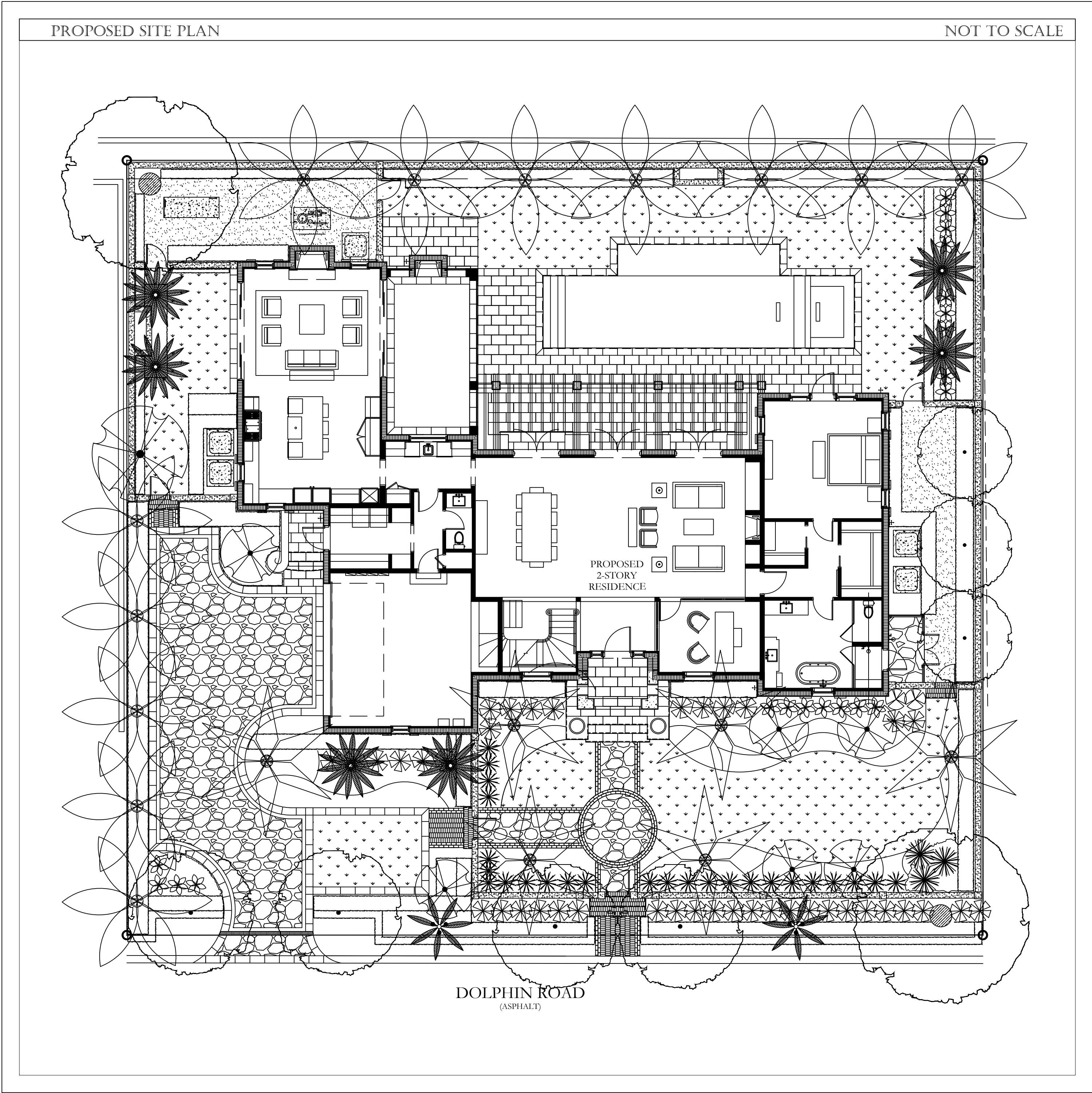
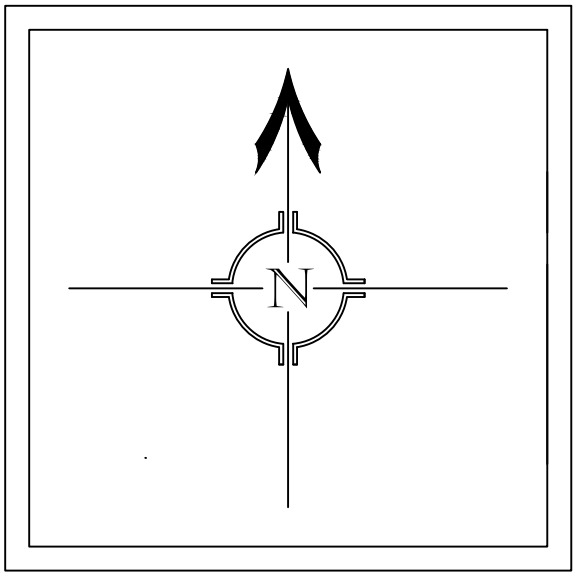


SCOPE OF WORK-
NEW HARDSCAPE & LANDSCAPE
FOR A NEW HOME



FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

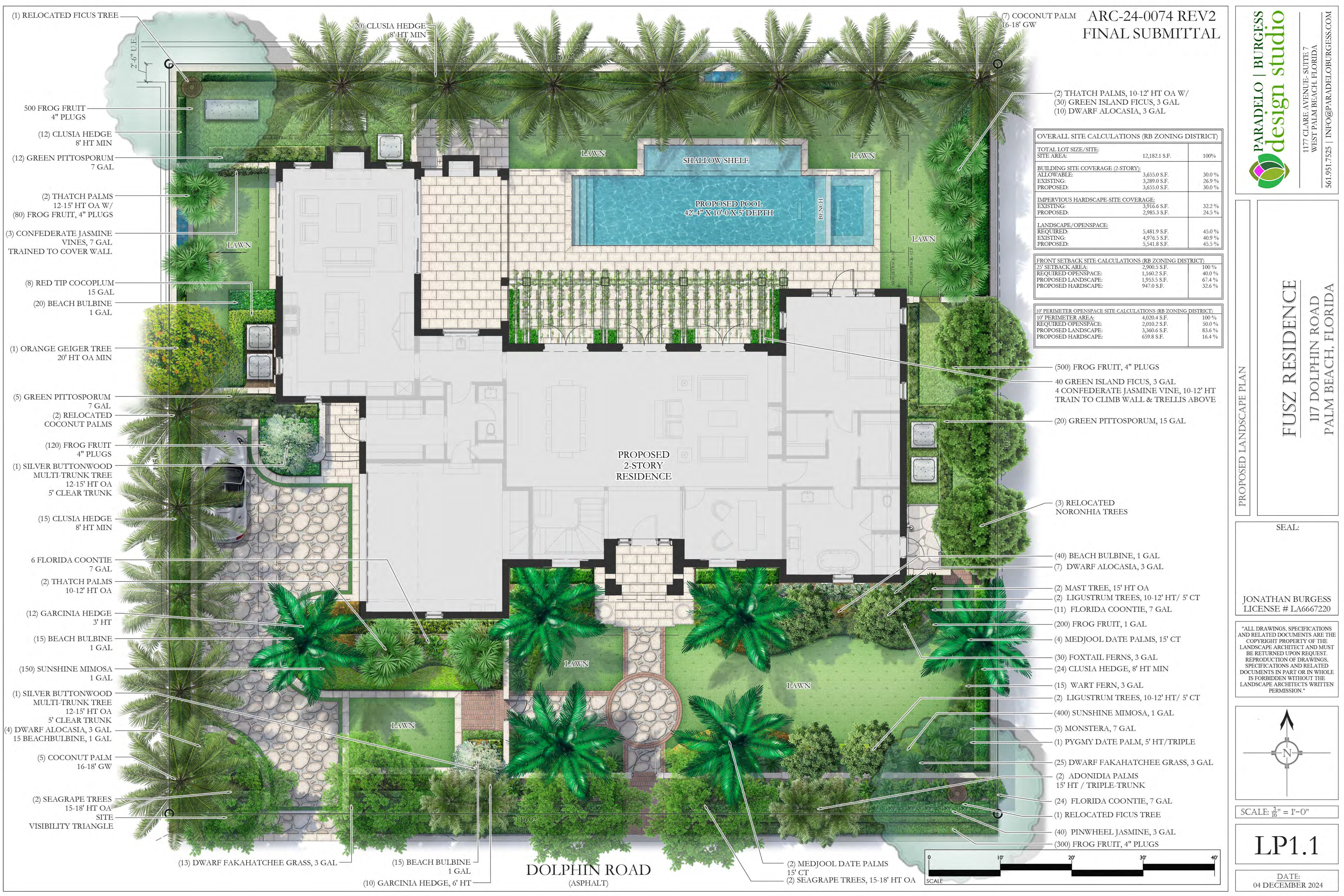


-DRAWING INDEX-

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SURVEY _	
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EXH-2 _	HARDSCAPE DISPOSITION PLAN
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OSD _	OPENSOURCE DIAGRAM
OSD _	OPENSOURCE DIAGRAM RENDERING
CSS _	CONSTRUCTION SCREENING PLAN
CSS _	CONSTRUCTION STAGING PLAN
TL _	TRUCKING LOGISTICS PLAN



1177 CLARE AVENUE- SUITE 7
WEST PALM BEACH, FLORIDA
561.951.7525 | INFO@PARADELOBURGESS.COM





SOUTH SIDE VIEW- PERIMETER GARDEN ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$



SOUTH SIDE VIEW- INTERIOR GARDEN VIEW ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

PROPOSED LANDSCAPE ELEVATIONS

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

JONATHAN BURGESS
LICENSE # LA6667220

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PERMISSION."

SCALE AS SHOWN

ELEV1

DATE:
04 DECEMBER 2024



WEST SIDE VIEW- PERIMETER GARDEN ELEVATION

SCALE: 1/4" = 1'-0"



WEST SIDE VIEW- INTERIOR GARDEN VIEW ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED LANDSCAPE ELEVATIONS

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

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SCALE AS SHOWN

ELEV2

DATE:
04 DECEMBER 2024



 NORTH SIDE VIEW- PERIMETER GARDEN ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$



 NORTH SIDE VIEW- INTERIOR GARDEN VIEW ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

PROPOSED LANDSCAPE ELEVATIONS

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

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SCALE AS SHOWN

ELEV3

DATE:
04 DECEMBER 2024



EAST SIDE VIEW- PERIMETER GARDEN ELEVATION

SCALE: 1/4" = 1'-0"



EAST SIDE VIEW- INTERIOR GARDEN VIEW ELEVATION

SCALE: 1/4" = 1'-0"

PROPOSED LANDSCAPE ELEVATIONS

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

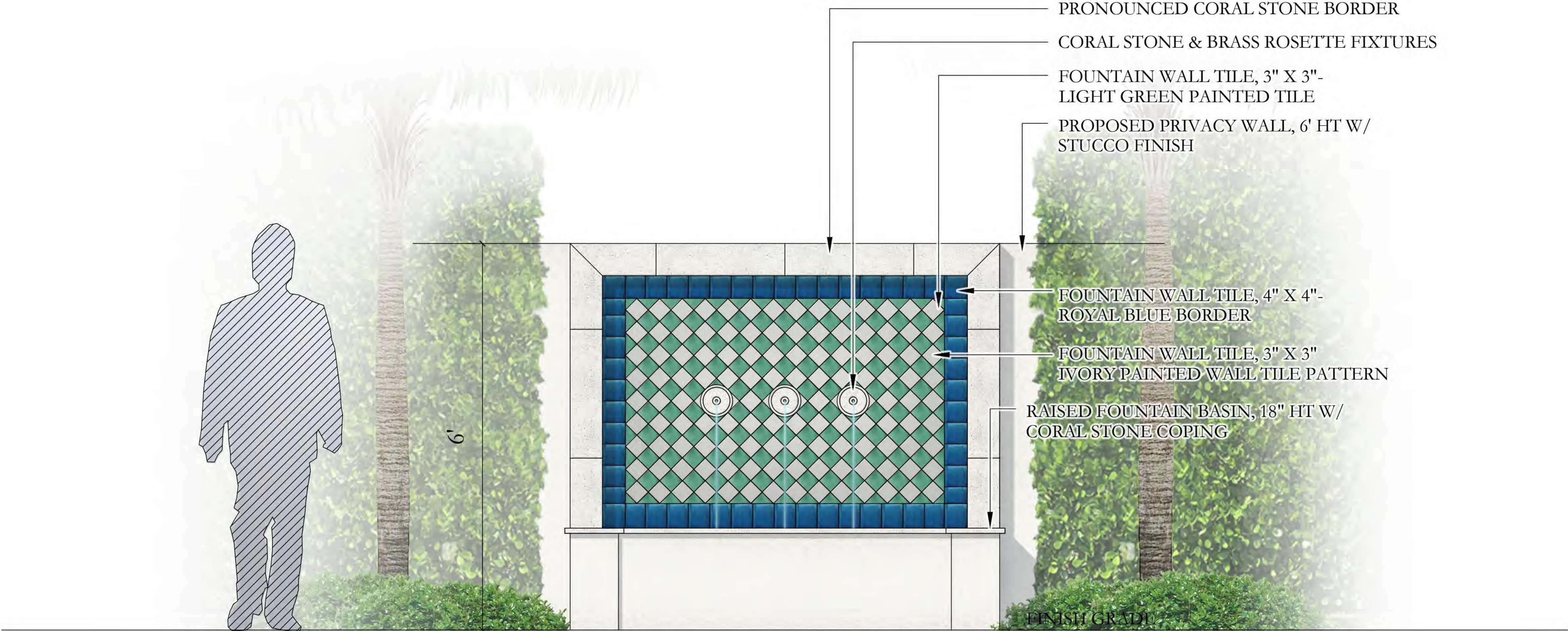
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SCALE AS SHOWN

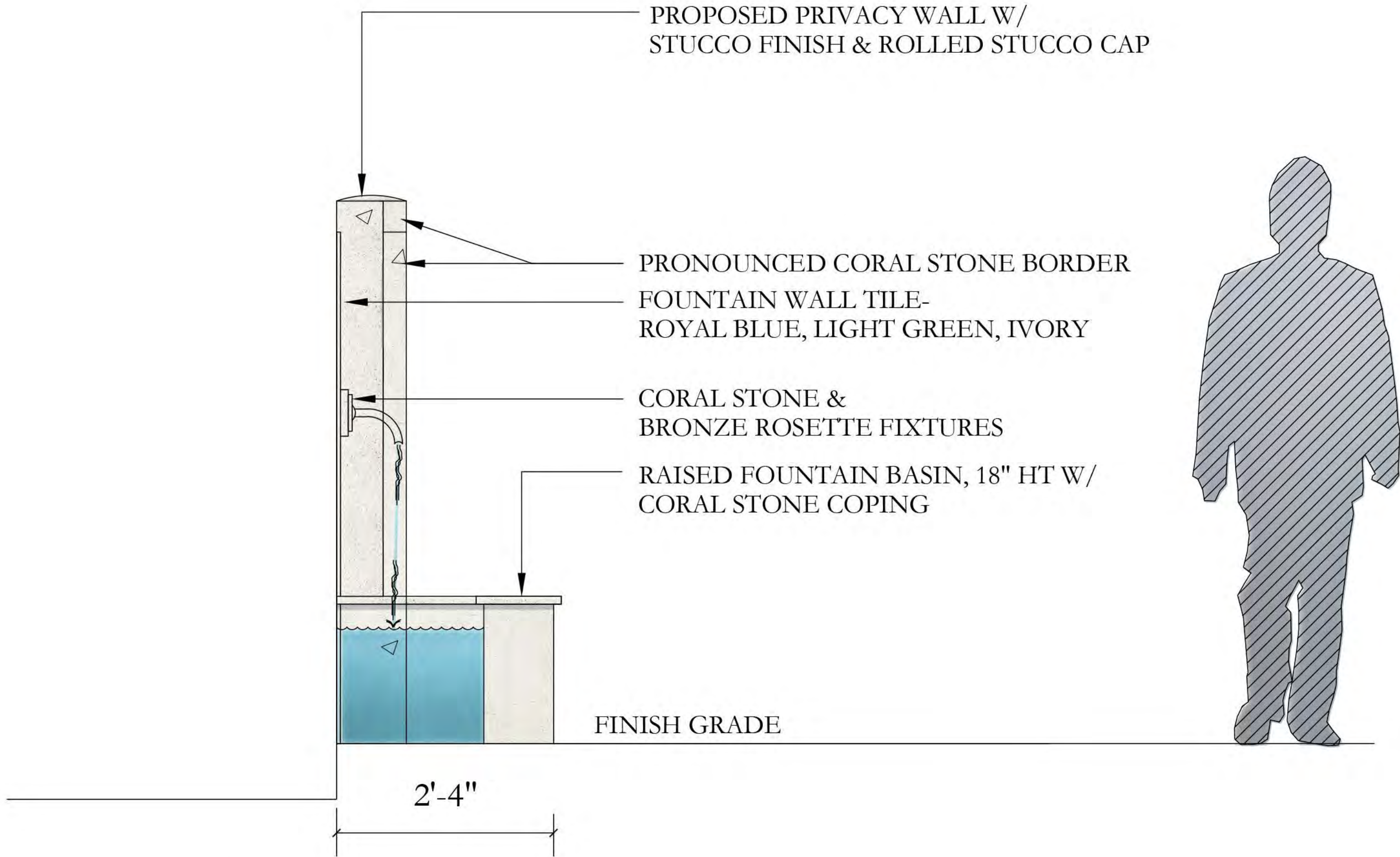
ELEV4

DATE:
04 DECEMBER 2024



PROPOSED WALL FOUNTAIN - ELEVATION DETAIL

SCALE : 1" = 1'-0"



PROPOSED WALL FOUNTAIN - SECTION DETAIL

SCALE : 1" = 1'-0"

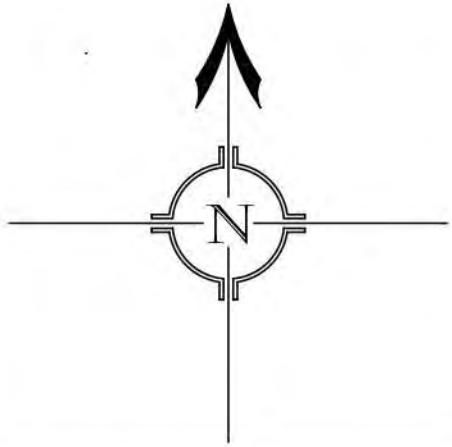
PROPOSED HARDSCAPE PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

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SCALE AS SHOWN

HD.1

DATE:
04 DECEMBER 2024



PROPOSED FRONT WALL & DECORATIVE ENTRY COLUMN
3'-8" HT W/ STUCCO FINISH & CORAL STONE CAP
DECORATIVE CORAL STONE ACCORN

7'-9"

8.24' +
ENTRY WALKWAY

15" 15"

4'

6" 6" 6"

4'-11"

TO PROPERTY LINE

SLOPED GRADE

+ 6.74' - STREET CURB

STREET ENTRY WALKWAY

DISTRESSED/WHITEWASHED BRICK
ENTRY WALKWAY & TREADS
STAGGERED PATTERN

DECORATIVE ENTRY GATE, 3'-8" HT
WHITE POWDER COATED ALUMINUM

PROPOSED FRONT ENTRY WALL/COLUMNS/GATE - SECTION DETAIL

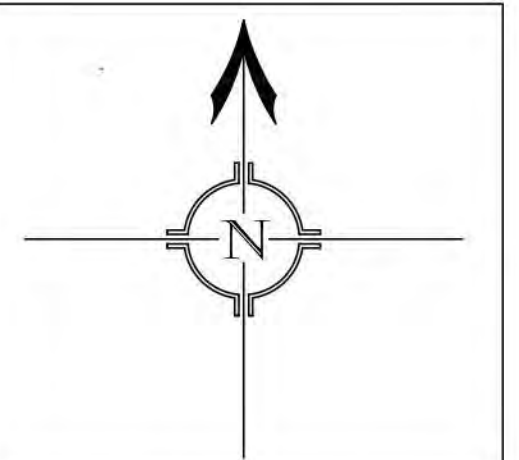
PROPOSED HARDSCAPE PLAN

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

REAL:

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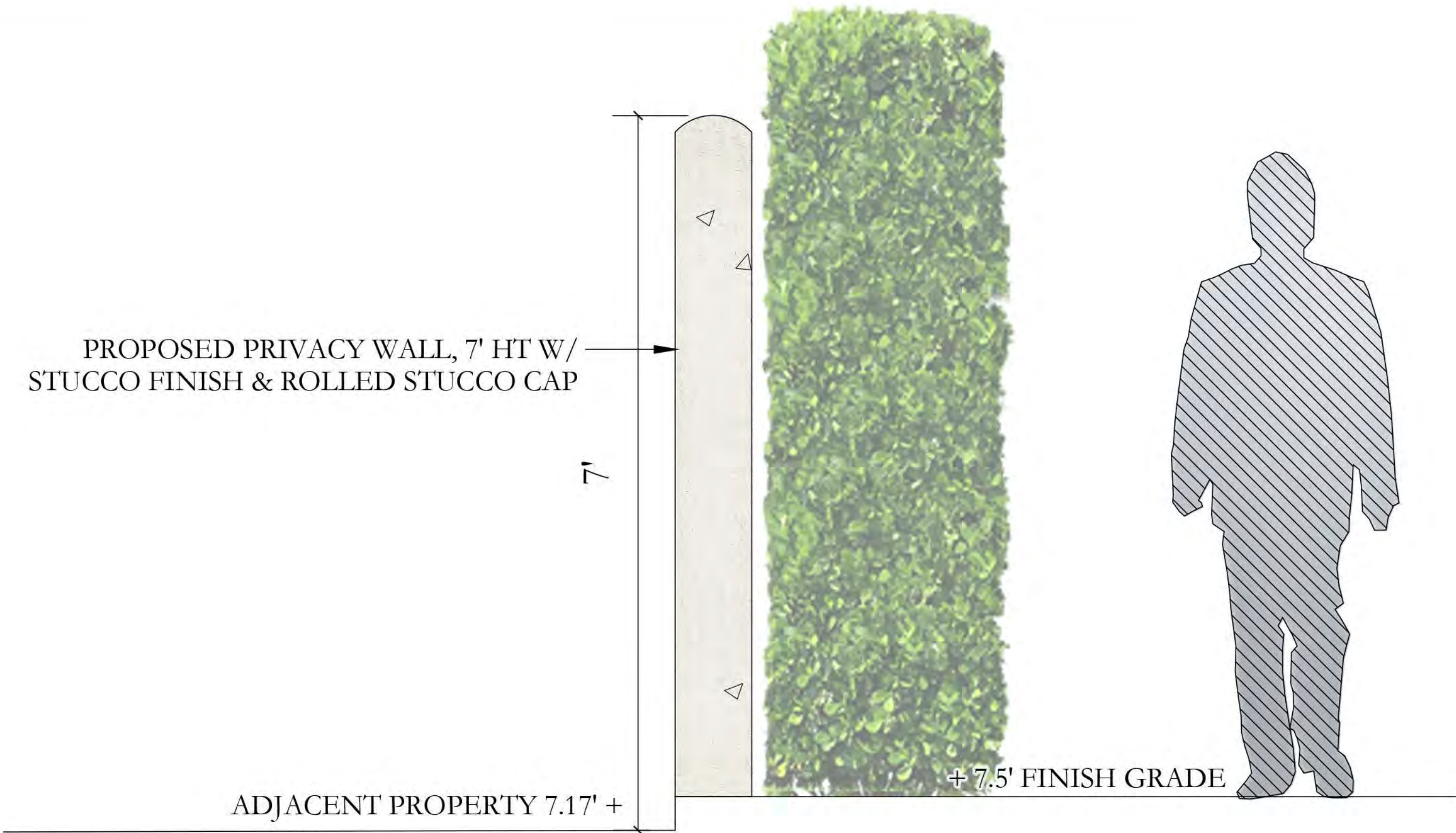
HD.2

DATE:
4 DECEMBER 2024

PARADELO | BURGESS

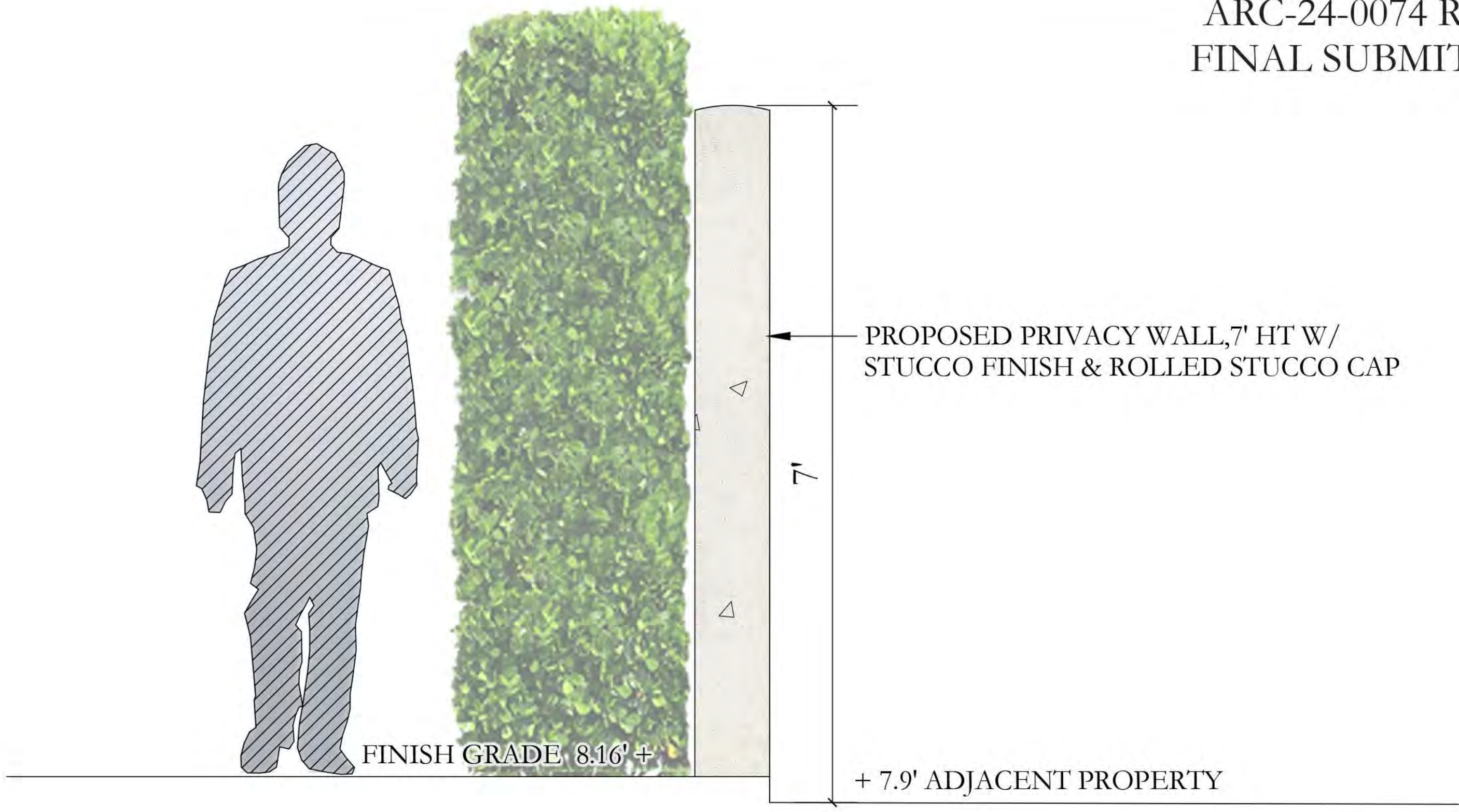
design studio

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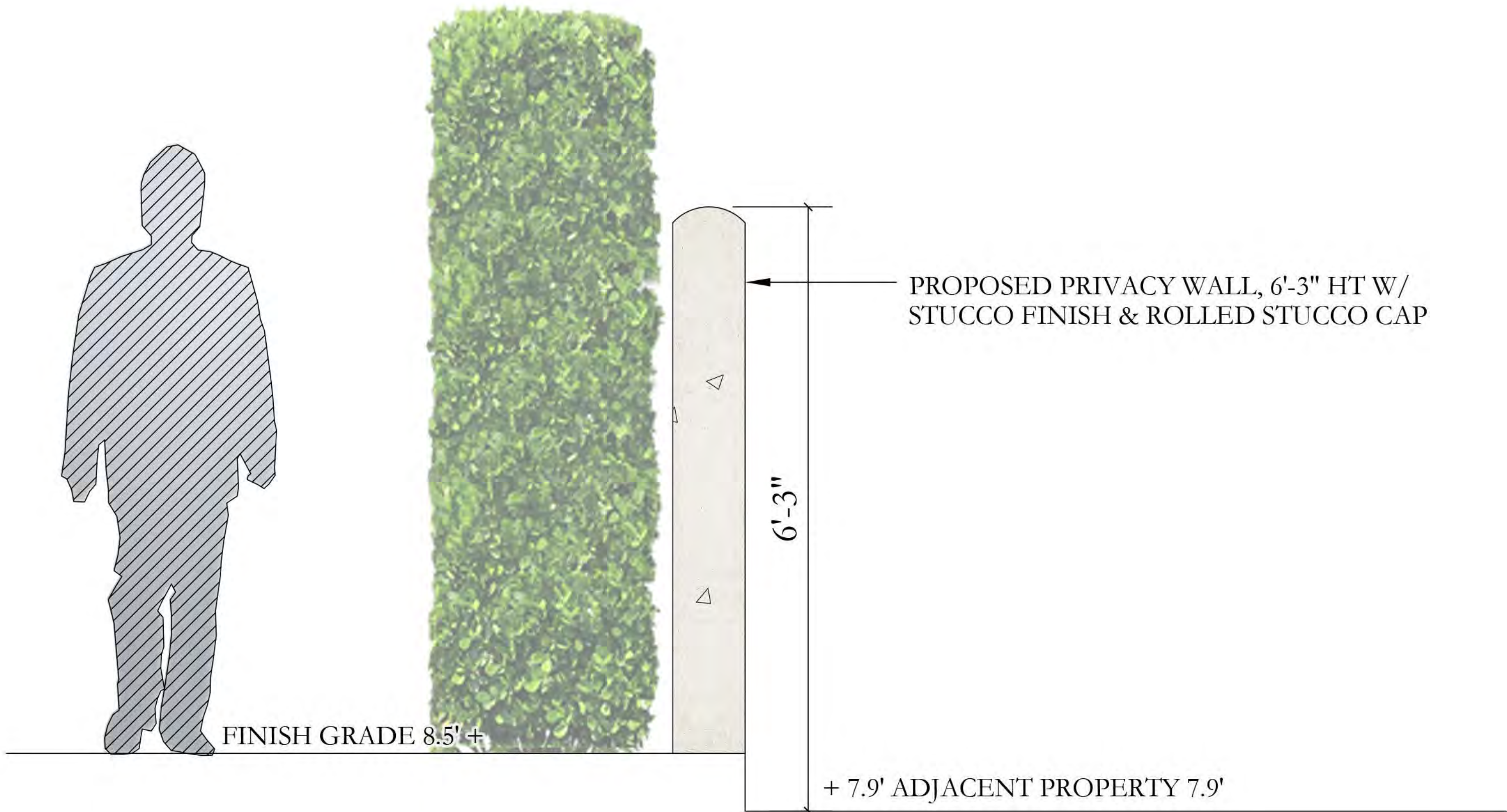
PROPOSED WEST SITE WALL - SEFCTION DETAIL

SCALE : $\frac{1}{2}" = 1'-0"$



PROPOSED EAST SITE WALL - SEFCTION DETAIL

SCALE : $\frac{1}{2}" = 1'-0"$



PROPOSED NORTH SITE WALL - SEFCTION DETAIL

SCALE : 1" = 1'-0"

PROPOSED HARDSCAPE PLAN

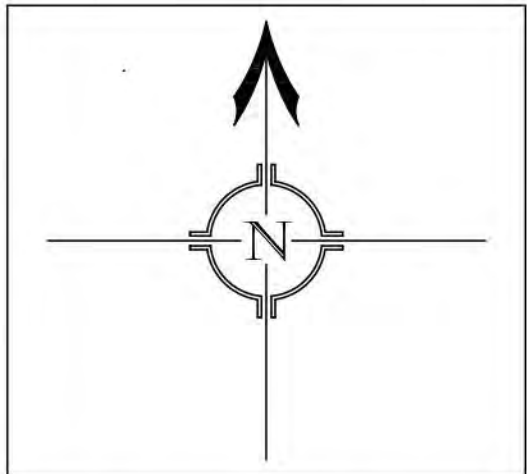
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SCALE AS SHOWN

HD.3

DATE:
04 DECEMBER 2024



DOMINICAN CORAL FLAGSTONE -
DRIVEWAY FIELD PATTERN
MAIN ENTRY WALKWAY FIELD PATTERN
OUTDOOR SHOWER

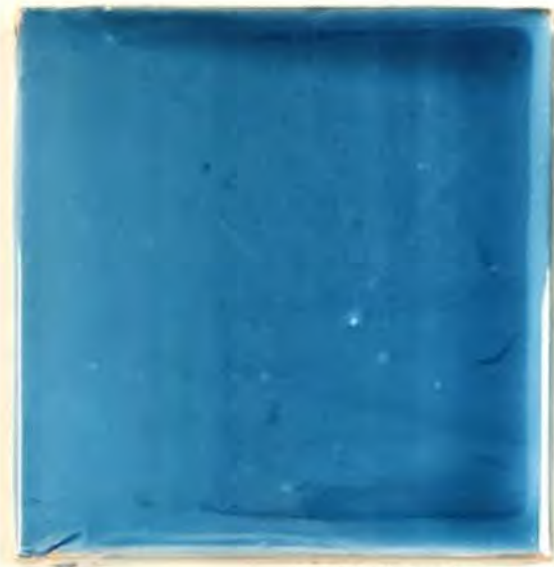


DOMINICAN CORAL DIMENSIONAL STONE -
POOL/FOUNTAIN COPING
DRIVEWAY BORDER
DECORATIVE COLUMN CAPS/ACORNS
ENTRY LANDING/STEPS
POOL TERRACE PAVING



DISTRESSED/WHITEWASHED BRICK -
GARDEN STEPS
WALKWAY BORDER

FOUNTAIN WALL & POOL COPING TILE



ROYAL BLUE




LIGHT GREEN



IVORY TILE

PARADELO | BURGESS



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WEST PALM BEACH, FLORIDA

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PROPOSED HARDSCAPE MATERIALS

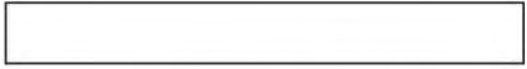
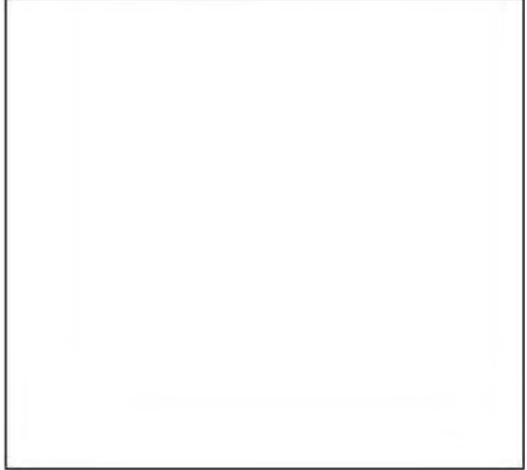
FUSZ RESIDENCE

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PALM BEACH, FLORIDA

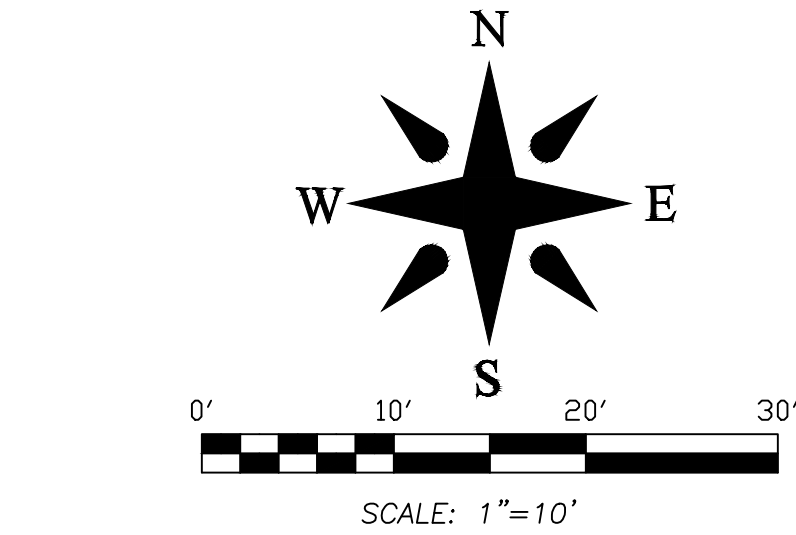
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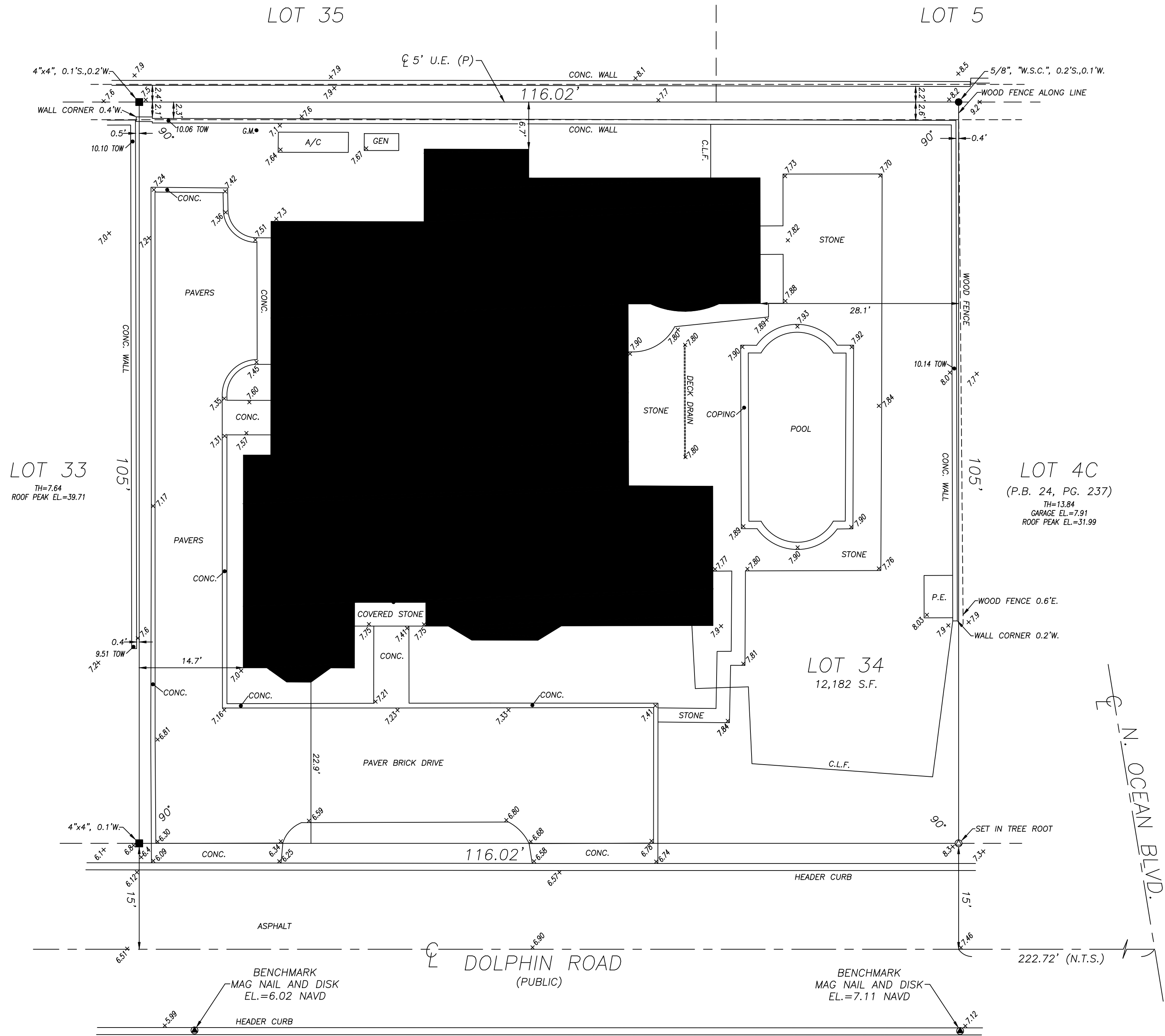


DATE:
04 DECEMBER 2024



LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
GEN. = GENERATOR
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(W) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
OH = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R.W. = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TIE
= BASELINE
Δ = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
□ = CONCRETE MONUMENT SET (LB #4569)
□ = ROD & CAP FOUND (AS NOTED)
○ = 5/8" ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
● = IRON ROD FOUND (AS NOTED)
● = NAIL FOUND
● = NAIL & DISK FOUND (AS NOTED)
● = MAG NAIL & DISK SET (LB #4569)
● = PROPERTY LINE
● = UTILITY POLE
● = FIRE HYDRANT
● = WATER METER
● = WATER VALVE
X = LIGHT POLE



FLOOD ZONE:

This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0393F, dated 10/5/2017.

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 6/25/2024

James G. Peden Jr.
Professional Surveyor and Mapper
Florida Certificate No 6122

VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR:
MARLA WIEGMAN FUSZ FAMILY TRUST

This survey is made specifically and only for the following parties for the purpose of design on the surveyed property.

Marla Wiegman Fusz Family Trust

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

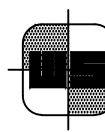
117 Dolphin Road
Palm Beach, FL 33480

LEGAL DESCRIPTION:

Lot 34, NORTH SHORE ADDITION, AN ADDITION TO THE TOWN OF PALM BEACH, FLORIDA, according to the plat thereof as recorded in Plat Book 20, Page 62, of the Public Records of Palm Beach County, Florida.

BOUNDARY SURVEY FOR:

MARLA WIEGMAN FUSZ FAMILY TRUST



WALLACE SURVEYING

CORP. LICENSED BUSINESS # 4569

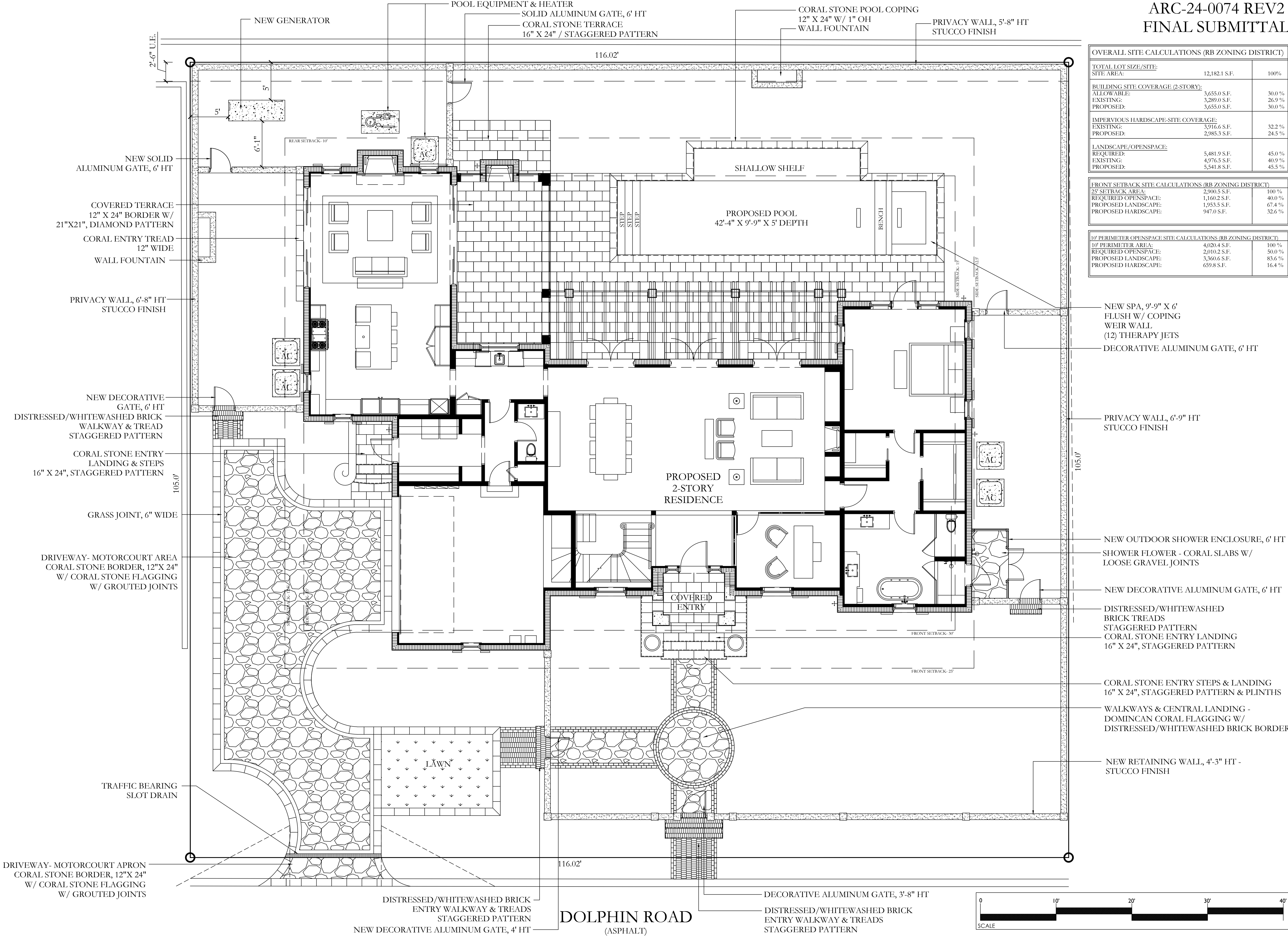
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD:	J.M.	JOB NO:	211825	F.B:	PB363 PG. 35
OFFICE:	M.B.	DATE:	6/25/24	DWG. NO:	211825
C'K'D:	J.P.	REF:	211825.DWG	SHEET	1 OF 1

OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:	2,900.5 S.F.	100 %
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:	4,020.4 S.F.	100 %
REQUIRED OPENSOURCE:	2,010.2 S.F.	50.0 %
PROPOSED LANDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %



PROPOSED HARDSCAPE PLAN

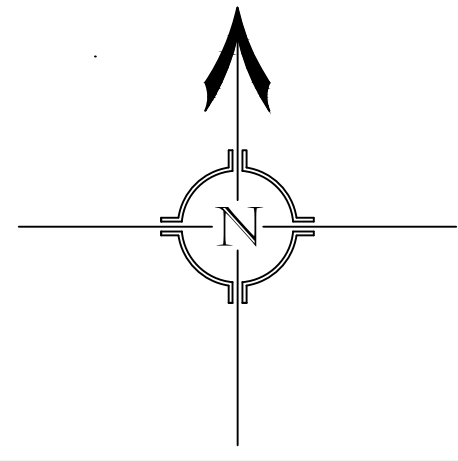
FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

JONATHAN BURGESS
LICENSE # LA6667220

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SCALE: $\frac{3}{16}$ " = 1'-0"

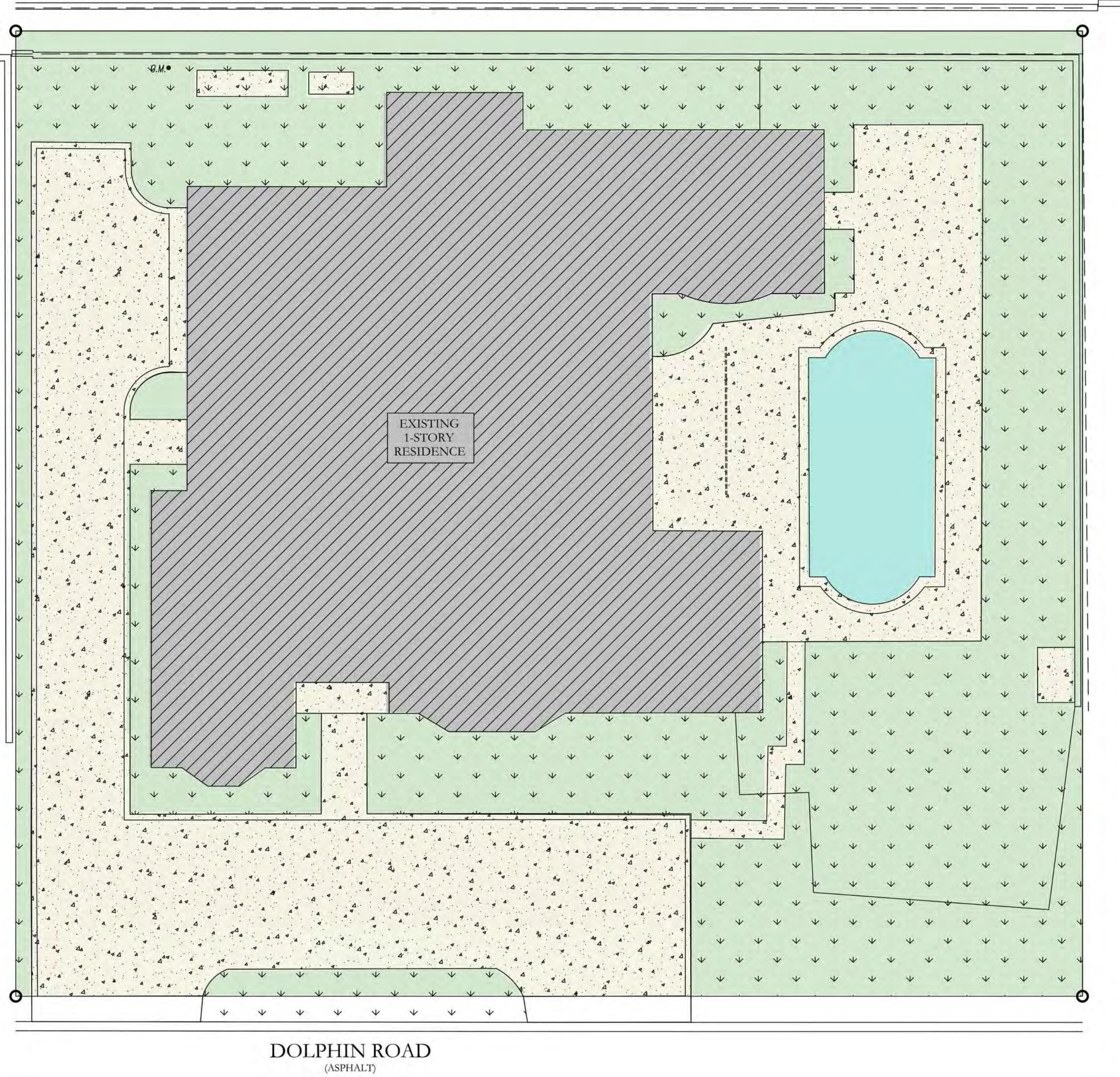
L1

DATE:
04 DECEMBER 2024

OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSACE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

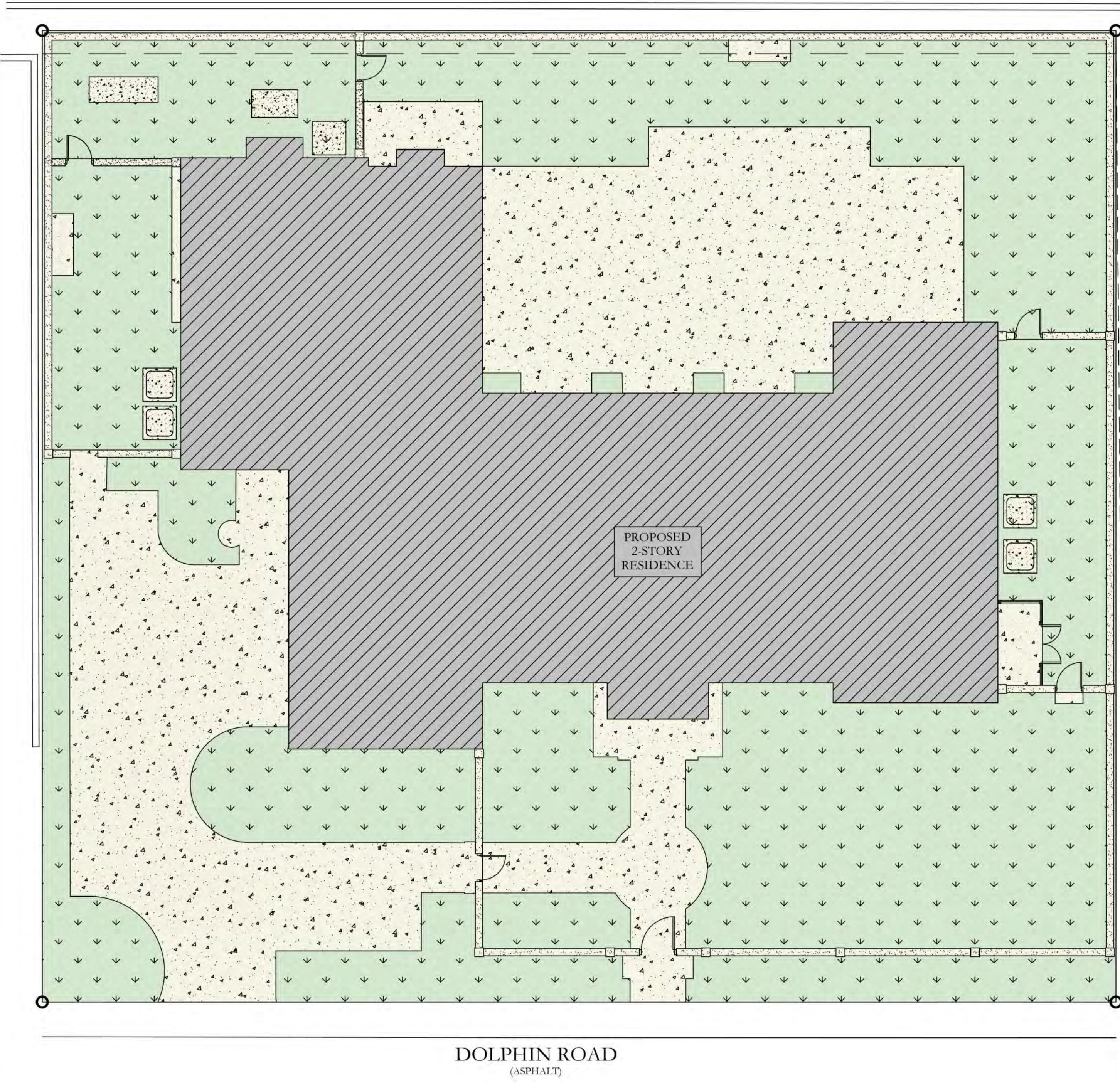
EXISTING OPENSACE DIAGRAM

OPENSACE DIAGRAM-	
SYMBOL	DESCRIPTION
	EXISTING IMPERVIOUS AREA
	EXISTING OPENSACE AREA



PROPOSED OPENSACE DIAGRAM

OPENSACE DIAGRAM-	
SYMBOL	DESCRIPTION
	PROPOSED IMPERVIOUS AREA
	LANDSCAPE OPENSACE



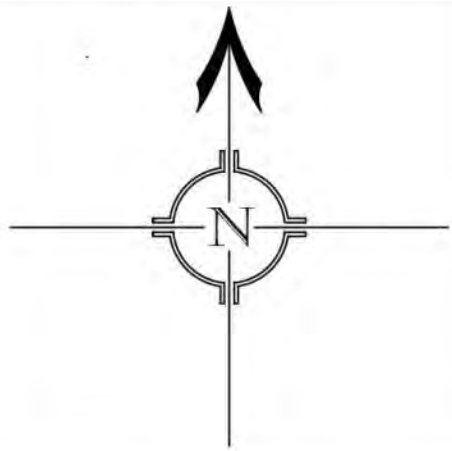
PROPOSED OPENSACE DIAGRAM

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

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LICENSE # LA6667220

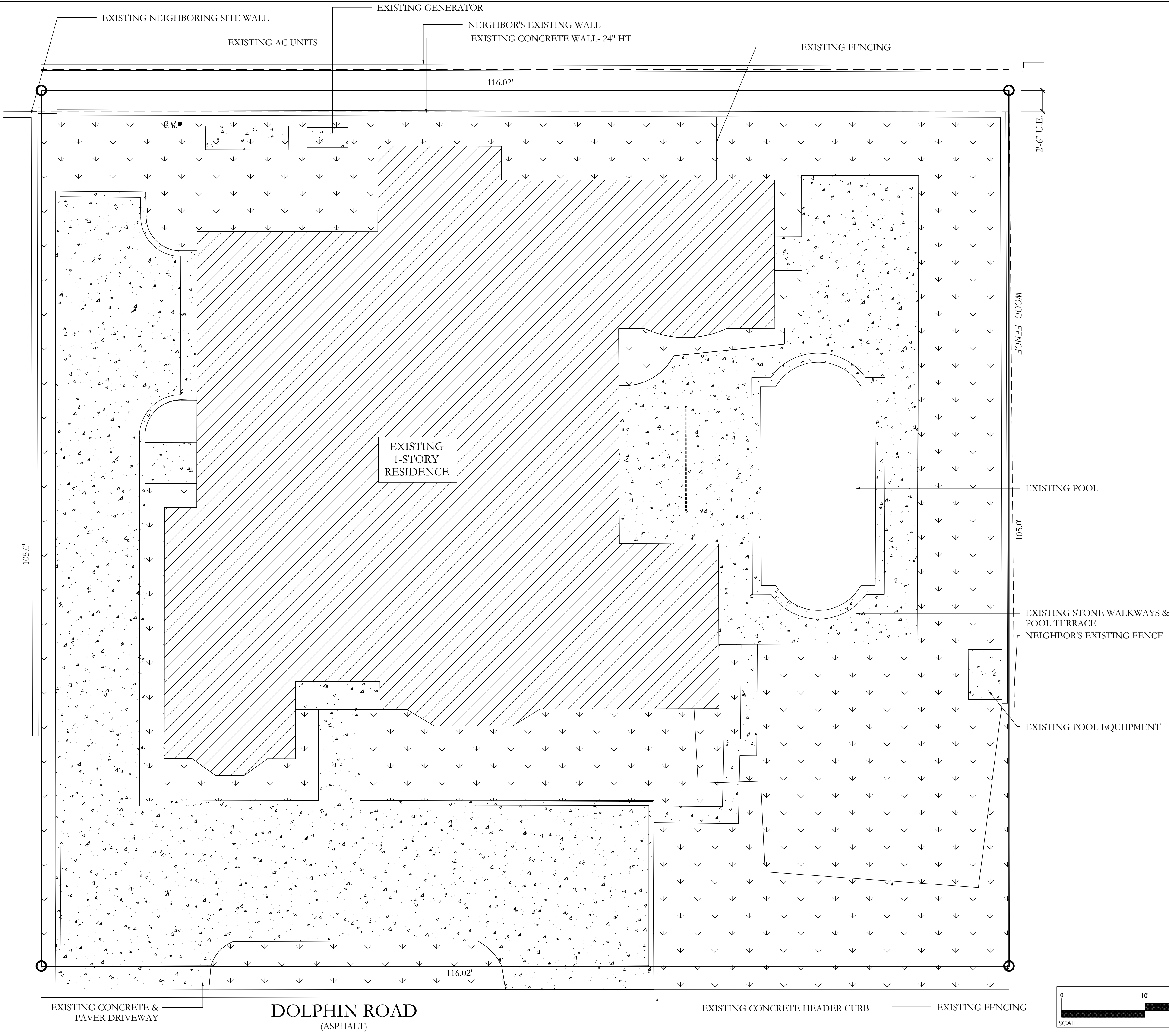
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SCALE: 1/8" = 1'-0"

OSD

DATE:
04 DECEMBER 2024



OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:		
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:		
REQUIRED OPENSOURCE:	4,020.4 S.F.	100 %
PROPOSED LANDSCAPE:	2,010.2 S.F.	50.0 %
PROPOSED HARDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %

ARC-24-0074 REV2
FINAL SUBMITTAL

PARADELO | BURGESS

design studio

1177 CLARE AVENUE, SUITE 7
WEST PALM BEACH, FLORIDA
561.951.7525 | INFO@PARADELOBURGESS.COM

EXISTING HARDSCAPE PLAN

FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

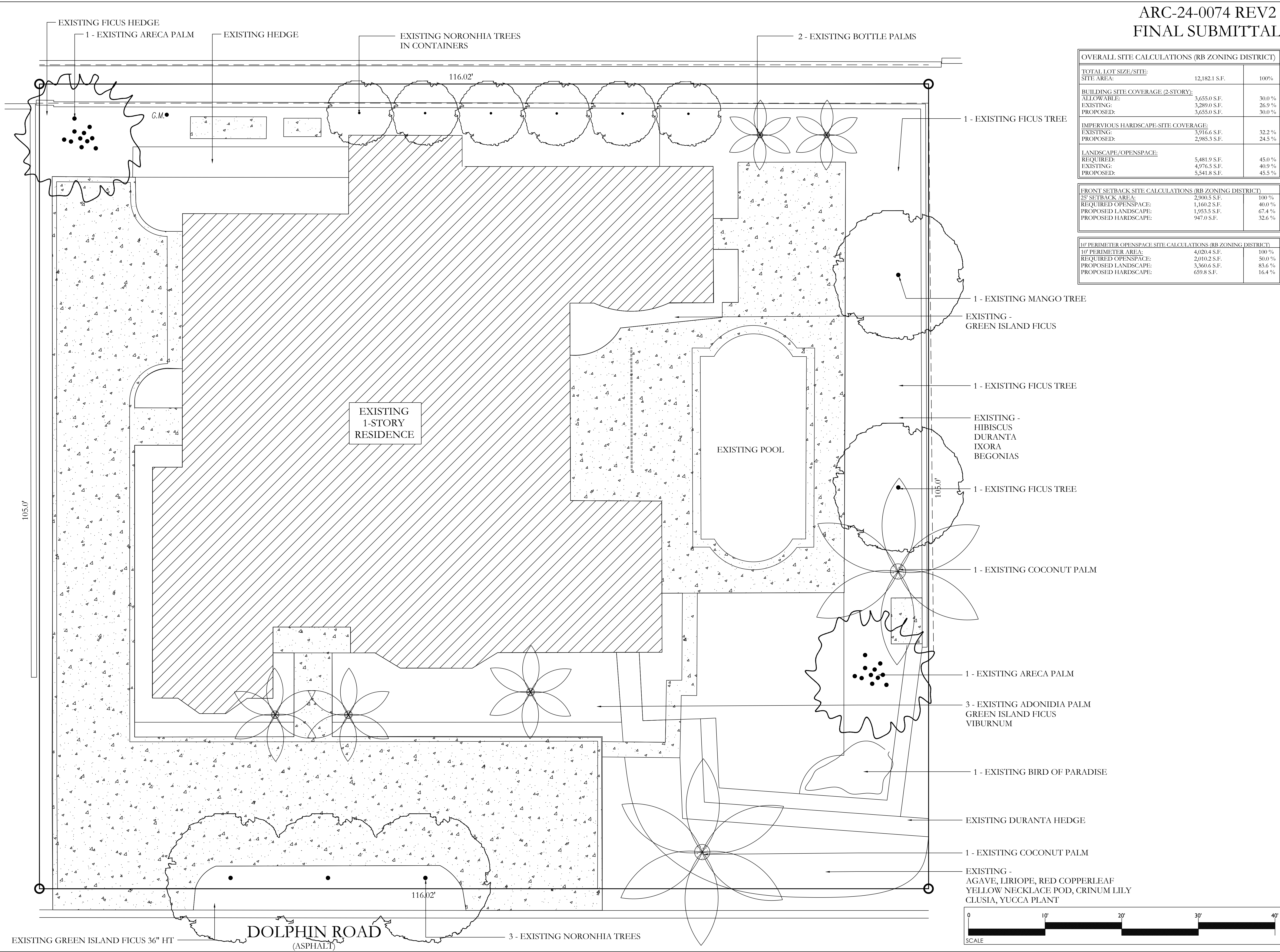
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SCALE: 3/16" = 1'-0"

EX1

DATE:
04 DECEMBER 2024



ARC-24-0074 REV2
FINAL SUBMITTAL

OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:		
2900.5 S.F.	100 %	
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:		
4,020.4 S.F.	100 %	
REQUIRED OPENSOURCE:	2,010.2 S.F.	50.0 %
PROPOSED LANDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %

EXISTING VEGETATION PLAN

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FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

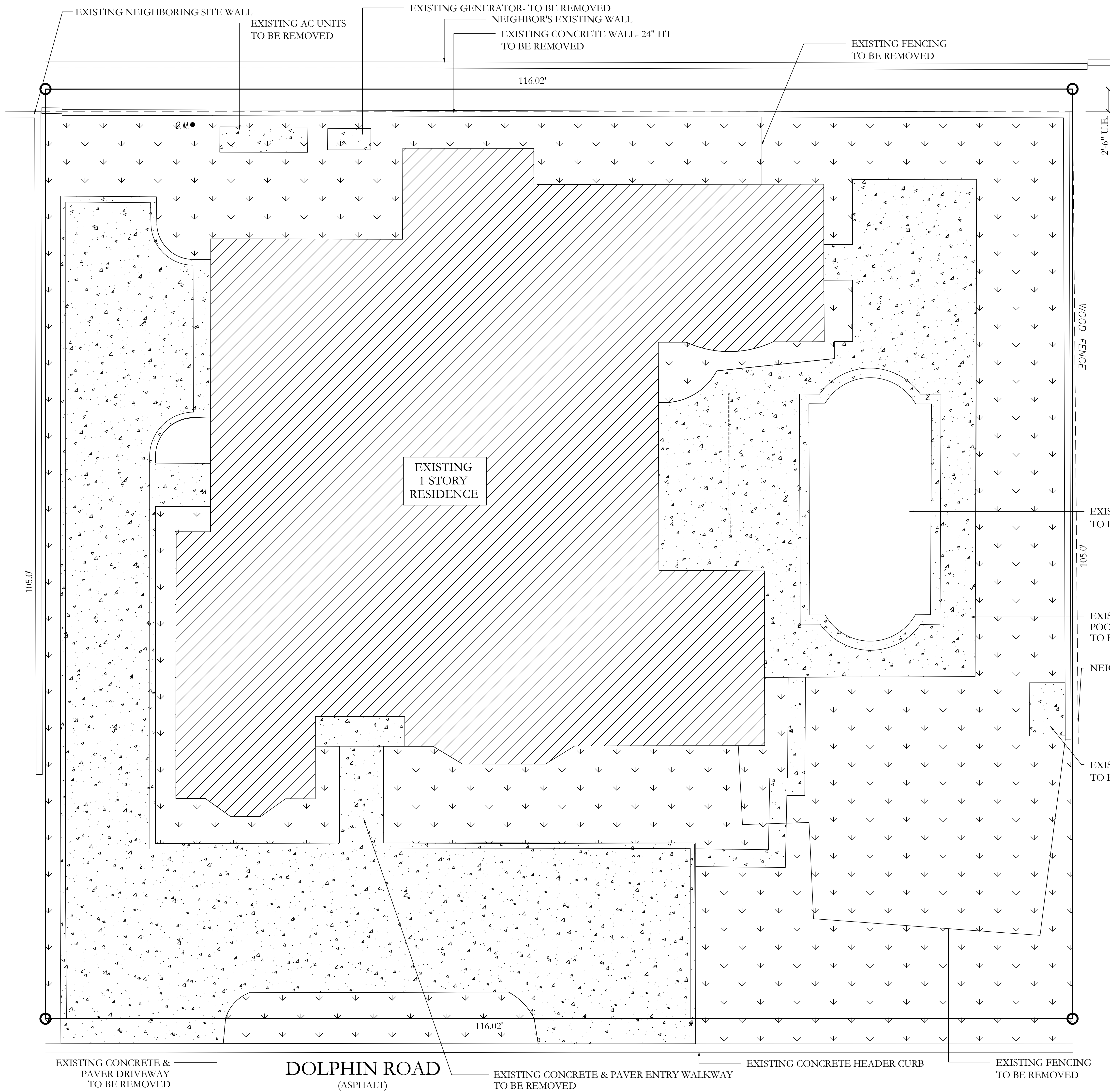
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SCALE: 3/16" = 1'-0"

EVP

DATE:
04 DECEMBER 2024



OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
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PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:		
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:		
REQUIRED OPENSOURCE:	4,020.4 S.F.	100 %
PROPOSED LANDSCAPE:	2,010.2 S.F.	50.0 %
PROPOSED HARDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %

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HARDSCAPE DISPOSITION PLAN

FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

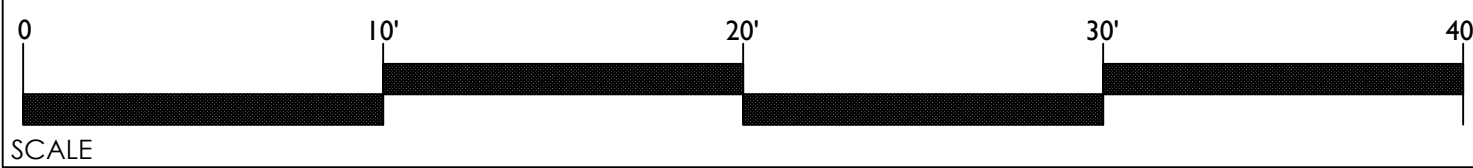
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LICENSE # LA6667220

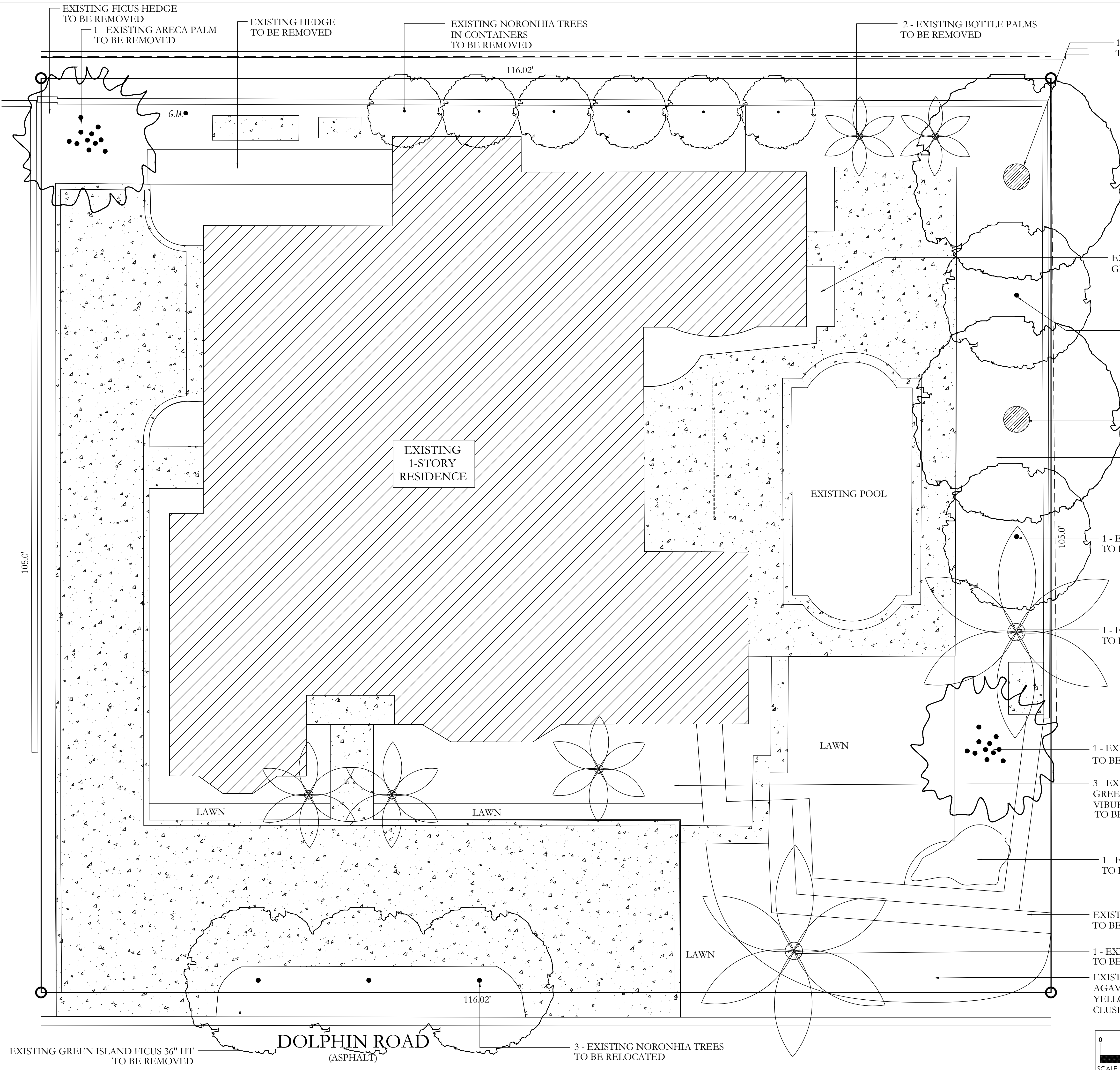
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SCALE: 3/16" = 1'-0"

HDP

DATE:
04 DECEMBER 2024





OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %
FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:	2,900.5 S.F.	100 %
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %
10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:	4,020.4 S.F.	100 %
REQUIRED OPENSOURCE:	2,010.2 S.F.	50.0 %
PROPOSED LANDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %

PARADELO | BURGESS

design studio

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LANDSCAPE DISPOSITION PLAN

FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

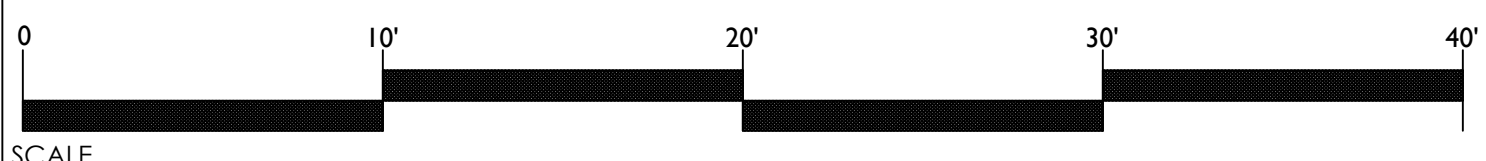
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SCALE: 3/16" = 1'-0"

LDP

DATE:
04 DECEMBER 2024



(1) RELOCATED FIGUS TREE

(20) CLUSIA HEDGE
8' HT MIN

(7) COCONUT PALM
16-18' GW

ARC-24-0074 REV2
FINAL SUBMITTAL

(2) THATCH PALMS, 10-12' HT OA W/
(30) GREEN ISLAND FIGUS, 3 GAL
(10) DWARF ALOCASIA, 3 GAL

OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)

TOTAL LOT SIZE/SITE:	12,182.1 S.F.	100%
SITE AREA:		
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
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REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)

25' SETBACK AREA:	2,900.5 S.F.	100 %
REQUIRED OPENSAPCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSAPCE SITE CALCULATIONS (RB ZONING DISTRICT)

10' PERIMETER AREA:	4,020.4 S.F.	100 %
REQUIRED OPENSAPCE:	2,010.2 S.F.	50.0 %
PROPOSED LANDSCAPE:	3,360.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %

(500) FROG FRUIT, 4" PLUGS

40 GREEN ISLAND FIGUS, 3 GAL
4 CONFEDERATE JASMINE VINE, 10-12' HT
TRAIN TO CLIMB WALL & TRELLIS ABOVE

(20) GREEN PITTOSPORUM, 15 GAL

(3) RELOCATED
NORONHIA TREES

(40) BEACH BULBINE, 1 GAL
(7) DWARF ALOCASIA, 3 GAL

(2) MAST' TREE, 15' HT OA
(2) LIGUSTRUM TREES, 10-12' HT/ 5' CT
(11) FLORIDA COONTIE, 7 GAL

(200) FROG FRUIT, 1 GAL
(4) MEDJOOOL DATE PALMS, 15' CT

(30) FOXTAIL FERNS, 3 GAL
(24) CLUSIA HEDGE, 8' HT MIN

(15) WART FERN, 3 GAL
(2) LIGUSTRUM TREES, 10-12' HT/ 5' CT

(400) SUNSHINE MIMOSA, 1 GAL
(3) MONSTERA, 7 GAL

(1) PYGMY DATE PALM, 5' HT/TRIPLE
(25) DWARF FAKAHATCHEE GRASS, 3 GAL

(2) ADONIDIA PALMS
15' HT / TRIPLE-TRUNK

(24) FLORIDA COONTIE, 7 GAL
(1) RELOCATED FIGUS TREE

(40) PINWHEEL JASMINE, 3 GAL
(300) FROG FRUIT, 4" PLUGS

500 FROG FRUIT
4" PLUGS

(12) CLUSIA HEDGE
8' HT MIN

(12) GREEN PITTOSPORUM
7 GAL

(2) THATCH PALMS
12-15' HT OA W/
(80) FROG FRUIT, 4" PLUGS

(3) CONFEDERATE JASMINE
VINES, 7 GAL
TRAINED TO COVER WALL

(8) RED TIP COCOPLUM
15 GAL

(20) BEACH BULBINE
1 GAL

(1) ORANGE GEIGER TREE
20' HT OA MIN

(5) GREEN PITTOSPORUM
7 GAL

(2) RELOCATED
COCONUT PALMS

(120) FROG FRUIT
4" PLUGS

(1) SILVER BUTTONWOOD
MULTI-TRUNK TREE
12-15' HT OA
5' CLEAR TRUNK

(15) CLUSIA HEDGE
8' HT MIN

6 FLORIDA COONTIE
7 GAL

(2) THATCH PALMS
10-12' HT OA

(12) GARCINIA HEDGE
3' HT

(15) BEACH BULBINE
1 GAL

(150) SUNSHINE MIMOSA
1 GAL

(1) SILVER BUTTONWOOD
MULTI-TRUNK TREE
12-15' HT OA
5' CLEAR TRUNK

(4) DWARF ALOCASIA, 3 GAL
15 BEACHBULBINE, 1 GAL

(5) COCONUT PALM
16-18' GW

(2) SEAGRAPE TREES
15-18' HT OA

SITE
VISIBILITY TRIANGLE

(13) DWARF FAKAHATCHEE GRASS, 3 GAL

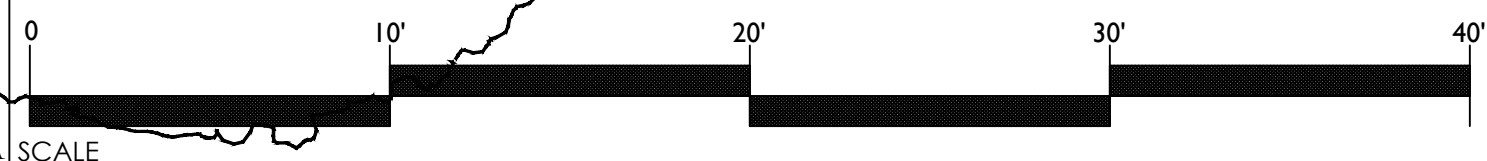
(15) BEACH BULBINE
1 GAL

(10) GARCINIA HEDGE, 6' HT

PROPOSED
2-STORY
RESIDENCE

DOLPHIN ROAD
(ASPHALT)

(2) MEDJOOOL DATE PALMS
15' CT
(2) SEAGRAPE TREES, 15-18' HT OA



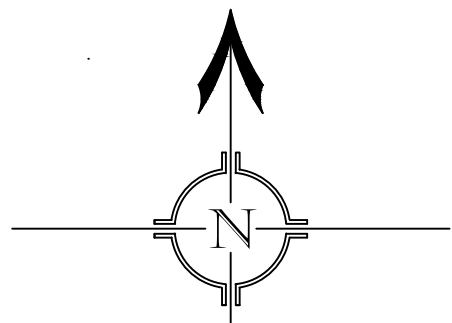
PROPOSED LANDSCAPE PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

JONATHAN BURGESS
LICENSE # LA6667220

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SCALE: 3/16" = 1'-0"

LP1.1

DATE:
04 DECEMBER 2024

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design studio

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WEST PALM BEACH, FLORIDA
561.951.7525 | INFO@PARADELOBURGESS.COM

(1) RELOCATED FICUS TREE

500 FROG FRUIT
4" PLUGS

(12) CLUSIA HEDGE
8' HT MIN

(3) GREEN PITTOSPORUM
7 GAL

(2) THATCH PALMS
12-15' HT OA W/
(80) FROG FRUIT, 4" PLUGS

(1) CONFEDERATE JASMINE
VINES, 7 GAL
TRAINED TO COVER WALL

(8) RED TIP COCOPLUM
15 GAL

(20) BEACH BULBINE
1 GAL

(1) ORANGE GEIGER TREE
20' HT OA MIN

(1) GREEN PITTOSPORUM
7 GAL

(2) RELOCATED
COCONUT PALMS

(15) CLUSIA HEDGE
8' HT MIN

(1) SILVER BUTTONWOOD
MULTI-TRUNK TREE
12-15' HT OA
5' CLEAR TRUNK
(4) DWARF ALOCASIA, 3 GAL
15 BEACHBULBINE, 1 GAL

(3) COCONUT PALM
16-18' GW

(2) SEAGRAPE TREES
15-18' HT OA

(13) DWARF FAKAHATCHEE GRASS, 3 GAL

(15) BEACH BULBINE
1 GAL

(10) GARCINIA HEDGE, 6' HT

(20) CLUSIA HEDGE
8' HT MIN

116.02'

(7) COCONUT PALM
16-18' GW

(2) THATCH PALMS, 10-12' HT OA W/
(30) GREEN ISLAND FICUS, 3 GAL
(10) DWARF ALOCASIA, 3 GAL

(500) FROG FRUIT, 4" PLUGS

(20) GREEN PITTOSPORUM, 15 GAL

(3) RELOCATED
NORONHIA TREES

(1) MAST TREE, 15' HT OA

(1) FLORIDA COONTIE, 7 GAL

(20) FROG FRUIT, 1 GAL

(1) MEDJOOl DATE PALM, 15' CT

(24) CLUSIA HEDGE, 8' HT MIN

(15) WART FERN, 3 GAL

(400) SUNSHINE MIMOSA, 1 GAL

(3) MONSTERA, 7 GAL

(1) PYGMY DATE PALM, 5' HT/TRIPLE

(25) DWARF FAKAHATCHEE GRASS, 3 GAL

(2) ADONIDIA PALMS
15' HT / TRIPLE-TRUNK

(24) FLORIDA COONTIE, 7 GAL

(1) RELOCATED FICUS TREE

(40) PINWHEEL JASMINE, 3 GAL

(300) FROG FRUIT, 4" PLUGS

(1) MEDJOOl DATE PALM
15' CT

(2) SEAGRAPE TREES, 15-18' HT OA

DOLPHIN ROAD
(ASPHALT)

ARC-24-0074 REV2
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design studio

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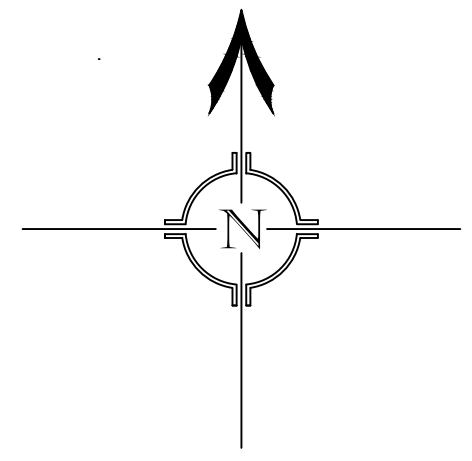
PROPOSED PERIMETER LANDSCAPE PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

JONATHAN BURGESS
LICENSE # LA6667220

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SCALE: 3/16" = 1'-0"

LP1.2

DATE:
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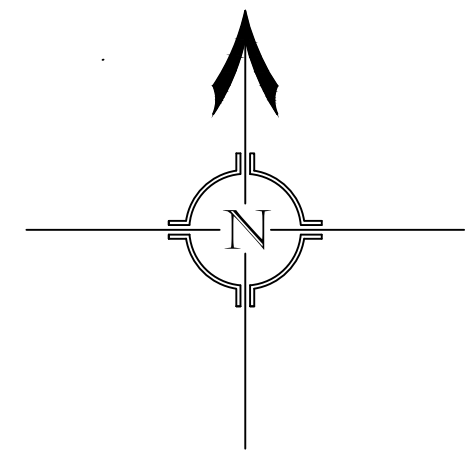
PROPOSED NATIVE LANDSCAPE PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

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LICENSE # LA6667220

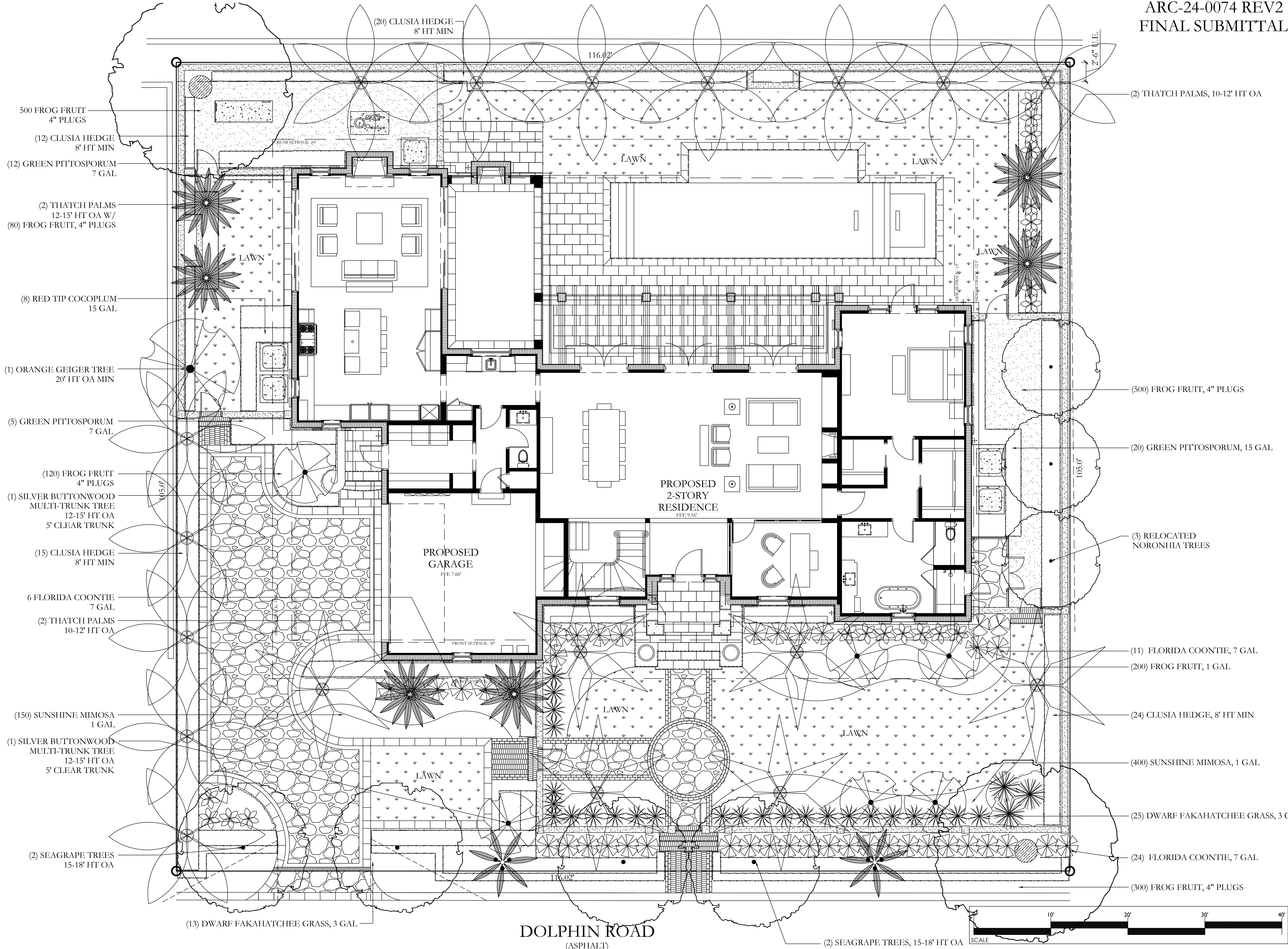
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SCALE: $\frac{3}{16}$ " = 1'-0"

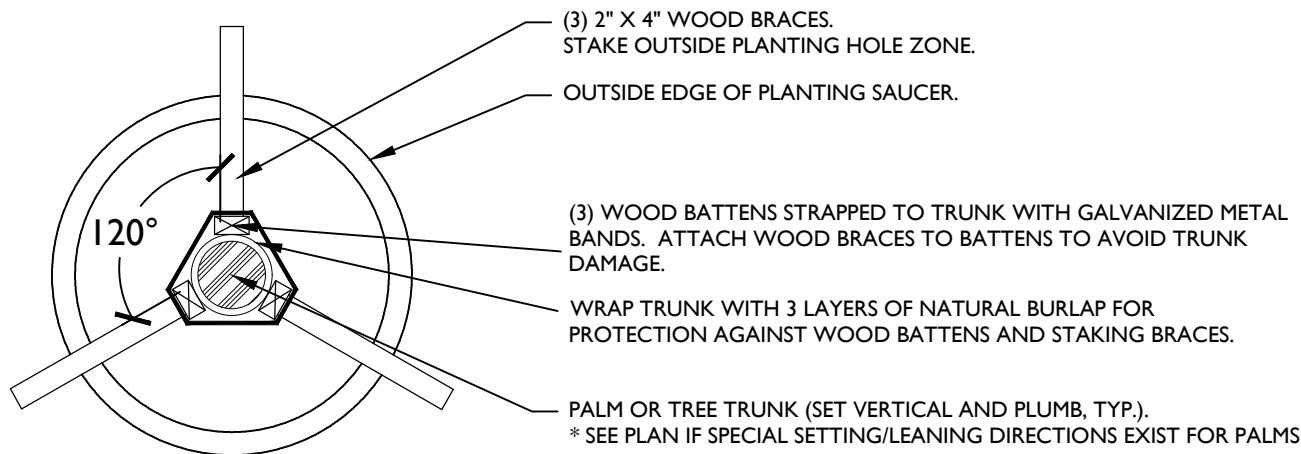
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DATE:
04 DECEMBER 2024



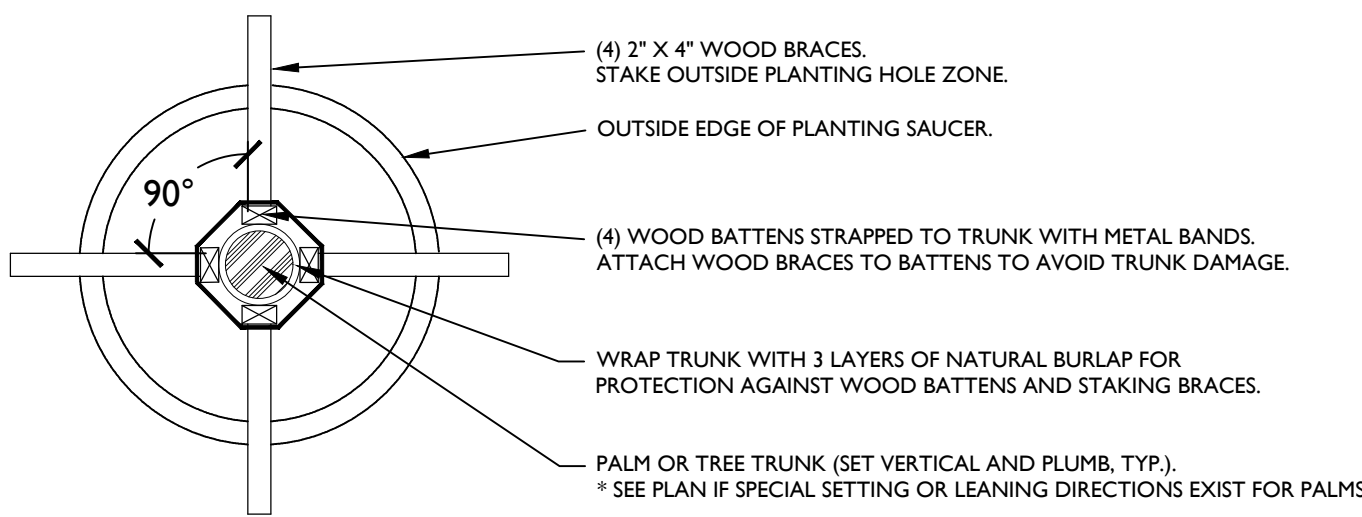
SMALL PALM STAKING PLAN

NOTE:
1. APPLICABLE TO ALL PALMS WITH CALIPER SIZE OF LESS THAN SIX (6) INCHES.
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

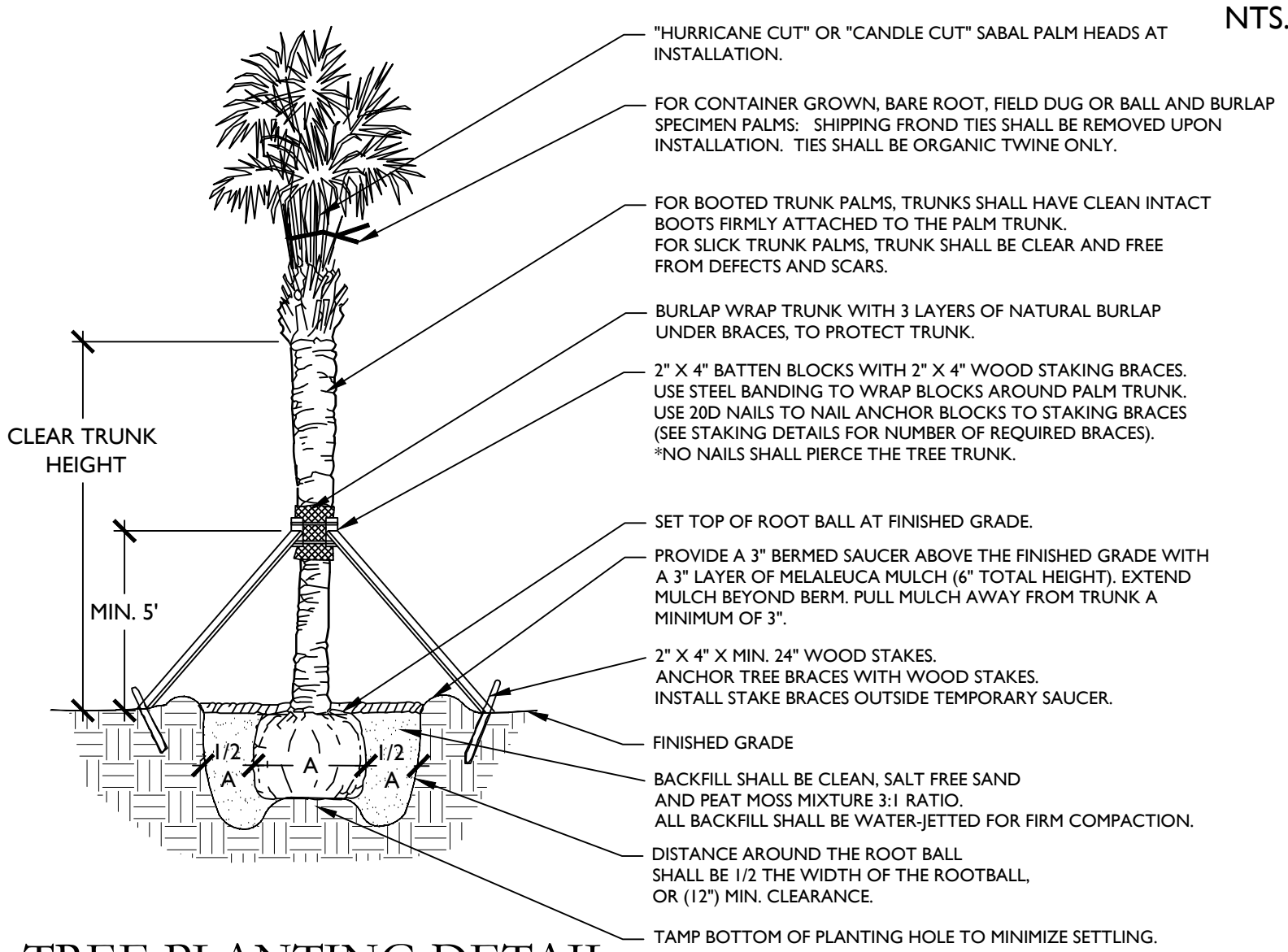


LARGE PALM OR TREE STAKING PLAN

NOTE:
1. APPLICABLE TO ALL MULTI-TRUNK PALMS AND PALMS WITH CALIPER SIZE OF SIX (6) INCHES OR GREATER.
2. ALL TREE SUPPORTS MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS FOR SHADE TREES OR ONE YEAR FOR PALMS.

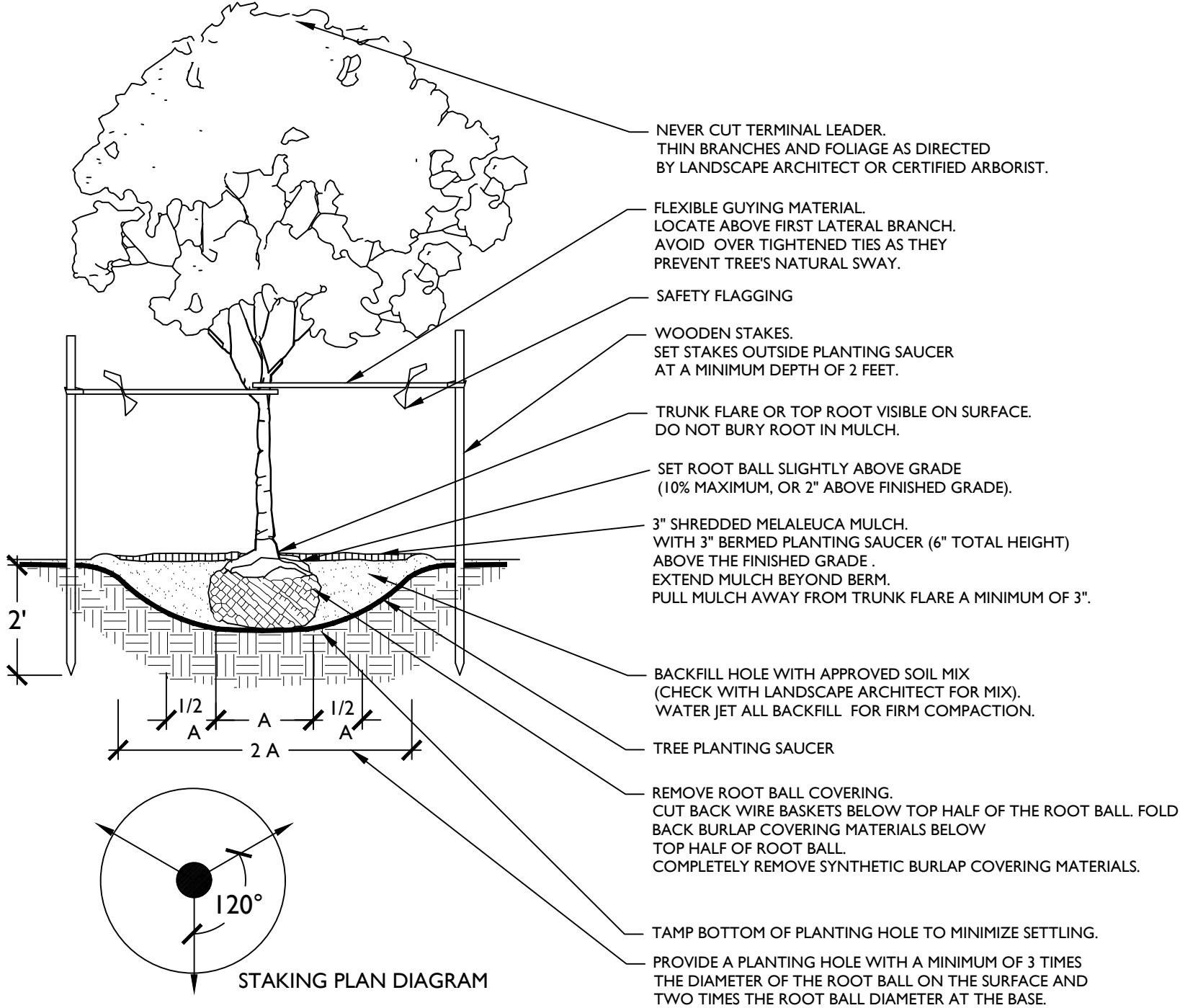


PALM PLANTING DETAIL

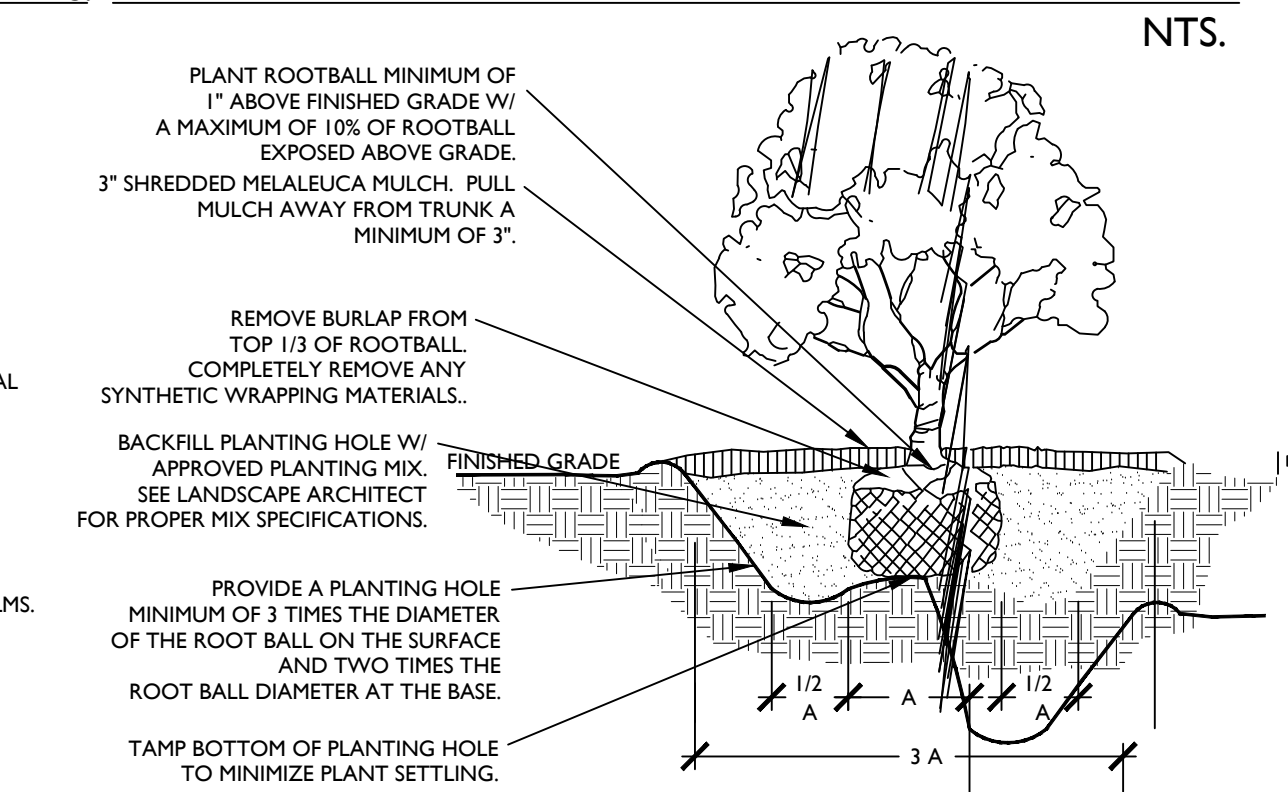


TREE PLANTING DETAIL

NOTE:
1. ALL TREE SUPPORT MATERIALS ARE TO BE REMOVED FROM EACH TREE ONCE IT IS ESTABLISHED. TYPICALLY SIX MONTHS TO ONE YEAR AFTER PLANTING FOR SHADE TREES.

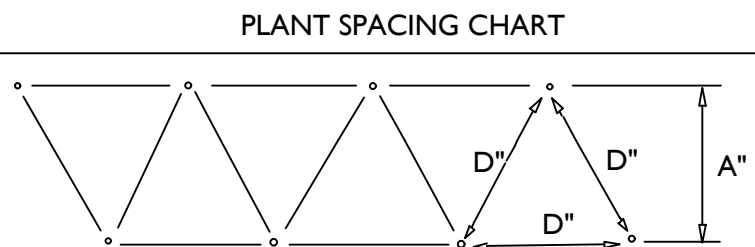


SHRUB PLANTING DETAIL

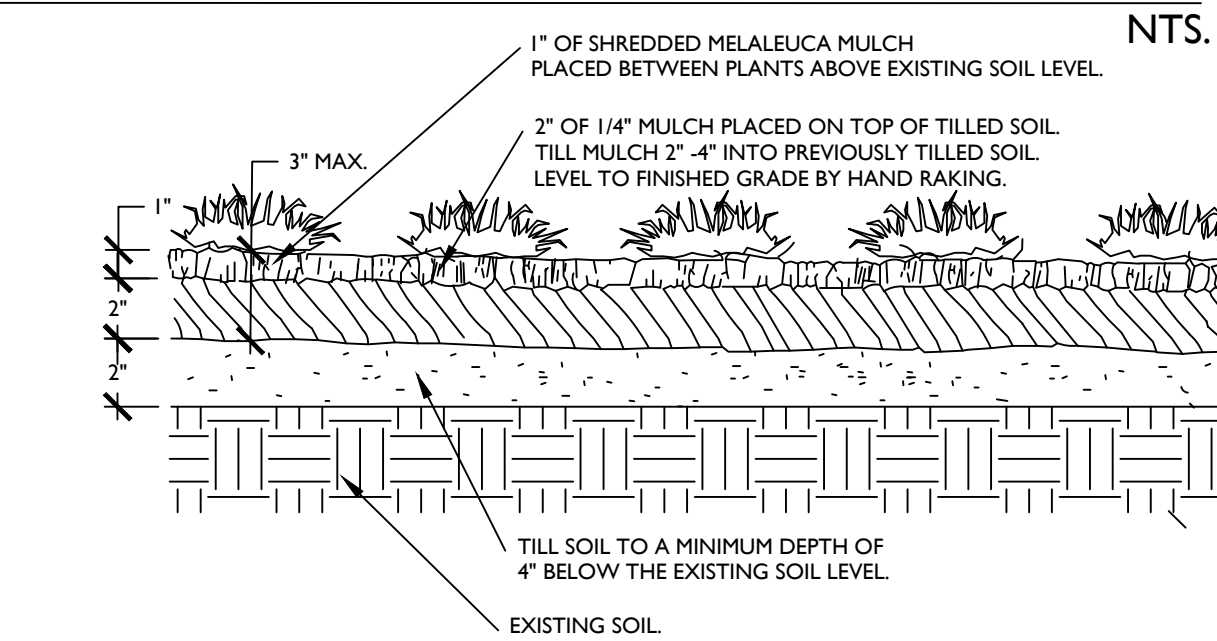


PLANT SPACING DETAIL

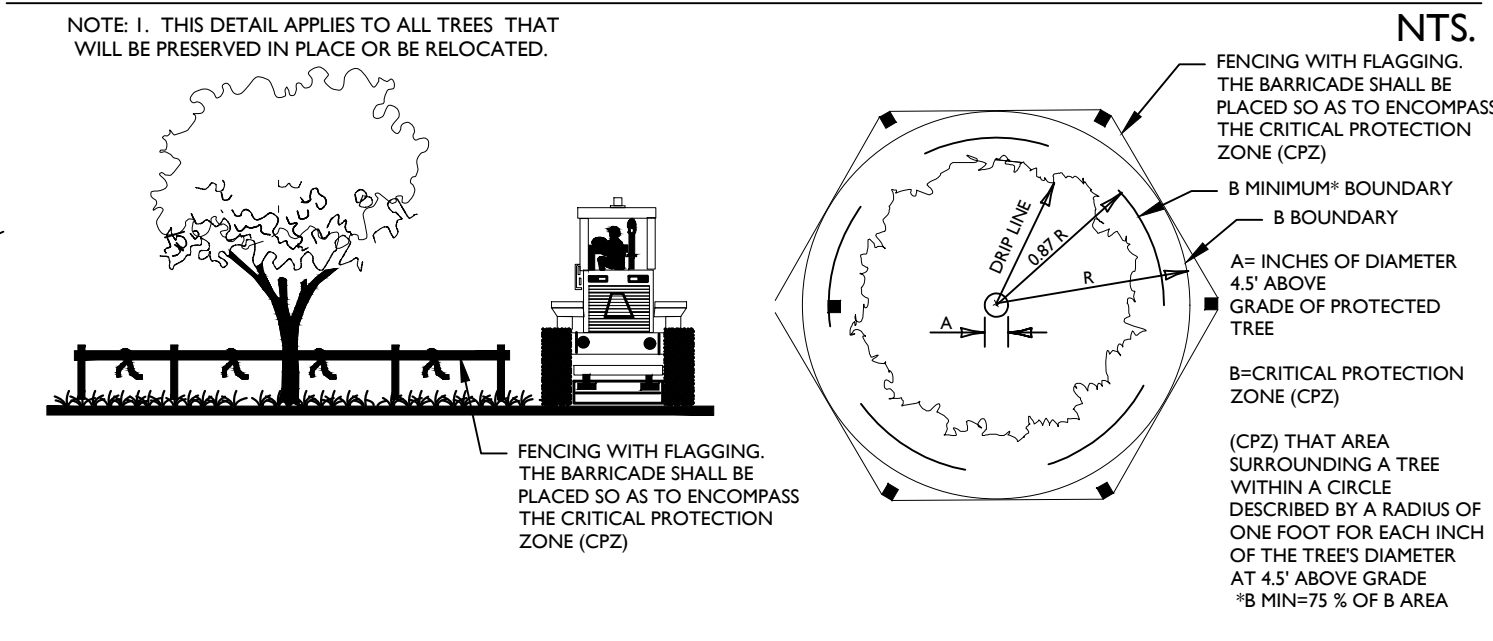
SPACING "D"	ROW "A"
6" O.C.	5.2"
8" O.C.	6.93"
10" O.C.	8.66"
12" O.C.	10.4"
18" O.C.	15.8"
24" O.C.	20.8"
30" O.C.	26.0"
36" O.C.	31.2"
48" O.C.	41.6"



GROUNDCOVER DETAIL



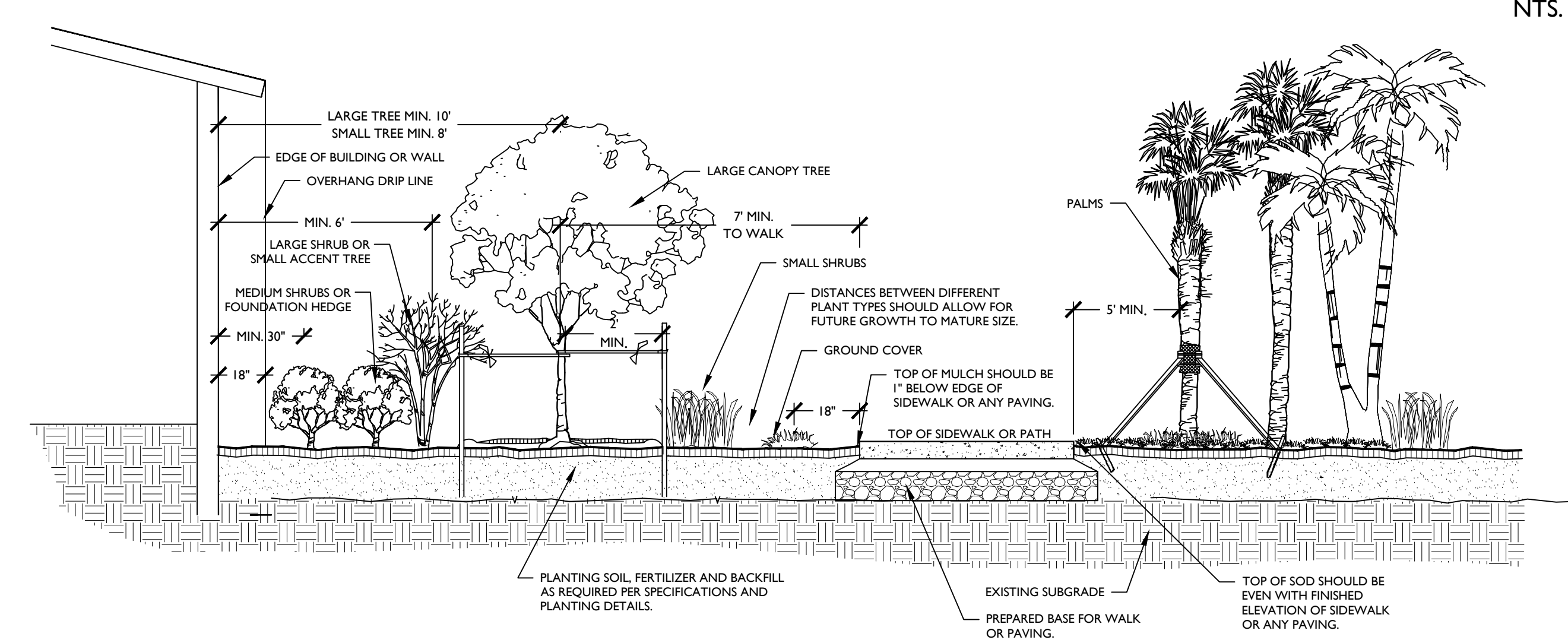
TREE PROTECTION DETAIL



LANDSCAPE SCHEDULE				
QTY	COMMON NAME	BOTANICAL NAME	SIZES/SPECS	NATIVE
TREES PALMS -				
2	ADONIDIA PALMS	ADONIDIA MERRILLII	15' HT / TRIPLE-TRUNK	NO
6	MEDJOOOL DATE PALMS	PHOENIX DACTYLIFERA	15' CT	NO
4	SEAGRAPE TREE	COCOLOBIA UVIFERA	15-18' HT' OA	YES
2	LIGUSTRUM TREE	LIGUSTRUM LUCIDUM	10-12' HT' OA/ 5' CT	YES
2	SILVER BUTTONWOOD TREE	CONOCARPUS ERECTUS	12-15' HT' OA/MULTI-TRUNK/5' CLEAR TRUNK	YES
1	ORANGE GEIGER TREE	CORDIA SEBESTINA	20' HT' OA MIN	YES
10	COCONUT PALM	COCO NUCIFERA	10-12' GW	NO
6	THATCH PALM	THRINAX RADIATA	10-12' HT' OA	YES
3	MAST TREE	SARAKA ASOCA	15' HT	NO
UNDERSTORY SHRUBS -				
1	PYGMY DATE PALM	PHOENIX ROEBELENI	5' HT / TRIPLE TRUNK	NO
71	CLUSIA HEDGE	CLUSIA ROSEA	8' HT MIN	YES
10	GARCINIA HEDGE	XANTHOCHYMUS	6' HT	NO
12	GARCINIA HEDGE	XANTHOCHYMUS	3' HT	YES
8	RED TIP COCOPLUM HEDGE	CHRYSOBALANUS ICACO	15 GAL	YES
41	FLORIDA COONTIE	ZAMIA INTEGRIFOLIA	7 GAL	YES
70	GREEN ISLAND FICUS, 3 GAL	FICUS MICROCARPA	3 GAL	NO
37	GREEN PITTOSPORUM	PITTOSPORUM TENUIFOLIUM	7 GAL	NO
20	GREEN PITTOSPORUM	PITTOSPORUM TENUIFOLIUM	15 GAL	NO
3	CONFEDERATE JASMINE VINE	TRACHELOSPERMUM JASMINOIDES	7 GAL / TRAINED TO COVER WALL	YES
38	DWARF PAKAHATCHEE GRASS	TRIPSACUM FLORIDANUM	3 GAL	NO
15	WART FERN	PHYMATOSORUS SCOLOPENDRIA	3 GAL	NO
30	FOXTAIL FERN	ASPARGUS DENSIFLORUS	3 GAL	NO
105	BEACH BULBINE	BULBINE FRUTESCENS	1 GAL	YES
7	CONFEDERATE JASMINE VINE	JASMINUM JASMINOIDES	15 GAL	YES
40	PINKWHEEL JASMINE	JASMINUM TRACHELOSPERMUM	3 GAL	NO
3	MONSTERA	MONSTERA DELICIOSA	7 GAL	NO
21	DWARF ALOCASIA	ALOCASIA CALIFORNIA	3 GAL	NO
GROUNDCOVERS -				
550	SUNSHINE MIMOSA	MIMOSA STRIGILLOSA	1 GAL	YES
1,700	FROG FRUIT	PHYLA NODIFLORA	1 GAL	YES
2,000 SF	ZOYSIA TURF	ZOYSIA	PALLET	YES
250	PREMIUM BLACK MULCH	-	BAGS	-
RELOCATED TREES & PALMS -				
3	NORONHIA TREE	NORONHIA EMARGINATA	EXISTING TO BE RELOCATED	NO
2	COCONUT PALM	COCOS NUCIFERA	EXISTING TO BE RELOCATED	NO
2	FICUS TREE	FICUS NTIDA	EXISTING TO BE RELOCATED	NO

NATIVE PLANTING REQUIREMENTS (35% OF PROPOSED PLANTINGS)	
TOTAL EXISTING TREES & PALMS TO BE RELOCATED:	7 TREES & PALMS
TOTAL PROPOSED TREES & PALMS	36 TREES & PALMS
TOTAL SHRUBS, HEDGES, VINES, GROUNDCOVERS:	2,782 UNDERSTORY PLANTS
TOTAL PROPOSED PLANTINGS:	2,818 TOTAL PLANTINGS
35% NATIVE PLANTINGS REQUIRED	884 REQUIRED NATIVE PLANTS
NATIVE PLANTS PROVIDED	2,528 NATIVE PLANTS

TYPICAL PLANTING DIAGRAM



LANDSCAPE NOTES:

- STRUCTURAL ELEMENTS AND HARDSCAPE FEATURES INDICATED ON LANDSCAPE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. LANDSCAPE PLANS ARE TO BE UTILIZED FOR LOCATION OF LIVING PLANT MATERIAL ONLY. LANDSCAPE PLANS SHOULD NOT BE UTILIZED FOR STAKING AND LAYOUT OR LOCATION OF ANY STRUCTURAL SITE FEATURES INCLUDING BUT NOT LIMITED TO: BUILDINGS, SIGNAGE, PATHWAYS, EASEMENTS, BERMS, WALL, FENCES, UTILITIES OR ROADWAYS.
- CONTRACTOR SHALL ACQUIRE ALL APPLICABLE FEDERAL, STATE, LOCAL, JURISDICTIONAL OR UTILITY COMPANY PERMITS REQUIRED PRIOR TO REMOVAL, RELOCATION, AND/OR INSTALLATION OF LANDSCAPE MATERIALS INDICATED WITHIN PLAN DOCUMENTS. THE CONTRACTOR SHALL HAVE PERMITS "IN HAND" PRIOR TO STARTING WORK. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR WORK PERFORMED WITHOUT PERMITTED DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES TO THE WORK, AT NO ADDITIONAL COST TO THE OWNER, AS A RESULT OF UNAUTHORIZED WORK PRIOR TO RECEIPT OF PERMIT.
- TREES SHOWN ON THIS PLAN ARE FOR GRAPHIC REPRESENTATION ONLY. TREE SPACING IS BASED ON DESIGN REQUIREMENTS AND THE TREES SHOWN ON THESE PLANS ATTEMPT TO ACCOMPLISH THAT SPACING WHILE MAINTAINING THE REQUIRED SETBACKS FROM UTILITIES. IN THE EVENT OF A CONFLICT, AFFECTED PLANT MATERIAL SHALL BE FIELD ADJUSTED WITH THE APPROVAL OF THE LANDSCAPE ARCHITECT TO AVOID CONFLICTS WITH THE WITH EXISTING AND PROPOSED UTILITIES, LIGHT POLES, DRAINAGE STRUCTURES OR LINES, LAKE MAINTENANCE EASEMENTS OR OTHER AFFECTED SITE FEATURES.
- ANY PLANTING WITHIN THE SIGHT TRIANGLES SHALL PROVIDE UNOBSTRUCTED VIEWS AT A LEVEL BETWEEN 30" AND 8' ABOVE THE PAVEMENT.
- ALL UTILITY BOXES/ STRUCTURES TO BE SCREENED ON 3 SIDES W/ APPROVED PLANTING MATERIAL.
- IRRIGATION IS REQUIRED PROVIDING 100% COVERAGE WITH A MAXIMUM OF 50% OVERLAP, AN AUTOMATIC RAIN SENSOR MUST BE INCLUDED.
- ALL PLANT MATERIAL TO BE INSTALLED SHALL CONFORM TO FLORIDA POWER AND LIGHTS' (FPLS) RIGHT TREE RIGHT PLACE GUIDELINES.
- IN CASE OF DISCREPANCIES PLANS TAKE PRECEDENCE OVER PLANT LIST.
- LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES PRIOR TO BIDDING.
- REMOVAL OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR.
- RELOCATION OF EXISTING VEGETATION IS RESPONSIBILITY OF LANDSCAPE CONTRACTOR. REFER TO SPECIFICATIONS FOR RELOCATION INSTRUCTIONS.
- LOCATION OF PROPOSED ROYAL PALMS BASED ON PROPERTY OWNER'S PREFERENCE. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE INCURRED TO AUTOMOBILES OR OTHER PERSONAL PROPERTY DUE TO FALLING FRONDS.
- ALL PLANT MATERIAL IS TO BE FLORIDA GRADE #1 OR BETTER.
- ALL PLANTING MATERIAL TO HAVE ONE YEAR WARRANTY FROM FINAL APPROVAL.

PARADELO | BURGESS

design studio

1177 CLARE AVENUE- SUITE 7
WEST PALM BEACH, FLORIDA

561.951.7525 | INFO@PARADELOBURGESS.COM

LANDSCAPE DETAILS & SPECS

FUSZ RESIDENCE

117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

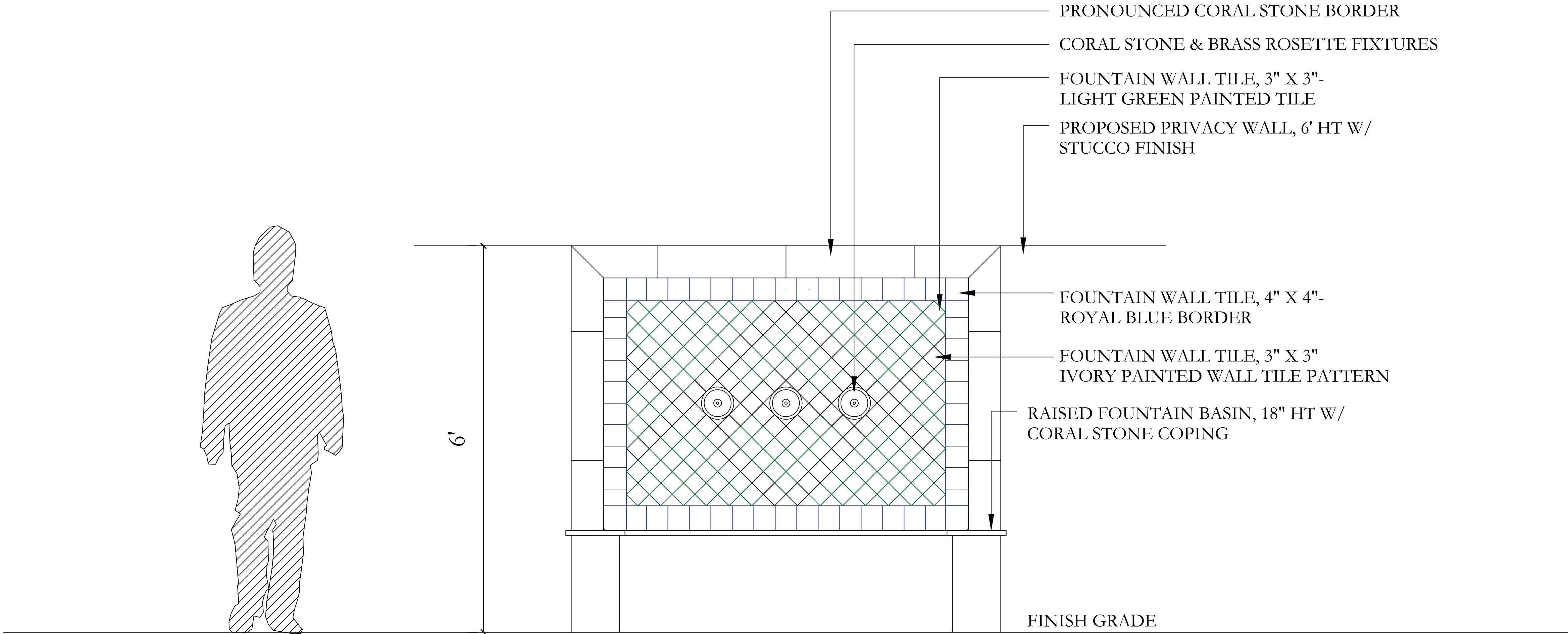
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SCALE AS SHOWN

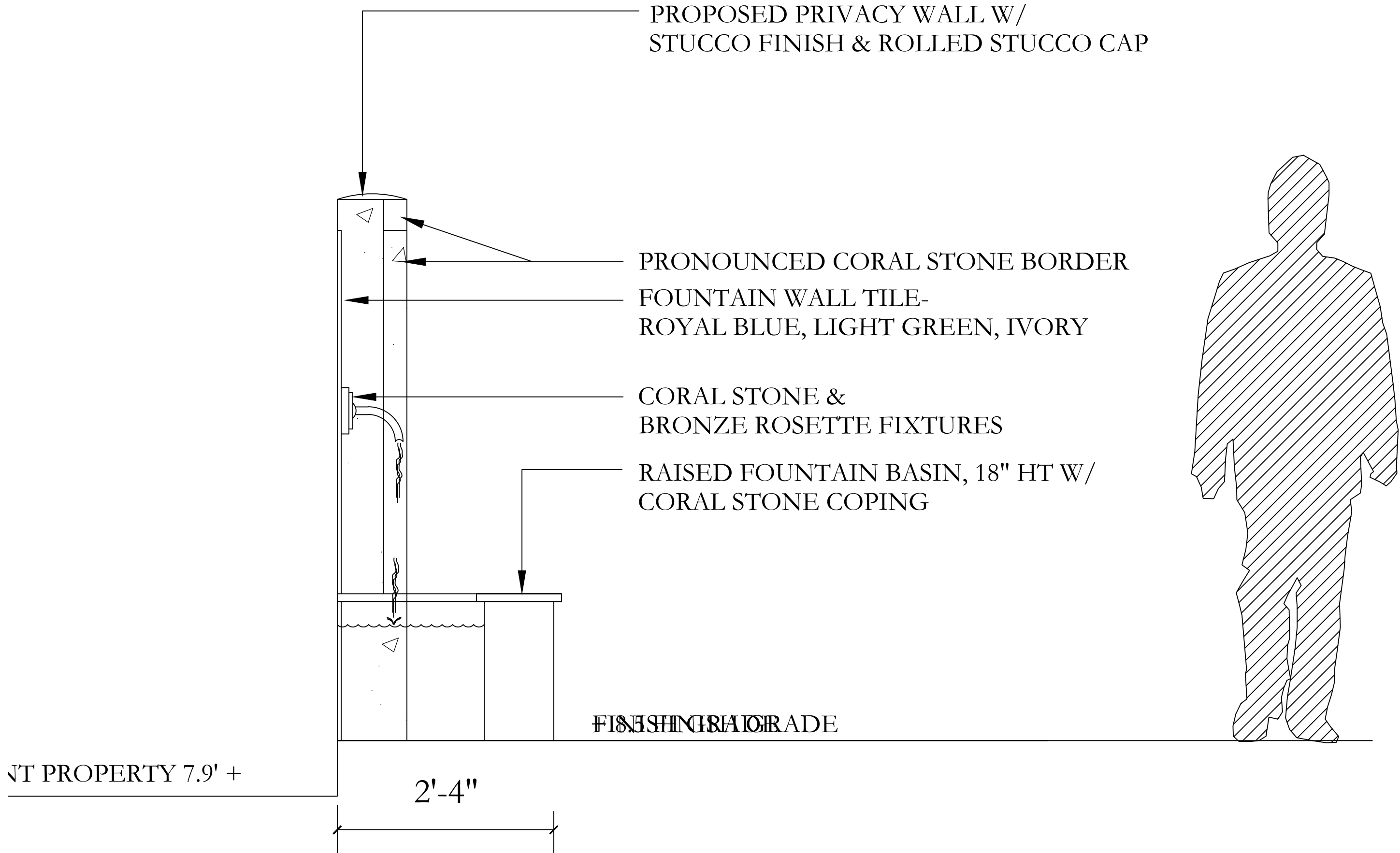
LP1.4

DATE:
04 DECEMBER 2024



PROPOSED WALL FOUNTAIN - ELEVATION DETAIL

SCALE : 1" = 1'-0"



PROPOSED WALL FOUNTAIN - SECTION DETAIL

SCALE : 1" = 1'-0"

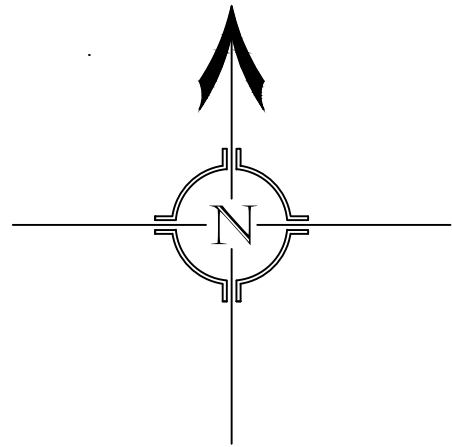
PROPOSED HARDSCAPE PLAN

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SCALE AS SHOWN

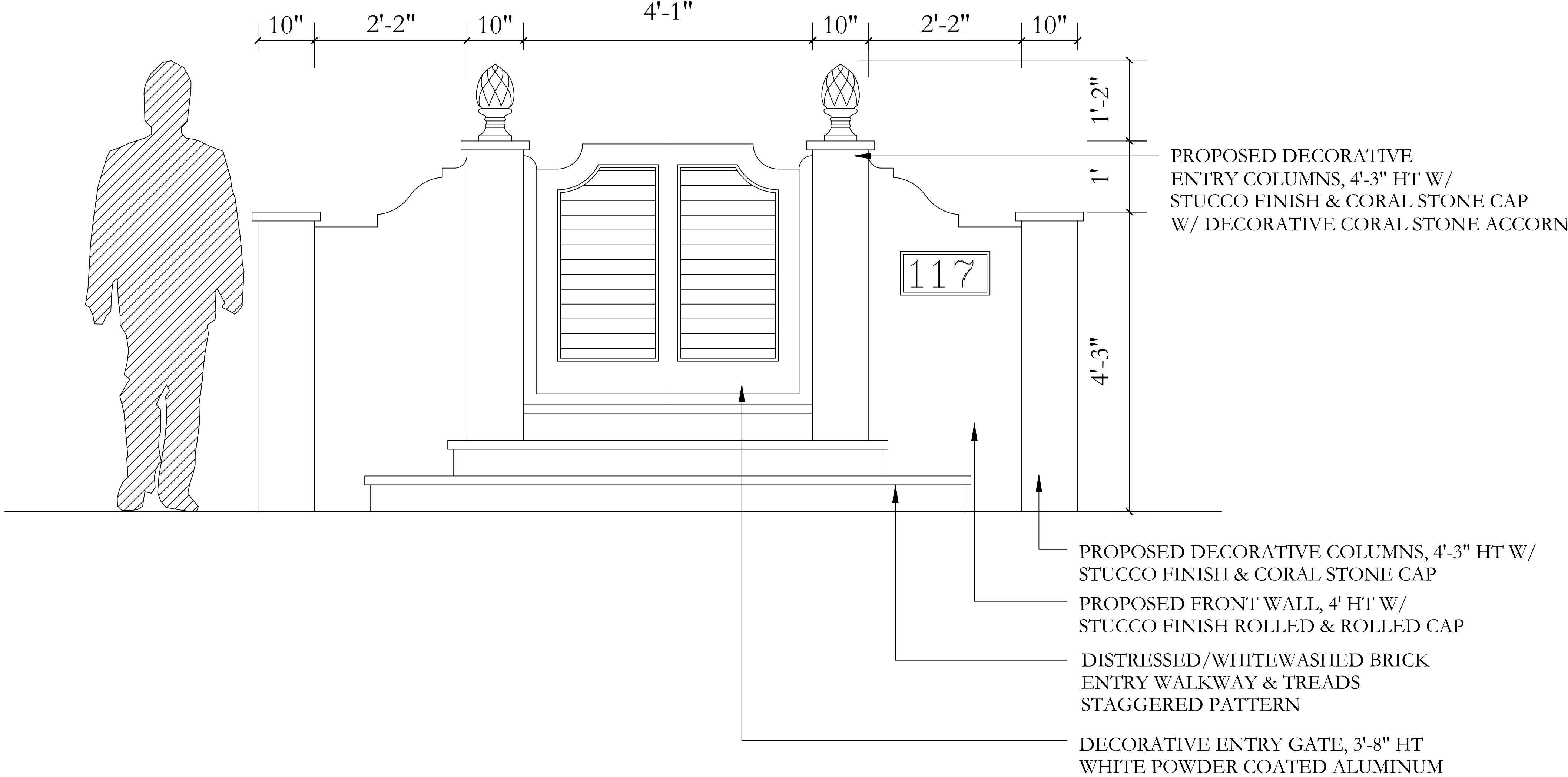
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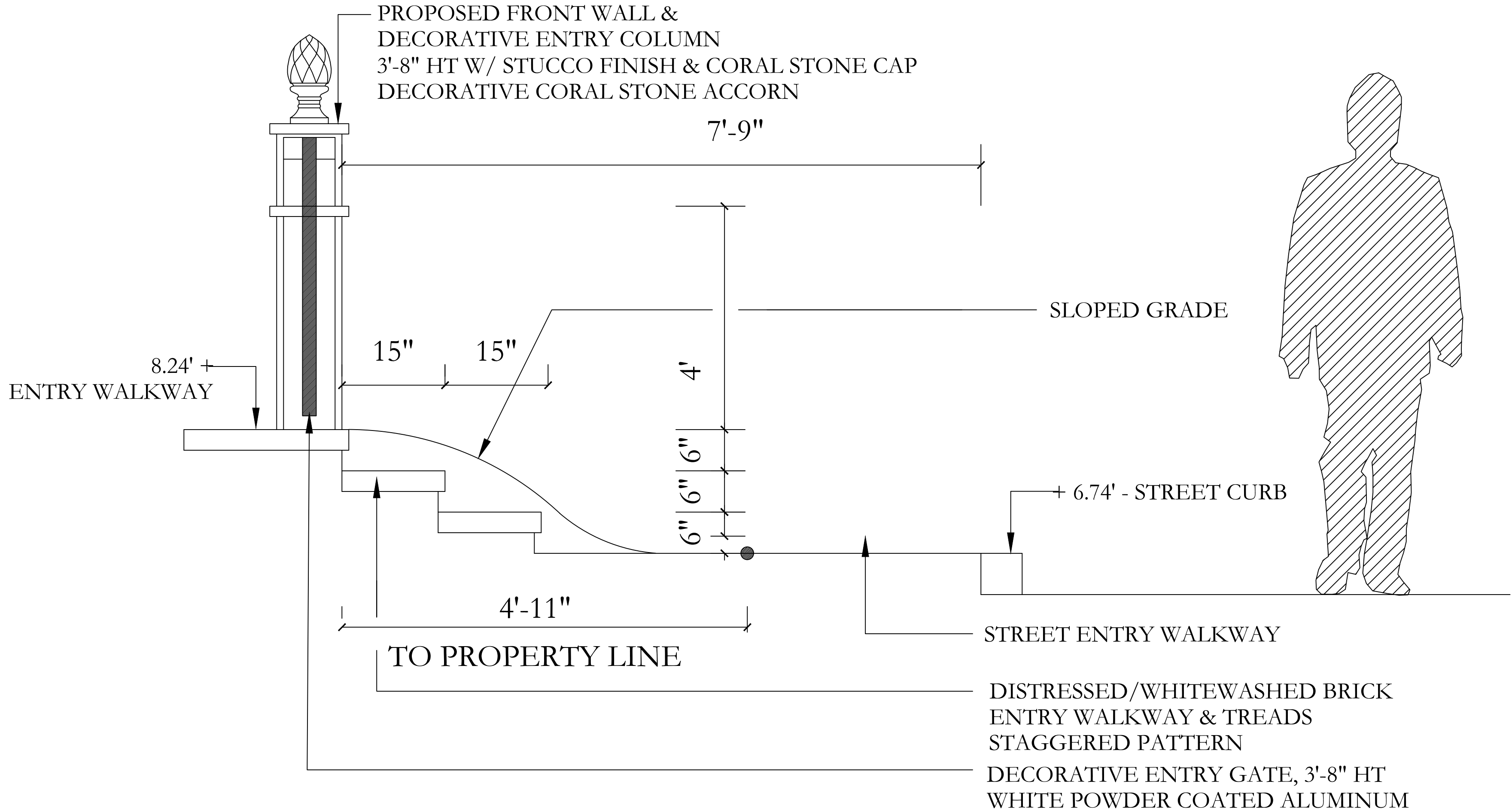
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PROPOSED FRONT ENTRY WALL/COLUMNS/GATE - ELEVATION DETAIL

SCALE : $\frac{1}{2}$ " = 1'-0"



PROPOSED FRONT ENTRY WALL/COLUMNS/GATE - SECTION DETAIL

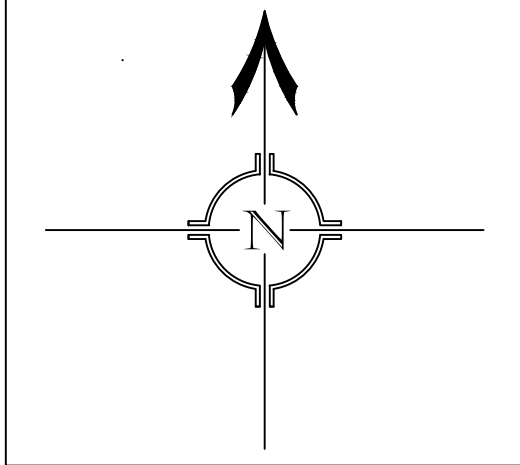
SCALE : 1" = 1'-0"

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SCALE AS SHOWN

HD.2

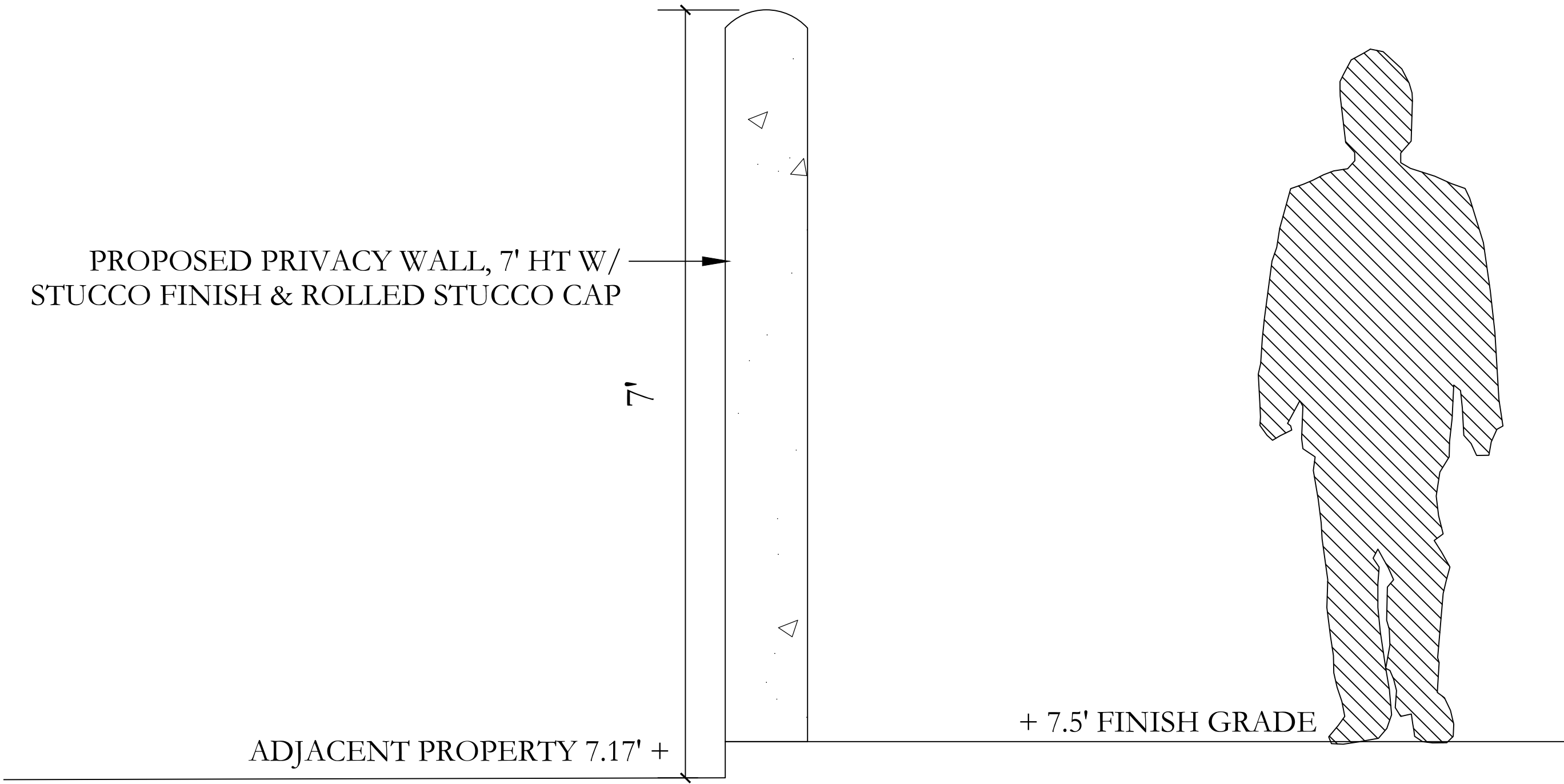
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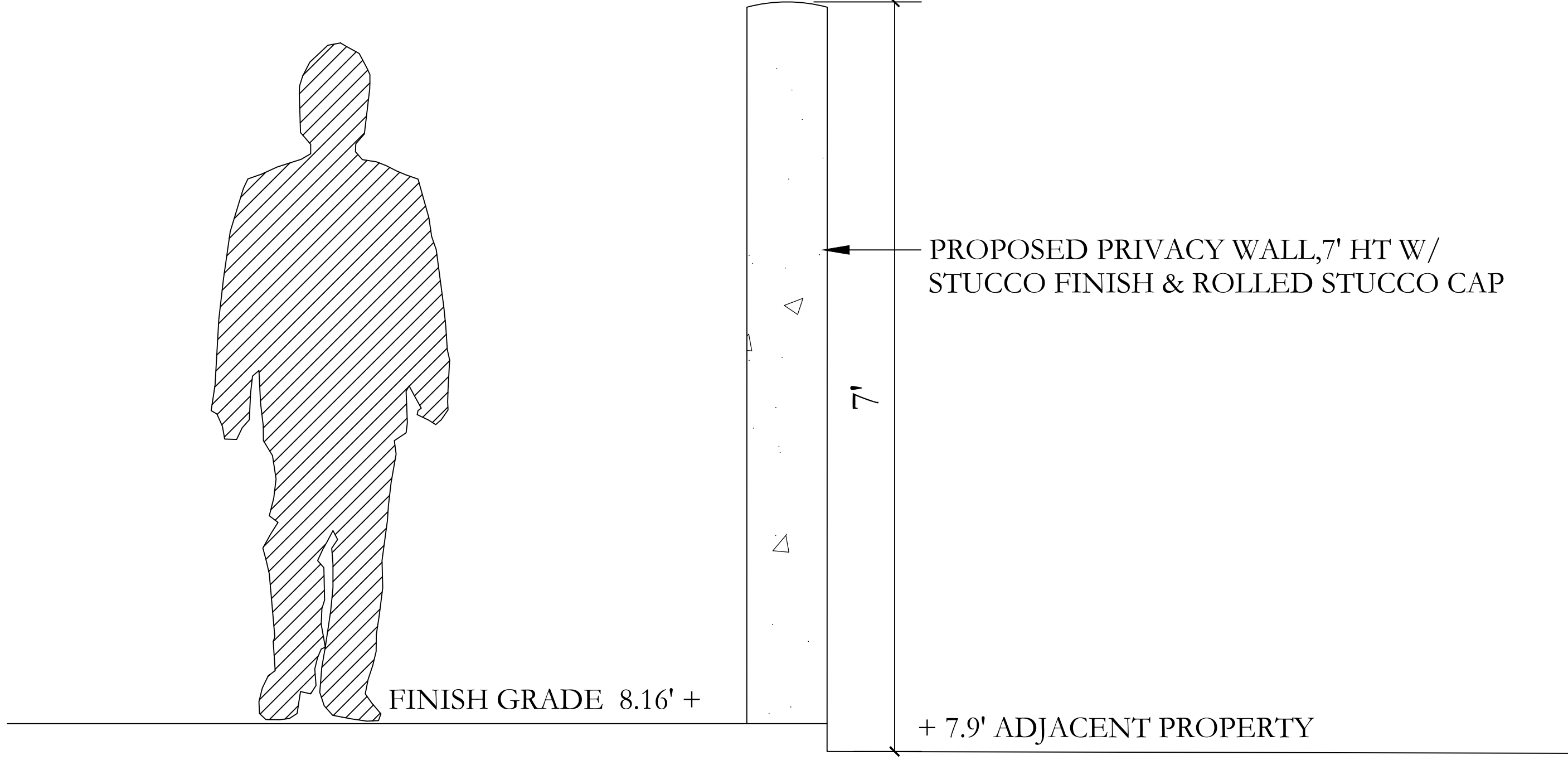
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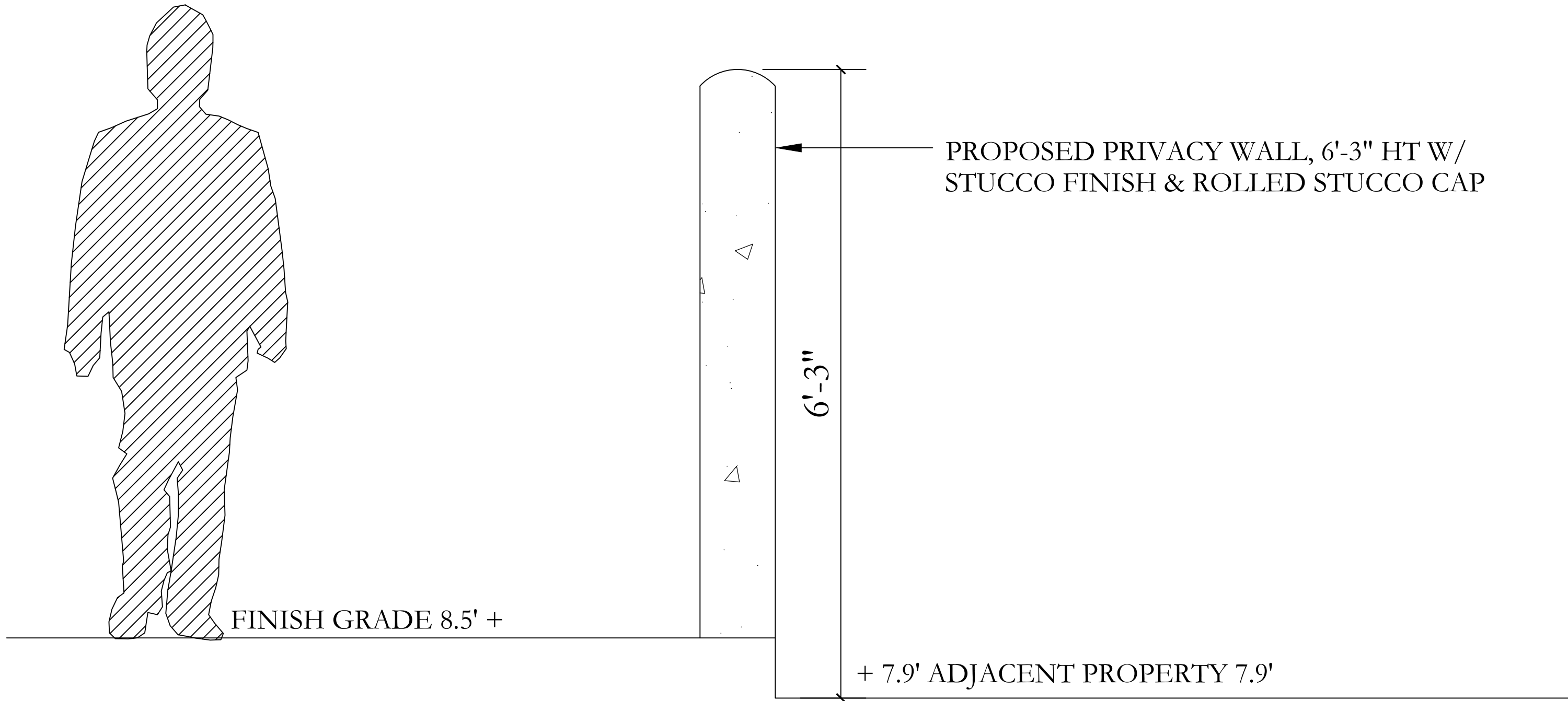
PROPOSED WEST SITE WALL - SEFCTION DETAIL

SCALE : $\frac{1}{2}$ " = 1'-0"



PROPOSED EAST SITE WALL - SEFCTION DETAIL

SCALE : $\frac{1}{2}$ " = 1'-0"



PROPOSED NORTH SITE WALL - SEFCTION DETAIL

SCALE : 1" = 1'-0"

PROPOSED HARDSCAPE PLAN

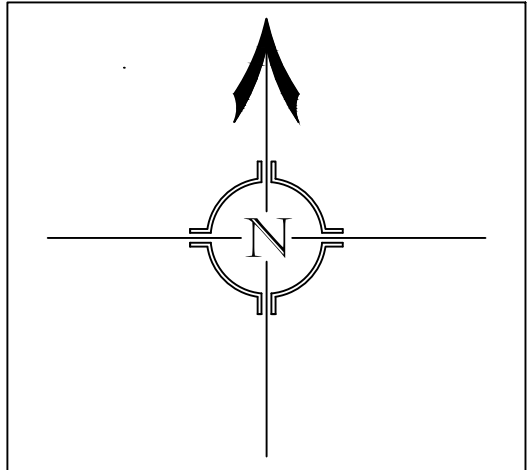
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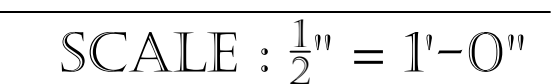
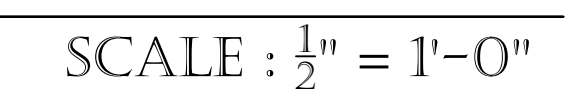
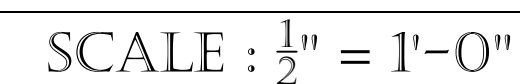
SCALE AS SHOWN

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PROPOSED HARDSCAPE PLAN

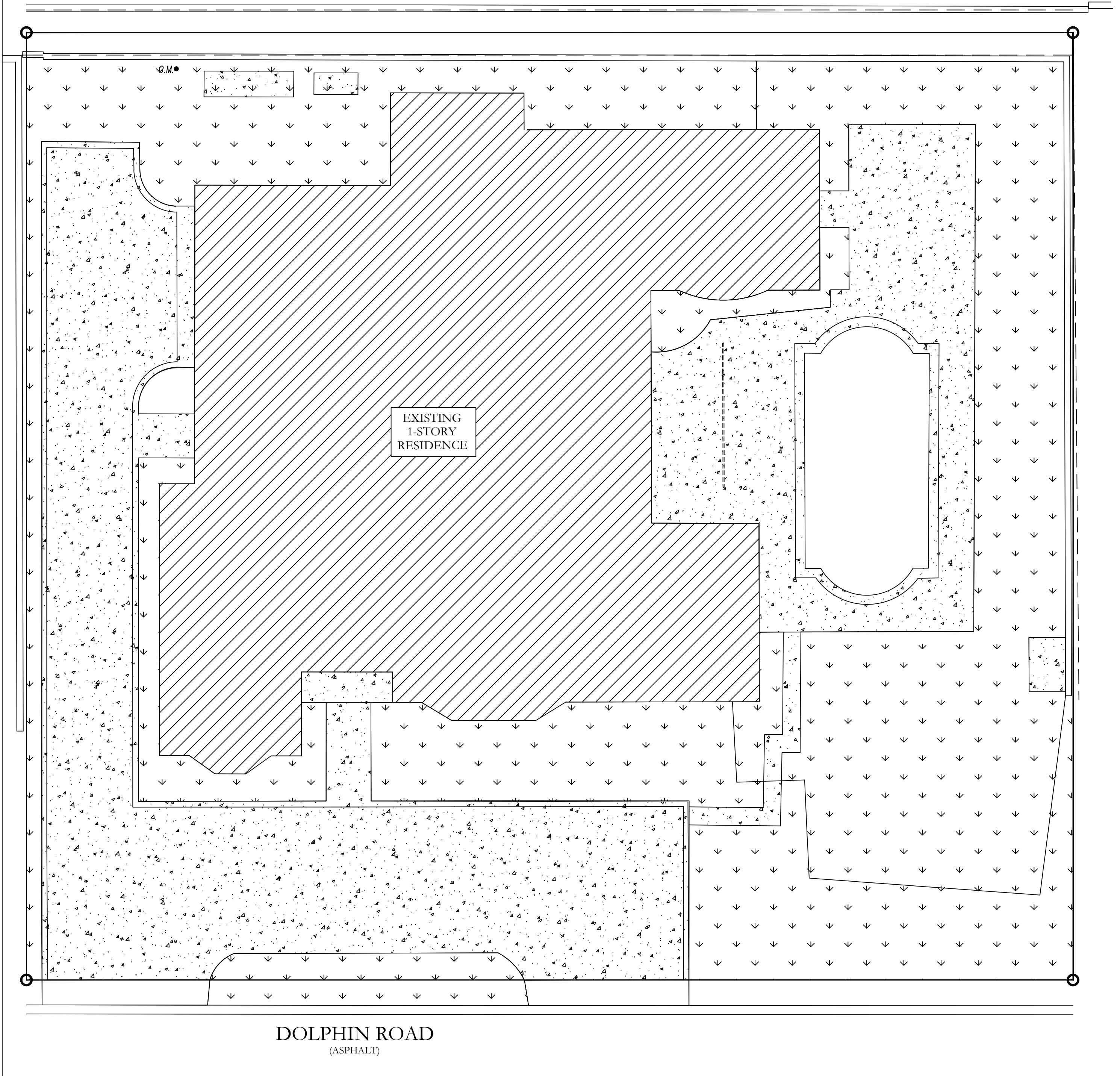
DATE:
04 DECEMBER 2024



OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
BUILDING SITE COVERAGE (2-STORY):		
ALLOWABLE:	3,655.0 S.F.	30.0 %
EXISTING:	3,289.0 S.F.	26.9 %
PROPOSED:	3,655.0 S.F.	30.0 %
IMPERVIOUS HARDSCAPE-SITE COVERAGE:		
EXISTING:	3,916.6 S.F.	32.2 %
PROPOSED:	2,985.3 S.F.	24.5 %
LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

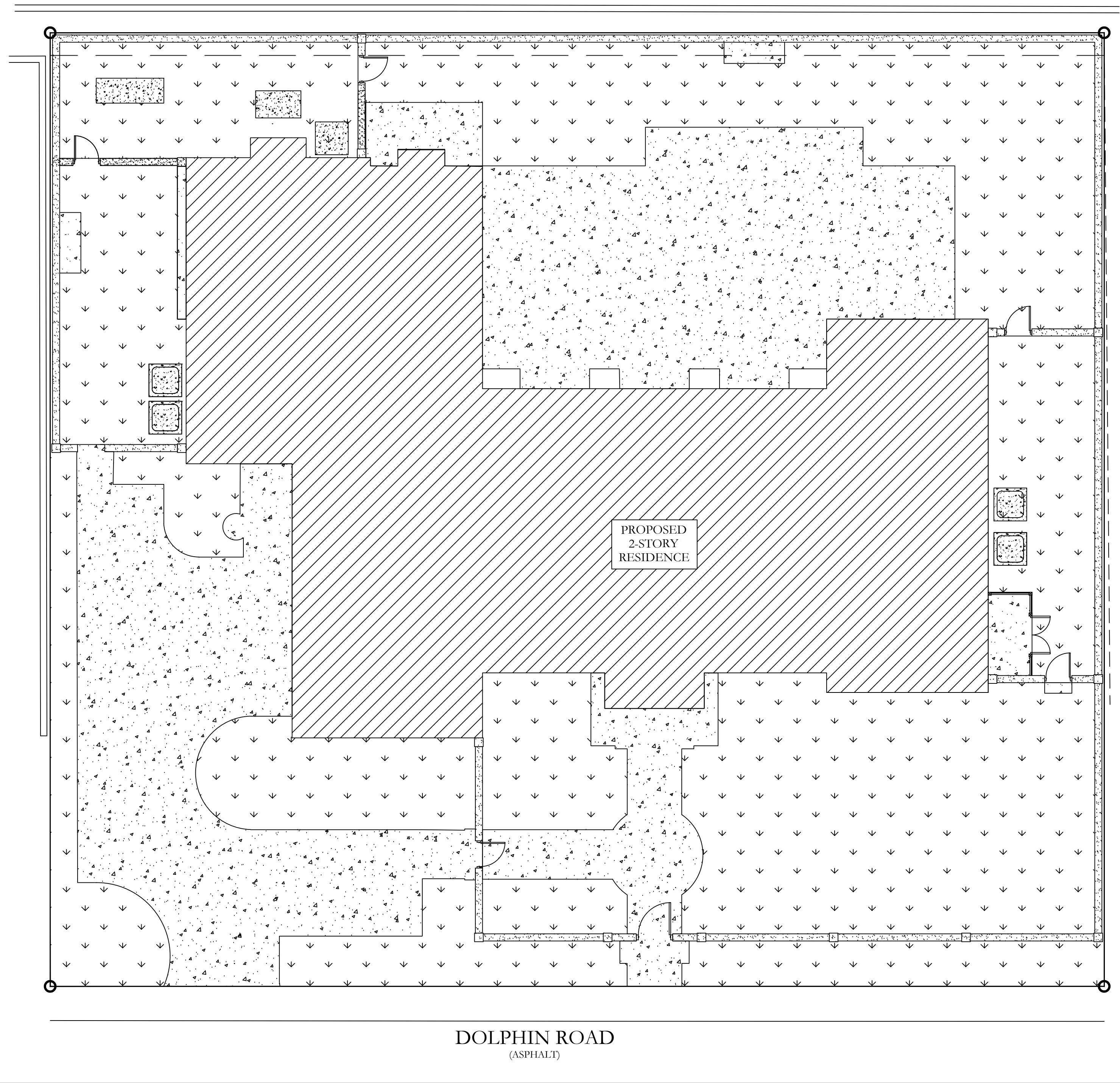
EXISTING OPENSOURCE DIAGRAM

OPENSOURCE DIAGRAM-	
SYMBOL	DESCRIPTION
	EXISTING IMPERVIOUS AREA
	EXISTING OPENSOURCE AREA



PROPOSED OPENSOURCE DIAGRAM

OPENSOURCE DIAGRAM-	
SYMBOL	DESCRIPTION
	PROPOSED IMPERVIOUS AREA
	LANDSCAPE OPENSOURCE



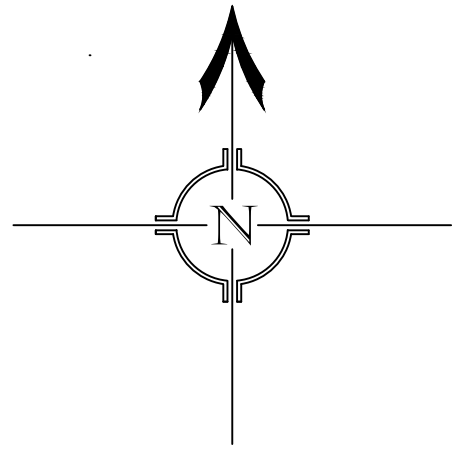
PROPOSED OPENSOURCE DIAGRAM

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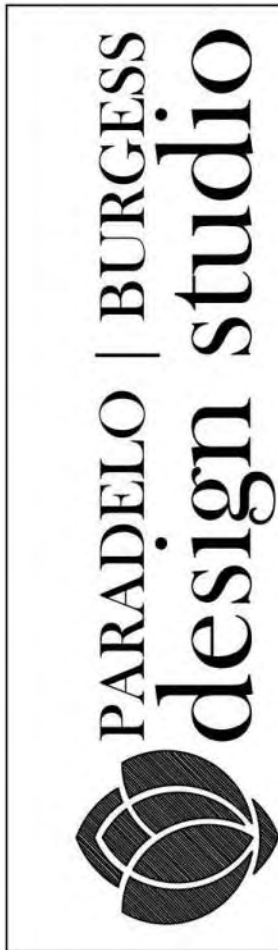
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SCALE: 1/8" = 1'-0"

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EXISTING SITE PHOTOS

FUSZ RESIDENCE
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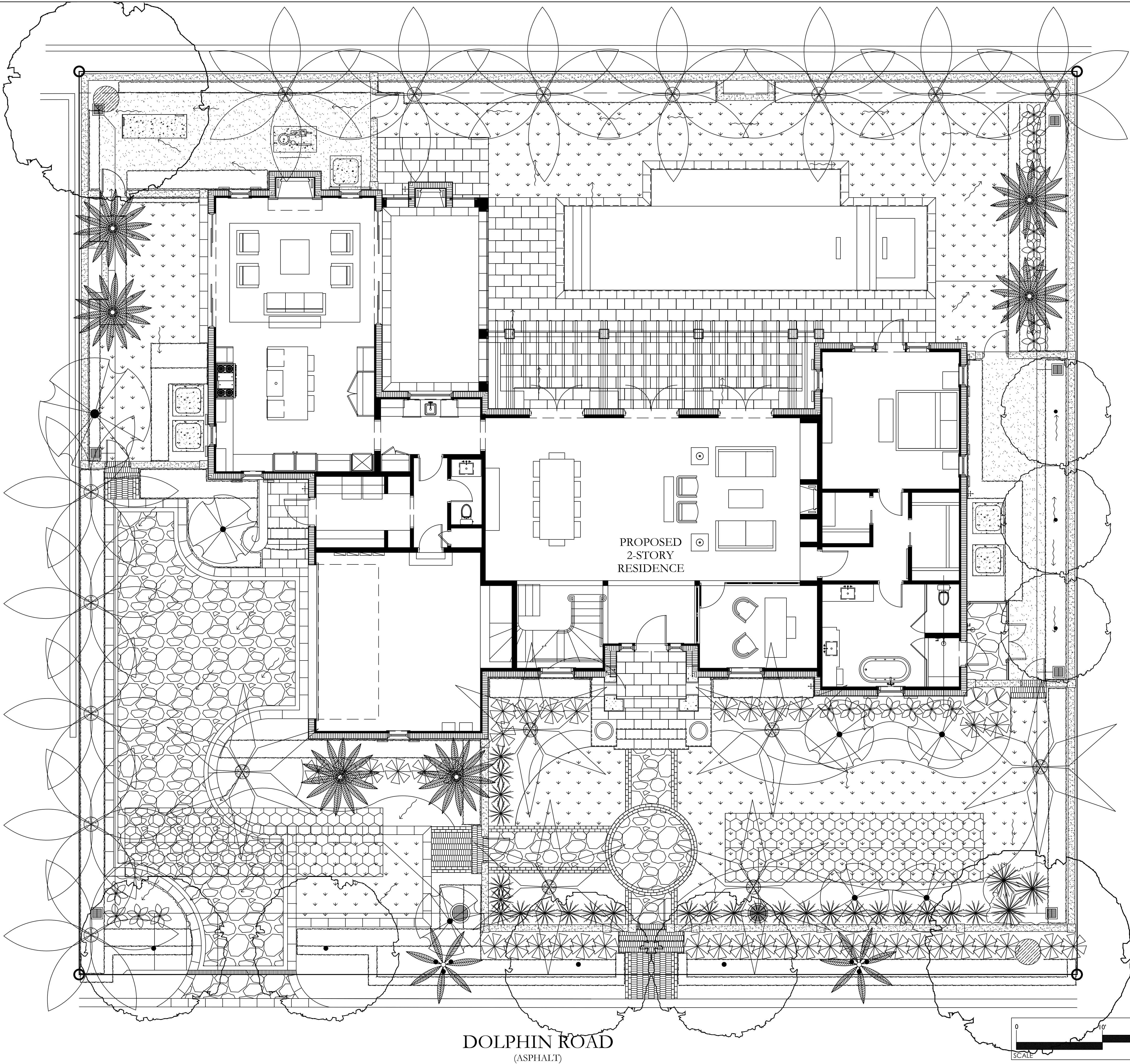
PICS

DATE:
04 DECEMBER 2024

OVERALL SITE CALCULATIONS (RB ZONING DISTRICT)		
TOTAL LOT SIZE/SITE:		
SITE AREA:	12,182.1 S.F.	100%
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LANDSCAPE/OPENSOURCE:		
REQUIRED:	5,481.9 S.F.	45.0 %
EXISTING:	4,976.5 S.F.	40.9 %
PROPOSED:	5,541.8 S.F.	45.5 %

FRONT SETBACK SITE CALCULATIONS (RB ZONING DISTRICT)		
25' SETBACK AREA:	2,900.5 S.F.	100 %
REQUIRED OPENSOURCE:	1,160.2 S.F.	40.0 %
PROPOSED LANDSCAPE:	1,953.5 S.F.	67.4 %
PROPOSED HARDSCAPE:	947.0 S.F.	32.6 %

10' PERIMETER OPENSOURCE SITE CALCULATIONS (RB ZONING DISTRICT)		
10' PERIMETER AREA:	4,020.4 S.F.	100 %
REQUIRED OPENSOURCE:	2,010.2 S.F.	50.0 %
PROPOSED LANDSCAPE:	3,300.6 S.F.	83.6 %
PROPOSED HARDSCAPE:	659.8 S.F.	16.4 %



PROPOSED LANDSCAPE DRAINAGE OVERLAY PLAN

FUSZ RESIDENCE

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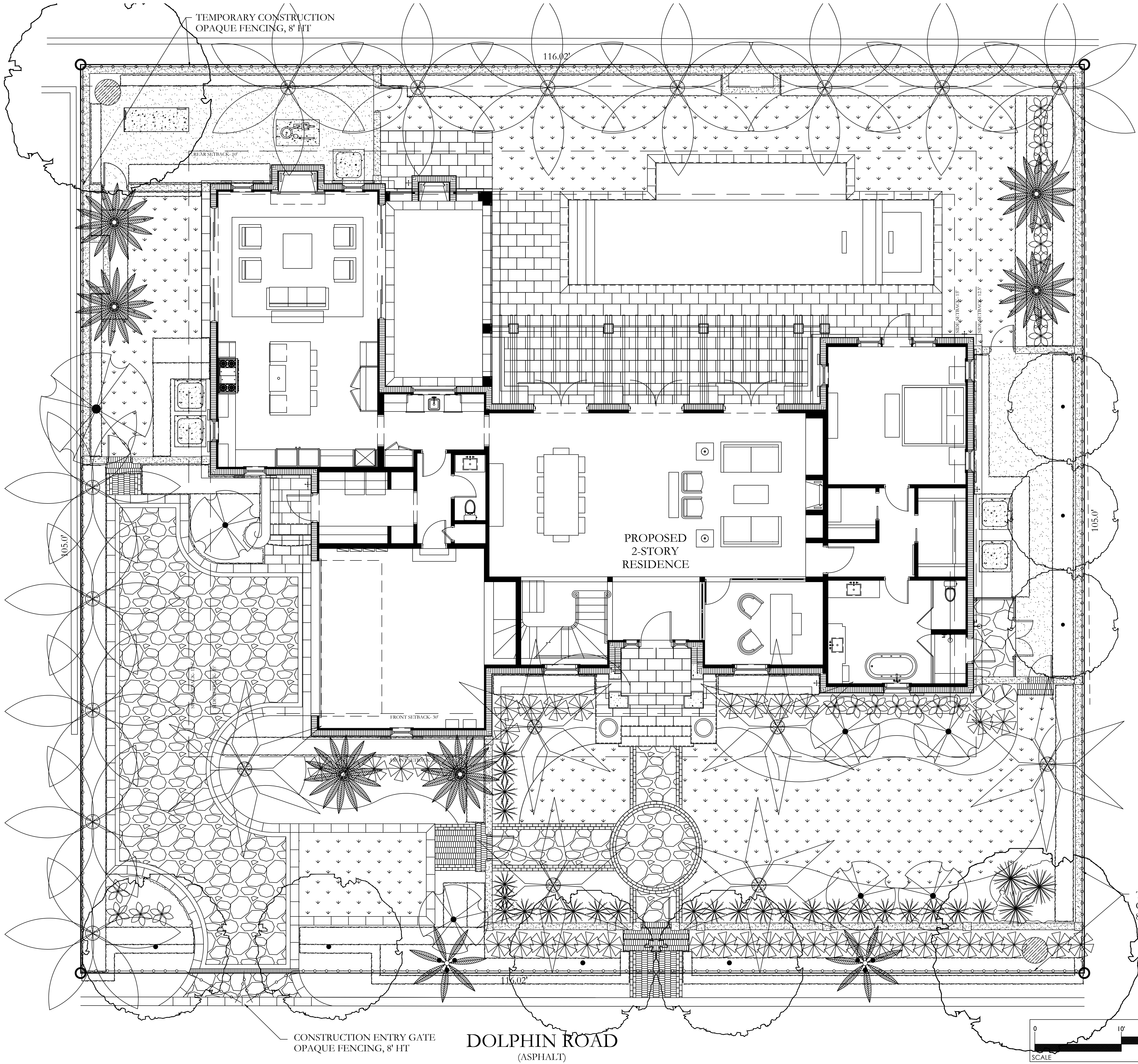
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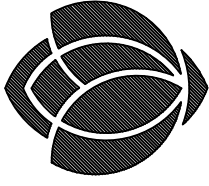
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DATE:
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ARC-24-0074 REV2
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561.951.7525 | INFO@PARADELOBURGESS.COM

CONSTRUCTION SCREENING PLAN

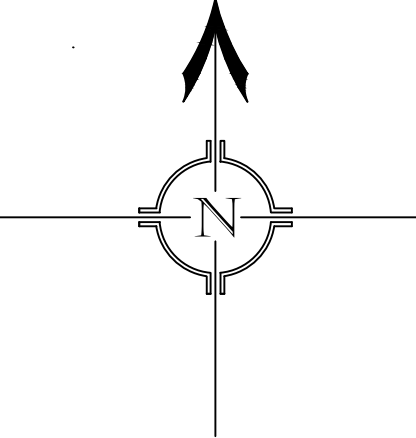
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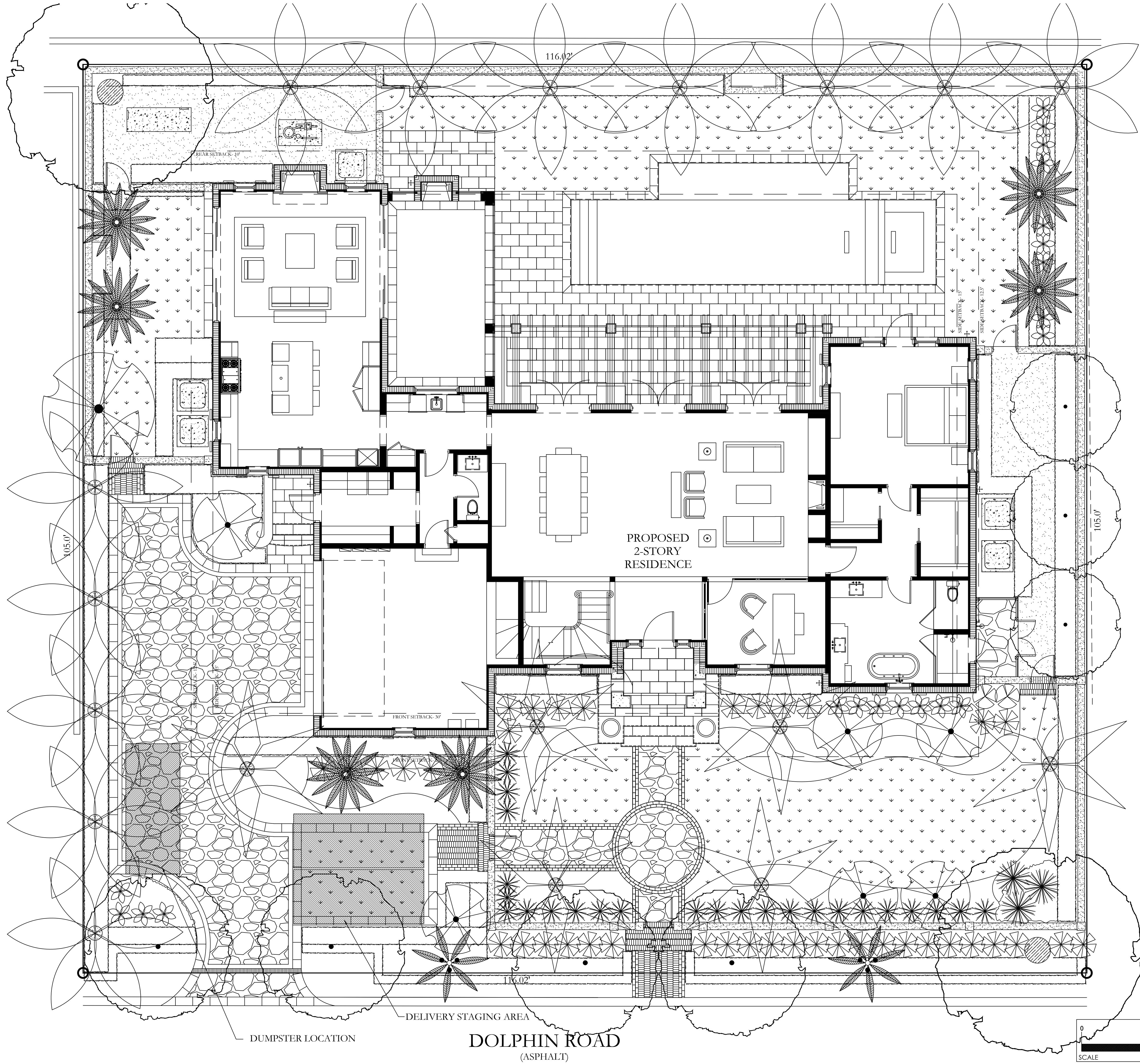
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SCALE: $\frac{3}{16}" = 1'-0"$

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DATE:
04 DECEMBER 2024



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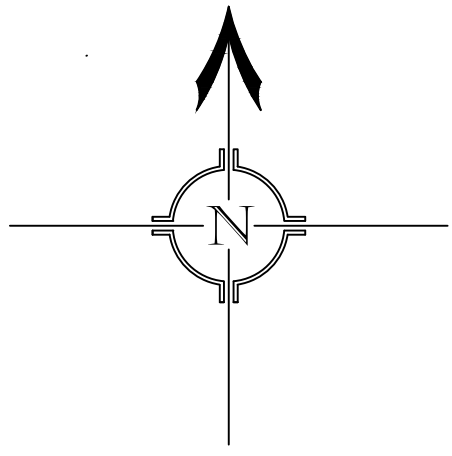
CONSTRUCTION STAGING PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

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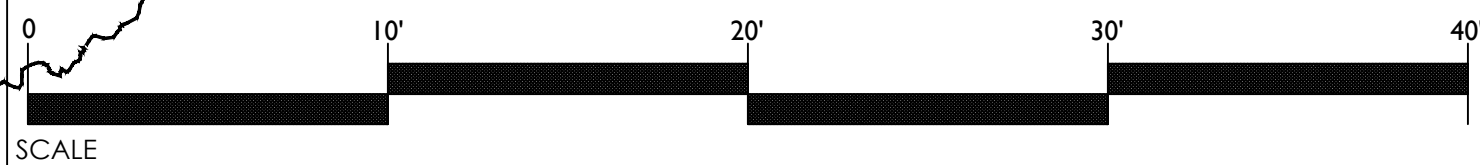
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SCALE: $\frac{3}{16}" = 1'-0"$

ESP

DATE:
04 DECEMBER 2024





Town of Palm Beach

Planning Zoning and Building

360 S County Rd

Palm Beach, FL 33480

www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:	117 DOLPHIN ROAD	
2	Lot Area (sq. ft.):	12,182.1 SF	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	5,481.9 SF 45 %	5,520.9 SF 45.3 %
5	LOS to be altered (Sq FT and %)	N/A	39 SF 0.3 %
6	Perimeter LOS (Sq Ft and %)	2,010.2 SF 50%	2,984.7 SF 74.2 %
7	Front Yard LOS (Sq Ft and %)	1,136.3 SF 40%	1,803.4 SF 63.5 %
8	Native Trees %	30% (number of trees)	36 TOTAL TREES & PALMS 15 NATIVE TREES 42%
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	532 TOTAL PLANTS 263 NATIVE PLANTS 49.5%
10	Native Groundcover %	30% (groundcover area)	600 SF NATIVE PLANTS- 40%

To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)

OR

[the Florida Native Plant Society Native Plants for Your Area List](#)

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

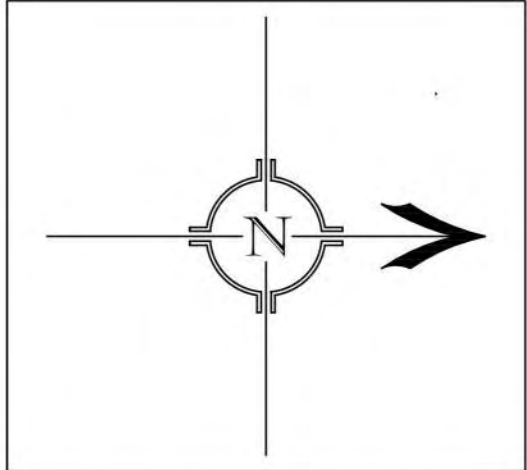
PROPOSED LOGISTICS PLAN

FUSZ RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

SEAL:

JONATHAN BURGESS
LICENSE # LA6667220

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NOT TO SCALE

TRUCKING
LOGISTICS

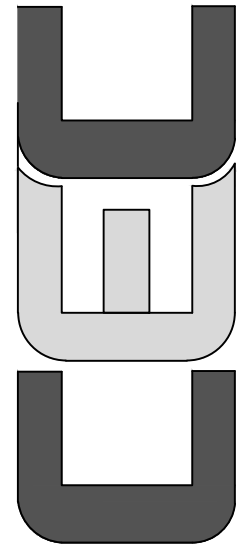
DATE:
04 DECEMBER 2024



CONSTRUCTION INGRESS / EGRESS ROUTES -
TRUCKS WILL CROSS THE ROYAL POINCIANA BRIDGE.
PROCEED NORTH ON NORTH LAKE WAY OR NORTH OCEAN BLVD.
DEPARTING TRUCKS WILL USE NORTH LAKE WAY OR NORTH OCEAN BLVD.
TRUCKS WILL RETURN BACK ON THE ROYAL POINIANA BRIDGE

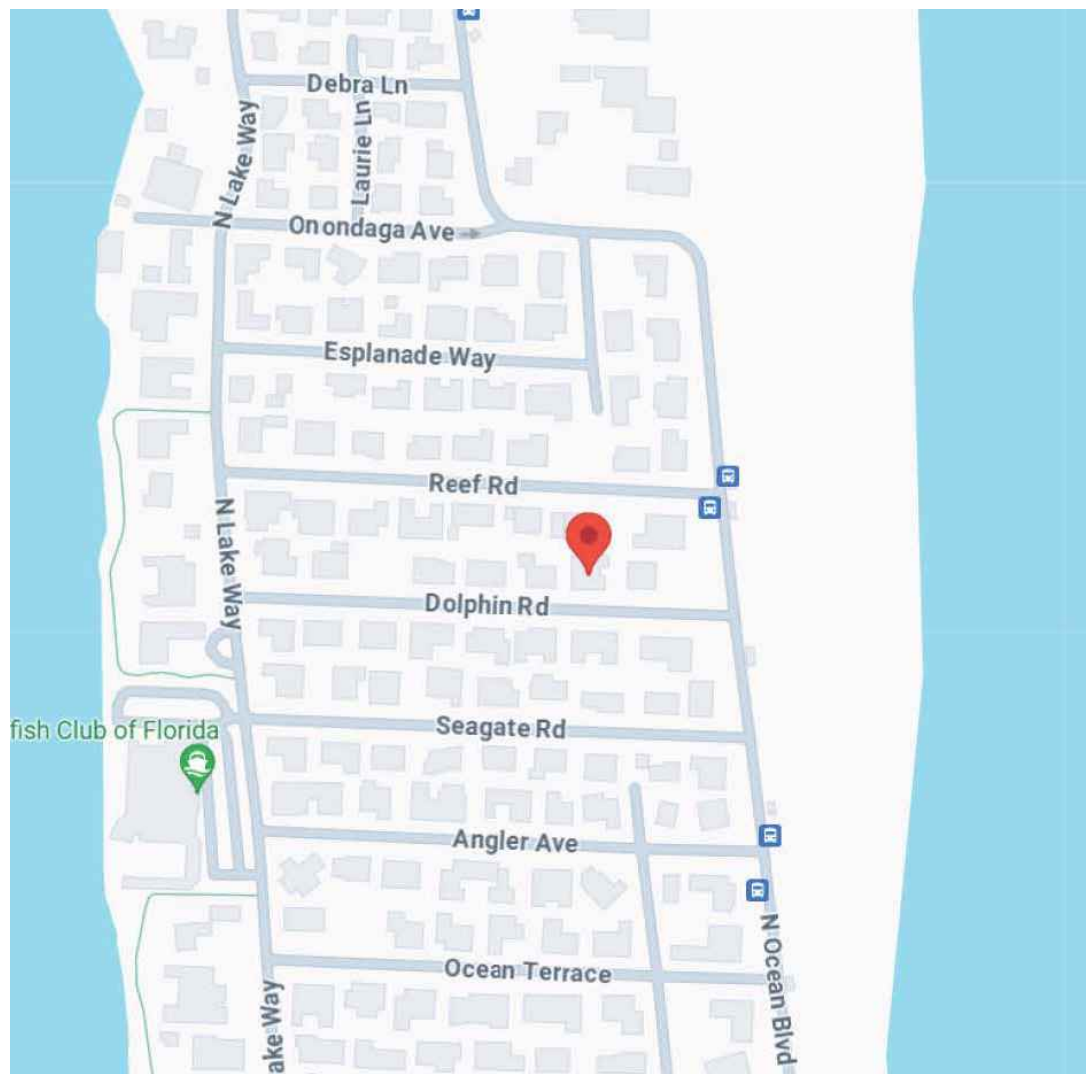


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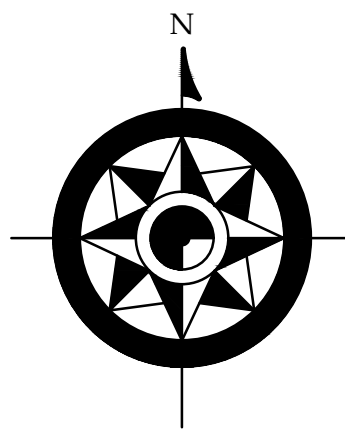
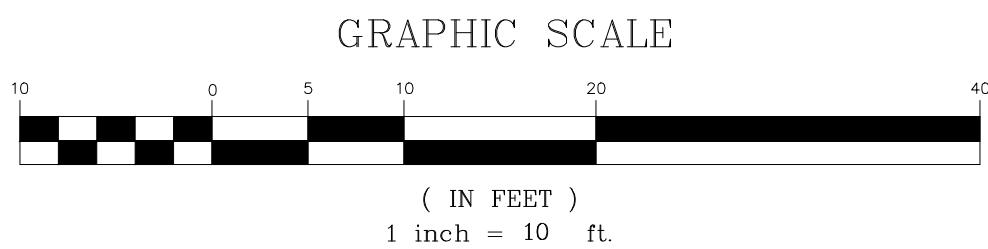
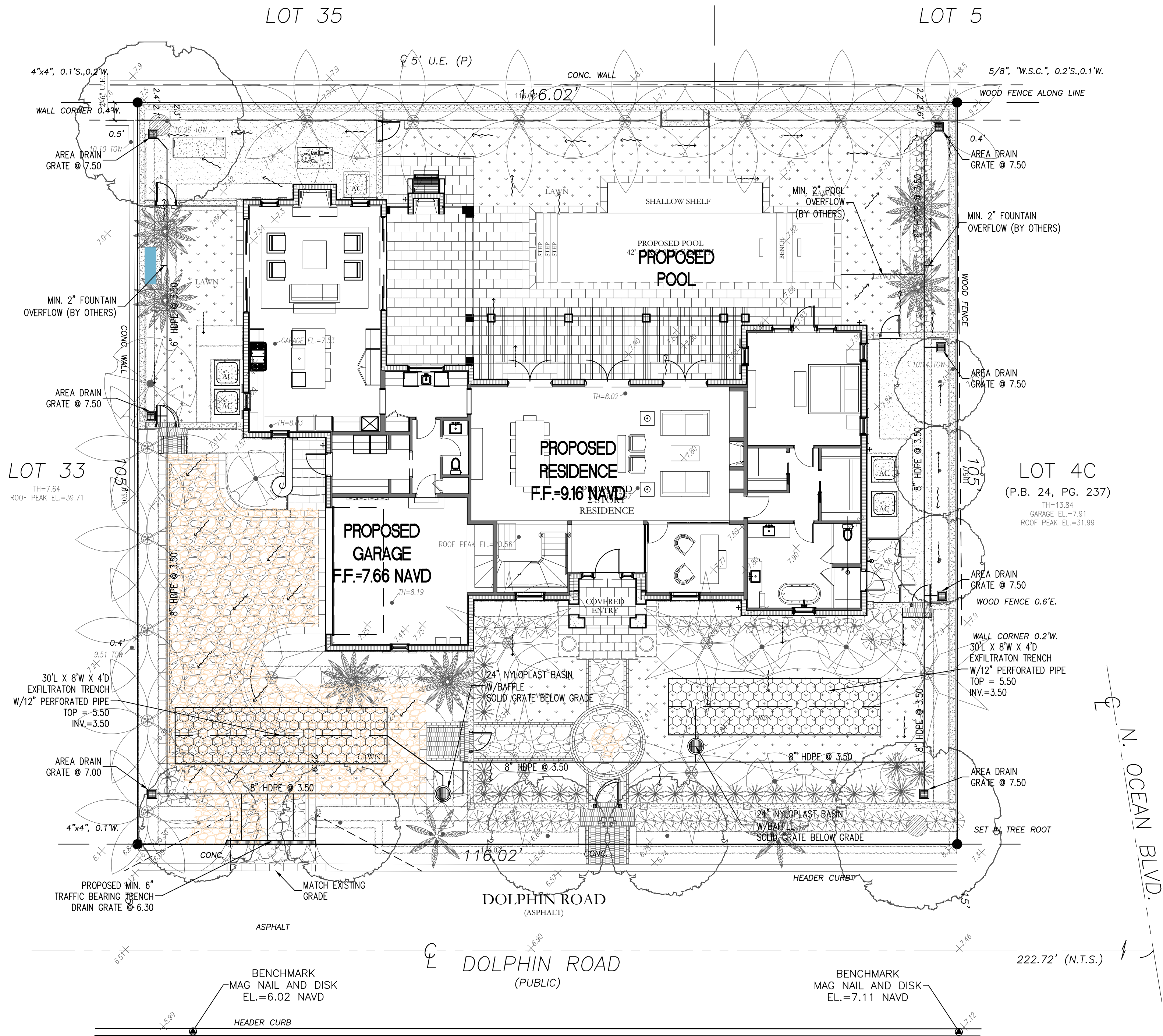
LOCATION MAP
N.T.S.

LEGEND

- EXISTING ELEVATION PER WALLACE SURVEYING (NAVD)
- FLOW DIRECTION
- AREA DRAIN W/STORM PIPING
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE
- PROPOSED FINISH GRADES (NAVD)

NOTES:

- ALL NEW DRAINAGE TO BE INSTALLED PER PLANS AND EXACT ELEVATIONS WILL BE FIELD DETERMINED PER FIELD CONDITIONS.
- ALL TRENCH DRAINS AT BOTTOM OF STEP LOCATIONS TO BE FLUSH AGAINST BACK OF STEP.
- EXFILTRATION TRENCHES TO BE UPDATED ONCE PERCOLATION TEST IS PERFORMED AND SIZED ACCORDINGLY.



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ARCOM #:

No: Revisions: Date:

DRAINAGE PLAN FOR:
PROPOSED RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FL

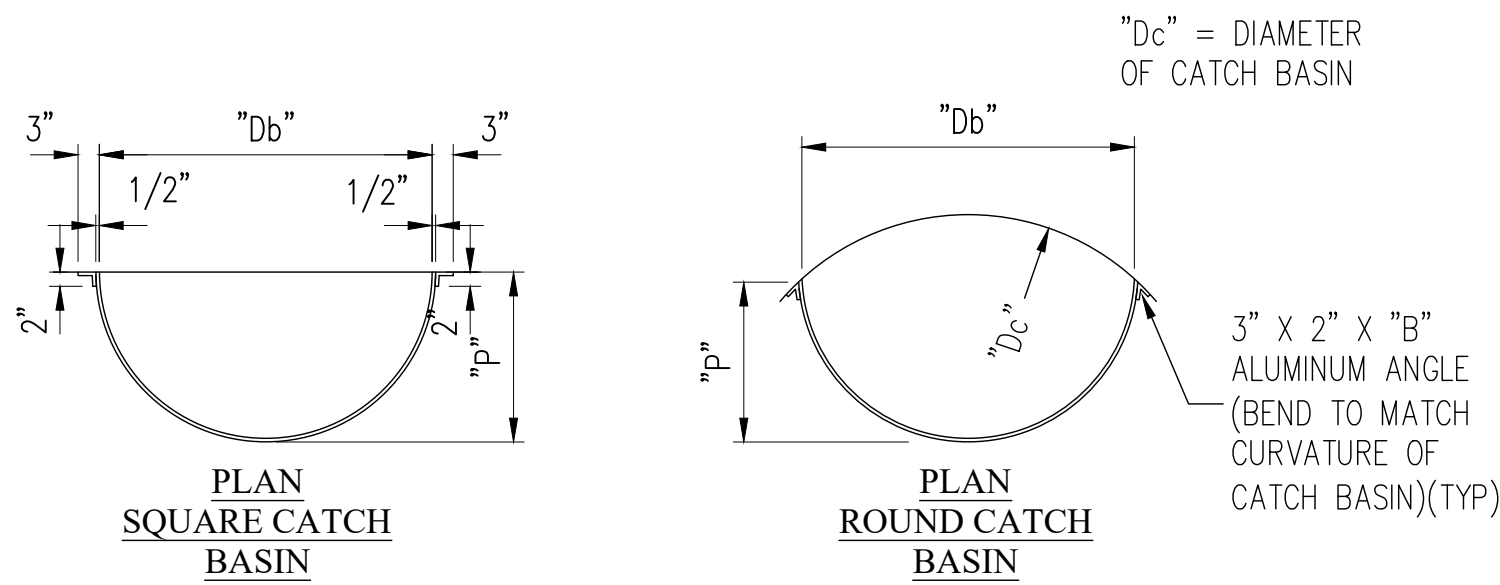
Project #:	24-114
Issue Date:	07/08/24
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown



SHEET TITLE
DRAINAGE &
GRADING PLAN

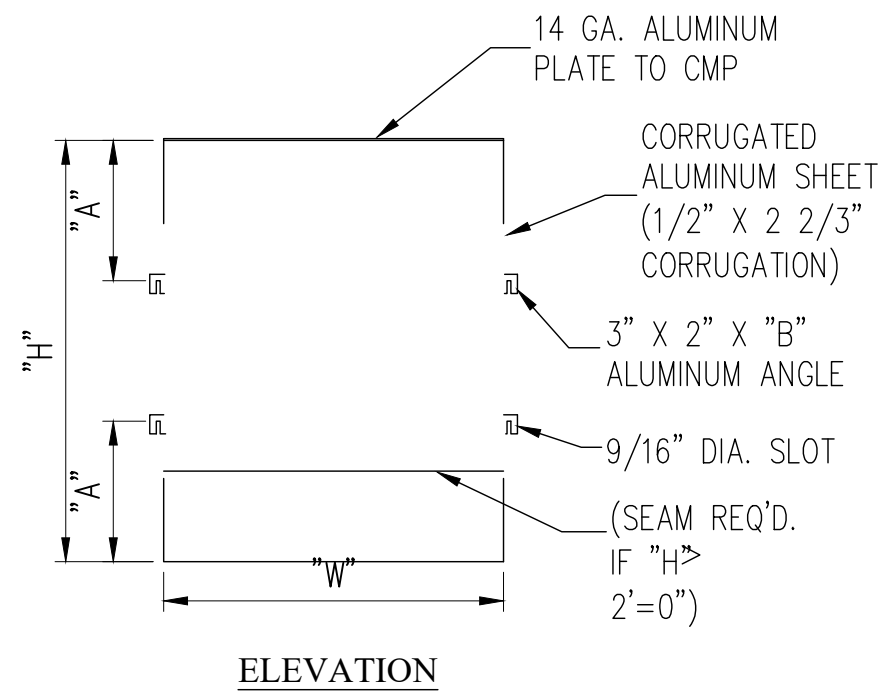
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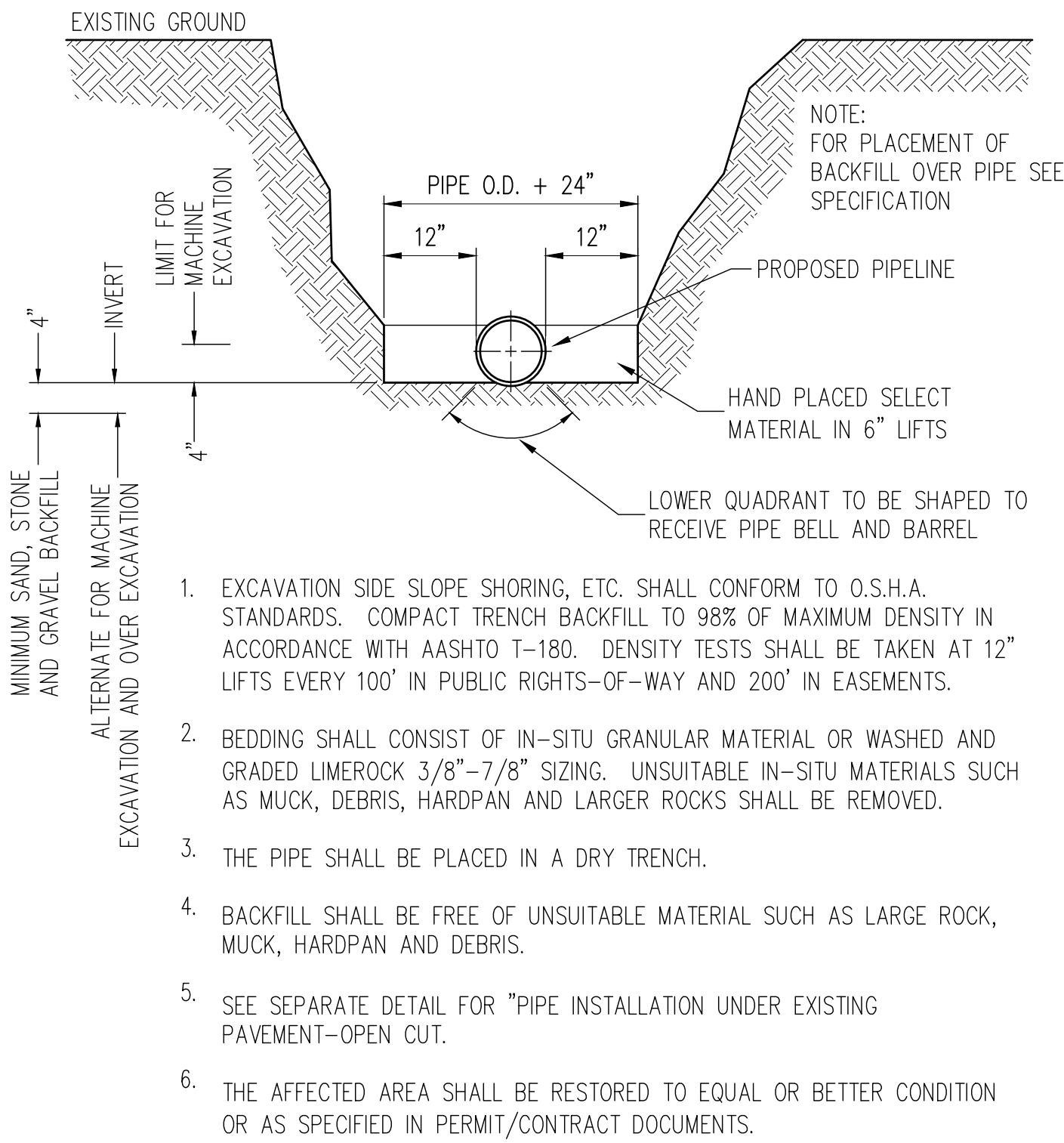


PIPE DIA.	BAFFLE DIA.	GUAGE	HEIGHT	WIDTH	DEPTH	EAR LENGTH	PERCENT OF PIPE AREA
12	24	16	33	31	12.5	8	65.3
15	24	16	33	31	12.5	8	65.3
18	24	16	33	31	12.5	8	65.3
21	24	16	33	31	12.5	8	65.3
24	30	16	36	37	15.5	9	78.1
27	36	16	39	43	18.5	10	88.9
30	36	16	42	43	18.5	11	72.0
36	42	16	48	49	21.5	12	68.1
42	48	16	54	55	24.5	14	65.3
48	54	14	60	61	27.5	15	63.3
54	60	14	66	67	30.5	17	61.7
60	66	14	72	73	33.5	18	60.5
66	72	14	78	79	36.5	20	59.5
72	84	14	84	91	42.5	21	68.1

NOTE: ALL DIMENSIONS ARE IN INCHES. CONTRACTOR TO CONFIRM THAT BAFFLE WILL FIT STRUCTURE I.D.

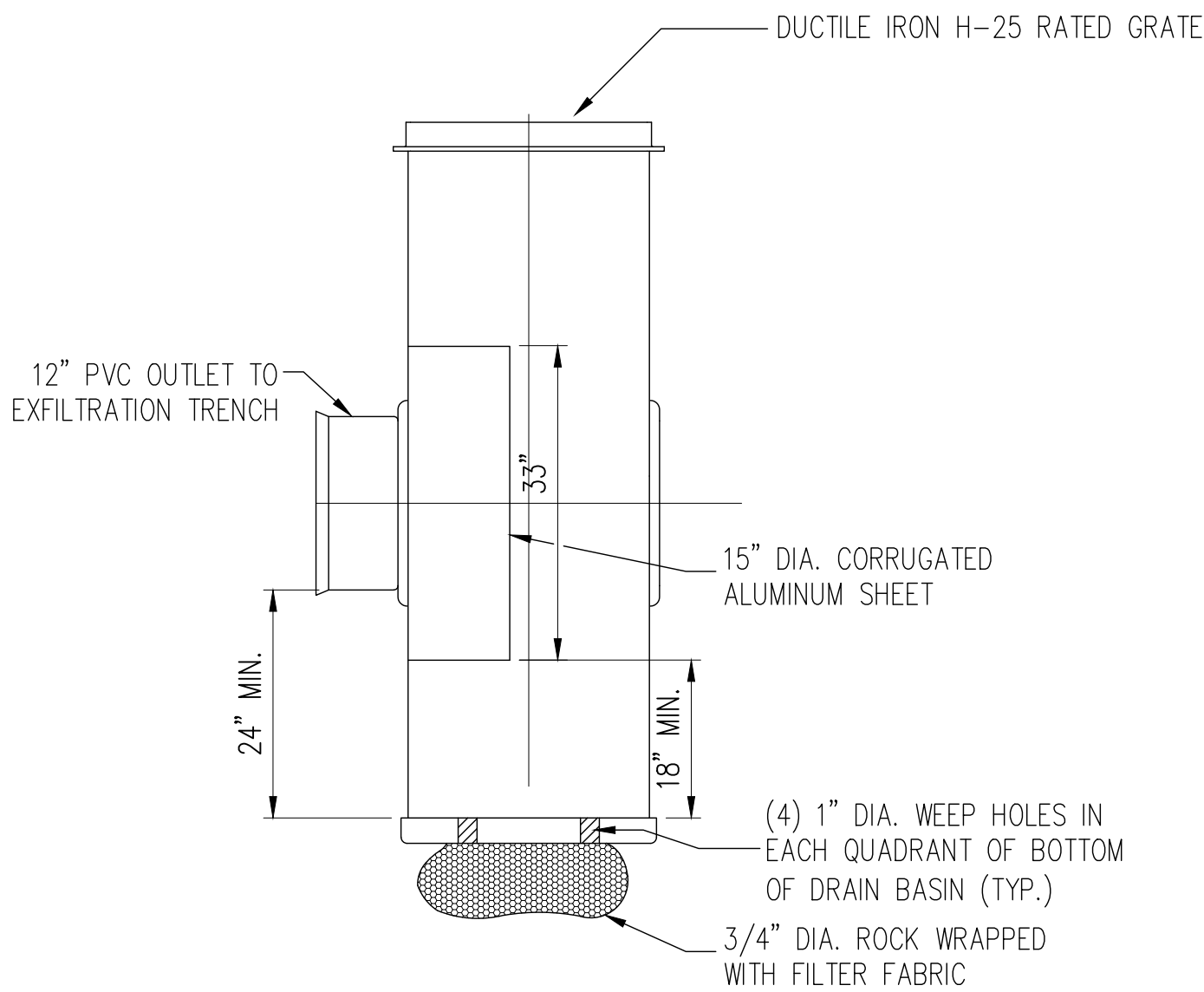


BAFFLE DETAIL
N.T.S.



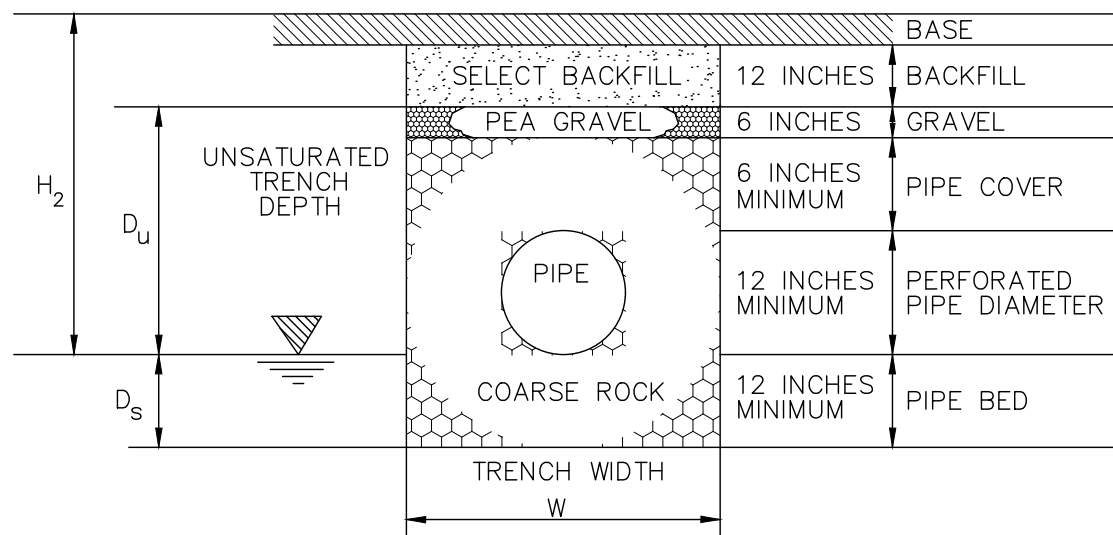
TRENCH AND BACKFILL DETAIL
N.T.S.

24" NYLOPLAST DRAIN BASIN



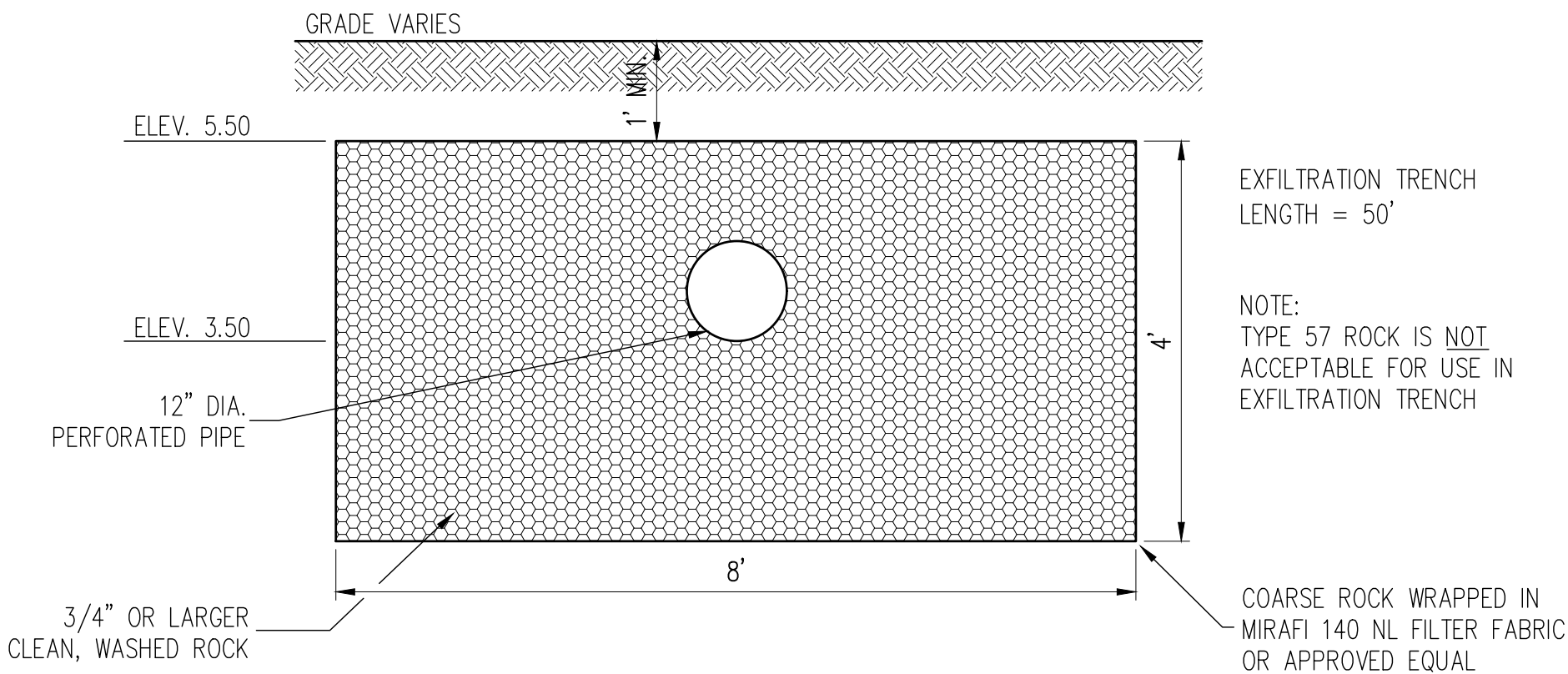
NOTE:
INLET TO HAVE MIN. 24" SUMP AND MIN. 18" CLEARANCE BETWEEN BOTTOM OF BAFFLE AND BOTTOM OF INLET

TYPICAL EXFILTRATION TRENCH



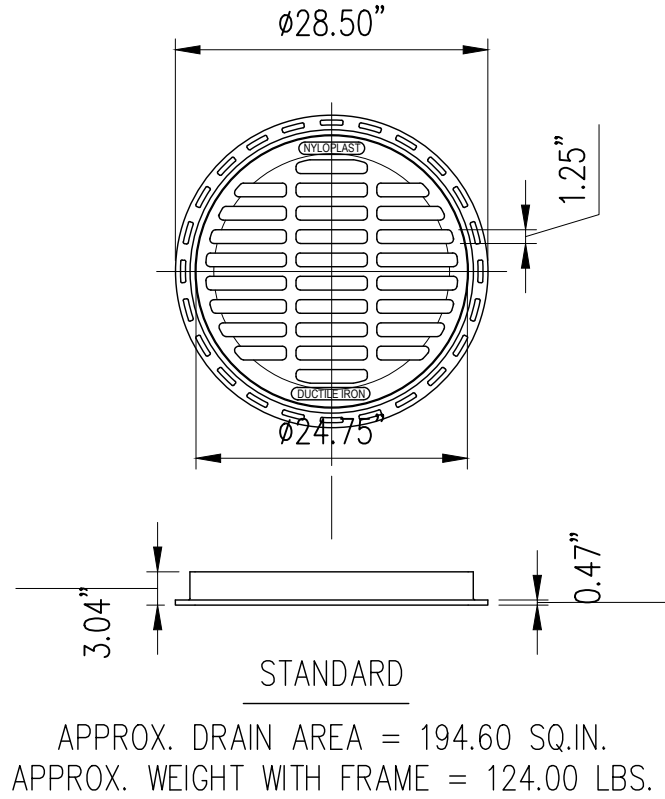
$$L = \frac{V}{K(H_2W + 2H_2D_u - D_u^2 + 2H_2D_s) + (1.39 \times 10^{-4})WD_u}$$

L = LENGTH OF TRENCH REQUIRED (FEET)
V = VOLUME TREATED (ACRE-INCHES)
W = TRENCH WIDTH (FEET)
K = HYDRAULIC CONDUCTIVITY (CFS/FT.² - FT.HEAD)
H₂ = DEPTH TO WATER TABLE (FEET)
D_u = NON-SATURATED TRENCH DEPTH (FEET)
D_s = SATURATED TRENCH DEPTH (FEET)



EXFILTRATION TRENCH DETAIL #1 AND #2
N.T.S.

24" DUCTILE IRON GRATE

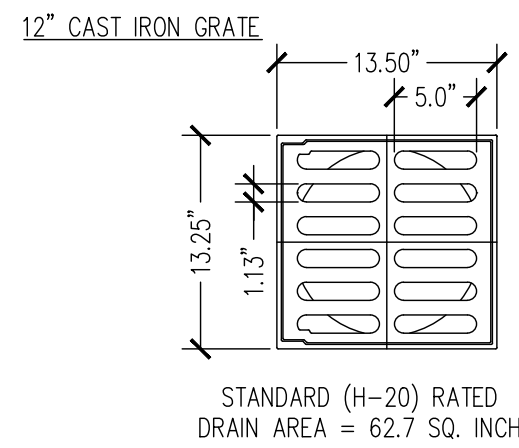


STANDARD GRATE HAS H-25 HEAVY DUTY RATING
SOLID COVER HAS H-25 HEAVY DUTY RATING
PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING

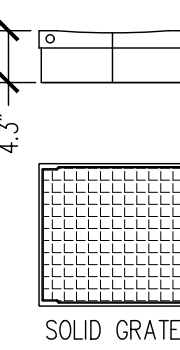
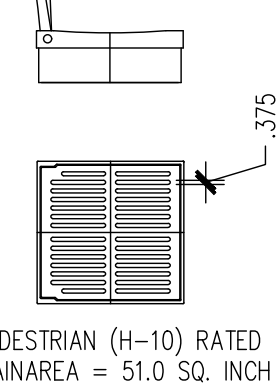
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05

MATERIAL: DUCTILE IRON

PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT LOCKING DEVICE AVAILABLE UPON REQUEST PRICE INCLUDES FRAME & GRATE/COVER



HINGED GRATE COVER FOR EASY ACCESS

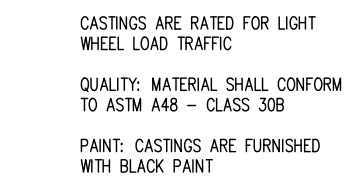
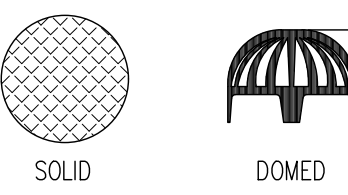
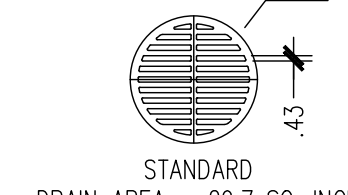


NOTE:

TYPE OF GRATES & INLETS TO BE COORDINATED WITH ENGINEER & LANDSCAPE ARCHITECT

PIPE MATERIAL MAY BE PVC, ADS, NDS, OR APPROVED EQUAL

10" DUCTILE IRON GRATE



MATERIAL: CAST IRON

QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B

PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT

AREA DRAIN DETAIL

PROPOSED RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FLORIDA

EXISTING STORMWATER MANAGEMENT CALCULATIONS

SITE PLAN DATA

Total Lot Area = 12,182 sq.ft. ±

Impervious Area = 6,903 sq.ft. ±

Pervious Area = 5,279 sq.ft. ±

ESTIMATED RUNOFF VOLUME

Impervious Runoff Volume:
2" x 6,903 sq.ft. x 1 ft./12 in. = 1,151 cu.ft.

Pervious Runoff Volume:
0.4" x 5,279 sq.ft. x 1 ft./12 in. = 176 cu.ft.

Total Basin Volume to be Retained = 1,327 cu.ft.

EXFILTRATION TRENCH CALCULATIONS (SFWM ANALYSIS)

Exfiltration Trench
L = Total Length of Trench Provided = 60 ft
W = Trench Width = 8.00 ft
K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. per ft. of head
H₂ = Depth to Water Table = 4.00 ft
D_u = Non-Saturated Trench Depth = 4.00 ft
D_s = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 1,491 cu.ft.

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andre@cec-fl.com

Date:				
Revisions:				
No:				

DRAINAGE PLAN FOR:
PROPOSED RESIDENCE
117 DOLPHIN ROAD
PALM BEACH, FL

Project #:	24-114
Issue Date:	07/08/24
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown

ANDRE M. WEBSTER
P.E.
No. 87358
STATE OF FLORIDA
Professional Engineer License

Project No. 24-114

DRAINAGE & GRADING DETAILS

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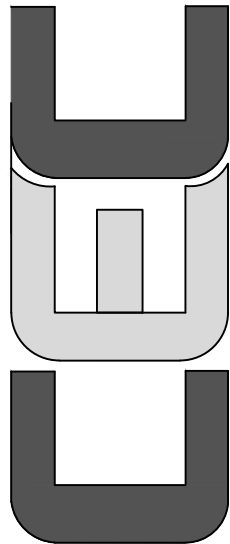
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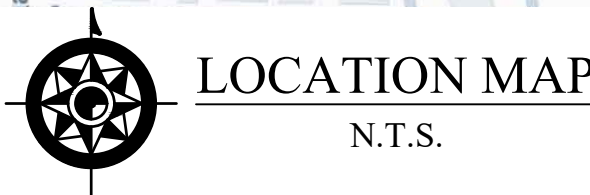
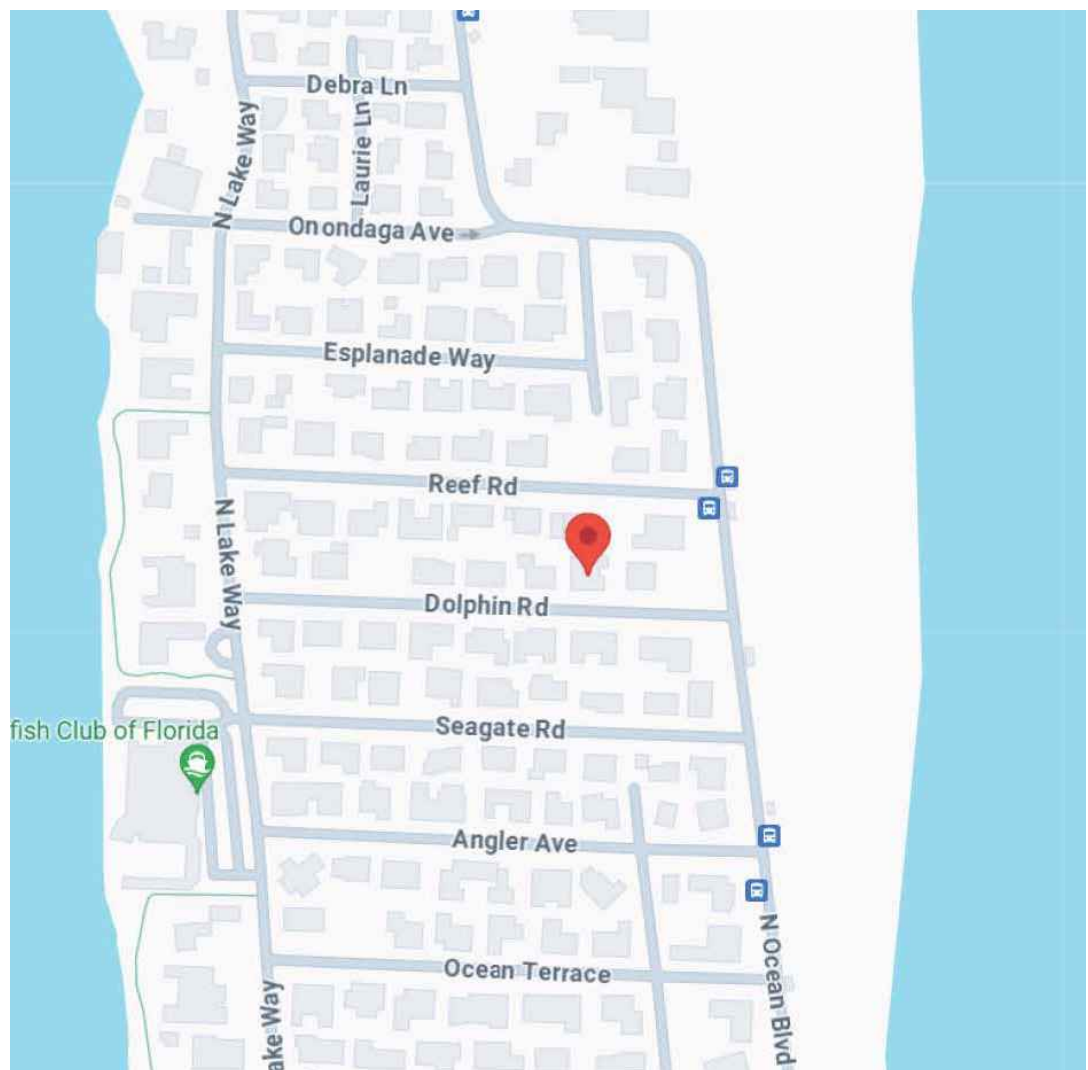


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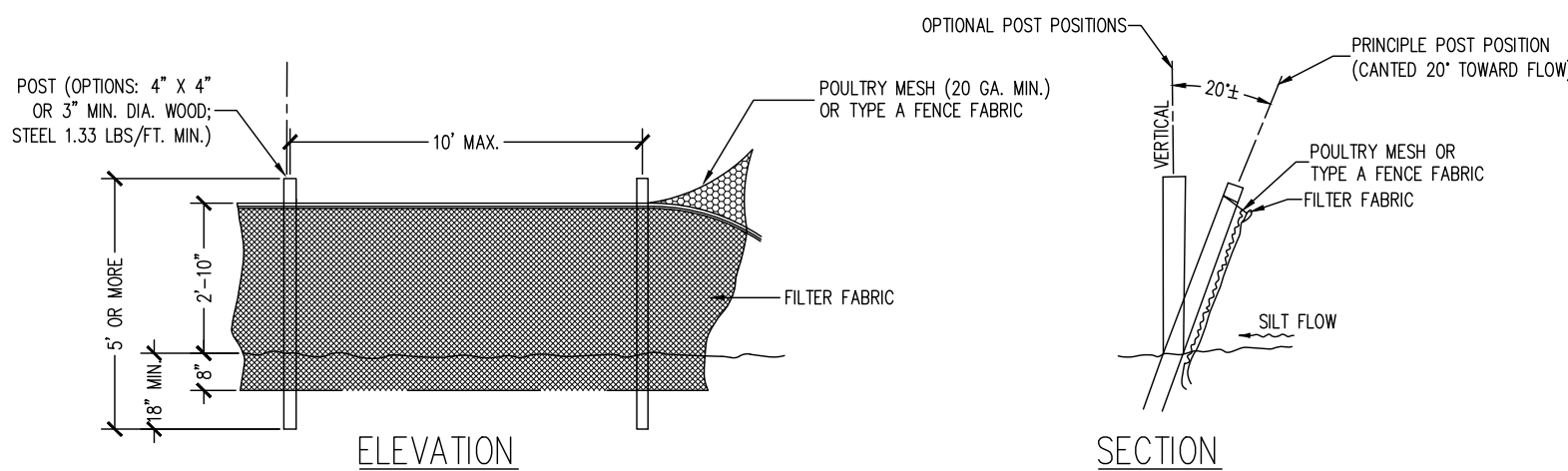
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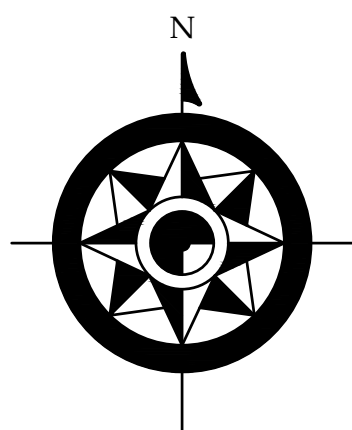
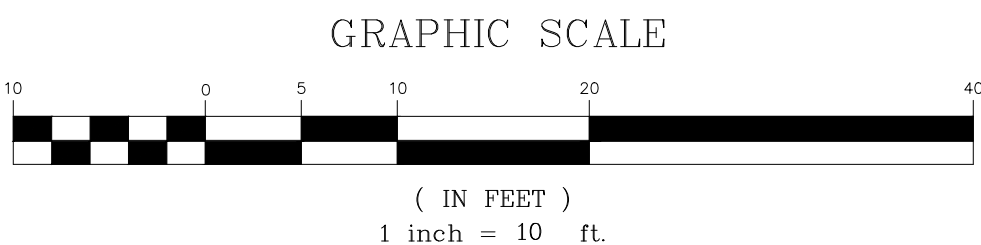
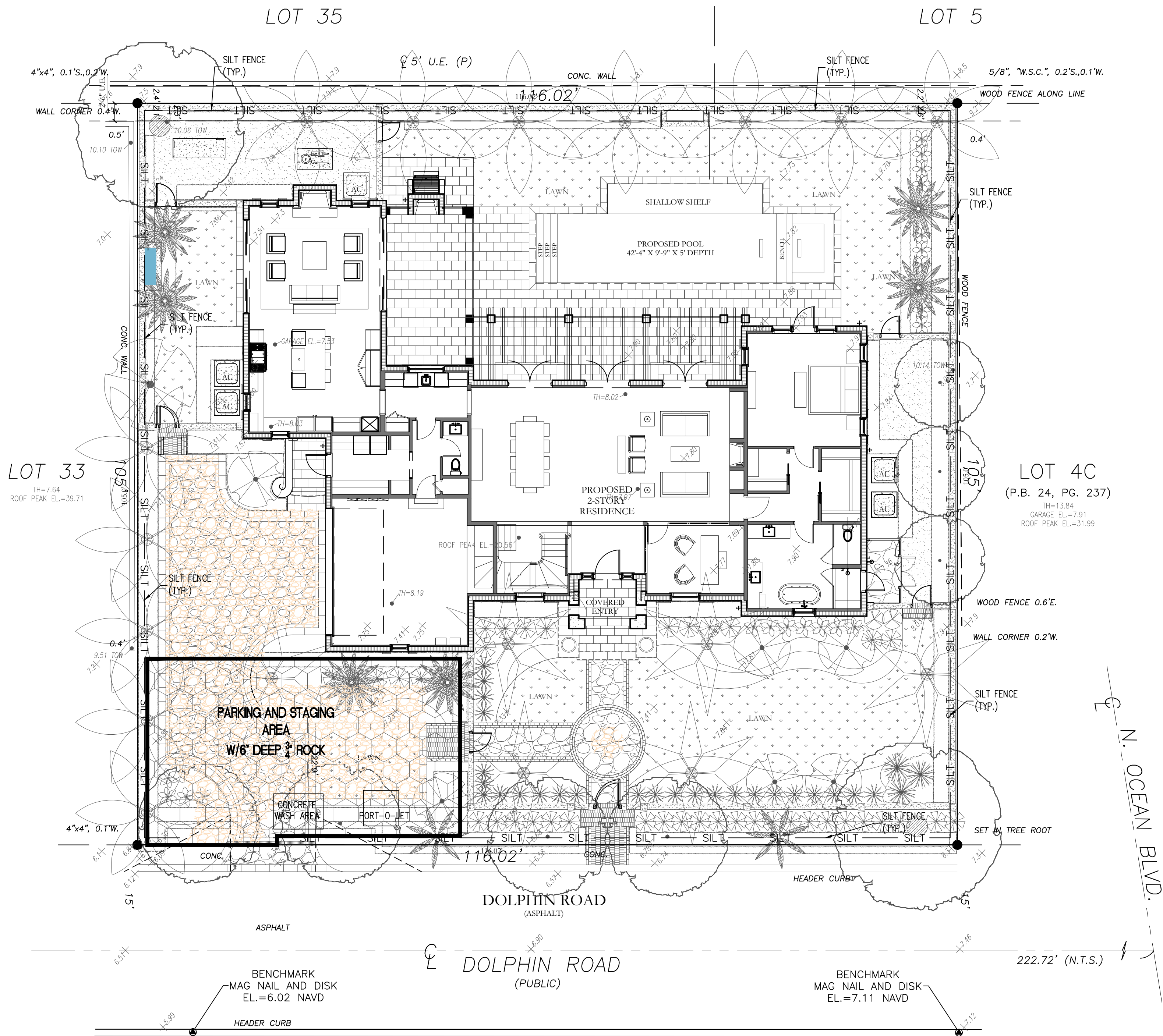


LEGEND

- CONSTRUCTION STAGING AREA
- SILT FENCE



SILT FENCE DETAIL
N.T.S.



EROSION CONTROL PLAN FOR: PROPOSED RESIDENCE 117 DOLPHIN ROAD PALM BEACH, FL

Project #:	24-114
Issue Date:	07/08/24
Drawn By:	AMW
Chkd By:	AMW
Scale:	As Shown



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Florida License #87358

SHEET TITLE
EROSION CONTROL
PLAN

SHEET NUMBER:

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