

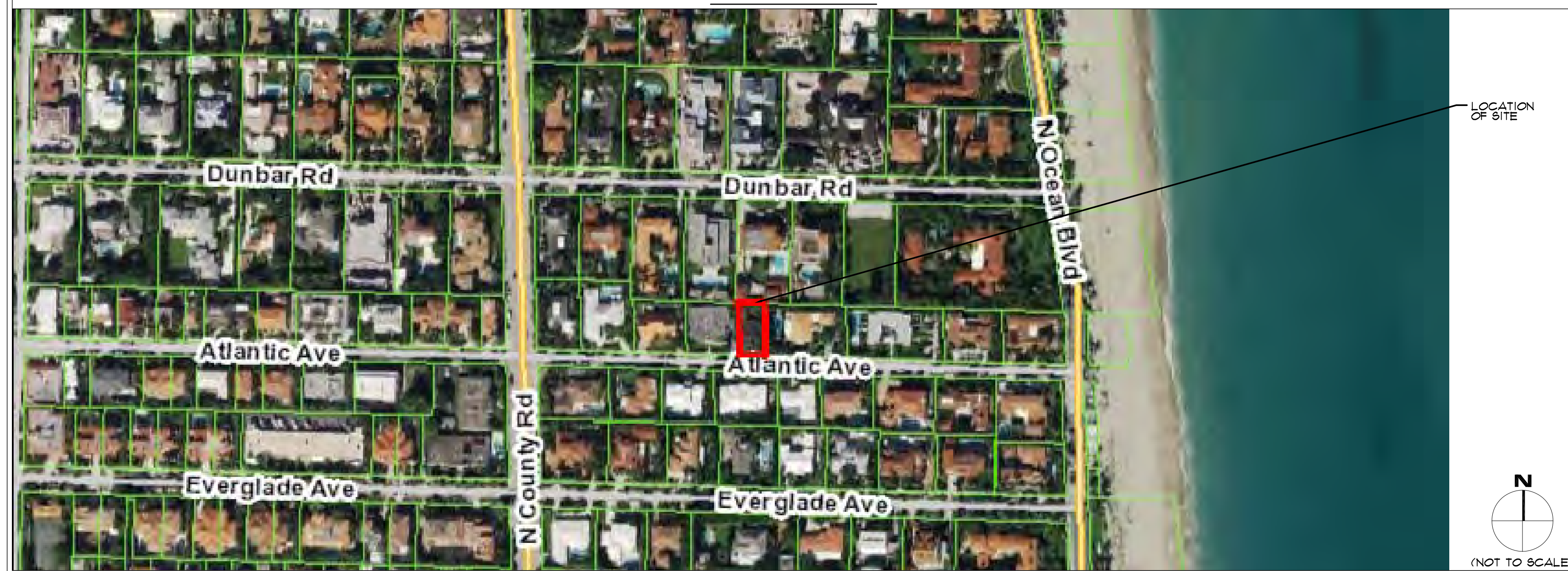
ARC-24-0080 (ZON-24-0042) SECOND SUBMITTAL

A ONE STORY ADDITION AND RENOVATION FOR:

THE SOANE RESIDENCE



SITE LOCATION MAP



AREA CALCULATIONS

EXISTING AREA CALCULATIONS

EXISTING FIRST FLOOR A/C:	1,160.84 S.F.
EXISTING SECOND FLOOR A/C:	966.59 S.F.
TOTAL A/C AREA:	2,127.43 S.F.
EXISTING FRONT PORCH:	174.68 S.F. (-174.68)
EXISTING REAR PORCH:	46.58 S.F.
TOTAL AREA:	2,348.69 S.F.

PROPOSED AREA CALCULATIONS

PROPOSED FIRST FLOOR A/C :	1,270.69 S.F. (+109.85 S.F.)
EXISTING SECOND FLOOR A/C:	966.59 S.F.
TOTAL A/C AREA:	2,237.28 S.F.
PROPOSED COVERED ENTRY:	43.59 S.F. (+43.59 S.F.)
EXISTING REAR PORCH:	46.58 S.F.
TOTAL AREA:	2,327.45 S.F.

FLORIDA BUILDING CODE 2023

WIND SPEED = 110 MPH V (ULT), 132 MPH V (ASD)
WIND IMPORTANCE FACTOR = 1.0
EXPOSURE D
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - Gcpi = 0.18
MEAN ROOF HEIGHT = LESS THAN 25'-0"

PROJECT SCOPE

THE SCOPE OF THE PROJECT INCLUDES REMOVAL OF THE 114.68 SF. EXISTING FRONT PORCH AND ADDING IN ITS PLACE A 109.85 SF. ADDITION TO THE EXISTING LIVING ROOM AND A 43.59 SF. COVERED ENTRY. THE PROJECT ALSO INCLUDES A PROPOSED POOL, POOL DECK, WALKWAYS, DRIVEWAY, CURB CUT, AND FRONT SITE WALL. THIS PROJECT WILL REQUIRE VARIANCES FOR A SIDEYARD SETBACK OF 10'-1" I.L.O. 12'-6", REQUEST FOR PUBLIC WORKS TO EXPAND THE EXISTING 11'-1" CURB CUT TO 21'-9".

HOUSE COLOR BASE: BENJAMIN MOORE OC-117 WHITE DOVE
HOUSE COLOR TRIM: BENJAMIN MOORE HC-112 REVERE FEUTER
ROOF: EAGLE ROOFING BEL AIR 4883 HILLSBOROUGH BLEND

PROJECT INDEX

C1 COVER SHEET	A4.1 EXISTING AND PROPOSED EAST ELEVATION COLORED
SP1 SITE LOCATION PLAN	A5 EXISTING AND PROPOSED NORTH ELEVATION
SP2 IMAGES OF EXISTING RESIDENCE	A5.1 EXISTING AND PROPOSED NORTH ELEVATION COLORED
SP3 STREET IMAGES	A6 EXISTING AND PROPOSED WEST ELEVATION
SP4 EXISTING SITE PLAN	A6.1 EXISTING AND PROPOSED WEST ELEVATION COLORED
SP5 MATERIALS REMOVAL PLAN	A7 STREETSCAPE ELEVATION
SP6 TRUCK LOGISTICS AND CONSTRUCTION STAGING PLAN	A8 WALL SECTION AND DETAILS
SP7 PROPOSED SITE PLAN	A9 RENDERINGS
SP8 ZONING LEGEND	
SP9 YARD DIAGRAM	
SP10 LOT COVERAGE DIAGRAM	
SP11 LANDSCAPE OPEN SPACE DIAGRAM	
SP12 PERIMETER LANDSCAPE OPEN SPACE DIAGRAM	
SP13 FRONT YARD LANDSCAPE OPEN SPACE DIAGRAM	
SP14 CUBIC CONTENT DIAGRAM	
A1 EXISTING AND PROPOSED FIRST FLOOR PLAN	
A2 EXISTING AND PROPOSED SECOND FLOOR PLAN	
A3 EXISTING AND PROPOSED SOUTH ELEVATION	
A3.1 EXISTING AND PROPOSED SOUTH ELEVATION COLORED	
A4 EXISTING AND PROPOSED EAST ELEVATION	



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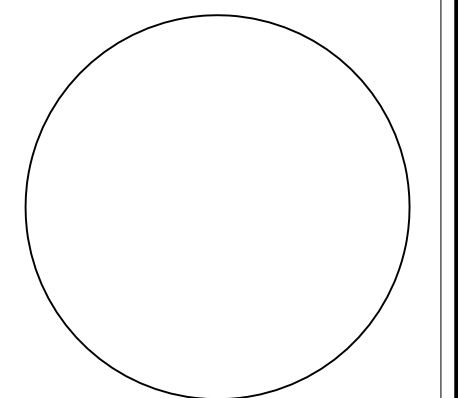
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WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
RCRB 60164 RCRB 67675
BR 26001461

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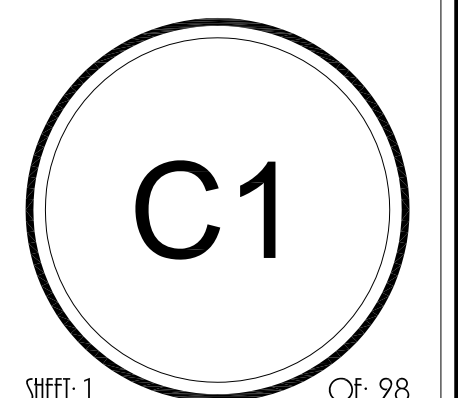
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PALM BEACH, FLORIDA

SEAL BY:
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JASON P. DROBOT - BR 94843



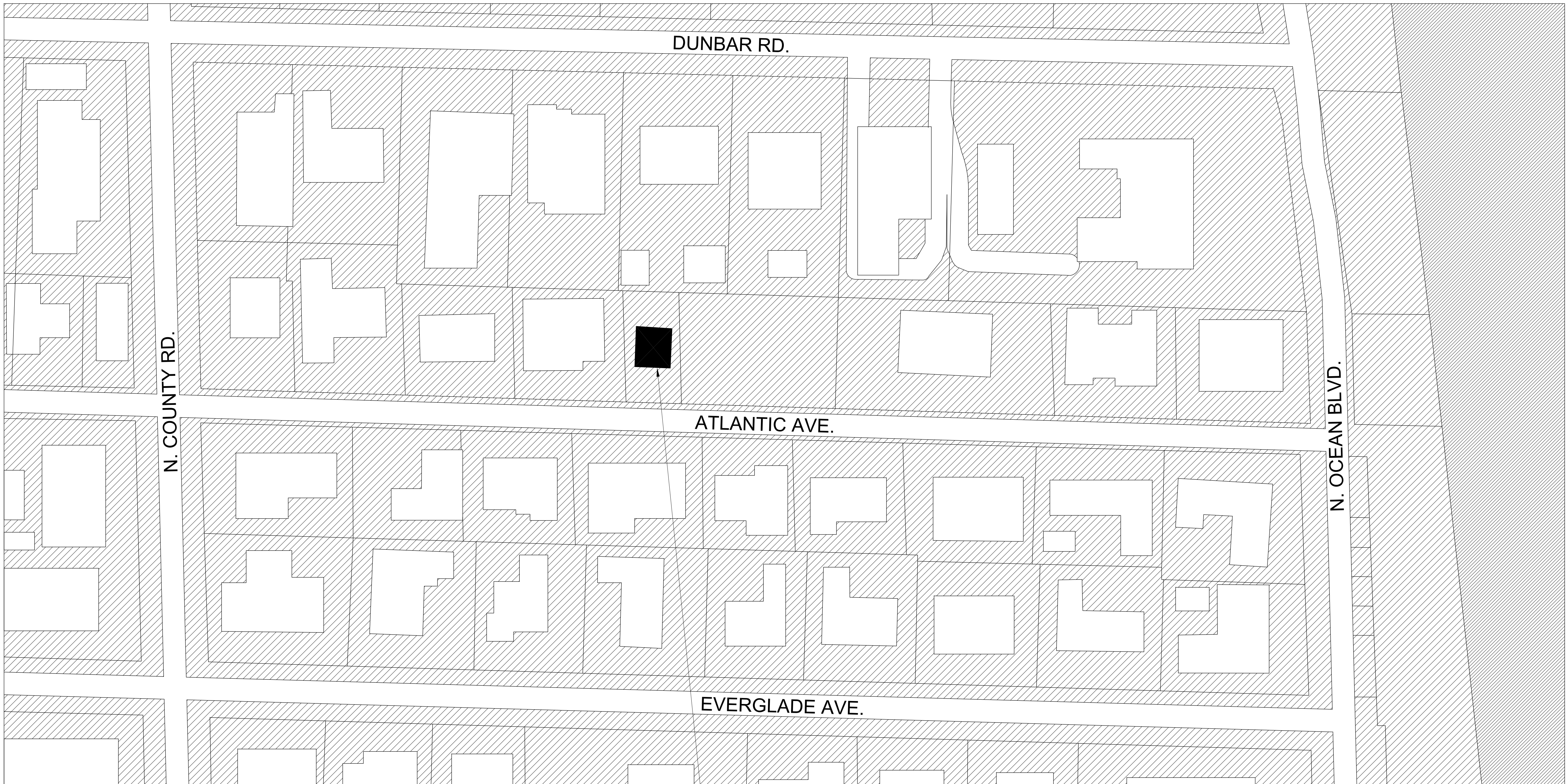
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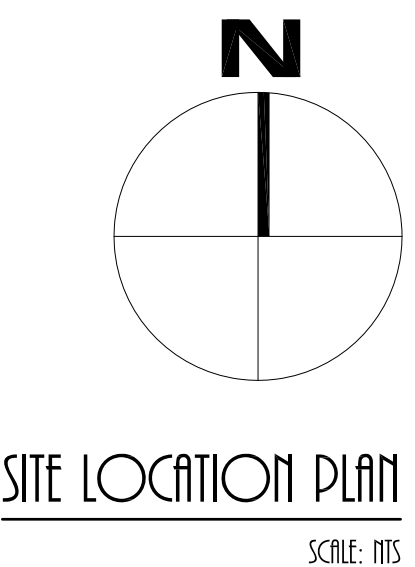


COVER SHEET

SHEET: 1 OF: 28



SUBJECT PROPERTY:
141 ATLANTIC AVE.

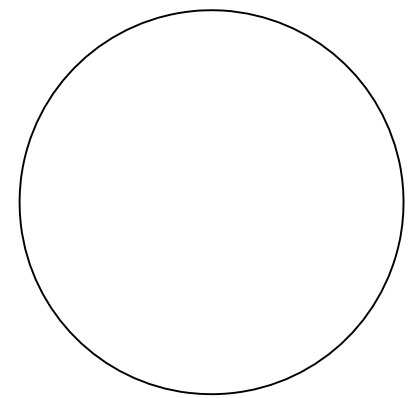


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SP1
SHEET: 2 OF: 28



6/SP2 EAST ELEVATION



5/SP2 NORTH ELEVATION



4/SP2 WEST SIDE OF NORTH ELEVATION



3/SP2 WEST ELEVATION



2/SP2 WEST SIDE OF SOUTH ELEVATION



1/SP2 SOUTH ELEVATION

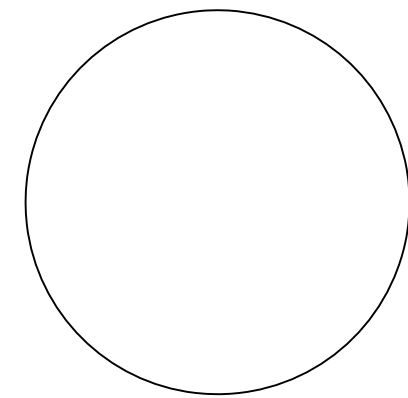


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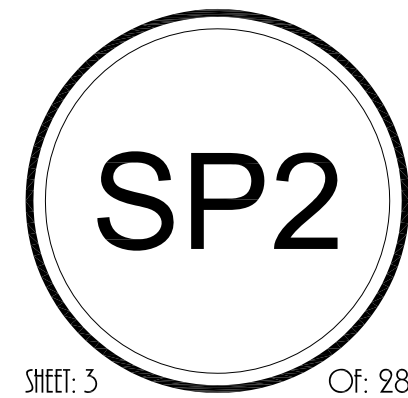
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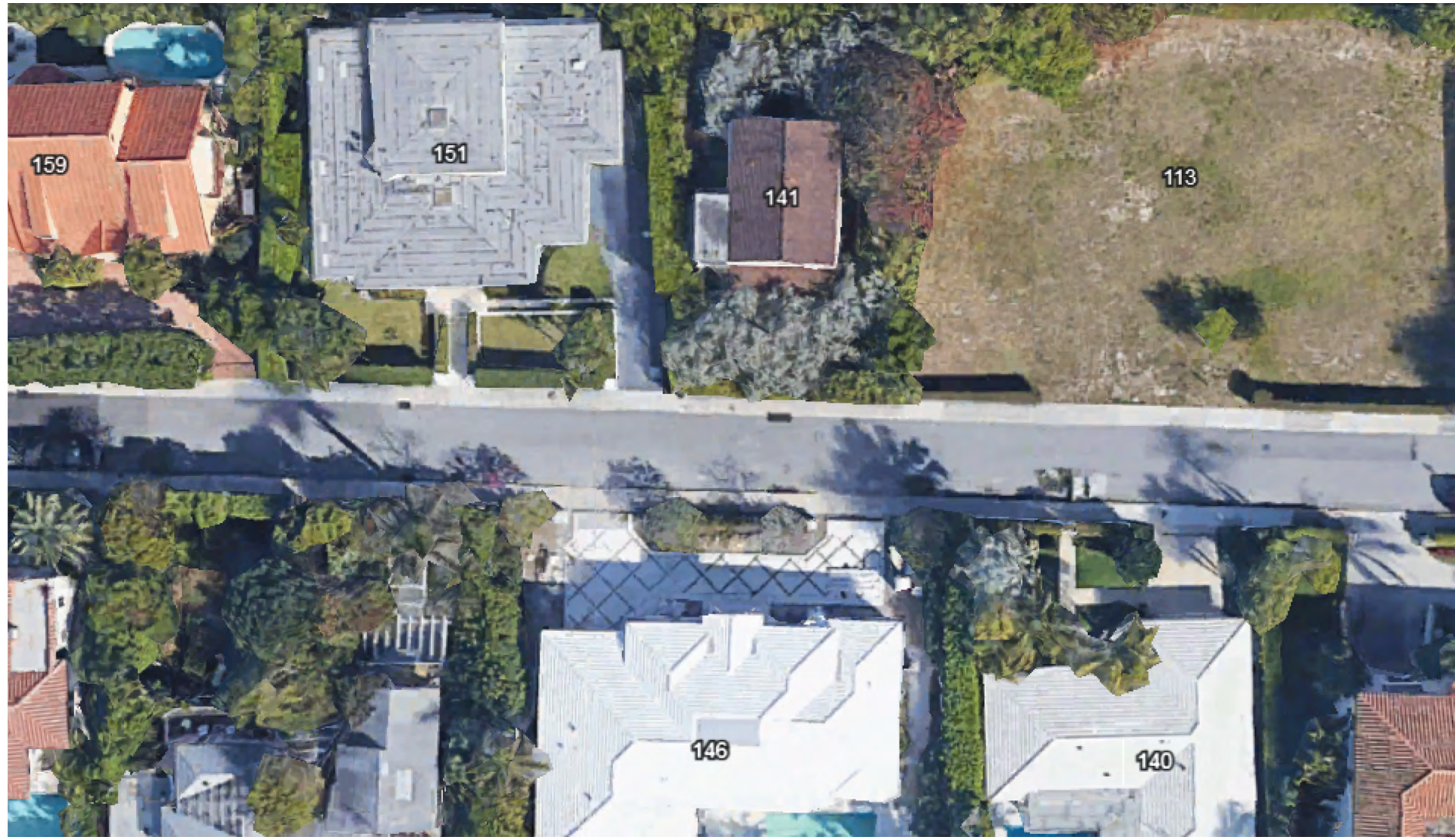
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SHEET: 3 OF: 28

IMAGES



BIRDS-EYE VIEW OF 141 ATLANTIC AVE.



8/SP3 151 ATLANTIC AVE.



7/SP3 151 ATLANTIC AVE.



6/SP3 151 ATLANTIC AVE.



5/SP3 141 ATLANTIC AVE.



4/SP3 141 ATLANTIC AVE.



3/SP3 113 ATLANTIC AVE.



2/SP3 113 ATLANTIC AVE.



1/SP3 113 ATLANTIC AVE.



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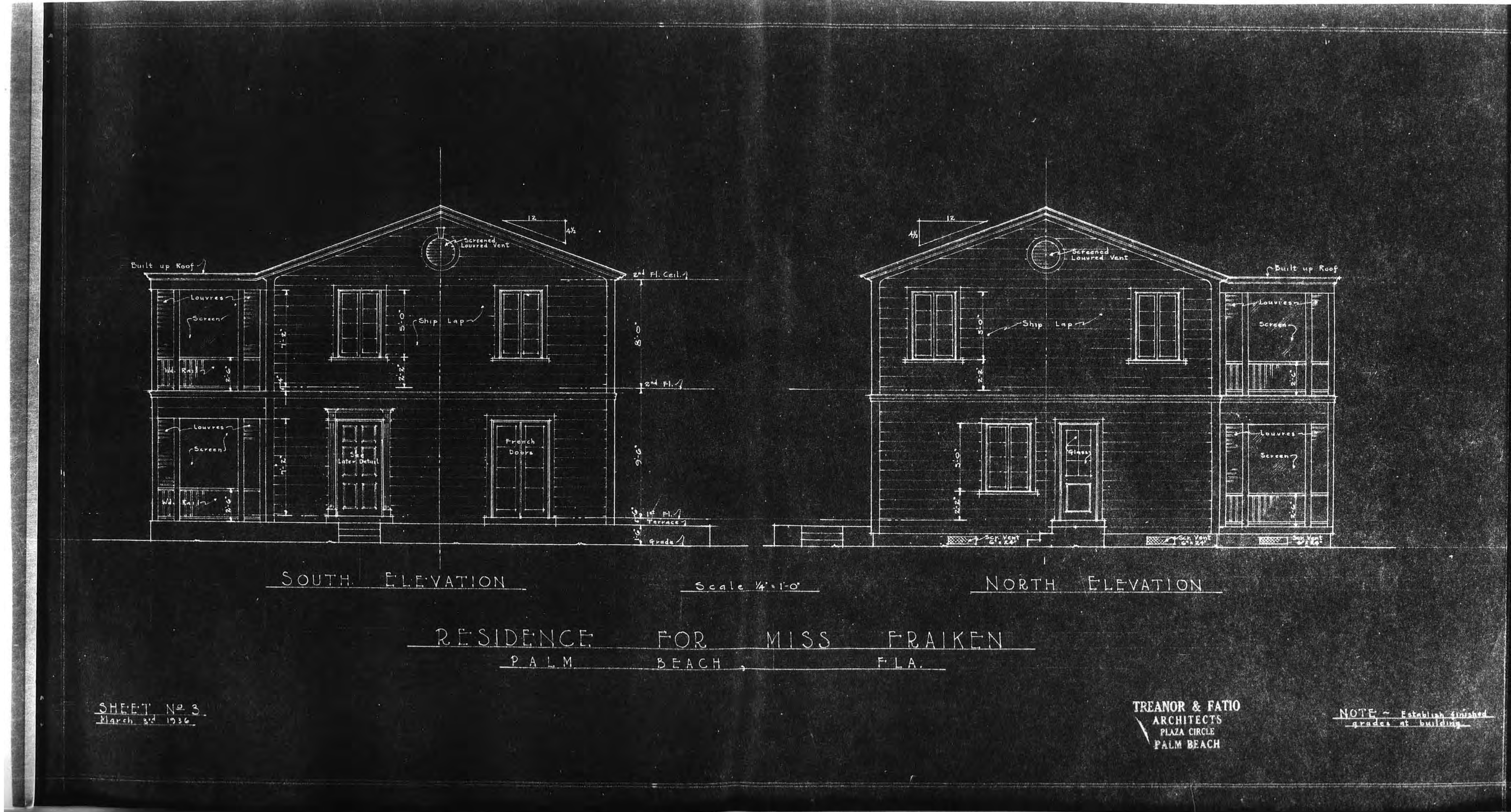
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SP3

SHEET: 4 OF: 28





Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address: 141 Atlantic Ave. Palm Beach, FL, 33480			
2	Zoning District: R-B-LOW DENSITY RESIDENTIAL (50-PALM BEACH)			
3	Lot Area (sq. ft.): 4,993.10 SQ. FT.			
4	Lot Width (W) & Depth (D) (ft.): 50 FT. X 100 FT.			
5	Structure Type: SINGLE FAMILY (Single-Family, Multi-Family, Comm., Other)			
6	FEMA Flood Zone Designation: ZONE X			
7	Zero Datum for point of meas. (NAVD)			
8	Crown of Road (COR) (NAVD)			
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	30% (1,497.93 SQ. FT.(MAX.))	27.57% (1,376.72 SQ. FT.)	27.25% (1,360.86 SQ. FT.)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)		2,348.69 SQ. FT.	2,327.45 SQ. FT.
12	*Front Yard Setback (Ft.)	S 25'-1" 1ST FLR / S 30'-2" 2ND FLR	S 25'-2" 1ST FLR / S 32'-1" 2ND FLR	S 25'-1" 1ST FLR / S N/C 2ND FLR
13	* Side Yard Setback (1st Story) (Ft.)	E 12'-6" /W 12'-6"	E 8'-6" /W 5'-11"	E 10'-7" /W N/C
14	* Side Yard Setback (2nd Story) (Ft.)	E 15'-0" /W 15'-0"	E 8'-6" /W 5'-11"	E N/C./ W N/C
15	*Rear Yard Setback (Ft.)	N 10'-0" 1ST FLR / N 15'-0" 2ND FLR	N 25'-6" 1ST FLR / N 33'-2" 2ND FLR	N/C
16	Angle of Vision (Deg.)	100 DEG. MAX.	60.29 DEG.	59.8 DEG.
17	Building Height (Ft.)	22' MAX.	18'-3"	N/C
18	Overall Building Height (Ft.)	30' MAX.	23'-0"	N/C
19	Cubic Content Ratio (CCR) (R-B ONLY)	22,468.95 C.F. MAX.	22,615.51 C.F.	22,394.29 C.F.
20	** Max. Fill Added to Site (Ft.)	N/C	N/C	N/C
21	Finished Floor Elev. (FFE)(NAVD)	7.94'	N/C	N/C
22	Base Flood Elevation (BFE)(NAVD)	6' NAVD	N/C	N/C
23	Landscape Open Space (LOS) (Sq Ft and %)	45% (2,246.90 SQ. FT. (MIN.))	40.28% (2,010.47 SQ. FT.)	45.00% (2,246.84 SQ. FT.)
24	Perimeter LOS (Sq Ft and %)	50% OF LOS (1,123.45 SQ. FT. (MIN.))	73.26% (1,846.12 SQ. FT.)	79.09% (1,777.11 SQ. FT.)
25	Front Yard LOS (Sq Ft and %)	40% OF FRONT YARD (550 SQ. FT. (MIN.))	33.15% (1,644.36 SQ. FT.)	54.68% (883.50 SQ. FT.)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

REV BF-20230626



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BR 26001461

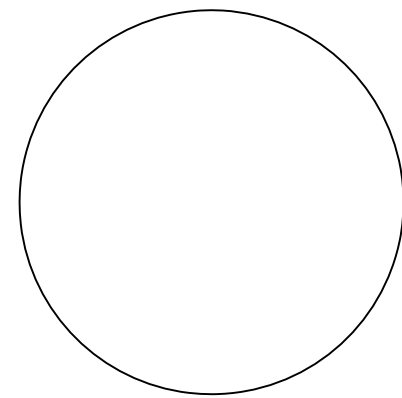
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141 ATLANTIC AVE.
PALM BEACH, FLORIDA

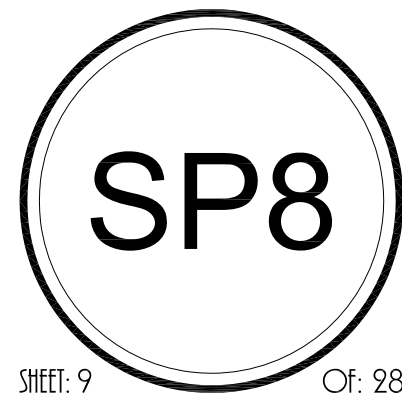
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SHEET: 9

OF: 28

ZONING LEGEND

SCALE: 1/8" = 1'-0"

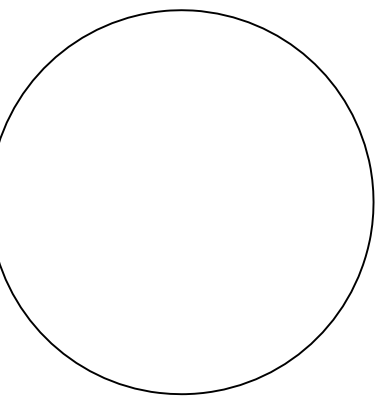


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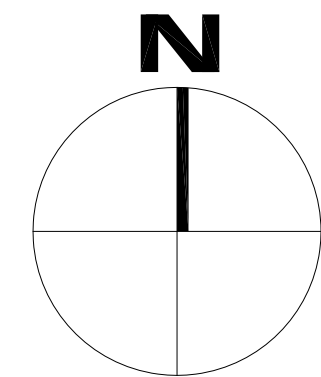
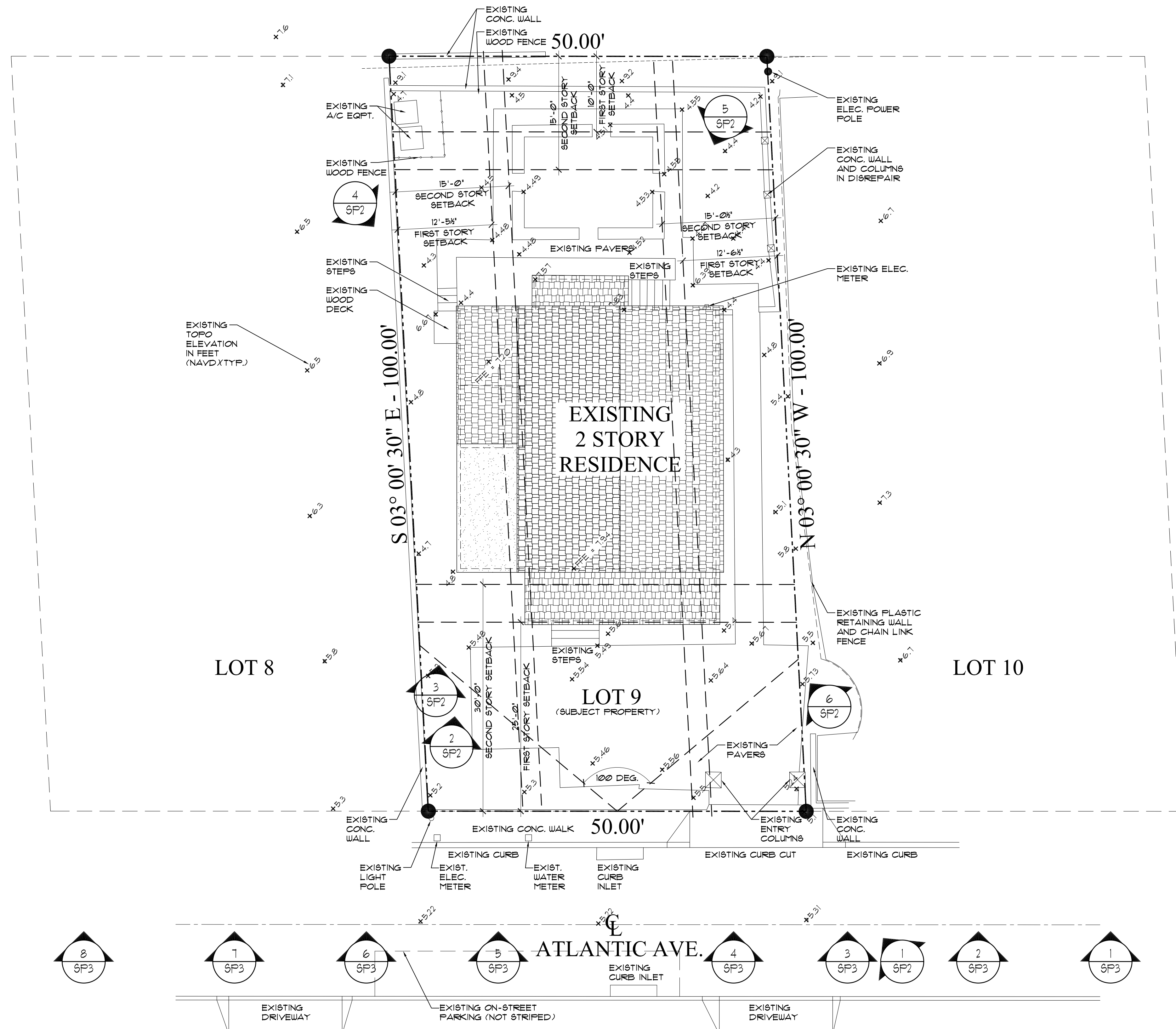
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EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



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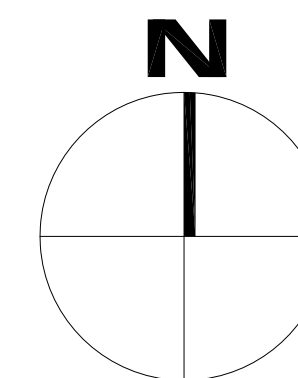
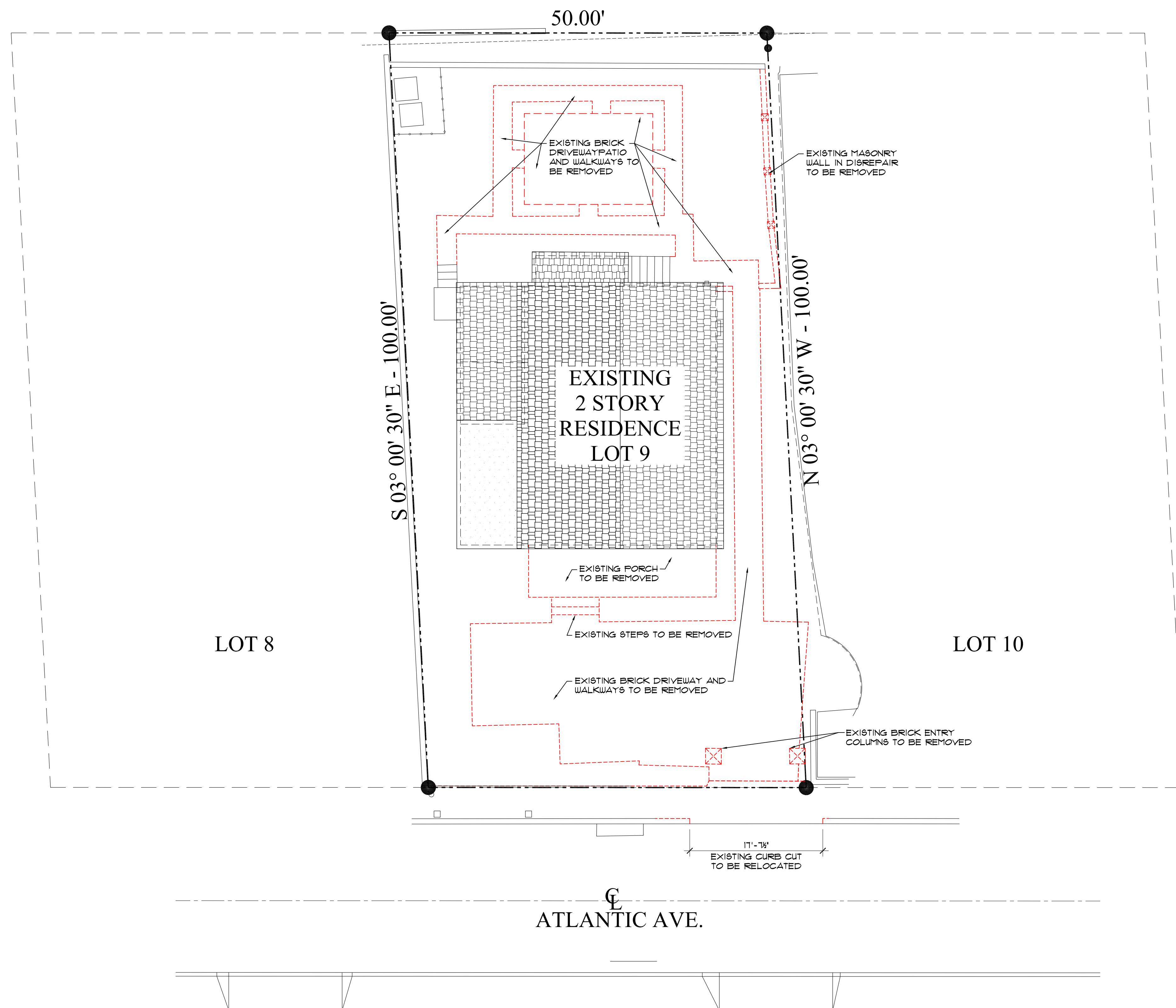
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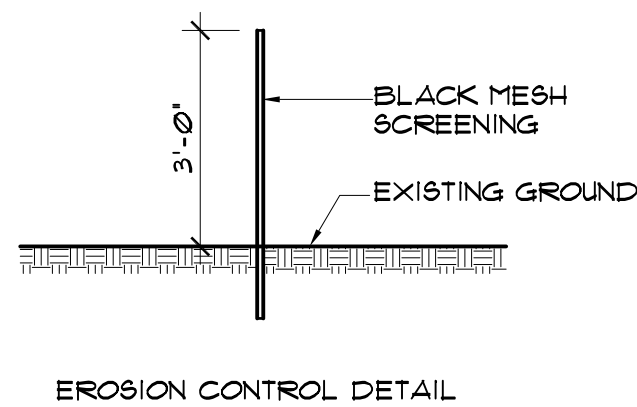
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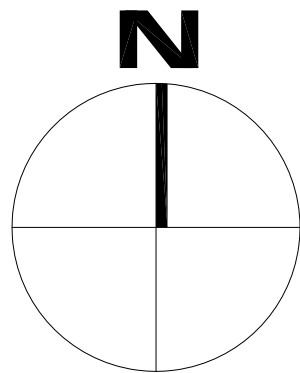
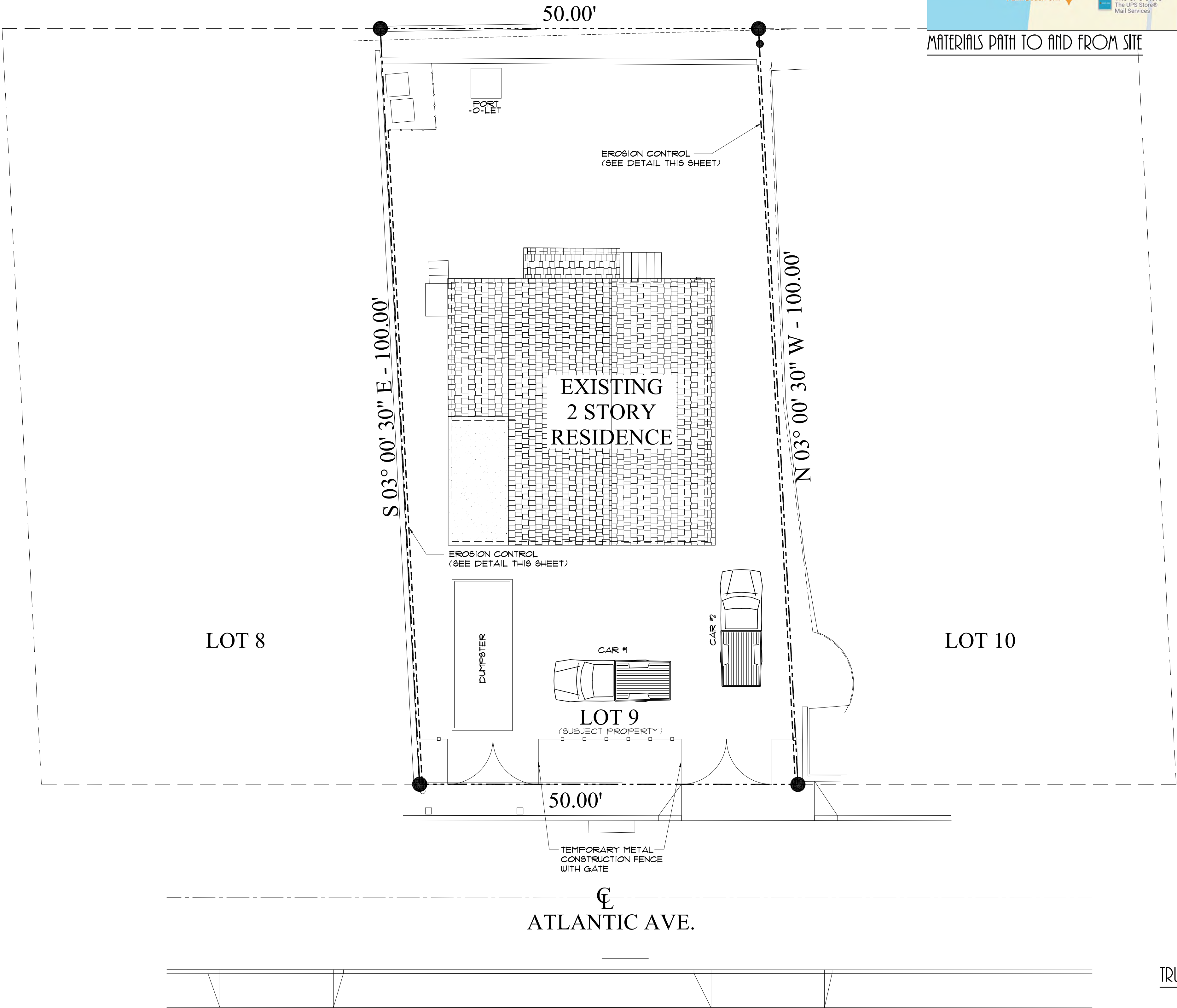
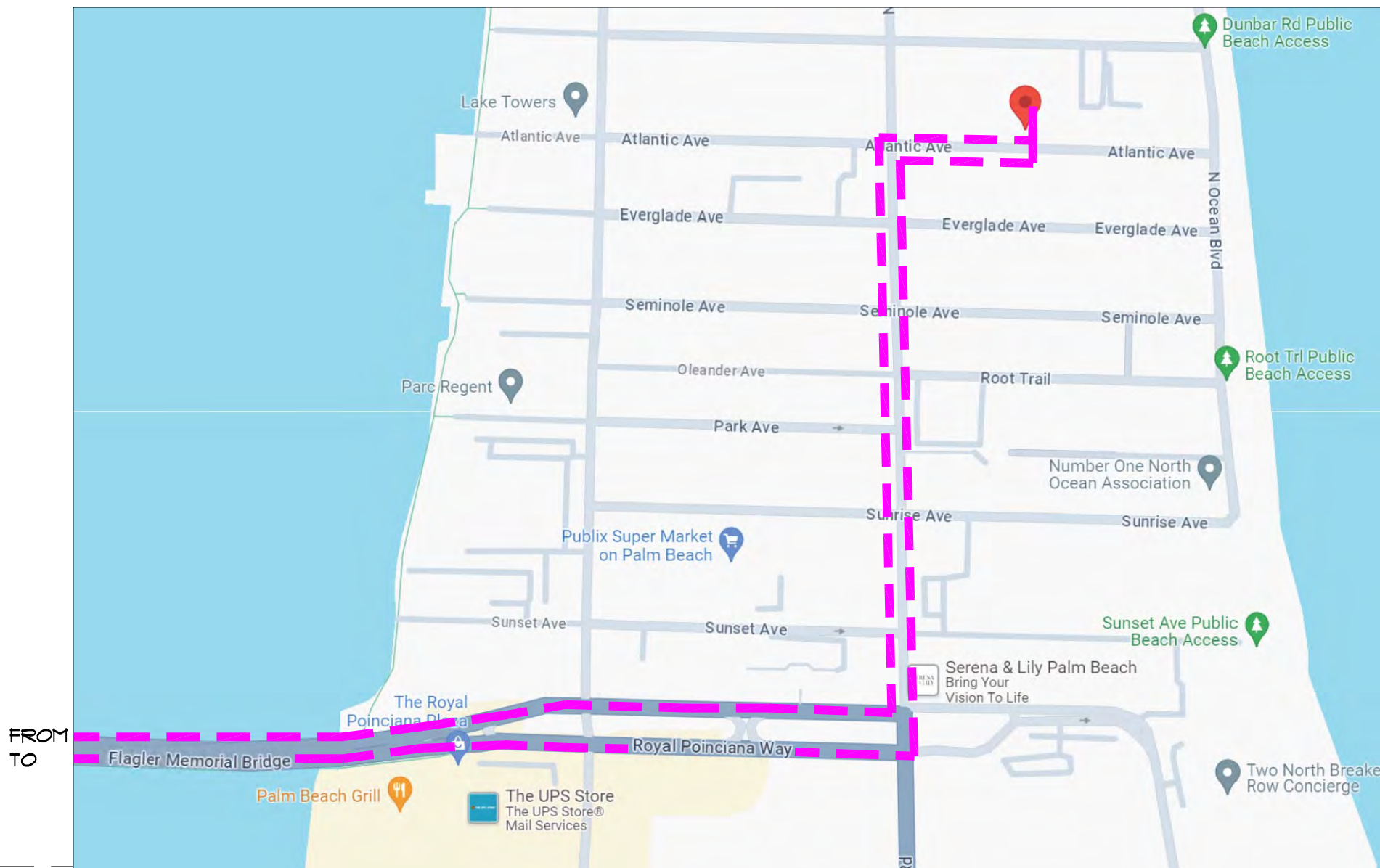
SP5
SHEET: 6 OF: 28



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



- GENERAL EROSION CONTROL NOTES:
- EROSION CONTROL TO BE ACCORDING TO TOWN CODE CH. 66 §. 66-443.
 - CONSTRUCTION MATERIAL STORAGE AND PARKING TO BE ACCORDING TO 'RIGHT OF WAY' STAND. MANUAL, PAGE XII.2
 - LANDSCAPING TO MEET TOWN CODES WITH RESPECT TO PLANTINGS IN 'RIGHT OF WAY', EASEMENTS AND/OR SIGHT TRIANGLES.
 - LANDSCAPING WILL CONFORM TO GRADING DRAINAGE RETENTION.
 - EXISTING WALL AND HEDGE REMAINS DURING CONSTRUCTION



TRUCK LOGISTICS AND CONSTRUCTION STAGING PLAN
SCALE: 1/8" = 1'-0"

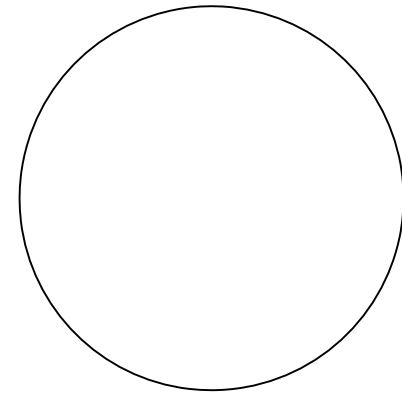


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LEGAL DESCRIPTION

MUNICIPALITY: PALM BEACH
PARCEL CONTROL NUMBER: 50-43-43-14-03-000-0090
SUBDIVISION: PROXIMITY PARK IN
OFFICIAL RECORDS BOOK: 34910 PAGE: 164
LEGAL DESCRIPTION: PROXIMITY PARK LOT 9

SITE INFORMATION

WALLACE SURVEYING CORP.
JAMES G. FEDEN JR. L.S. 16122
5553 VILLAGE BOULEVARD
WEST PALM BEACH, FL 33407
PH. (561) 640-4551

SITE PLAN NOTE

1. THE ARCHITECTURAL SITE PLAN IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVES, AND SITE FEATURES ONLY. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SETBACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYOR'S PLAN, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THE CONFLICTS.



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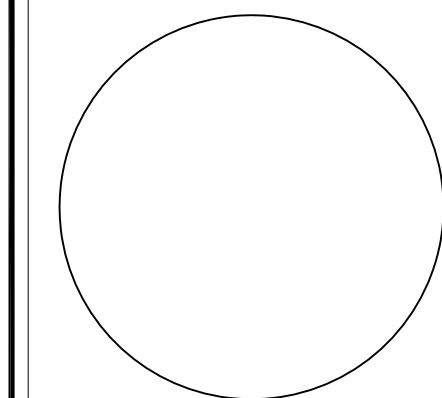
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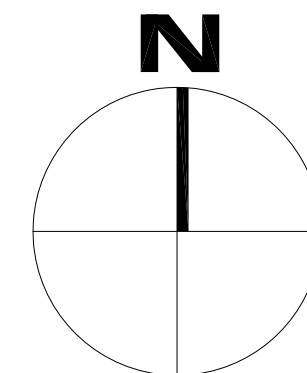
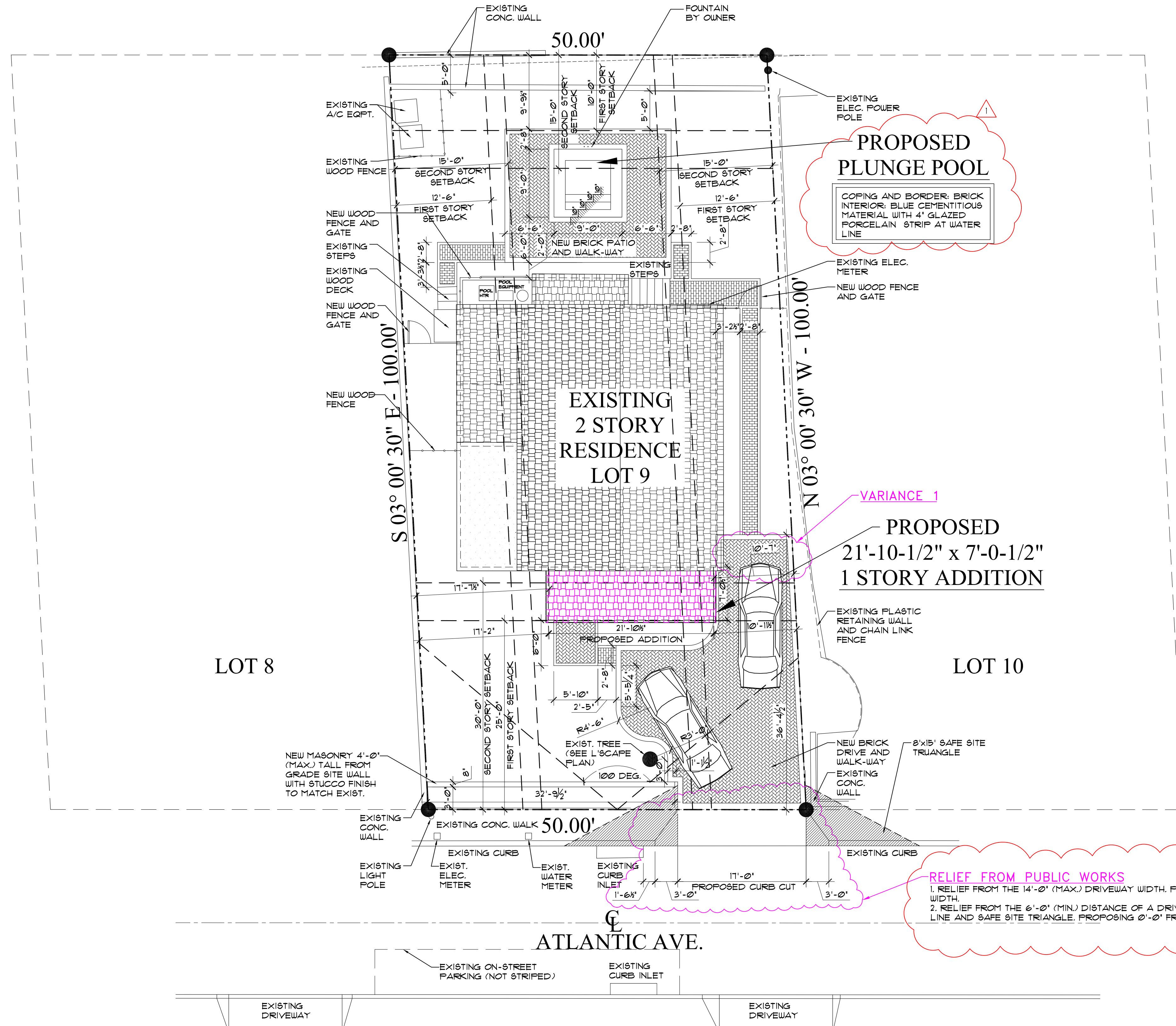


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SHEET: 8 OF: 28



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



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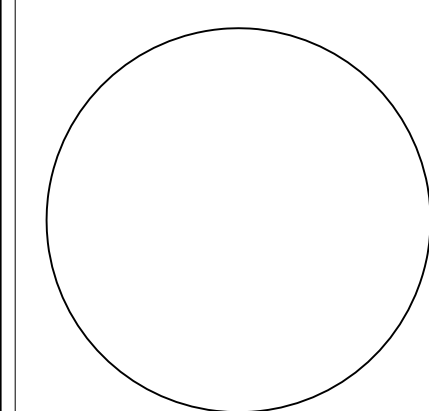
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(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
RD 0017698 RD 94843
NCRD 60164 NCRD 67675
26001461

ARC-24-0080 (ZON-24-0042) SECOND SUBMITTAL
A ONE STORY ADDITION AND RENOVATION FOR:
THE SCONE RESIDENCE

141 ATLANTIC AVE.
PALM BEACH, FLORIDA

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JEFFREY D. BRASSEUR - AR 0017698
WILSON P. DROBOT - AR 94843

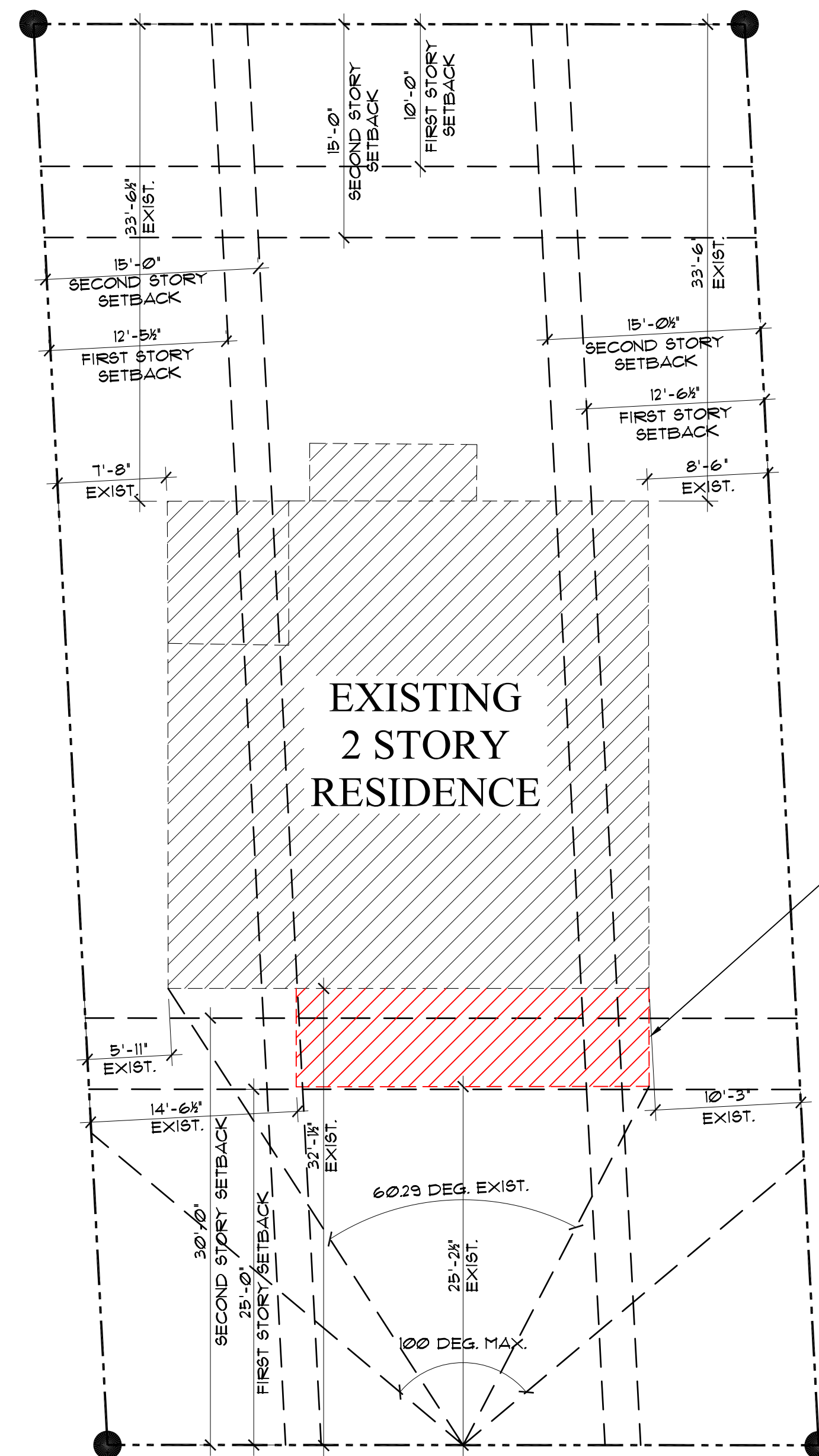


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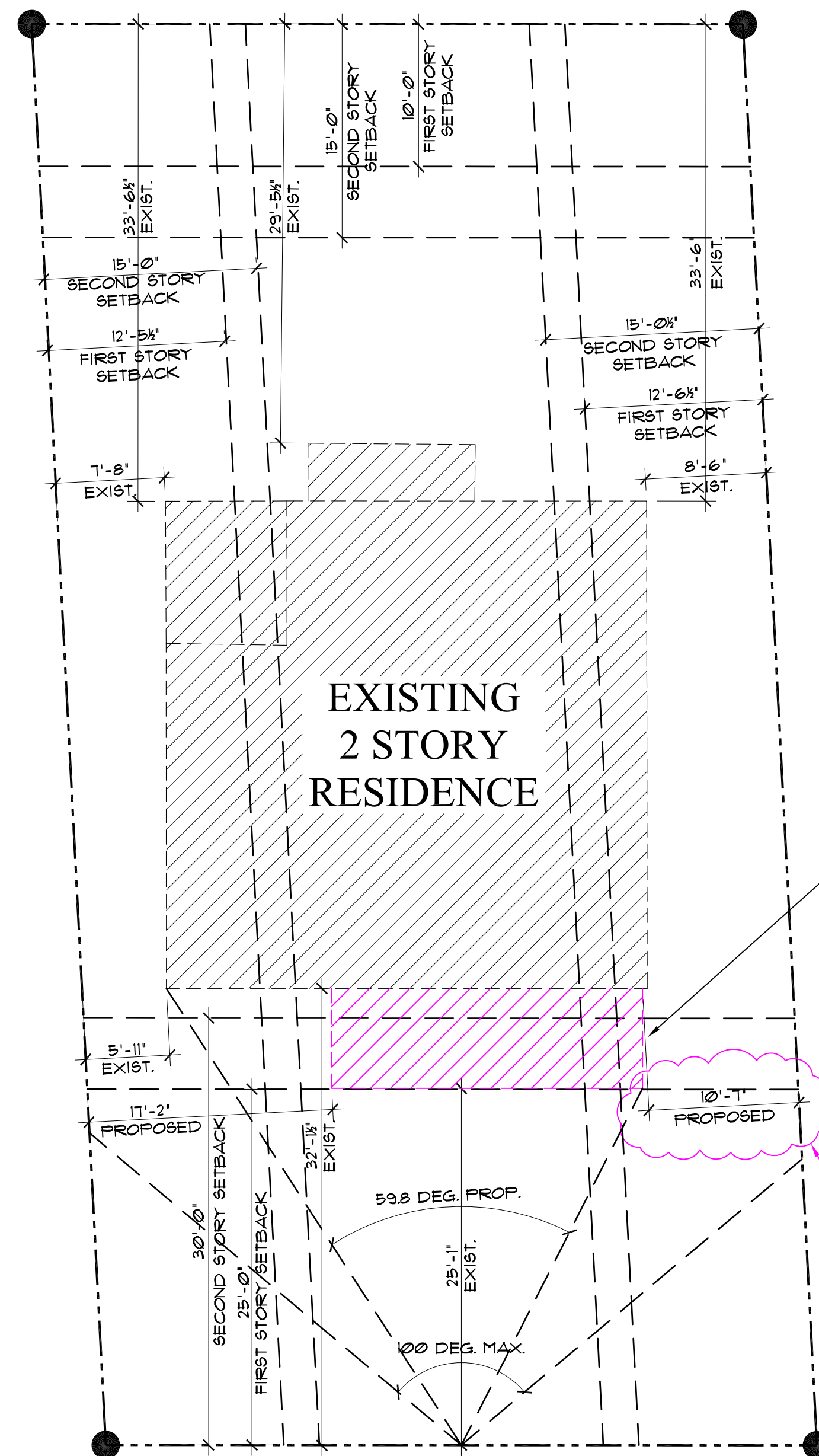
SHEET: 10 OF: 28



REQUIRED AND EXISTING SETBACK/EASEMENTS

SCALE: 1/8" = 1'-0"

EXISTING PORCH
TO BE REMOVED

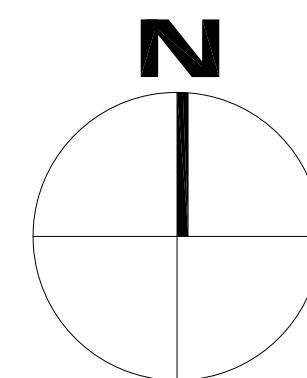


PROPOSED SETBACK/EASEMENTS

SCALE: 1/8" = 1'-0"

PROPOSED LIVING
ROOM ADDITION
AND COV. ENTRY

VARIANCE 1



YARD DIAGRAM
SCALE: 1/8" = 1'-0"



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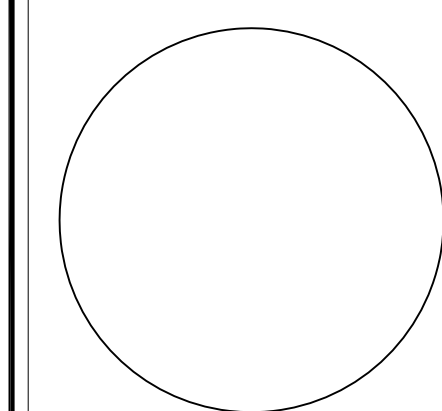
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A ONE STORY ADDITION AND RENOVATION FOR:
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141 ATLANTIC AVE.
PALM BEACH, FLORIDA

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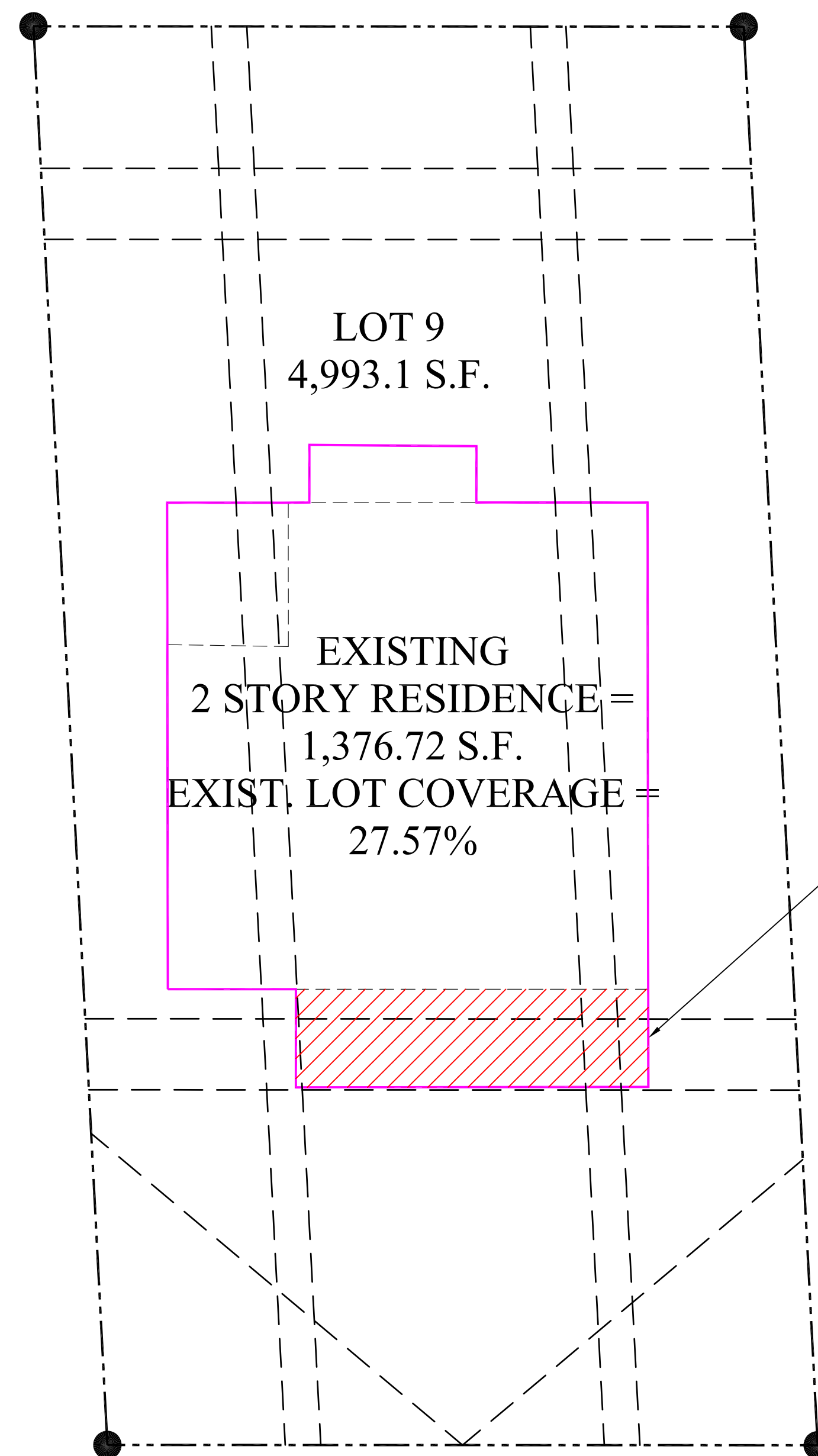


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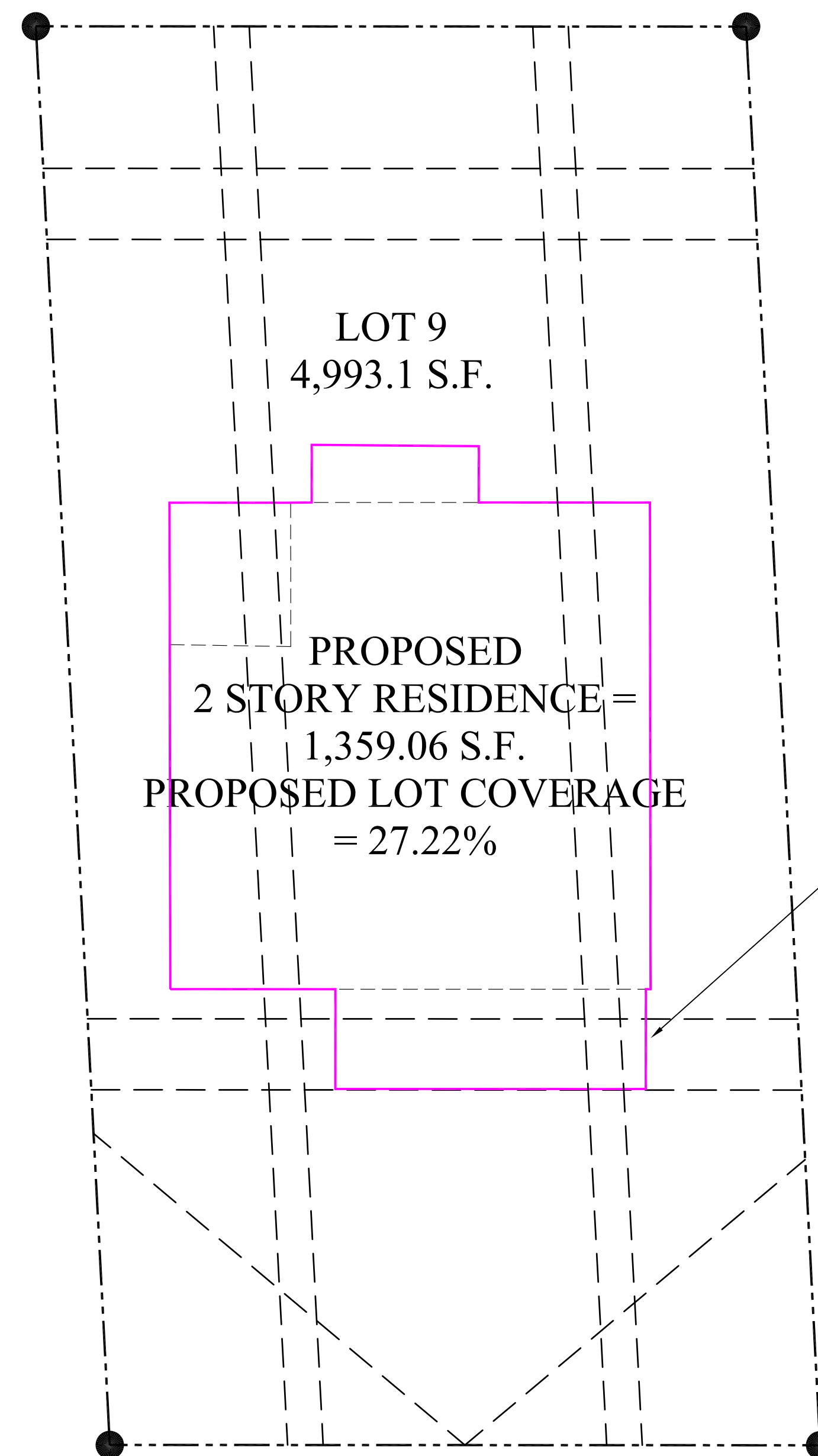


SHEET: 11 OF: 28



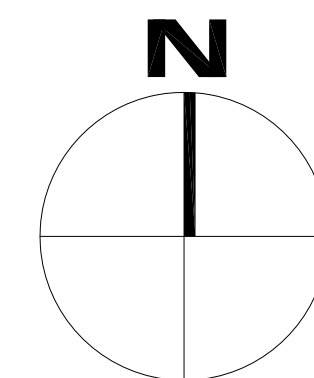
EXISTING LOT COVERAGE

SCALE: 1/8" = 1'-0"



PROPOSED LOT COVERAGE

SCALE: 1/8" = 1'-0"



LOT COVERAGE DIAGRAM

SCALE: 1/8" = 1'-0"

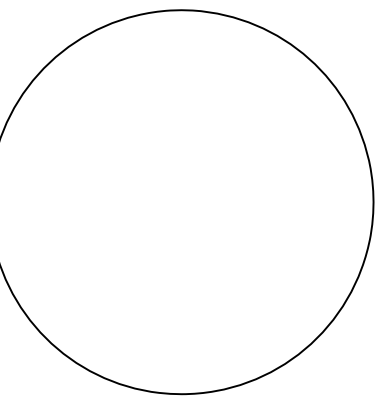


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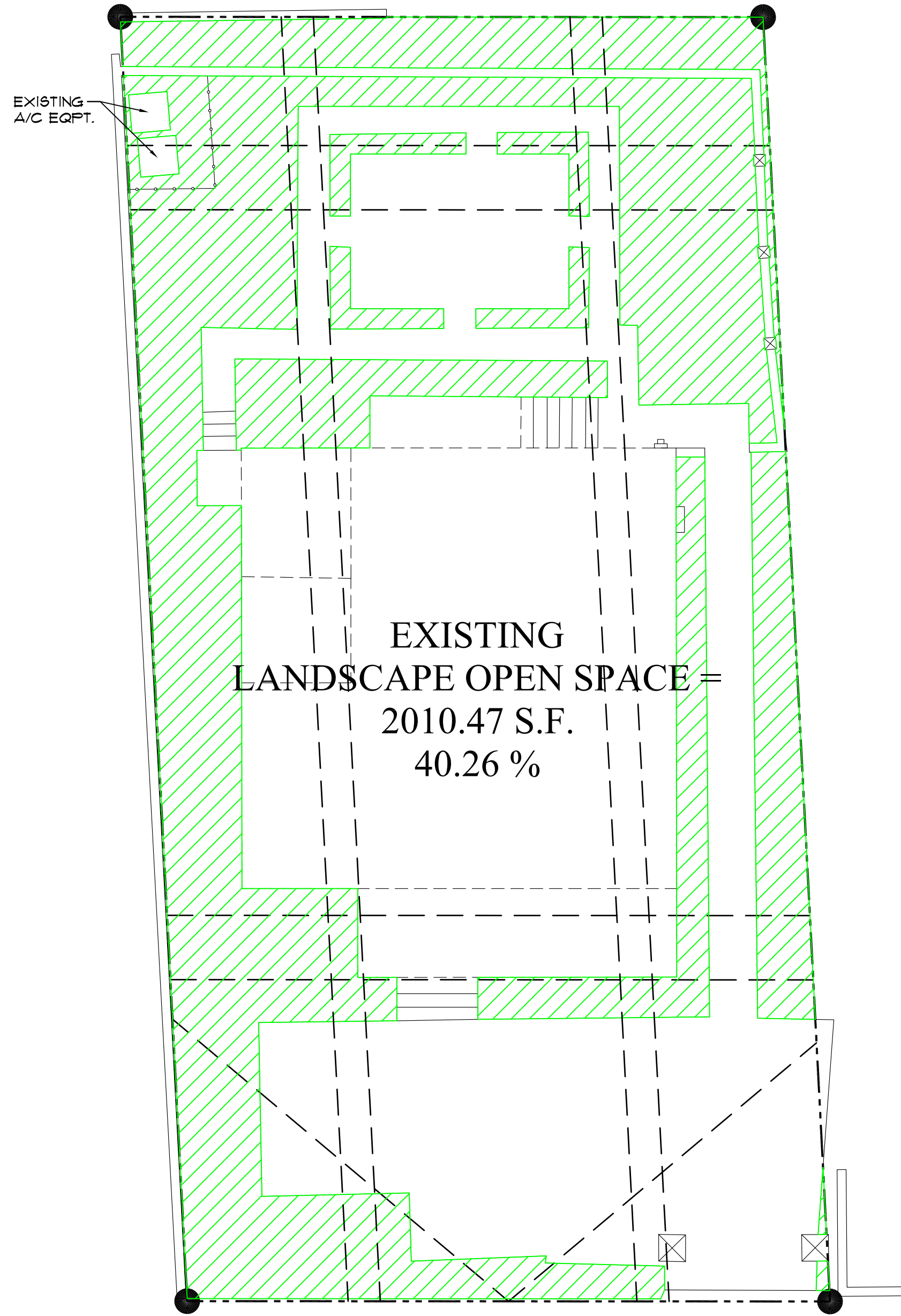


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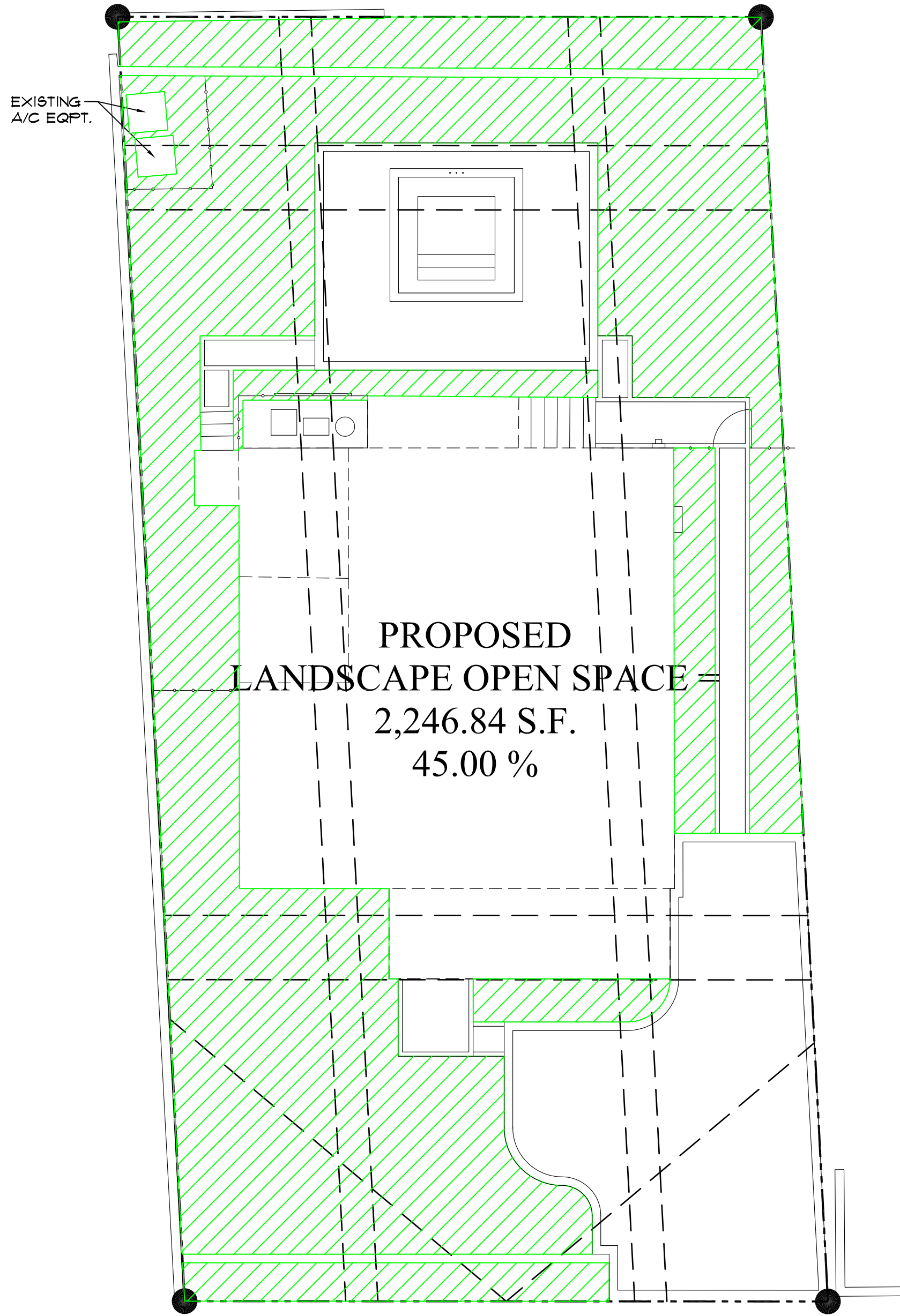


SHEET: 12 OF: 28



EXISTING LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

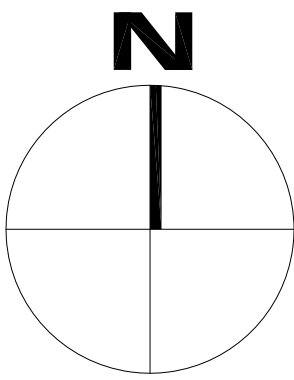


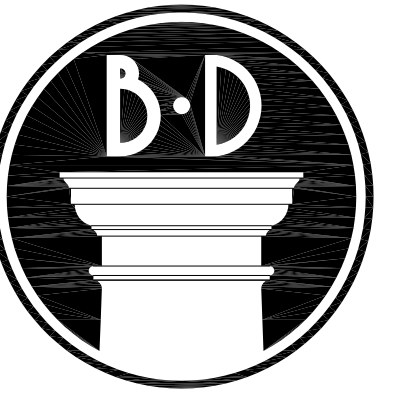
SCHEMATIC PROPOSED LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

LANDSCAPE OPEN SPACE DIAGRAM

SCALE: 1/8" = 1'-0"



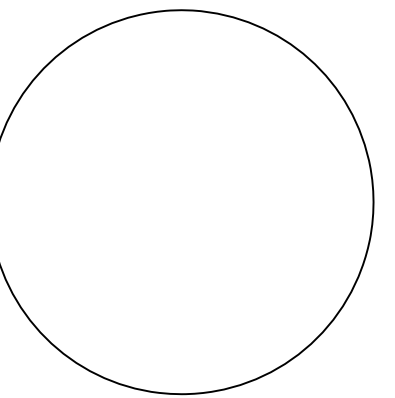


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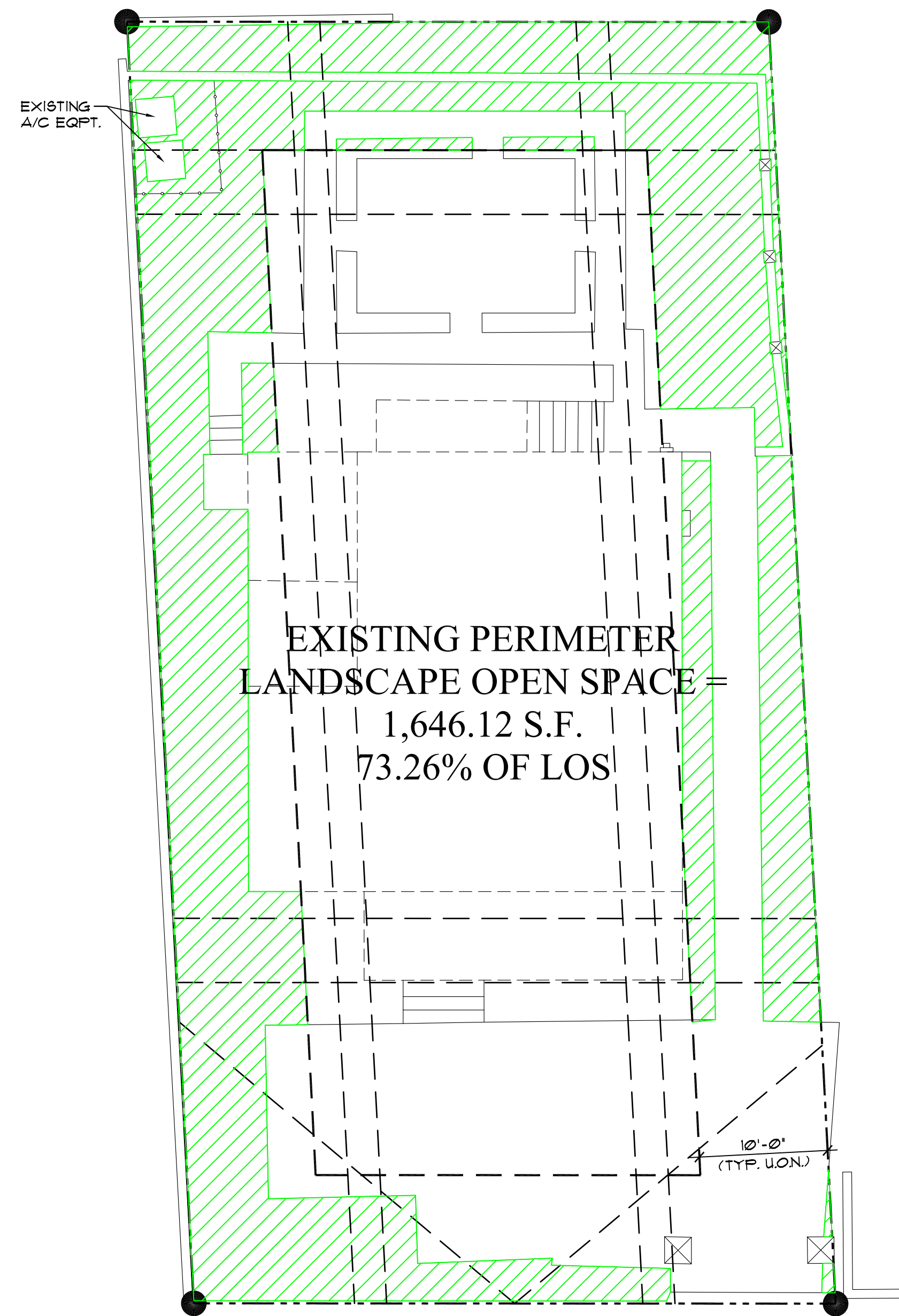
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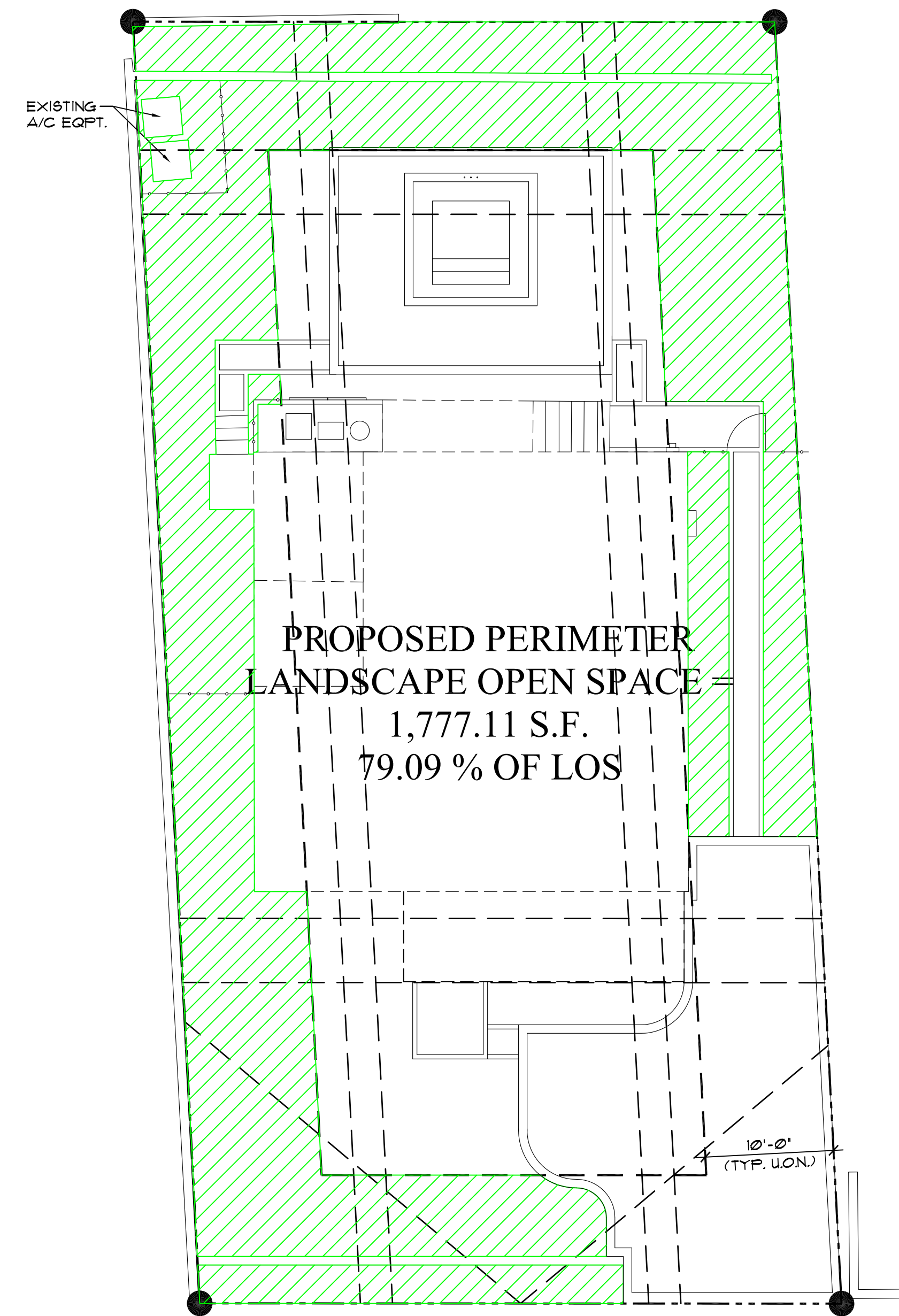
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SP12
SHEET: 13 OF: 28



EXISTING 10 FOOT PERIMETER LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

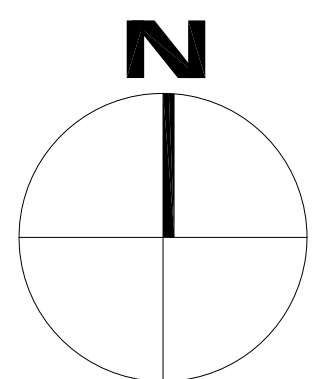


PROPOSED 10 FOOT PERIMETER LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

PERIMETER LANDSCAPE OPEN SPACE DIAGRAM

SCALE: 1/8" = 1'-0"



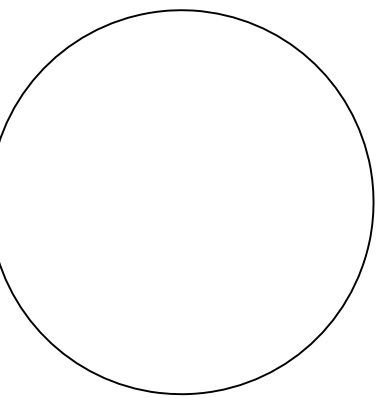


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PALM BEACH, FLORIDA

SEAL BY:
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WISOM P. DROBOT - AR 94843

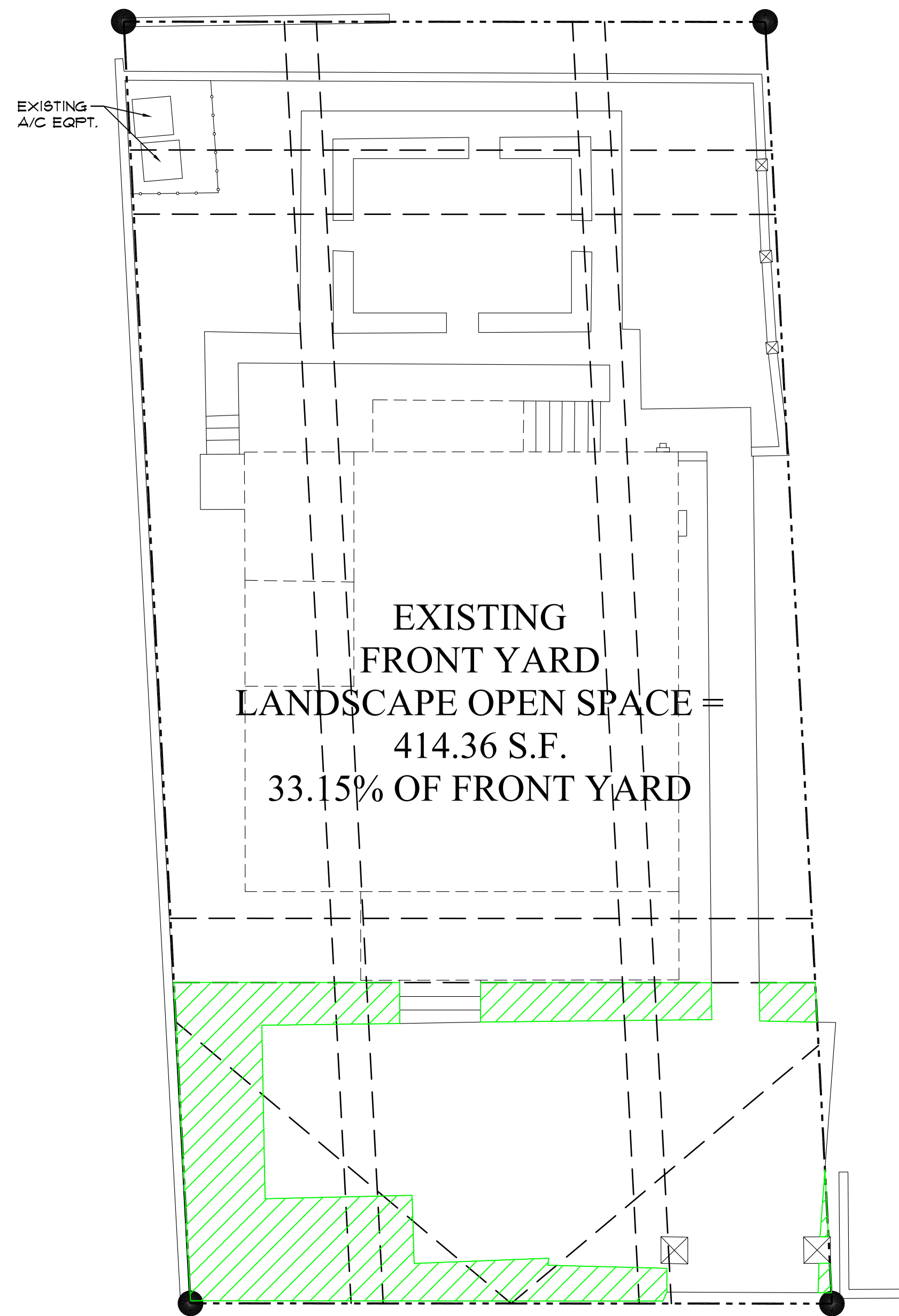


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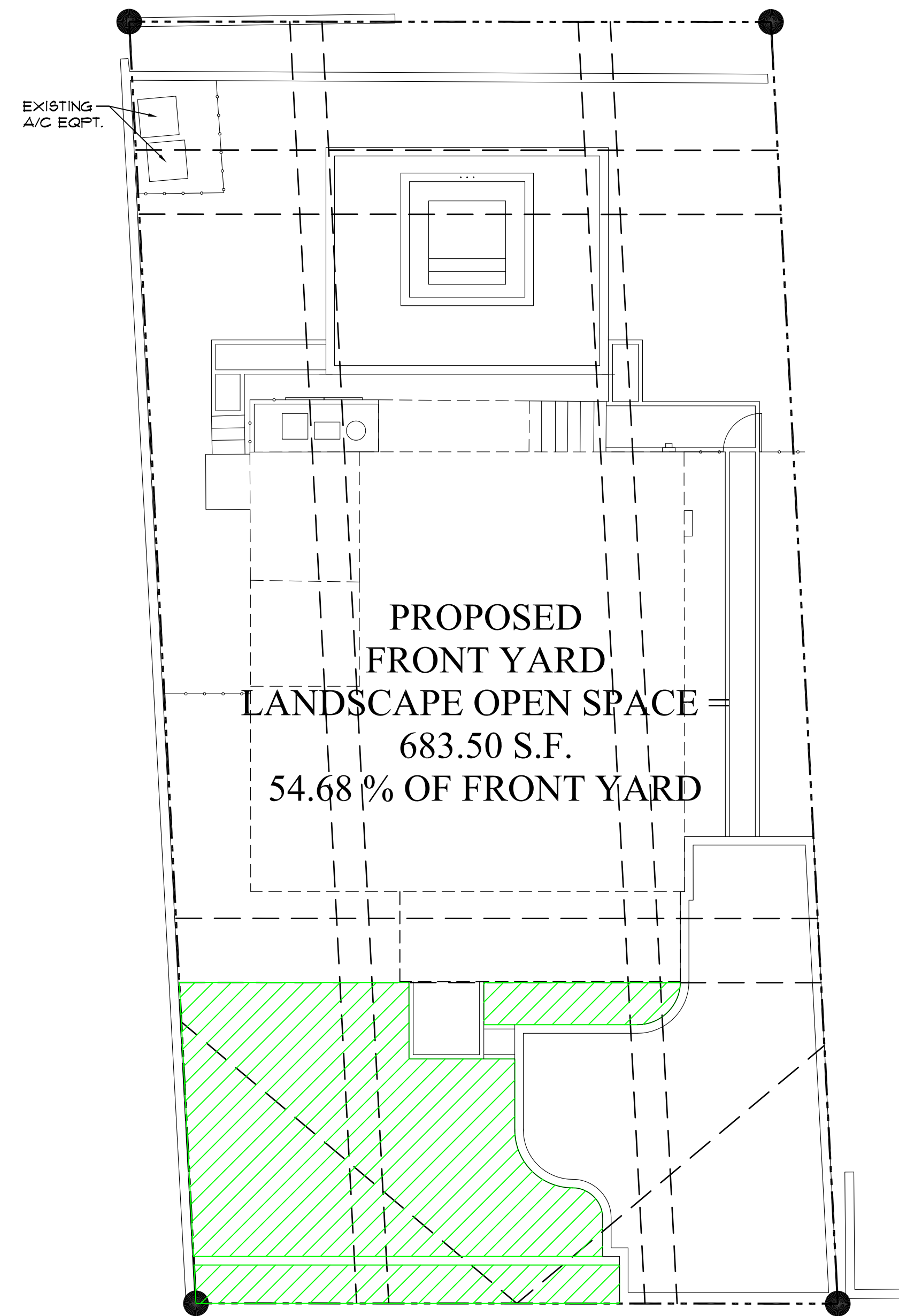


SHEET: 14 OF: 28



EXISTING FRONT YARD LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

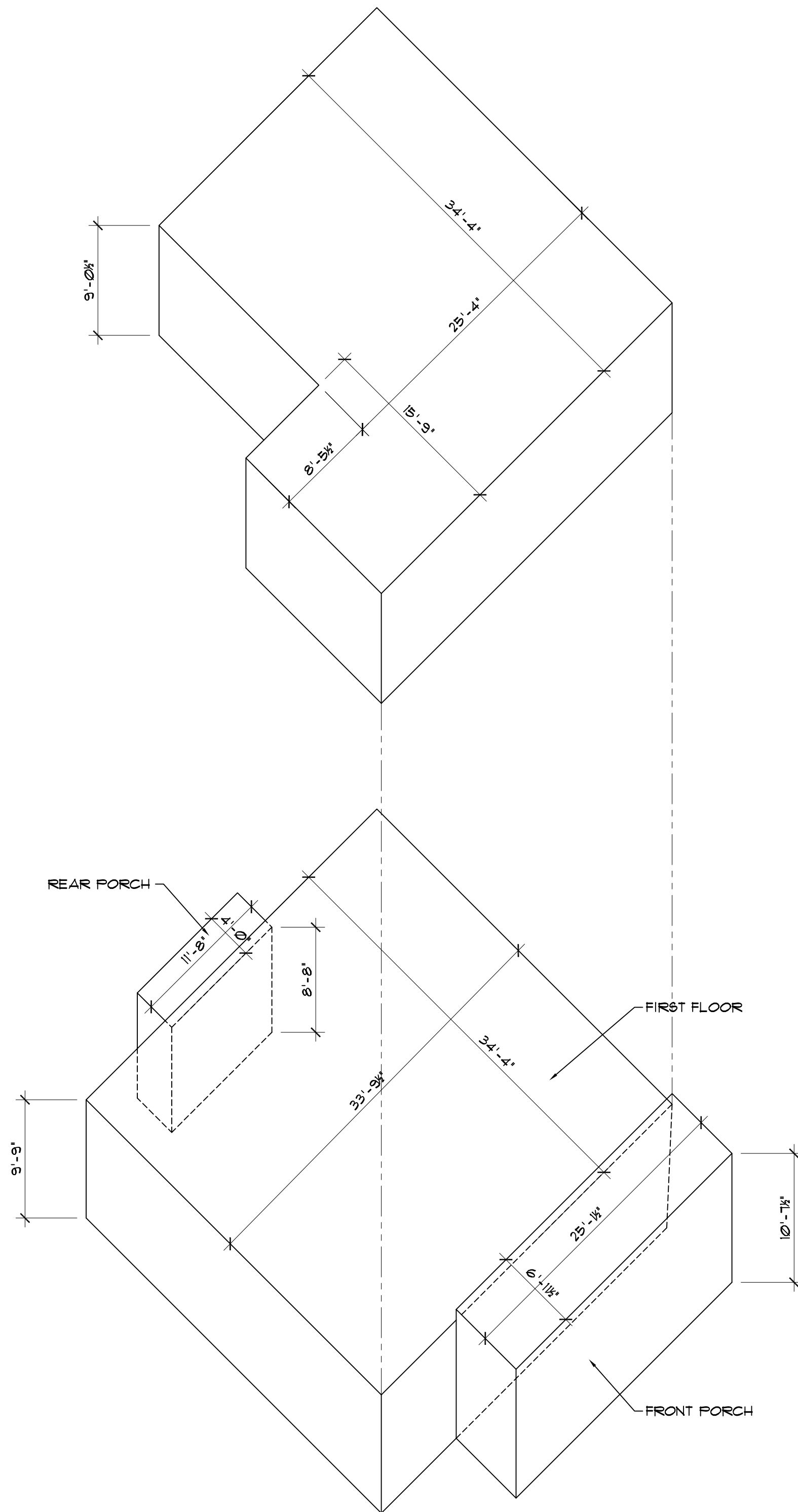


PROPOSED FRONT YARD LANDSCAPE OPEN SPACE

SCALE: 1/8" = 1'-0"

FRONT YARD LANDSCAPE OPEN SPACE DIAGRAM

SCALE: 1/8" = 1'-0"

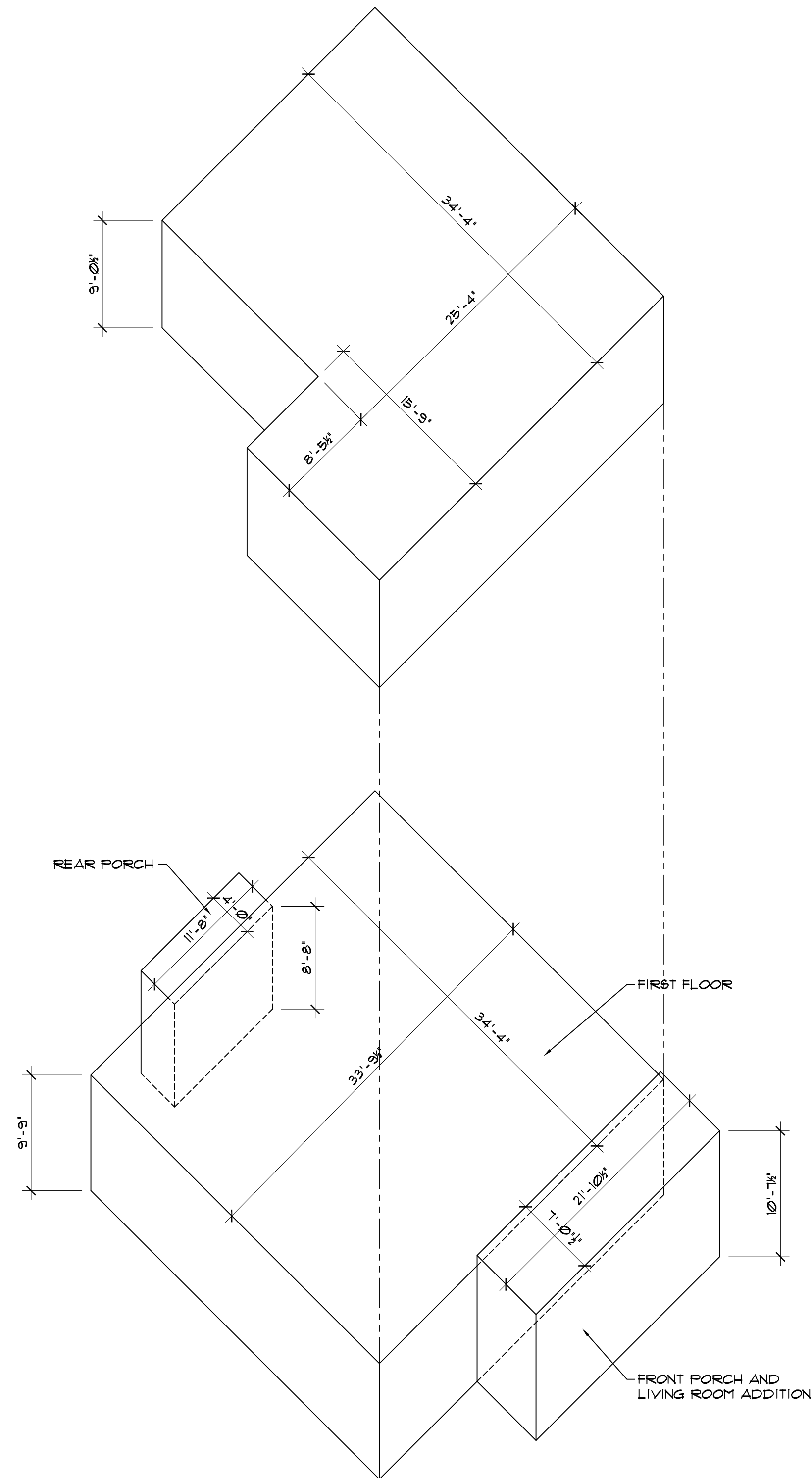


EXIST. FIRST FLOOR: $33.79' \times 34.33' \times 9.73' = 11,286.90 \text{ C.F.}$
 EXIST. SECOND FLOOR: $(25.33' \times 34.33' \times 9.04') + (8.49' \times 15.75' \times 9.04') = 9,069.80 \text{ C.F.}$
 EXIST. FRONT PORCH: $25.13' \times 6.96' \times 10.60' = 1,853.99 \text{ C.F.}$
 EXIST. BACK PORCH: $11.70' \times 4.00' \times 8.65' = 404.82 \text{ C.F.}$

TOTAL VOLUME: 22,615.51 C.F.

EXISTING CUBIC CONTENT

SCALE: $1/8" = 1'-0"$



EXIST. FIRST FLOOR: $33.79' \times 34.33' \times 9.73' = 11,286.90 \text{ C.F.}$
 EXIST. SECOND FLOOR: $(25.33' \times 34.33' \times 9.04') + (8.49' \times 15.75' \times 9.04') = 9,069.80 \text{ C.F.}$
 PROPOSED FRONT ENTRY AND LIVING RM. ADD.: $21.88' \times 7.04' \times 10.60' = 1,632.77 \text{ C.F.}$
 EXIST. BACK PORCH: $11.70' \times 4.00' \times 8.65' = 404.82 \text{ C.F.}$

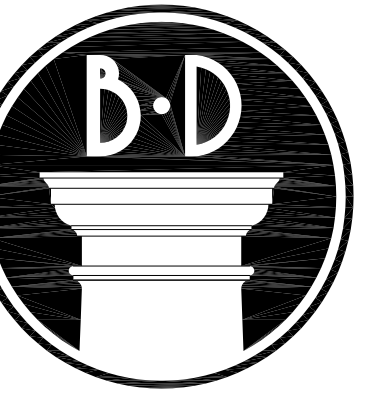
TOTAL VOLUME: 22,394.29 C.F.

PROPOSED CUBIC CONTENT

SCALE: $1/8" = 1'-0"$

CUBIC CONTENT DIAGRAM

SCALE: $1/8" = 1'-0"$



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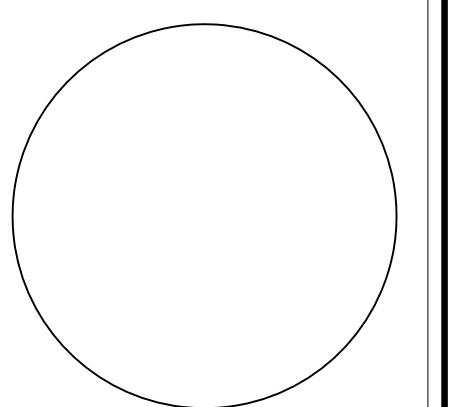
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A ONE STORY ADDITION AND RENOVATION FOR:
THE SCARLETT RESIDENCE

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SP14

SHEET: 15 OF: 28

DEMOLITION WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING WALLS TO BE REMOVED	VARIES	
	EXISTING TO REMAIN	4", 6" OR 8" NOMINAL	

DEMOLITION NOTES			
1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.			
2. PRIOR TO DEMOLITION, THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT.			
3. LANDSCAPE AROUND THE BUILDING SHALL BE PROTECTED AND/OR REPAIRED/REPLACED TO ACCOMMODATE NEW CONSTRUCTION. SPECIFICATIONS OF MATERIALS BY OTHERS.			
4. SALVAGE ITEMS & MATERIALS SHALL REMAIN PROPERTY OF THE OWNER AS PART OF THIS CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS DIRECTED BY OWNER.			
5. WHEN EXISTING PLUMBING AND PIPING IS TO BE REMOVED AND/OR REPLACED, CARE SHALL BE TAKEN WHEN CUTTING OR DRILLING IS REQUIRED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK TO REMAIN. PATCH ADJACENT WALLS, FLOOR AND CEILING AS REQUIRED TO MATCH EXISTING.			
6. ELECTRICAL CONTRACTOR IS TO DISCONNECT, CAP AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED. ELECTRICAL IN THE EXISTING RESIDENCE SHALL BE MODIFIED TO MAINTAIN THE INTEGRITY OF THE CIRCUITRY, SUCH AS ALL EXISTING DEVICES, TO REMAIN OPERATIONAL.			

WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING STRUCTURE TO REMAIN	SEE PLAN	
	5/8" G.W.B. BOTH SIDES, ON 4" OR 6" WD. STUD FRAMING @ 24" O.C. W/ OPT. SOUND ATTEN. BATTS	SEE PLAN	SEE TYPICAL NON-BEARING INTERIOR PARTITION DETAIL THIS SHEET
	5/8" G.W.B. (BOTH SIDES) ON F.T. WD. 2X6 STUDS, AT 16" O.C. W/5.5" INSULATION	6" NOMINAL	WOOD BEARING WALL

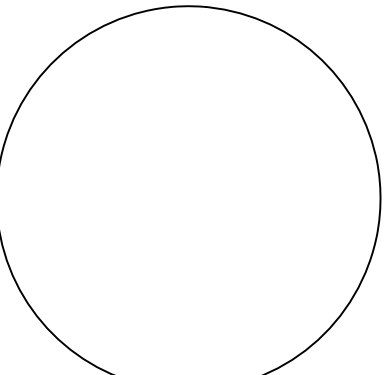


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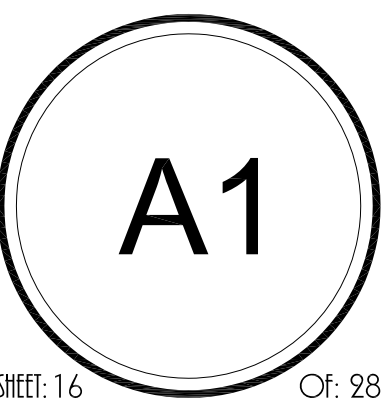
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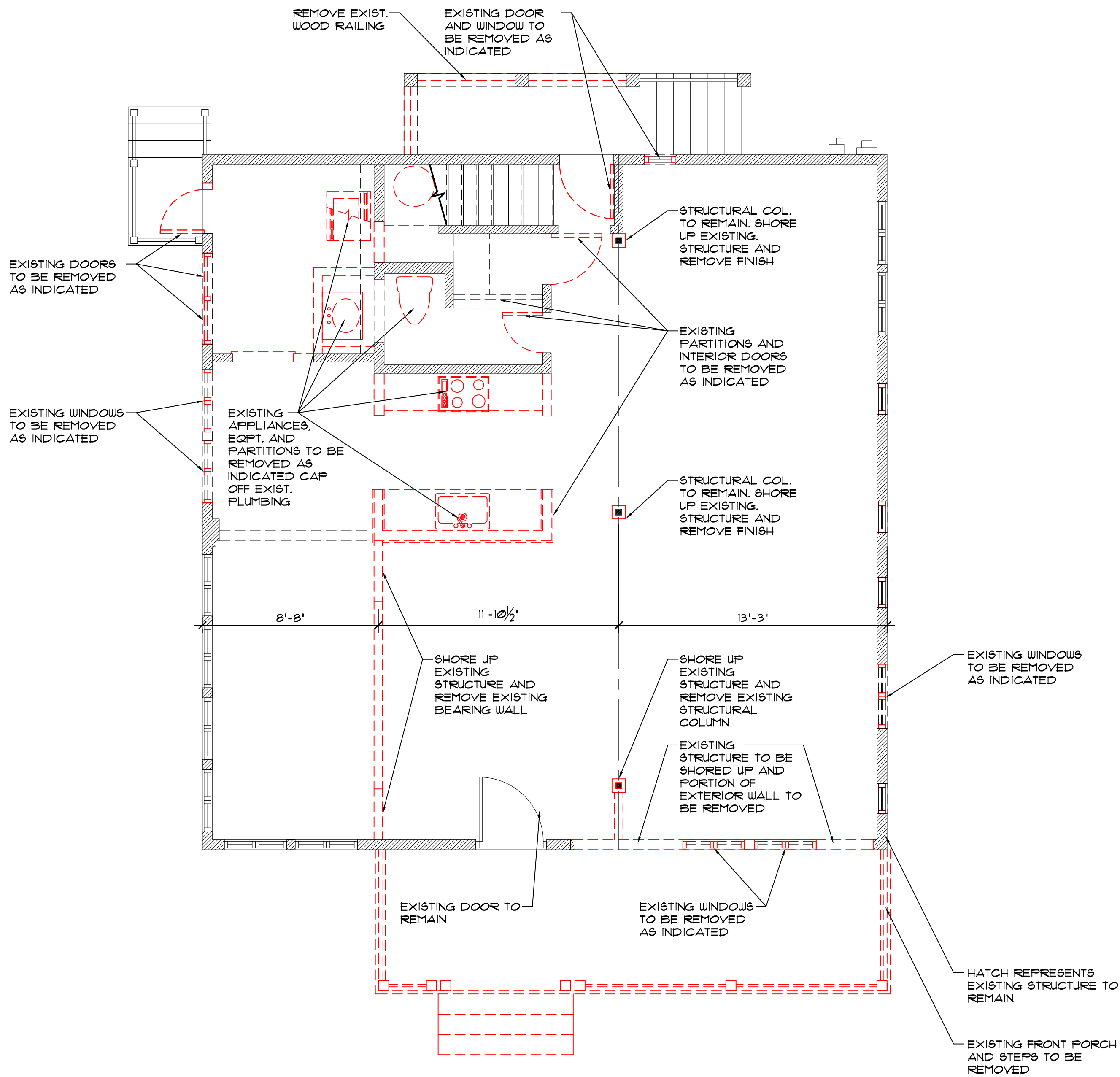


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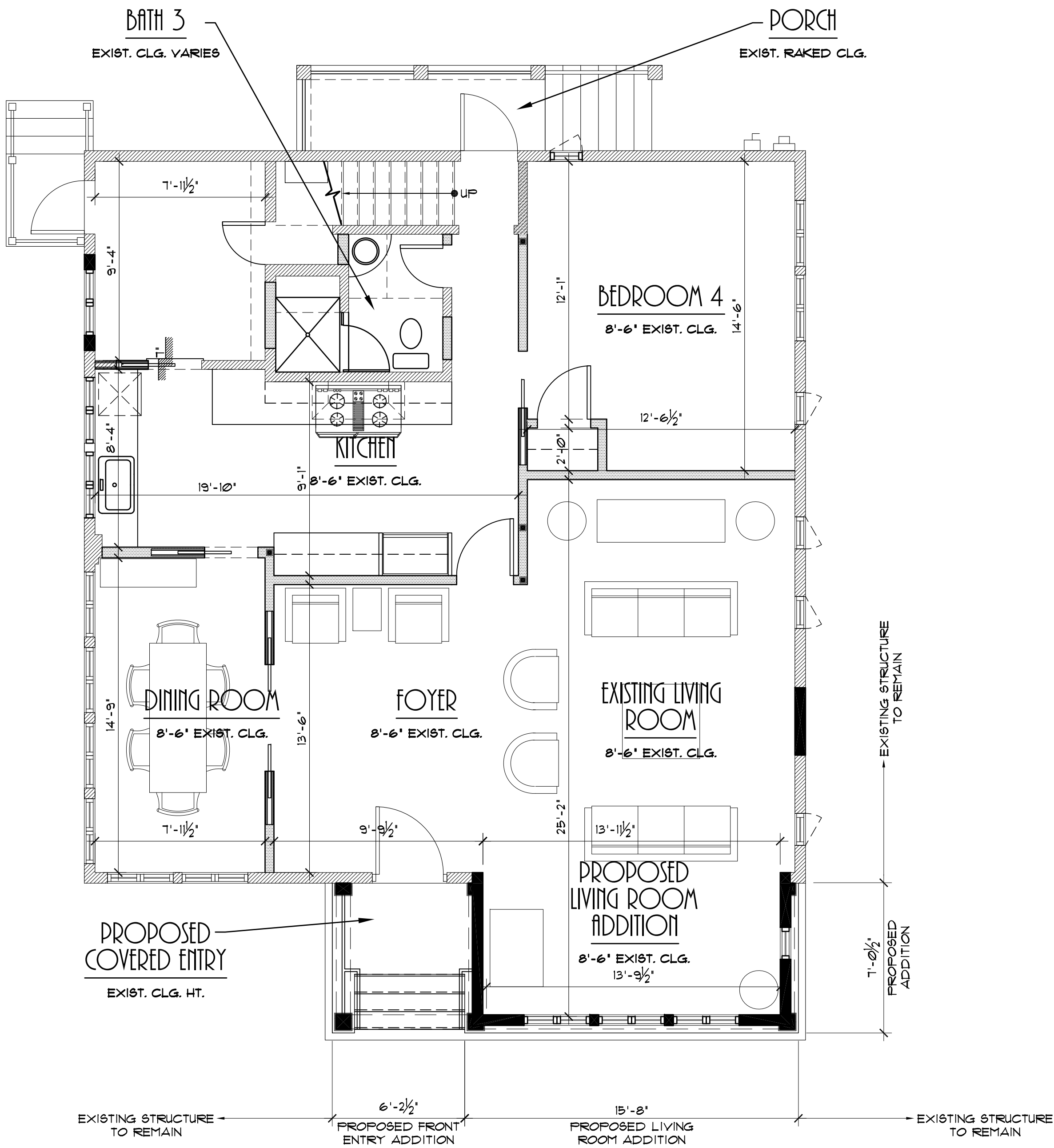
SHEET: 16 OF: 28



EXISTING FIRST FLOOR AND MATERIALS REMOVAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY THAT EXISTING WALL IS NOT LOAD BEARING PRIOR TO REMOVAL. IF WALL IS LOAD BEARING, NOTIFY THE ARCHITECT.



PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING AND PROPOSED FIRST FLOOR PLANS

SCALE: 1/4" = 1'-0"

DEMOLITION WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING WALLS TO BE REMOVED	VARIES	
	EXISTING TO REMAIN	4", 6" OR 8" NOMINAL	

DEMOLITION NOTES			
1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.			
2. PRIOR TO DEMOLITION, THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT.			
3. LANDSCAPE AROUND THE BUILDING SHALL BE PROTECTED AND/OR REPAIRED/REPLACED TO ACCOMMODATE NEW CONSTRUCTION. SPECIFICATIONS OF MATERIALS BY OTHERS.			
4. SALVAGE ITEMS & MATERIALS SHALL REMAIN PROPERTY OF THE OWNER AS PART OF THIS CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS DIRECTED BY OWNER.			
5. WHEN EXISTING PLUMBING AND PIPING IS TO BE REMOVED AND/OR REPLACED, CARE SHALL BE TAKEN WHEN CUTTING OR DRILLING IS REQUIRED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK TO REMAIN. PATCH ADJACENT WALLS, FLOOR AND CEILING AS REQUIRED TO MATCH EXISTING.			
6. ELECTRICAL CONTRACTOR IS TO DISCONNECT, CAP AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED. ELECTRICAL IN THE EXISTING RESIDENCE SHALL BE MODIFIED TO MAINTAIN THE INTEGRITY OF THE CIRCUITRY, SUCH AS ALL EXISTING DEVICES, TO REMAIN OPERATIONAL.			

WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING STRUCTURE TO REMAIN	SEE PLAN	
 -OR- 	5/8" G.W.B. BOTH SIDES, ON 4" OR 6" WD. STUD FRAMING @ 24" O.C. W/ OPT. SOUND ATTEN. BATTS	SEE PLAN	SEE TYPICAL NON-BEARING INTERIOR PARTITION DETAIL THIS SHEET
	5/8" G.W.B. (BOTH SIDES) ON F.T. WD. 2X6 STUDS, AT 16" O.C. W/5.5" INSULATION	6" NOMINAL	WOOD BEARING WALL

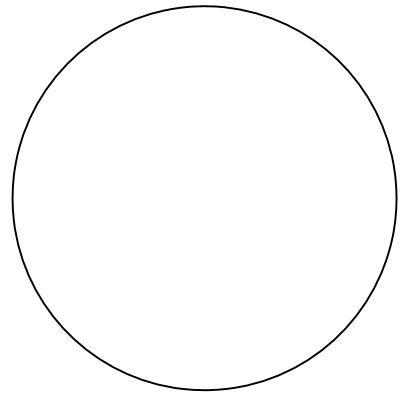


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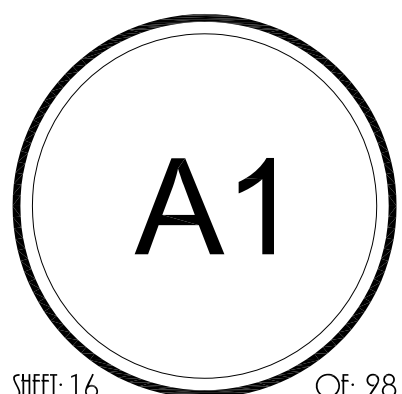
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SEAL BY:
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WILSON P. DROBOT - AR 94843

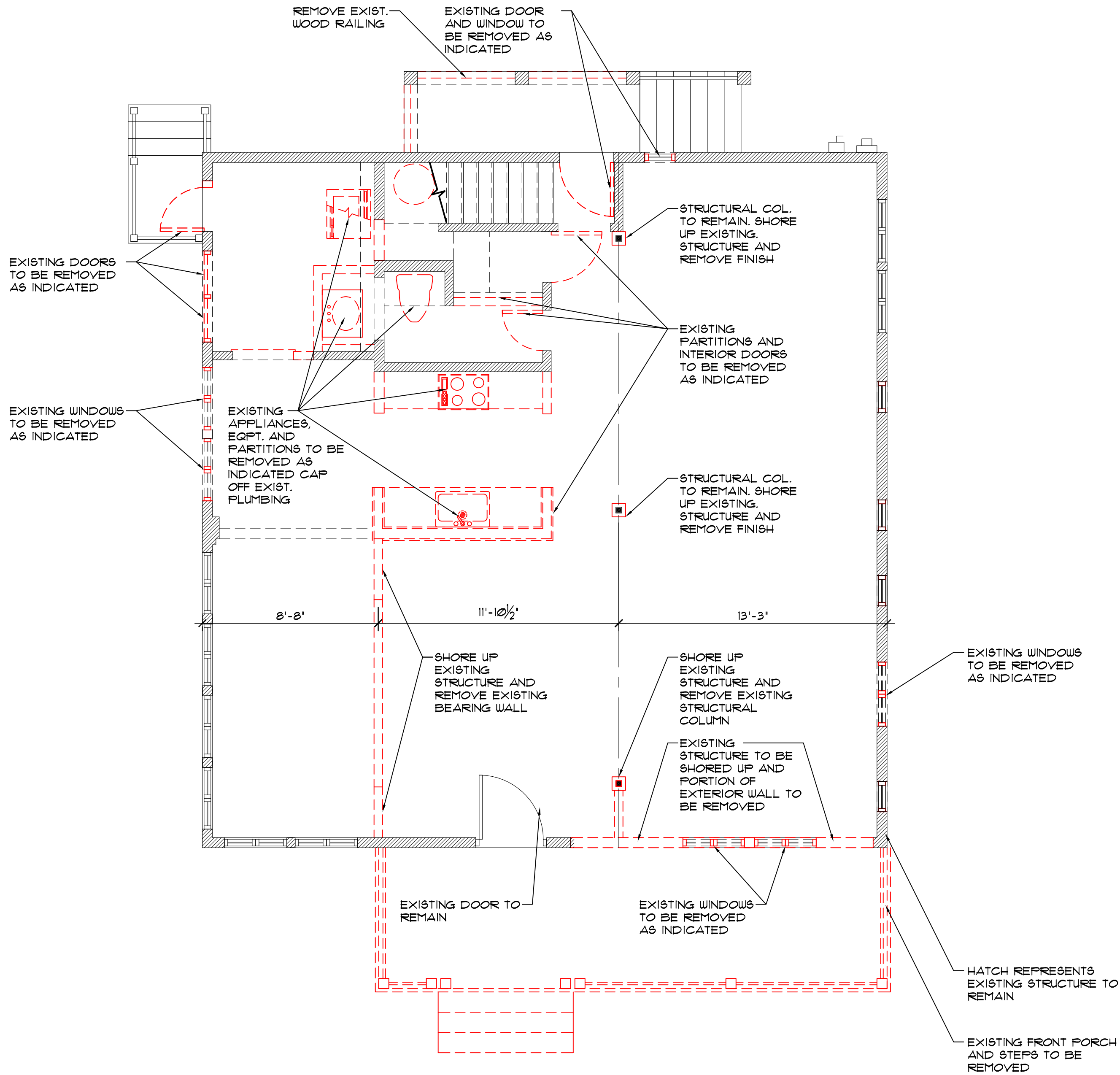


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3 - ARCOM REV.



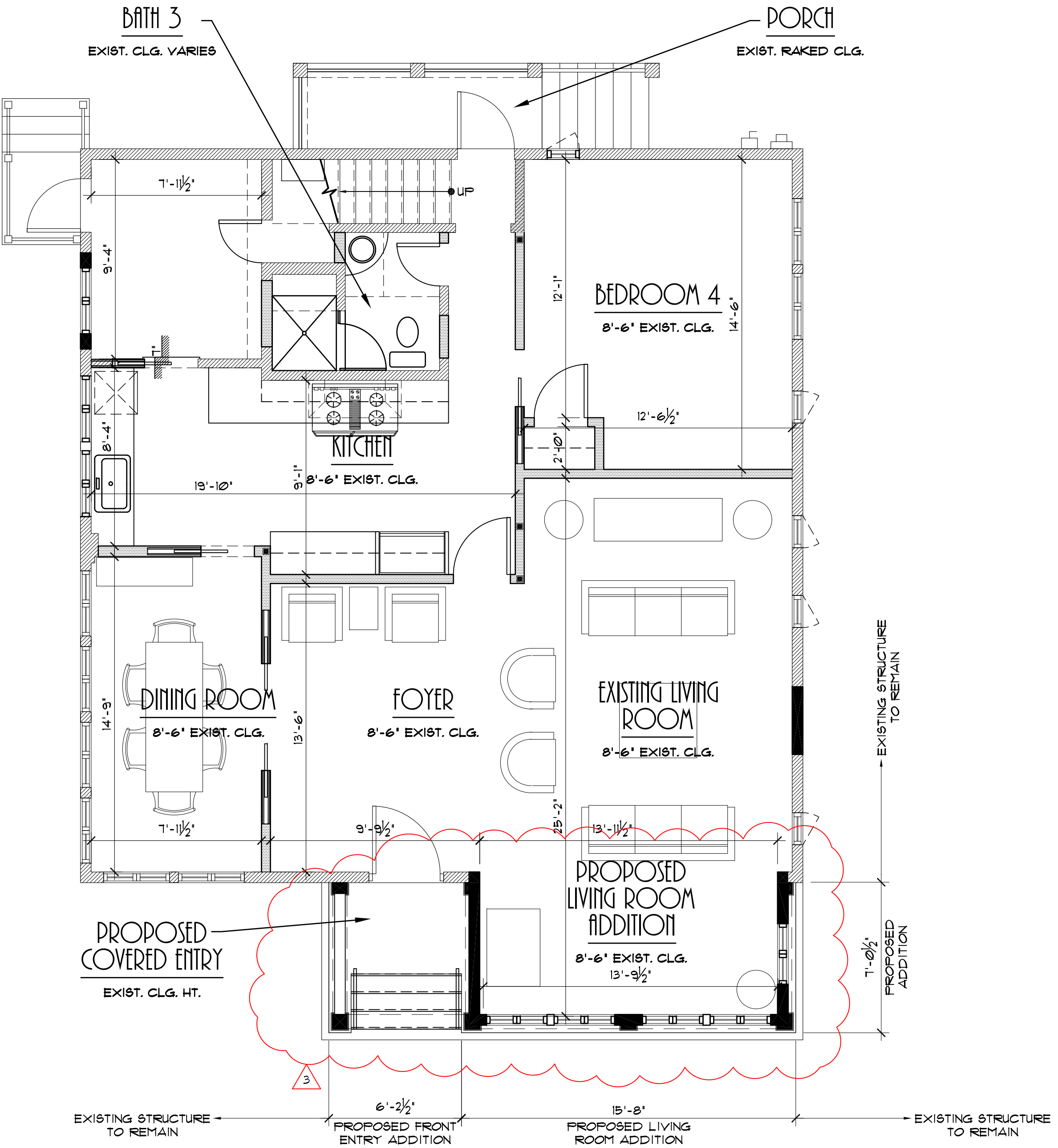
SHEET: 16 OF: 28



EXISTING FIRST FLOOR AND MATERIALS REMOVAL PLAN

SCALE: 1/4" = 1'-0"

NOTE: VERIFY THAT EXISTING WALL IS NOT LOAD BEARING PRIOR TO REMOVAL. IF WALL IS LOAD BEARING, NOTIFY THE ARCHITECT.

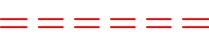


PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

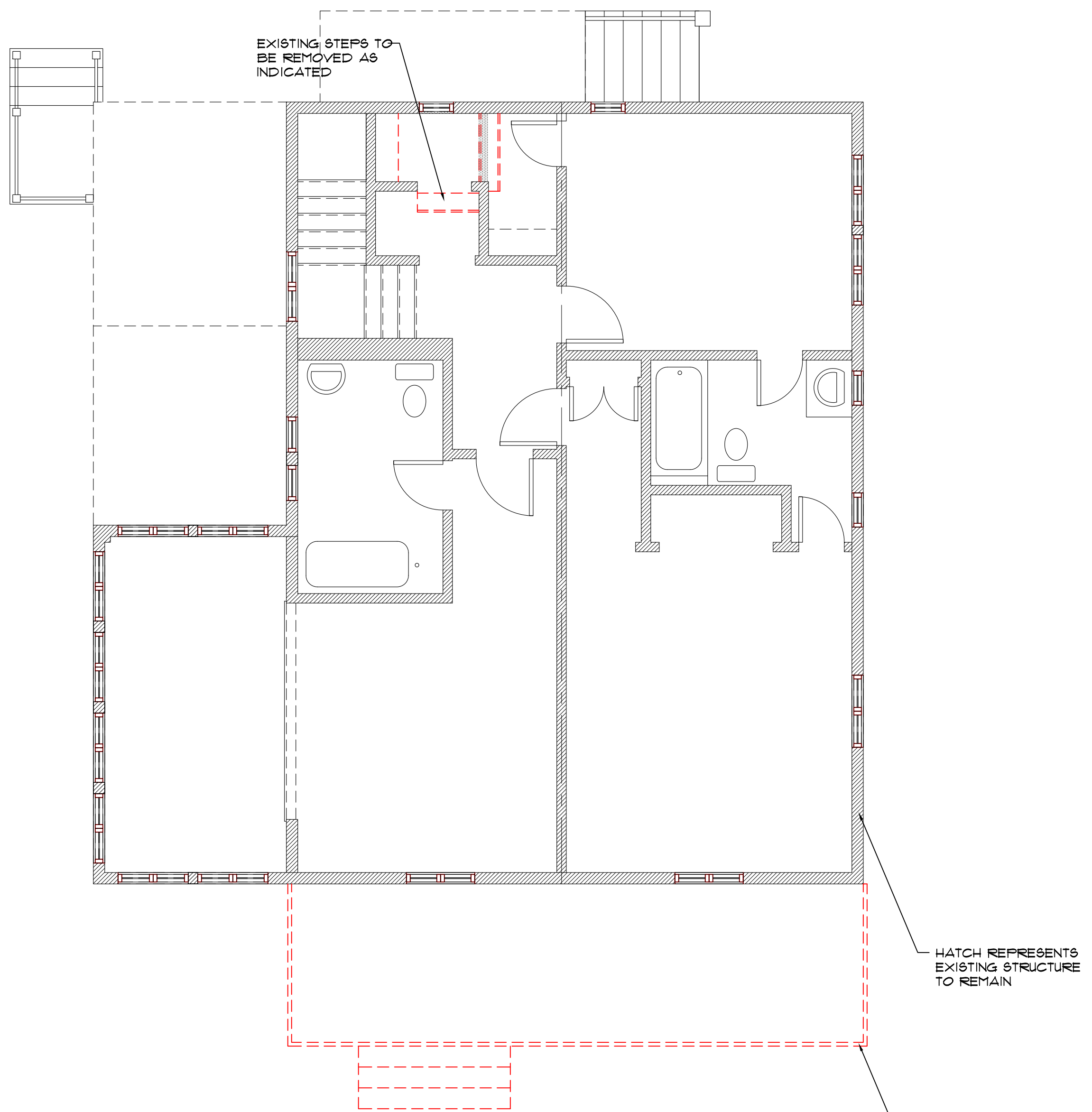
EXISTING AND PROPOSED FIRST FLOOR PLANS

SCALE: 1/4" = 1'-0"

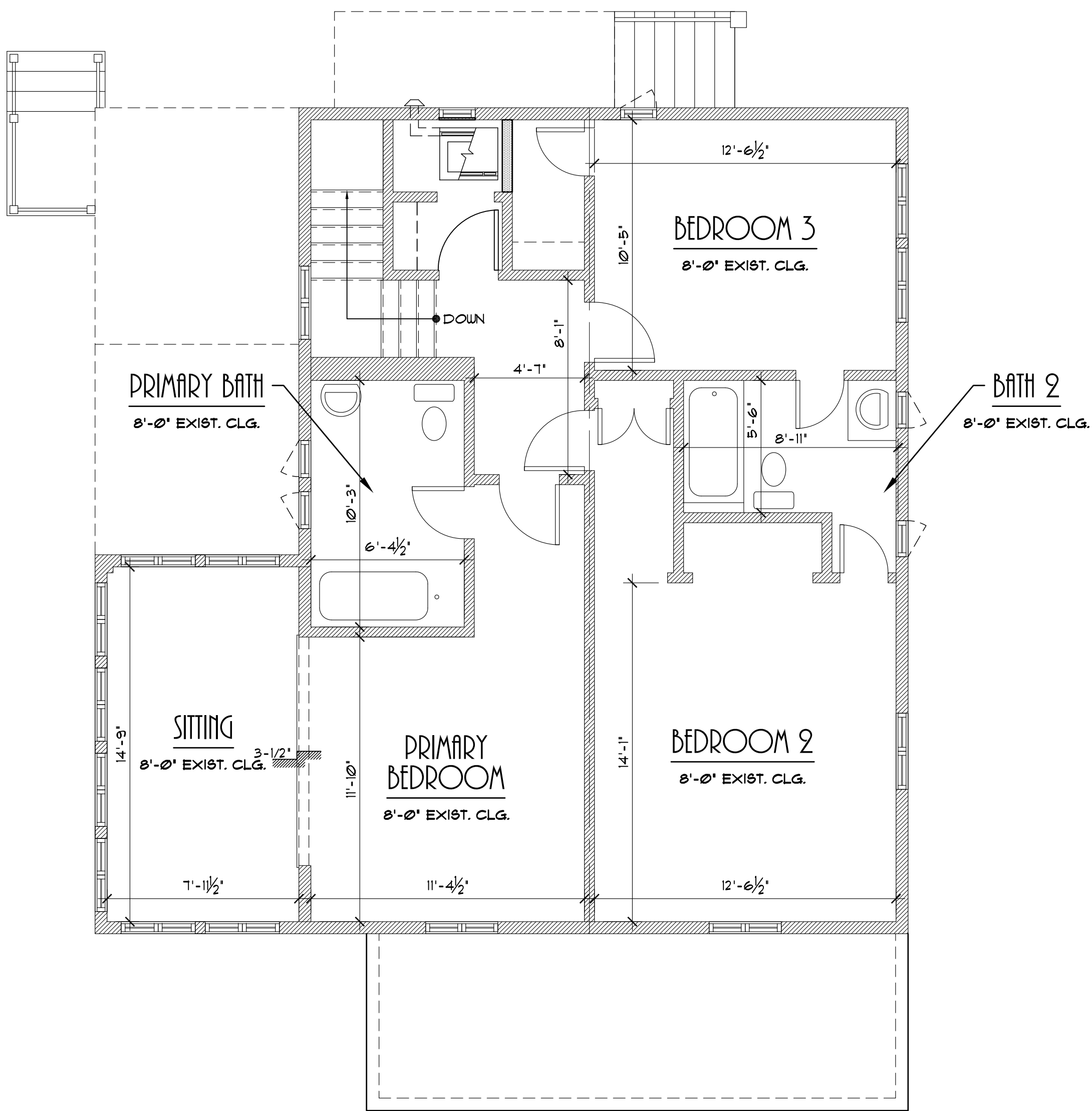
DEMOLITION WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING WALLS TO BE REMOVED	VARIES	
	EXISTING TO REMAIN	4", 6" OR 8" NOMINAL	

DEMOLITION NOTES	
1. CONTRACTOR TO PROVIDE TEMPORARY INTERIOR, EXTERIOR SHORING, BRACING, AND SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF AREAS TO BE DEMOLISHED AND ADJACENT AREAS TO REMAIN.	
2. PRIOR TO DEMOLITION, THE GENERAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS AND REPORT DISCREPANCIES TO THE OWNER AND ARCHITECT.	
3. LANDSCAPE AROUND THE BUILDING SHALL BE PROTECTED AND/OR REPAIRED/REPLACED TO ACCOMMODATE NEW CONSTRUCTION. SPECIFICATIONS OF MATERIALS BY OTHERS.	
4. SALVAGE ITEMS & MATERIALS SHALL REMAIN PROPERTY OF THE OWNER AS PART OF THIS CONTRACT. CONTRACTOR SHALL DELIVER THESE ITEMS TO A LOCATION AS DIRECTED BY OWNER.	
5. WHEN EXISTING PLUMBING AND PIPING IS TO BE REMOVED AND/OR REPLACED, CARE SHALL BE TAKEN WHEN CUTTING OR DRILLING IS REQUIRED. WORK SHALL BE NEATLY SAW-CUT OR DONE IN A MANNER NOT TO DAMAGE ANY WORK TO REMAIN. PATCH ADJACENT WALLS, FLOOR AND CEILING AS REQUIRED TO MATCH EXISTING.	
6. ELECTRICAL CONTRACTOR IS TO DISCONNECT, CAP AND REMOVE ALL ELECTRICAL CONDUIT AND WIRING AFFECTED BY THOSE AREAS DESIGNATED TO BE DEMOLISHED. ELECTRICAL IN THE EXISTING RESIDENCE SHALL BE MODIFIED TO MAINTAIN THE INTEGRITY OF THE CIRCUITRY, SUCH AS ALL EXISTING DEVICES, TO REMAIN OPERATIONAL.	

WALL SCHEDULE			
SECTION	ASSEMBLY	WALL THICKNESS	REMARKS
	EXISTING STRUCTURE TO REMAIN	SEE PLAN	
 -OR- 	5/8" G.W.B. BOTH SIDES, ON 4" OR 6" WD. STUD FRAMING @ 24" O.C. W/ OPT. SOUND ATTEN. BATTS	SEE PLAN	SEE TYPICAL NON-BEARING INTERIOR PARTITION DETAIL THIS SHEET
	5/8" G.W.B. (BOTH SIDES) ON P.T. WD. 2X6 STUDS, AT 16" O.C. W/5.5" INSULATION	6" NOMINAL	WOOD BEARING WALL



EXISTING SECOND FLOOR MATERIALS REMOVAL PLAN
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING AND PROPOSED SECOND FLOOR PLANS
SCALE: 1/4" = 1'-0"



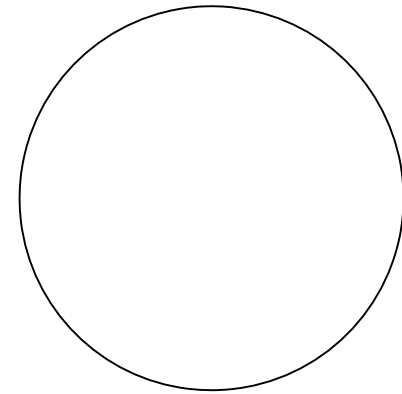
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A ONE STORY ADDITION AND RENOVATION FOR:
THE SCONE RESIDENCE

141 ATLANTIC AVE.
PALM BEACH, FLORIDA

SEAL BY:
JEFFREY D. BRASSEUR - BR 0017698
WILSON P. DROBOT - BR 94843



JOB #: 24-010
DATE: 9-23-24
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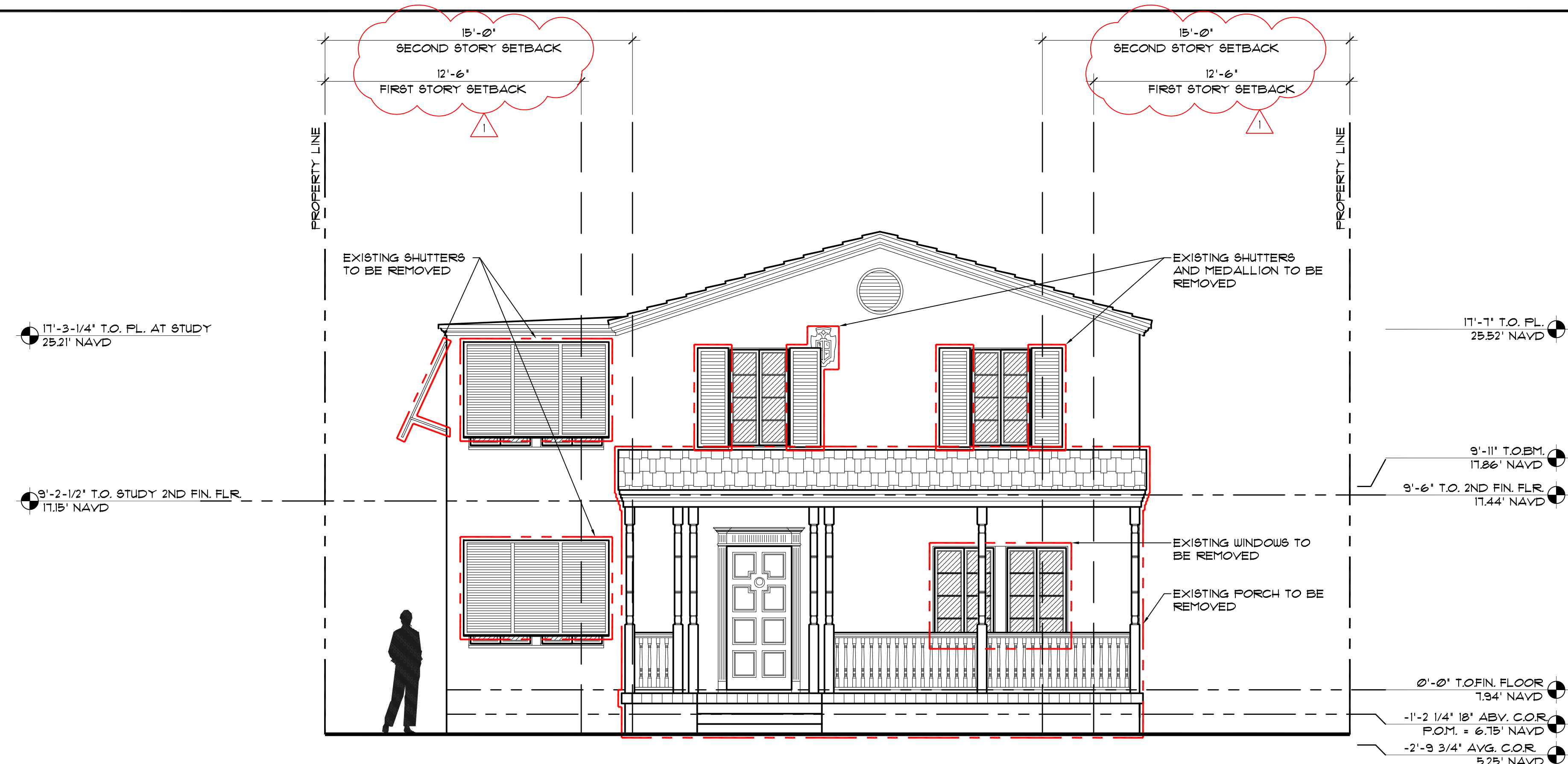
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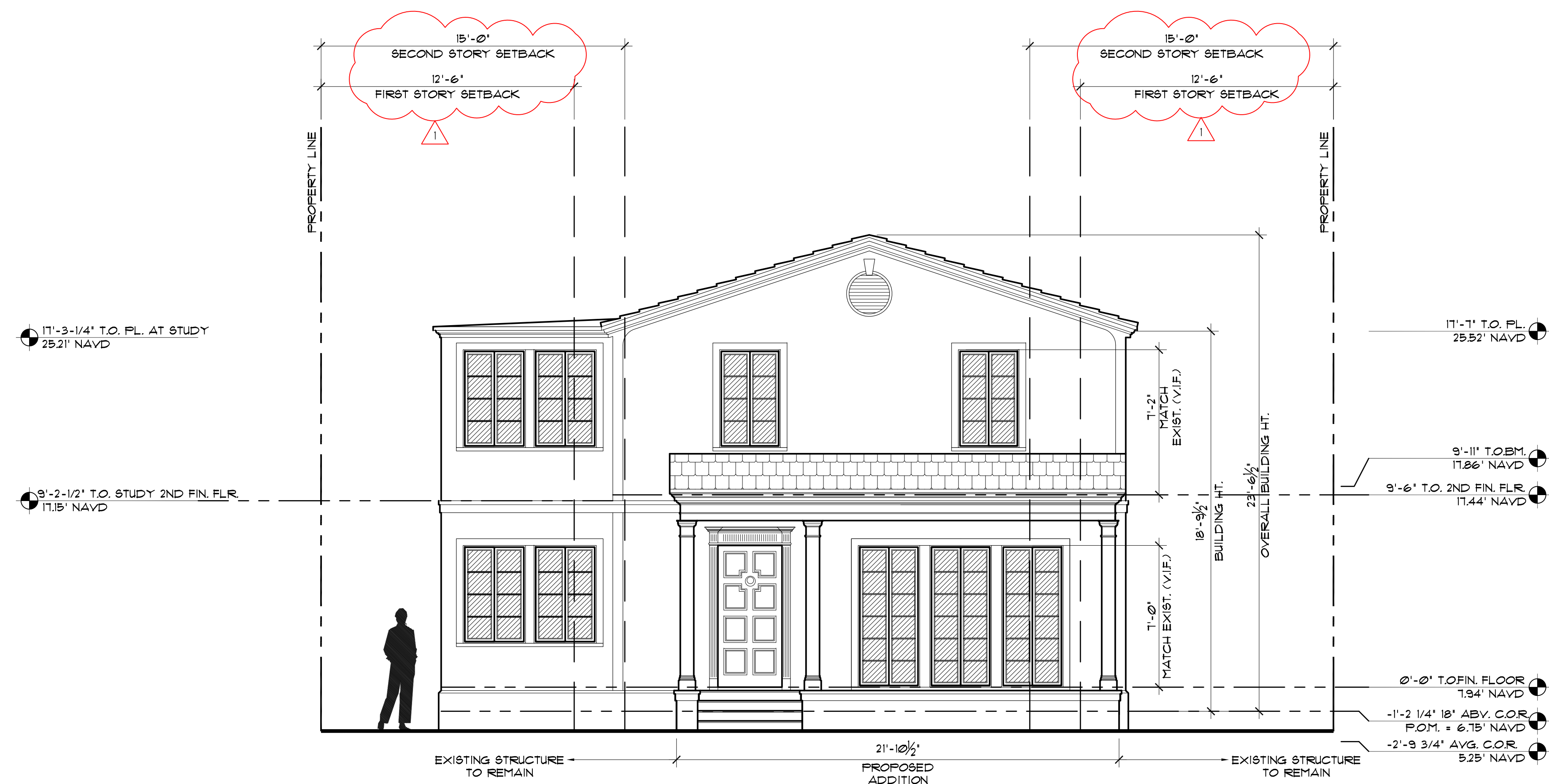
A3

SHEET: 18 OF: 28



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

EXISTING AND PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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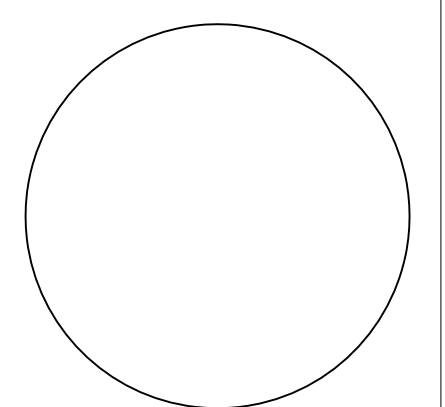
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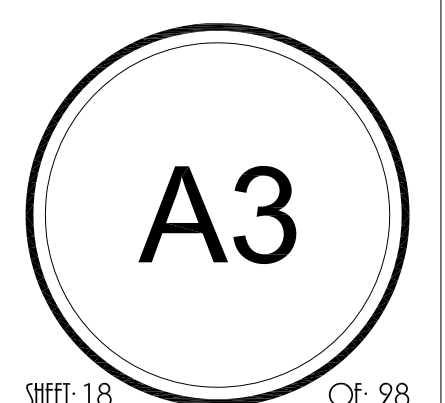
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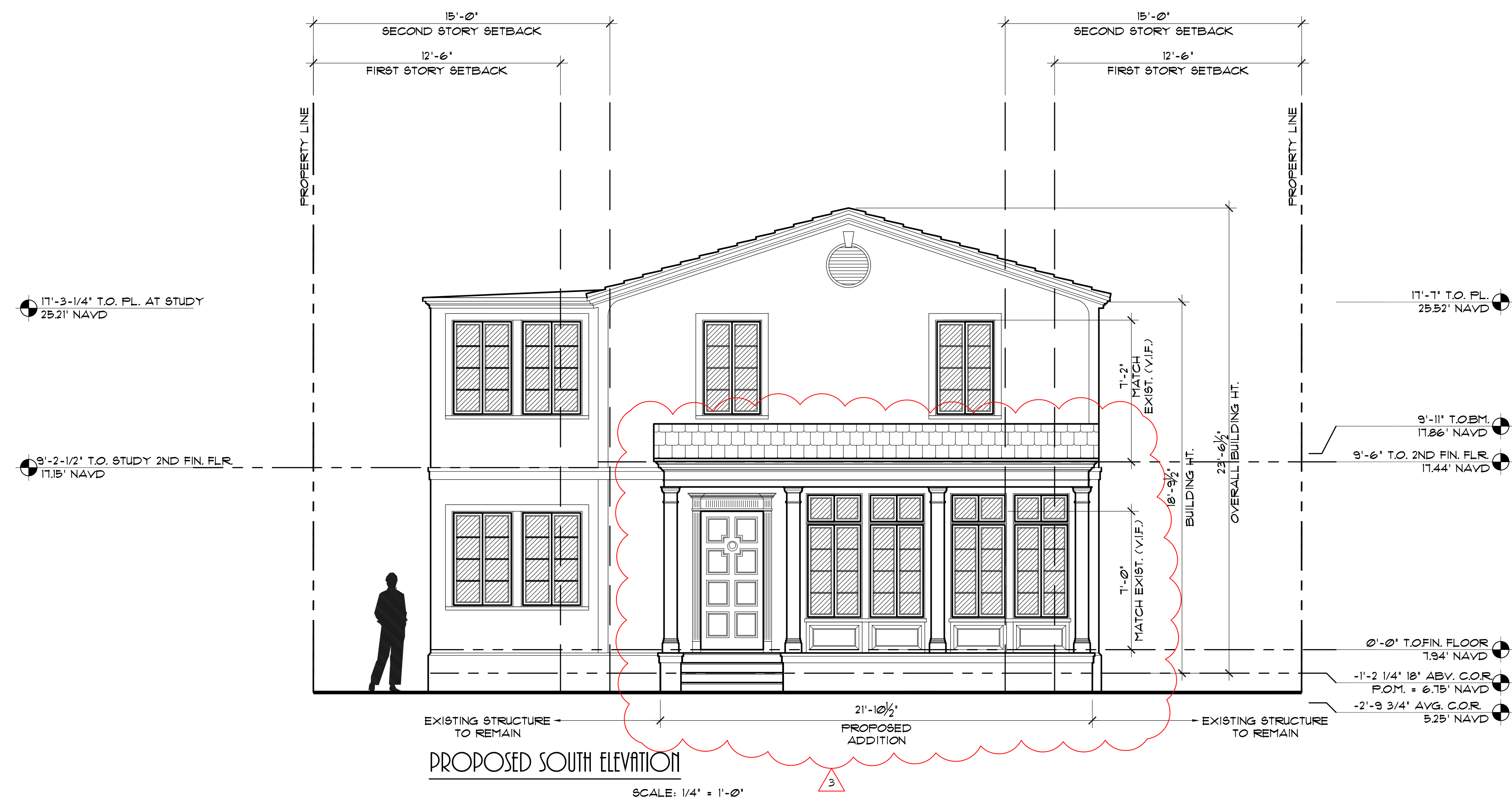
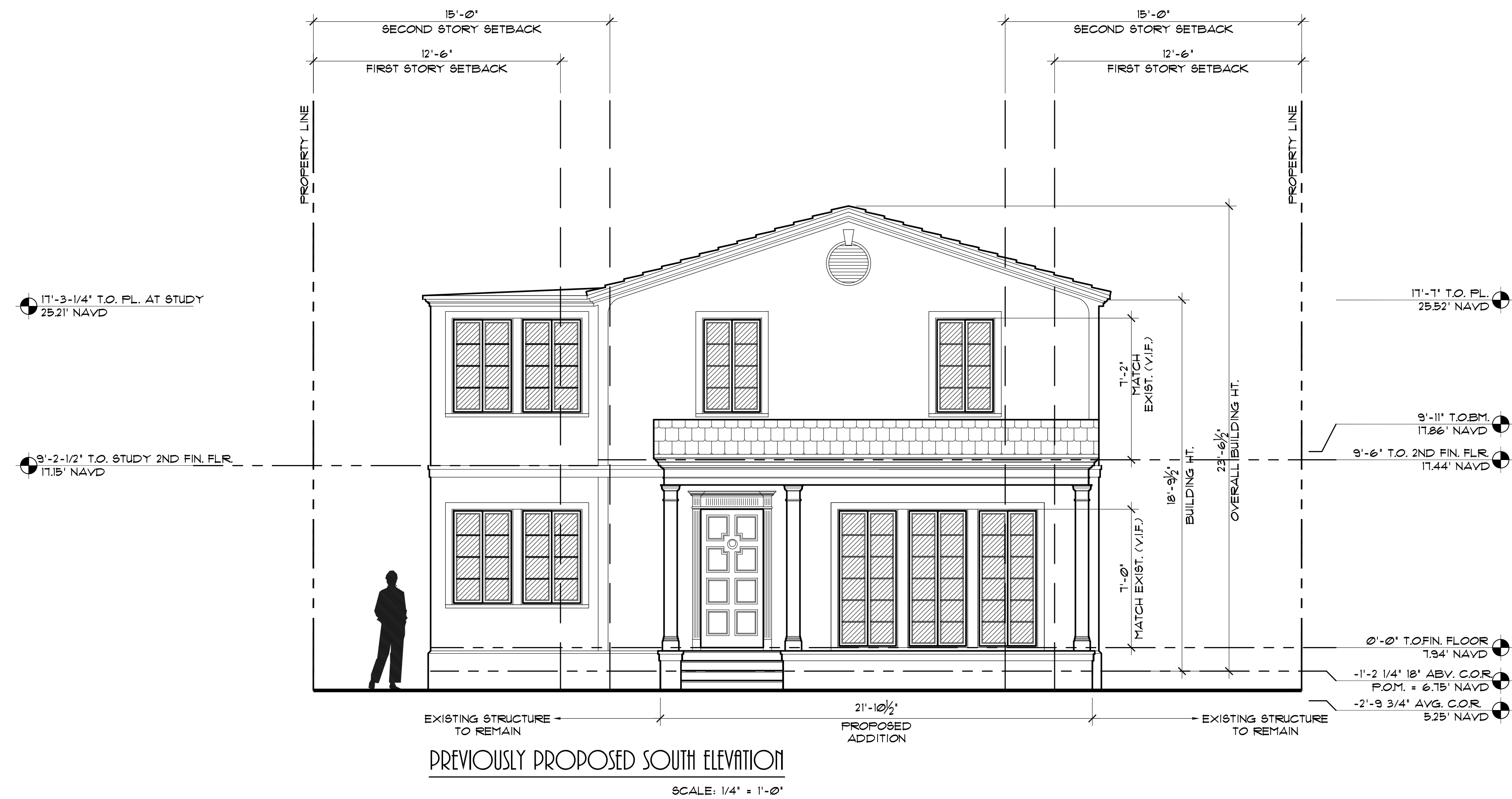


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PREVIOUSLY PROPOSED AND PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

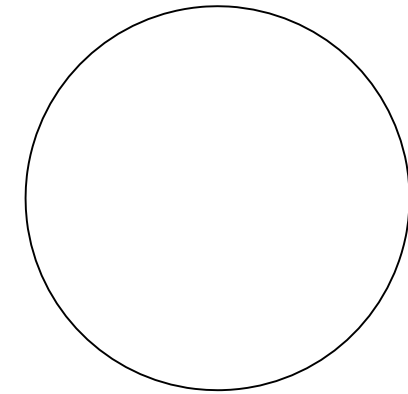


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EXISTING AND PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NEWLY PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

PREVIOUSLY PROPOSED AND PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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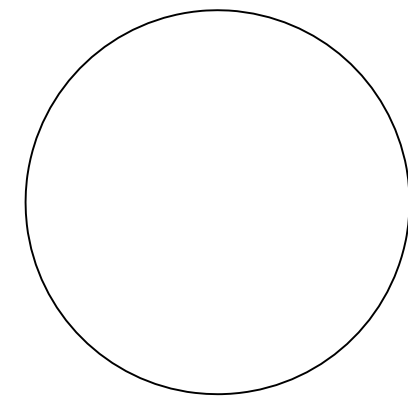
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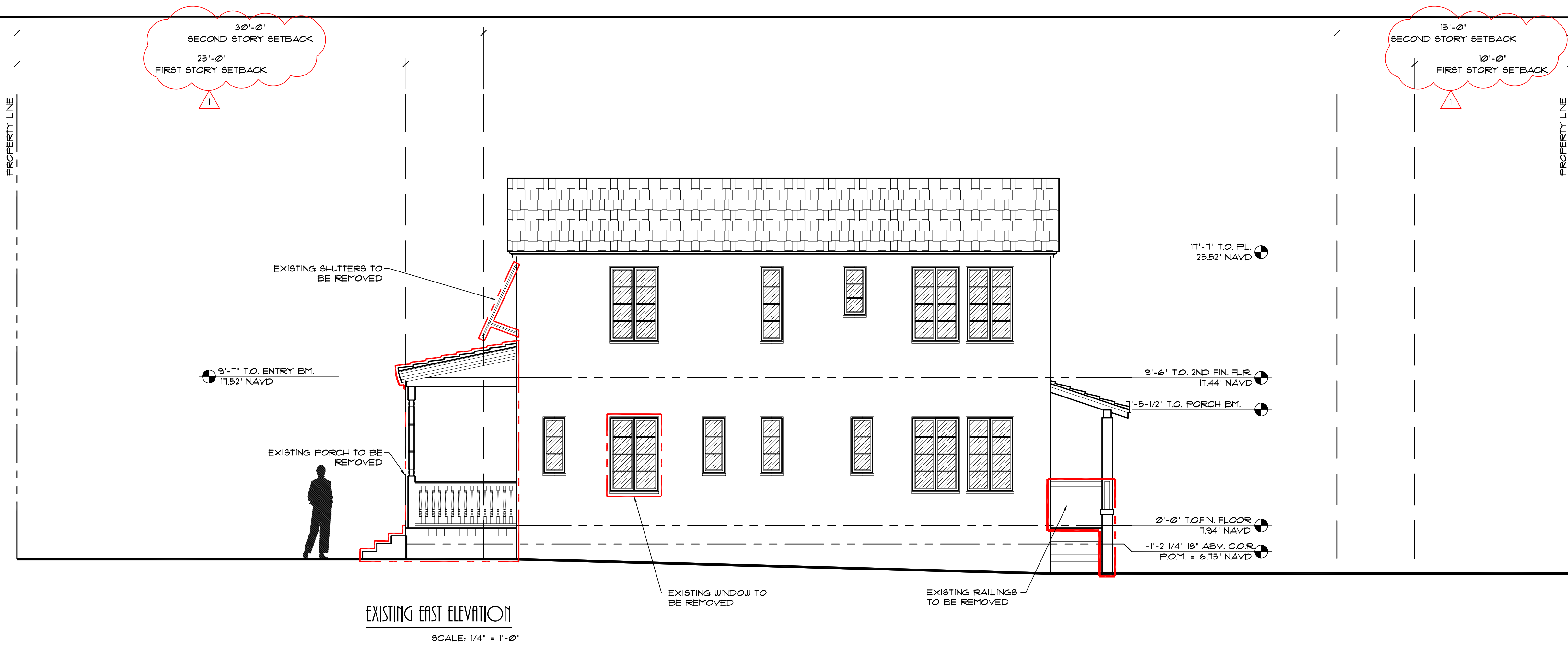
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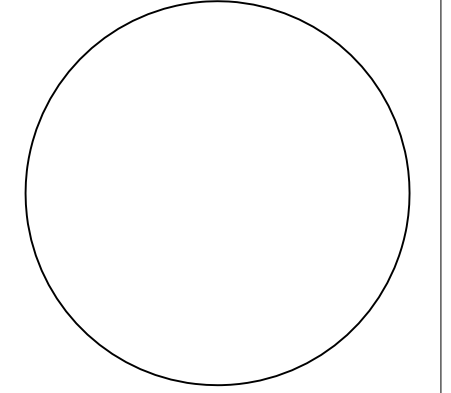


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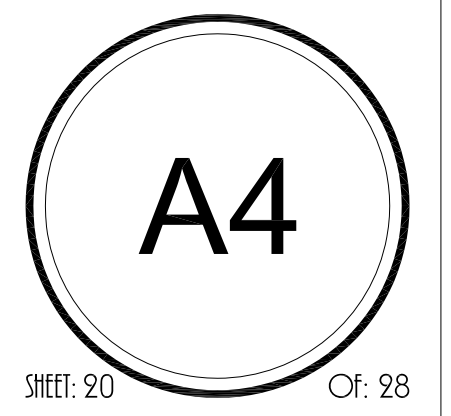
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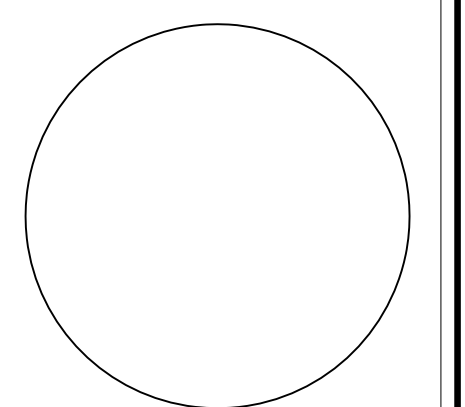


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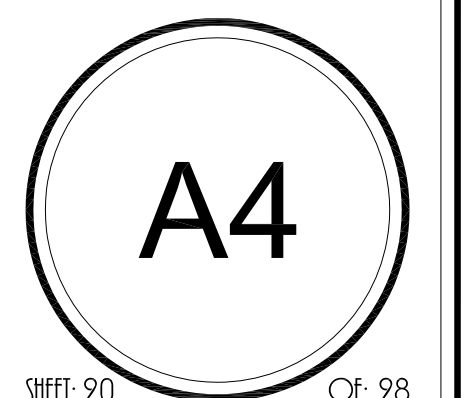
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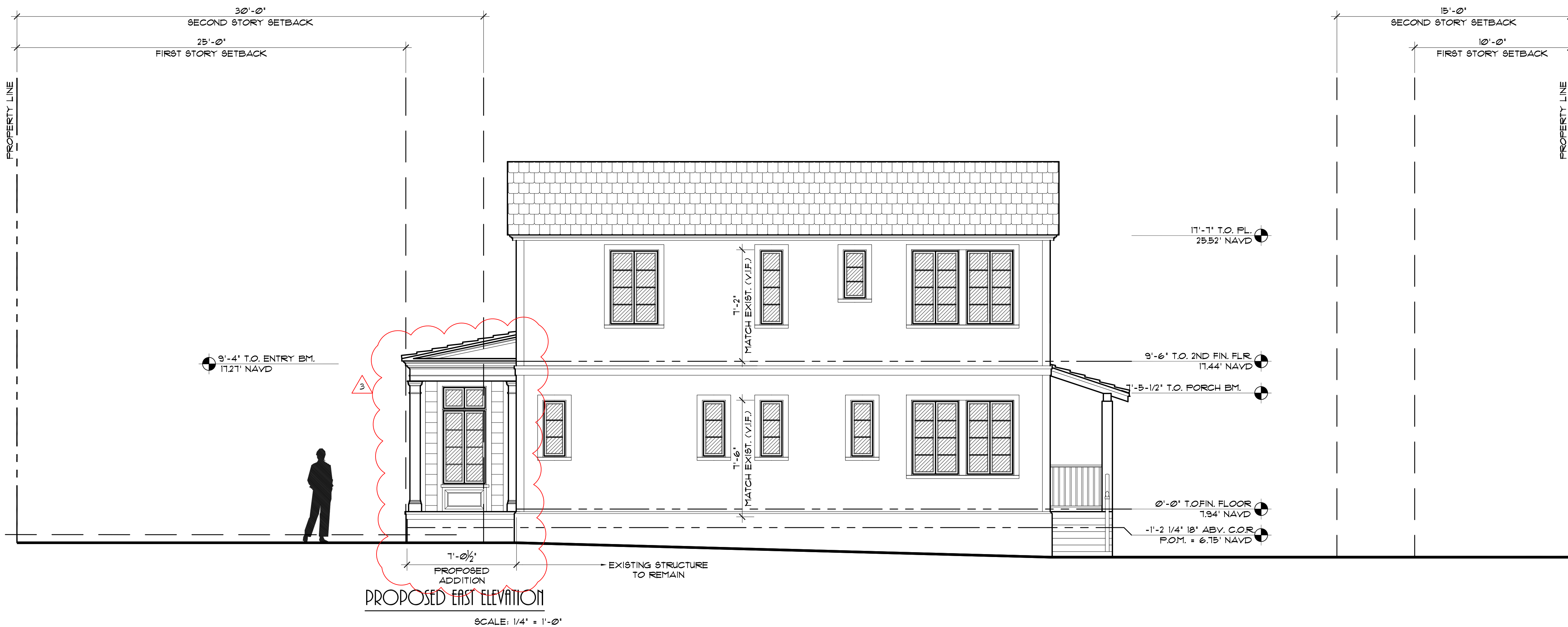


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SHEET: 20 OF: 28



PREVIOUSLY PROPOSED AND PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



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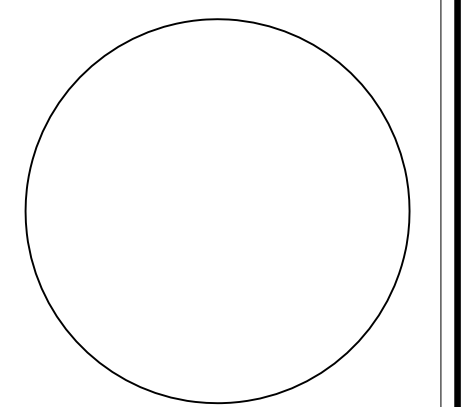
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PALM BEACH, FLORIDA

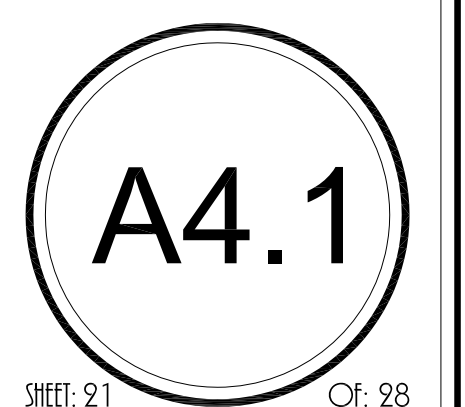
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PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

3
PREVIOUSLY PROPOSED AND PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



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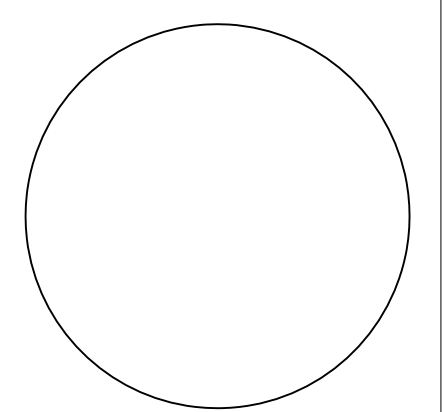


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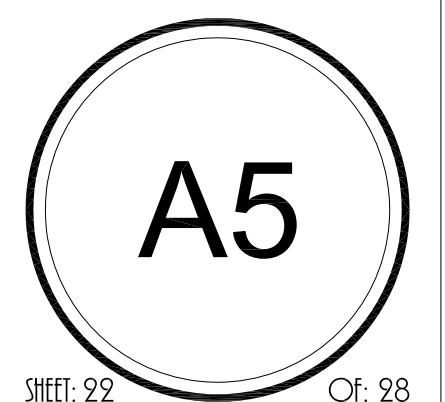
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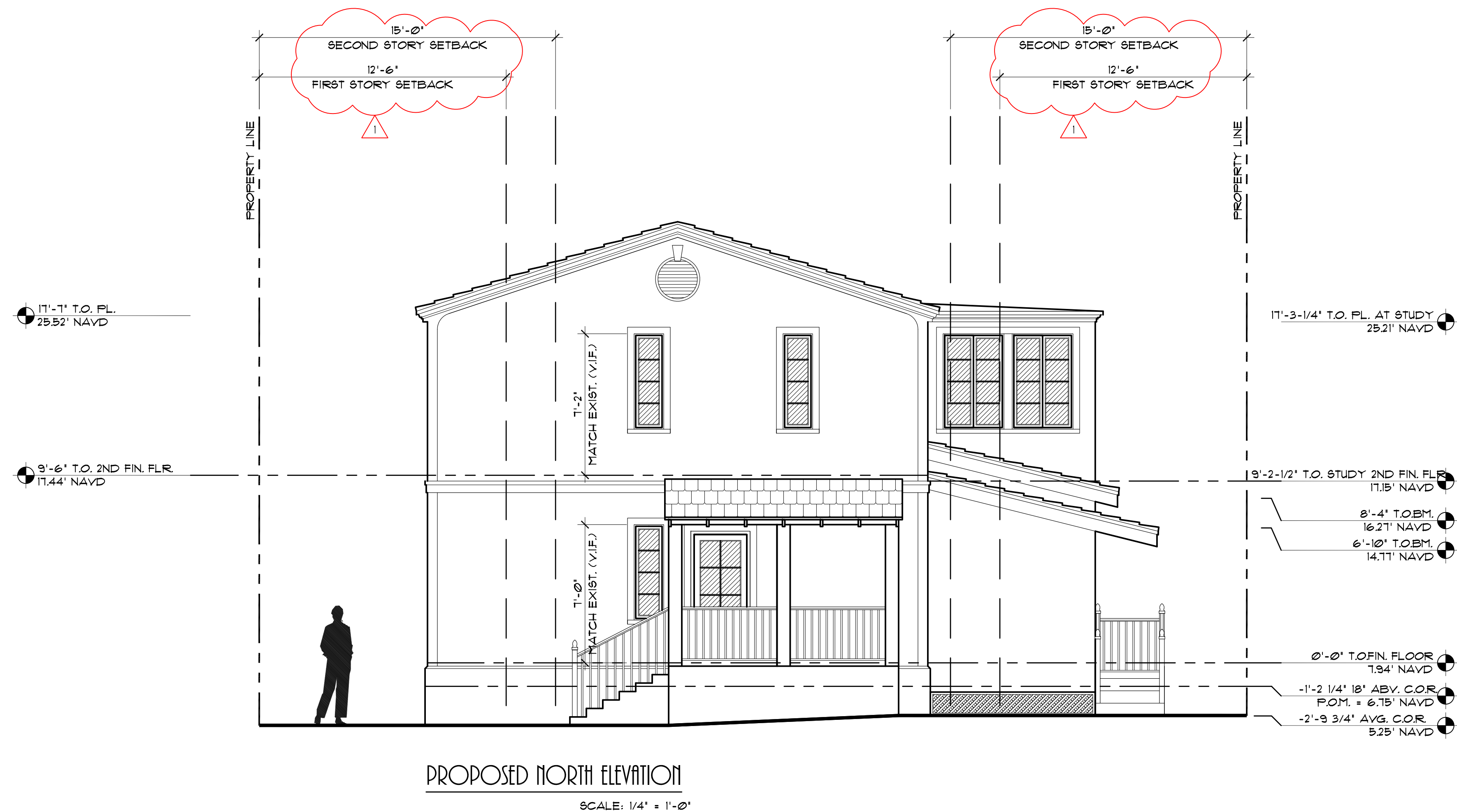
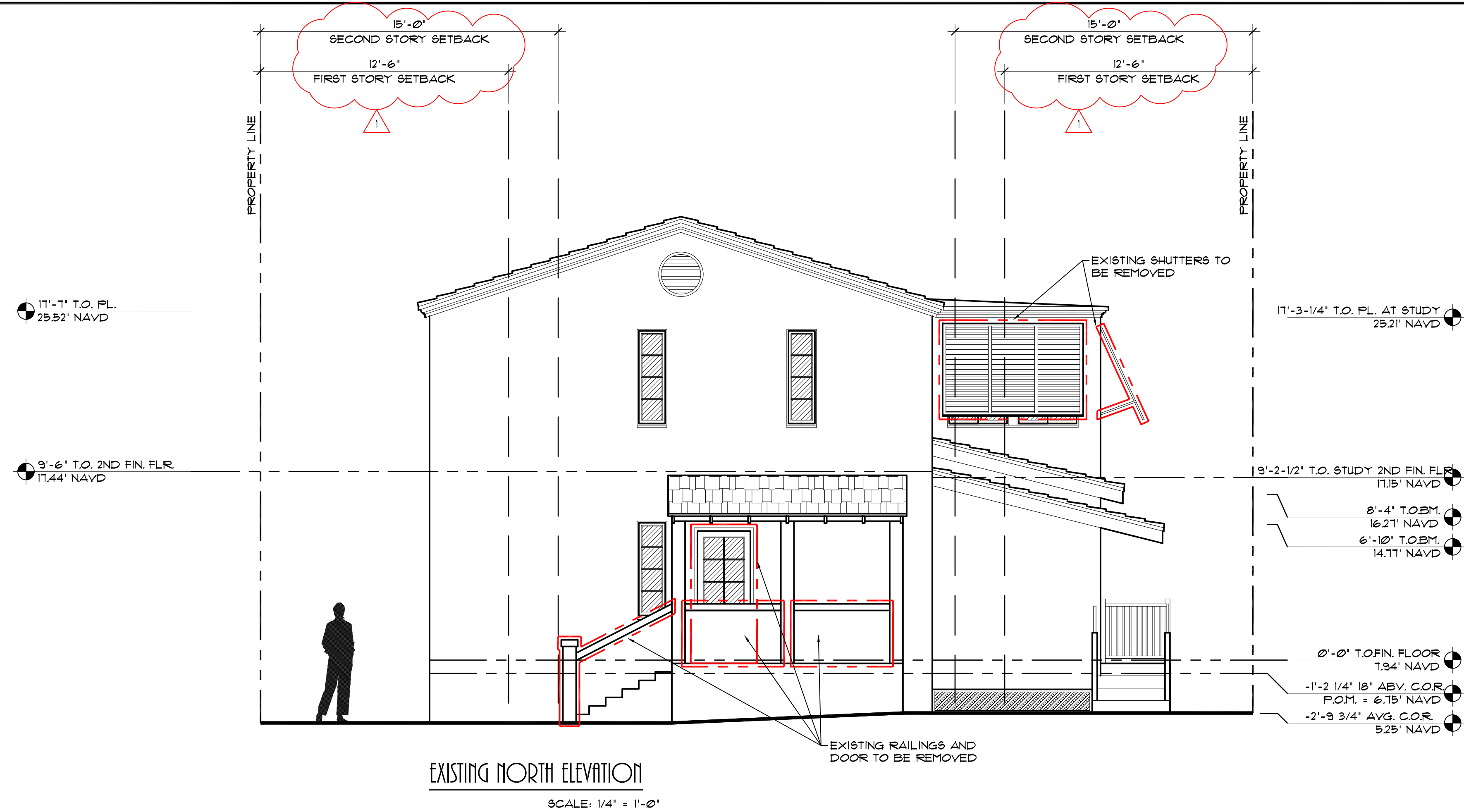


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EXISTING AND PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"

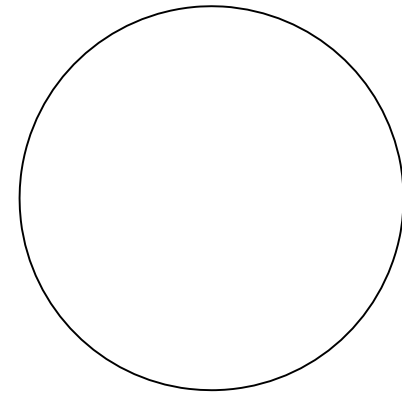


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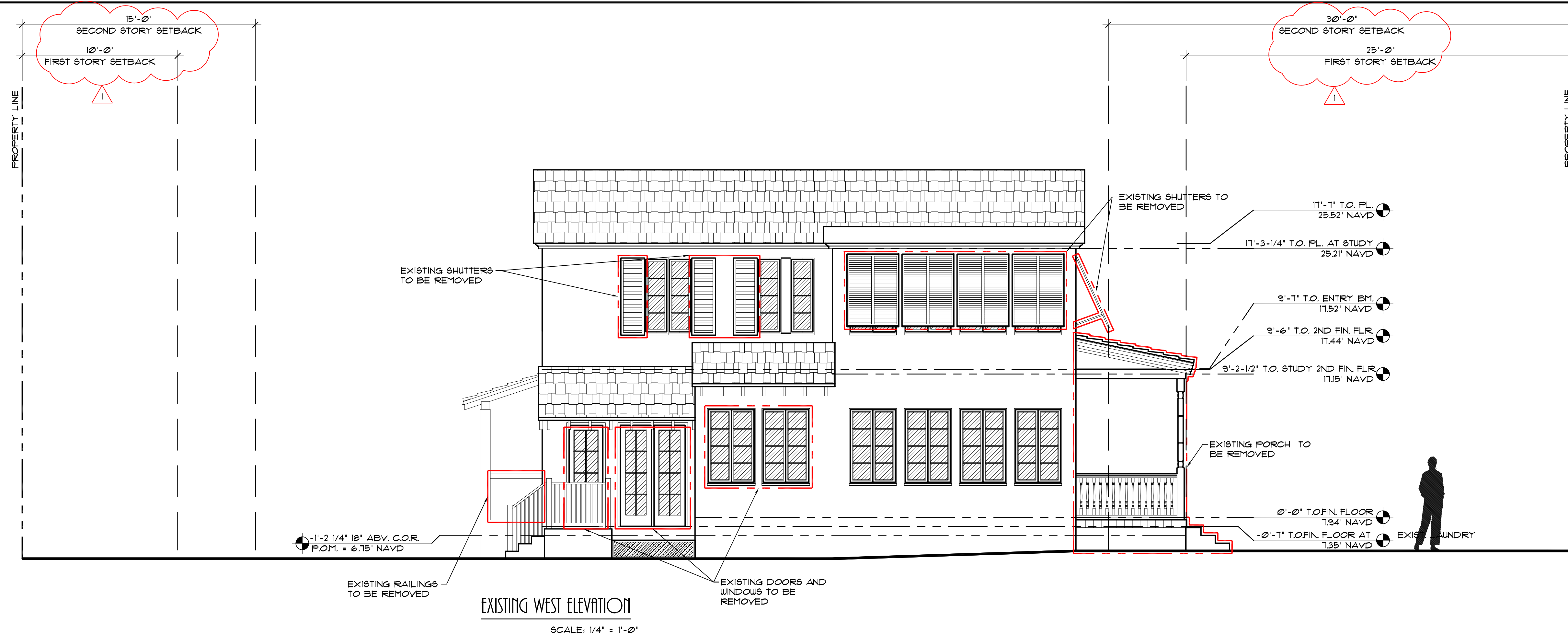
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EXISTING AND PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

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PALM BEACH, FLORIDA

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A6

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PREVIOUSLY PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

PREVIOUSLY PROPOSED AND PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



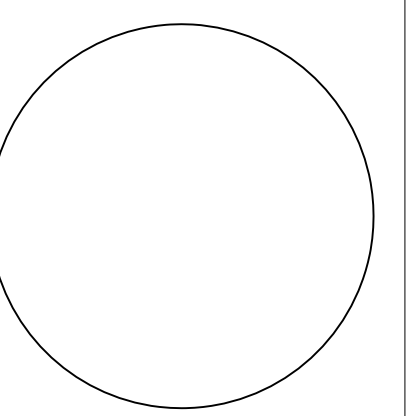
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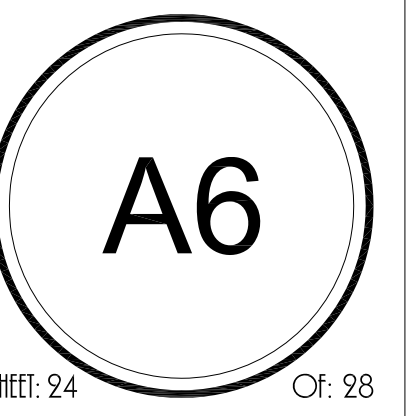
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EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

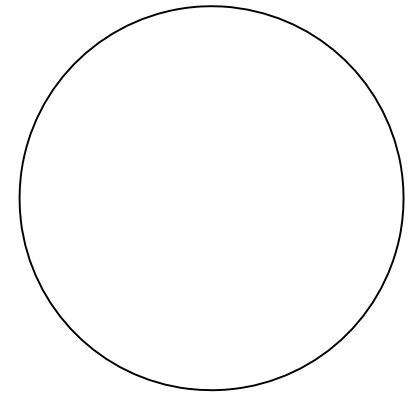


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EXISTING AND PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

PREVIOUSLY PROPOSED AND PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

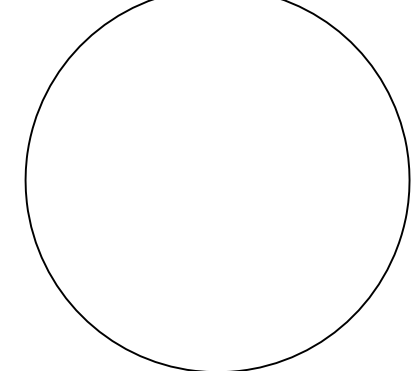


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THE SCONE RESIDENCE
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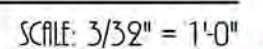
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JEFFREY D. BRASSEUR - AR 0017698
WILSON P. DROBOT - AR 94843



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DATE: 9-23-24
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A6.1
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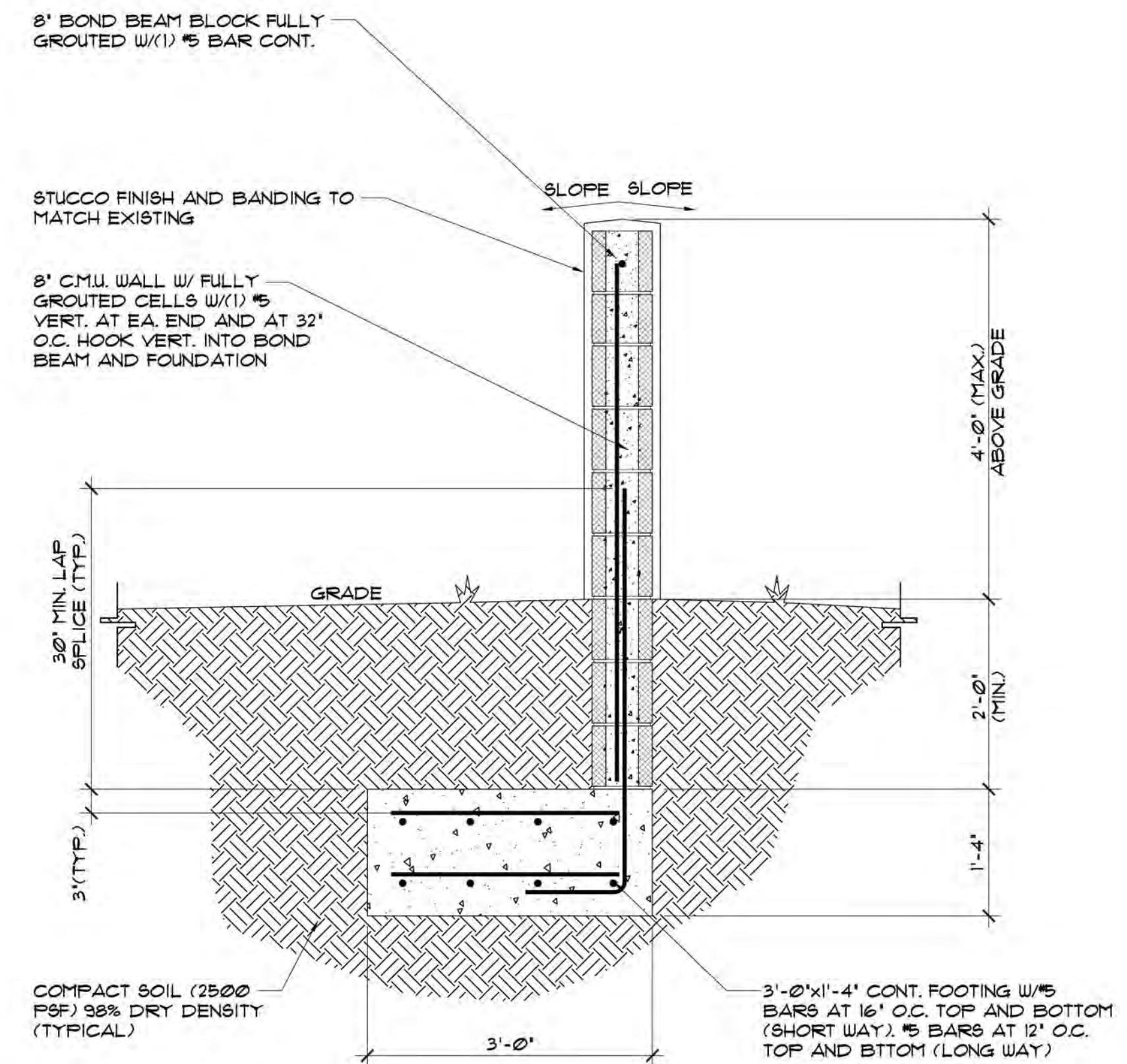
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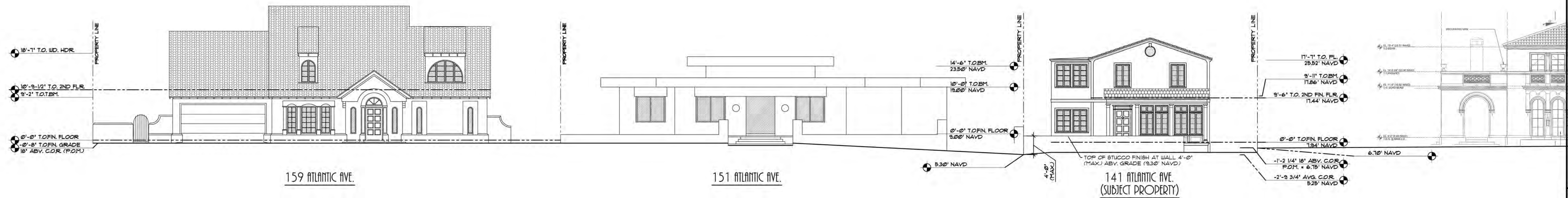
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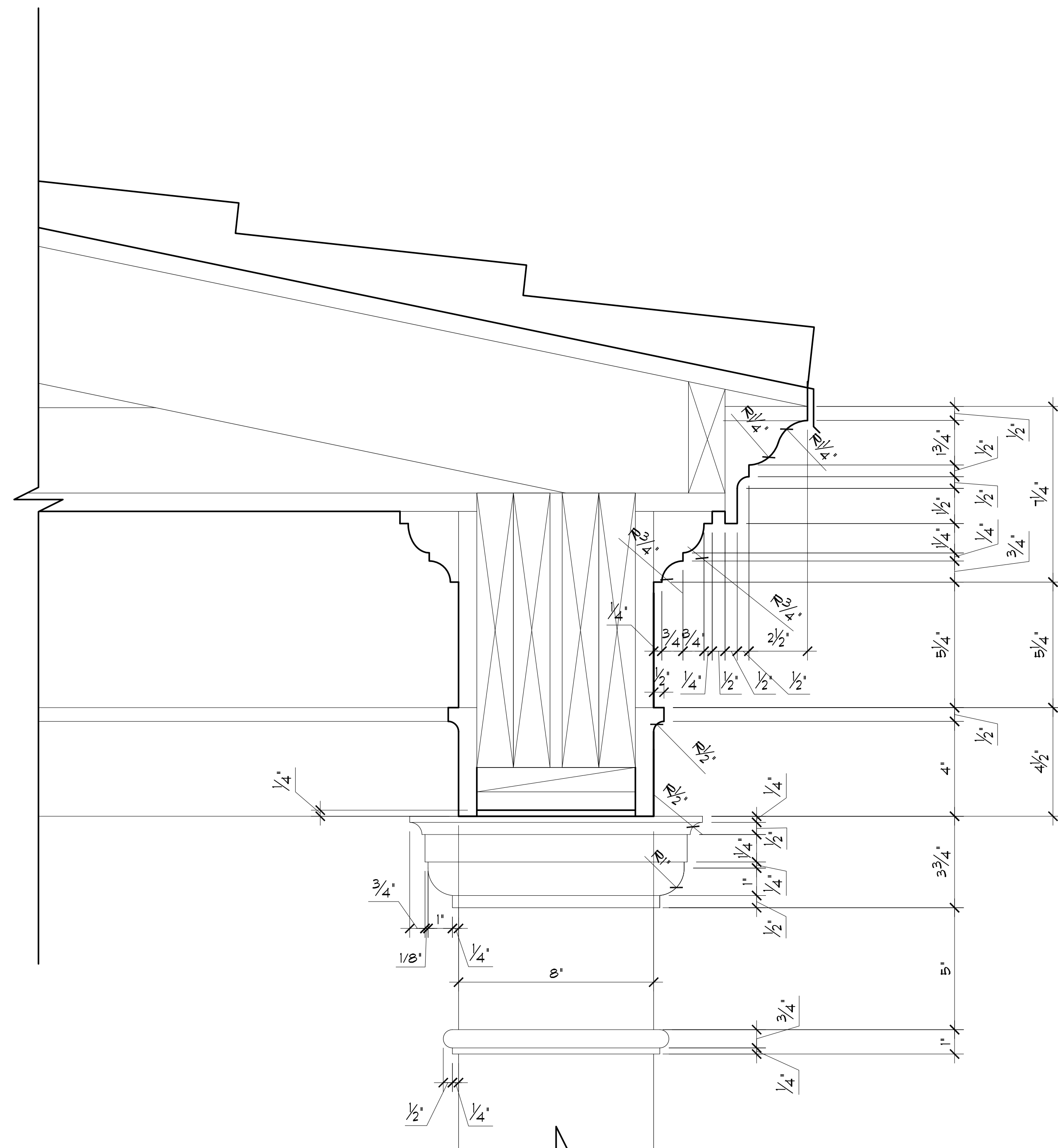
SECTION AT SOUTH SITE WALL

SCALE: 3/4" = 1'-0"



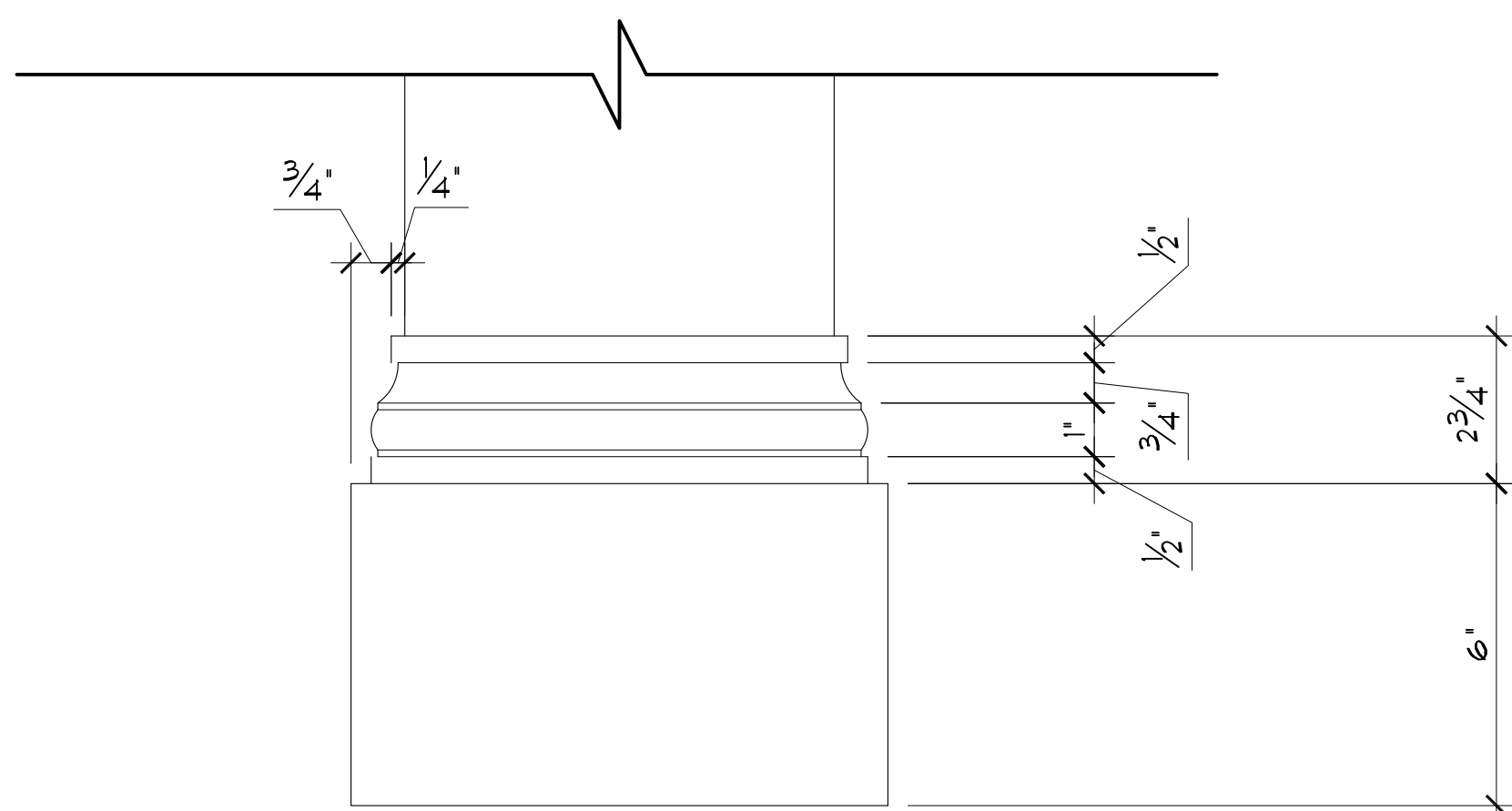
STREETSCAPE ELEVATION

SCALE: 3/32" = 1'-0"



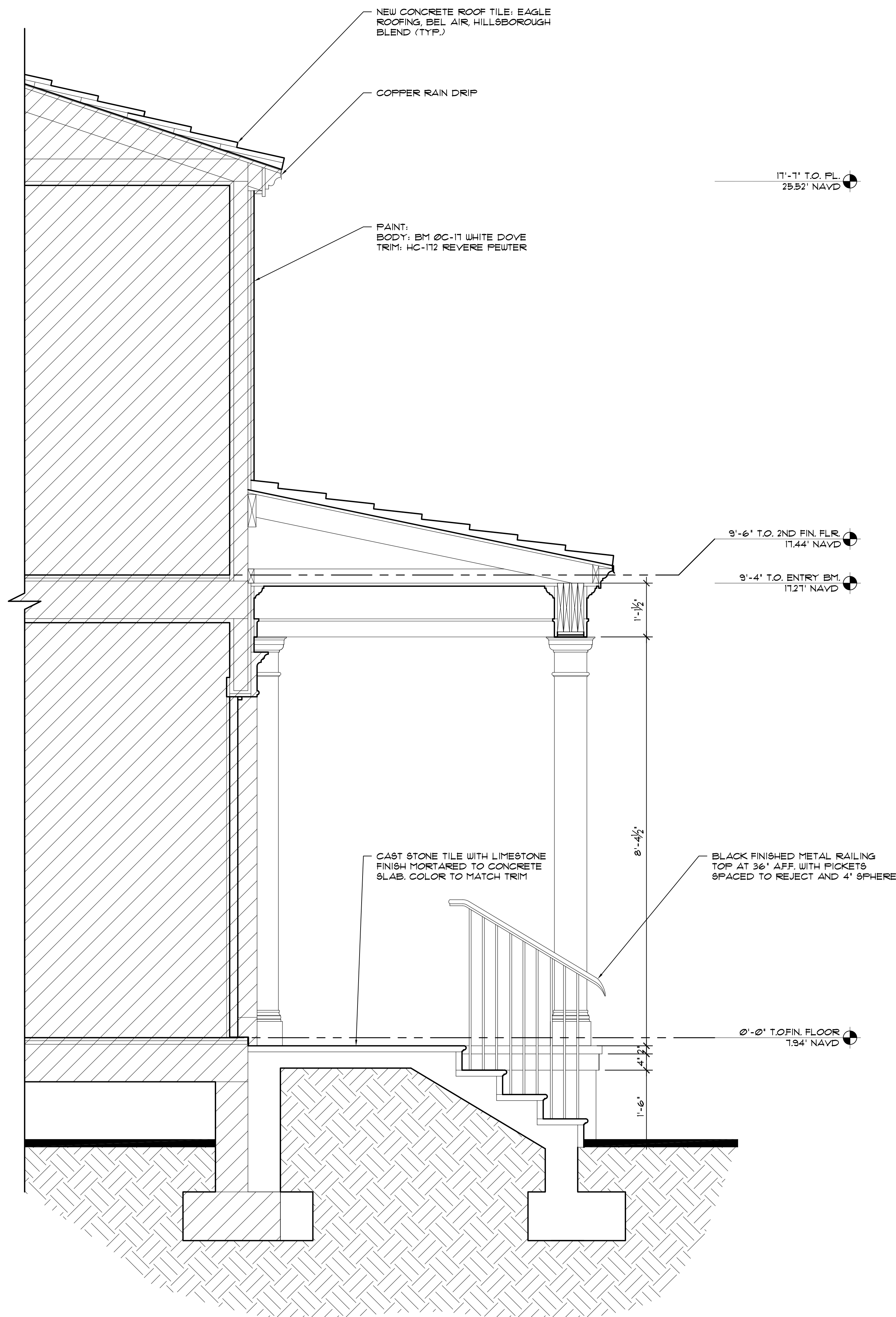
EAVE AND COLUMN CAPITAL DETAIL

SCALE: 3" = 1'-0"



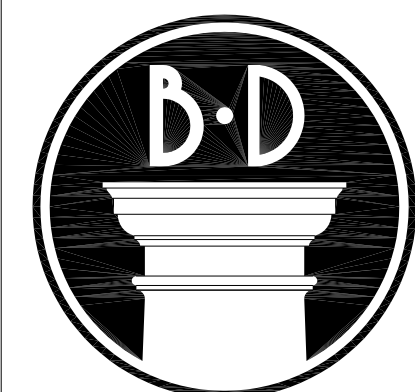
COLUMN BASE DETAIL

SCALE: 3" = 1'-0"



SECTION AT COVERED ENTRY

SCALE: 3/4" = 1'-0"



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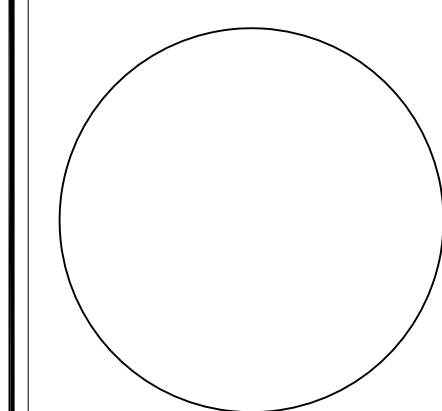
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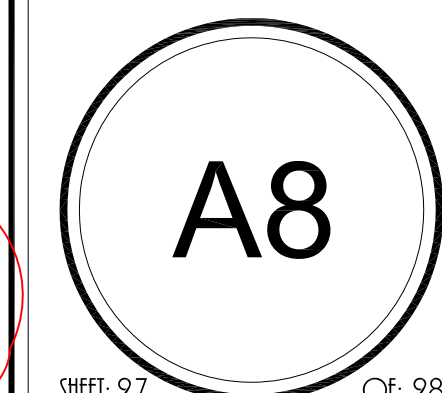
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SECTIONS AND DETAILS



BENJAMIN MOORE OC-17
WHITE DOVE (BODY)



BENJAMIN MOORE HC-172
REVERE PEWTER (TRIM)



EAGLE ROOFING
BEL AIR 4883 HILLSBOROUGH BLEND



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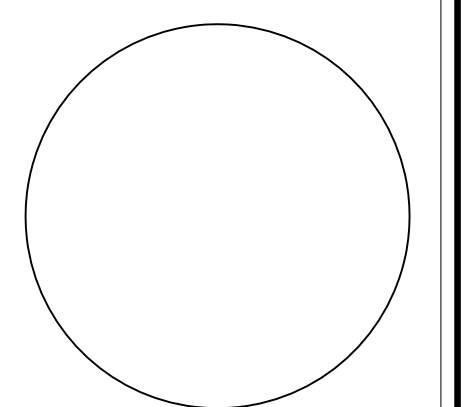
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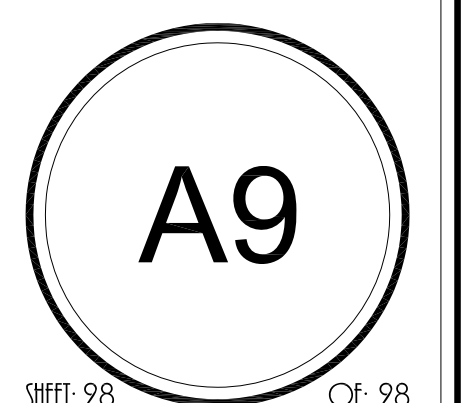
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RENDERINGS
MIS



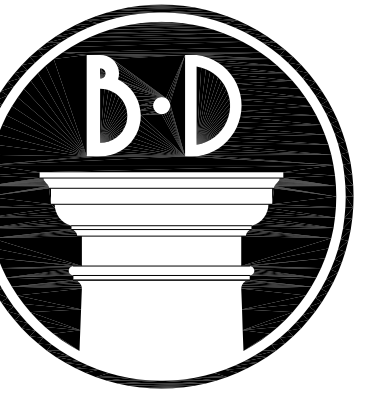
BENJAMIN MOORE 0C-17
WHITE DOVE (BODY)



BENJAMIN MOORE HC-172
REVERE PEWTER (TRIM)



EAGLE ROOFING
BEL AIR 4883 HILLSBOROUGH BLEND



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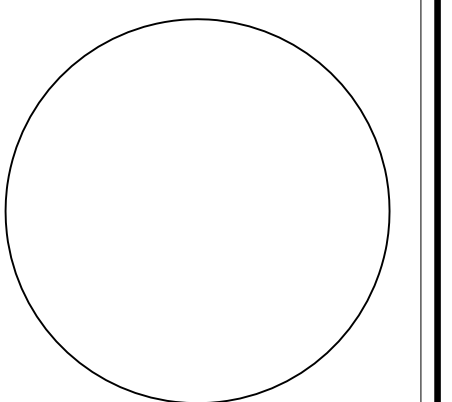
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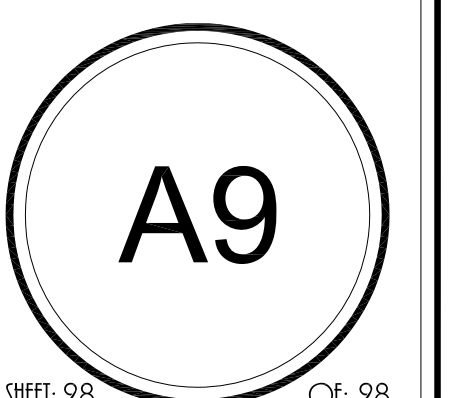
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