



## Scope of Work

- \* Improvements to Landscape Foundation Planting

## Private Residence 224 Atlantic Avenue Palm Beach

F L O R I D A

ARC-24-0120

Second Submittal

Date of Presentation: 01.29.25

## Sheet Index

Cover Sheet

Survey

L1.0 - Existing General Site Photos

L1.1 - Existing General Site Photos

L2.0 - Existing Vegetation Inventory & Action Plan

L3.0 - Demolition and Vegetation Action Plan

L4.0 - Construction Screening and Staging Plan

L4.1 - Existing Landscape Buffer Images

L4.2 - Existing Landscape Buffer Images

L5.0 - Truck Logistics Plan

L6.0 - Site Plan

L6.1 - Site Calculation/Open Space Graphics

L7.0 - Landscape Plan

L7.1 - Rendered Landscape Plan

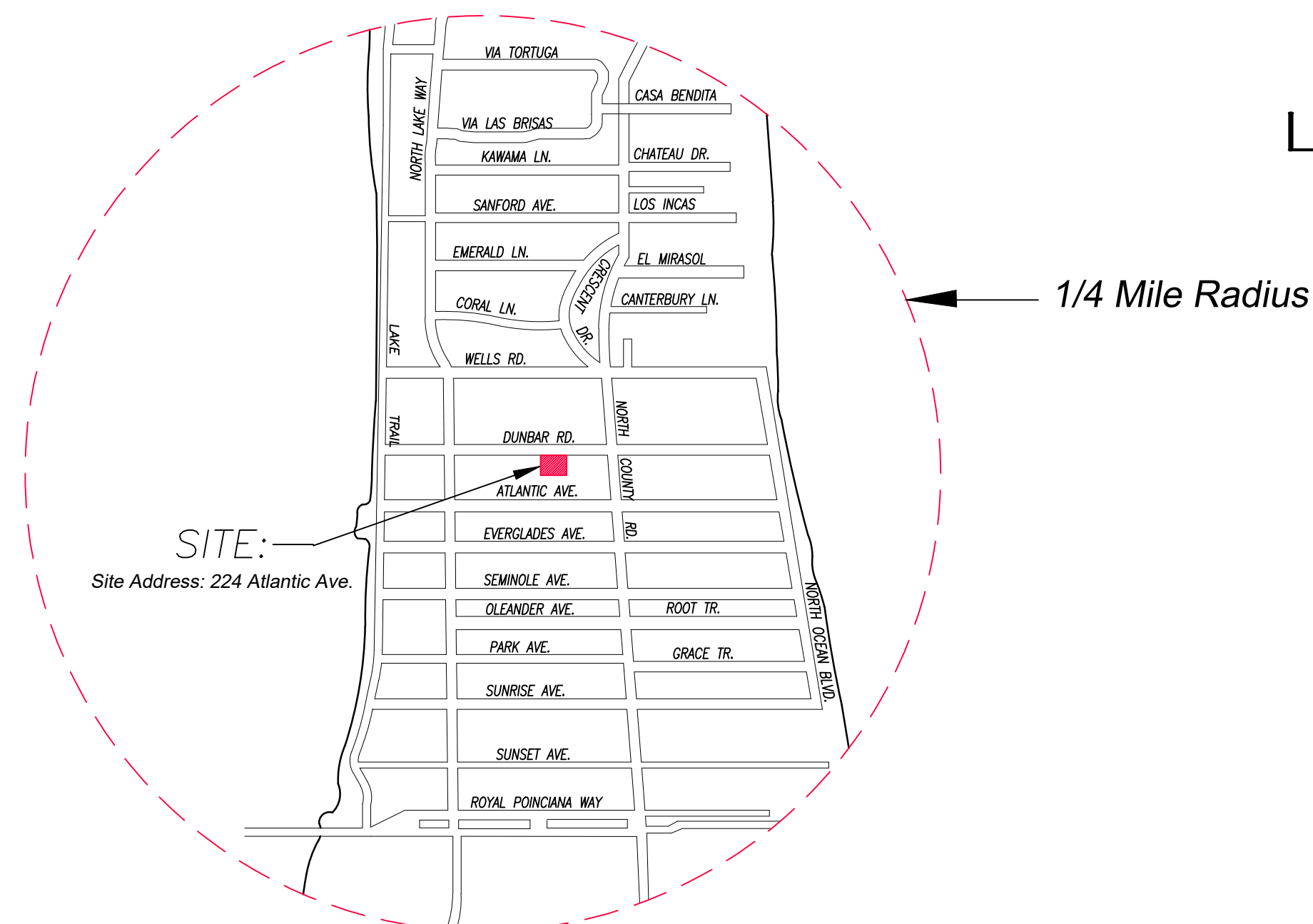
L7.2 - Plant Schedule

L7.3 - Planting Details & Specifications

L8.0 - Rendered Landscape Elevations

L8.1 - Rendered Landscape Elevations

## Vicinity/Location Map



## Design Team/Consultants

### Landscape Architects

ENVIRONMENT DESIGN GROUP  
139 NORTH COUNTY ROAD SUITE 20B  
PALM BEACH, FL 33480  
561.832.4600  
WWW.ENVIRONMENTDESIGNGROUP.COM

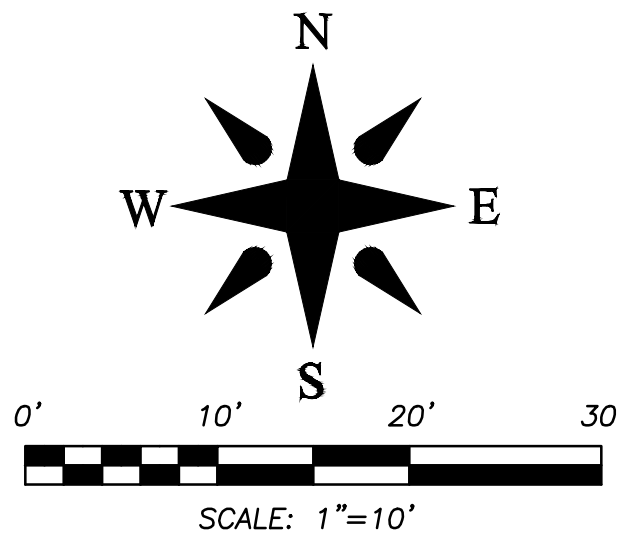
### Architects

ACI ARCHITECTURAL CONCEPTS  
2475 MERCER AVENUE, SUITE 201  
WEST PALM BEACH, FL 33401  
561.655-0674

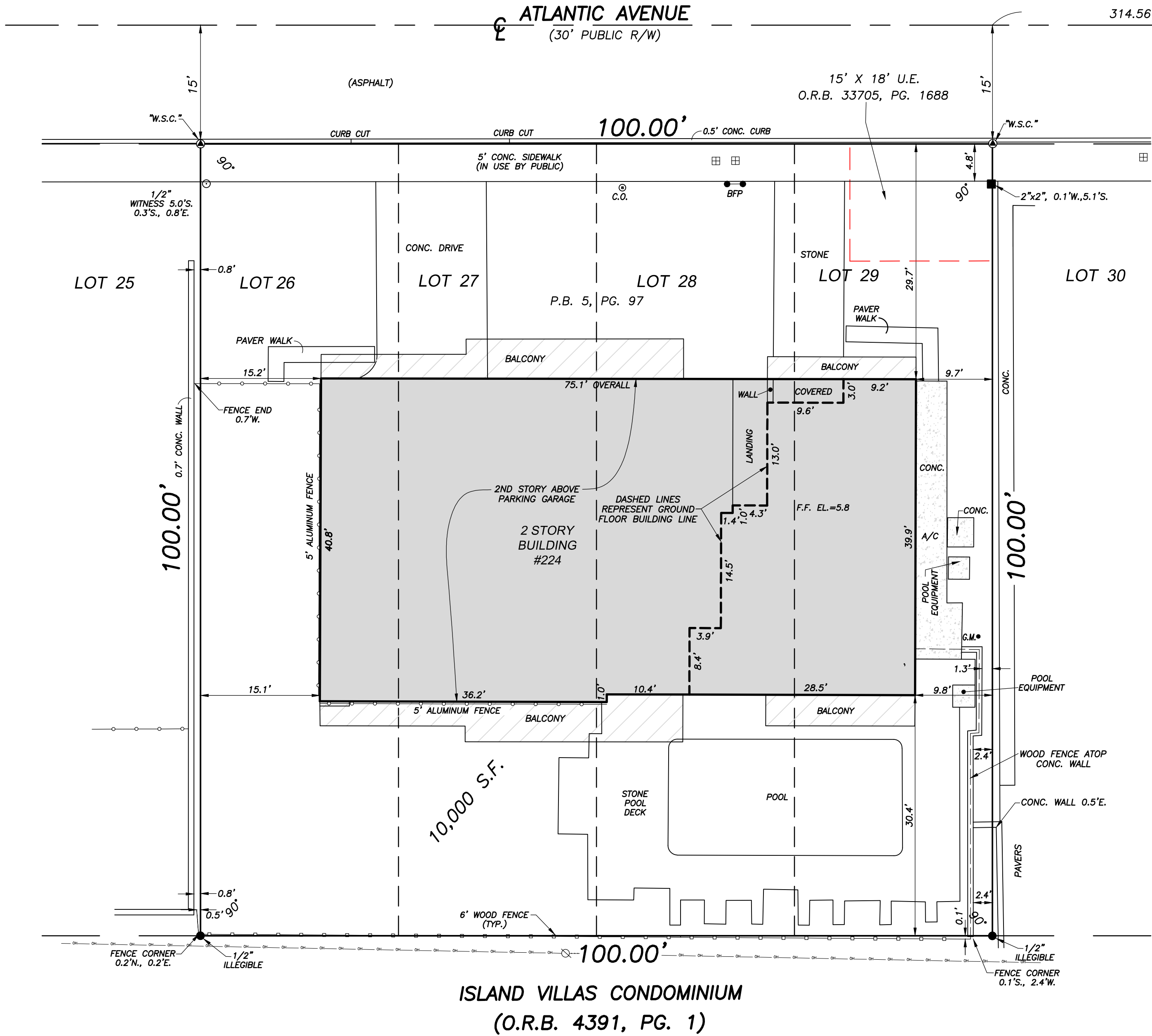


LEGEND

- A = ARC LENGTH  
A/C = AIR CONDITIONING  
A.E. = ACCESS EASEMENT  
A.K.A. = ALSO KNOWN AS  
ASPH. = ASPHALT  
B.F.P. = BACKFLOW PREVENTOR  
BLDG. = BUILDING  
B.M. = BENCHMARK  
B.O.C. = BACK OF CURB  
B.O.W. = BACK OF WALK  
(C) = CALCULATED  
CATV = CABLE ANTENNA TELEVISION  
C.B. = CHORD BEARING  
C.B.S. = CONCRETE BLOCK STRUCTURE  
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE  
CH = CHORD  
C.L.F. = CHAIN LINK FENCE  
CLR. = CLEAR  
C.M.P. = CORRUGATED METAL PIPE  
CONC. = CONCRETE  
(D) = DESCRIPTION DATUM  
D.B. = DEED BOOK  
D.C.D.A. = DOUBLE CHECK DETECTOR ASSEMBLY  
D.E. = DRAINAGE EASEMENT  
D.H. = DRILL HOLE  
DW. = DRIVEWAY  
EL. = ELEVATION  
ENC. = ENCROACHMENT  
E.O.P. = EDGE OF PAVEMENT  
E.O.W. = EDGE OF WATER  
ESMT = EASEMENT  
F.D.C. = FIRE DEPARTMENT CONNECTION  
F.F. = FINISHED FLOOR  
FND. = FOUND  
F.O.C. = FACE OF CURB  
I.D. = INSIDE DIAMETER  
INV. = INVERT  
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT  
L.A.E. = LIMITED ACCESS EASEMENT  
L.B. = LICENSE BOARD  
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT  
(M) = FIELD MEASUREMENT  
M.H. = MANHOLE  
M.H.W.L. = MEAN HIGH WATER LINE  
MIN. = MINIMUM  
M.L.W.L. = MEAN LOW WATER LINE  
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM  
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM  
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT  
N.T.S. = NOT TO SCALE  
O.A. = OVERALL  
O.D. = OUTSIDE DIAMETER  
O/H. = OVERHEAD UTILITY LINE  
O.R.B. = OFFICIAL RECORD BOOK  
O/S. = OFFSET  
P. = PLANTER  
(P) = PLAT DATUM  
P.B. = PLAT BOOK  
P.B.C. = PALM BEACH COUNTY  
P.C. = POINT OF CURVATURE  
P.C.C. = POINT OF COMPOUND CURVATURE  
P.C.P. = PERMANENT CONTROL POINT  
PG. = PAGE  
P.I. = POINT OF INTERSECTION  
P/E. = POOL EQUIPMENT  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
P.R.C. = POINT OF REVERSE CURVATURE  
P.R.M. = PERMANENT REFERENCE MONUMENT  
PROP. = PROPOSED  
P.T. = POINT OF TANGENCY  
P.V.M.T. = PAVEMENT  
(R) = RADIAL  
R. = RADIUS  
RGE. = RANGE  
R.P.B. = ROAD PLAT BOOK  
R.P.Z. = REDUCED PRESSURE ZONE  
RW. = RIGHT OF WAY  
(S) = SURVEY DATUM  
S.B. = SETBACK  
SEC. = SECTION  
S/D. = SUBDIVISION  
S.F. = SQUARE FEET  
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT  
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT  
S.R. = STATE ROAD  
STA. = STATION  
STY. = STORY  
SW. = SIDEWALK  
T.O.B. = TOP OF BANK  
TH. = THRESHOLD  
T.O.W. = TOP OF WALL  
TWP. = TOWNSHIP  
TYP. = TYPICAL  
U/C. = UNDER CONSTRUCTION  
U.E. = UTILITY EASEMENT  
U.R. = UNRECORDED  
W.C. = WITNESS CORNER  
W.M.E. = WATER MANAGEMENT EASEMENT  
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT  
W.F. = WOOD FENCE  
YD. = YARD DRAIN  
± = BASELINE  
± = CENTERLINE  
Δ = CENTRAL ANGLE/DELTA  
■ = CONCRETE MONUMENT FOUND (AS NOTED)  
■ = CONCRETE MONUMENT SET (LB #8598)  
● = ROD & CAP FOUND (AS NOTED)  
○ = 5/8" IRON ROD & CAP SET (LB #8598)  
○ = IRON PIPE FOUND (AS NOTED)  
○ = IRON ROD FOUND (AS NOTED)  
▲ = NAIL FOUND (AS NOTED)  
● = NAIL & DISK FOUND (AS NOTED)  
● = MAG NAIL & DISK SET (LB #8598)  
± = PROPERTY LINE  
± = UTILITY POLE  
± = FIRE HYDRANT  
± = WATER METER  
± = WATER VALVE  
± = LIGHT POLE



N. COUNTY ROAD



ISLAND VILLAS CONDOMINIUM  
(O.R.B. 4391, PG. 1)

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB8598.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 11/12/2024

James G. Peden Jr.  
Professional Surveyor and Mapper  
Florida Certificate No. 6122

SITE

VICINITY SKETCH  
(NOT TO SCALE)

BOUNDARY SURVEY FOR:  
224 Atlantic LLC

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

224 Atlantic LLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

224 ATLANTIC AVE  
PALM BEACH, FL 33480

LEGAL DESCRIPTION:

LOTS 26, 27, 28 AND 29, ORANGE GROVE PARK, ACCORDING TO THE PLAT THEREOF ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR PALM BEACH, COUNTY, FLORIDA, RECORDED IN PLAT BOOK PAGES 97.

FLOOD ZONE:

This property is located in Flood Zone AE (ELEV. = 6.00') according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0581F, dated 10/05/2017.

TITLE COMMITMENT REVIEW						
CLIENT: 224 Atlantic LLC, a Florida limited liability company		COMMITMENT NO. : 110513094	DATE: 09/20/24			
REVIEWED BY: James G. Peden Jr.		JOB NO. : 206679-SE				
ITEM	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1	ORB 3162, PG 1327	Unity of Title Agreement.				X
2	ORB 33705, PG 1688	Underground Easement.	X			
3	PB 5, PG 97	Plat.	X			

REVISIONS:

11/18/24 TITLE COMMITMENT REVIEW M.N. 206679  
11/12/24 SURVEY UPDATE, FEMA CERT. E.G./B.M. 206679-SE-3 BOOK2/56

Boundary Survey For:

224 ATLANTIC LLC



FIELD: B.M.	JOB No.: 206679-SE	P.B. 5 PG. 97
OFFICE: B.M.	DATE: 04/19/2024	DWG. No.: 206679-SE-3
C/K'D.: J.P.	REF.: 17-1663	SHEET: 1 OF 1





Existing Front Entry



Existing Front Entry



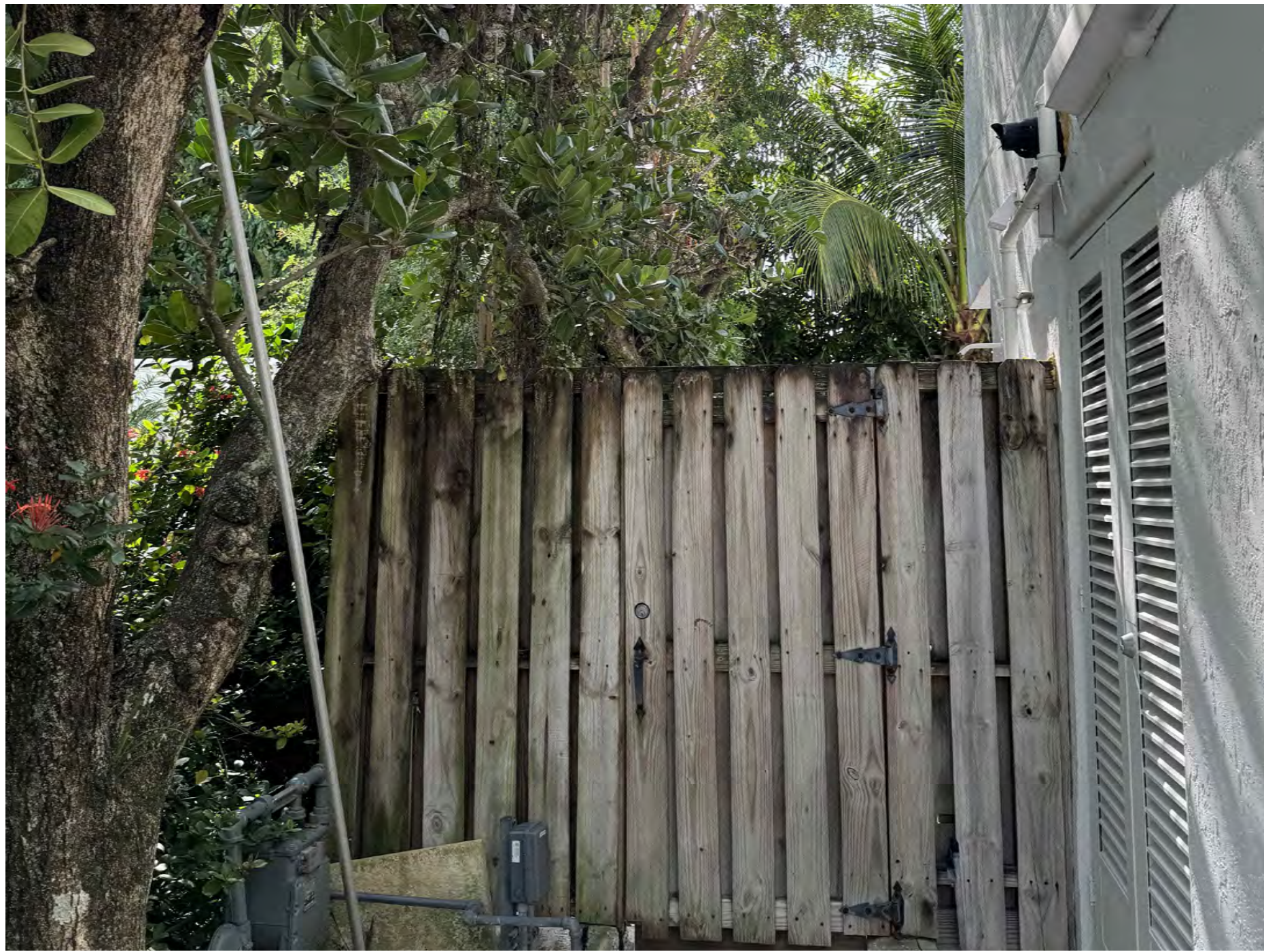
Existing Front Yard



Existing Front Yard



Existing Front Side Yard



Existing East Side Yard





Existing East Side Yard



Existing East Side Yard



Existing West Side Yard



Existing Rear Yard



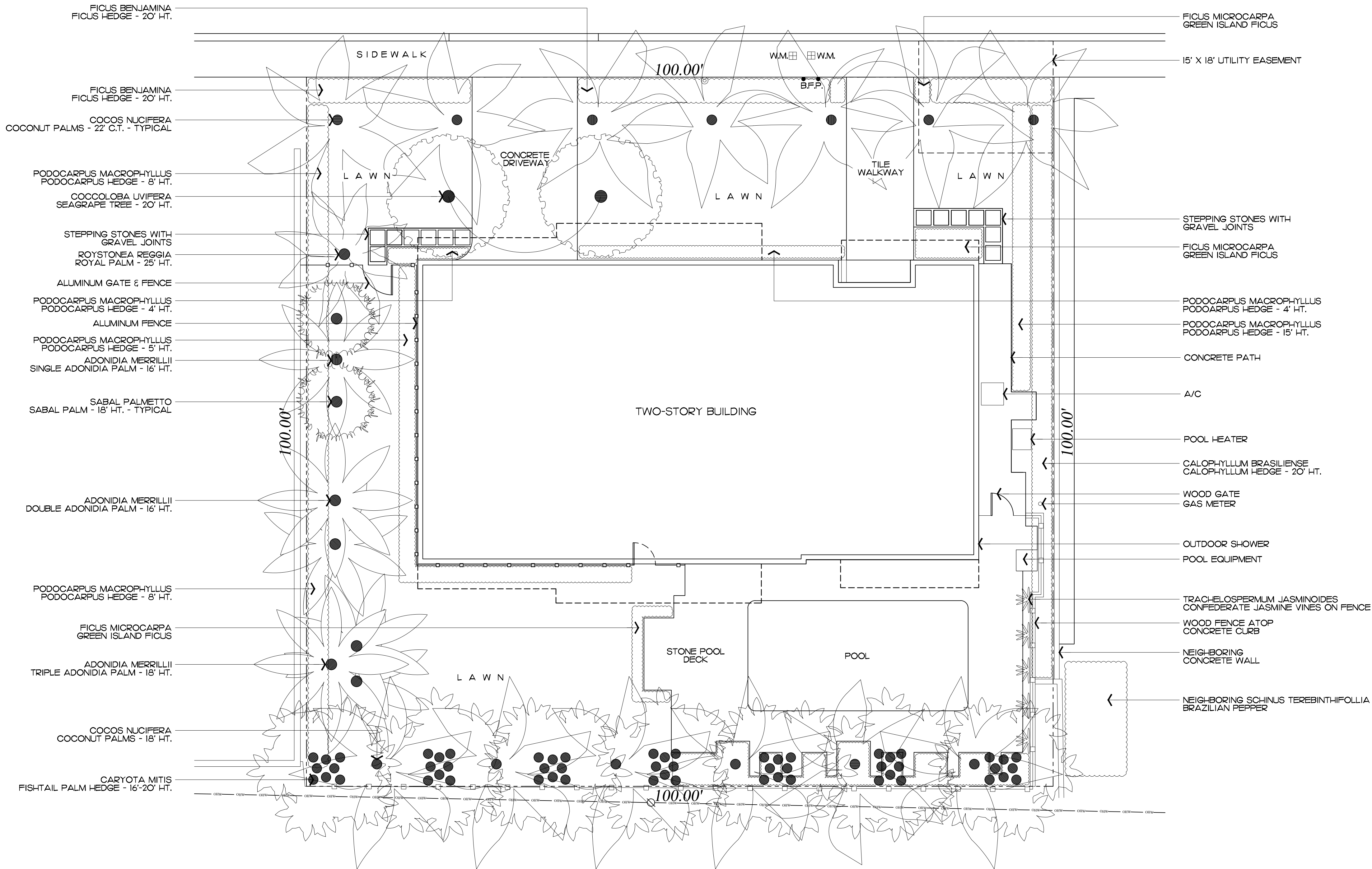
Existing Rear Yard



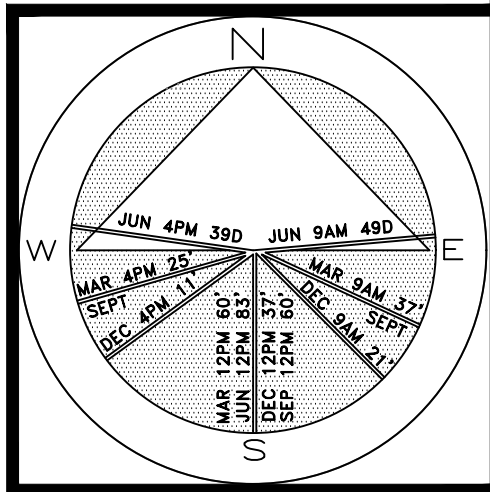
Existing Rear Yard



# ATLANTIC AVENUE



Private Residence  
224 Atlantic Ave  
Palm Beach



JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

SHEET L2.0

COPYRIGHT: 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

## Existing Vegetation Inventory & Action Plan

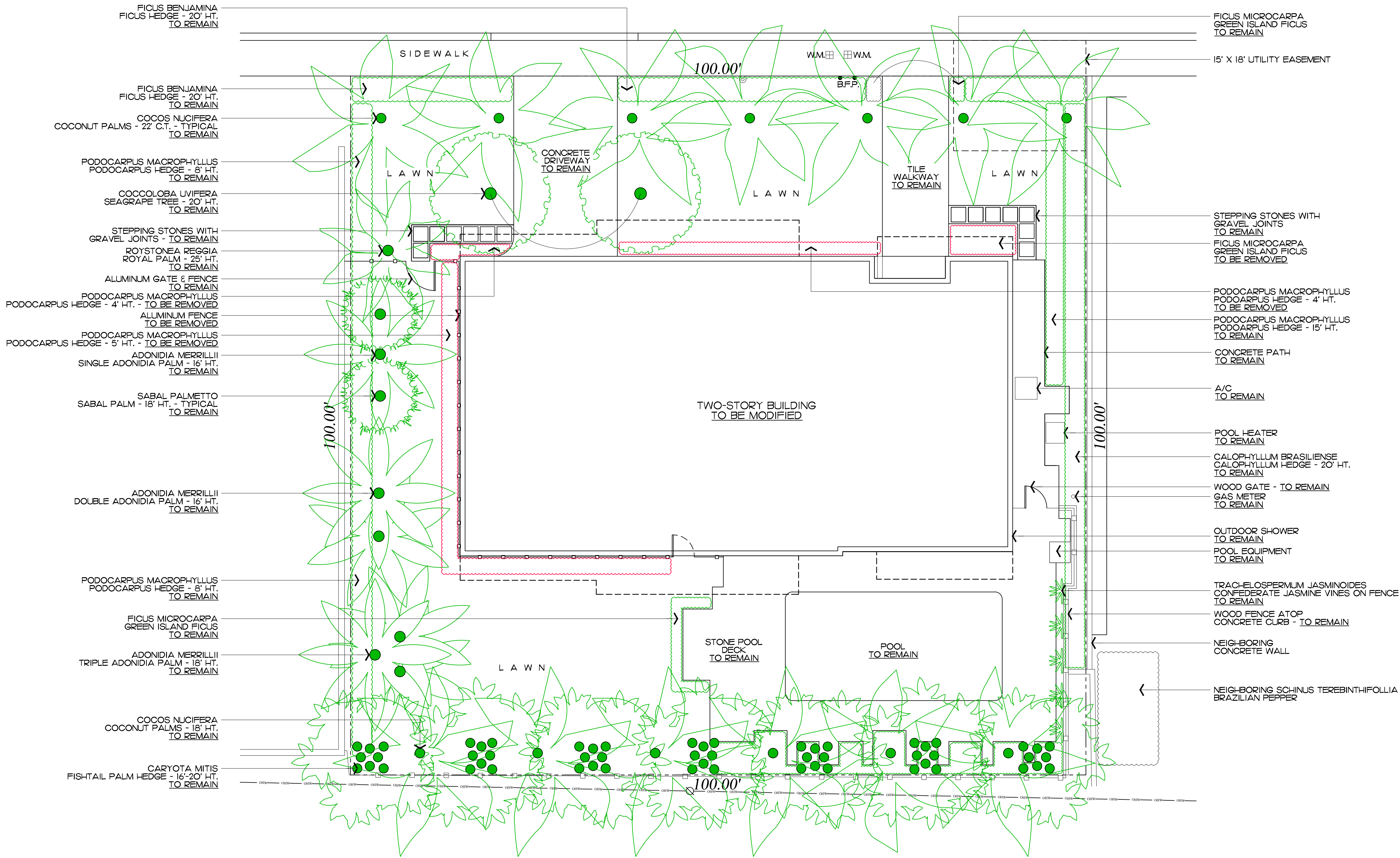
ARC-24-0120  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

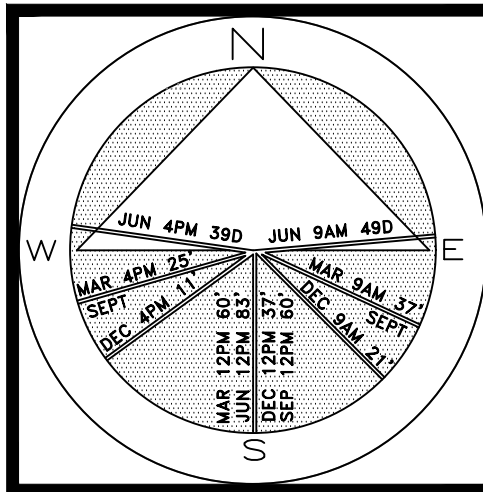
AREA IN SQ. FT.



# ATLANTIC AVENUE



Private Residence  
224 Atlantic Ave  
Palm Beach



JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

**DISCLAIMER:** 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

## Demolition & Action Inventory Plan

ARC-24-0120

SCALE IN FEET 0' 8' 16' 24'

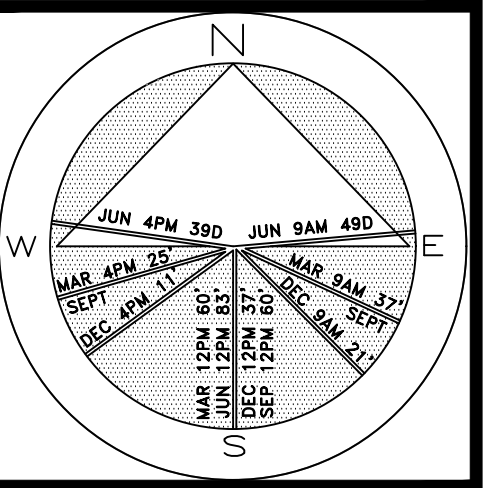
64 sf.

AREA IN SQ. FT.

SHEET L3.0



Private Residence  
224 Atlantic Ave  
Palm Beach  
O R I



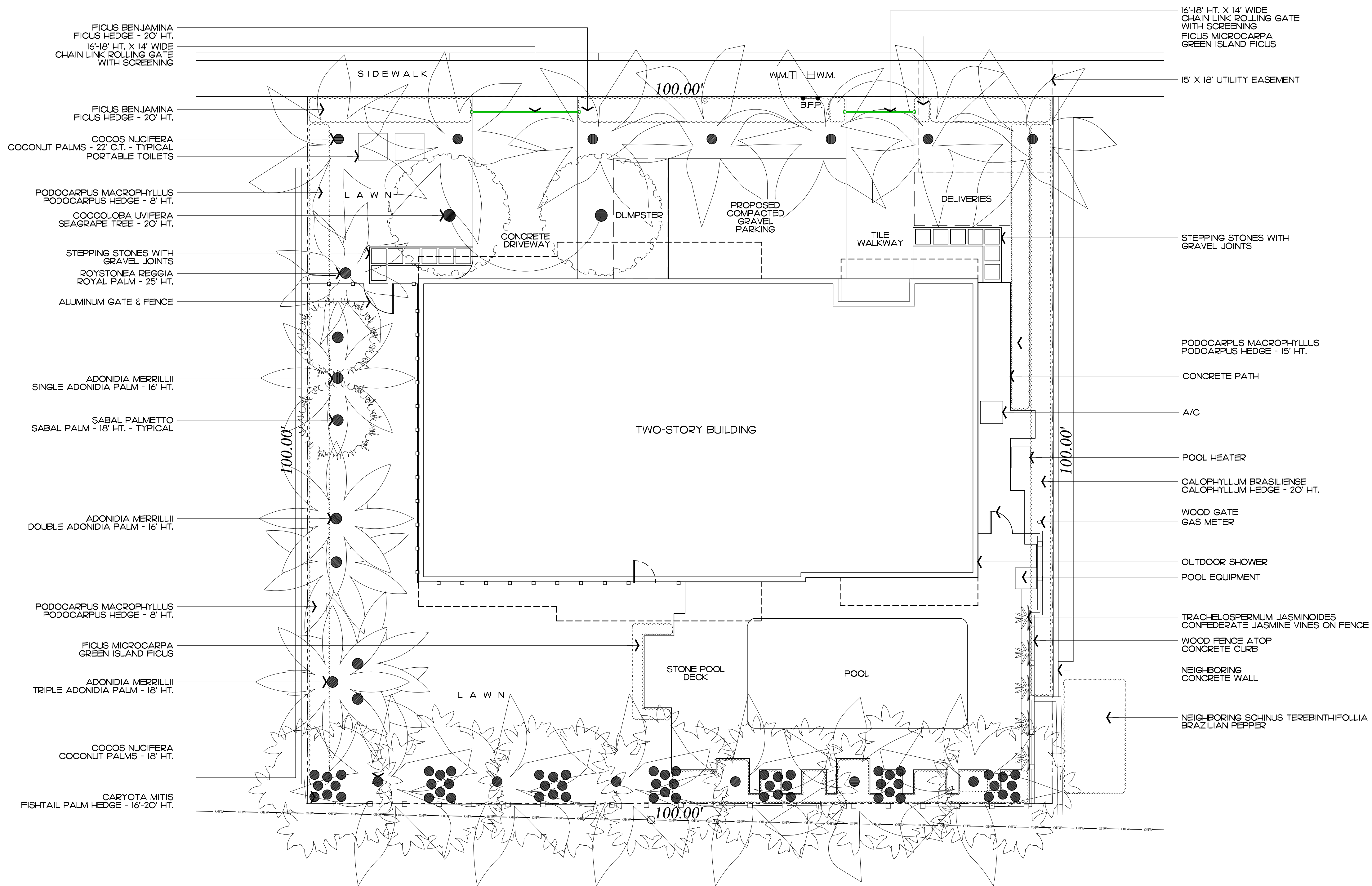
JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.26.2024  
12.16.2024

SHEET L4.0

**sf.**

EA IN SQ.FT.

# ATLANTIC AVENUE



NOTE:  
INTERIOR TREES AND PALMS WILL BE REMOVED WHEN NECESSARY FOR  
SITE UTILIZATION AND CONSTRUCTION DEVELOPMENT. A CONSTRUCTION  
SCREEN WILL BE ADDED IN THESE AREAS UNTIL SITE WALLS, NEW  
FENCING, OR NEW LANDSCAPING IS INSTALLED. AT NO TIME SHALL THE  
SITE BE OPEN TO ADJACENT PROPERTIES WITHOUT ANY PERMANENT  
OR TEMPORARY SCREENING DURING CONSTRUCTION.

**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

**DISCLAIMER:**  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, out of, or in connection with the use of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ARC-24-0120

# Construction Screening & Staging Plan

SCALE IN FEET 0' 8' 16' 24'





Existing North Buffer



Existing North Buffer



Existing North Buffer



Existing South Buffer



Existing South Buffer



Existing South Buffer





Existing West Buffer



Existing West Buffer



Existing West Buffer



Existing East Buffer



Existing East Buffer



Existing East Buffer







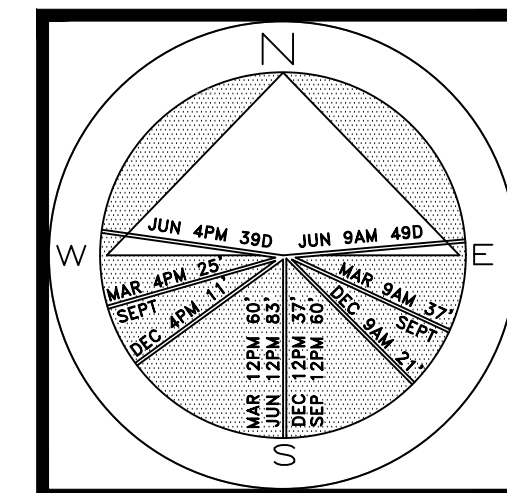
- JAN 29 2025 – ARCOM MEETING
- FEB-MARCH 2029 – SUBMIT FOR PERMIT

- ## 1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

LARGEST TRUCK ->  
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

 PROPOSED INGRESS TRUCK ROUTE

 PROPOSED EGRESS TRUCK ROUTE



SHEET L5.0

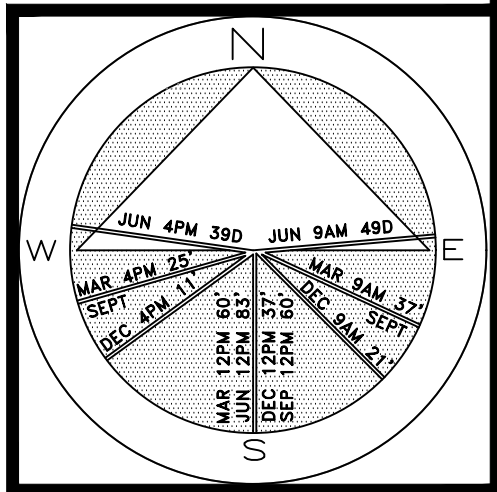
**DISCLAIMER:** 2022  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architecture services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc. The client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ARC-24-0120  
Truck Logistics Plan  
SCALE: NOT TO SCALE

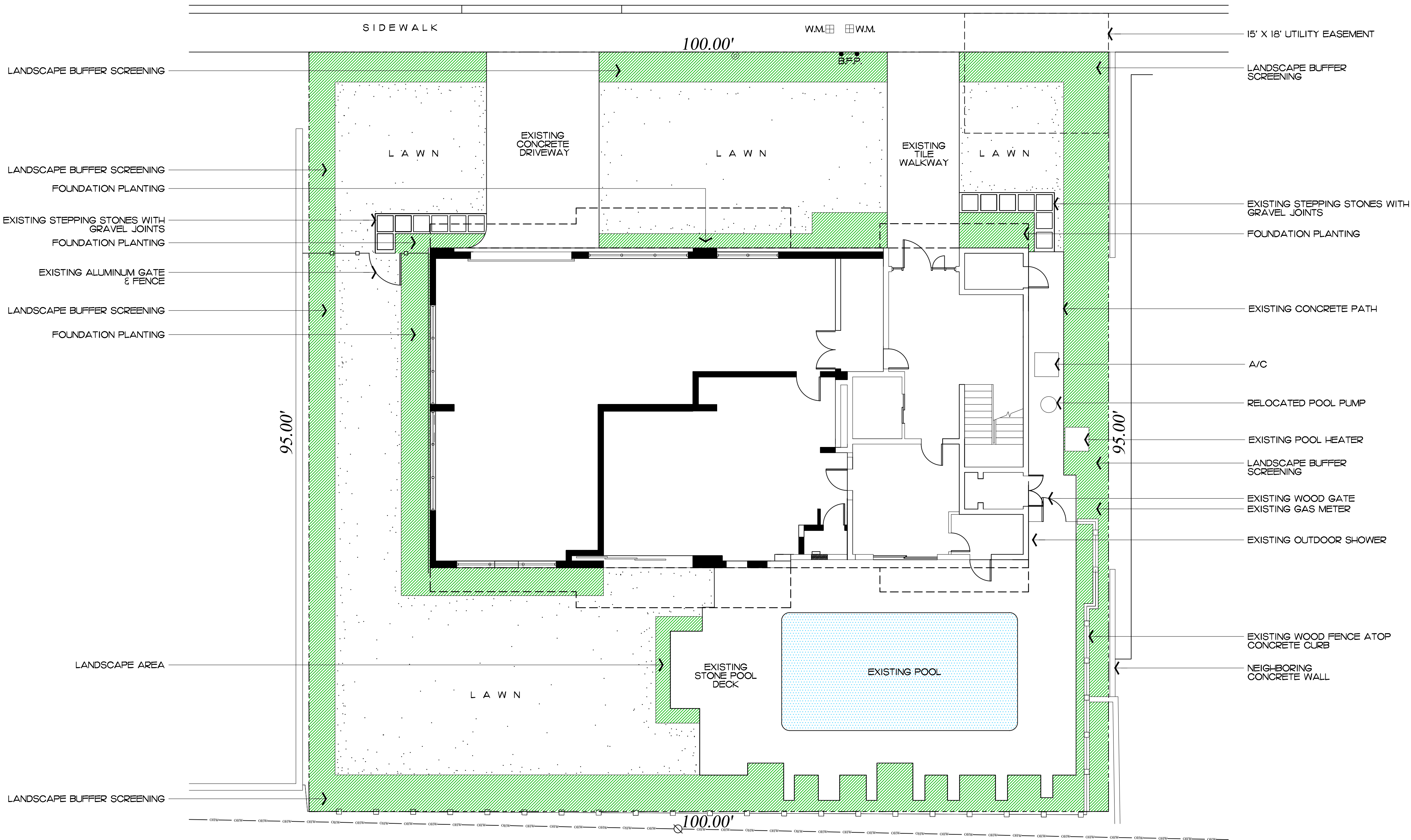


Private Residence  
224 Atlantic Ave  
Palm Beach



JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

ATLANTIC AVENUE



Proposed Site Data

DESCRIPTION	REQUIRED	PROPOSED
LOT ZONE		R-C (MEDIUM-DENSITY RESIDENTIAL)
LOT AREA	10,000 S.F. MINIMUM	9,500 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 4,275 S.F.	45.54% 4,326 S.F.
	MINIMUM 50% LOS WITHIN 10' OF PROPERTY LINE 2,137.5 S.F.	60.44% 2,584 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 1,000 S.F.	72.56% 1,814 S.F.

COPYRIGHT: 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

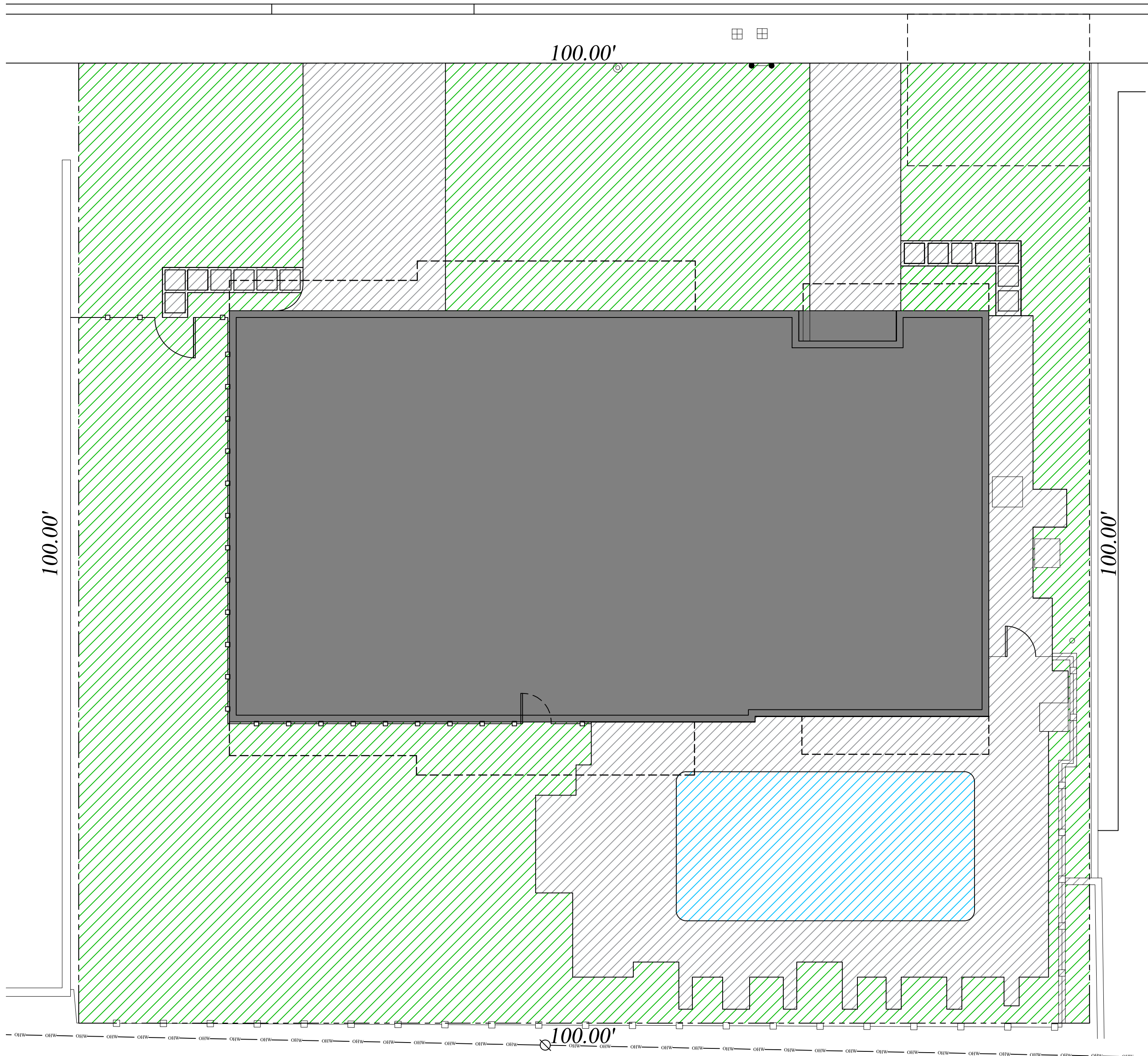
48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

ARC-24-0120  
Site Plan  
SCALE IN FEET 0' 8' 16' 24'

SHEET L6.0  
64 sf.  
AREA IN SQ. FT.



ATLANTIC AVENUE

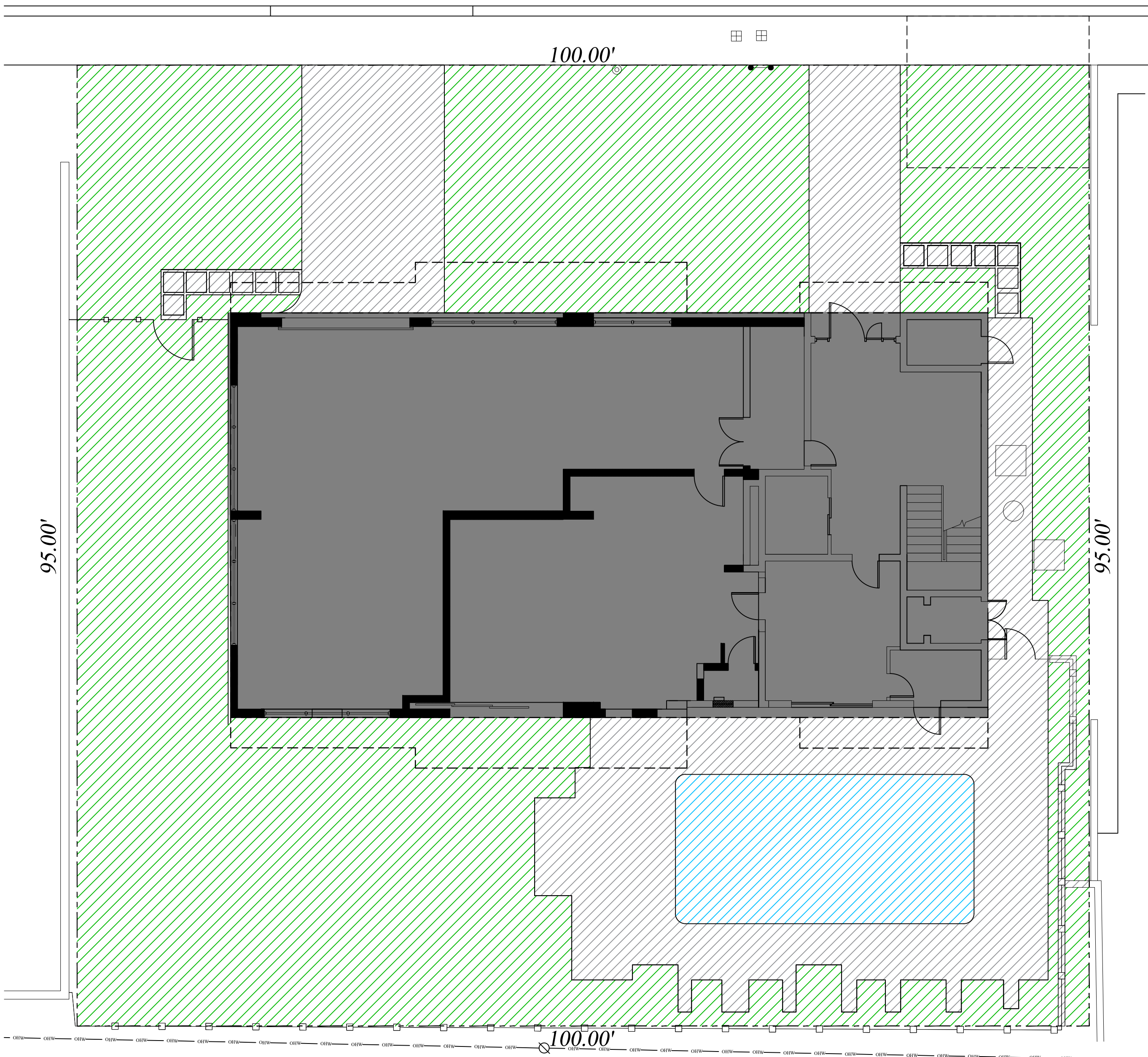


Existing Open Space Graphic

Existing Site Data

DESCRIPTION	REQUIRED		EXISTING	
LOT ZONE			R-C (MEDIUM-DENSITY RESIDENTIAL)	
LOT AREA	10,000 S.F. MINIMUM		9,500 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	4,275 S.F.	45.54%	4,326 S.F.
	MINIMUM 50% LOS WITHIN 10' OF PROPERTY LINE	2,137.5 S.F.	60.44%	2,584 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,000 S.F.	72.56%	1,814 S.F.

ATLANTIC AVENUE



Proposed Open Space Graphic

Proposed Site Data

DESCRIPTION	REQUIRED		PROPOSED	
LOT ZONE			R-C (MEDIUM-DENSITY RESIDENTIAL)	
LOT AREA	10,000 S.F. MINIMUM		9,500 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	4,275 S.F.	45.54%	4,326 S.F.
	MINIMUM 50% LOS WITHIN 10' OF PROPERTY LINE	2,137.5 S.F.	60.44%	2,584 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,000 S.F.	72.56%	1,814 S.F.

Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE
- IMPERVIOUS AREA / WATER FEATURE

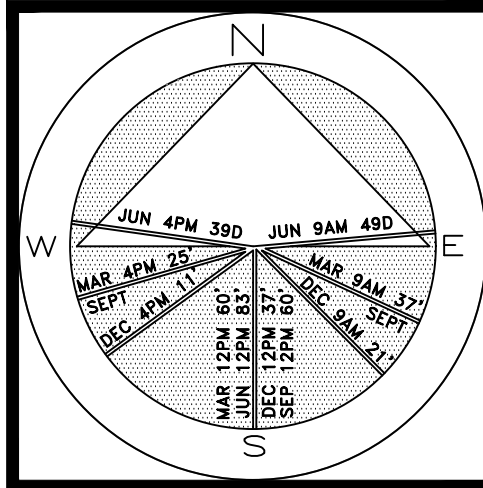
ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 570-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
224 Atlantic Ave  
Palm Beach



JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

SHEET L6.1

COPYRIGHT: 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

Site Calculation / Open Space Graphics

ARC-24-0120

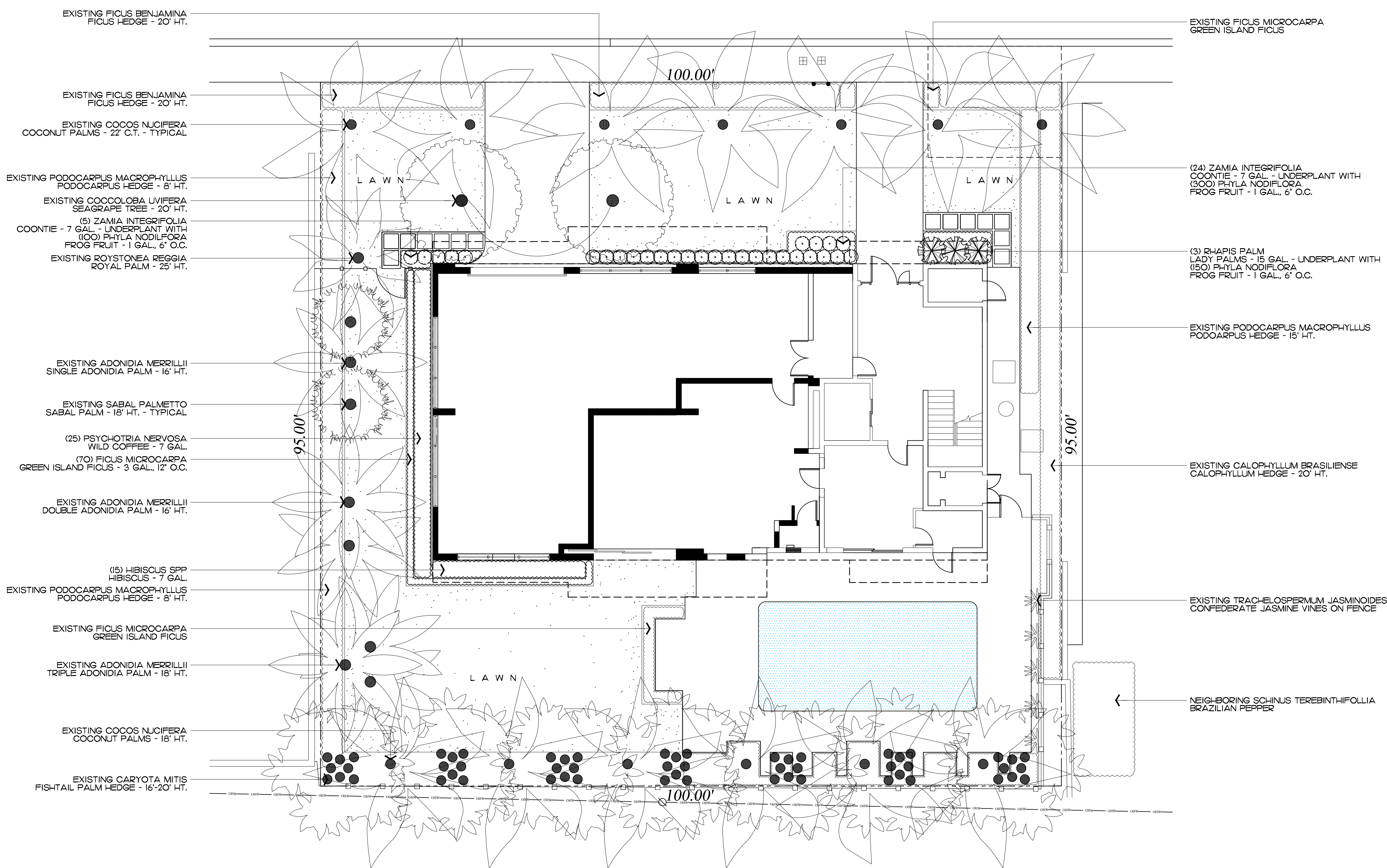
SCALE IN FEET 0' 8' 16' 24'

64 sf.

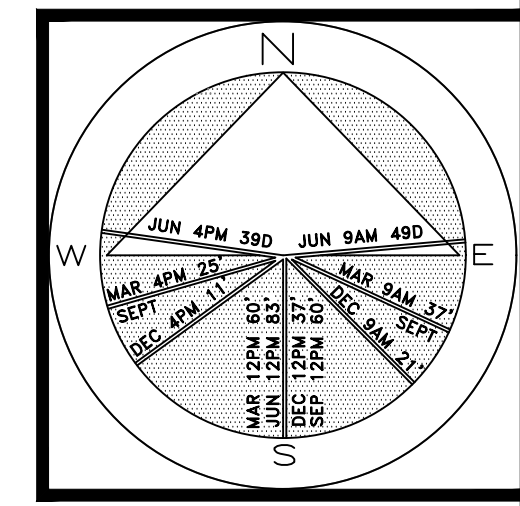
AREA IN SQ.FT.



# ATLANTIC AVENUE



Private Residence  
224 Atlantic Ave  
Palm Beach



JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

SHEET L7.0

**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

**DISCLAIMER:** 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

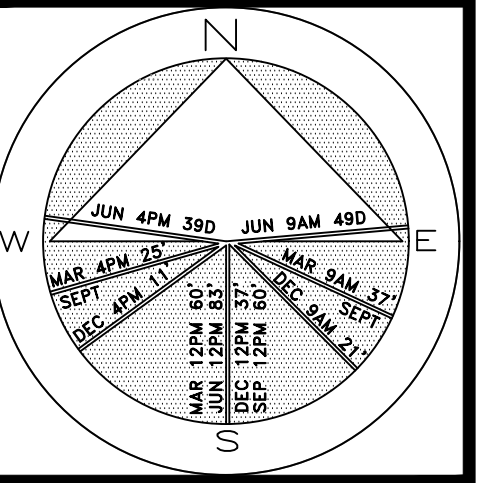
ARC-24-0120  
Landscape Plan  
SCALE IN FEET 0' 8' 16' 24'

64 sf.

AREA IN SQ. FT.



Private Residence  
224 Atlantic Ave  
Palm Beach  
O R I



OB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.26.2024  
12.16.2024

SHEET L7.1

64 sf.

AREA IN SQ.FT.



**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

**DISCLAIMER:** Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
**1-800-432-4770**  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.


ARC-24-0120

Rendered Landscape Plan

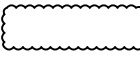
SCALE IN FEET 0' 8' 16' 24'



Palms

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
	RHAPIS EXCELSA LADY PALM	3	15 GAL.

Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	FICUS MICROCARPA GREEN ISLAND FICUS	70	3 GAL., 12" O.C.	NO
	PHYL. NODIFLORA FROGFRUIT	550	4" LINERS, 6" O.C.	YES
TOTAL: NATIVE SPECIES:		620 550 (88.7%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH



LADY PALMS



GREEN ISLAND FICUS



FROG FRUIT



HIBISCUS

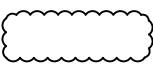
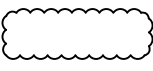
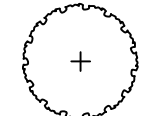


WILD COFFEE




COONTIE

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	HIBISCUS SPP HIBISCUS	15	7 GAL.	NO
	PSYCHOTRIA NERVOSA WILD COFFEE	25	7 GAL.	YES
	ZAMIA INTEGRIFOLIA COONTIE	29	7 GAL.	YES
TOTAL: NATIVE SPECIES:		69 54 (78.3%)		

Landscape Legend

PROPERTY ADDRESS:	224 ATLANTIC AVENUE		
LOT AREA (SQ FT)	9,500 SF		
	REQUIRED	EXISTING	PROPOSED
LANDSCAPE OPEN SPACE (LOS) (SQ FT AND %)	4,275 S.F. (45% MIN.)	4,326 S.F. (45.54% MIN.)	4,326 S.F. (45.54% MIN.)
LOS TO BE ALTERED (SQ FT AND %)	NA	NA	NA
PERIMTETER LOS (SQ FT AND %)	2,137.5 S.F. (50% MIN.)	2,584 S.F. (60.44% MIN.)	2,584 S.F. (60.44% MIN.)
FRONT YARD LOS (SQ FT AND %)	1,000 S.F. (40% MIN.)	1,814 S.F. (72.56%)	1,814 S.F. (72.56%)
NATIVE TREES %	30% (NUMBER OF TREES)	NA	N/A - NO PROPOSED TREES
NATIVE SHRUBS & VINES %	30% (NUMBER OF SHRUBS & VINES)	NA	54 (78.3%)
NATIVE GROUNDCOVER %	30% (GROUNDCOVER AREA)	NA	500 SF (88.7%)



139 North County Road 570-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784  
dustin@environmentdesigngroup.com

Private Residence  
224 Atlantic Ave  
Palm Beach

JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

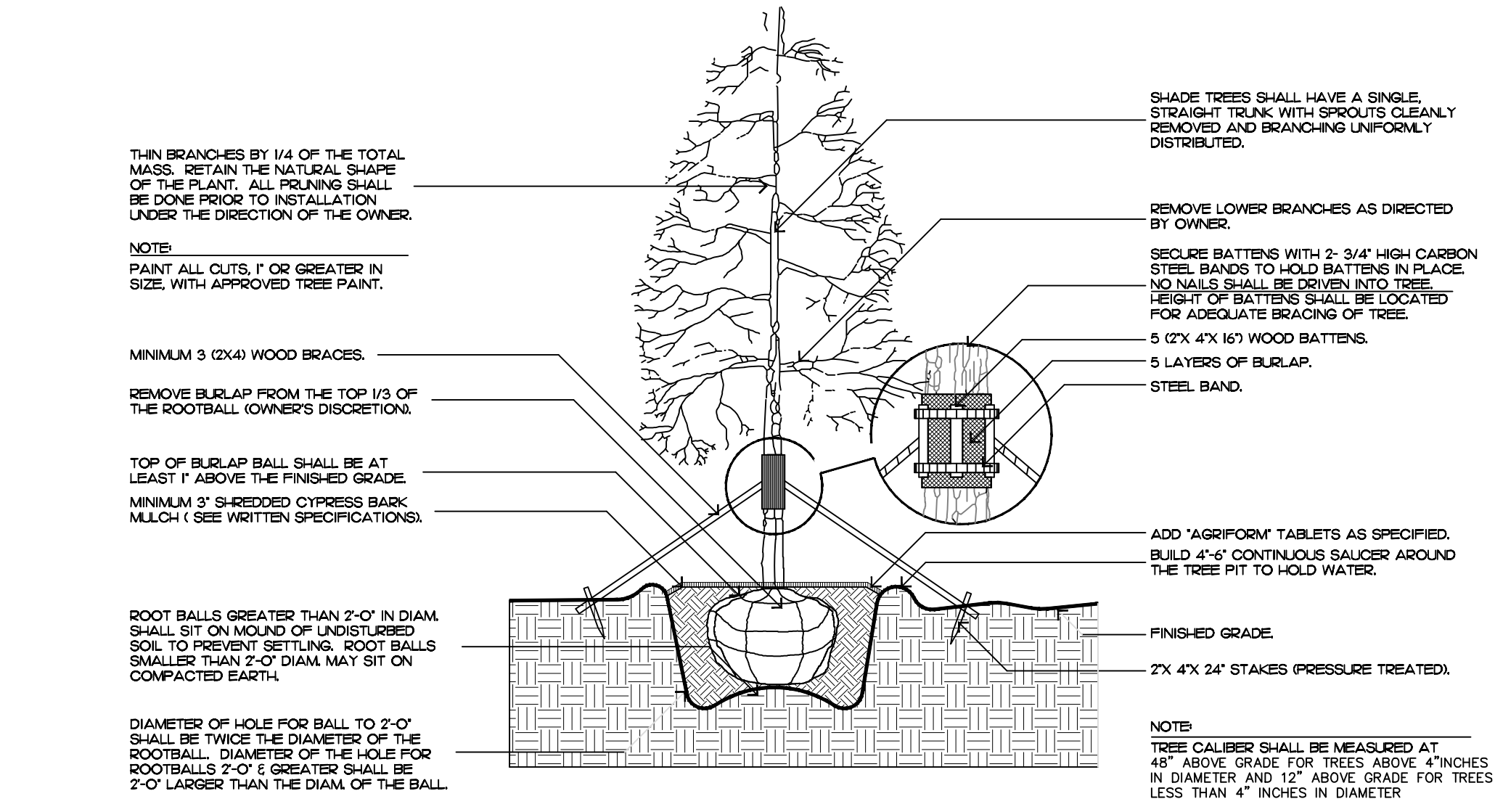
**DISCLAIMER:** 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

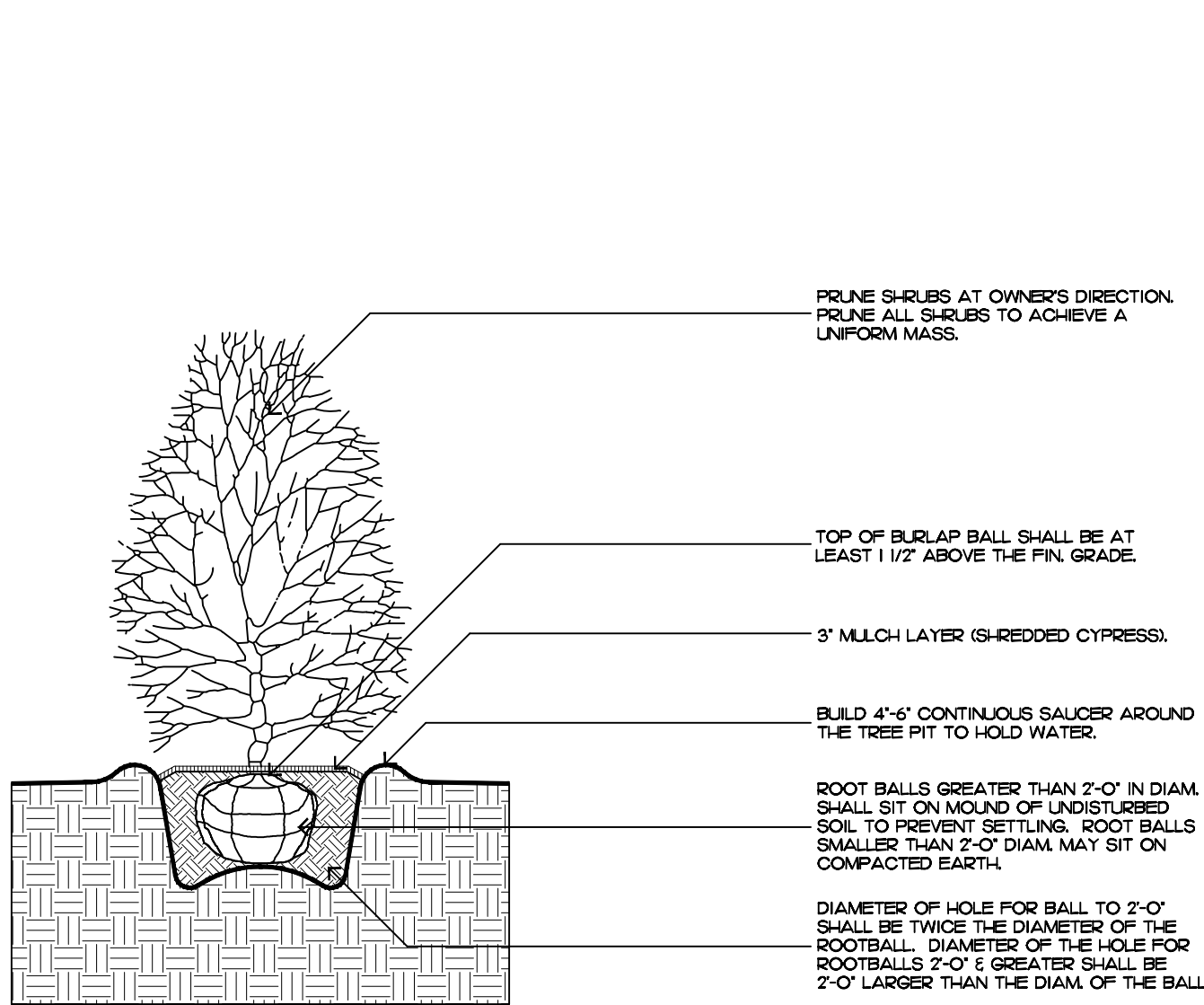
ARC-24-0120  
Plant Schedule

SHEET L7.2

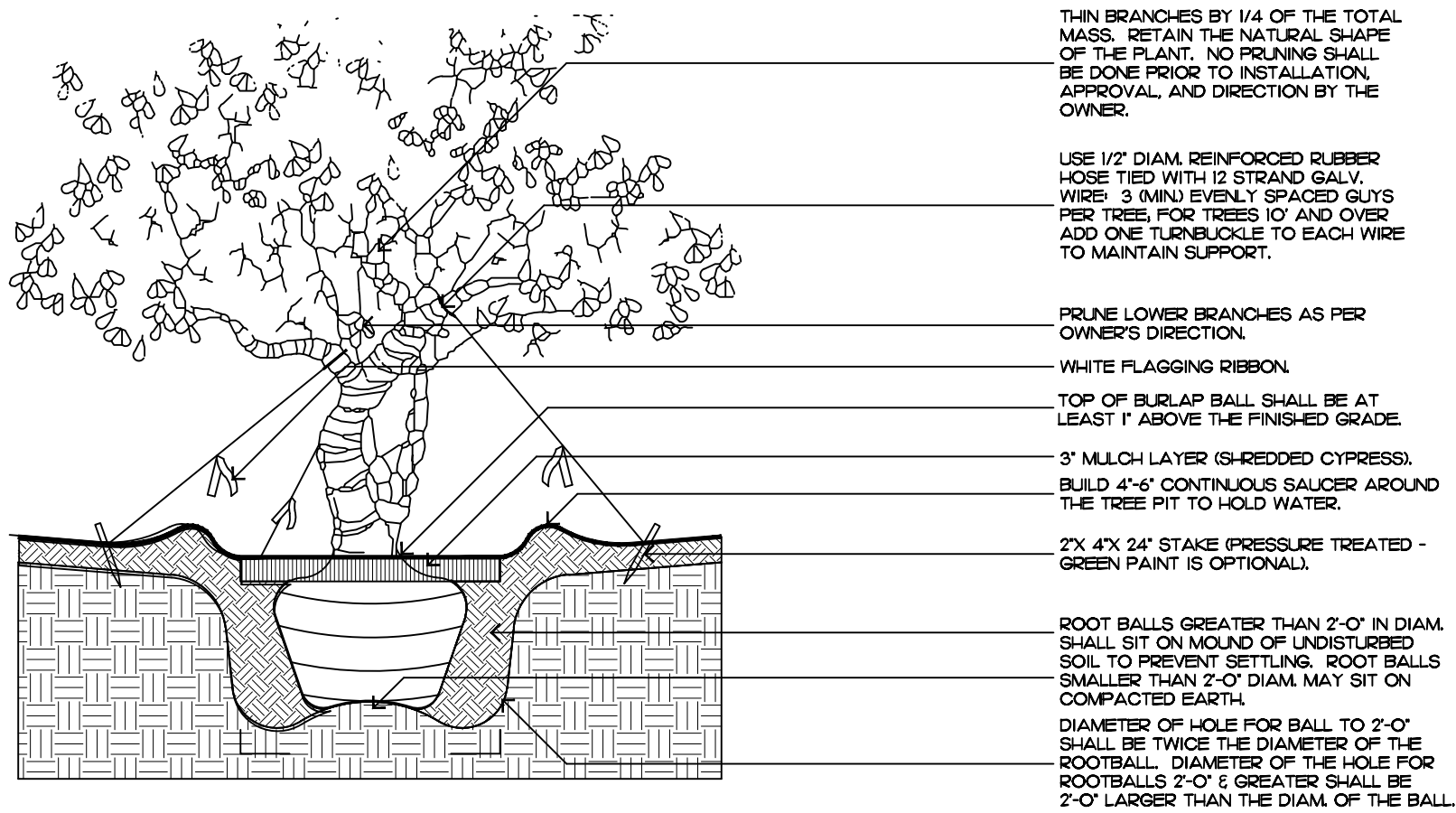




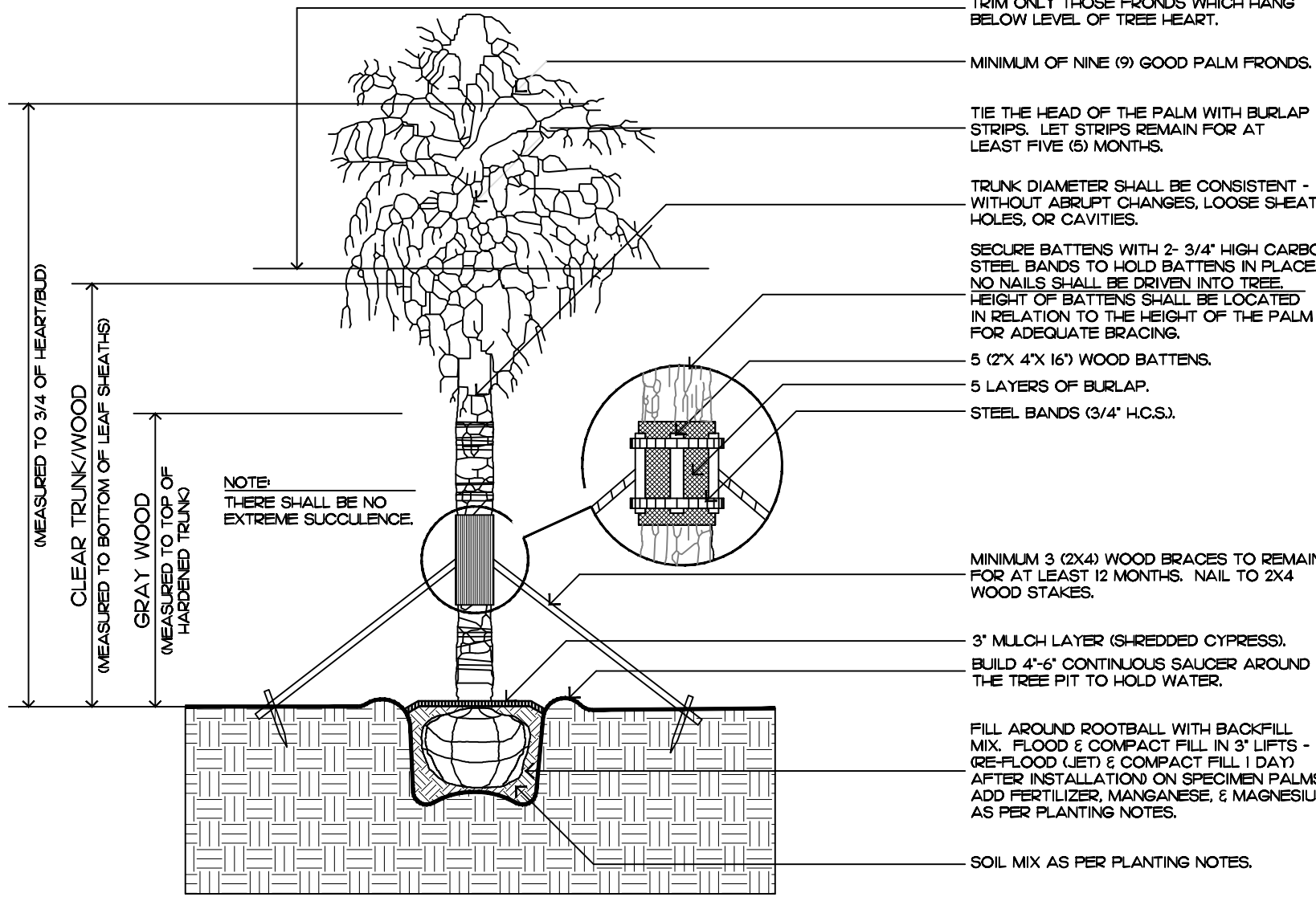
tree planting



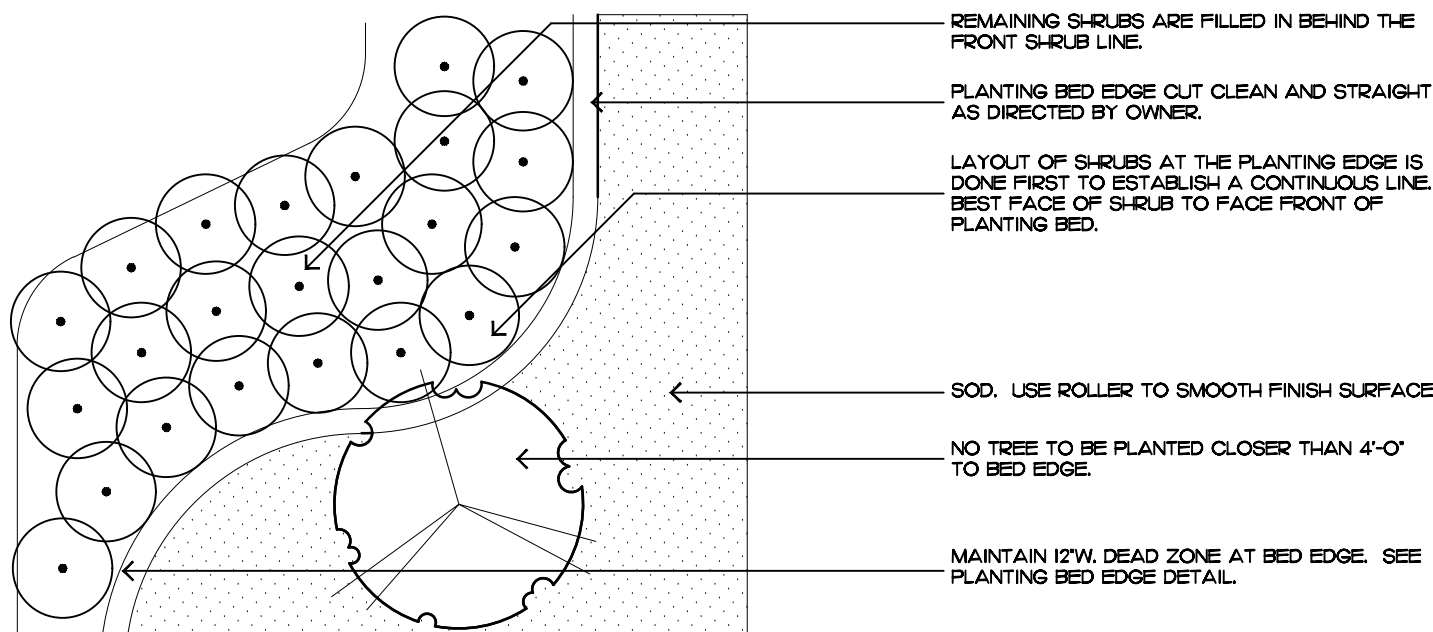
shrub planting



irregular and multi-stem tree



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 2 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR BBG MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

- SHADE TREES:** HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- SHRUBS:** HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.
- PALMS:** CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

- PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES**
- PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADE" AND STANDARDS FOR NURSERY PLANTS PARTS 1 & 11, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER, WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UN-HEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLIGENCE BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road SF20-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
224 Atlantic Ave  
Palm Beach

A  
D  
R  
O  
L  
F

2024

COPYRIGHT: The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2024

DISCLAIMER: Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE CALL  
OF FLORIDA, INC.

ARC-24-0120  
Planting Details & Specifications

SHEET L7.3





North Elevation

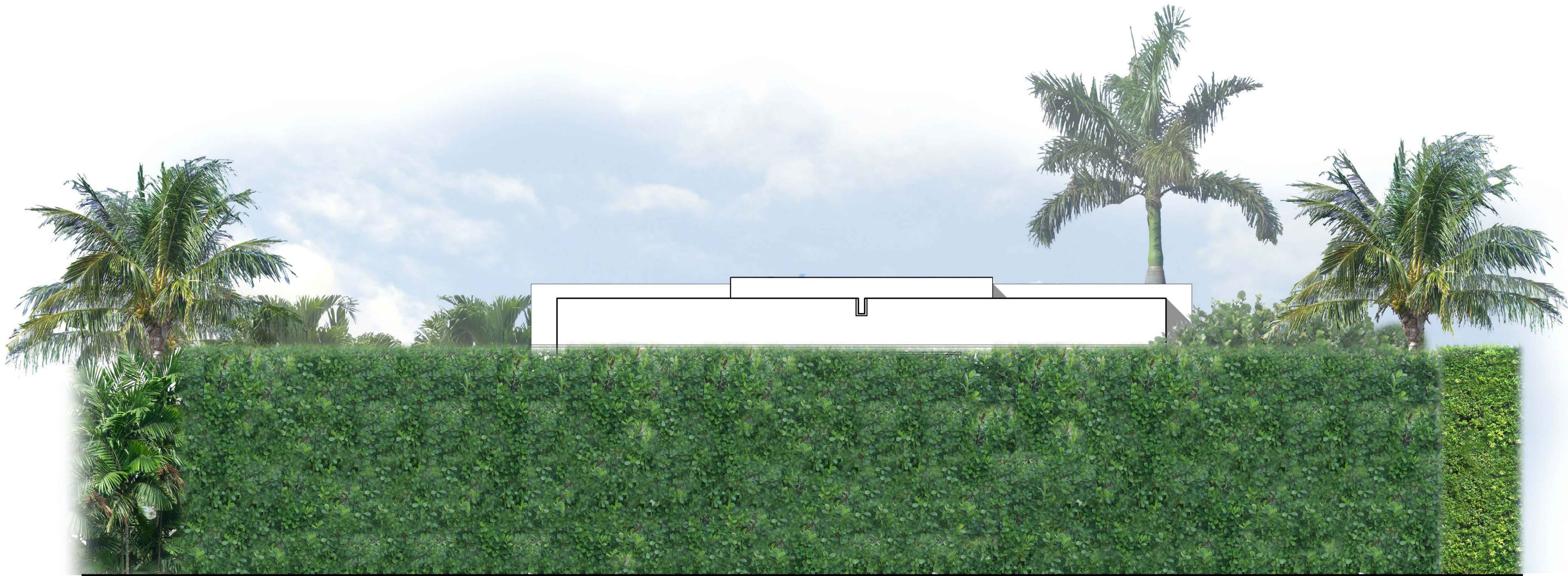


South Elevation

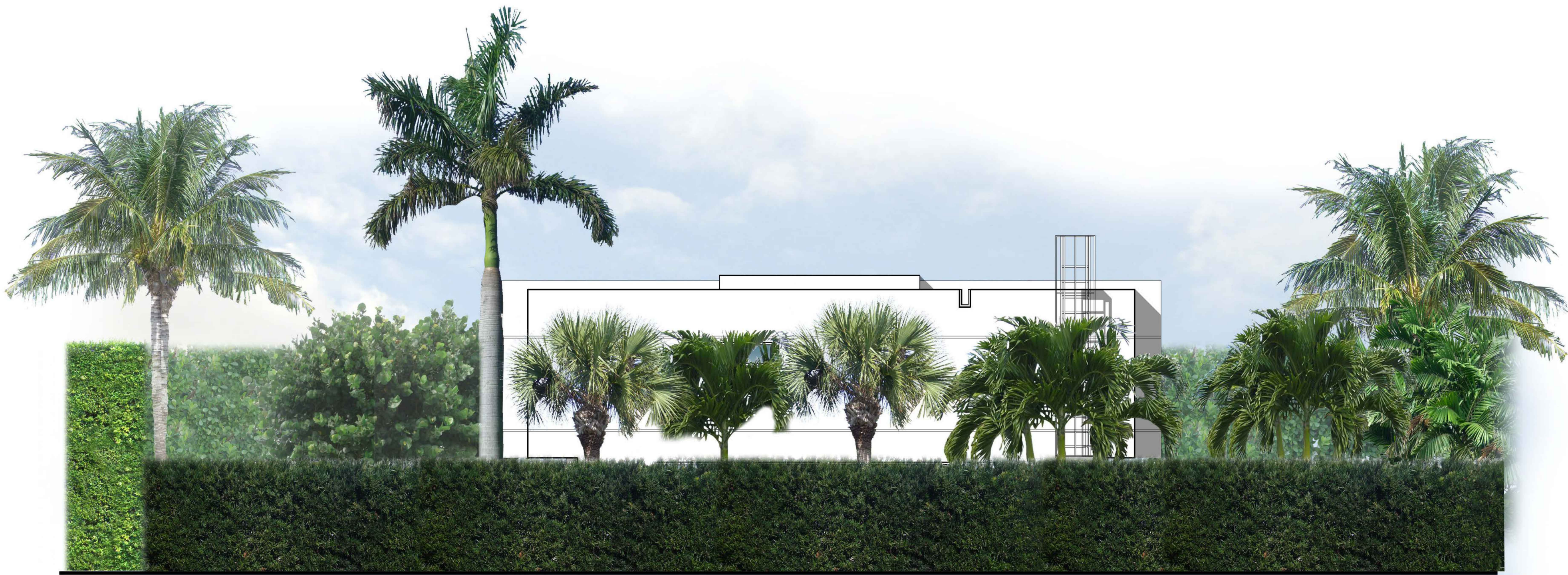
JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

SHEET L8.0





East Elevation



West Elevation

Private Residence  
224 Atlantic Ave  
Palm Beach

JOB NUMBER: # 24197.00 LA  
DRAWN BY: Lauren Freeman  
DATE: 11.28.2024  
12.16.2024

SHEET L8.1

**COPYRIGHT:** 2024  
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

**DISCLAIMER:** 2024  
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING  
CALL TOLL FREE  
1-800-432-4770  
SUNSHINE STATE ONE CALL  
OF FLORIDA, INC.

Rendered Landscape Elevations  
SCALE IN FEET: 3/16"=1'-0"