

Scope of Work

- Proposed fence on South Property line



Private Residence  
232 Colonial Lane  
Palm Beach

F L O R I D A

Application #: ARC-24-0124  
First Submittal  
Projected Hearing Date: 01.29.2025

Sheet Index

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- Zoning Legend / Vicinity Map
- L1.0 - Existing Condition Images
  - L1.1 - Existing Photos
  - L2.0 - Site Plan
  - L3.1 - Truck Logistics Plan
- Survey

Design Team/Consultants

Landscape Architects  
ENVIRONMENT DESIGN GROUP  
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PALM BEACH, FL 33480  
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Civil Engineer  
GRUBER CONSULTING ENGINEERS  
2475 MERCER AVE  
WEST PALM BEACH, FL 33401  
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Landscape Architecture

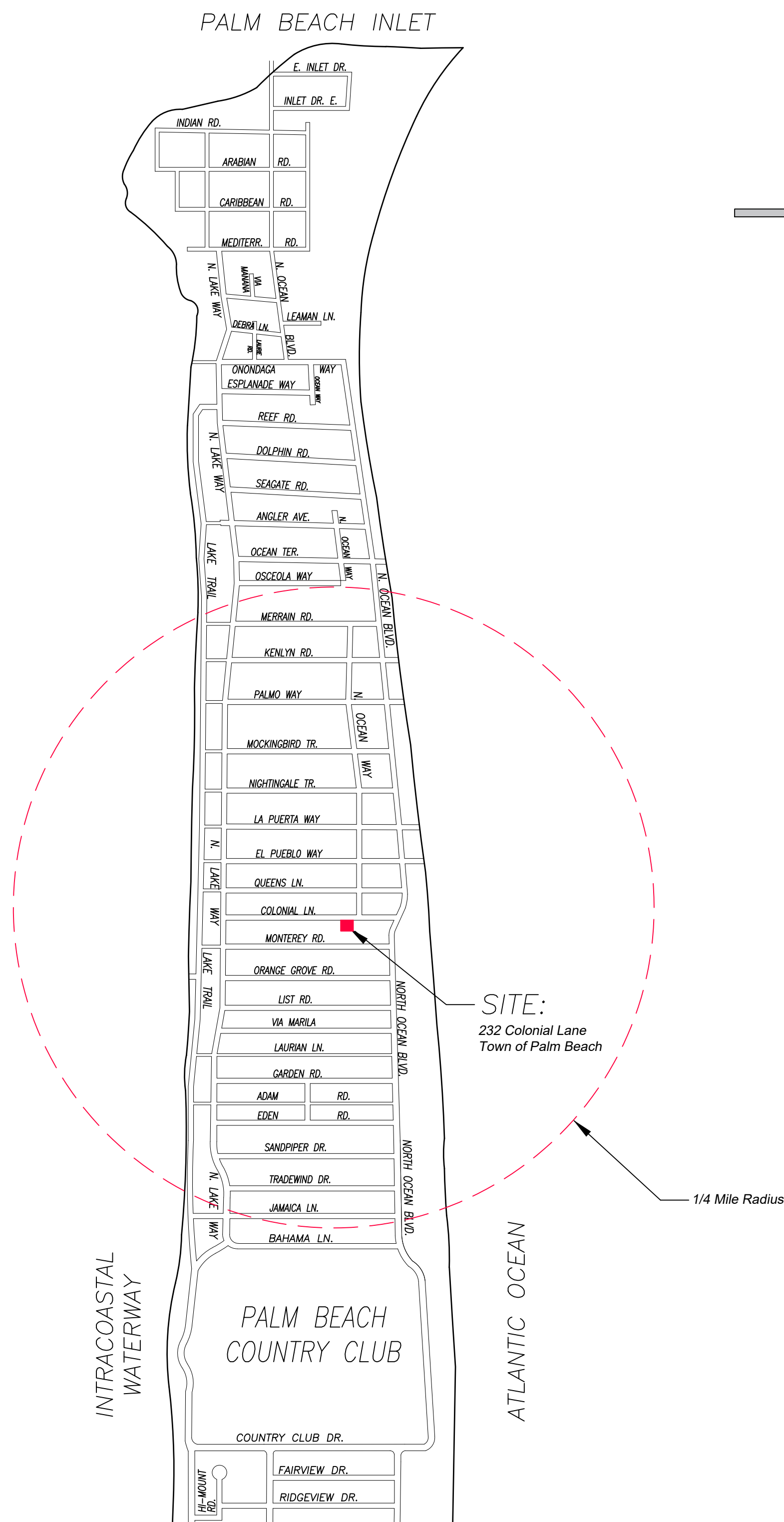
Land Planning

Landscape Management

Dustin M. Mizell, MLA RLA #666784

Dustin@environmentdesigngroup.com

Vicinity/Location Map



Private Residence  
232 Colonial Lane  
Palm Beach

F L O R I D A

Zoning Legend

Property Address:	232 Colonial Way		
Zoning District:	R-B		
Structure Type:	Single Family Residence		
	Required/Allowed	Existing	Proposed
Lot Size:	10,000 SF min.	6,150 SF	6,150 SF
Lot Depth:	FT	82'	82'
Lot Width:	FT	75'	75'%
Lot Coverage:	%	%	N/A
Front Yard Setback:	N/A	N/A	N/A
Side Yard Setback (1st story):	N/A	N/A	N/A
Side Yard Setback (2nd story):	N/A	N/A	N/A
Rear Yard Setback:	N/A	N/A	N/A
Angle of Vision:	N/A	N/A	N/A
Building Height:	N/A	N/A	N/A
Overall Building Height:	N/A	N/A	N/A
Finish Floor Elevation (FFE) (NAVD):	N/A	N/A	N/A
Zero Datum for Pt of Measurement:	N/A	N/A	NAVD
Base Flood Elevation (BFE) (NAVD)	NAVD	NAVD	SF %
Landscape Open Space (LOS):	SF %	SF %	SF %
Perimeter LOS:	SF %	SF %	SF %
Front Yard LOS:	SF %	SF %	%
Native Plant Species Percentage:	%	%	

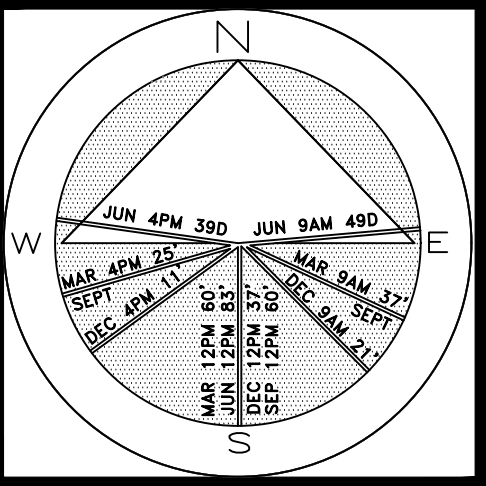
NOTES:  
PERGOLA IS PROPOSED ON EXISTING DECK.  
SITE DATA CALCULATIONS WILL NOT BE  
AFFECTED BY PROPOSED MODIFICATIONS.  
PROPOSED PERGOLA DOES NOT EXCEED 9'  
IN HEIGHT.





Private Residence  
232 Colonial Lane  
Town of Palm Beach

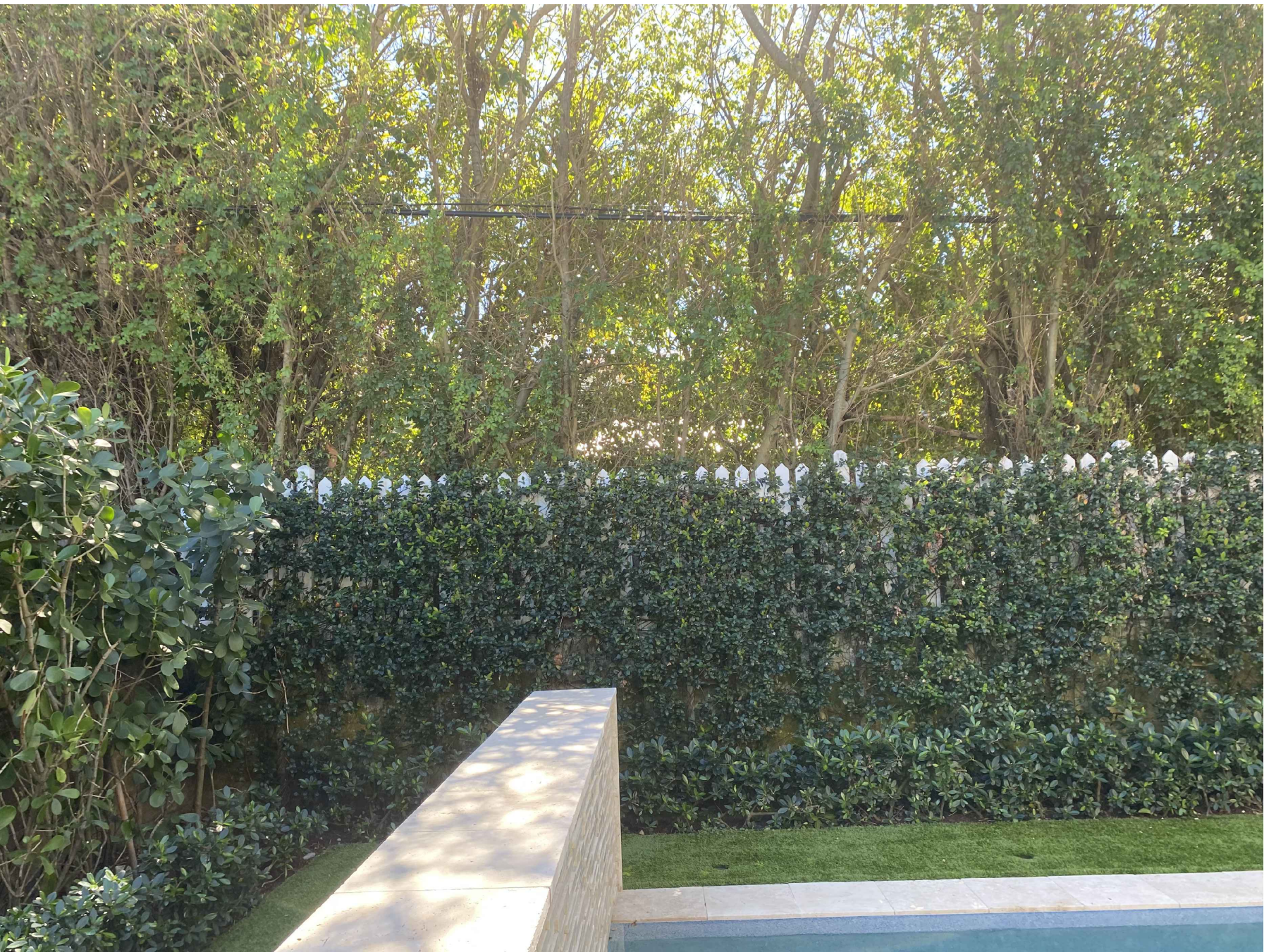
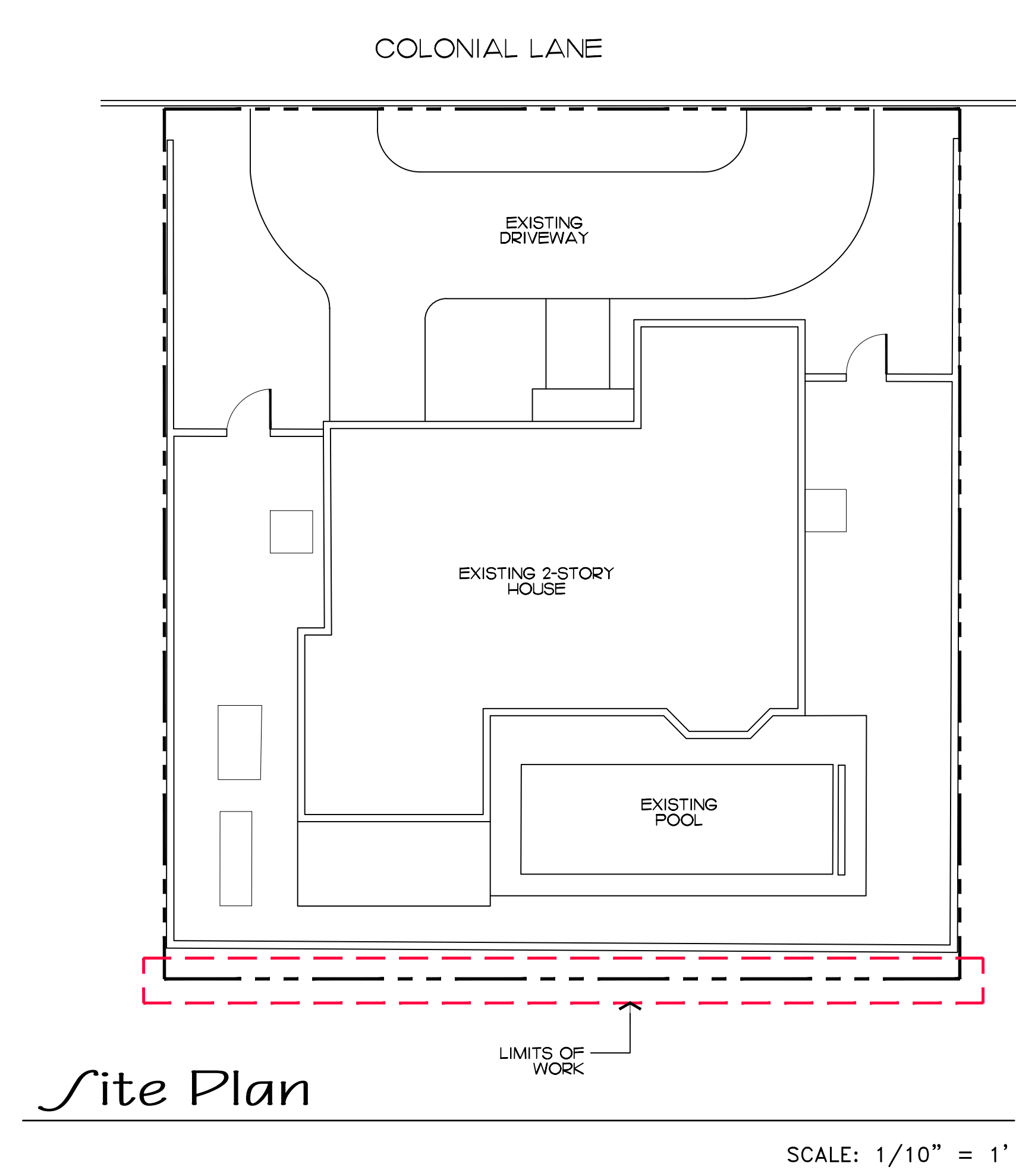
A  
D  
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F



JOB NUMBER: # 22288.00 LA  
DRAWN BY: Jean Tuomey  
Allison Padilla  
DATE: 01.23.2023  
02.27.2023  
05.08.2023  
12.12.2024

SHEET L1.0





Existing Condition Photos - Limits of Work

ENVIRONMENT  
DESIGN  
GROUP

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Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture

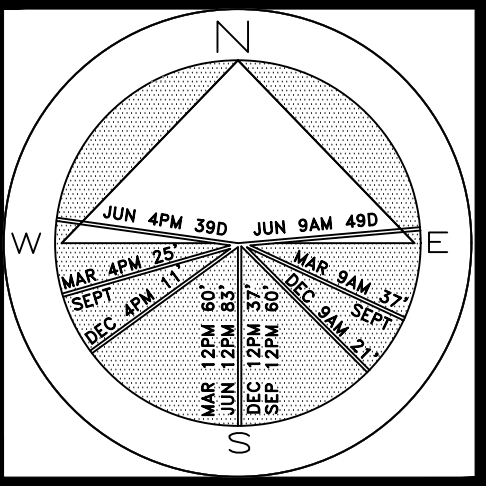
Land Planning

Landscape Management

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Private Residence  
232 Colonial Lane  
Town of Palm Beach



JOB NUMBER: # 22288.00 LA  
DRAWN BY: Sean Twomey  
DATE: 11.25.2024  
12.12.2024

SHEET L1.1

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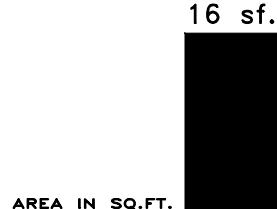
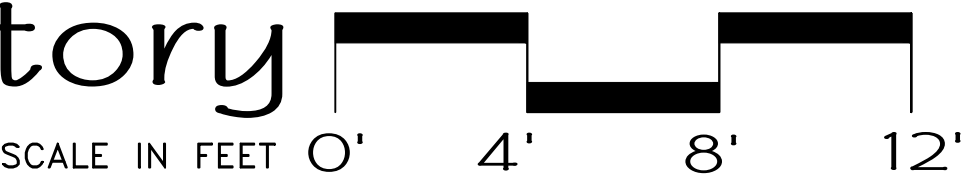
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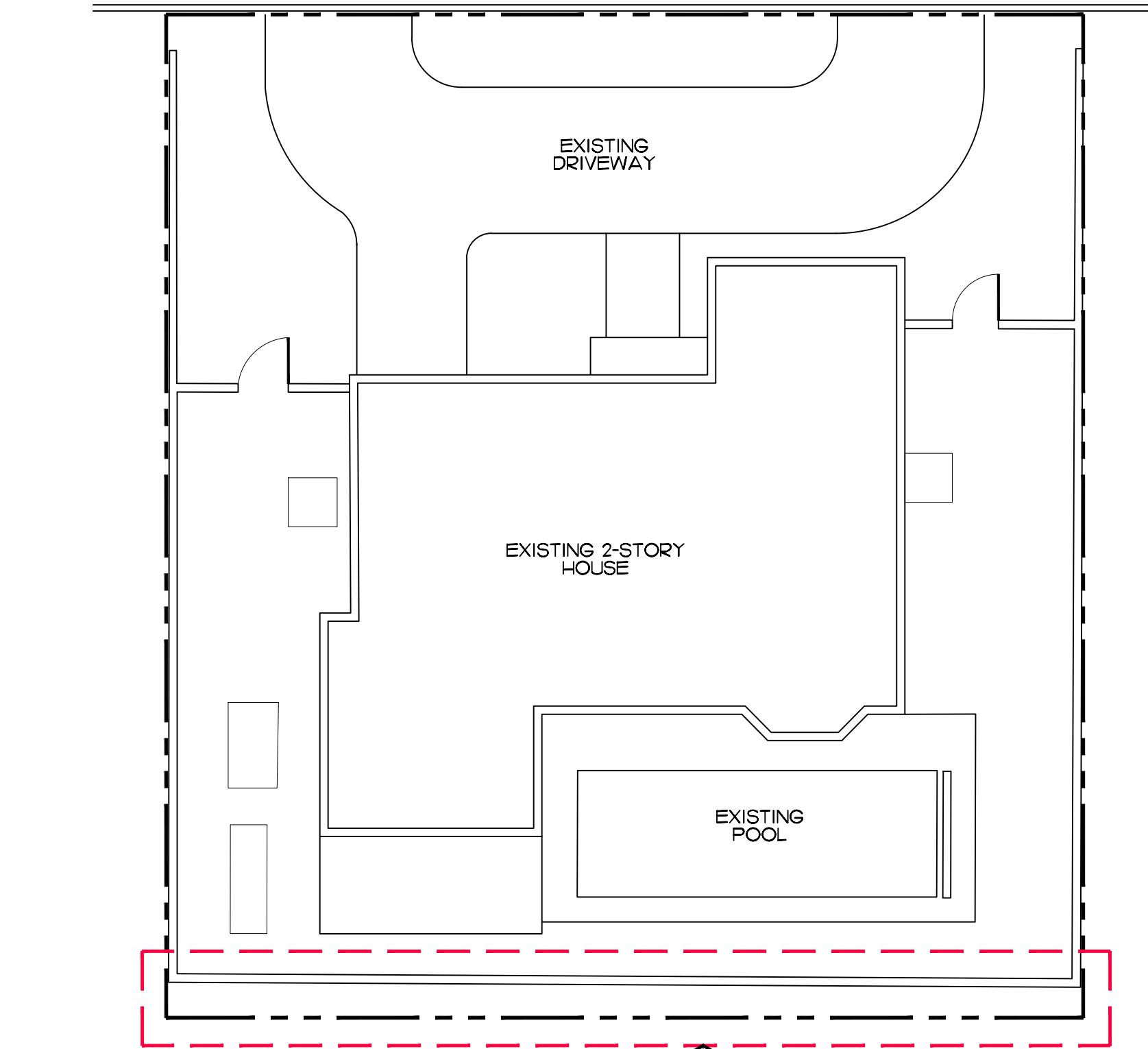
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# Existing Conditions Inventory





COLONIAL LANE

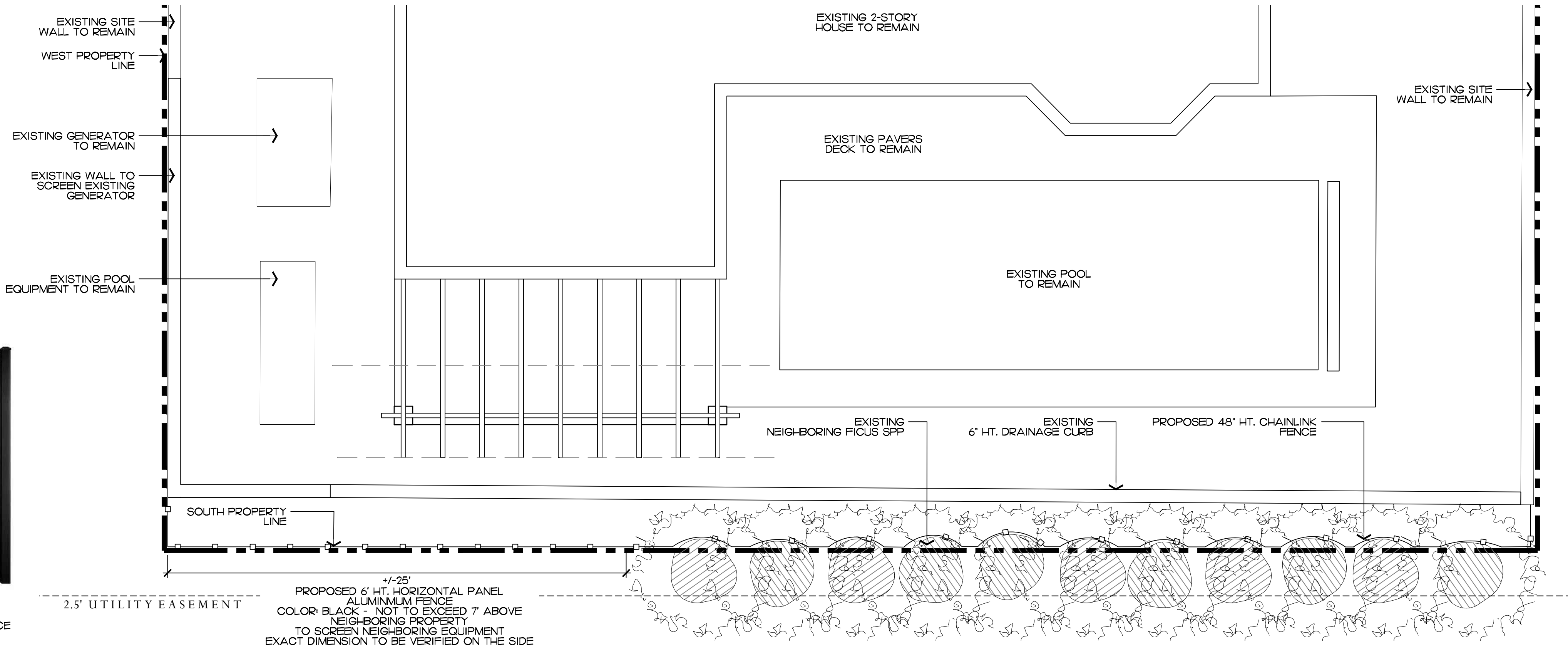


Site Plan

SCALE: 1/10" = 1'



Design Intent  
6' HT. HORIZONTAL PANEL ALUMINUM FENCE  
COLOR: BLACK  
ALT.: COLOR GREEN



NEIGH-BORING EQUIPMENT



NEIGH-BORING VEGETATION ROOT SYSTEM



NEIGH-BORING VEGETATION ROOT SYSTEM

ENVIRONMENT  
DESIGN  
GROUP

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Landscape Architecture

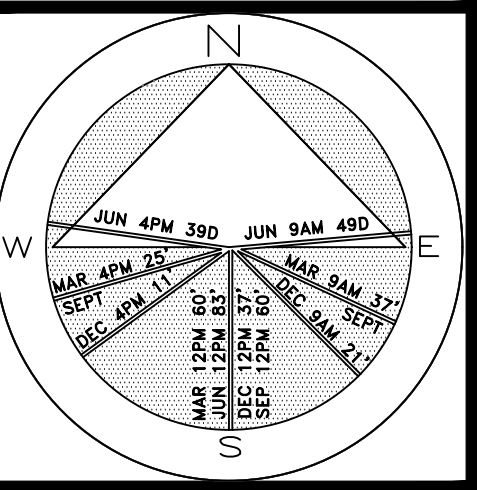
Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

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Private Residence  
232 Colonial Lane  
Town of Palm Beach



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DRAWN BY: Jean Tuomey  
DATE: 10.28.2024  
12.12.2024

SHEET L2.0

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Site Plan

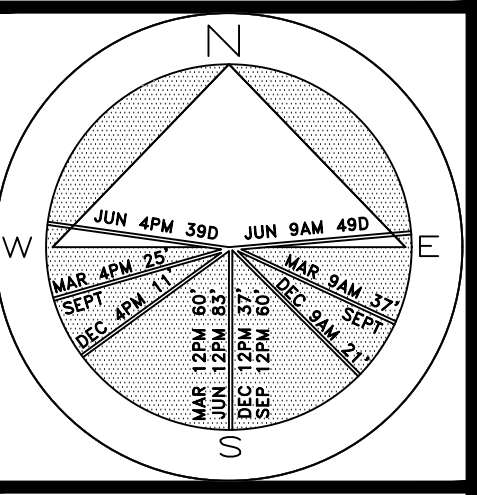
SCALE IN FEET 0' 4' 8' 12'

16 sf.

AREA IN SQ.FT.

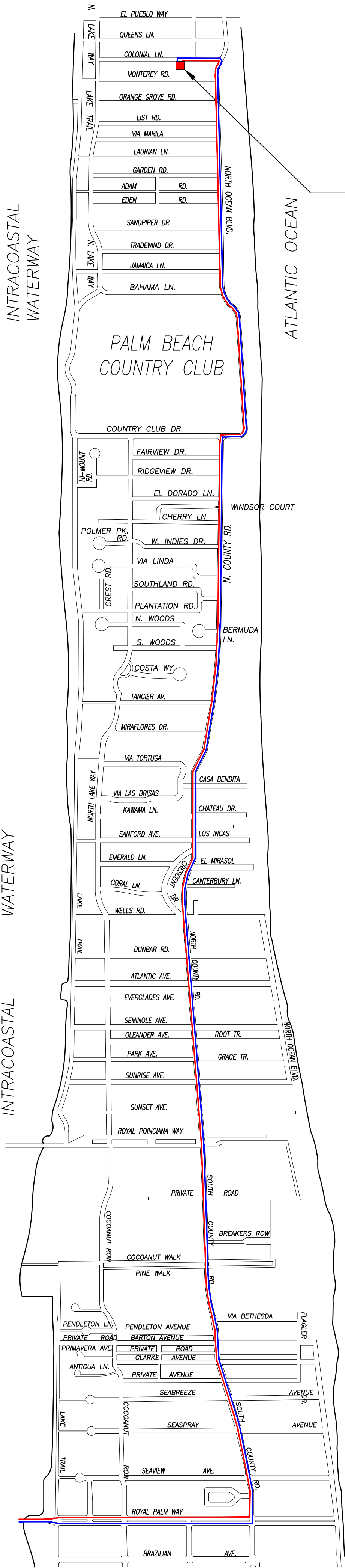


Private Residence  
232 Colonial Lane  
Town of Palm Beach



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DRAWN BY: Jean Twomey  
DATE: 01.23.2023  
02.27.2023  
05.08.2023  
12.12.2024

SHEET L3.1



SITE:  
232 Colonial Lane  
Palm Beach, FL 33480

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

MONTH 1: DEMOLITION AND INSTALLATION  
(30 DAYS)

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

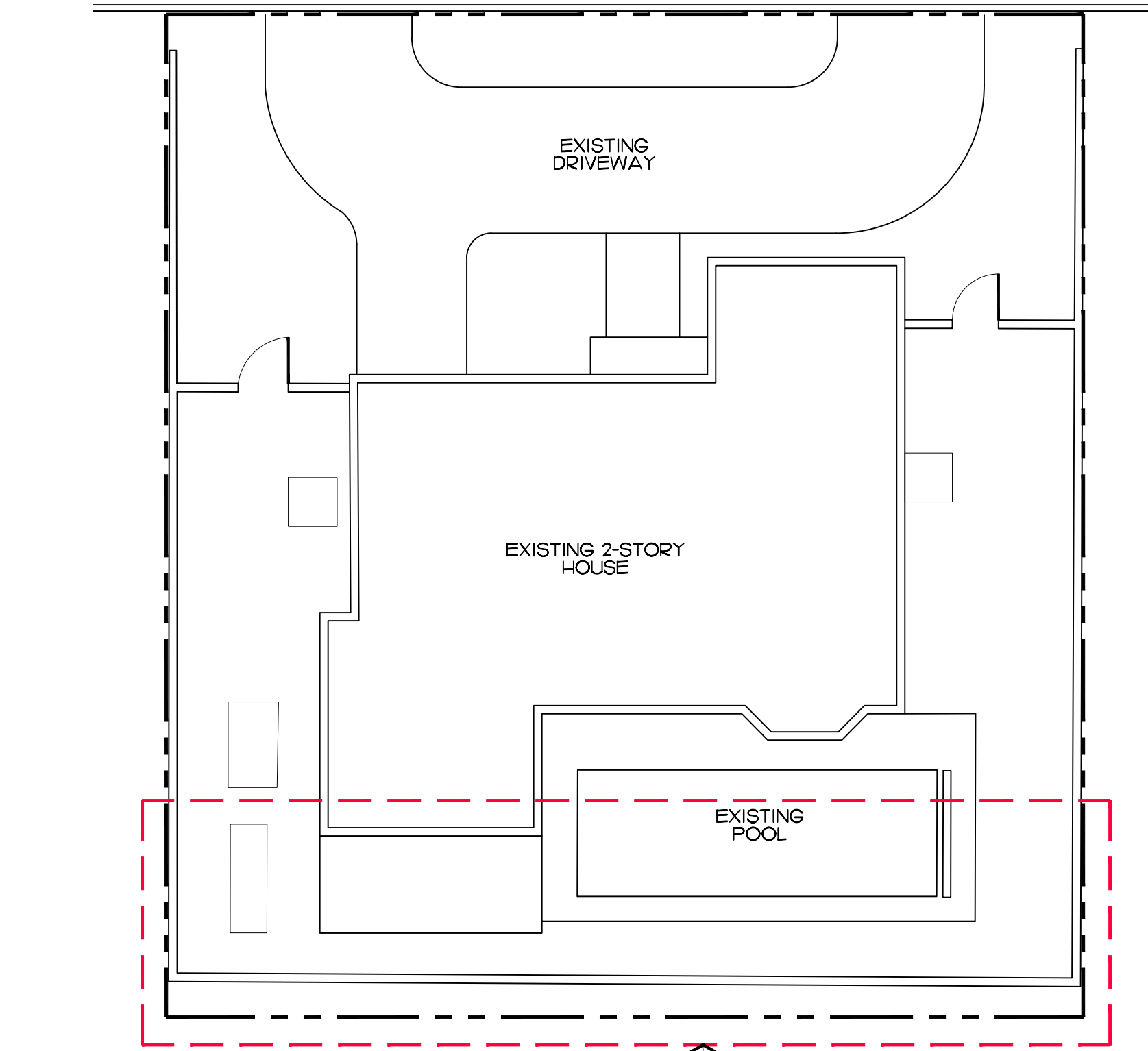
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ARC#-23-041  
Truck Logistics Plan

NOT TO SCALE

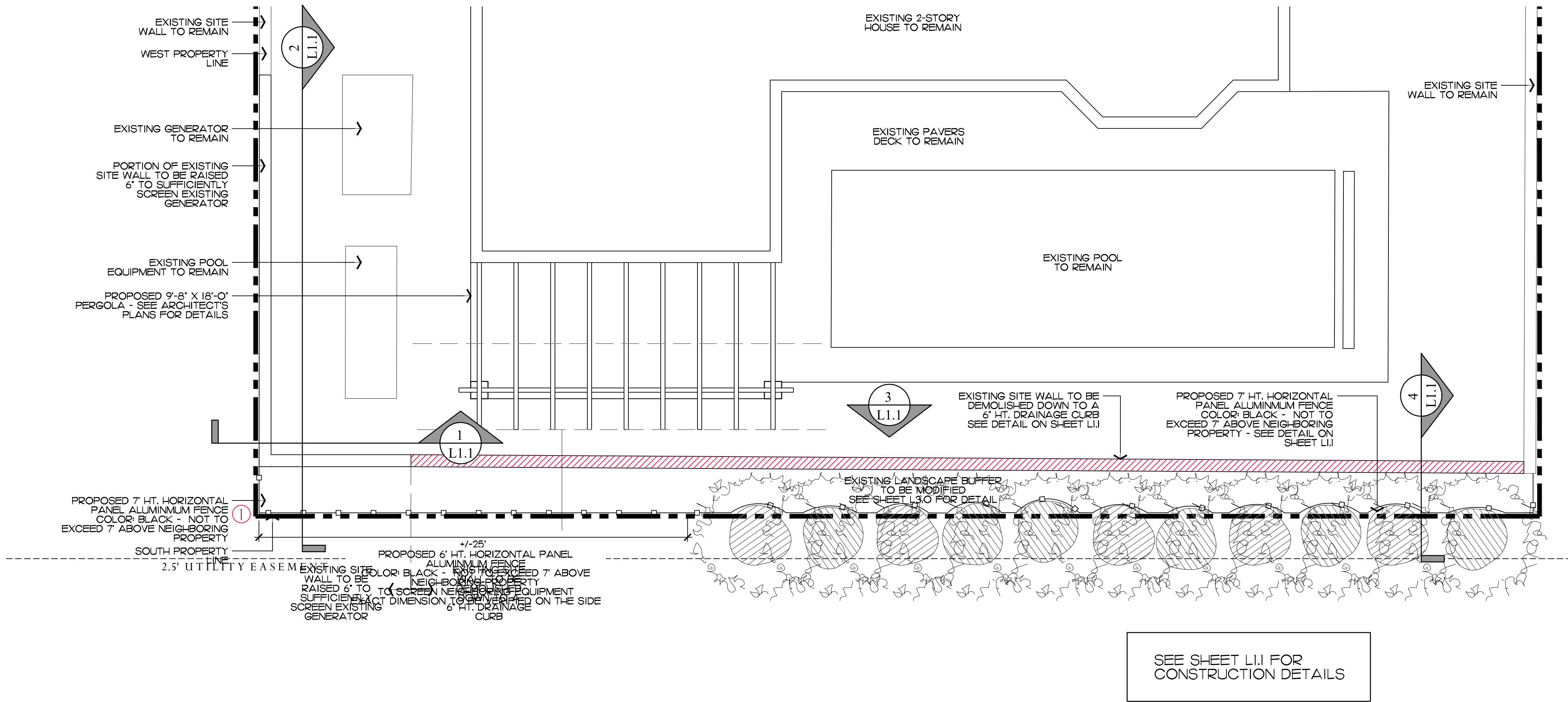


COLONIAL LANE



Site Plan

SCALE: 1/10" = 1'



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Landscape Architecture

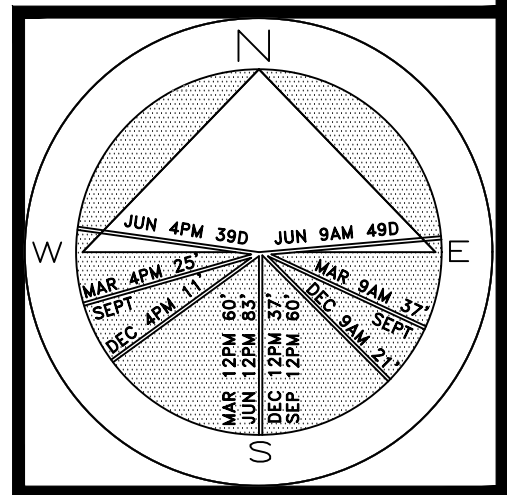
Land Planning

Landscape Management

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DATE: 12.01.2023  
12.12.2024

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ARC#-23-041

Site Plan

SCALE IN FEET 0' 4' 8' 12'

16 sf.

AREA IN SQ.FT.



FORM AND POUR WITH 3,000 PSI CONCRETE

#3 1/2 STIRRUPS @ 6" O.C. DRILL AND EPOXY BOND EACH LEG 2" MIN. INTO GROUTED LINTE

(2) #4 HORIZONTAL @ 6" O.C. DRILL AND EPOXY EACH END 2" INTO CBS WALL

POURED CONCRETE ADDITION TO SITE WALL - HEIGHT APPROX. 6'

EXISTING GENERATOR NOT SUFFICIENTLY SCREENED BY SITE WALL

EXISTING POOL EQUIPMENT

EXISTING 48' HT. SITE WALL

7'-0" MAX.

48'

10'-0" SIDE SETBACK

NOTE: TOP OF WALL ADDITION TO BE SLIGHTLY SLOPED FOR DRAINAGE TO PREVENT POOLING

WEST PROPERTY LINE

Pergola - East Elevation



Design Intent

10' MAX.

6'-0"

1" x 4" ALUMINUM HORIZONTAL PANELING  
SEE PRODUCT SPECIFICATIONS  
FOR DETAILS - OWNER TO  
APPROVE COLOR & MATERIAL

GRADE

1'-0" GAP

1'-2"

2'-0"

4'-0"

1'-0"

4" x 4" x 9'-2" POST, 10' O.C.

COMPACTED SUBGRADE

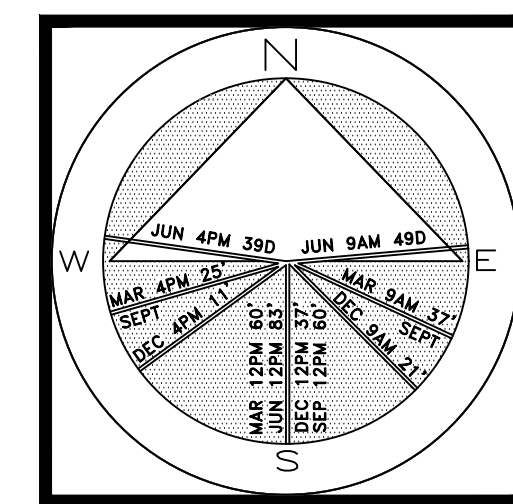
12" DIAMETER POST HOLE FOOTING-SAKRETE

4" COMPACTED GRAVEL ROCK

ELEVATION

Aluminum Fence - Elevation

4  
L1.1



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SHEET L1.1

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ARC#-23-041  
Hardscape Details

SCALE IN FEET 0' 2' 4' 6'

4 sf

AREA IN SQ.FT.