

1600 S. OCEAN BLVD.

PALM BEACH, FLORIDA

SECOND SUBMITTAL - DEC 16, 2024
ARC-24-0113

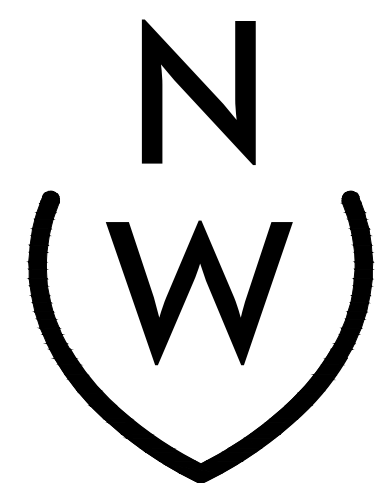
ANTICIPATED MEETING: JAN 29, 2024

SCOPE OF WORK:

- OVERALL LANDSCAPE ENHANCEMENTS
- NEW FRONT GATE AND COLUMNS

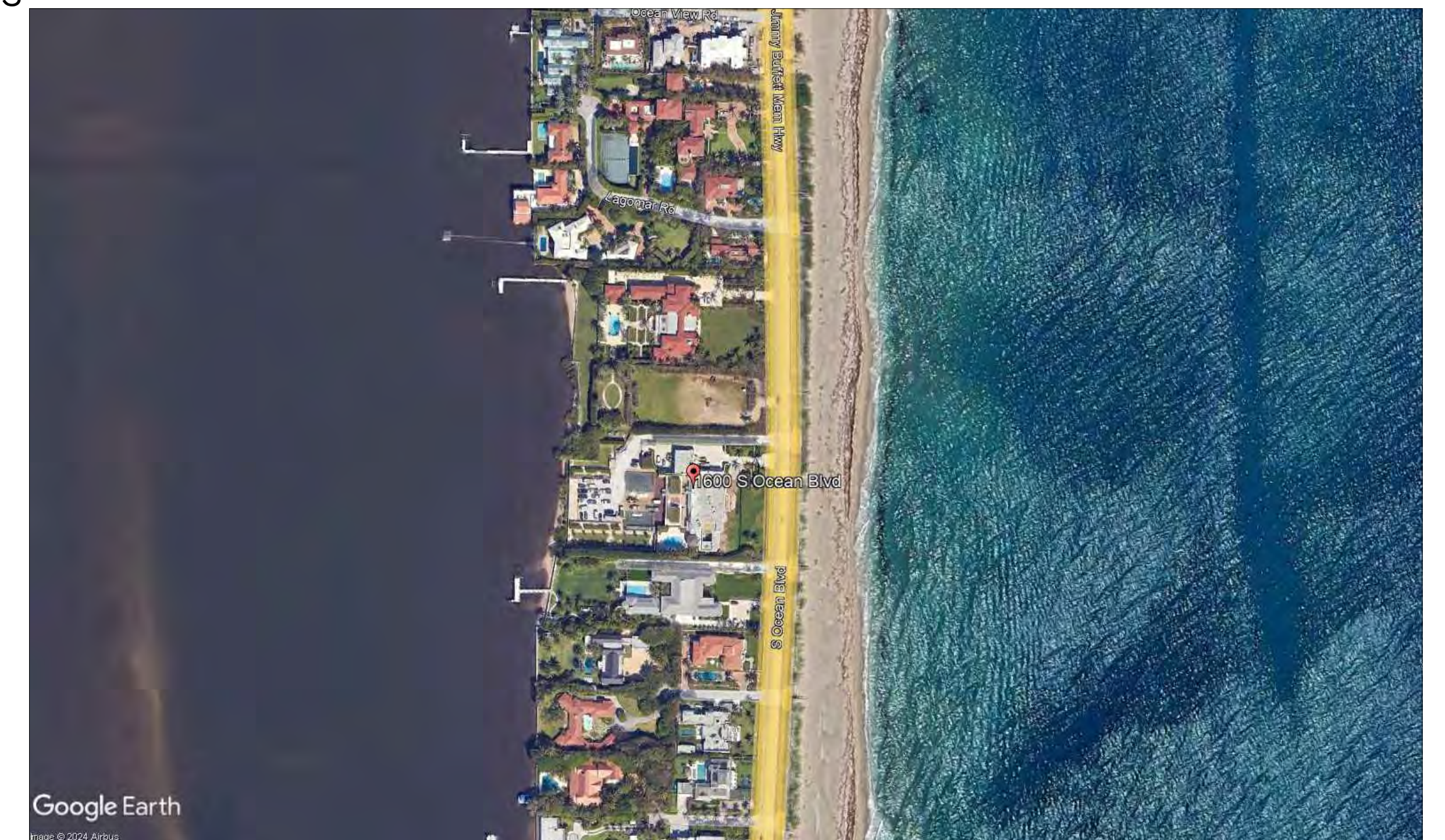
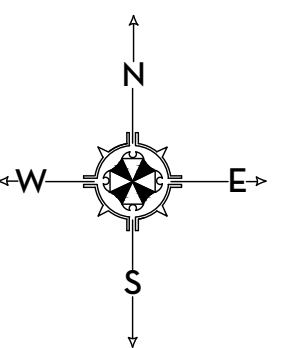
SHEET LEGEND:

LO-SITE PLAN RENDERING
2-5: PERSPECTIVE RENDERINGS
EL1-EL4: ELEVATION RENDERINGS
EX1: EXISTING CONDITIONS/DEMOLITION
EX2: LOCATION PLAN
EX3: SITE PHOTOS
CSP: CONSTRUCTION SCREENING PLAN
L1: HARDSCAPE PLAN
LP1: PLANTING PLAN
LP2: PLANT LIST, NATIVE CALCULATIONS, DETAILS
LL1: LANDSCAPE LIGHTING PLAN
LL2: LANDSCAPE LIGHTING SPECIFICATIONS
D1: GENERAL SITE DETAILS
D2: DRIVEWAY GATE DETAIL
D3: JAPANESE GARDEN DETAILS
D4: TYPICAL WALL DETAIL
D5: DOCK GATE DETAIL
OS1: OPEN SPACE DIAGRAM
OS2: SITE ALTERATION DIAGRAM



NIEVERA WILLIAMS
DESIGN

625 N. Flagler Drive
Suite 502
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VICINITY LOCATION MAP



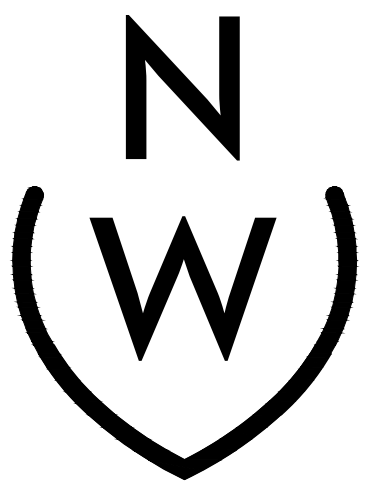
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE PLAN
PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

16 DECEMBER 2024
04 NOVEMBER 2024
15 OCTOBER 2024
31 JULY 2024
19 JUNE 2024



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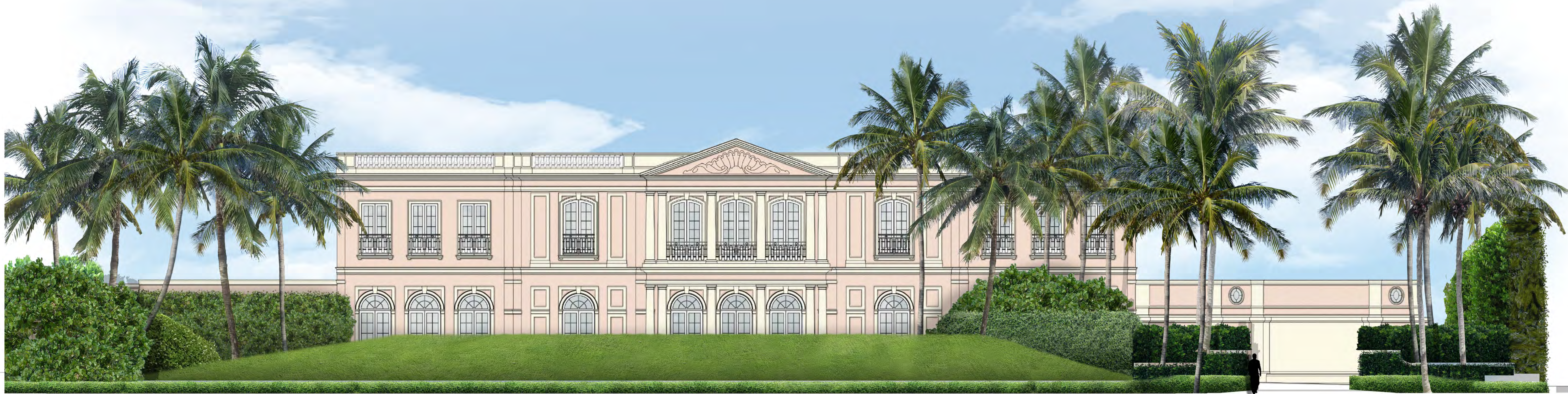
Lo

SCALE: 1/16" = 1'-0"









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ELEVATION
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EL1



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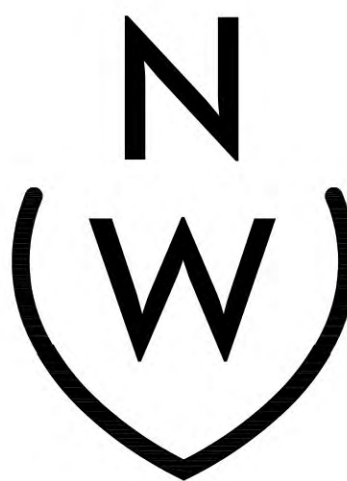
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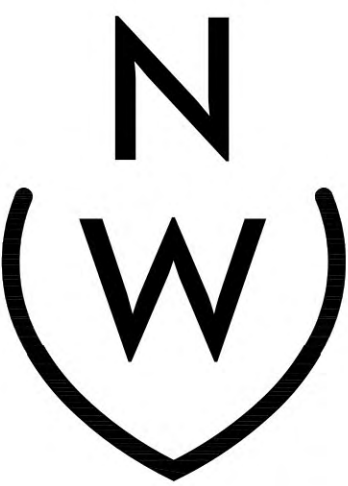
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EL2



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EL3

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SCALE: 1/16" = 1'-0"

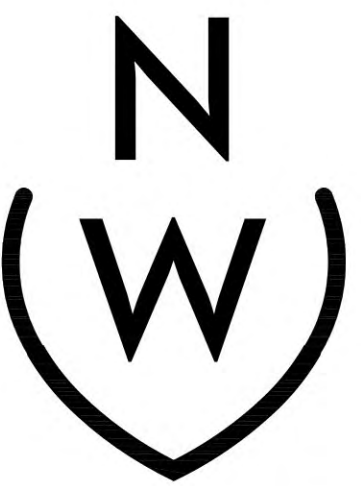


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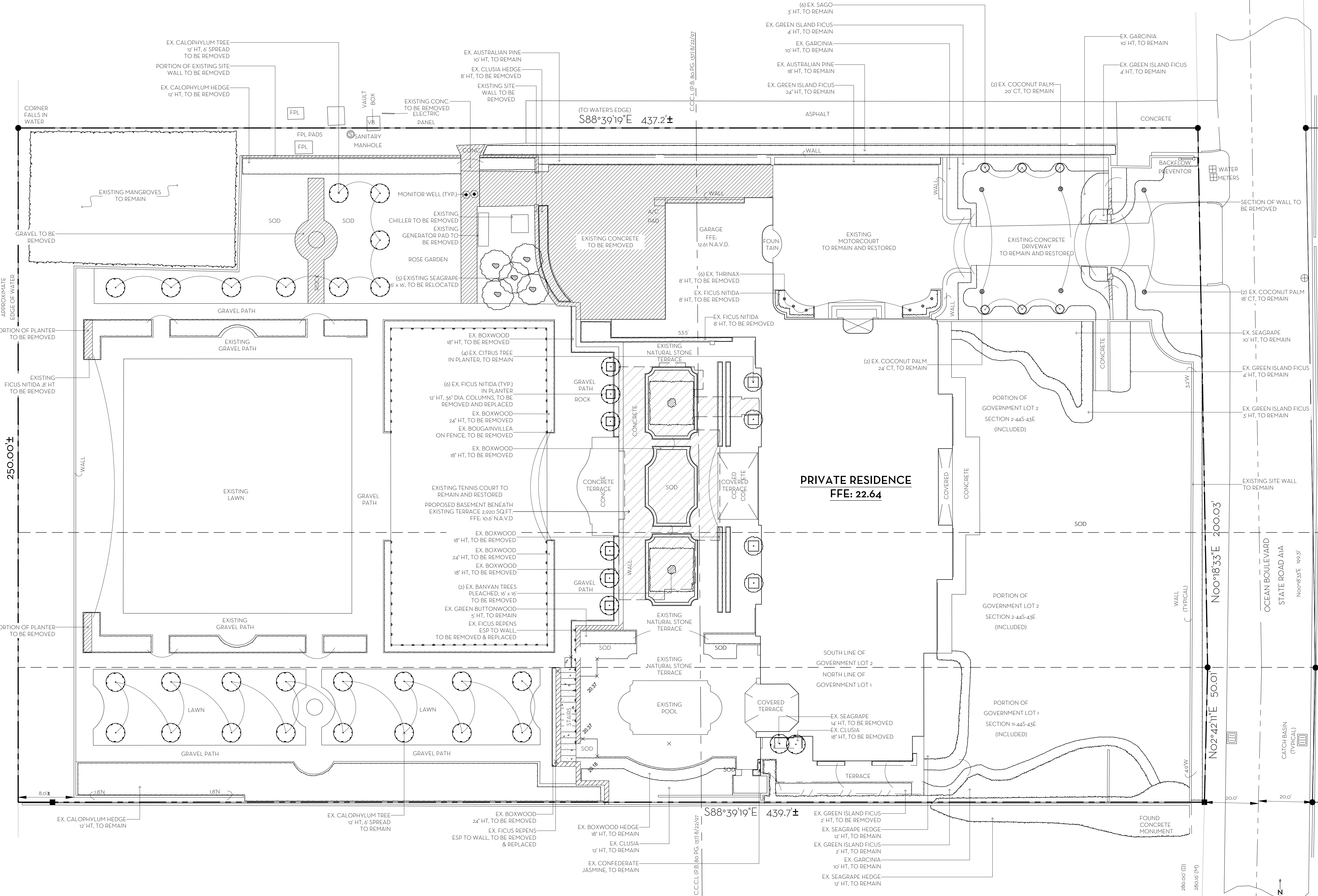


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EL4



NOTES:
1. ALL CURBS AROUND GRAVEL PATHS TO REMAIN

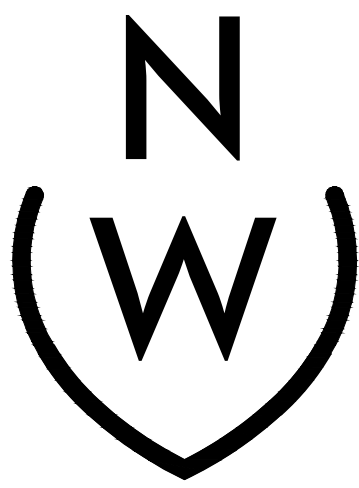
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EXISTING CONDITIONS PLAN
PRIVATE RESIDENCE

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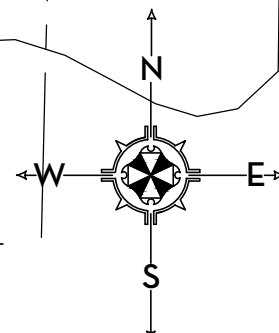
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EX1

SCALE: 1/16" = 1'-0"

0 4 8 16 32 FEET
SCALE: 1/16" = 1'-0"





LOCATION PLAN

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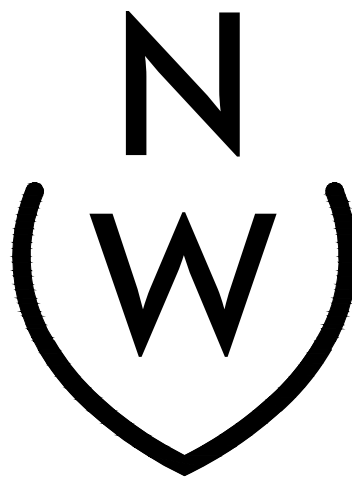
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EX2



LOOKING WEST FROM POOL



LOOKING WEST



MOTORCOURT LOOKING WEST



FROM POOL LOOKING NORTH

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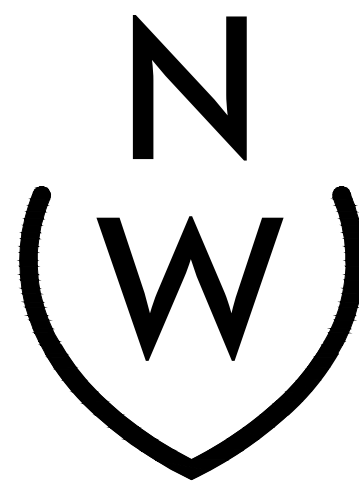
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SITE PHOTOS
PRIVATE RESIDENCE

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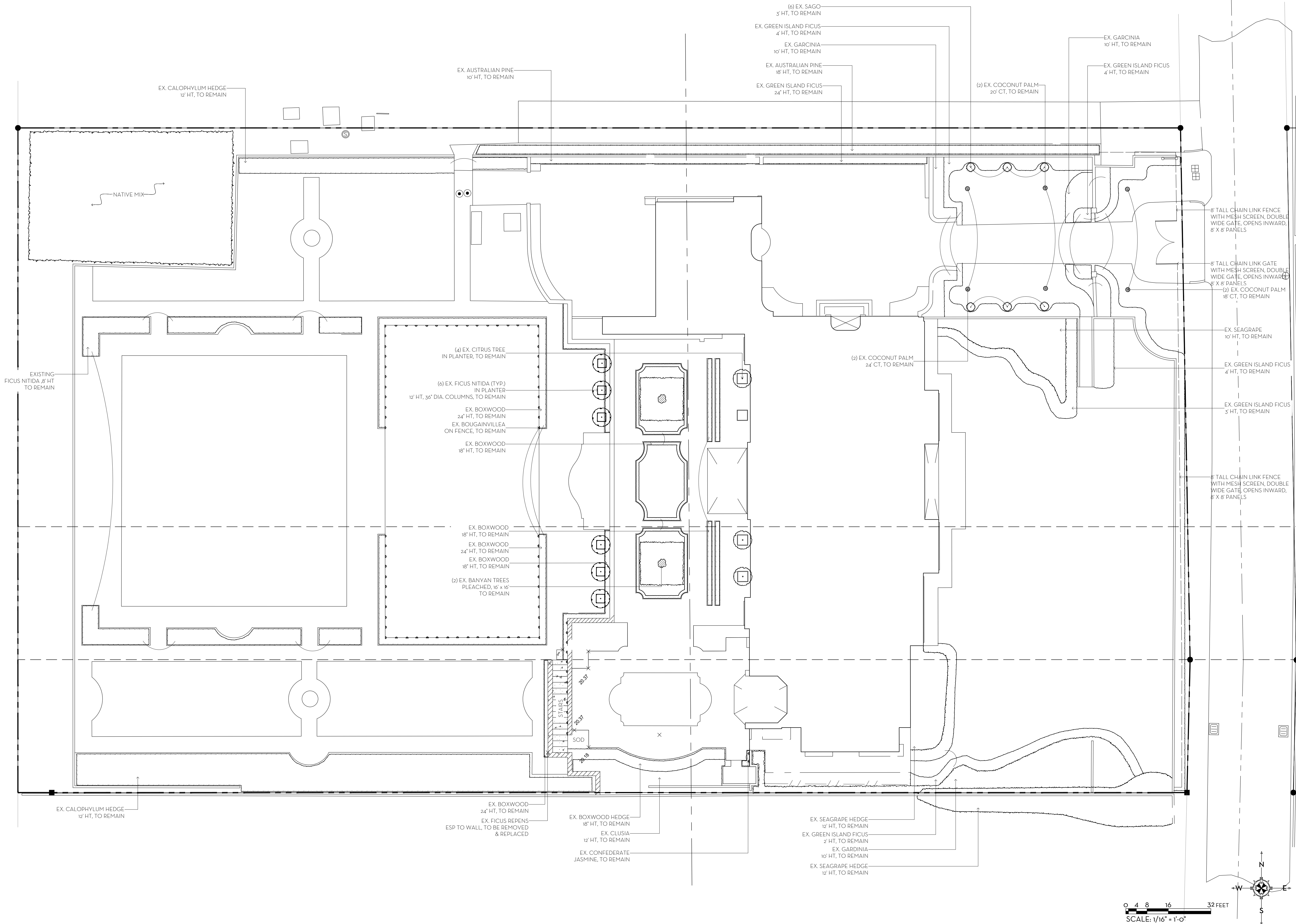


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EX3



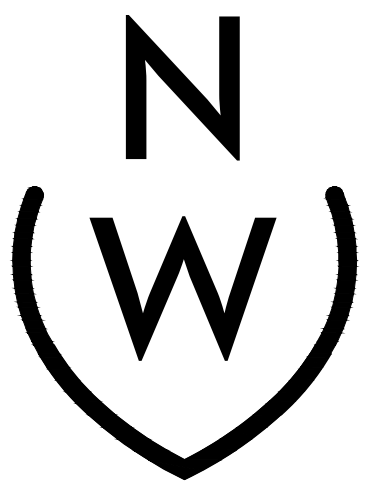
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CONSTRUCTION SCREENING PLAN
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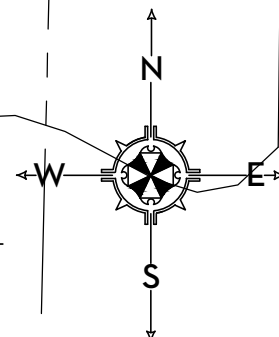
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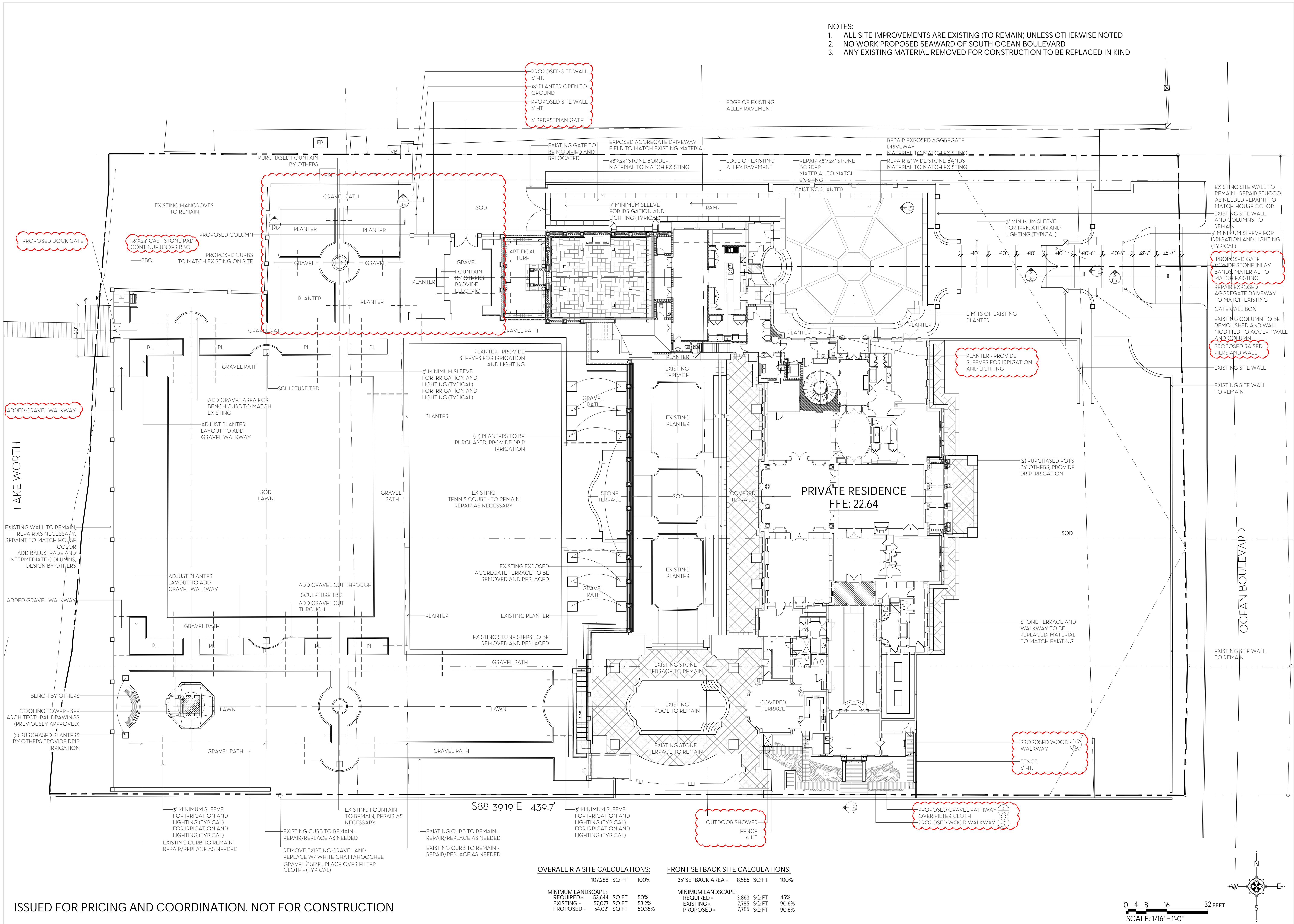
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CSP

SCALE: 1/16" = 1'-0"

0 4 8 16 32 FEET
SCALE: 1/16" = 1'-0"





- NOTES:
1. ALL SITE IMPROVEMENTS ARE EXISTING (TO REMAIN) UNLESS OTHERWISE NOTED
 2. NO WORK PROPOSED SEAWARD OF SOUTH OCEAN BOULEVARD
 3. ANY EXISTING MATERIAL REMOVED FOR CONSTRUCTION TO BE REPLACED IN KIND

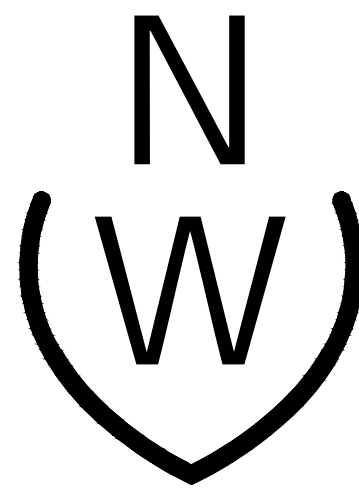
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HARDSCAPE PLAN
PRIVATE RESIDENCE

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L1

OVERALL R-A SITE CALCULATIONS:

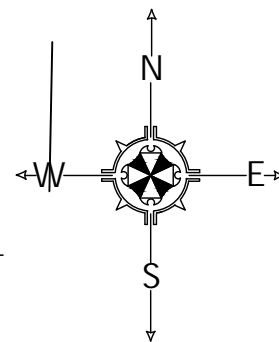
	107,288	SQ FT	100%
MINIMUM LANDSCAPE:			
REQUIRED =	53,644	SQ FT	50%
EXISTING =	57,077	SQ FT	53.2%
PROPOSED =	54,021	SQ FT	50.35%

FRONT SETBACK SITE CALCULATIONS:

	8,585	SQ FT	100%
35' SETBACK AREA =			
MINIMUM LANDSCAPE:			
REQUIRED =	3,863	SQ FT	45%
EXISTING =	7,785	SQ FT	90.6%
PROPOSED =	7,785	SQ FT	90.6%

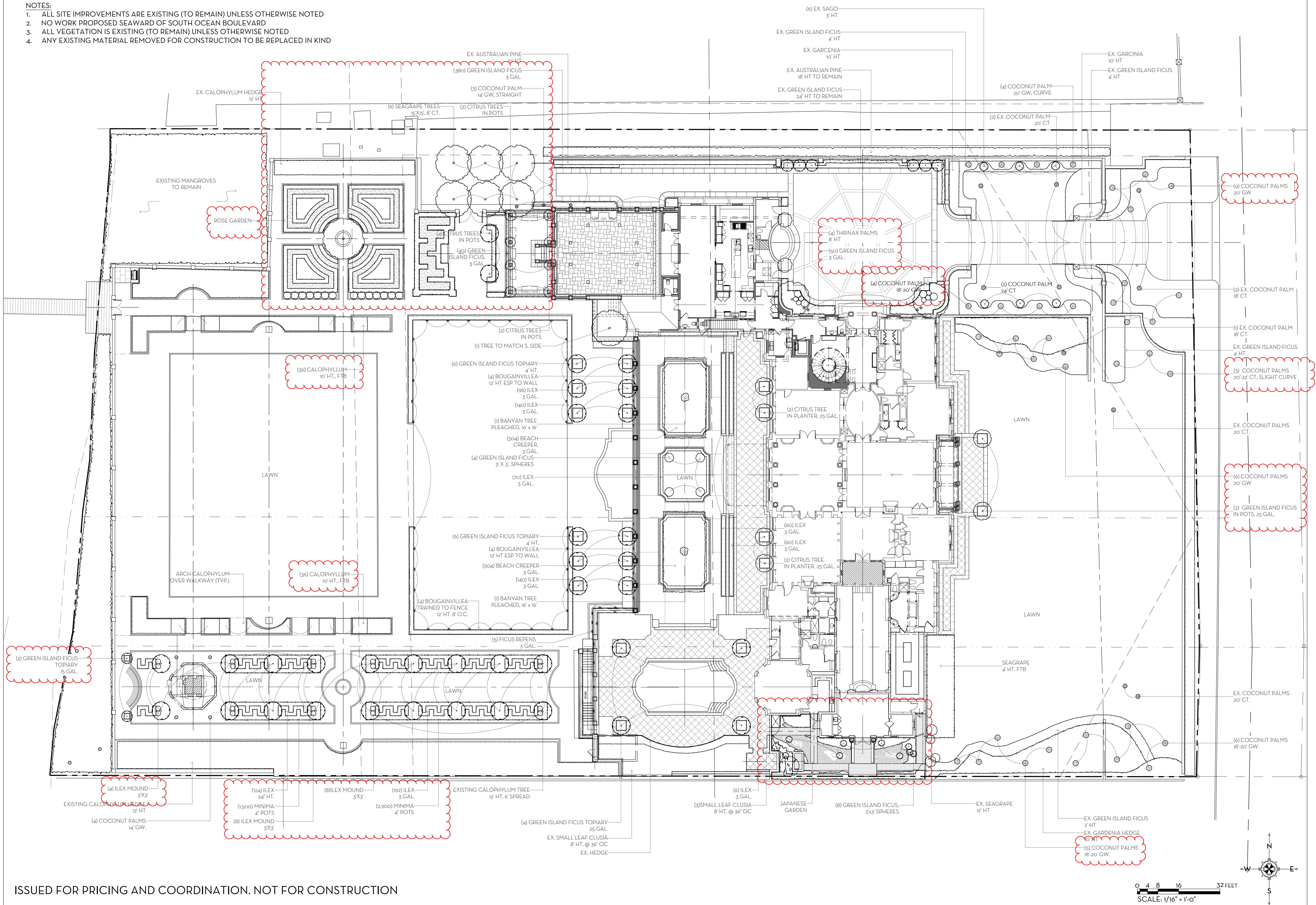
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0 4 8 16 32 FEET
SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"

- NOTES:
1. ALL SITE IMPROVEMENTS ARE EXISTING (TO REMAIN) UNLESS OTHERWISE NOTED
 2. NO WORK PROPOSED SEAWARD OF SOUTH OCEAN BOULEVARD
 3. ALL VEGETATION IS EXISTING (TO REMAIN) UNLESS OTHERWISE NOTED
 4. ANY EXISTING MATERIAL REMOVED FOR CONSTRUCTION TO BE REPLACED IN KIND



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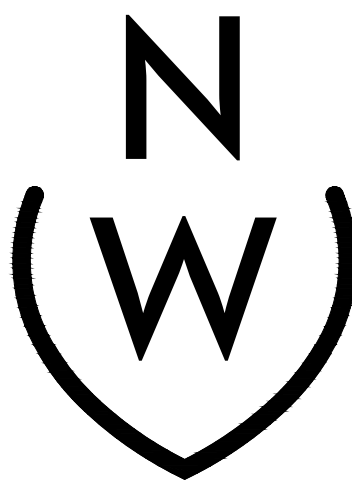
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LANDSCAPE PLAN

PRIVATE RESIDENCE

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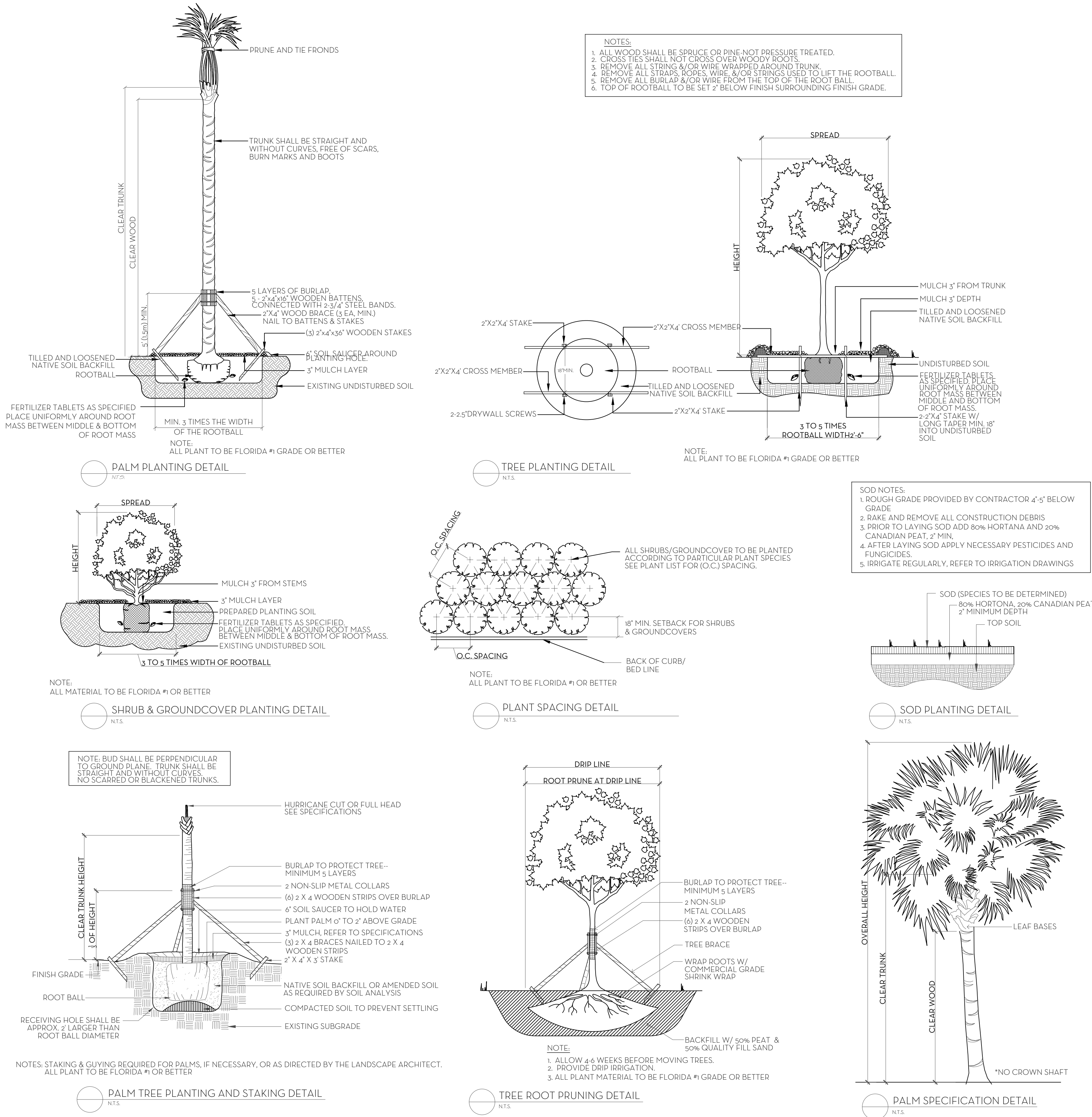
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LP1

SCALE: 1/16" = 1'-0"



		1600 South Ocean Blvd				
NIEVERA WILLIAMS DESIGN		December 13, 2024				
Landscape Material Schedule						
Item No.	Common Name	Botanical Name	Quantity	Specification	Native	Covered Area (sf)
1	TREES					
2	Seagrape	Coccoloba diversifolia	6	15'X15', 8' CT.	*	
3	Citrus tree	Citrus ssp.	8	In Pots	*	
4	Citrus tree	Citrus ssp.	4	25 Gal. In Planters	*	
5	Banyan	Ficus benghalensis	2	Pleached, 16'X16'		
6			20		90%	
7	PALMS					
8	Coconut Palm	Cocos nucifera	7	14' GW, Straight		
9	Coconut Palm	Cocos nucifera	15	18'-20' GW		
10	Coconut Palm	Cocos nucifera	23	20' GW		
11	Coconut Palm	Cocos nucifera	4	20' GW, Curve		
12	Coconut Palm	Cocos nucifera	3	20'-22' CT, Slight Curve		
13	Coconut Palm	Cocos nucifera	4	24' CT		
14	Thrinax Palms	Thrinax Radiata	4	8' HT	*	
			60			
15	SHRUB/VINE					
16	Green Island Ficus	Ficus microcarpa 'Green Island'	470	3 Gal.		
17	Green Island Ficus	Ficus microcarpa 'Green Island'	12	3'x3' Spheres		
18	Green Island Ficus	Ficus microcarpa 'Green Island'	2	25 Gal. in pots		
19	Green Island Ficus	Ficus microcarpa 'Green Island'	12	4' HT Topiary		
20	Green Island Ficus	Ficus microcarpa 'Green Island'	2	15 Gal. Topiary		
22	Green Island Ficus	Ficus microcarpa 'Green Island'	4	25 Gal. Topiary		
23	Roses	Rosa	45	7 Gal.		
23	Small Leaf Clusia	Clusia guttifera	3	8' HT. @ 36" OC		
24	Ilex	Ilex cassine	888	3 Gal.	*	
25	Ilex	Ilex cassine	20	3'x3' Spheres	*	
26	Creeping Fig	Ficus Repens	5	3 Gal.		
27	Calophyllum	Calophyllum brasiliense	72	10' HT., FTB		
28	Bougainvillea	Bougainvillea spp.	8	12' HT. Esp to Wall		
29	Bougainvillea	Bougainvillea spp.	4	12' HT. 8' OC, Trained to Fence		
			1547		59%	
30	GROUND COVER					
31	Minima	Trachelospermum asiaticum	4400	4" Pots		2200
32	Beach Creeper	Ernodea littoralis	1008	3 Gal.	*	1008
			5408		31%	3208

			
Town of Palm Beach			
Planning Zoning and Building			
600 S. County Rd			
Palm Beach, FL 33480			
www.townofpalmbeach.com			
Landscape Legend			
Line #	Property Address:	1600 S. Ocean	
2	Lot Area (sq. ft.):	107,288	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	53,644 (50%)	54,021 (50.35%)
5	LOS to be altered (Sq Ft and %)	N/A	N/A
6	Perimeter LOS (Sq Ft and %)	N/A	N/A
7	Front Yard LOS (Sq Ft and %)	3,863 (45%)	7,785 (90.6%)
8	Native Trees %	30% (number of trees)	90%
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	59%
10	Native Groundcover %	30% (groundcover area)	31%
To determine qualifying native vegetation use either:			
the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List			
OR			
the Florida Native Plant Society Native Plants for Your Area List			
Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.			
This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openness data shall be incorporated on to corresponding zoning legend.			
See Ord. 003-2023		REV BF 20230737	

MARIO F. NIEVERA

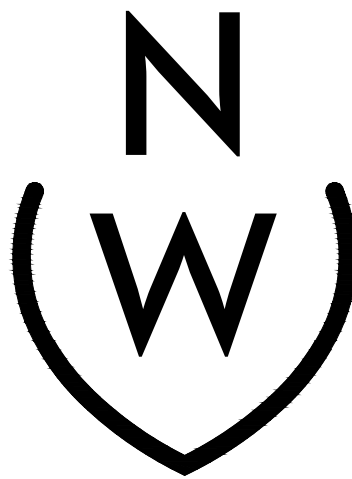
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PLANT LIST AND DETAILS

PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

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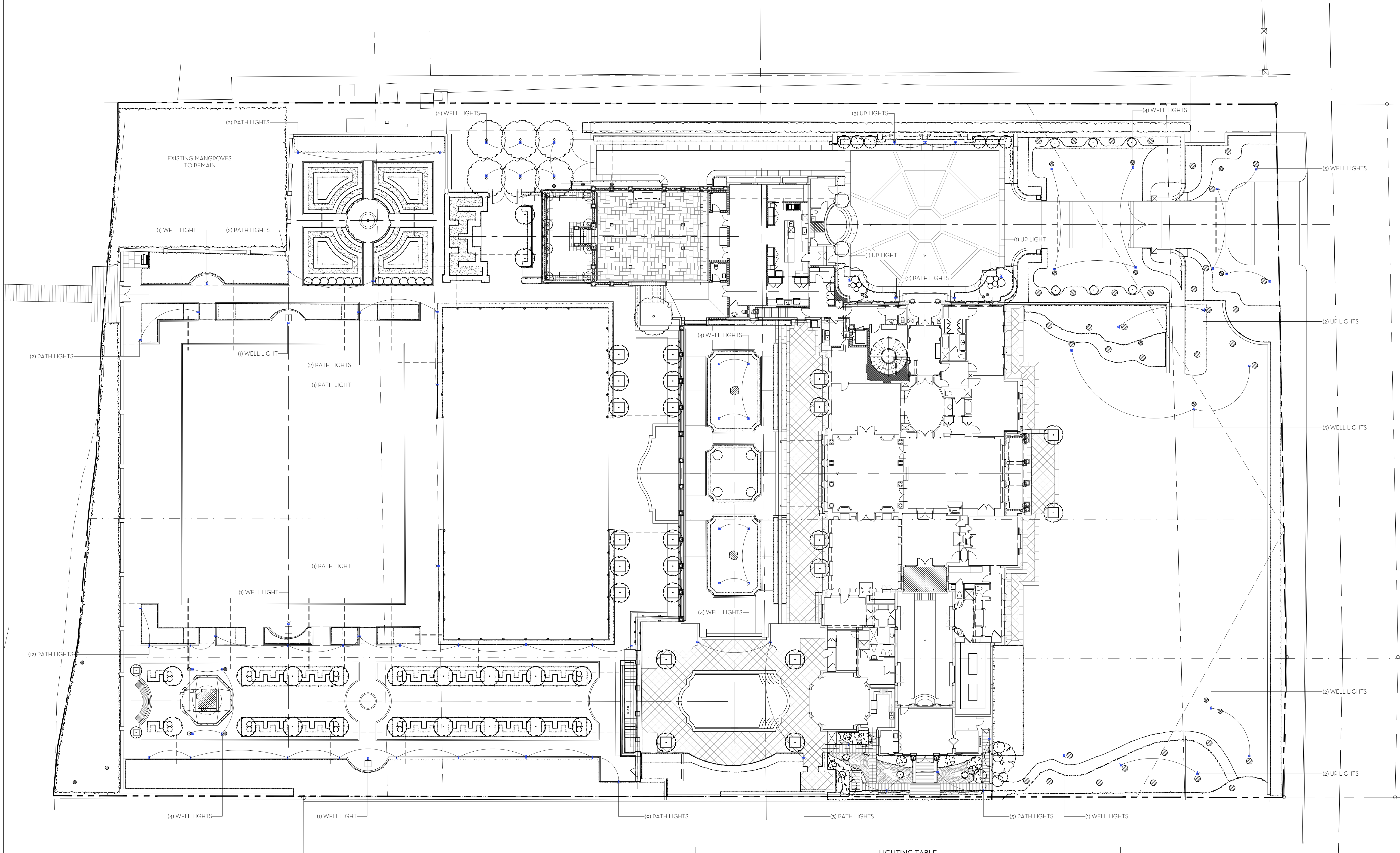
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LP2

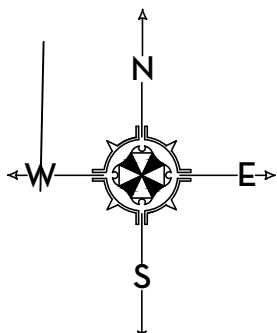
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LIGHTING TABLE							
SYMBOL	LIGHT	QTY	FIXTURE	FINISH	WATTAGE	LUMENS	COLOR TEMP
	UP LIGHT	09	SPJ LIGHTING 'TITAN'	MBR	6 W	300	2700K
	PATH LIGHT	41	SPJ-SQ100-1	MBR	3 W	350	2700K
	WELL LIGHT	37	SPJ-MW1000-P-GR	MBR	6 W	300	2700K

0 4 8 16 32 FEET
SCALE: 1/16" = 1'-0"



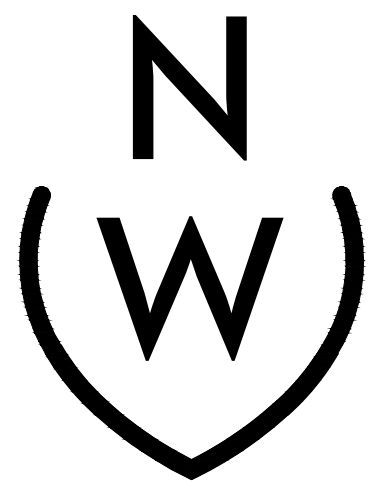
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LANDSCAPE LIGHTING PLAN
PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

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SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Directional Light
TITAN



MODEL: TITAN

MATERIAL: Solid Brass

FINISH SHOWN: Matte Bronze

ELECTRICAL: 12-15v

WATTAGE: 6W

ENGINE: FB-3W-CYL-TA16

LUMENS: 300

MOUNTING: 1/2" NPT, Dual Fin Spike Included

FINISHES

☐ Matte Bronze (MBR)

☐ Verde (V)

☐ Moss (M)

☐ Black (B)

☐ Rusty (R)

☐ Satin Brass (SB)

☐ Aged Brass (AG)

☐ Raw Copper (RC)

☐ Natural Copper (NC)

PVD PREMIUM

☐ PVD Polished (PVDP)

☐ PVD Satin (PVDS)

☐ PVD Graphite (PVDG)

☐ PVD Bronze (PVD8Z)

☐ PVD Black (PVD8L)

WATTAGE

☐ 6W

LUMENS

☐ 300

Custom lumen packages are available upon request.

COLOR TEMPERATURE

☐ 2200K

☐ 5000K

☐ 2700K

☐ 4500K

☐ 3000K

☐ RGBW

☐ 4000K

☐ WARM DIMMING

Custom options are available

ELECTRICAL

☐ 12-15V

☐ 120V

OPTICS

☐ SPOT

☐ FL000

☐ WIDE FLOOD

☐ WIDE ANGLE FLOOD

19d

38d

54d

120d

Tempered Glass

Adjustable Shroud

8/32" Phillip Screw

2 1/4"

4"



2 1/8"

4"

1/2" NPT Male

Thumb/slotted solid brass set screw

Wet Listed



Ordering Example

Customer Approval


Date

TITAN-MBR-6W-27K-12-15V

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Contemporary Path Lights
SPJ-SQ100-1



MODEL: SPJ-SQ100-1

MATERIAL: Solid Brass

FINISH SHOWN: Matte Bronze

ELECTRICAL: 12V or 120V

WATTAGE: 2W

ENGINE: FB-L32

LUMENS: 150

MOUNTING: 1/2" NPT, Dual Fin Spike Included

FINISHES

☐ Matte Bronze (MBR)

☐ Verde (V)

☐ Moss (M)

☐ Black (B)

☐ Rusty (R)

☐ Satin Brass (SB)

☐ Aged Brass (AG)

☐ Raw Copper (RC)

☐ Natural Copper (NC)

PVD PREMIUM

☐ PVD Polished (PVDP)

☐ PVD Satin (PVDS)

☐ PVD Graphite (PVDG)

☐ PVD Bronze (PVD8Z)

☐ PVD Black (PVD8L)

WATTAGE

☐ 2W

LUMENS

☐ 150

Custom lumen packages are available upon request.

COLOR TEMPERATURE

☐ 2200K

☐ 5000K

☐ 2700K

☐ 6500K

☐ 3000K

☐ Amber (TF)

☐ 4000K

☐ RGBW

Custom options are available

ELECTRICAL

☐ 12V

☐ 120V

1" SQ.




4 7/8"

1"

21"

1/2" NPT

Wet Listed



Ordering Example

Customer Approval


Date

SPJ-SQ100-1-MBR-2W-27K-12V

SPJ LIGHTING Inc.
ARCHITECTURAL LANDSCAPE & OUTDOOR LIGHTING

SPECIFICATION SHEET

Well Light
SPJ-MW1000-P-GR



MODEL: SPJ-MW1000-P-GR

MATERIAL: Solid Brass

FINISH SHOWN: PVD Satin

ELECTRICAL: 8-15V or 12V-15V

ENGINE: FB-3W-CYL-TA16

LUMENS: 200

COLOR TEMP: 2700K

MOUNTING: In Ground

LED: Nichia

FINISHES

☐ Matte Bronze (MBR)

☐ Verde (V)

☐ Moss (M)

☐ Black (B)

☐ Rusty (R)

☐ Satin Brass (SB)

☐ Aged Brass (AG)

☐ Raw Copper (RC)

☐ Natural Copper (NC)

PVD PREMIUM

☐ PVD Polished (PVDP)

☐ PVD Satin (PVDS)

☐ PVD Graphite (PVDG)

☐ PVD Bronze (PVD8Z)

☐ PVD Black (PVD8L)

WATTAGE

☐ 1W

LUMENS

☐ 80

Custom lumen packages are available upon request.

COLOR TEMPERATURE

☐ 2200K

☐ 5000K

☐ 2700K

☐ 6500K

☐ 3000K

☐ RGBW

☐ 4000K

Custom options are available

ELECTRICAL

☐ 8-15V

☐ 12V-15V

OPTICS

☐ SPOT

☐ FLOOD

☐ WIDE FLOOD

☐ WIDE ANGLE FLOOD

19d

38d

54d

120d

Concrete Flush Out

Tempered glass

8/32 screws



4 1/4"

7 1/2"

2 3/4"

Wire Exit
Specify: Bottom or Side

Wet Listed



Ordering Example

Customer Approval

Date

SPJ-MW1000-P-GR-PVDS-3W-27K-8-15V

LIGHTING TABLE							
SYMBOL	LIGHT	QTY	FIXTURE	FINISH	WATTAGE	LUMENS	COLOR TEMP
▼	UP LIGHT	09	SPJ LIGHTING 'TITAN'	MBR	6 W	300	2700K
▬	PATH LIGHT	41	SPJ-SQ100-1	MBR	3 W	350	2700K
⦿	WELL LIGHT	37	SPJ-MW1000-P-GR	MBR	6 W	300	2700K



UP LIGHT



PATH LIGHT



WELL LIGHT

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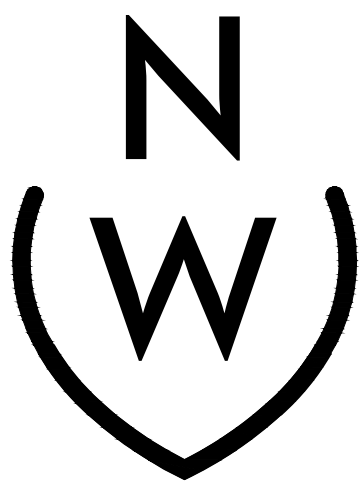
State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE LIGHTING SPEC

PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

16 DECEMBER 2024
04 NOVEMBER 2024
15 OCTOBER 2024
31 JULY 2024
19 JUNE 2024



NIEVERA WILLIAMS
DESIGN

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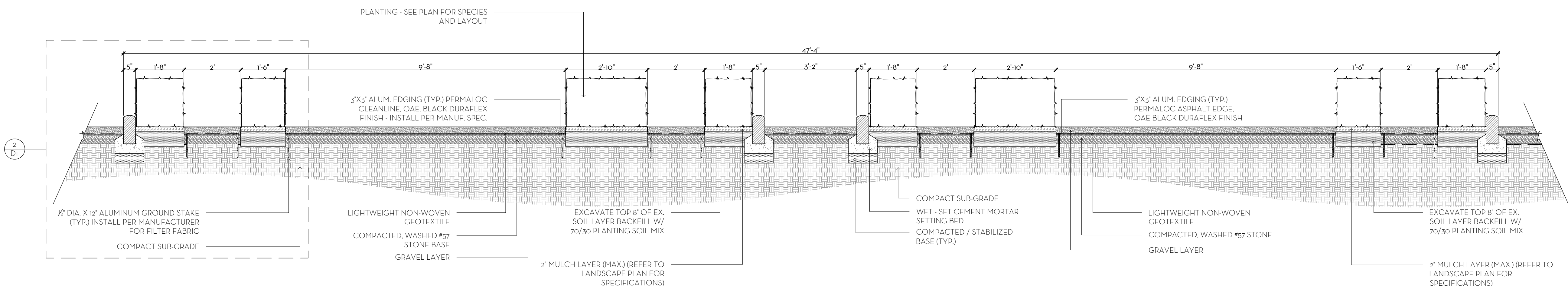
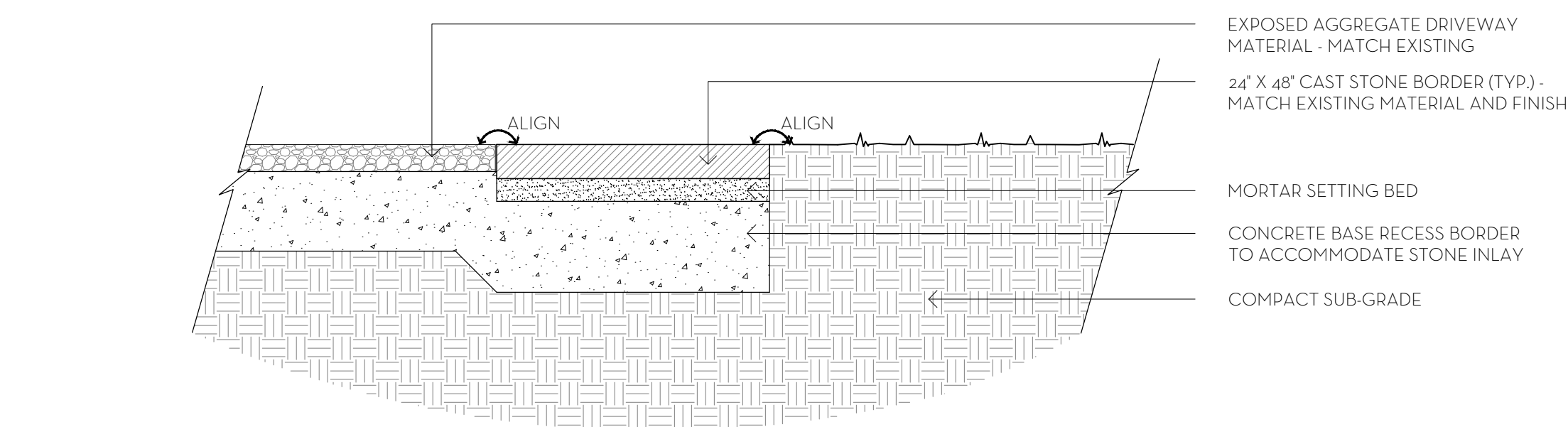
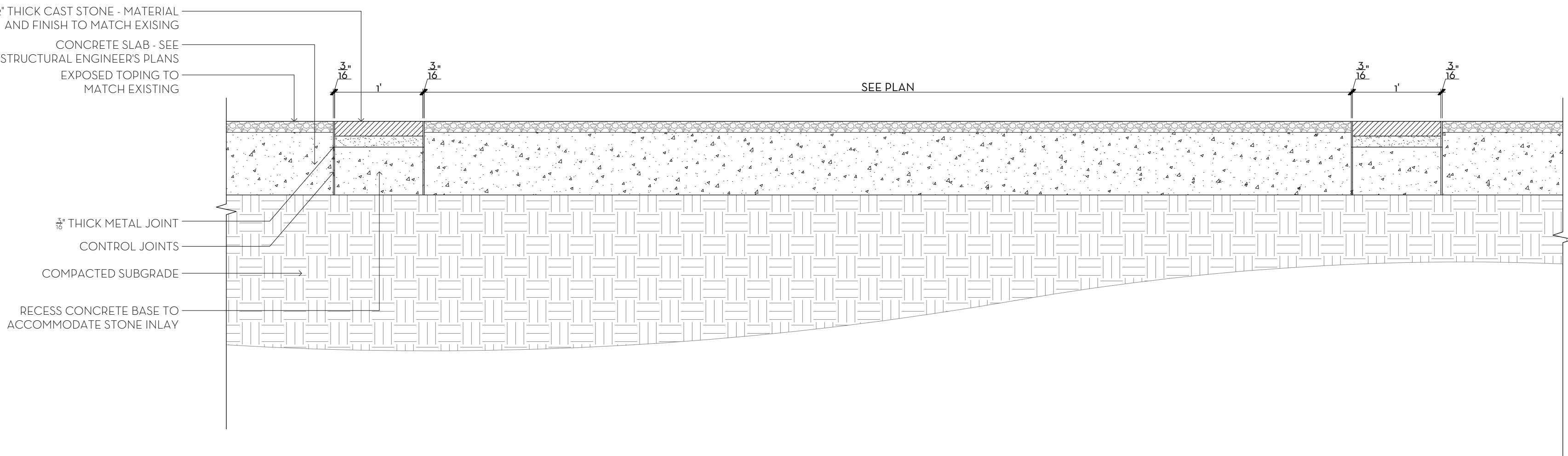
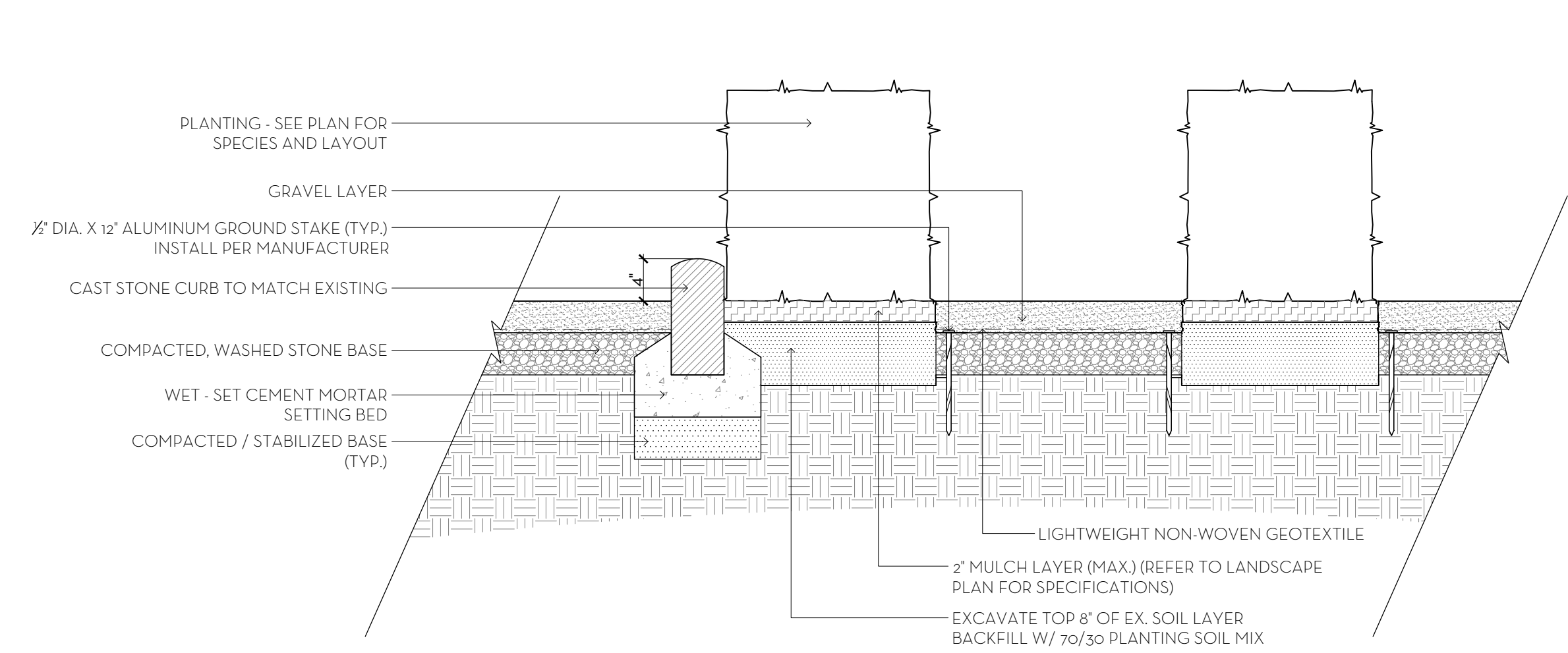
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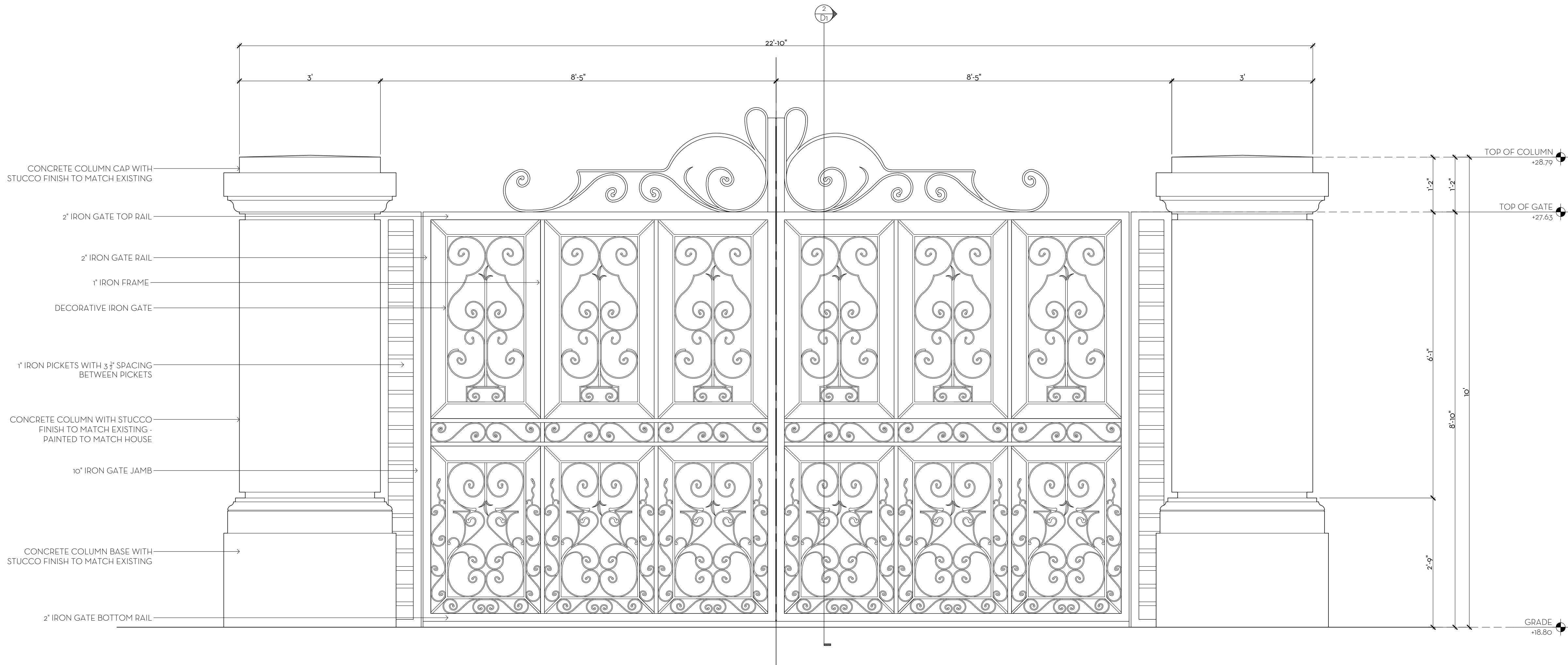
LL2

1
D1 ROSE GARDEN SECTION DETAIL
SCALE: 1/2" = 1'-0"

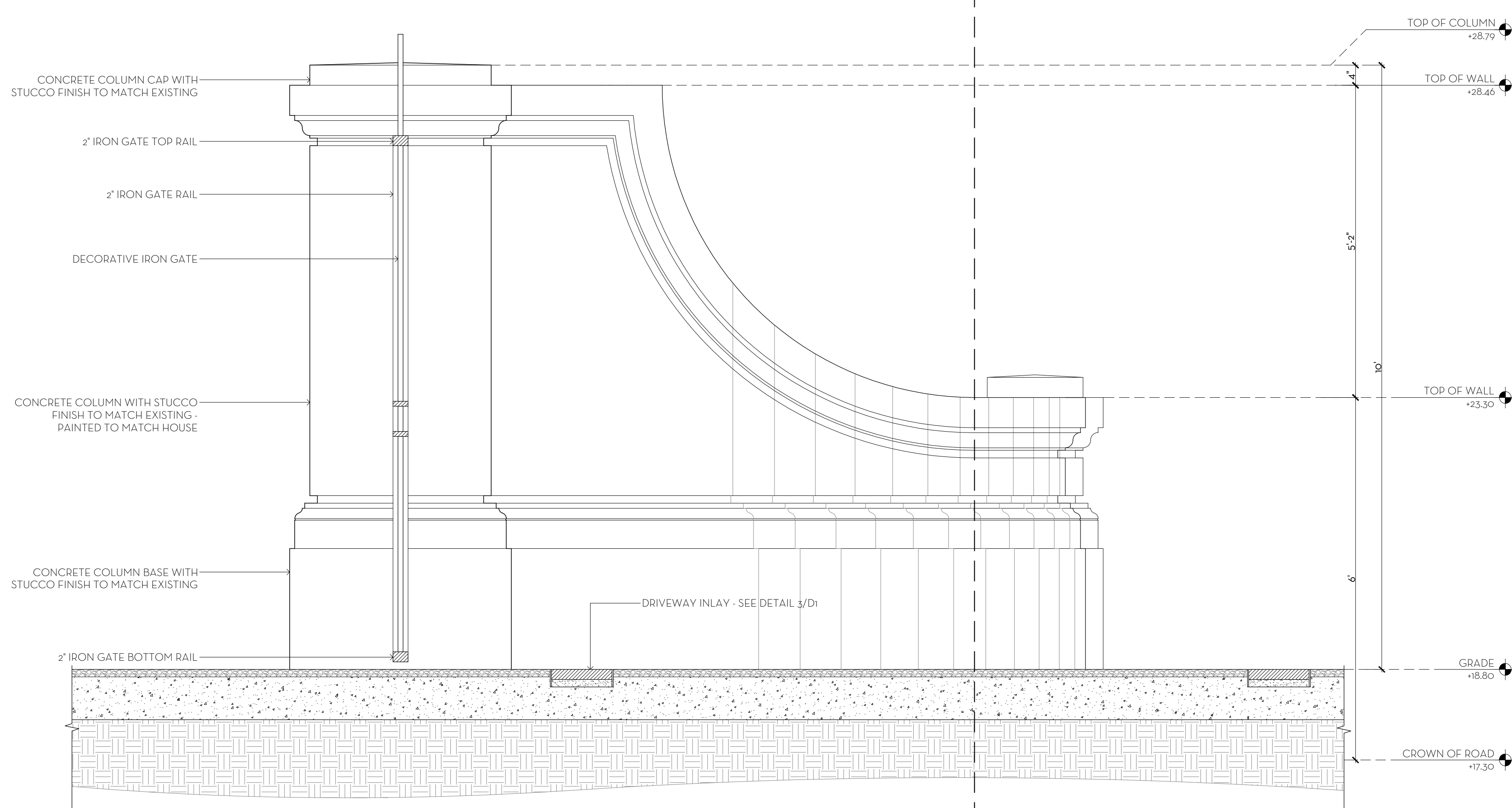
2
D1 ROSE GARDEN DETAIL
SCALE: 1" = 1'-0"

4
D1 MOTORCOUT BORDER PAVING SECTION
SCALE: 1" = 1'-0"

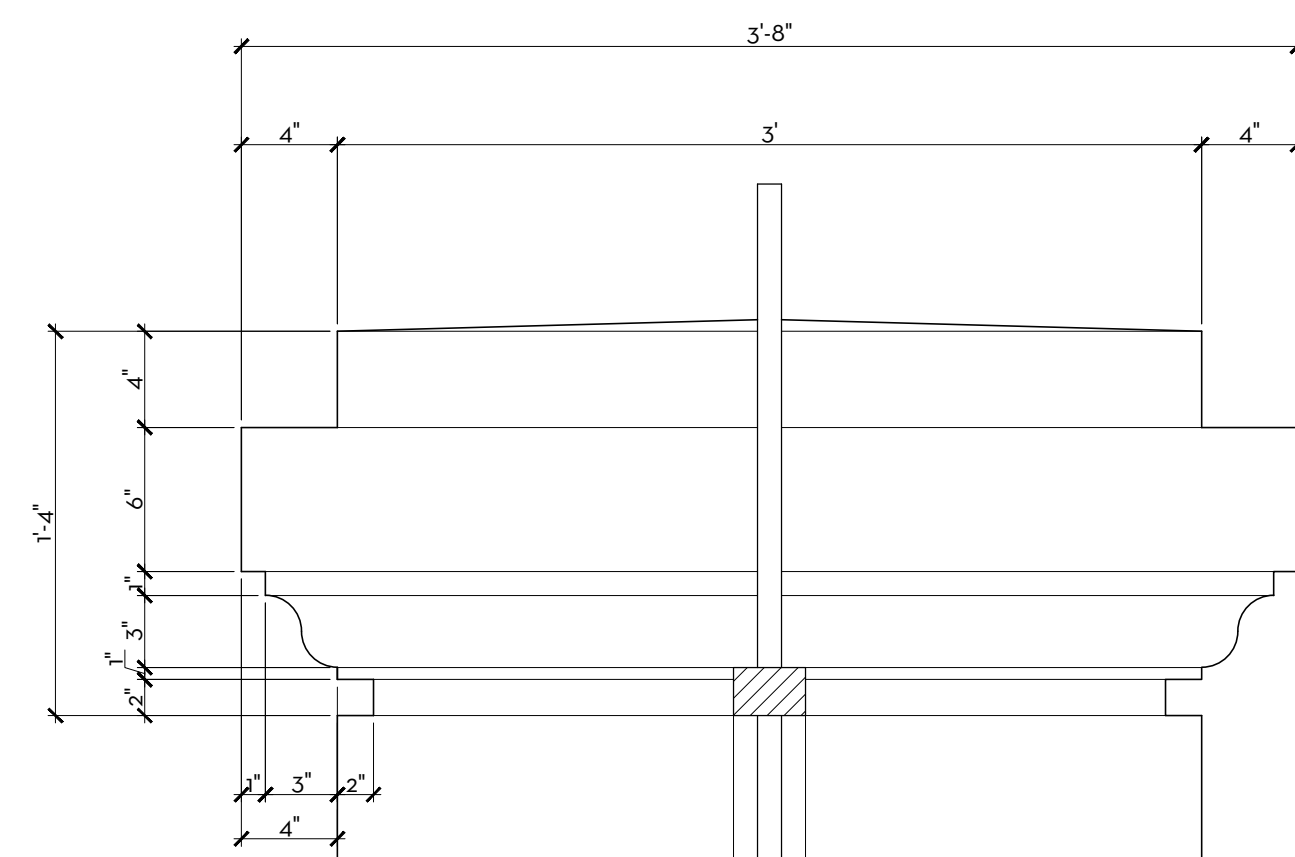




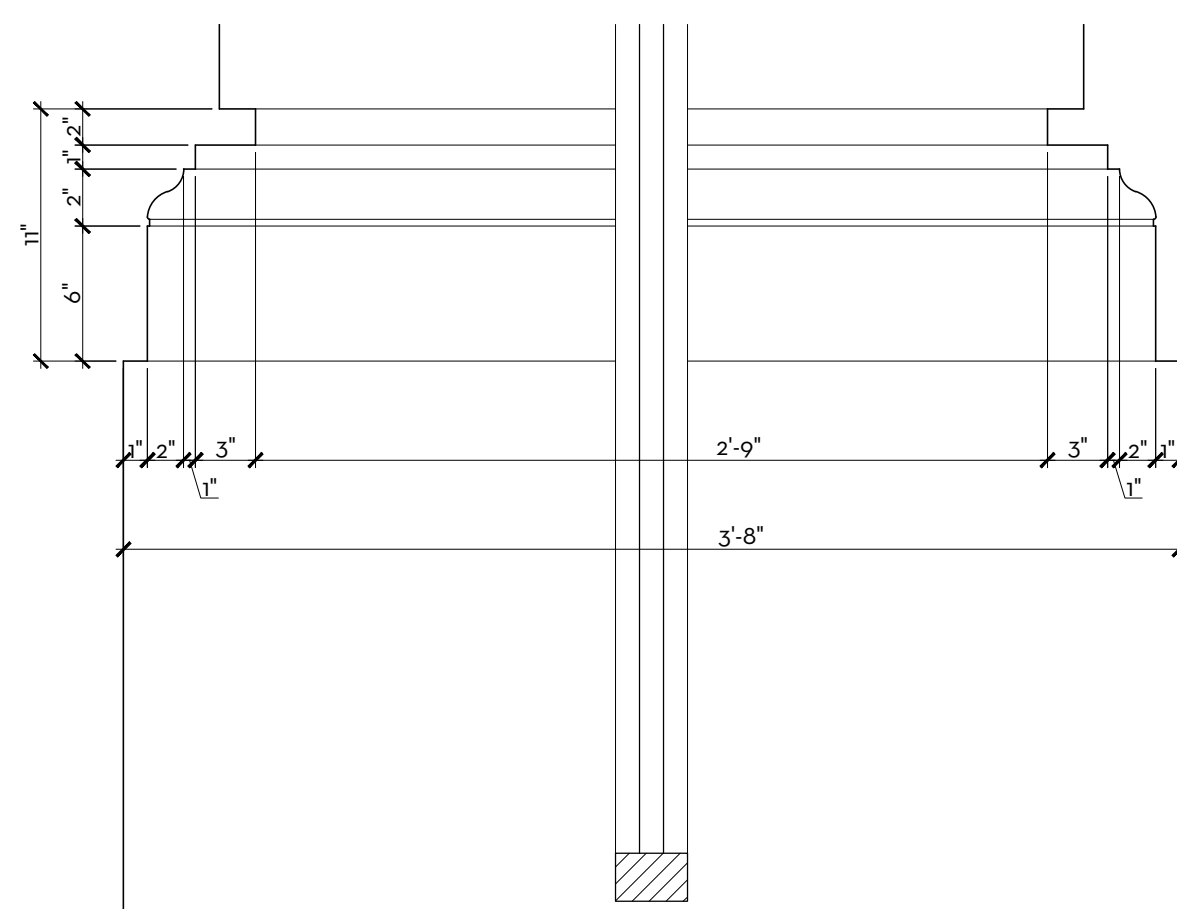
1
D2
MAIN VEHICULAR GATE ELEVATION
SCALE: $\frac{3}{4}$ "=1'-0"



2
D2
MAIN VEHICULAR GATE SECTION DETAIL
SCALE: $\frac{3}{4}$ "=1'-0"



3
D2
COLUMN CAP DETAIL
SCALE: 1 $\frac{1}{2}$ "=1'-0"



4
D2
COLUMN BASE DETAIL
SCALE: 1 $\frac{1}{2}$ "=1'-0"

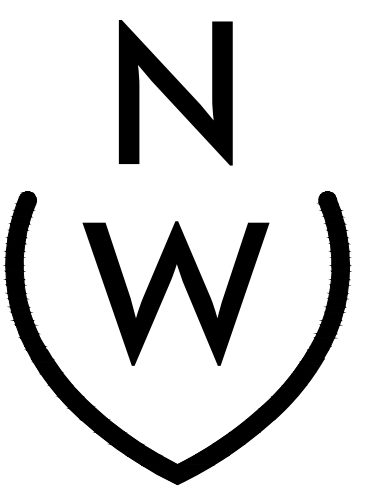
MARIO F. NIEVERA

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SITE DETAILS
PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

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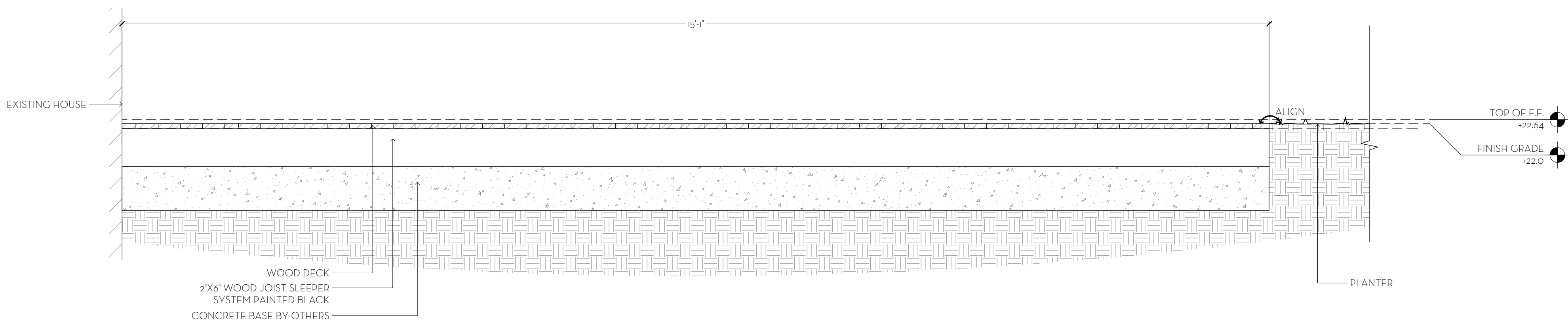


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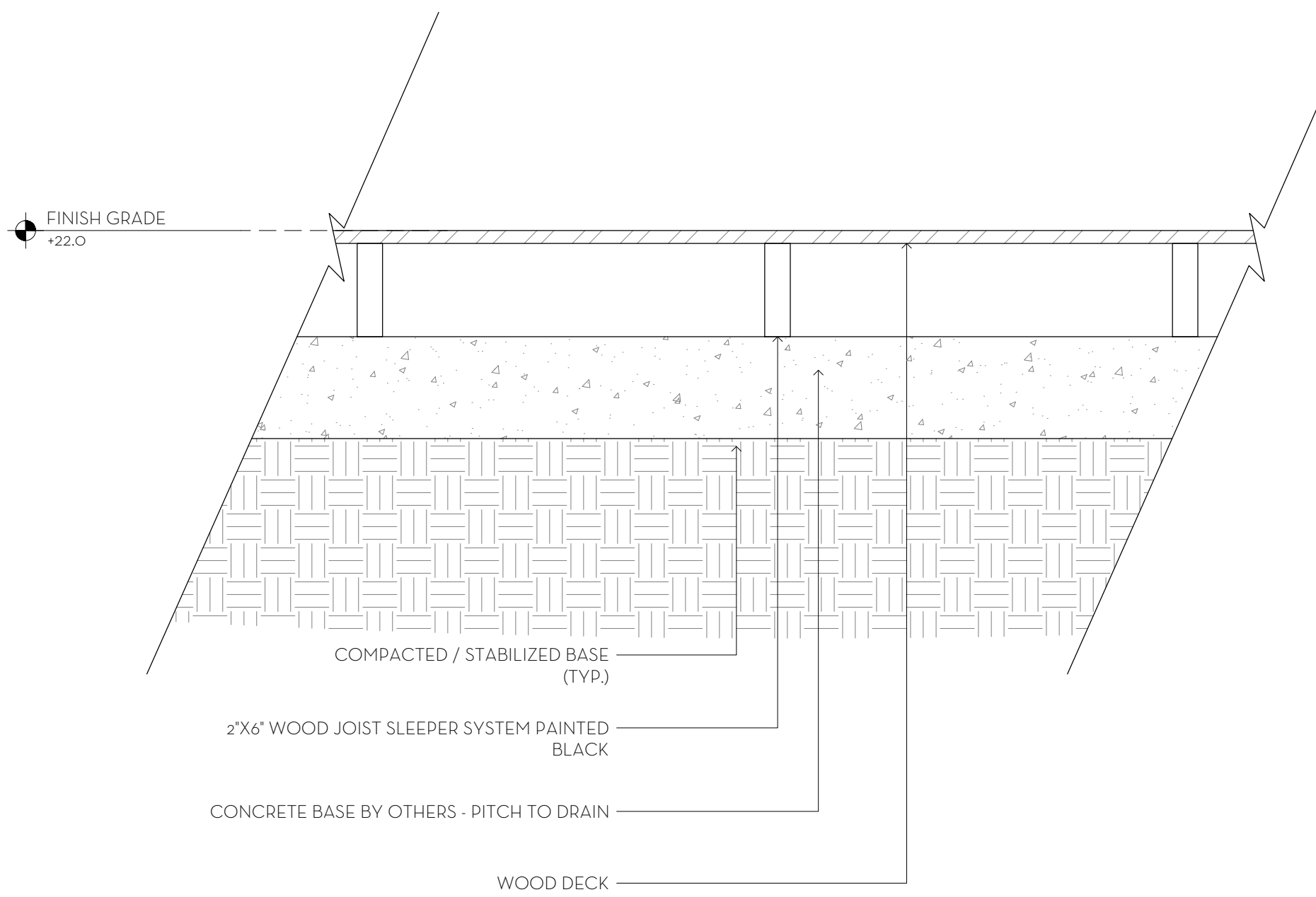
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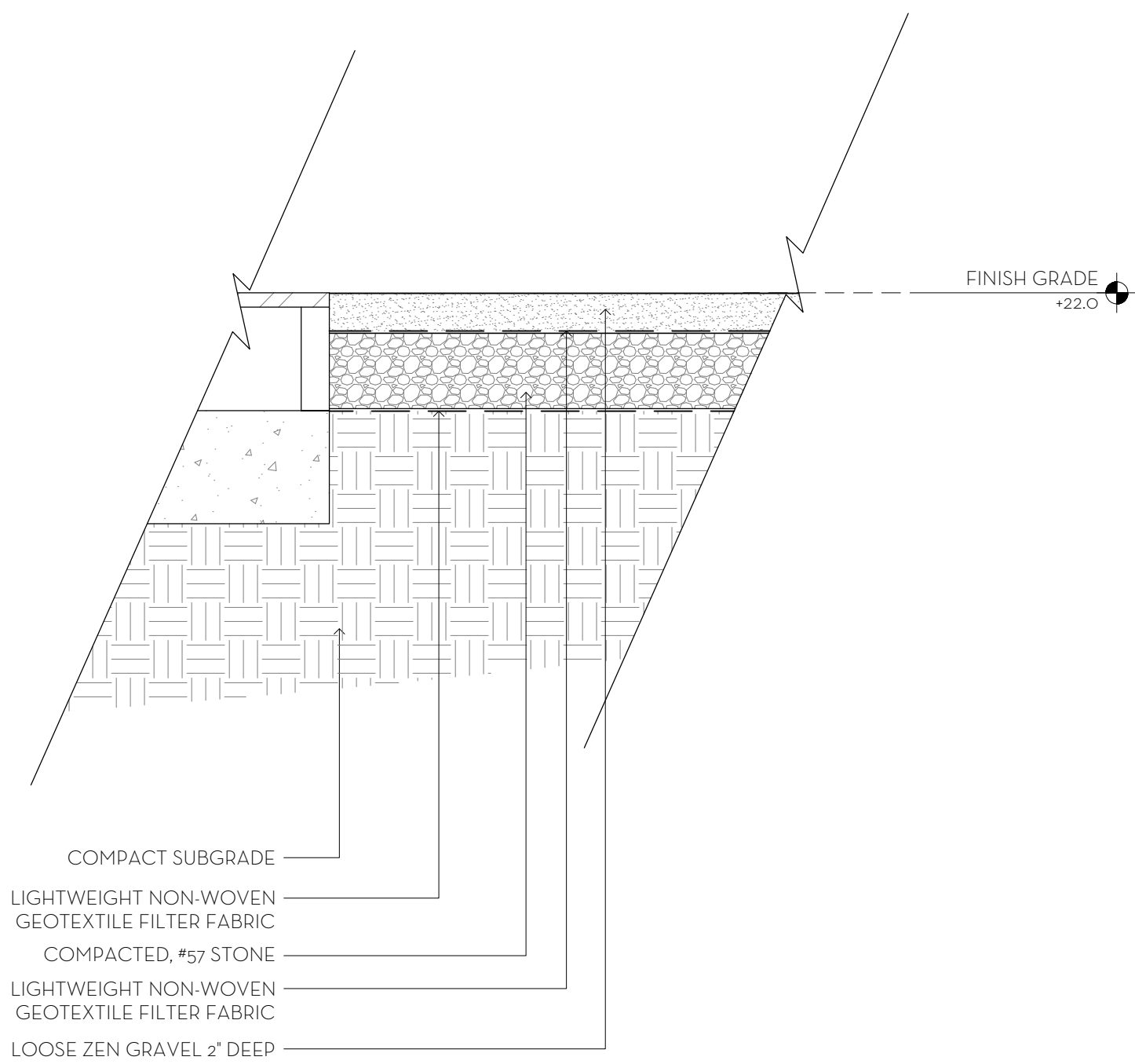
D2



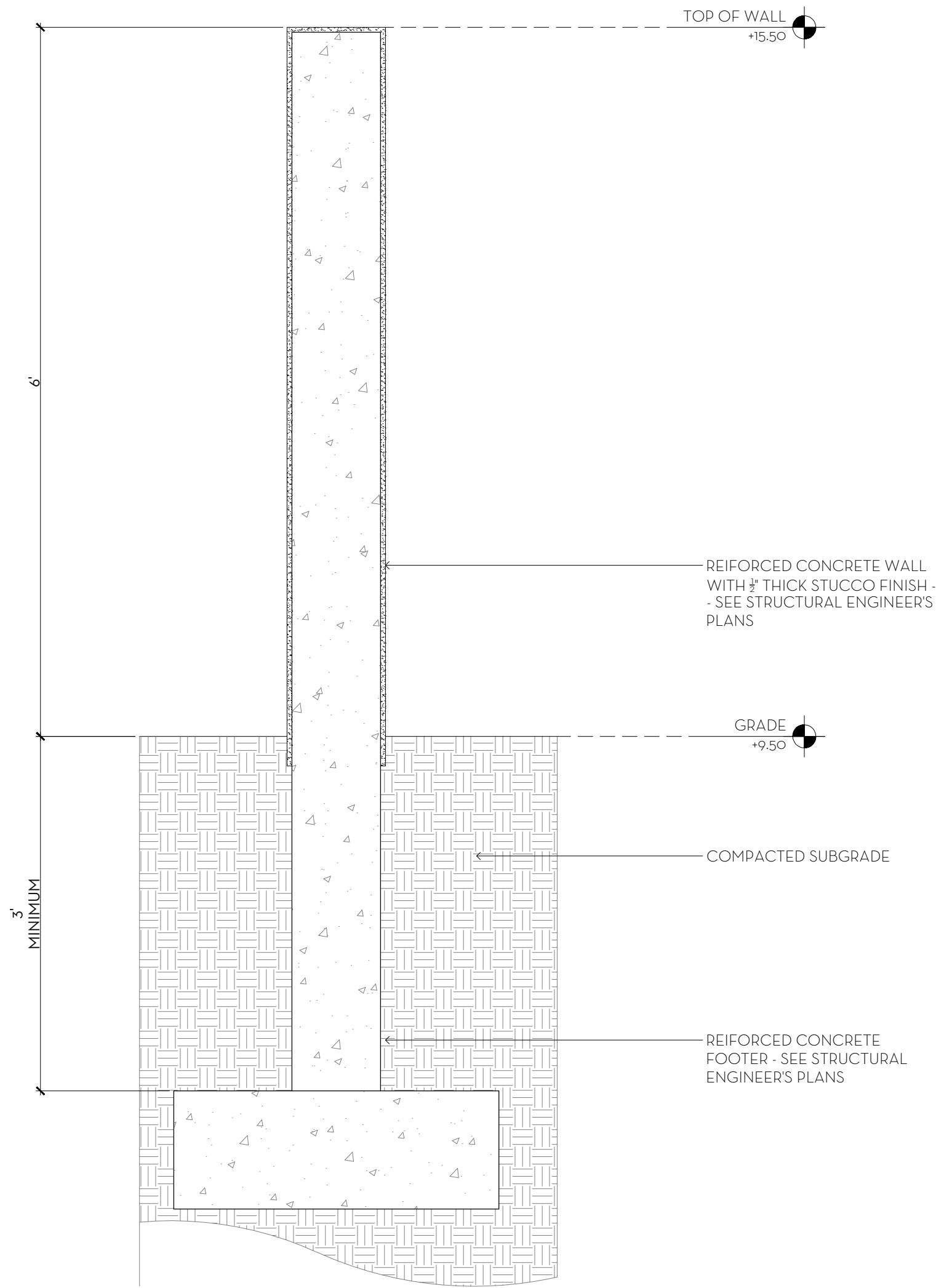
1
D3 WOOD WALKWAY DETAIL SECTION
SCALE: 1"=1'-0"



2
D3 WOOD DECK SECTION DETAIL
SCALE: 1 1/2"=1'-0"



3
D3 ZEN GARDEN GRAVEL DETAIL
SCALE: 1 1/2"=1'-0"



1 TYPICAL SITE WALL DETAIL
D4 SCALE: 1/4\"/>

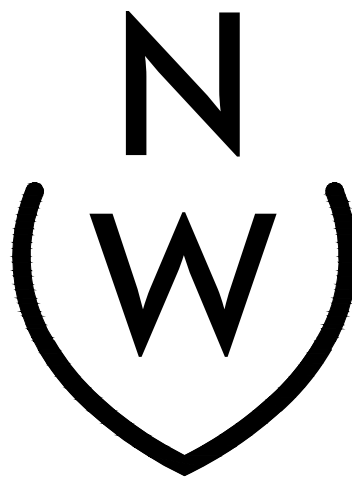
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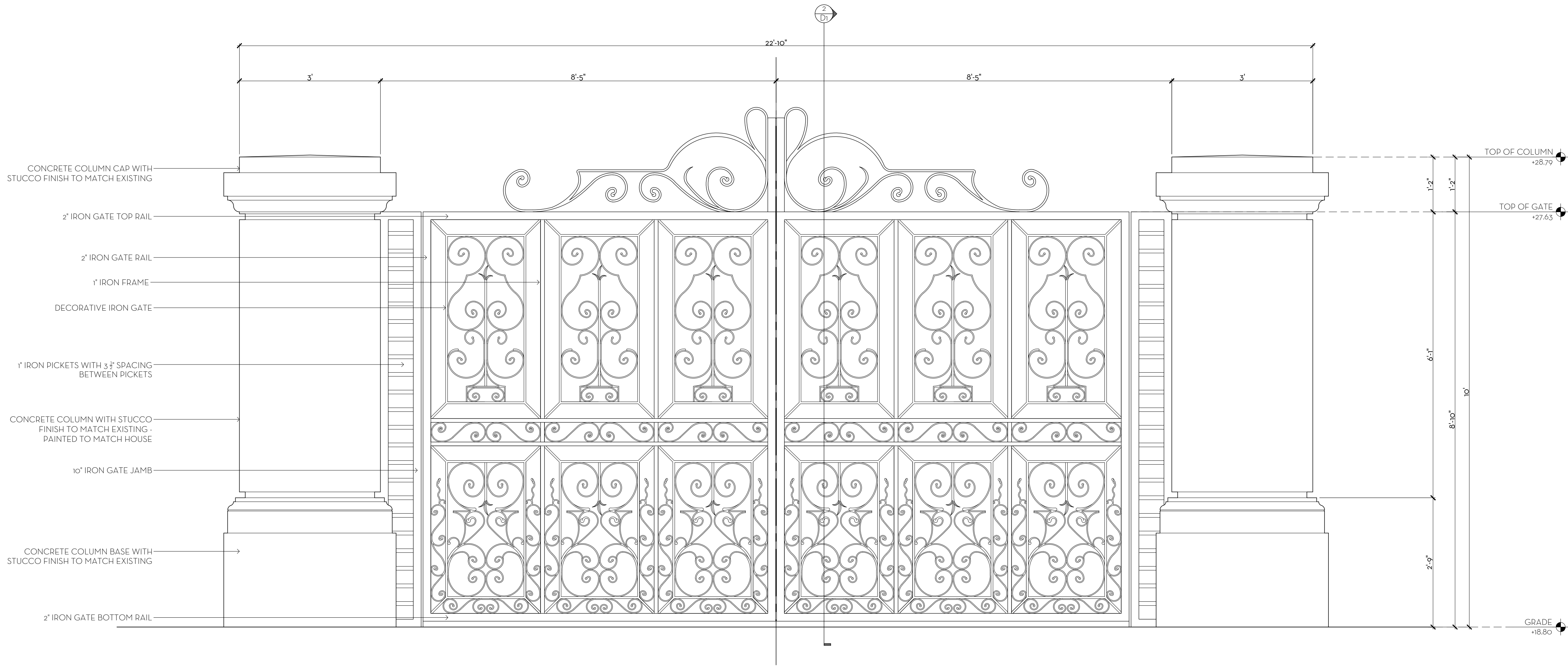
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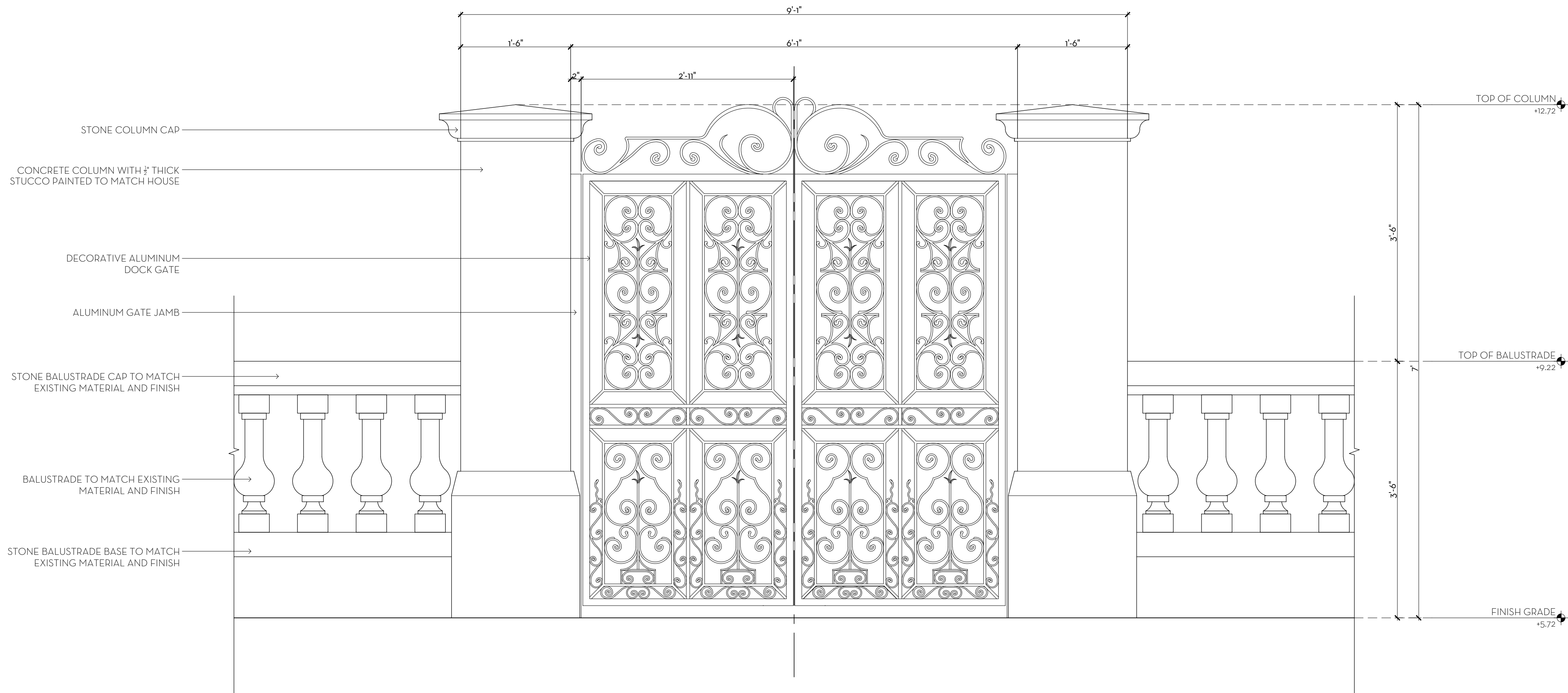
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D4

SCALE: 1/16\"/>



1
D2 MAIN VEHICULAR GATE ELEVATION
SCALE: $\frac{3}{4}$ "=1'-0"



2
D2 DOCK GATE ELEVATION
SCALE: 1"=1'-0"

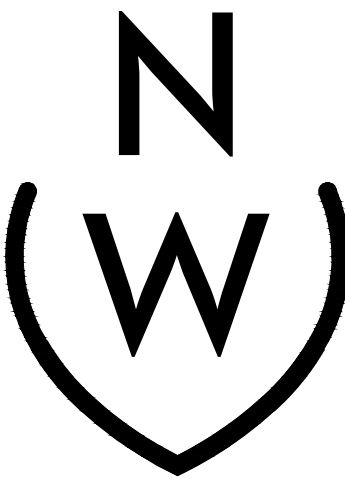
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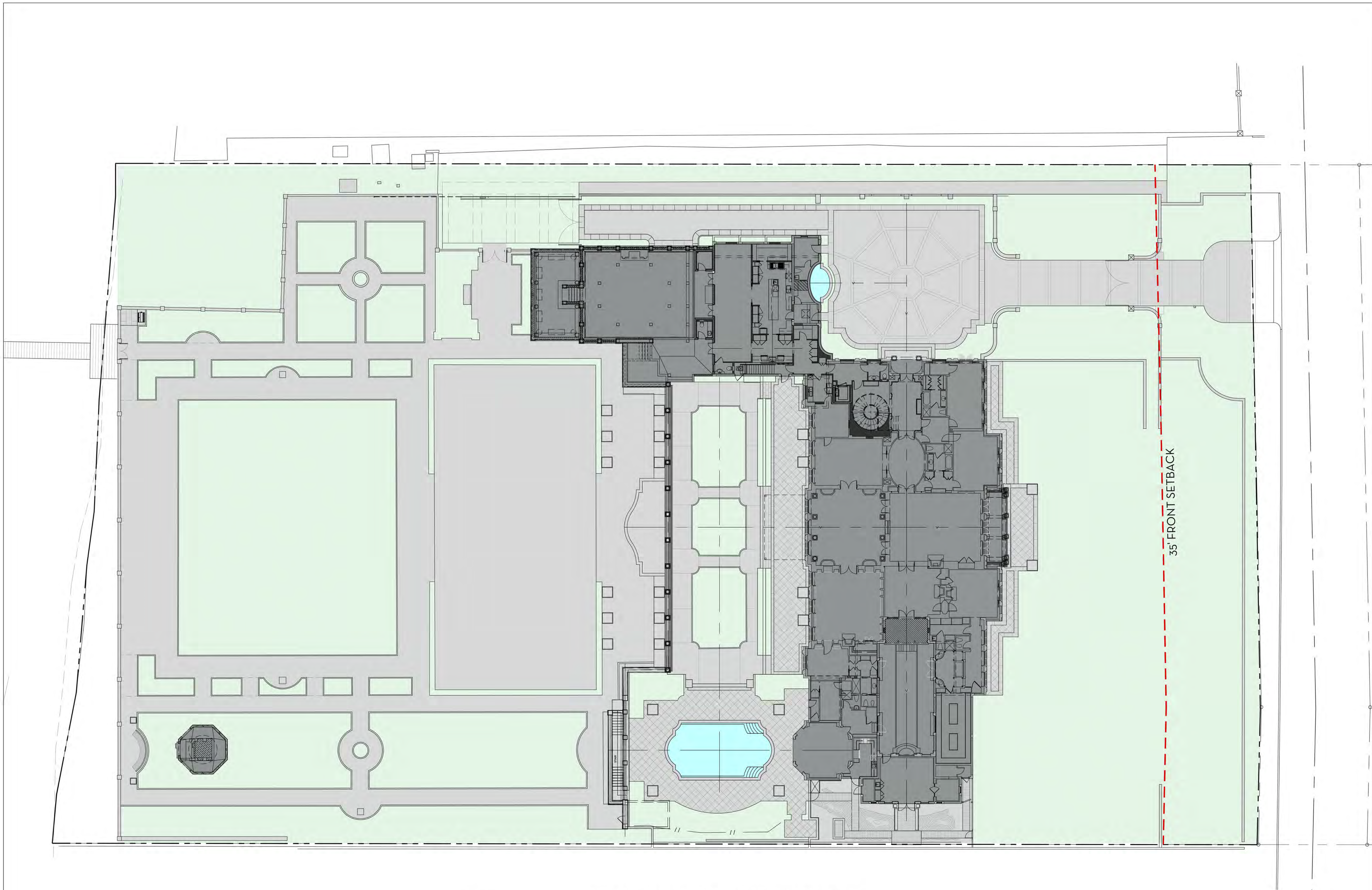
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D5

SCALE: 1/16" = 1'-0"



- NOTES:
1. ALL SITE IMPROVEMENTS ARE EXISTING (TO REMAIN) UNLESS OTHERWISE NOTED
 2. NO WORK PROPOSED SEAWARD OF SOUTH OCEAN BOULEVARD

LEGEND

OPEN SPACE	
HARDSCAPE	
BUILDING/STRUCTURE	
WATER FEATURE / POOL	

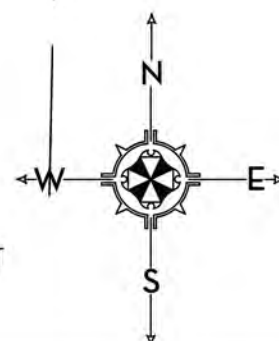
OVERALL R-A SITE CALCULATIONS:

107,288	SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED +	53,644	SQ FT 50%
EXISTING +	57,077	SQ FT 53.2%
PROPOSED +	54,021	SQ FT 50.35%

FRONT SETBACK SITE CALCULATIONS:

35' SETBACK AREA +	8,585	SQ FT 100%
MINIMUM LANDSCAPE:		
REQUIRED +	3,863	SQ FT 45%
EXISTING +	7,785	SQ FT 90.6%
PROPOSED +	7,785	SQ FT 90.6%

0 4 8 16 32 FEET
SCALE: 1/16" = 1'-0"



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OPEN SPACE DIAGRAM
PRIVATE RESIDENCE

1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

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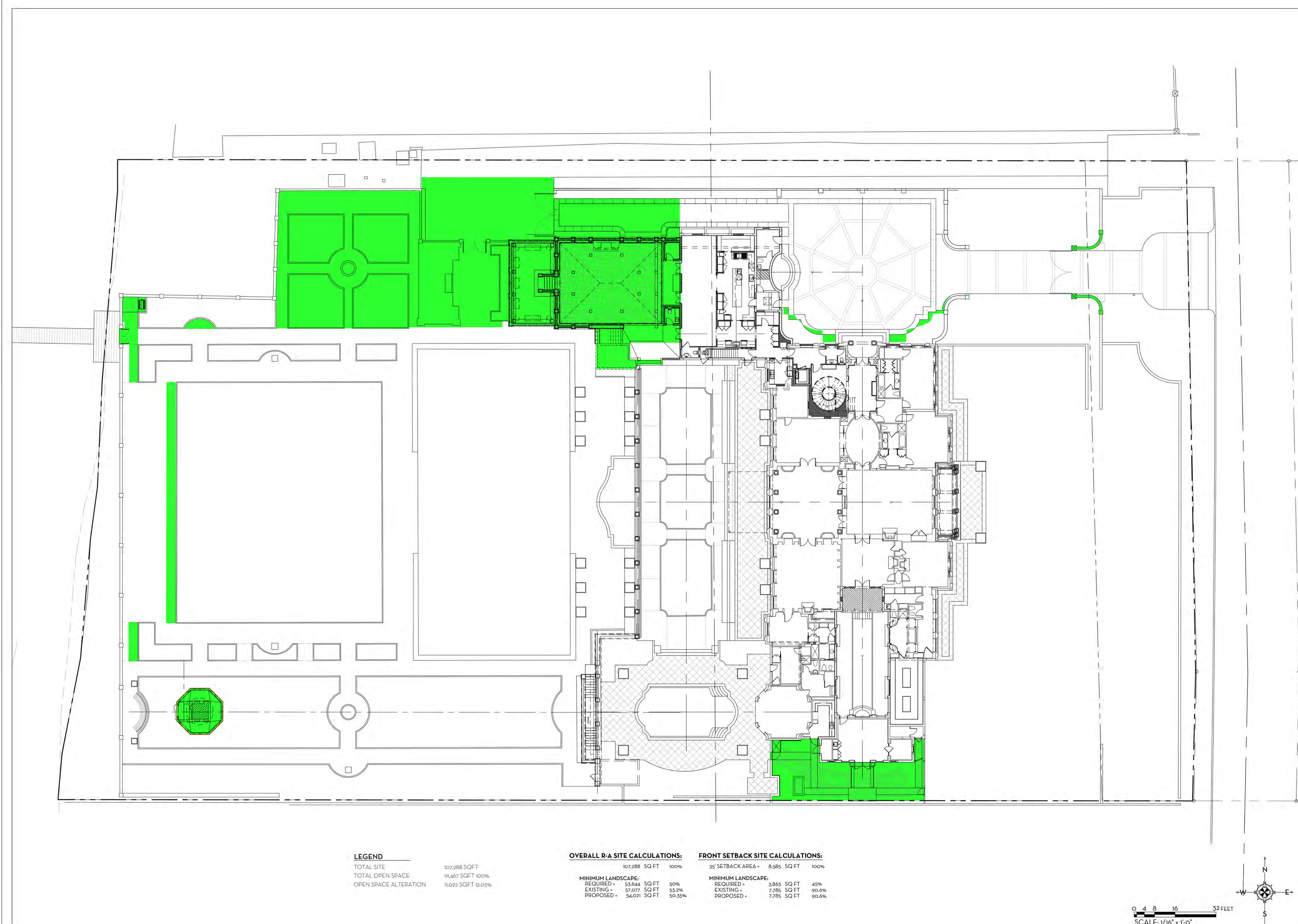
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OS1

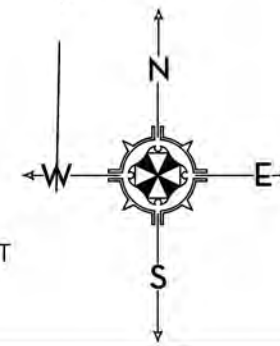
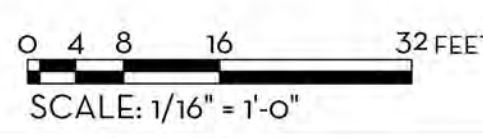
SCALE: 1/16" = 1'-0"



LEGEND	
TOTAL SITE	107,288 SQ FT
TOTAL OPEN SPACE	91,467 SQ FT 100%
OPEN SPACE ALTERATION	11,022 SQ FT 12.05%

OVERALL R-A SITE CALCULATIONS:	
	107,288 SQ FT 100%
MINIMUM LANDSCAPE:	
REQUIRED +	53,644 SQ FT 50%
EXISTING +	57,077 SQ FT 53.2%
PROPOSED +	54,021 SQ FT 50.35%

FRONT SETBACK SITE CALCULATIONS:	
	35' SETBACK AREA + 8,585 SQ FT 100%
MINIMUM LANDSCAPE:	
REQUIRED +	3,863 SQ FT 45%
EXISTING +	7,785 SQ FT 90.6%
PROPOSED +	7,785 SQ FT 90.6%



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OPEN SPACE ALTERATION DIAGRAM
PRIVATE RESIDENCE
1600 SOUTH OCEAN BLVD, PALM BEACH, FL.

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OS2

SCALE: 1/16" = 1'-0"