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WALLACE SURVEYING CORP.
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SCOPE OF WORK

- PROPOSING A NEW, TWO-STORY SINGLE FAMILY RESIDENCE WITH A BASEMENT AND A DETACHED GUEST HOUSE. NEW HARDSCAPE AND LANDSCAPE.

SPECIAL EXCEPTION 134-229

SPECIAL EXCEPTION W/ SITE PLAN REVIEW: Sec. 134-843 (b) Special Exception with Site plan Review to allow the construction of a new single family residence on a non-conforming platted lot which is 90 feet in width in lieu of the 125 foot minimum width required in the R-A Zoning District.

VARIANCE 134-201

VARIANCE 1: Section 134-843(10): Request for a variance to allow the height of the proposed residence to be 8.4 feet above the maximum height and 8 feet above the maximum overall height when measured from the Town's Point of Measurement for a portion of the proposed residence west of the CCCL in Flood Zone X.

VARIANCE 2: Section 134-1702: Request for a variance to allow structure (terraced stairs) within the 50 foot setback from the Town's Bulkhead Line.

FINAL SUBMISSION TO ARCOM
2025.01.10
DATE OF ARCOM HEARING
2025.01.29



1519 N OCEAN WAY

P A L M B E A C H , F L

DRAWING INDEX

ARCHITECTURAL

1	Cover
2	Zoning Legend
3	Survey
4	Survey
5	Survey
6	Survey
7	Surrounding Properties Photos
8	Surrounding Properties Photos
9	Surrounding Properties Photos
10	Surrounding Properties Photos
11	Surrounding Properties Photos
12	Rear Beach Subject Property Photos
13	Subject Property Photos
14	Contextual Site Plan
15	Streetscape
16	Variance Diagram (two versions)
17	Grade Elevations + Building Height Plane
18	Site Plan + Lot Coverage
19	Basement + First Floor Plan on Site
20	Second Floor + Roof Plan on Site
21	Basement (two versions)
22	First Floor (two versions)
23	Second Floor (two versions)
24	Roof (two versions)
25	East + West Elevations
26	North + South Elevations
27	Cabana Elevations + Plans
28	Sections
29	Details

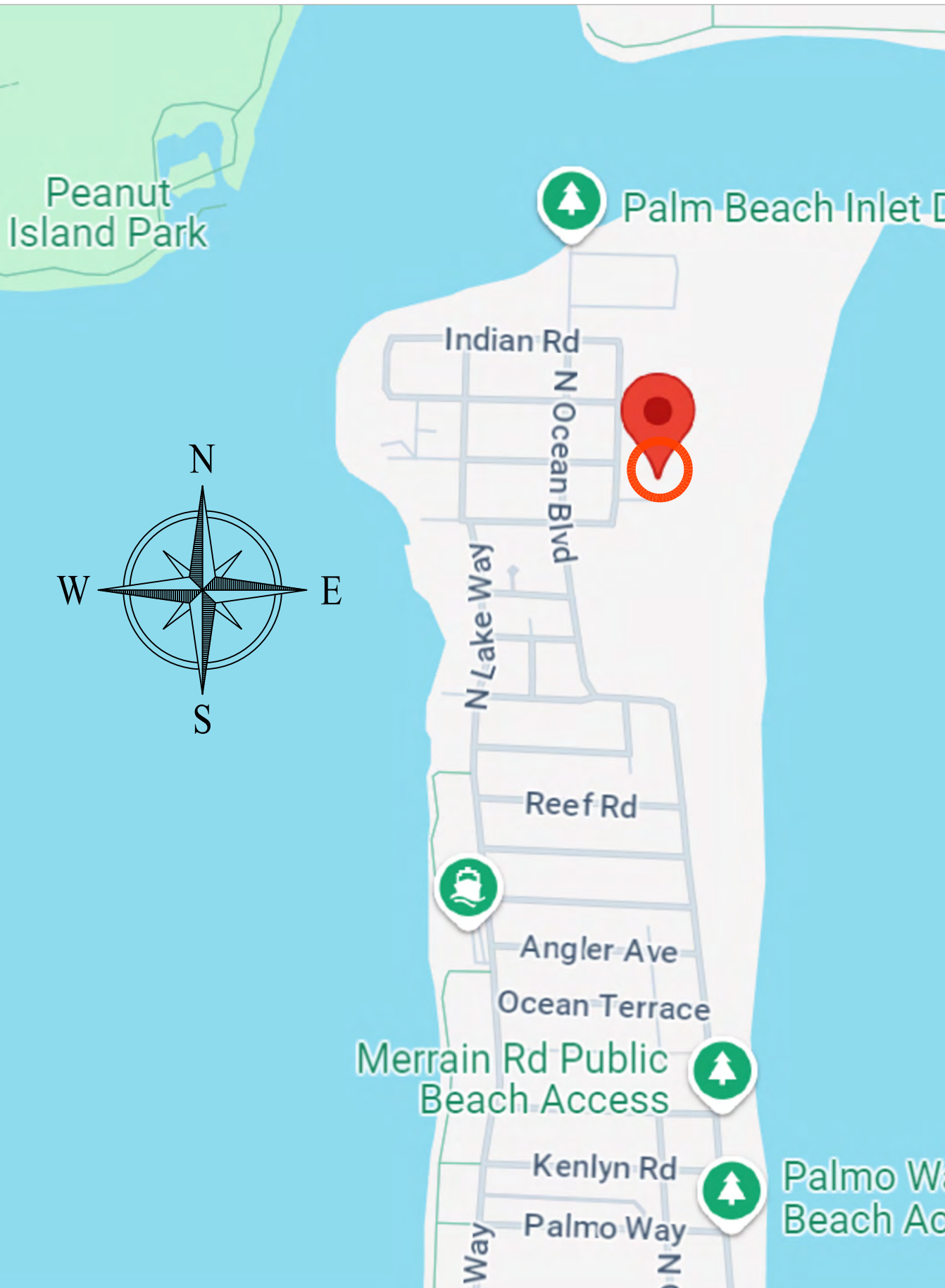
CIVIL

C-1	CONCEPTUAL SITE GRADING & DRAINAGE PLAN
<u>LANDSCAPING</u>	
L0.0	LANDSCAPE PLAN- CURRENT
L0.2	PLANT SCHEDULE
L13.0	FRONT LANDSCAPE ELEV. COMPARISON
L13.1	SOUTH-REAR LANDSCAPE ELEV. COMPARISON
L10.0	RENDERED LANDSCAPE ELEVATIONS
L10.1	RENDERED LANDSCAPE ELEVATIONS
L0.0	LANDSCAPE PLAN- PREVIOUS
L0.0	LANDSCAPE PLAN- PREVIOUS
L0.1	RENDERED LANDSCAPE PLAN- PREVIOUS
L0.1	RENDERED LANDSCAPE PLAN- PREVIOUS
L13.1	SOUTH-REAR LANDSCAPE ELEV. COMPARISON- PREV.
L13.0	FRONT LANDSCAPE ELEV. COMPARISON- PREV.
L10.0	RENDERED LANDSCAPE ELEVATIONS- PREV.
L10.1	RENDERED LANDSCAPE ELEVATIONS- PREV.
L1.0	EXIST. SITE PHOTOS
L2.0	EXIST. VEGETATION INVENTORY & ACTION PLAN
L3.0	DEMOLITION & VEGETATION ACTION PLAN
L4.0	CONSTRUCTION SCREENING PLAN
L4.1	EXIST. LANDSCAPE BUFFER IMAGES
L5.0	CONSTRUCTION STAGING PLAN
L7.0	SITE PLAN
L7.1	SITE CALC./LOT COVERAGE GRAPHICS
L0.2	PLANT SCHEDULE
L0.3	PLANTING DETAILS & SPECIFICATIONS
L0.0	LANDSCAPE LIGHTING PLAN
L11.0	EQUIPMENT YARD SECTION DIAGRAMS
L11.1	SITE SECTION DIAGRAMS
L11.2	SITE SECTION DIAGRAMS

SURVEY

BOUNDARY SURVEY

LOCATION MAP





Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	1519 N. Ocean Way		
2	Zoning District:	R-A		
3	Lot Area (sq. ft.):	29,429		
4	Lot Width (W) & Depth (D) (ft.):	89.9' & 327.3' (Min. Lot Width- 125')		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	Single-Family		
6	FEMA Flood Zone Designation:	Zone X		
7	Zero Datum for point of meas. (NAVD)	15.9 (Per CCCL (P.B. 80, PG. 137)		
8	Crown of Road (COR) (NAVD)	6.05		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	7,357.25 / 25%	6,763 / 22.98%	6,643 / 22.57%
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	9,136	1,229 (GC) / 14,780 (MH)
12	*Front Yard Setback (Ft.)	35'	82'-8"	54'-0" (to GC)
13	* Side Yard Setback (1st Story) (Ft.)	15'	0' N / 10' S	15' N / 15' S
14	* Side Yard Setback (2nd Story) (Ft.)	N/A	N/A	N/A
15	*Rear Yard Setback (Ft.)	50'	64'-9"	50' (to MH)
16	Angle of Vision (Deg.)	100	30	28
17	Building Height (Ft.)	25'	-	25'
18	Overall Building Height (Ft.)	30' (Flat Roof)	-	28'-9"
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	4.93	-	6.57
21	Finished Floor Elev. (FFE)(NAVD)	15.9	11.24	19.19
22	Base Flood Elevation (BFE)(NAVD)	N/A	N/A	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	14,697.3 / 50.0%	14,304.2 / 48.7%	14,895.7 / 50.7%
24	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	1,391.9 / 45%	1,610.0 / 52%	1,452.3 / 47.3%
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

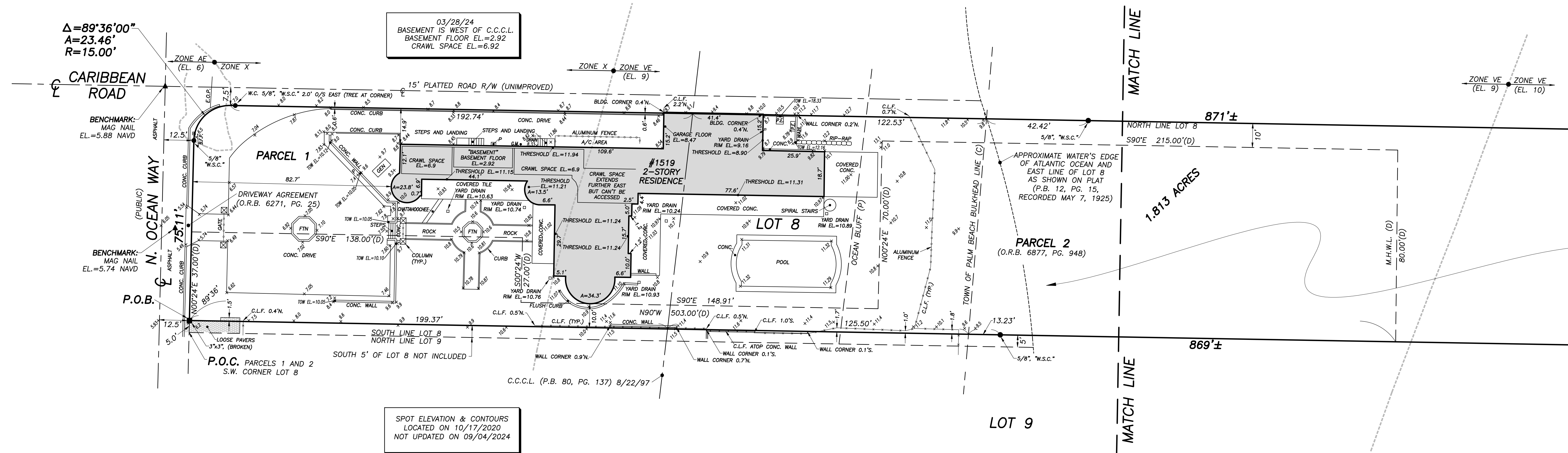
** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill [\(Sec. 134-1600\)](#)

*** Provide Native plant species info per
category as required by [Ord. 003-2023](#) on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.

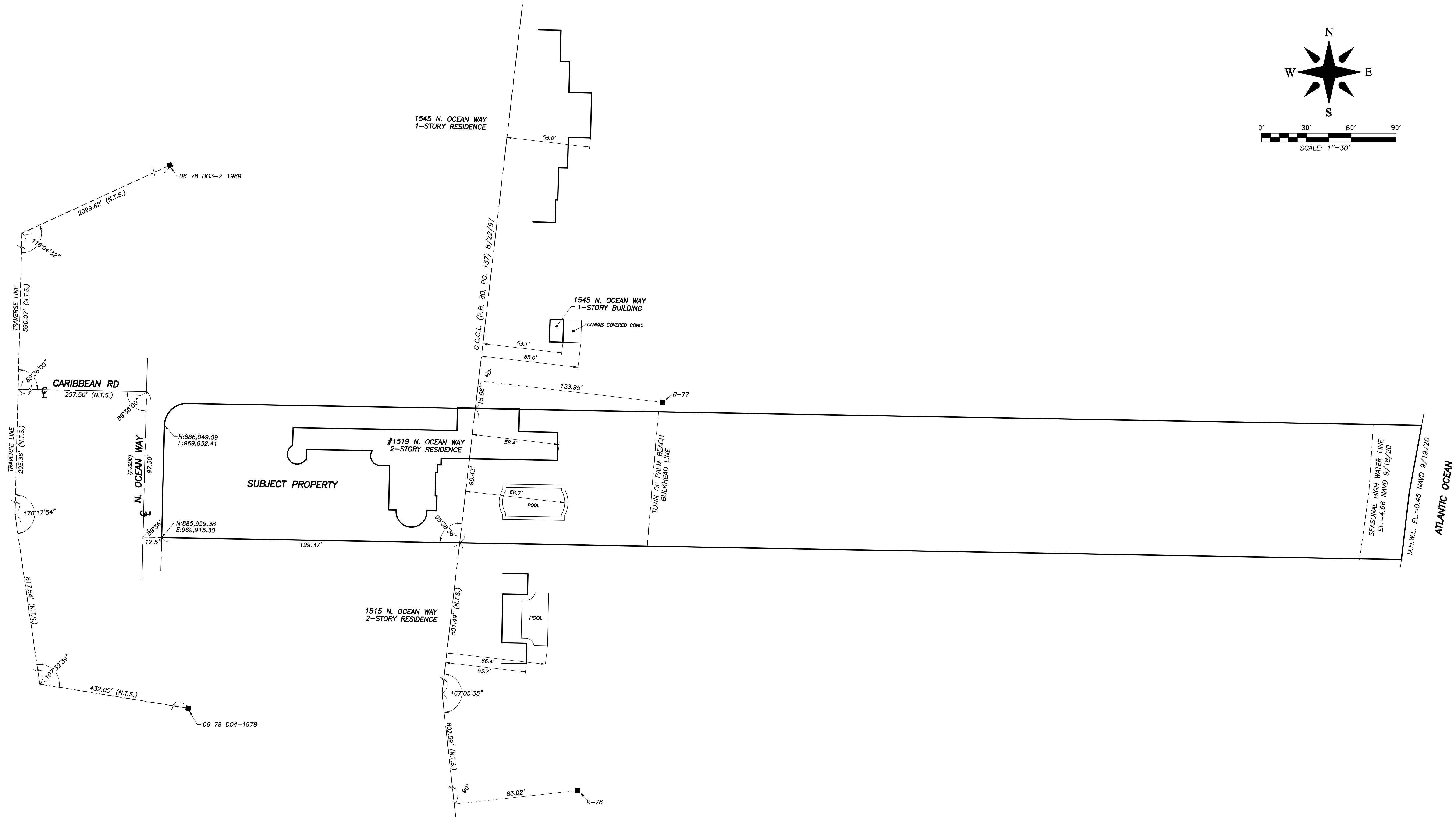
Enter N/C if value is not changing.

REV BF 20230626




WALLACE SURVEYING
 A DIVISION OF LANDTEC CONSTRUCTION SURVEYING, LLC, LB#8598
 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4551

FIELD:	B.M.	JOB NO.:	18-1649	F.B.	PB271	PG.	11
OFFICE:	M.B.	DATE:	12/21/18	DWG. NO.	18-1649-2		
C.K'D:	C.W.	REF:	18-1649-2.DWG	SHEET	2	OF	3

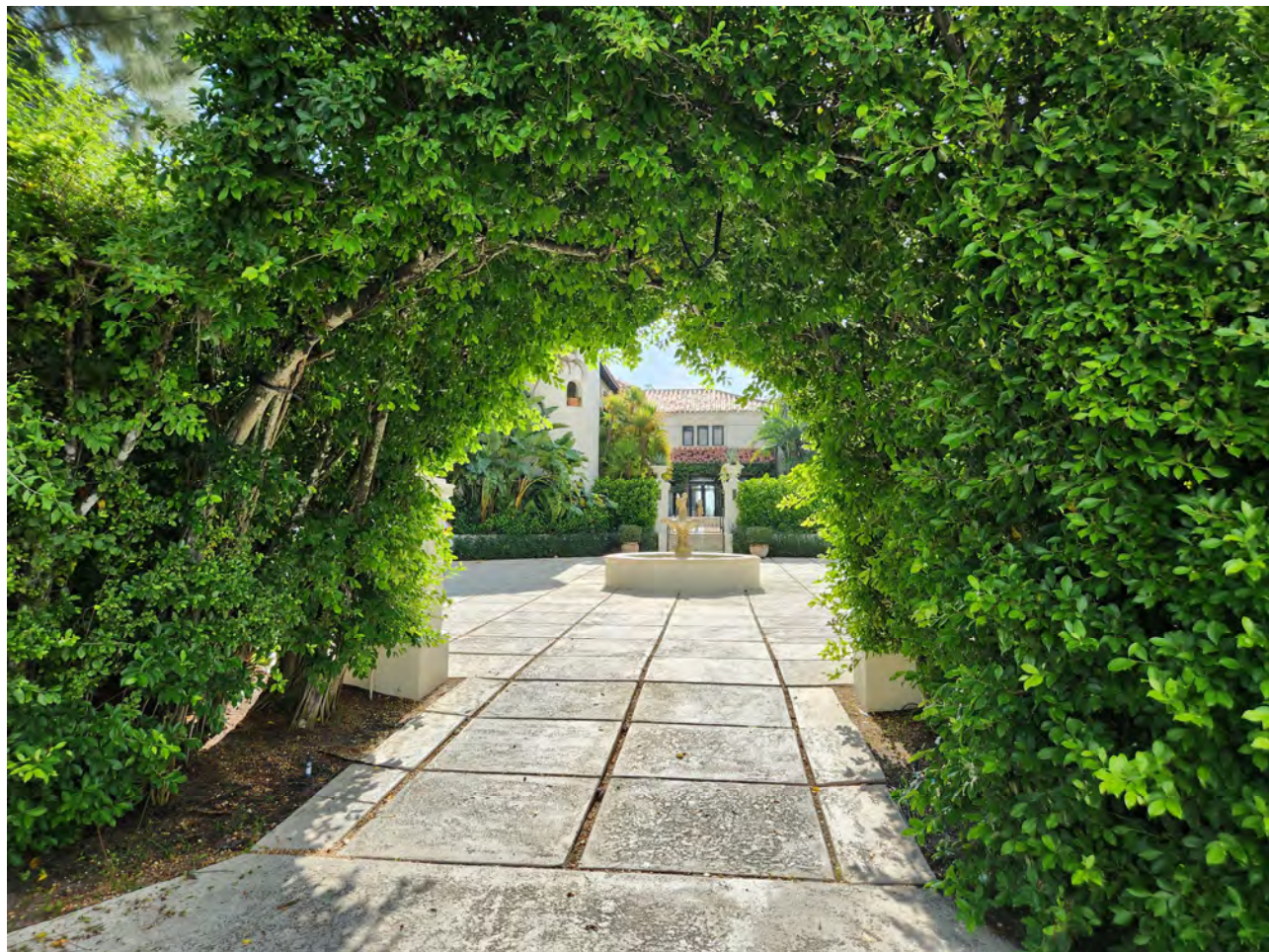


EDWARD MULE



FIELD:	B.M.	JOB NO.:	18-1649	F.B.	PB271	PG.	11
OFFICE:	M.B.	DATE:	12/21/18	DWG. NO.	18-1649-1		
C'K'D:	C.W.	REF:	18-1649-62B-1.DWG	SHEET	4	OF	4



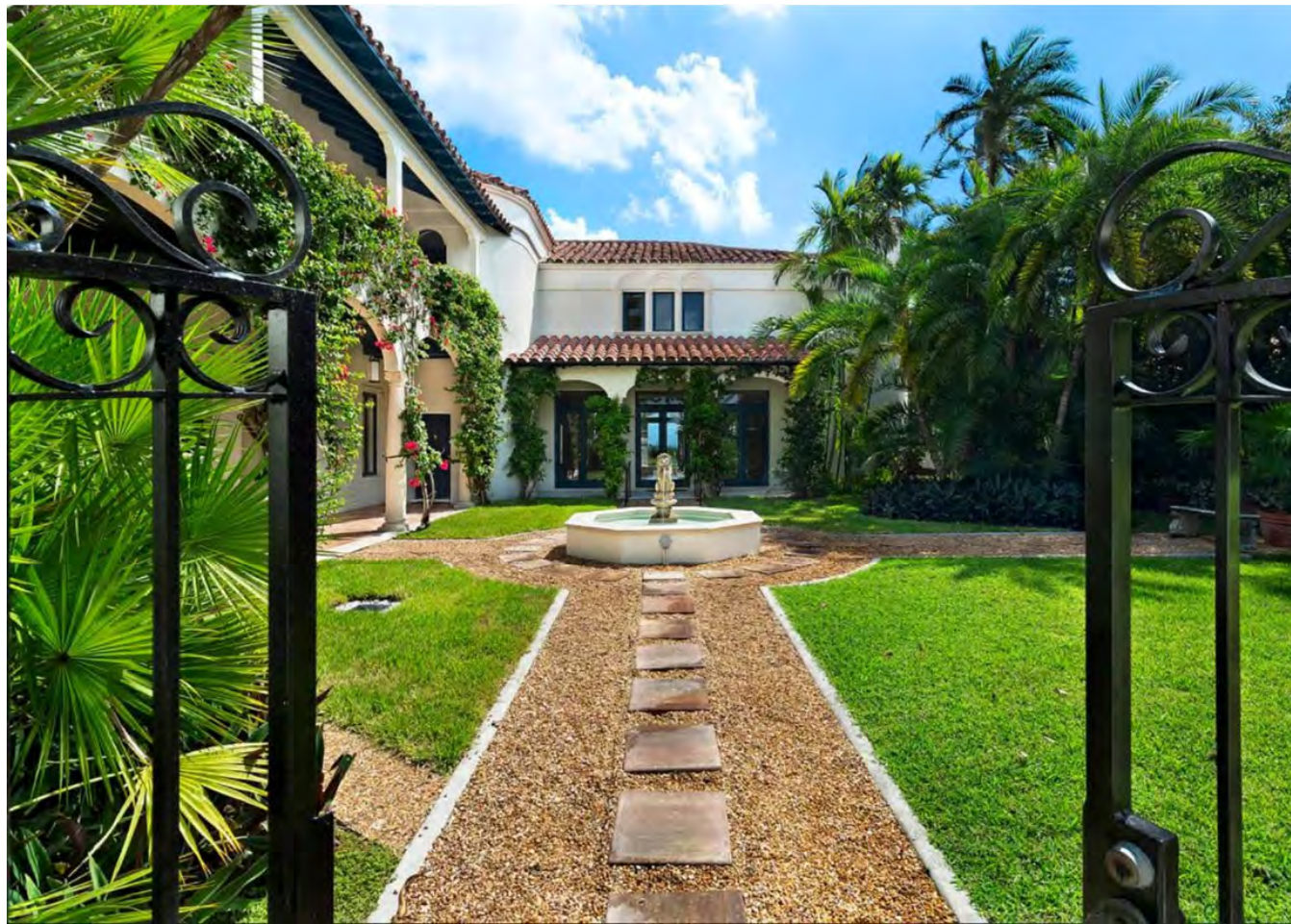




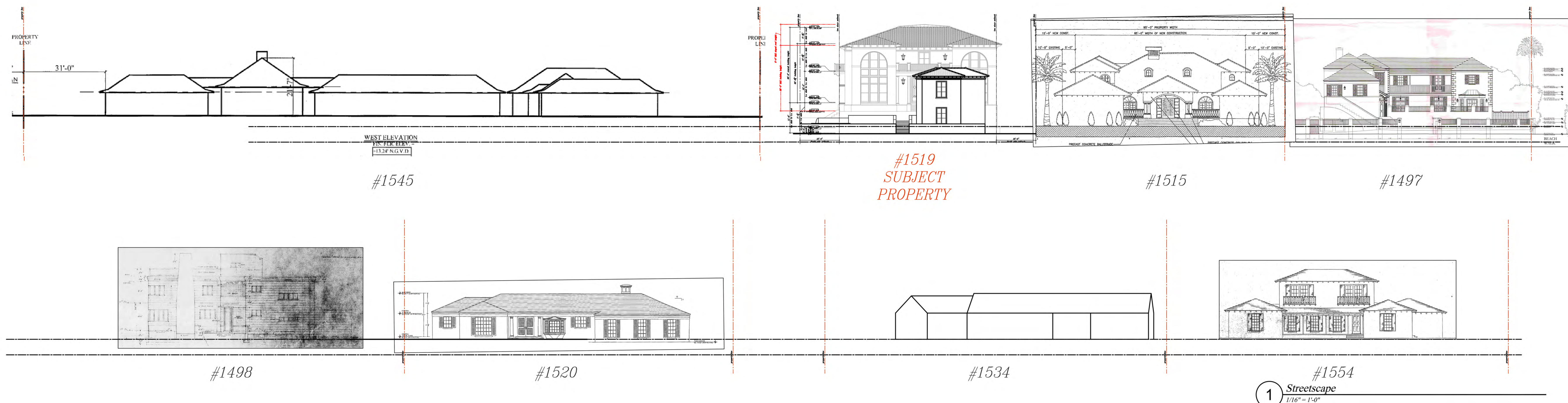
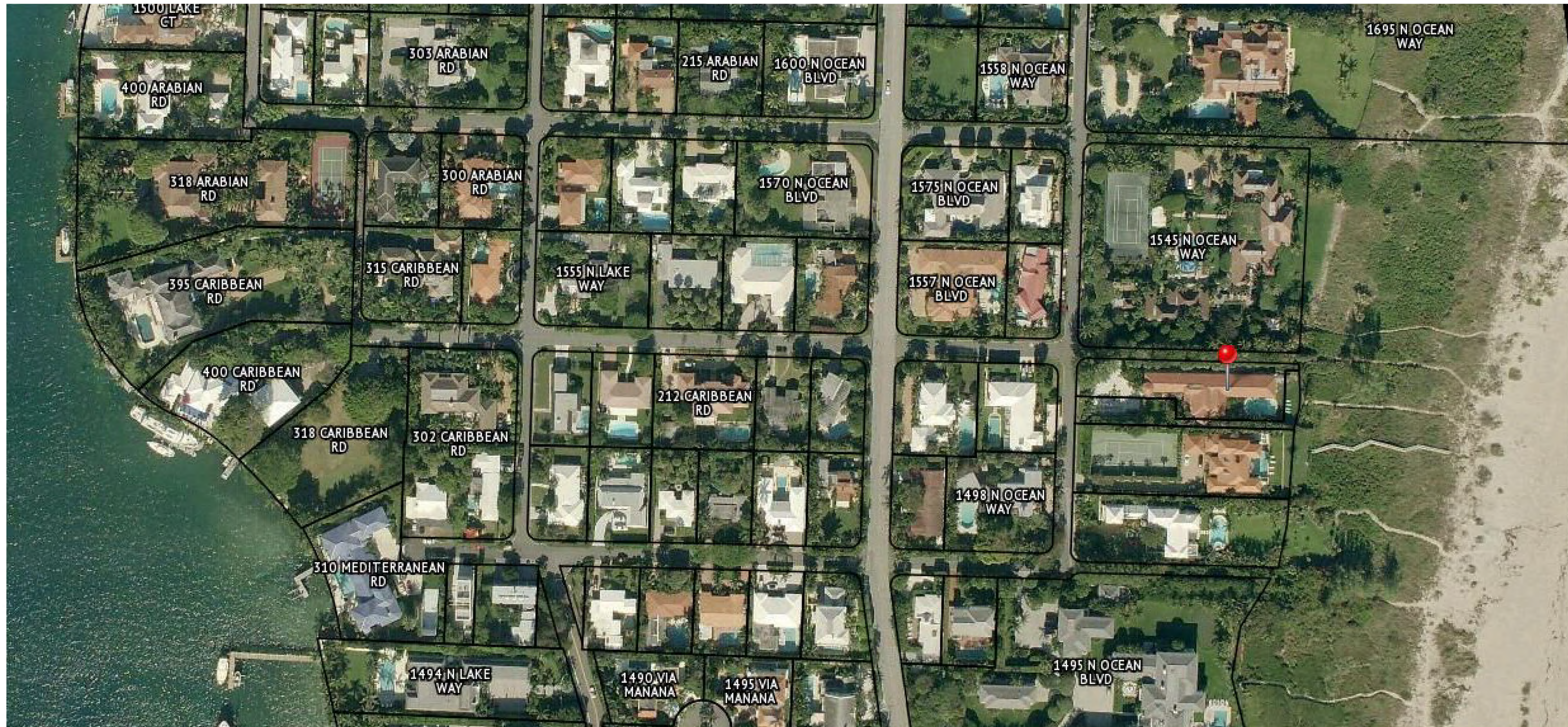


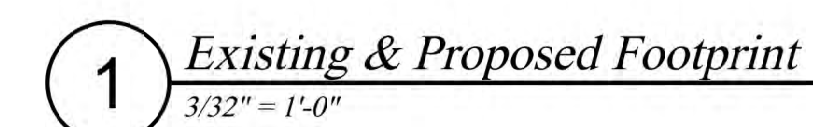


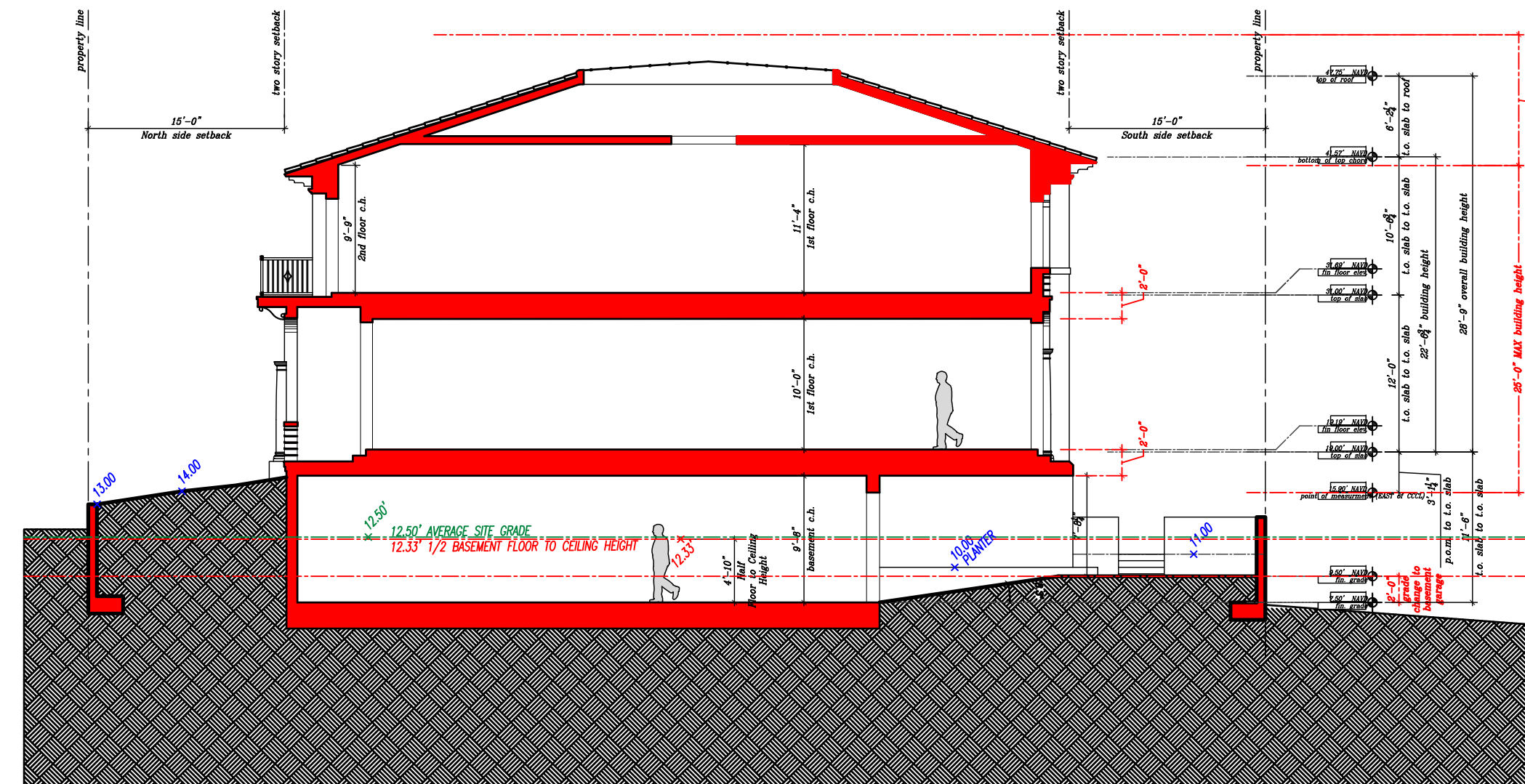




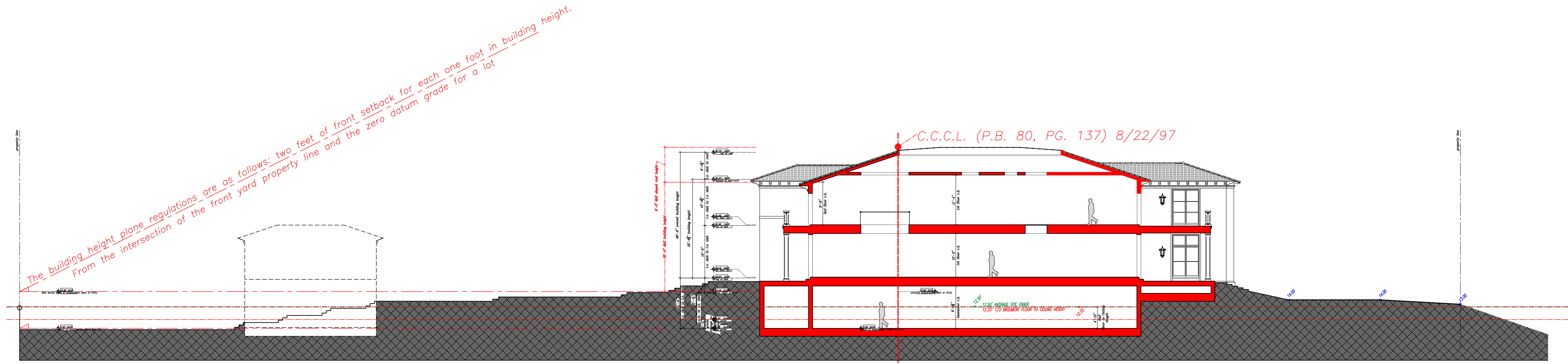








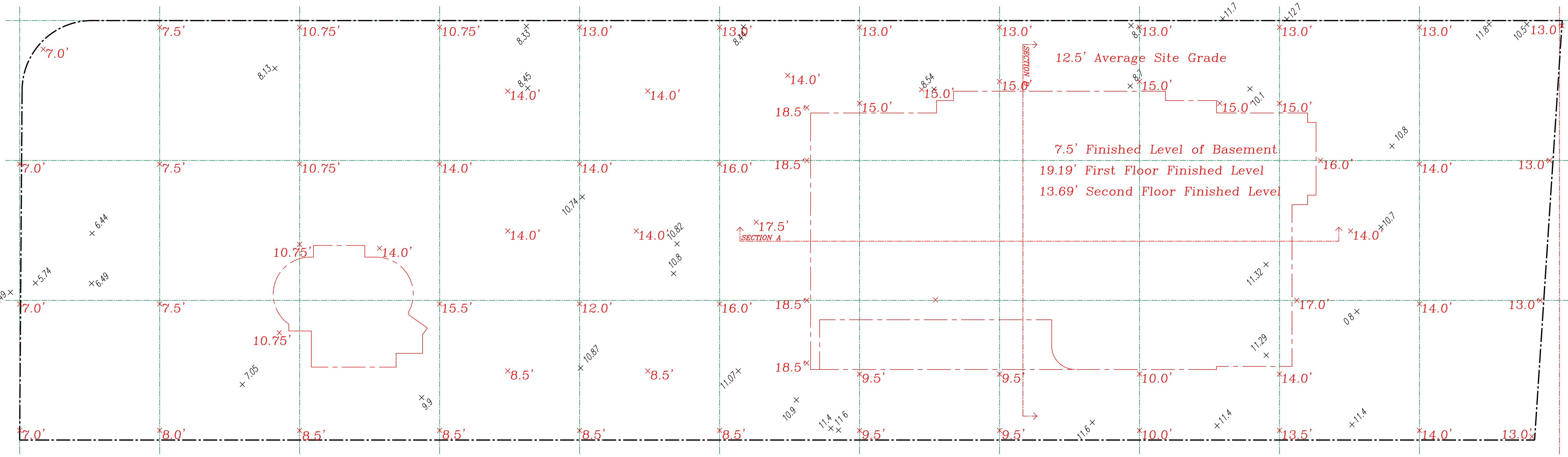
1 Basement Grade w/ Section B
3/32" = 1'-0"



1 Building Height Diagram w/ Section A
3/32" = 1'-0"

7.00	7.00	7.00	7.00	14.00
7.50	7.50	7.50	8.00	14.00
10.75	10.75	10.75	8.50	14.00
10.75	14.00	10.75	8.50	14.00
13.00	14.00	14.00	8.50	14.00
13.00	16.00	16.00	8.50	8.50
13.00	16.50	12.00	16.50	8.50
13.00	16.50	16.00	9.50	14.00
13.00	16.00	17.00	9.50	14.00
13.00	16.00	14.00	9.50	14.00
13.00	16.00	13.00	10.00	14.00
15.00			10.00	
15.00			13.50	
16.00			14.00	
14.00			14.00	
13.00			13.00	

12.511 ← Average Site Grade



1 Existing vs Finished Grades
3/32" = 1'-0"

REVISION	DATE	DESCRIPTION

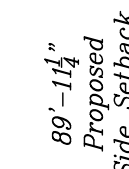
Grade
Diagrams

First Submittal
2024.11.26

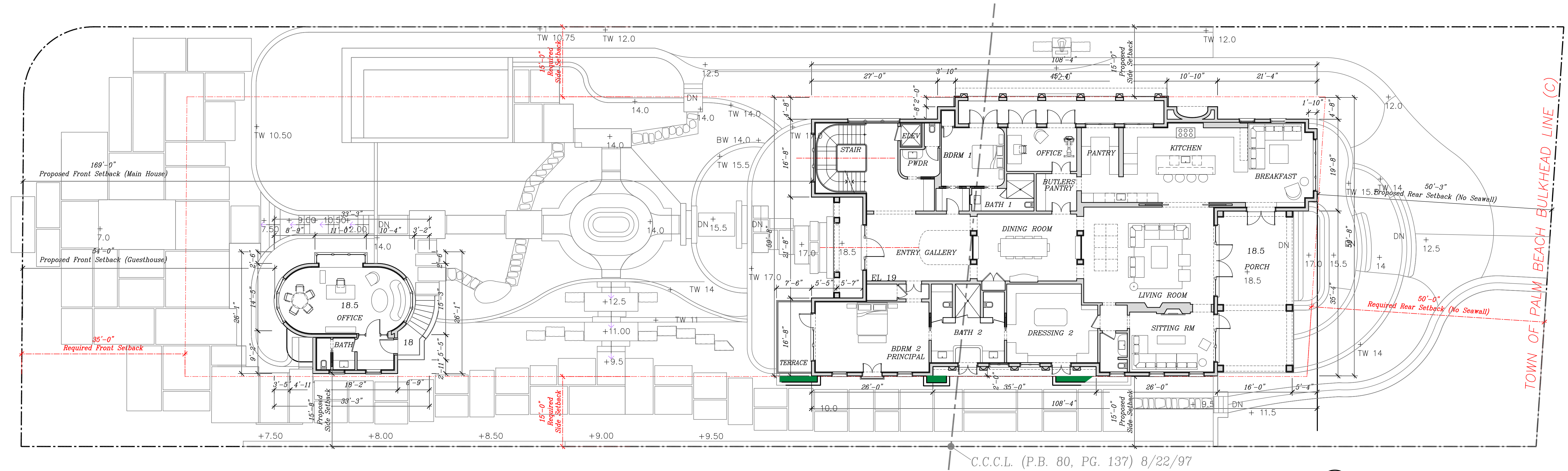


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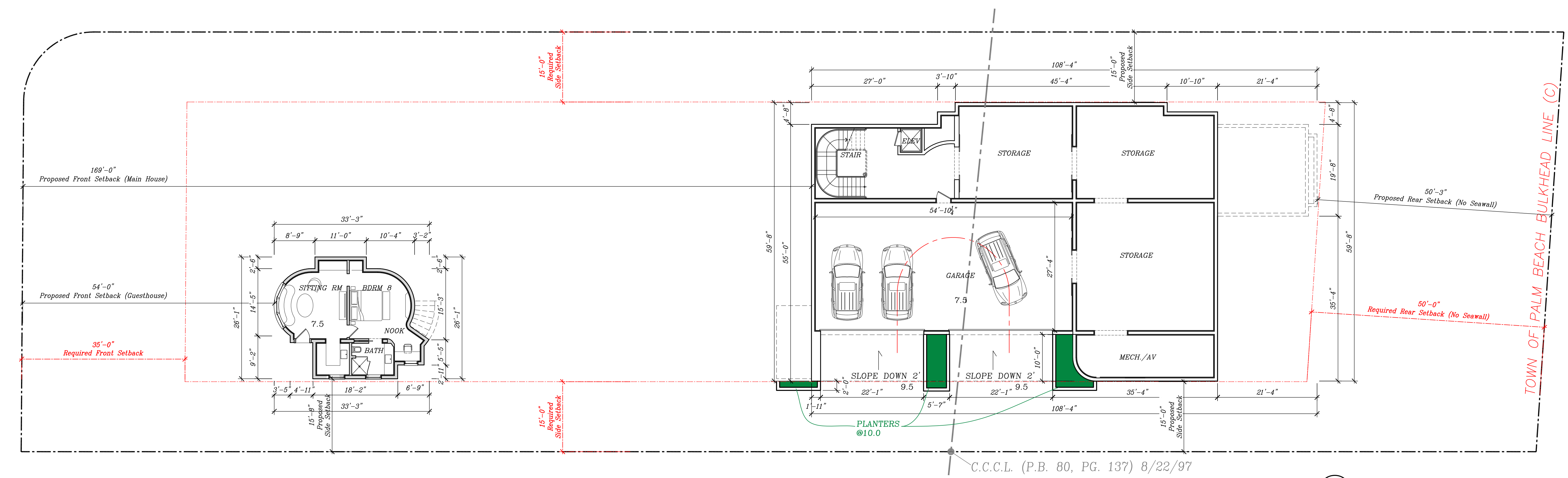
327'-4"
Proposed
Side Setback



(



1 First Floor Plan
3/32" = 1'-0"



1 Basement+First Floor Plans
3/32" = 1'-0"

REVISION #	DATE	DESCRIPTION

Basement+First
Floor Plans

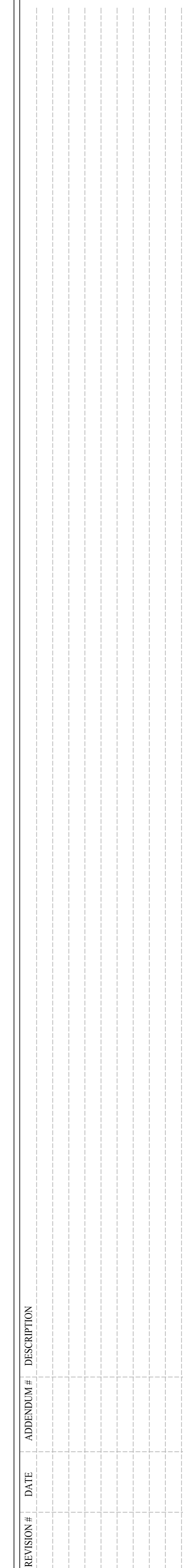
First Submittal
2024.11.26



(1) $\frac{\text{Roof Pla}}{3/32" = 1'-0"$

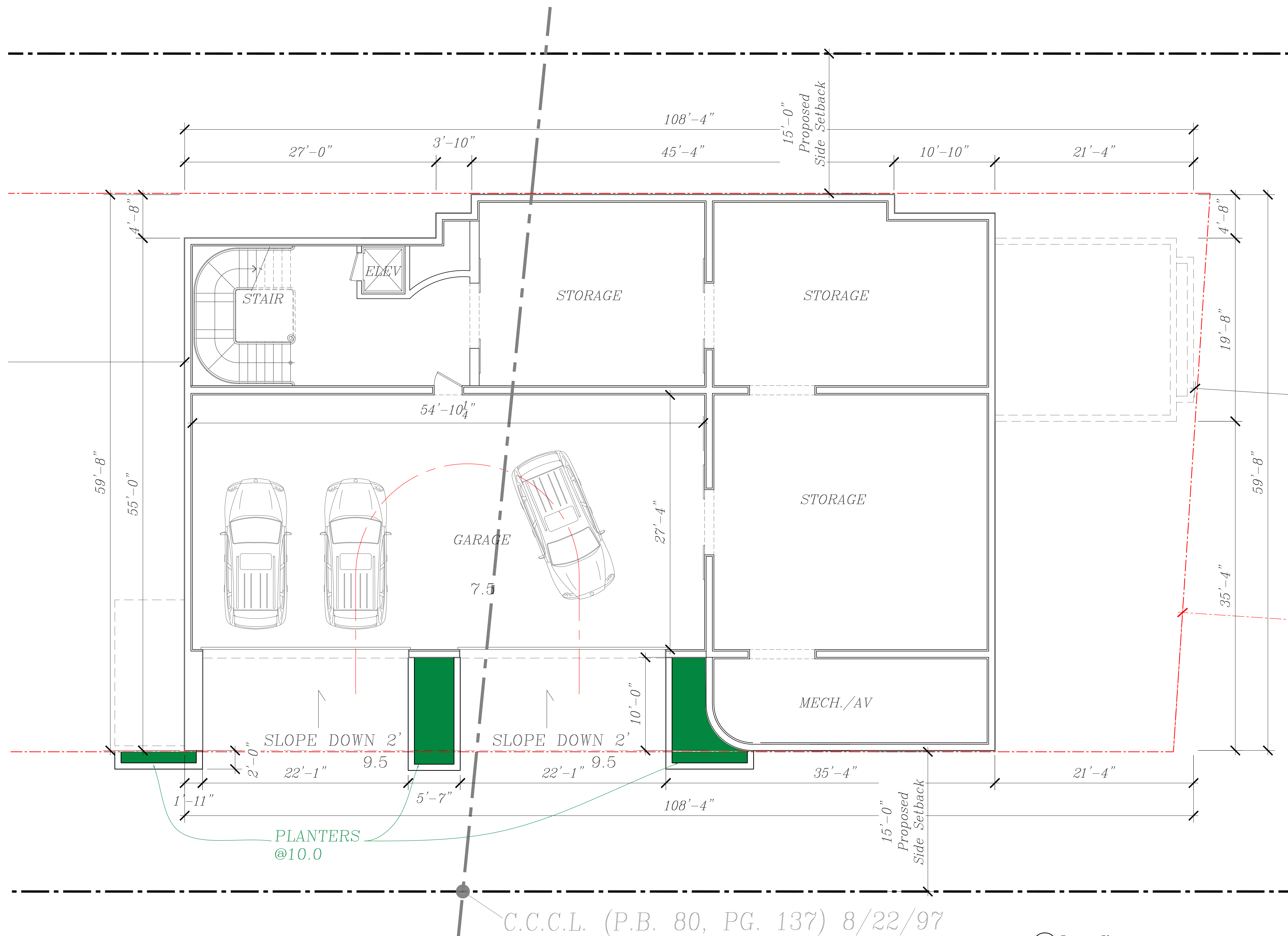


(1) Second
3/32" = 1'-0"



Basement Plan

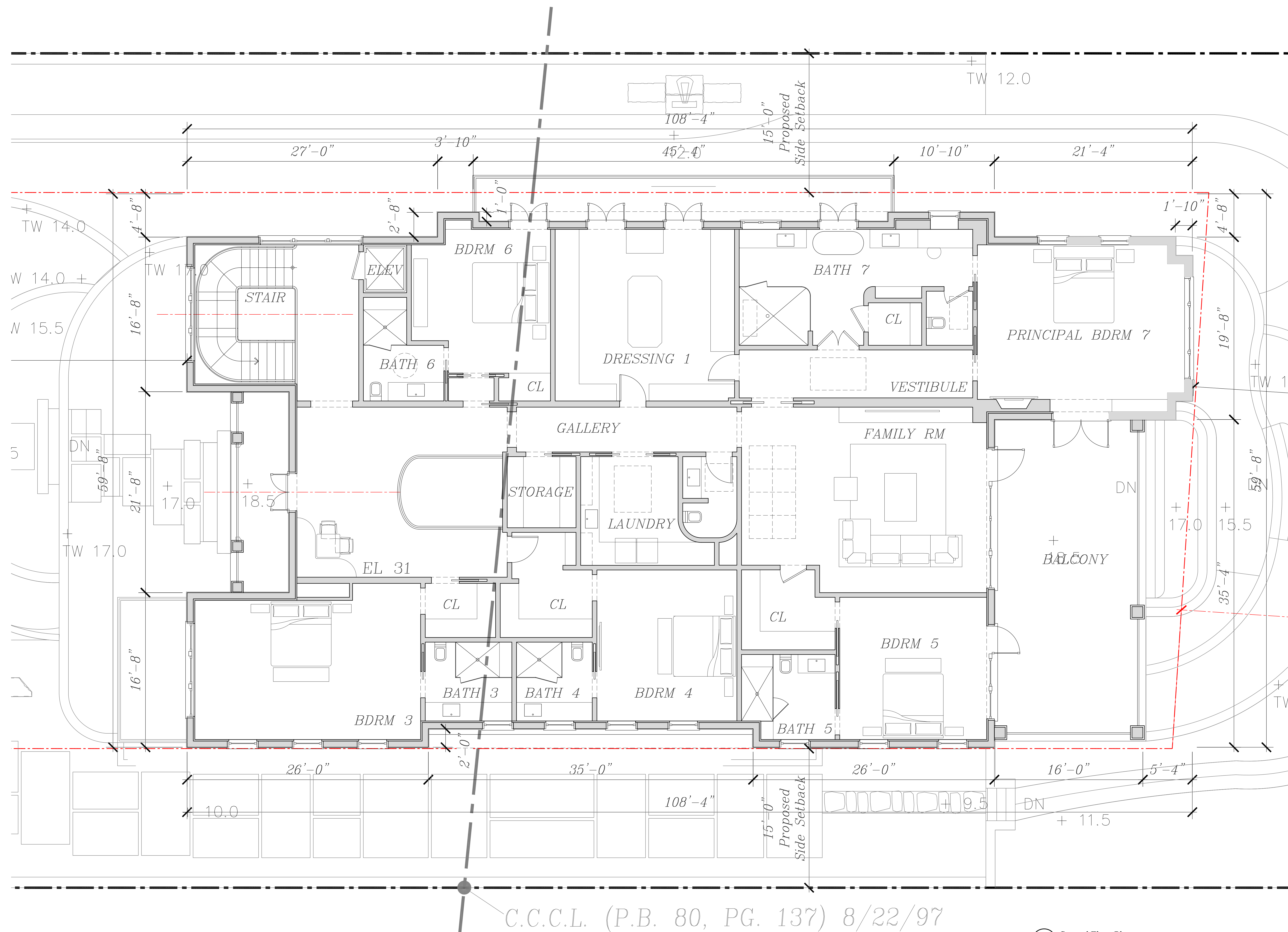
First Submittal
2024.11.26



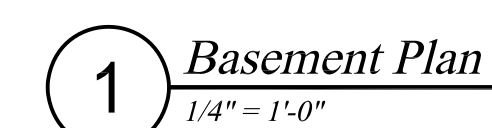
1 Basement Plan
1/4" = 1'-0"

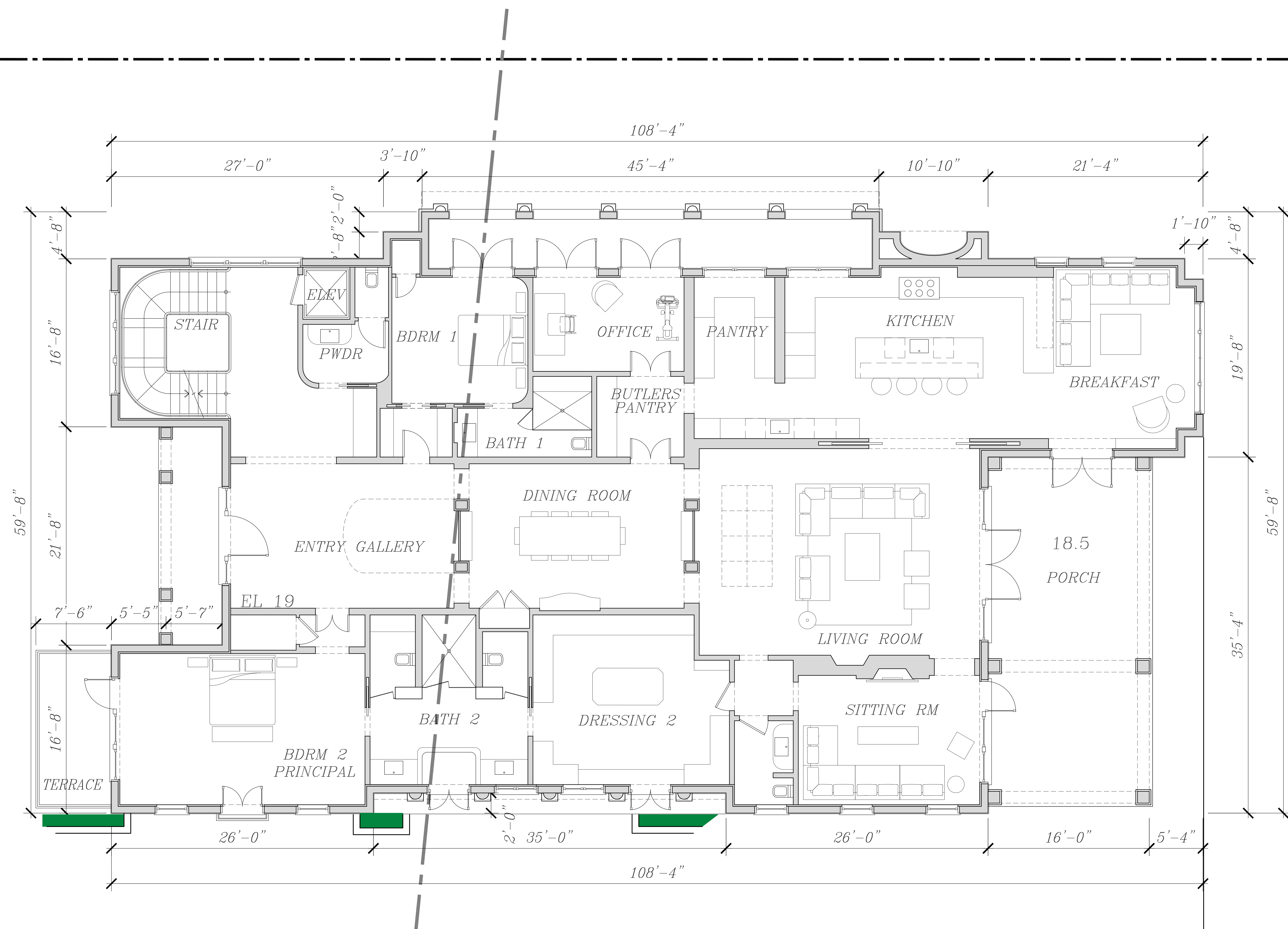


22



1 *Second Floor Plan*
1/4" = 1'-0"





C.C.C.L. (P.B. 80, PG. 137) 8/22/97

1 *First Floor Plan*
1/4" = 1'-0"

REVISION	DATE	DESCRIPTION

Second Floor
Plan

First Submittal
2024.11.26

