRITERIA

- D1 ALL WORK SHALL CONFORM TO AT LEAST THE MINIMUM STANDARDS OF THE FLORIDA BUILDING CODE, 2023 EDITION INCLUDING SUPPLEMENTS
- D2 DESIGN LOADS PER FLORIDA BLDG. CODE, SEE SHEETS S2.2 FOR ROOF LOADS
- WIND DESIGN PER ASCE 7-22, ENCLOSED BUILDING  
I=1.0, V=160 MPH (3 SECOND GUST), qvtl=56.67 PSF  
Kd = 0.85 a=3'-0" qall=34.0 PSF  
EXPOSURE C
- D3 FOUNDATION DESIGN VALUES CERTIFICATION: THIS IS TO CERTIFY THAT THIS OFFICE HAS DETERMINED BY RATIONAL ANALYSIS AND THE FACT THAT THE SITE IS IN A "DEVELOPED SITE" AREA, THAT THE ALLOWABLE IN-PLACE BEARING CAPACITY FOR THE PROPOSED FOOTING IS 2,000 PSF.

GENERAL

- G1 THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
- G2 THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, THE WORK PERSONS, AND OTHER PEOPLE DURING CONSTRUCTION. HE SHALL SUPERVISE AND DIRECT THE WORK AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
- G3 NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN STRENGTH.
- G4 THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ANCHORED, EMBEDDED, SUPPORTED ITEMS WHICH AFFECT THE STRUCTURAL DRAWINGS AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES.

SLAB ON GRADE

- S1 UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT REFERENCED ABOVE, COMPACT INTERIOR FILL TO 95% OF MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). SOIL COMPACTION SHALL BE FIELD CONTROLLED BY REPRESENTATIVE TECHNICIAN OF QUALIFIED LABORATORY. EACH LAYER OF FILL SHALL NOT EXCEED 12" THICK AND SHALL BE COMPACTED PRIOR TO PLACEMENT OF NEXT LAYER.
- S2 MINIMUM PLACEMENT OF CONTROL JOINTS FOR NON-STRUCTURAL SLABS SHALL BE AS SET IN THE TABLE BELOW.

SLAB THK IN.	COLUMN SPACING (FT.)			
	15' OR LESS	15'-1" TO 32'-1"	32'-1" TO 48'-0"	48'-1" TO 60'-0"
4"	AT COL. GRID	AT COL. GRID & 1/2 WAY BTWN (2 EQ)	AT COL. GRID & @ 1/3 POINTS (3 EQ.)	AT COL. GRID & @ 1/4 POINTS (4 EQ.)
5"	AT COL. GRID	AT COL. GRID & 1/2 WAY BTWN (2 EQ)	AT COL. GRID & 1/2 WAY BTWN (2 EQ)	AT COL. GRID & @ 1/3 POINTS (3 EQ.)
6"	AT COL. GRID	AT COL. GRID & 1/2 WAY BTWN (2 EQ)	AT COL. GRID & 1/2 WAY BTWN (2 EQ)	AT COL. GRID & @ 1/3 POINTS (3 EQ.)

CONCRETE AND REINFORCING

- C1 CONCRETE WORK SHALL CONFORM TO ACI CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02)
- C2 ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY STRENGTH & PROPERTIES AS FOLLOWS:
- |                            |          | SLUMP | WATER/CMT |
|----------------------------|----------|-------|-----------|
| SLAB ON GRADE & FOUNDATION | 3000 PSI | 6±1"  | 0.62      |
| FILLED CELLS               | 3000 PSI | 9±1"  | 0.65      |
| ALL OTHER CONCRETE         | 3000 PSI | 5±1"  | 0.58      |
- C3 CONCRETE MIX DESIGN SUBMITTALS %UMUST%w INCLUDE THE AREA IN WHICH THE CONCRETE IS TO BE PLACED (e.g. FOUNDATIONS, SLAB-ON-GRADE, FILLED CELLS, COLUMNS, etc.). FAILURE TO DO SO WILL CAUSE DELAY AND/OR REJECTION OF SUBMITTALS.
- C4 REBARS SHALL CONFORM TO ASTM-A615 GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- C5 MINIMUM COVER FOR REINFORCING SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.
- |                | FOOTINGS | 3"        |
|----------------|----------|-----------|
| SLABS ON GRADE | 1 1/2"   | FROM TOP  |
| BEAMS          | 1 1/2"   | (ON TIES) |
| COLUMNS        | 1 1/2"   | (ON TIES) |
- C6 SPLICES AND ANCHORAGE OF REINFORCING SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED.
- |           | WELDED WIRE FABRIC | 6" |
|-----------|--------------------|----|
| ALL OTHER | 36 DIA. (12" MIN)  |    |
- C7 REINFORCEMENT IN WALLS, FOOTINGS AND BEAMS SHALL BE CONTINUOUS AND LAPPED AS SHOWN ON NOTE M11. HOOK AND LAP ALL CORNER AND INTERSECTING BARS. (SEE TYPICAL DETAILS)
- C8 TERMINATE ALL DISCONTINUED ELEVATED SLAB TOP BARS WITH A 180 DEGREE STANDARD HOOK UNLESS OTHERWISE NOTED.
- C9 CONTINUOUS TOP BARS SHALL BE SPLICED AT MIDSPAN. CONTINUOUS BOTTOM BARS SHALL BE SPLICED AT CENTER-LINE OF SUPPORTS (OR AS SHOWN ON TYPICAL DETAILS).
- C10 AT CHANGES IN DIRECTION OF CONCRETE WALLS, STRIP FOOTINGS AND GRADE BEAMS PROVIDE CORNER BARS AT SAME SIZE AND SPACING AS HORIZONTAL BARS.

MASONRY

- M1 MASONRY CONSTRUCTION SHALL CONFORM TO ACI STANDARD BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES (ACI 530-05/ASCE 5-05/TMS 402-05). SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-05 /ASCE 6-05/TMS 602-05) ASTM C476, ASTM C1019, AND NCMA TEK 107.
- M2 CONCRETE BLOCKS SHALL CONFORM TO ASTM C-90. (f'm = 2000 PSI) (2800 PSI ON THE NET AREA)
- M3 MORTAR SHALL COMPLY WITH ASTM C270, TYPE M OR S. (COMPRESSIVE STRENGTH = 2500 PSI AND 1800 PSI, RESPECTIVELY. SITE TESTED MORTAR CUBES SHALL ACHIEVE A MINIMUM OF 80% OF THE DESIGN COMPRESSIVE STRENGTH)
- M4 BLOCK SHALL NOT BE MOISTENED BEFORE GROUTING.
- M5 ALL MASONRY CROSS WEBS SHALL BE FULLY BEDDED IN MORTAR AROUND CELLS TO BE GROUTED.
- M6 THE MINIMUM CONTINUOUS UNOBSTRUCTED CELL AREA IN CELL TO RECEIVE GROUT MUST BE NOT LESS THAN 2"x3". MORTAR FINIS MUST BE REMOVED AS BLOCK PLACEMENT PROCEEDS. MORTAR DROPPINGS MUST BE KEPT OUT OF CELLS WHICH ARE TO BE GROUTED.
- M7 REINFORCE WALLS WITH LADDER TYPE (ASTM A-82, #9 GAGE WIRE) REINFORCEMENT EQUAL TO DURO-WALL IN BED JOINTS AT 16" OC UNO, MEASURED VERTICALLY PLACE PER MFR INSTR. LAP ALL HORIZONTAL JOINT REINFORCING 8", MIN.
- M8 WHERE SHOWN, CELLS OF BLOCK MASONRY SHALL BE FILLED WITH GROUT WITH MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, AND MEET ASTM C476. GROUT SHALL BE PROVIDED BY CONCRETE SUPPLIER FROM THEIR BATCH PLANT WITH A SLUMP OF 8" TO 10". JOB SITE MIXING OF GROUT SHALL NOT BE PERMITTED. TESTING SHALL CONFORM TO ASTM C1019.
- M9 GROUT FOR FILLED CELLS SHALL BE POURED OR PUMPED IN LIFTS NOT TO EXCEED EIGHT (8) FEET IN HEIGHT, AND SHALL BE CONSOLIDATED AT TIME OF POURING BY RODDING OR VIBRATING.
- M10 PROVIDE KNOCK-OUT CMU AT BASE OF EACH FILLED CELL TO ALLOW VISUAL VERIFICATION OF COMPLETE GROUT PENETRATION (FOR LIFTS OF 5'-0" OR LESS, A KNOCK-OUT AT BASE OF LIFT WILL NOT BE REQUIRED).
- M11 VERTICAL REINFORCING MUST HAVE A MINIMUM CLEARANCE OF 1/2" TO INSIDE FACE. MIN VERTICAL BAR LAP = 40 x BAR DIAMETER. VERTICAL REINFORCEMENT IN WALLS SHALL BE SECURED AND Laterally SUPPORTED AGAINST DISPLACEMENT AT INTERVALS NOT EXCEEDING 192 x BAR DIAMETER NOR 10 FT.
- M12 GROUT PLACEMENT STOPPED FOR (1) HOUR OR MORE SHOULD BE STOPPED (1 1/2") BELOW THE TOP OF THE MASONRY UNIT TO PROVIDE A KEY FOR SUBSEQUENT GROUTING.
- M13 SEE FOUNDATION PLANS FOR ALL VERT REINFORCING. TYP VERTICAL REINFORCING SIZE & SPACING SHALL BE ABOVE AND BELOW ALL WALL OPENINGS.
- M14 TEMPORARY BRACING AND SHORING OF WALLS TO PROVIDE STABILITY DURING CONSTRUCTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- M15 MASONRY CONSTRUCTION MATERIALS AND INSPECTIONS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI/ASCE 530.1)" EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE DOCUMENTS.
- M16 PROVIDE FILLED PRECAST U-LINTELS WITH (1) #5 CONT AT ALL OPENINGS WHERE CONCRETE BEAMS ARE NOT SHOWN OR NOTED. MINIMUM UNFILLED LINTEL CAPACITY = 400 lb/LF FOR SPAN INDICATED.
- M17 STOPPING AND RESUMING WORK: RACK BACK 1/2-UNIT LENGTH IN EACH COURSE. DO NOT TOOTH. CLEAN EXPOSED SURFACES OF SET MASONRY WET UNITS LIGHTLY (IF REQ'D) AND REMOVE LOOSE MAS UNITS AND MORTAR PRIOR TO LAYING FRESH MASONRY.
- M18 REINFORCE MASONRY OPENINGS GREATER THAN 1'-0" WIDE, WITH HORIZ JT REINF PLACED IN (2) HORIZ JTS APPROXIMATELY 8" APART, IMMEDIATELY ABOVE THE LINTEL AND IMMEDIATELY BELOW THE SILL. EXTEND REINFORCING A MINIMUM OF 2'-0" BEYOND JAMBS OF THE OPENING EXCEPT AT CONTROL JOINTS. SEE PLAN FOR ADDITIONAL REQUIREMENTS.
- M19 DO NOT APPLY UNIFORM LOADS TO MASONRY WALLS FOR (3) DAYS.
- M20 DO NOT APPLY CONCENTRATED LOADS TO MASONRY WALLS FOR (7) DAYS.
- M21 EXTEND ALL VERTICAL WALL REINFORCEMENT TO WITHIN 2" OF TOP OF WALL OR BEAM UNLESS NOTED OTHERWISE. TERMINATE REINFORCING WITH STANDARD ACI HOOK.
- M22 MAXIMUM CONTROL JOINT SPACING FOR CONC MASONRY UNITS.

SPACING FOR CONTROL JOINTS

3 x WALL HEIGHT = SPACING IN FT  
(NOT TO EXCEED 50'-0")

STRUCTURAL STEEL

- S1 GENERAL CONTRACTOR SHALL ENGAGE A CERTIFIED TESTING AGENCY TO PERFORM INDUSTRY STANDARD INSPECTIONS TO ENSURE CONFORMANCE WITH PLANS AND SPECIFICATIONS (IF PROVIDED). SUBMIT REPORTS TO ARCHITECT AND ENGINEER.
- S2 STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATIONS" FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS", LATEST EDITION.

- S3 STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B.
- S4 STRUCTURAL WF SHAPES SHALL BE TO ASTM A572 Fy=50KSI, UNLESS NOTED OTHERWISE. ALL OTHER SHAPES SHALL BE A992. ALL STRUCTURAL STEEL SHALL BE DOMESTICALLY PRODUCED.
- S5 BRACE AND MAINTAIN ALL STEEL IN ALIGNMENT UNTIL OTHER PARTS OF CONSTRUCTION NECESSARY FOR PERMANENT SUPPORT ARE COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TEMPORARY SHORING AS REQUIRED FOR THE STABILITY OF THE STEEL FRAME UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN COMPLETED AND BUILDING IS ENCLOSED.
- S6 ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF "THE STANDARD CODE FOR WELDING IN BUILDING CONSTRUCTION" OF THE AMERICAN WELDING SOCIETY. WELDING ELECTRODES SHALL BE E70XX-LOW HYDROGEN FOR SHIELD AND METAL ARC WELDING.
- S7 GROUT FOR COLUMN BASE PLATES AND PRESET BEARING PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT. (5000 PSI MIN)
- S8 SUBMIT SHOP DRAWINGS INDICATING ALL SHOP AND ERECTION DETAILS INCLUDING PROFILES, SIZES, SPACING AND LOCATIONS OF STRUCTURAL MEMBERS, CONNECTION ATTACHMENTS, FASTENERS, LOADS AND TOLERANCES.
- S9 ALL WELDED CONN. SHALL BE 1/4" FILLET ALL AROUND, UNO. ALL BOLTED CONN. SHALL BE 3/4"Ø A325 BOLTS, UNO.
- S10 STEEL PAN STAIRS SHALL BE DESIGNED BY THE FABRICATOR AND SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE SAME STATE AS PROJECT LOCATION. DESIGN FOR 100 PSF LIVE LOAD.
- S11 ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.

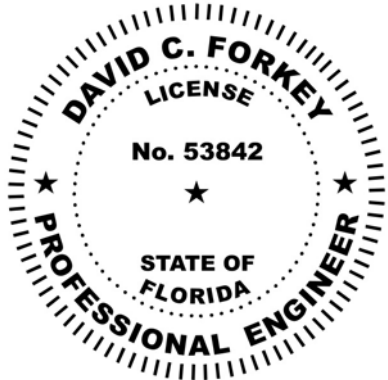
EXPANSION ANCHORS

- EA1. CARBON STEEL EXPANSION ANCHORS SHALL HAVE A ONE PIECE ANCHOR BODY WITH A LENGTH IDENTIFICATION CODE. THE ANCHORS SHALL HAVE AN EXPANSION MECHANISM WHICH CONSISTS OF A PAIR OF INTERLOCKING INDEPENDENT WEDGES. CARBON STEEL COMPONENTS SHALL BE PLATED ACCORDING TO ASTM SPECIFICATION B 683. EXPANSION ANCHORS MUST MEET THE DESCRIPTION IN FEDERAL SPECIFICATION FF-S-325 FOR CONCRETE EXPANSION ANCHORS.
- EA2. EXPANSION ANCHORS SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
- EA3. EXPANSION ANCHORS SHALL HAVE A MINIMUM ULTIMATE TENSILE AND SHEAR LOADS (LBS) AS SHOWN IN SCHEDULE BELOW:

DIA.	EMBEDMENT (IN)	f'c=3,000 psi		f'c=4,000 psi		INSTALLATION TORQUE (ft/lbs)
		TENSILE	SHEAR	TENSILE	SHEAR	
1/2"	2 1/4" 3 1/2" 6"	4925 8000 8650	7360 9200 9200	5450 9000 9500	7360 9200 9200	65
5/8"	2 3/4" 4" 7"	7000 10670 13000	11500 14200 14200	8000 12350 14000	11500 14200 14200	110
3/4"	3 1/4" 4 3/4" 8"	8700 15500 18500	8700 19200 19200	10000 18000 22000	15500 19200 19200	235
1"	4 1/2" 6" 9"	15200 22500 28750	28500 34500 34500	17500 26500 32500	30500 34500 34500	450

STRUCTURAL ABBREVIATIONS

AB	ANCHOR BOLT	MAS	MASONRY
ABV	ABOVE	MAX	MAXIMUM
A.C.I.	AMERICAN CONCRETE INSTITUTE	MBM	METAL BUILDING MFR
		MC	MOMENT CONNECTION
ADD'L	ADDITIONAL	MCJ	MASONRY CONTROL JT
AFF	ABOVE FINISH FLOOR	MECH	MECHANICAL
AGGR	AGGREGATE	MEZZ	MEZZANINE
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	MFR	MANUFACTURE(ER)
A.I.S.I.	AMERICAN IRON AND STEEL INSTITUTE	MIN	MINIMUM
AL	ALUMINUM	MO	MASONRY OPENING
ALT	ALTERNATE	MS	METAL STUD
ARCH	ARCHITECT(URAL)	MTL	METAL
A.S.T.M.	AMERICAN SOCIETY OF TESTING MATERIALS	NS	NEAR SIDE
A.W.S.	AMERICAN WELDING SOCIETY	NTS	NOT TO SCALE
		OA	OVERALL
B/	BOTTOM OF	OC	ON CENTER
BB	BOND BEAM	OD	OUTSIDE DIA.
BLDG	BUILDING	OF	OUTSIDE FACE
BLW	BELOW	OPNG	OPENING
BM	BEAM	OPP	OPPOSITE
BOT	BOTTOM	PAF	POWDER ACTUATED
BP	BASE PLATE		FASTENERS
BRDG	BRIDGING	PERP	PERPENDICULAR
BRG	BEARING	PC	PRECAST
BRK	BRICK	PL	PLATE
BS	BOTH SIDES	PLYWD	PLYWOOD
BTJ	BOLTED TIE JOIST	PNL	PANEL
BTWN	BETWEEN	PSF	POUNDS PER SQUARE FOOT
C/C	CENTER TO CENTER	PSI	POUNDS PER SQUARE INCH
CANT	CANTILEVER	PTN	PARTITION
CB	CONCRETE BEAM	R	RADIUS
CC	CONCRETE COL	REF	REFERENCE
CIP	CAST IN PLACE	REINF	REINFORCE(D) (ING)
CJ	CONSTRUCTION JOINT OR CONTROL JOINT	REQ	REQUIRED
		REQ'D	REQUIRED
CL	CENTERLINE	RF	ROOF
CLR	CLEAR(ANCE)	RTN	RETURN
CM	CONCRETE MASONRY	RW	RETAINING WALL
CMU	CONCRETE MASONRY UNIT	SCH	SCHEDULE
COL	COLUMN	SE	SLAB EDGE
CONC	CONCRETE	SECT	SECTION
CONN	CONNECTION	SHT	SHEET
CONT	CONTINUOUS	SIM	SIMILAR
CONTR	CONTRACTOR	SJ	SAWCUT JOINT
CSK	COUNTER SINK	SJI	STEEL JOIST INSTITUTE
CTR	CENTER	SL	SLOPE
CTR'D	CENTERED	SP	SPACE(S)
DIA	DIAMETER	SPECS	SPECIFICATIONS
DL	DEAD LOAD	SQ	SQUARE
DN	DOWN	SS	STAINLESS STEEL
DTL	DETAIL	STD	STANDARD
DWG	DRAWING	STL	STEEL
DWL	DOWEL	STR	STRENGTH
EA	EACH	STRL	STRUCTURAL
EE	EACH END	SW	SHEAR WALL
EF	EACH FACE	SYMM	SYMMETRICAL
EJ	EXPANSION JOINT	SYP	SOUTHERN YELLOW PINE
ENG	ENGINEER	TB	TIE BEAM
EQ	EQUAL	T&B	TOP & BOTTOM
EQ SP	EQUAL SPACE(S) (ING)	TC	TIE COLUMN
ES	EACH SIDE	TDS	TURN DOWN SLAB
EW	EACH WAY	TEMP	TEMPERATURE
EXT	EXTERIOR	THK	THICK
F/	FACE OF	THNS	THICKEN SLAB
FD	FLOOR DRAIN	TOP'G	TOPPING
FDN	FOUNDATION	TYP	TYPICAL
FIN	FINISH	T/	TOP OF
FL	FLOOR	UNO	UNLESS NOTED OTHERWISE
FLG	FLANGE	VERT	VERTICAL
FS	FAR SIDE	WF	WALL FOOTING
FT	FOOT	WO	WINDOW OPENING (MASONRY)
FTG	FOOTING	WP	WORKING POINT
GA	GAGE, GAUGE	WS	WATERSTOP
GALV	GALVANIZE	WWF	WELDED WIRE FABRIC
GB	GRADE BEAM	W/	WITH
GC	GENERAL CONTRACTOR		
GLB	GLU-LAM BEAM		
GR	GRADE		
HC	HOLLOW CORE		
HK	HOOK		
HORIZ	HORIZONTAL		
HP	HIGH POINT		
HS	HEADED STUD		
ID	INSIDE DIAMETER		
IF	INSIDE FACE		
INT	INTERIOR		
JST	JOIST		
K	KIP		
KO	KNOCK OUT		
LG	LONG		
LL	LIVE LOAD		
LLH	LONG LEG HORIZONTAL		
LLV	LONG LEG VERTICAL		
LNTL	LINTEL		
LSL	LONG SLOTTED HOLES		
LONG	LONGITUDINAL		
LP	LOW POINT		



David C Forkey

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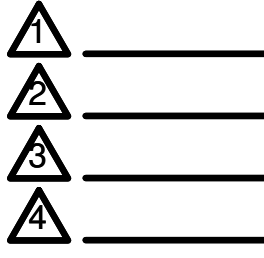
A & F ENGINEERING, INC.



REPLACMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these drawings were prepared in accordance with the requirements of the 2023 Florida Building Code.  
David C. Forkey, P.E.  
FL License No. 53842

REVISION



Drawn A.G.H  
Date 10/ 28/ 24

DRAWING

S1.0



HATCH LEGEND	
REMOVE DAMAGED WOOD COMPONENTS TERRACE STRUCTURE	
EXISTING HOUSE TO REMAIN UNDISTURBED	

### NOTES:

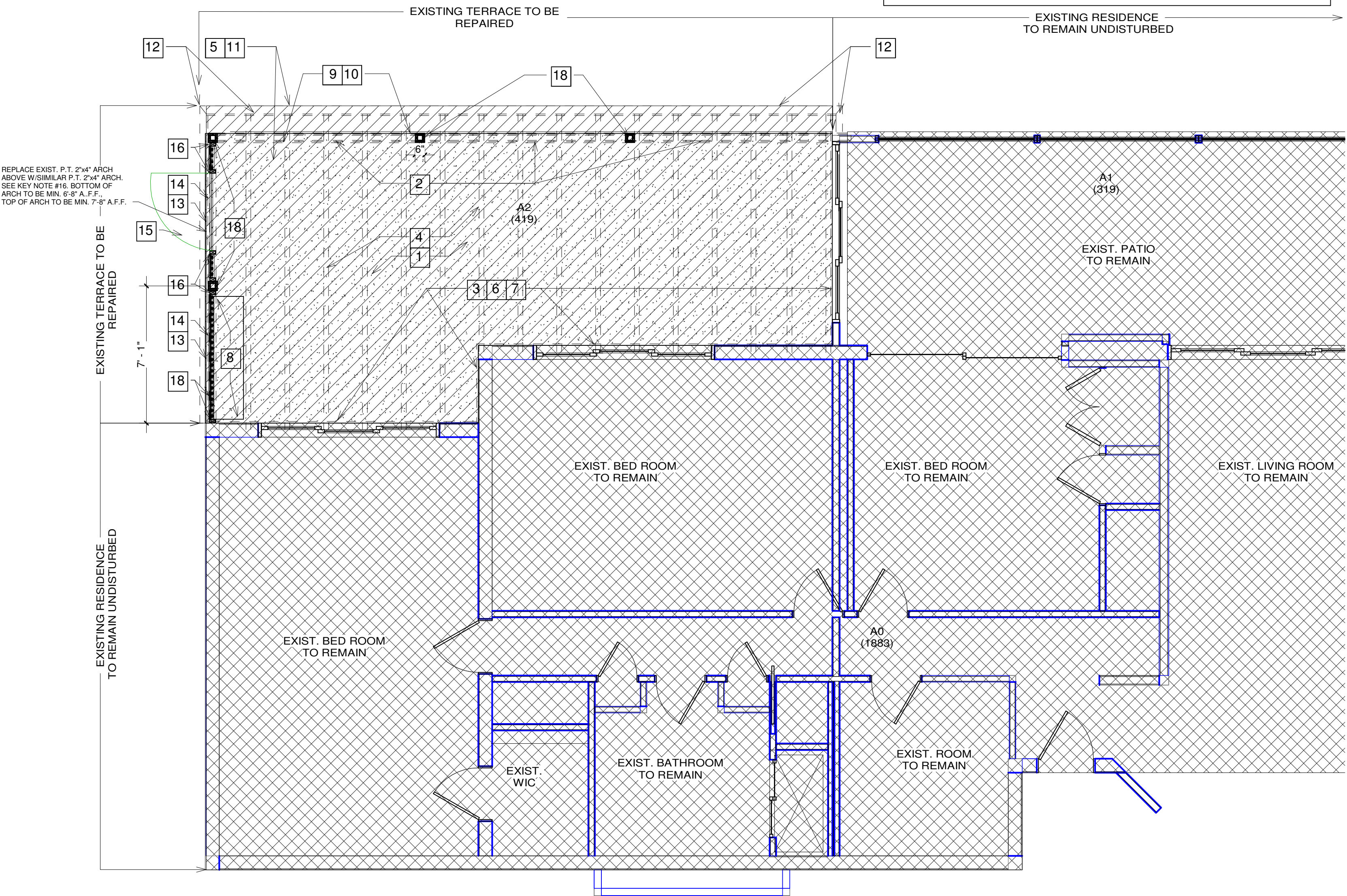
- REMOVE EXISTING TERRACE ROOF, POSTS AND LATTICES WOOD.
- EXISTING FOUNDATION AND SLAB TO REMAIN

### GENERAL DEMOLITION NOTES:

- PROTECT ALL EXISTING AREAS AS WELL AS ALL NEW AND EXISTING MATERIALS FROM NEW CONSTRUCTION (DUST, DAMAGE, ETC.)
- ALL TRADES TO CLEAN UP THE JOBSITE DAILY OF ALL DEMOLISHED TRASH.
- COORDINATE WITH BUILDING MANAGEMENT ON WORKS TO BE PERFORMED. OBTAIN ALL NECESSARY APPROVALS AND/OR PERMITS BEFORE COMMENCING WITH WORK.
- ANY DAMAGE OCCURRING DURING DEMOLITION IS TO BE FIXED OR REPLACED BY THIS CONTRACTOR TO MATCH EXISTING.

### KEYNOTES

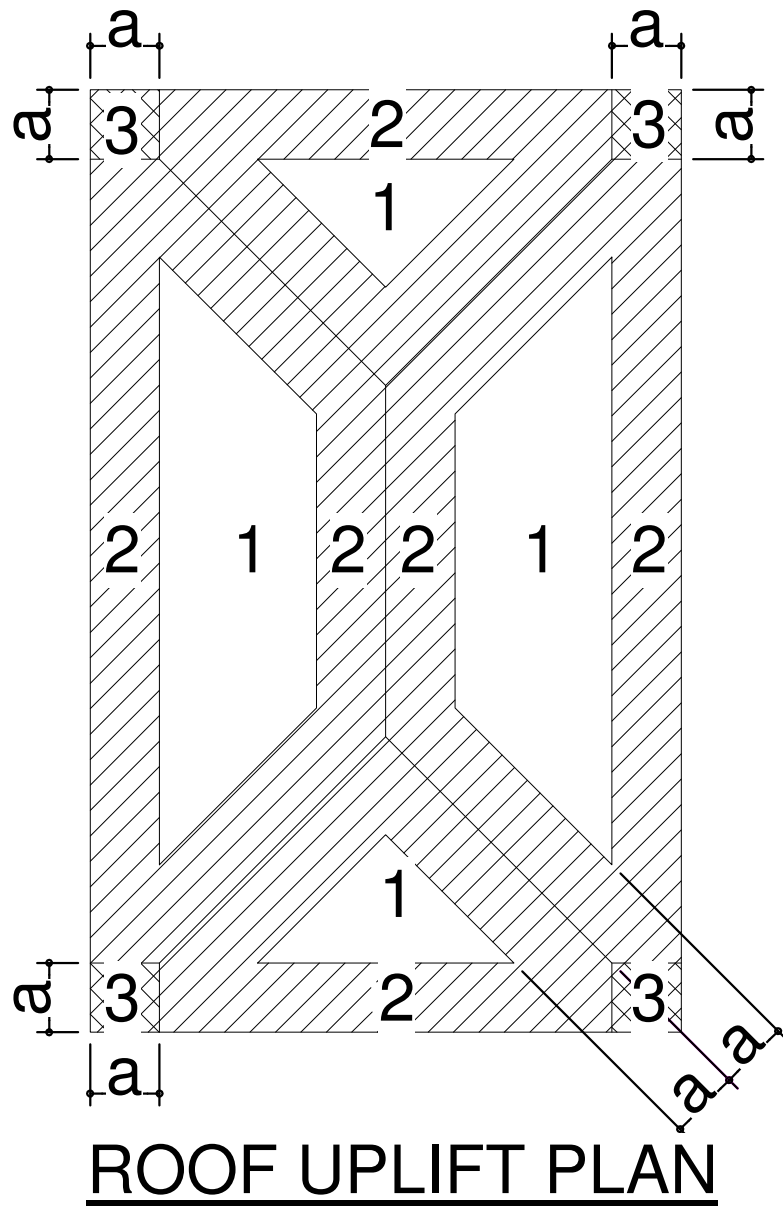
- REMOVE ALL OF THE EXISTING 3"x8" P.T. WOOD RAFTERS @ 24" O.C. & REPLACE W/ SIMILAR 3"x8" P.T. WOOD RAFTERS @ 24" O.C. ATTACHED TO THE EXISTING WOOD PLATE (TYP.).
- REMOVE THE 3 EXISTING PIECES OF 3"x12" P.T. WOOD BEAMS & REPLACE W/ 3 SIMILAR PIECES OF 3"x12" P.T. WOOD BEAMS (SOUTHERN PINE #1).
- REMOVE THE EXISTING PIECES OF 2"x2" P.T. DECORATIVE WOOD PIECES & REPLACE W/ SIMILAR PIECES OF 2"x2" P.T. DECORATIVE WOOD PIECES (TYP.).
- REMOVE THE EXISTING TONGUE & GROOVE CEILING AT THE UNDERSIDE OF THE EXISTING ROOF & REPLACE W/ A SIMILAR TONGUE & GROOVE CEILING ATTACHED W/ (2) 10D NAILS EACH SUPPORT. (TYP)
- REMOVE THE EXISTING BUILT-UP ROOF SYSTEM & REPLACE W/ A SIMILAR BUILT-UP ROOF SYSTEM (TO MATCH EXISTING) ON ONE LAYER OF 90# MINERAL SURFACED PAPER HOT MOPPED TO ONE LAYER OF 30# ASPHALT FELT PAPER TIN TAGGED TO 5/8" LAPPED 5-PLY CDX EXTERIOR PLYWOOD SHEATHING (STAGGERED). NAILING PATTERN FOR ROOF SHEATHING SHALL BE 8d RING SHANK NAILS OR 1 Dd COMMON NAILS @ 6" O.C. AT SUPPORTED EDGES & AT INTERMEDIATE SUPPORTS. PROVIDE PRODUCT CONTROL APPROVAL.
- REMOVE THE EXISTING 1" x P.T. WOOD CLOSER PIECES & REPLACE W/ SIMILAR PIECES OF 1" x P.T. WOOD CLOSER PIECES. (TYP)
- REMOVE THE EXISTING PIECES OF 1" x P.T. DECORATIVE WOOD PIECES & REPLACE W/ SIMILAR PIECES OF 1" x P.T. DECORATIVE WOOD PIECES. (TYP)
- REMOVE THE EXISTING DECORATIVE WOOD BENCH & REPLACE W/ A SIMILAR DECORATIVE WOOD BENCH.
- REMOVE THE EXISTING PIECES OF 1"x12" P.T. DECORATIVE WOOD TRIM PIECES & REPLACE W/ SIMILAR PIECES OF 1"x12" P.T. DECORATIVE WOOD TRIM PIECES. (TYP)
- REMOVE THE EXISTING PIECES OF 1"x10" P.T. DECORATIVE WOOD TRIM PIECES & REPLACE W/ SIMILAR PIECES OF 1"x10" P.T. DECORATIVE WOOD TRIM PIECES. (TYP)
- REMOVE THE EXISTING PIECES OF 1"x10" P.T. WOOD FASCIA & REPLACE W/ SIMILAR PIECES OF 1"x10" P.T. WOOD FASCIA PIECES ANCHORED W/ (2) 16d NAILS EACH END. (TYP)
- REMOVE THE EXISTING WHITE 4" WIDE CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT & REPLACE THEM W/ SIMILAR WHITE 4" WIDE CONTINUOUS ALUMINUM GUTTER & DOWNSPOUT.
- REMOVE THE EXISTING 1"x2" P.T. HORIZONTAL DECORATIVE WOOD LATTICE PIECES @ 3.5" O.C. & REPLACE W/ SIMILAR 1"x2" P.T. HORIZONTAL DECORATIVE WOOD LATTICE PIECES @ 3.5" O.C. ATTACHED W/ (2) 16d NAILS EACH END. (TYP)
- REMOVE THE EXISTING 1"x2" P.T. VERTICAL DECORATIVE WOOD LATTICE PIECES @ 3.5" O.C. & REPLACE W/ SIMILAR 1"x2" P.T. HORIZONTAL DECORATIVE WOOD LATTICE PIECES @ 3.5" O.C. ATTACHED W/ (2) 16d NAILS EACH END. (TYP)
- REMOVE THE EXISTING DECORATIVE 36" WIDE x 36" HIGH WOOD DOOR & REPLACE W/ A SIMILAR DECORATIVE 36" WIDE x 36" HIGH WOOD DOOR.
- REMOVE THE EXISTING 2"x4" P.T. WOOD LATTICE FRAME PIECES & REPLACE W/ SIMILAR 2"x4" P.T. WOOD LATTICE FRAME PIECES. (TYP)
- REMOVE THE EXISTING 1" x P.T. DECORATIVE WOOD TRIM PIECES AROUND THE EXISTING COLUMNS & REPLACE W/ SIMILAR 1" x P.T. DECORATIVE WOOD TRIM PIECES (TYP.). EXISTING STEEL HSS 3"x3"x1/4" COLUMN TO REMAIN. (TYP)
- REPLACE THE EXIST. 1"x2" P.T. NAILER W/ A SIMILAR 1"x2" P.T. NAILER. (TYP)
- REPLACE THE EXIST. PRIMED AND PAINTED GALVANIZED METAL DRIP EDGE W/ A SIMILAR PRIMED AND PAINTED GALVANIZED METAL DRIP EDGE. (TYP)
- REMOVE THE 2 EXISTING PIECES OF 3"x12" P.T. WOOD BEAMS & REPLACE W/ 2 SIMILAR PIECES OF 3"x12" P.T. WOOD BEAMS (SOUTHERN PINE #1 ).



### ROOF FRAMING NOTES:

- PLYWOOD PANELS USED AS ROOF DECKING OVER WOOD TRUSSES TO BE 5/8" APA RATED 40/20 EXPOSURE 1.
- PERMANENT BRACING SHALL CONSIST OF 2x4 HORIZONTALS SECURED TO UPSIDE OF BOTTOM CHORD. BRACING SHALL BE CONTINUOUS AS SHOWN, AND LAPPED 4'-0" AT SPLICES MAX. 6'-0" O.C.
- HORIZONTAL BRACING DENOTED THUS
- CROSS BRACING DENOTED THUS, 2x4 W/2-16d EA. END @ 20'-0" MAX. SPACING.

WOOD TRUSS DESIGN LOADS		
TOP CHORD LIVE LOAD	TOP CHORD DEAD LOAD	BOTTOM CHORD DEAD LOAD
20 PSF	20 PSF	5 PSF



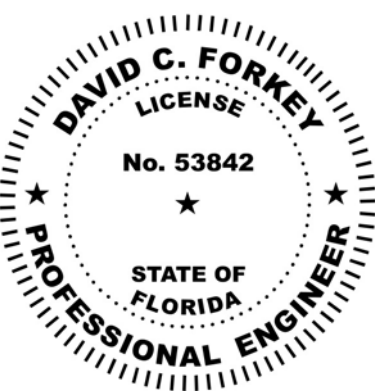
ZONE	JOIST AND GIRDERS		ROOFING	
	W/O OVERHANG	AT OVERHANG	W/O OVERHANG	AT OVERHANG
1	-31.7 PSF	NA	-34.9 PSF	NA
2	-44.6 PSF	-71.1 PSF	-60.7 PSF	-71.1 PSF
3	-73.7 PSF	-83.7 PSF	-96.1 PSF	-123.9 PSF

LOADS FOR ASCE 7-22 DESIGN PARAMETERS; a=3'-0"

### PROPOSED EXIST./DEMO FLOOR PLAN

2 PROPOSED ROOF PLAN  
1/4" = 1'-0"

David C Forkey  
Digitally signed by David C Forkey  
Date: 2024.11.20 12:43:05 -05'00'



**A & F ENGINEERING, INC.**

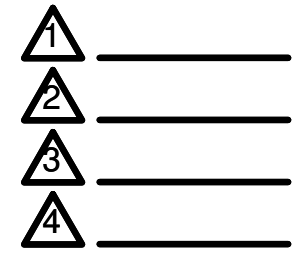
3340 Fairlane Farms Road Suite 8  
Wellington, FL 33414  
Phone: (561) 790-3116



REPLACEMENT OF TERRACE  
136 REEF ROAD  
PALM BEACH, FL 33480

To the best of my knowledge, these drawings comply with the requirements of the 2023 Florida Building Code.  
David Forkey, P.E.  
FL License No. 53842

### REVISION



Drawn A.G.H.  
Date 10/ 28/ 24

### DRAWING

S1.1





## SITE