

PRIVATE RESIDENCE  
745 N LAKE WAY  
RENOVATION OF AN EXISTING RESIDENCE  
ARCOM SET  
SECOND SUBMITTAL  
ARC-24-0100

PROJECT TEAM

- ARCHITECT:**  
**Madison Worth Architecture D.P.C.**  
Address: 125 Worth Ave #306, Palm Beach, FL 33480  
Phone: (561) 833-3242
- LANDSCAPE ARCHITECT:**  
**Nievera Williams Design**  
Address: 625 N Flagler Dr Ste 502, West Palm Beach, FL 33401  
Phone: (561) 659-2820
- CIVIL ENGINEER:**  
**Redniss & Mead**  
Address: 22 1st St, Stamford, CT 06905  
Phone: (203) 327-0500

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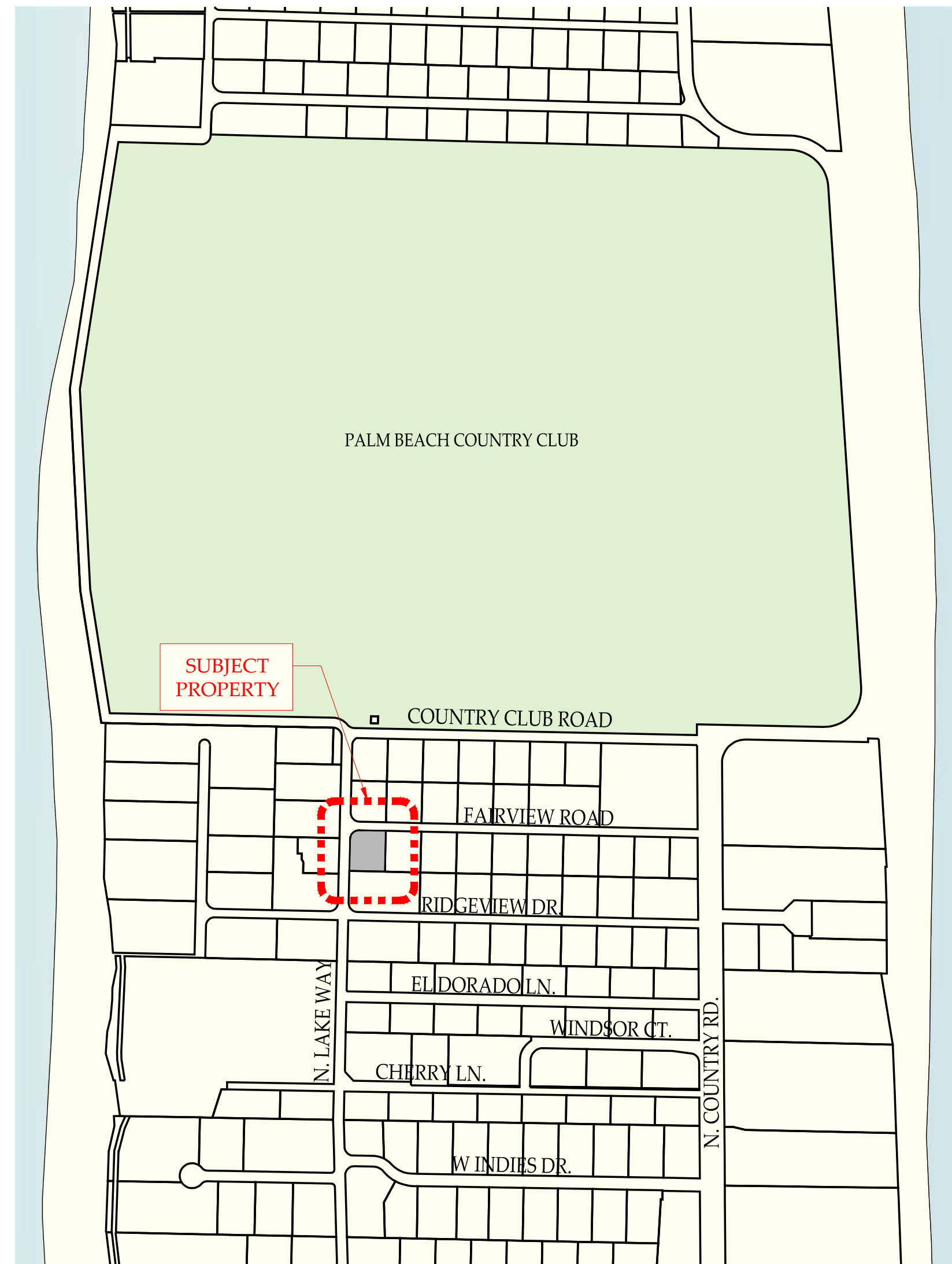
SCOPE DESCRIPTION

- WEST ELEVATION:**  
NEW ENTRY PORTICO TO REPLACE EXISTING PORTICO  
NEW EXTERIOR DOOR IN LIEU OF EXISTING BATHROOM WINDOW
- NORTH ELEVATION:**  
NEW FRENCH DOOR AT EXISTING BAY WINDOW IN KITCHEN
- SOUTH ELEVATION:**  
REPLACE THE SOUTHWEST WINDOW WITH A NEW FRENCH DOOR.  
CONVERT 1ST FLOOR OPERABLE WINDOWS TO FIXED WINDOWS.  
CREATE A NEW OUTDOOR SOUTHWEST OASIS WITH A SHOWER.  
NEW EQUIPMENT COURTYARD TO ACCOMMODATE A GENERATOR,  
1 NEW CONDENSER, REPOSITIONING OF AN EXISTING CONDENSER;  
NEW POOL EQUIPMENT; INCLUDING 1 FILTER, 2 PUMPS, & 1 HEATER.

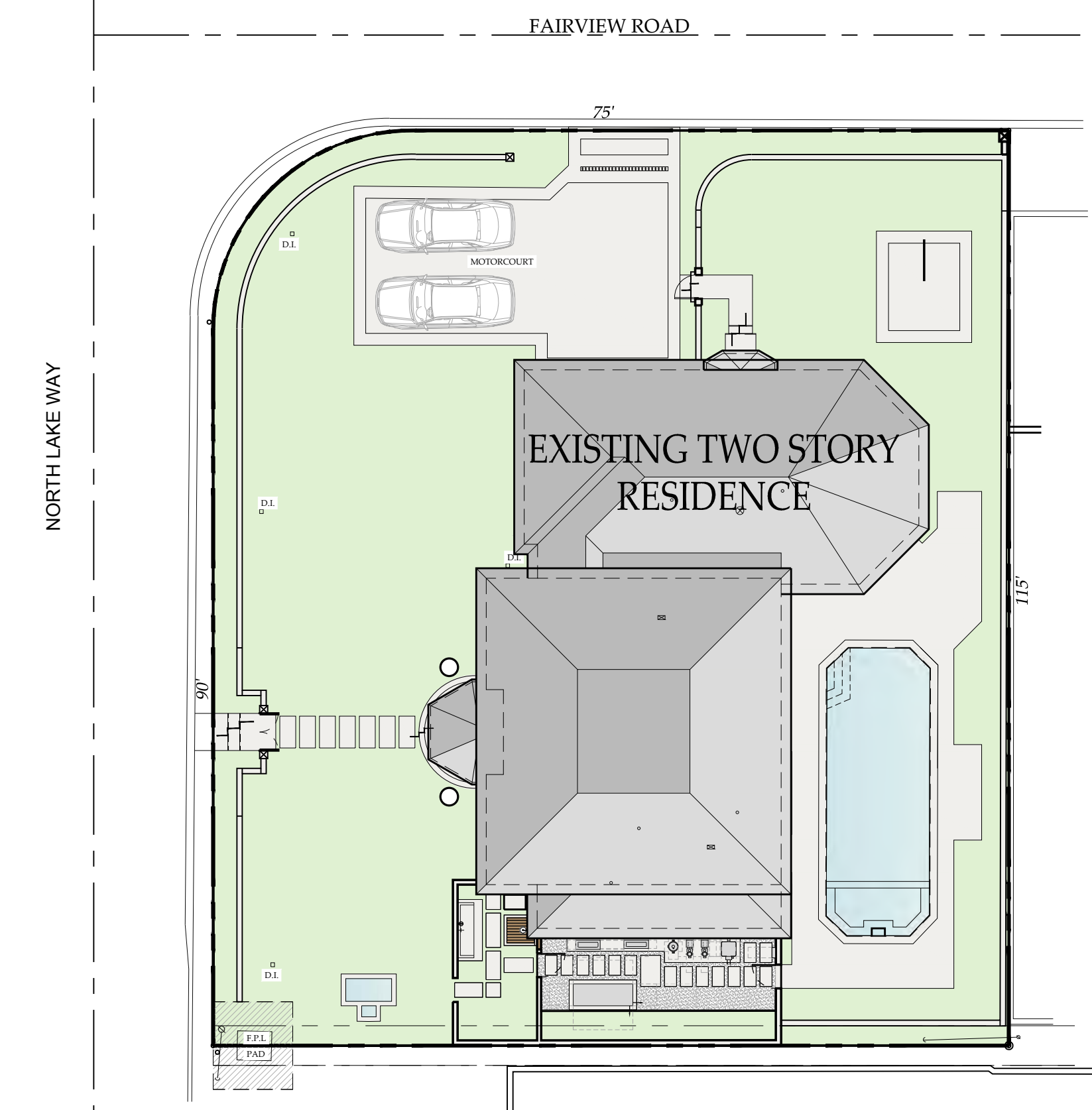
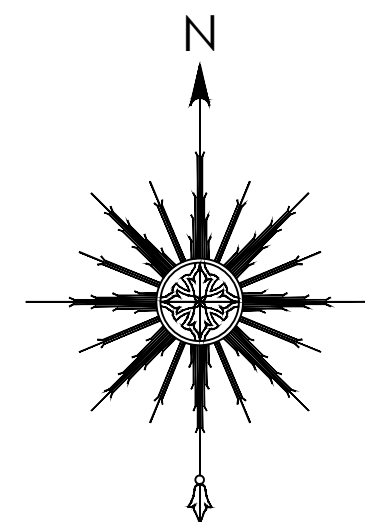
COVER SHEET AND GENERAL NOTES

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

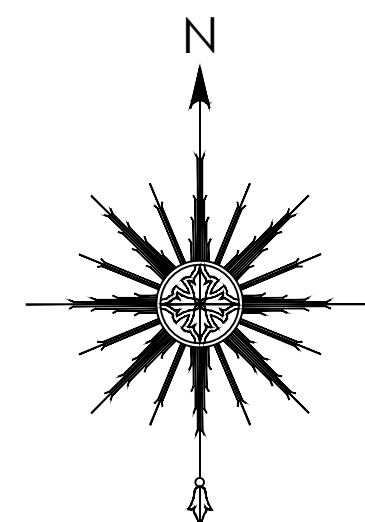
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 LOCATION PLAN  
SCALE: N.T.S



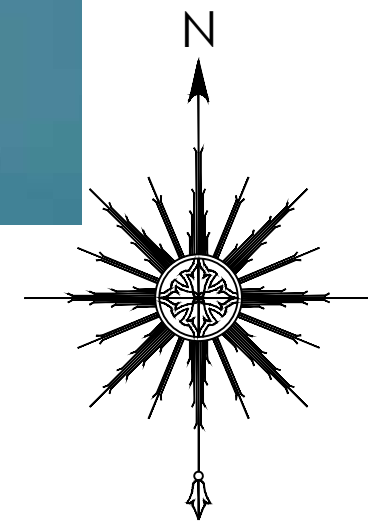
2 SITE PLAN - LOCATION OF SCOPE OF WORK  
SCALE: 1/16" = 1'-0"







1 VICINITY LOCATION MAP  
SCALE: N.T.S

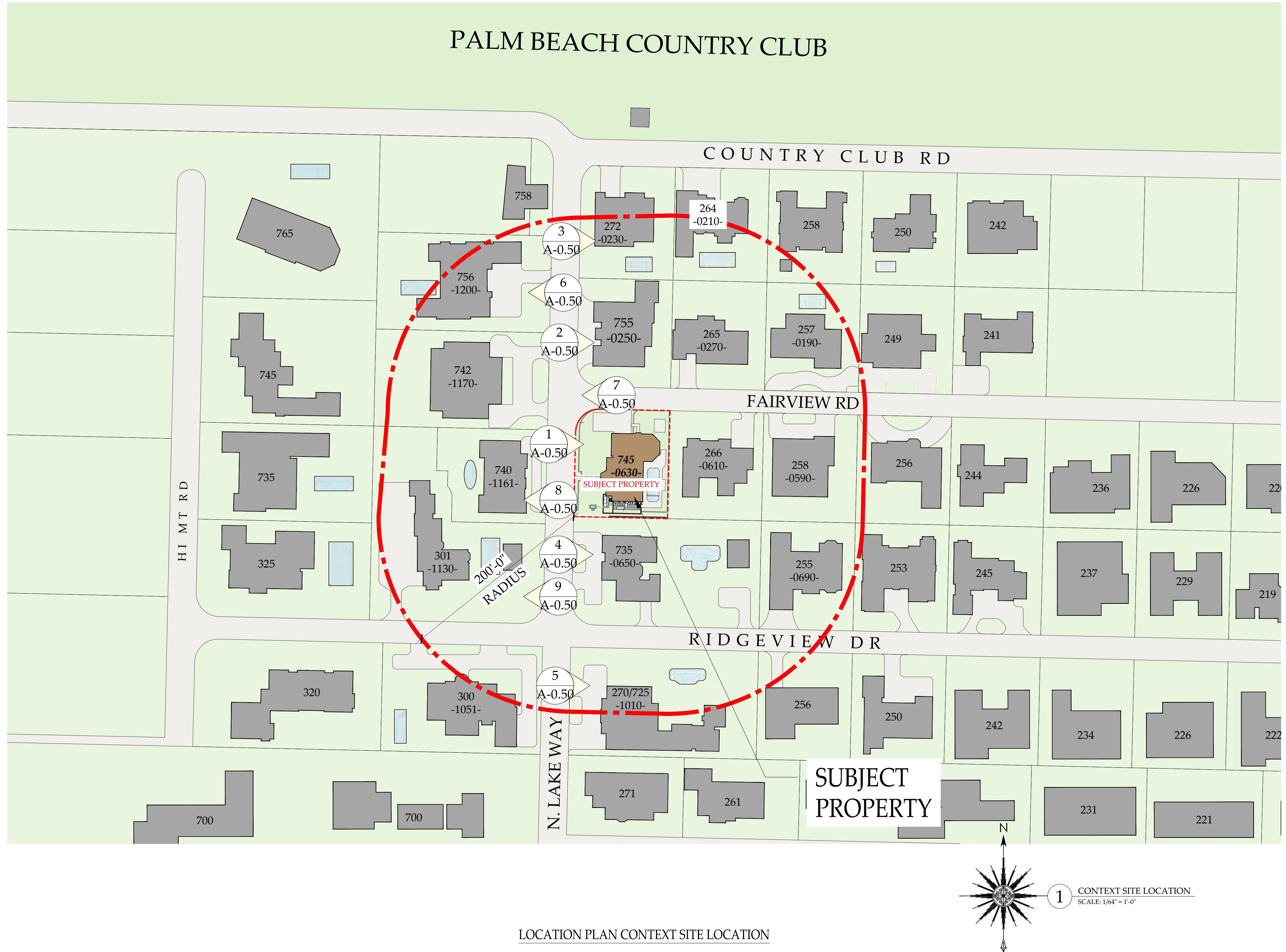


VICINITY LOCATION MAP

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
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LOCATION PLAN CONTEXT SITE LOCATION

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

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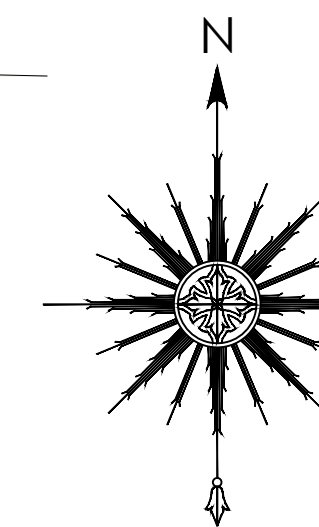
## PALM BEACH COUNTRY CLUB



CONTEXT STYLISTIC PLAN

### RENOVATION OF AN EXISTING PROPERTY PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 CONTEXT SITE STYLE PLAN  
SCALE: 1/64" = 1'-0"





1 745 N LAKE WAY  
WEST FACADE



2 745 N LAKE WAY  
NORTH FACADE



3 745 N LAKE WAY  
EAST FACADE



4 745 N LAKE WAY  
SOUTH FACADE



5 745 N LAKE WAY  
WEST FACADE-NORTH PORTION



6 745 N LAKE WAY  
WEST FACADE-SOUTH PORTION



7 745 N LAKE WAY  
WEST FACADE - VIEW FROM SOUTH CORNER



8 745 N LAKE WAY  
EAST FACADE - VIEW FROM NORTH CORNER



9 745 N LAKE WAY  
NORTH FACADE-CLOSEUP OF KITCHEN BAY WINDOW

PHOTOS SHEET  
OF EXISTING CONDITIONS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





1 745 N LAKE WAY  
WEST FACADE



2 755 N LAKE WAY  
WEST FACADE



3 272 COUNTRY CLUB RD  
WEST FACADE



4 735 N LAKE WAY  
WEST FACADE



5 725 N LAKE WAY  
WEST FACADE



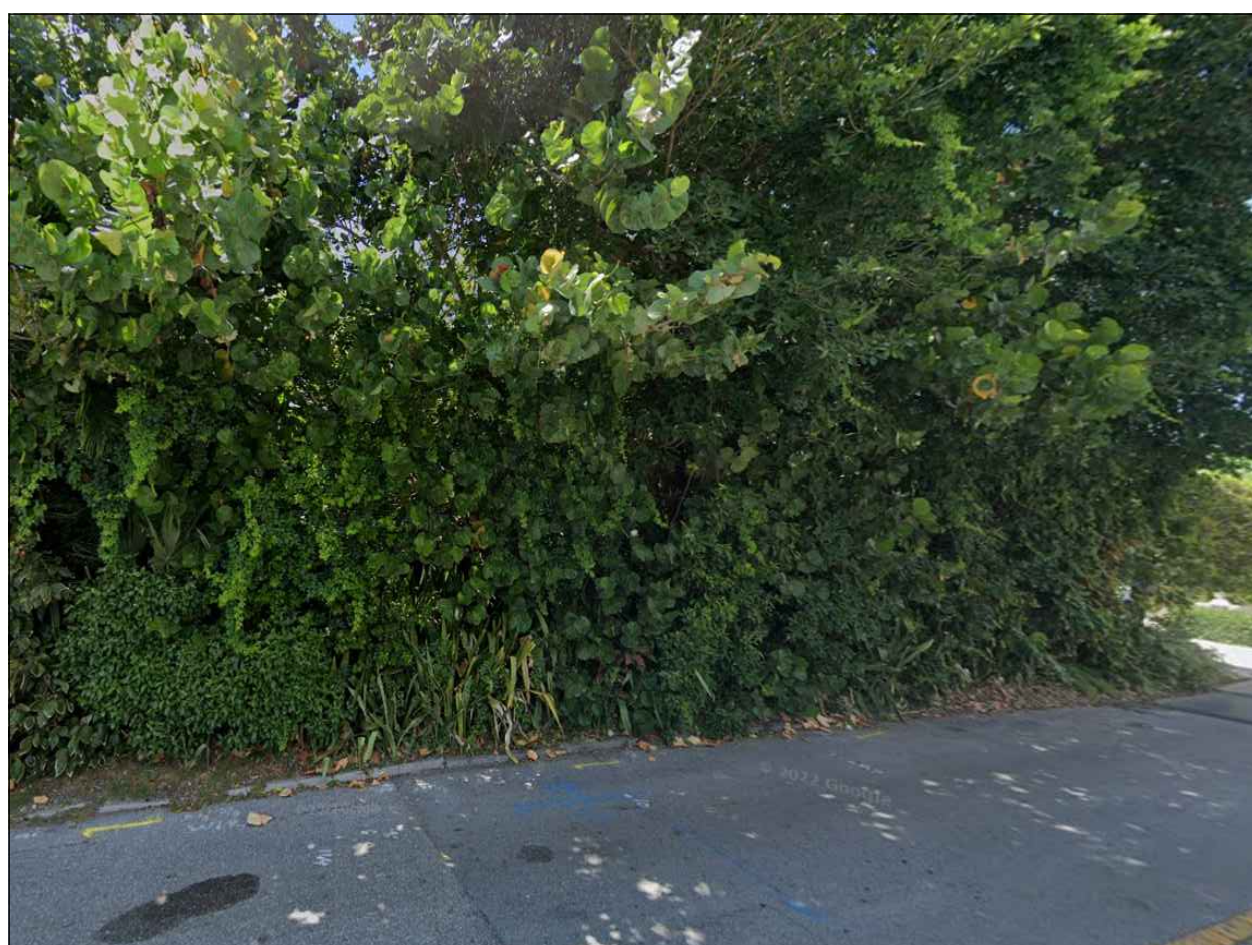
6 756 SLOPE TRL  
EAST FACADE



7 742 SLOPE TRAIL  
EAST FACADE



8 740 N LAKE WAY  
EAST FACADE



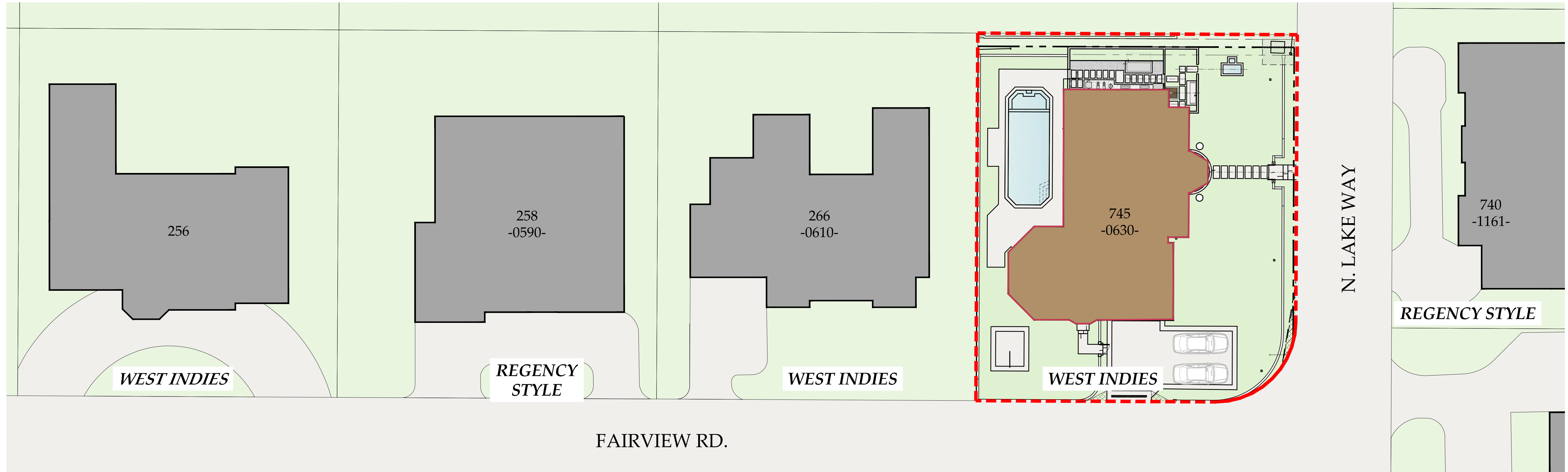
9 301 RIDGEVIEW DR  
EAST FACADE

PHOTOS SHEET  
NEIGHBORING PROPERTIES

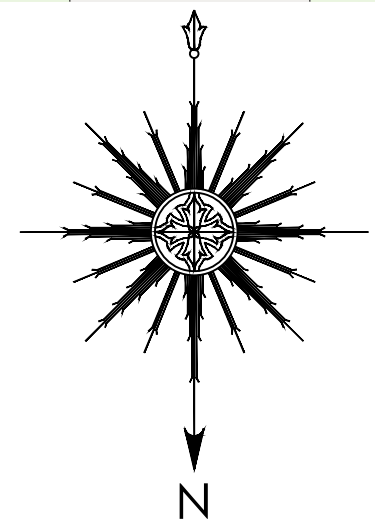
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

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745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480

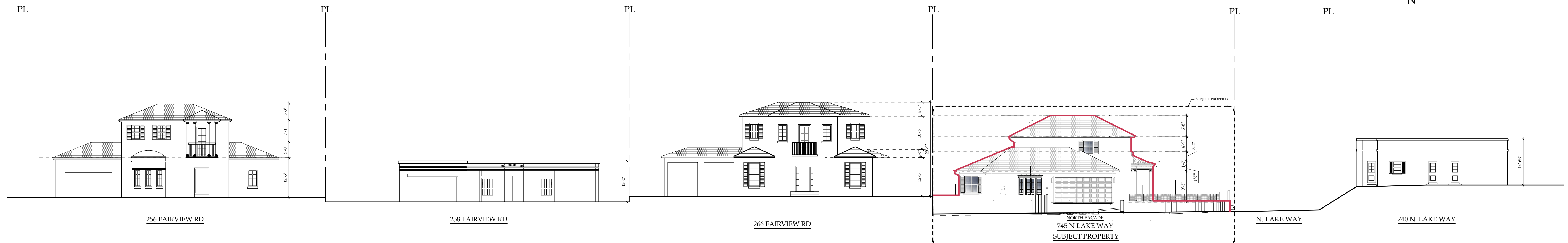




1 SITE PLAN  
SCALE: 1/16" = 1'-0"



FAIRVIEW RD. NORTH FACADE  
STREETSCAPE ELEVATIONS



ADJACENT PROPERTY ELEVATIONS DEPICTED BASED ON VISUAL  
AND TOPB (TOWN OF PALM BEACH) RECORD DRAWINGS. THE  
GRADE IS REPRESENTED AS A HORIZONTAL LINE AND DOES NOT  
ACCURATELY REFLECT ACTUAL GRADE CHANGES AT THE STREET.

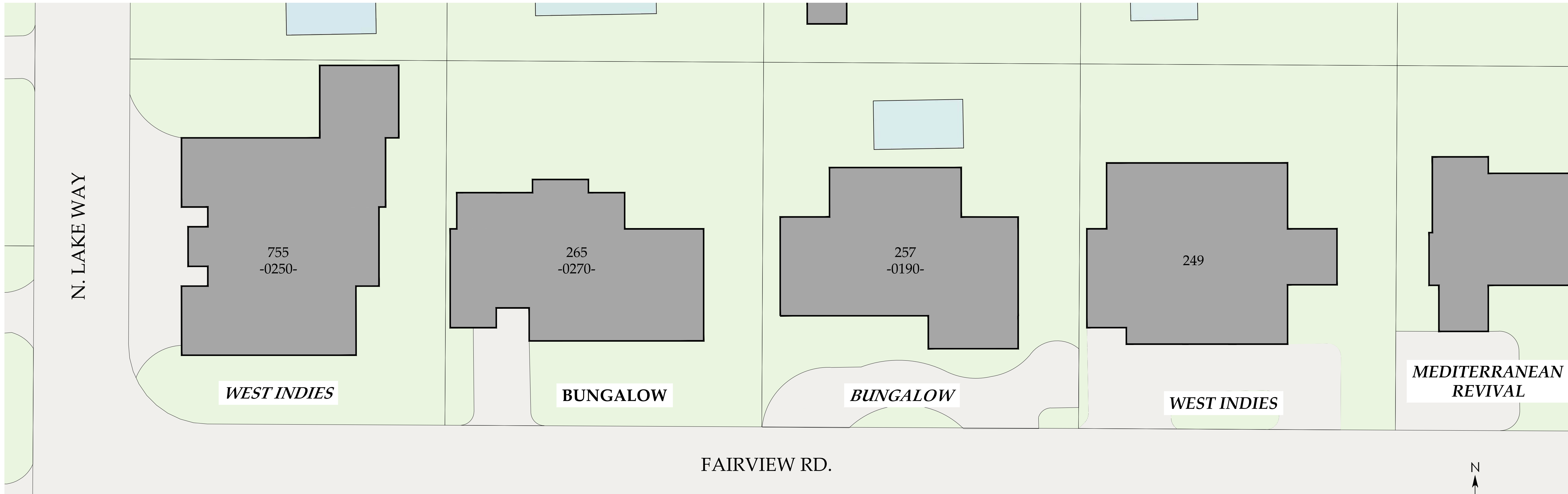
STREETSCAPE ELEVATIONS

2 STREETSCAPE ELEVATIONS  
SCALE: 1/16" = 1'-0"

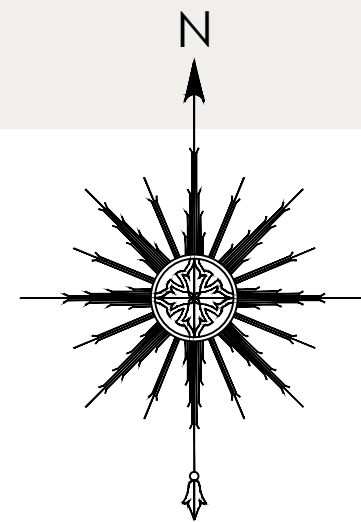
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480

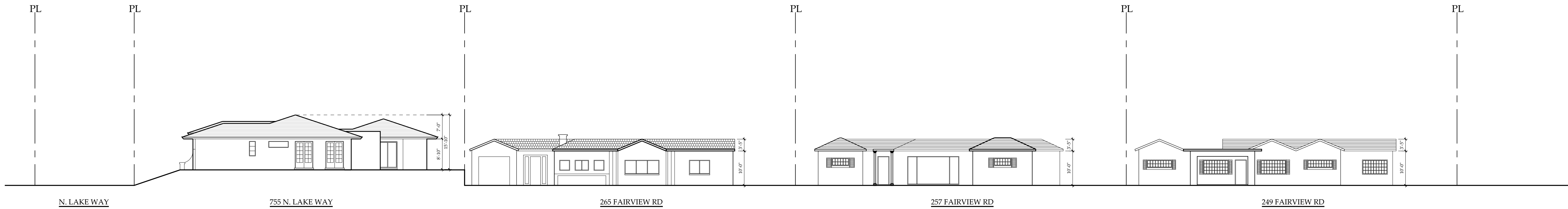




1 SITE PLAN  
SCALE: 1/16" = 1'-0"



FAIRVIEW RD. SOUTH FACADE  
STREETSCAPE ELEVATIONS



ADJACENT PROPERTY ELEVATIONS DEPICTED BASED ON VISUAL  
AND TOPB (TOWN OF PALM BEACH) RECORD DRAWINGS. THE  
GRADE IS REPRESENTED AS A HORIZONTAL LINE AND DOES NOT  
ACCURATELY REFLECT ACTUAL GRADE CHANGES AT THE STREET.

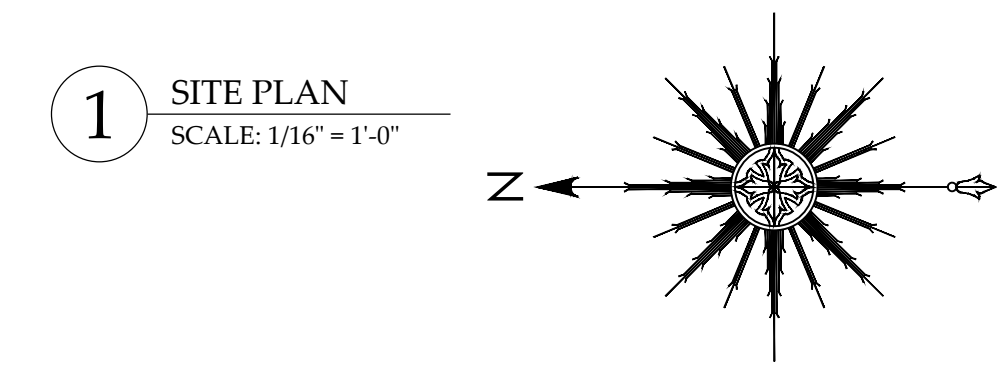
STREETSCAPE ELEVATIONS

2 STREETSCAPE ELEVATIONS  
SCALE: 1/16" = 1'-0"

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





Architectural drawings showing the west facade of the subject property at 745 N. Lake Way, surrounded by neighboring properties at 735 Slope Trail, 735 N. Lake Way, Ridgeview Dr, and 270 Ridgeview Dr. The drawings include lot lines (PL), property lines, and various dimensions for the buildings and setbacks.

**735 SLOPE TRAIL**

**FAIRVIEW RD**

**WEST FACADE**  
**745 N LAKE WAY**  
**SUBJECT PROPERTY**

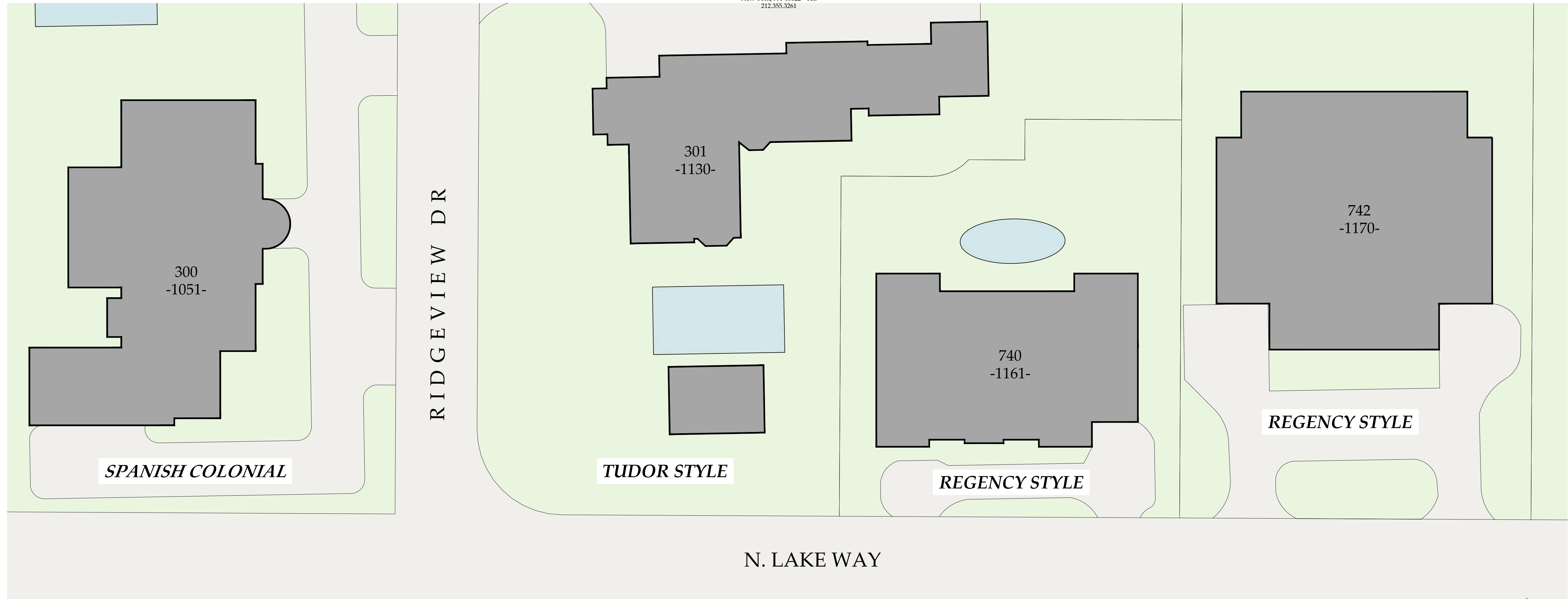
**735 N. LAKE WAY**

**RIDGEVIEW DR**

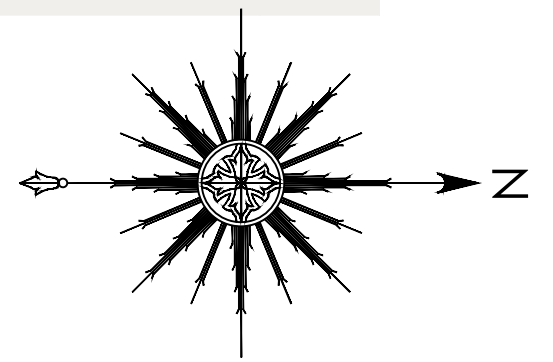
**270 RIDGEVIEW DR**

2 STREETSCAPE ELEVATIONS  
SCALE: 1/16" = 1'-0"

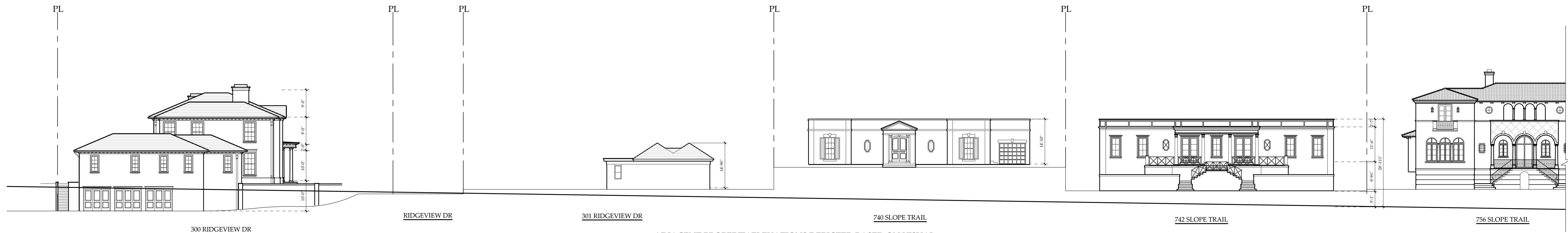
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 SITE PLAN  
SCALE: 1/16" = 1'-0"



### N. LAKE WAY WEST FACADE STREETSCAPE ELEVATIONS



ADJACENT PROPERTY ELEVATIONS DEPICTED BASED ON VISUAL  
AND TOPB (TOWN OF PALM BEACH) RECORD DRAWINGS. THE  
GRADE IS REPRESENTED AS A HORIZONTAL LINE AND DOES NOT  
ACCURATELY REFLECT ACTUAL GRADE CHANGES AT THE STREET.

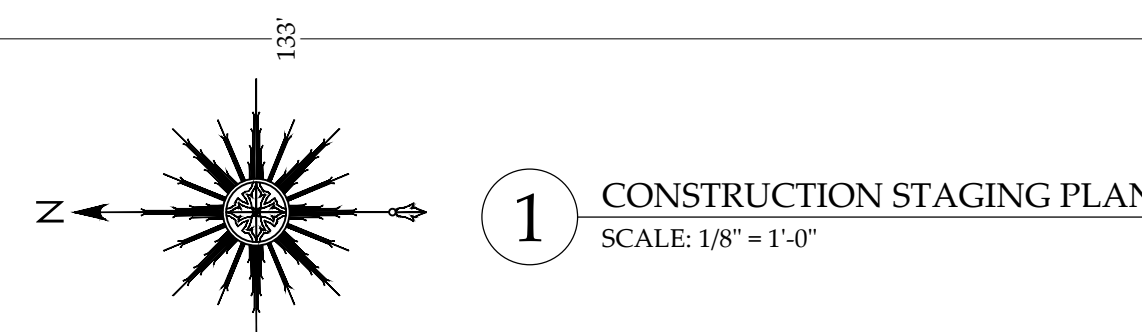
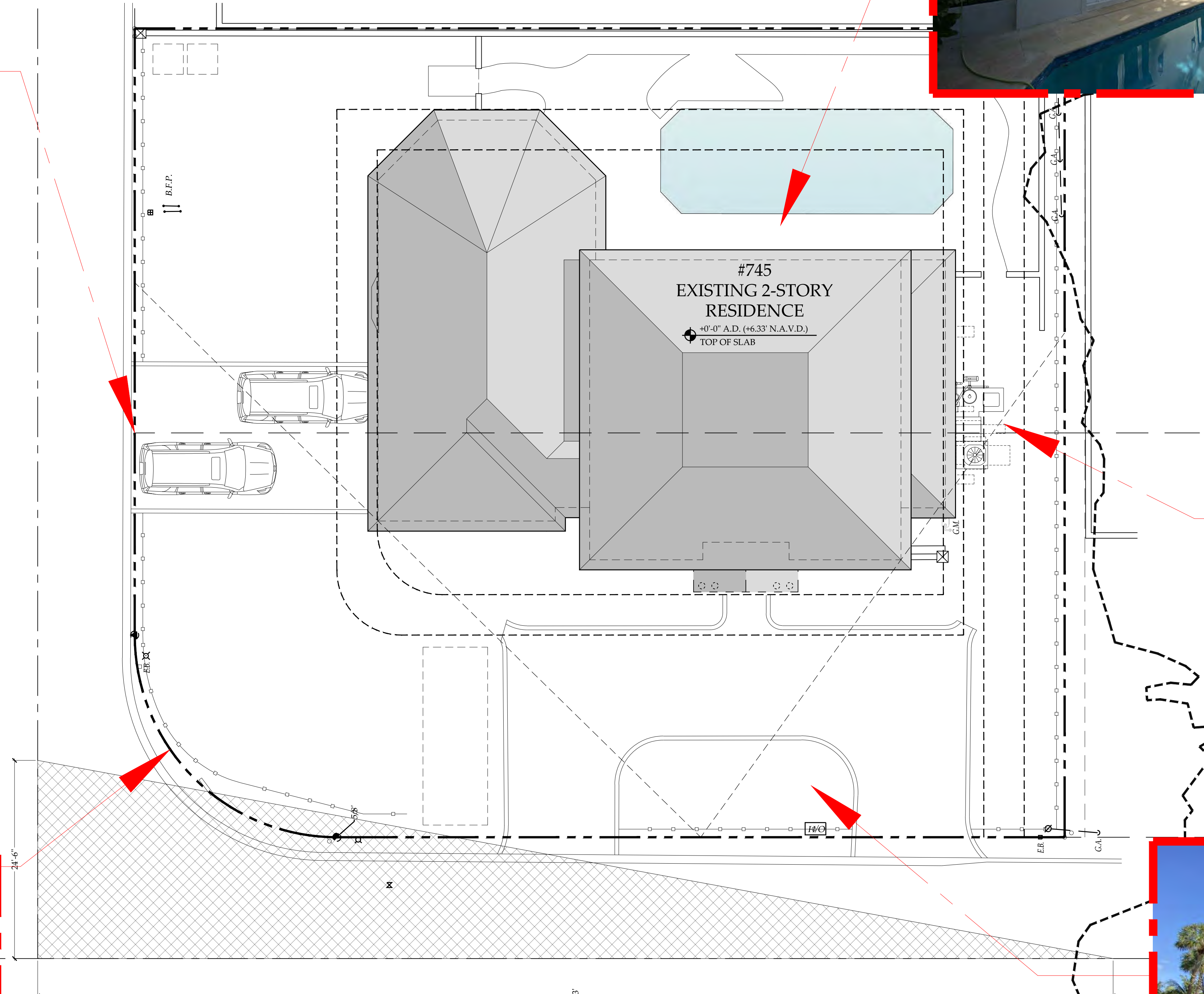
### STREETSCAPE ELEVATIONS

2 STREETSCAPE ELEVATIONS  
SCALE: 1/16" = 1'-0"

## RENOVATION OF AN EXISTING PROPERTY PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



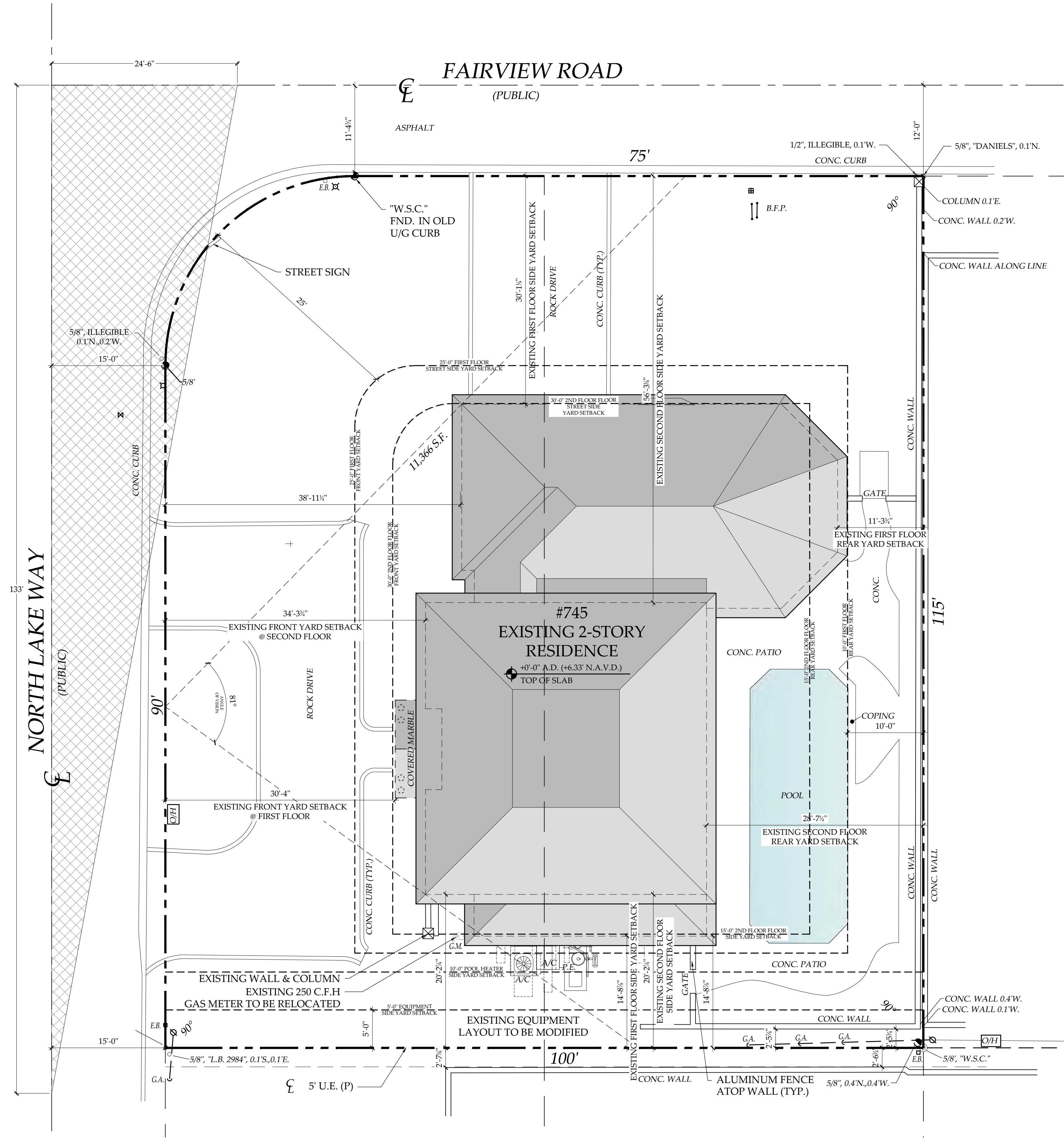


CONSTRUCTION STAGING PLAN - EXISTING CONDITIONS  
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



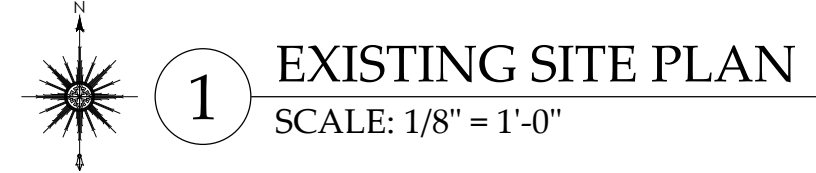
EXISTING ZONING CALCULATIONS		ZONING DISTRICT R-B
	ALLOWABLE	EXISTING
LOT WIDTH	100.00' MINIMUM	100.00', CONFORMS
LOT DEPTH	100.00' MINIMUM	115.00', CONFORMS
FRONT YARD SETBACK - FIRST FLOOR (NORTH LAKE WAY)	25.00' MINIMUM	30.33', CONFORMS
FRONT YARD SETBACK - SECOND FLOOR (NORTH LAKE WAY)	30.00' MINIMUM	34.32', CONFORMS
STREET SIDE YARD SETBACK - FIRST FLOOR (FAIRVIEW RD)	25.00' MINIMUM	30.16', CONFORMS
STREET SIDE YARD SETBACK - SECOND FLOOR (FAIRVIEW RD)	30.00' MINIMUM	56.39', CONFORMS
SIDE YARD SETBACK - FIRST FLOOR (AT SOUTH)	5.0' MINIMUM	14.73', CONFORMS
SIDE YARD SETBACK - SECOND FLOOR (AT SOUTH)	15.00' MINIMUM	20.10', CONFORMS
REAR YARD SETBACK - FIRST FLOOR (AT EAST)	10.00' MINIMUM	11.44', CONFORMS
REAR YARD SETBACK - SECOND FLOOR (AT EAST)	15.00' MINIMUM	28.78', CONFORMS
ANGLE OF VISION (NORTH LAKE WAY)	100 DEGREES	81 DEGREES
BUILDING HEIGHT AT EAVE (BOTTOM OF TOP CHORD) 2-STORY BLDG	22.00' MAXIMUM	20.33', CONFORMS
OVERALL BUILDING HEIGHT (MEASURED TO TOP OF ROOF)	30.00' MAXIMUM	28.17', CONFORMS



EXISTING SITE PLAN

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"



OVERALL R-B SITE CALCULATIONS:

SITE AREA = 11,366 SQ FT 100%

MINIMUM LANDSCAPE:

REQUIRED = 5,115 SQ FT 45%  
EXISTING = 5,357 SQ FT 47.1%  
PROPOSED = 5,630 SQ FT 49.5%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA = 2,366 SQ FT 100%

MINIMUM LANDSCAPE:

REQUIRED = 946 SQ FT 40%  
EXISTING = 1,898 SQ FT 80%  
PROPOSED = 1,835 SQ FT 77.55%

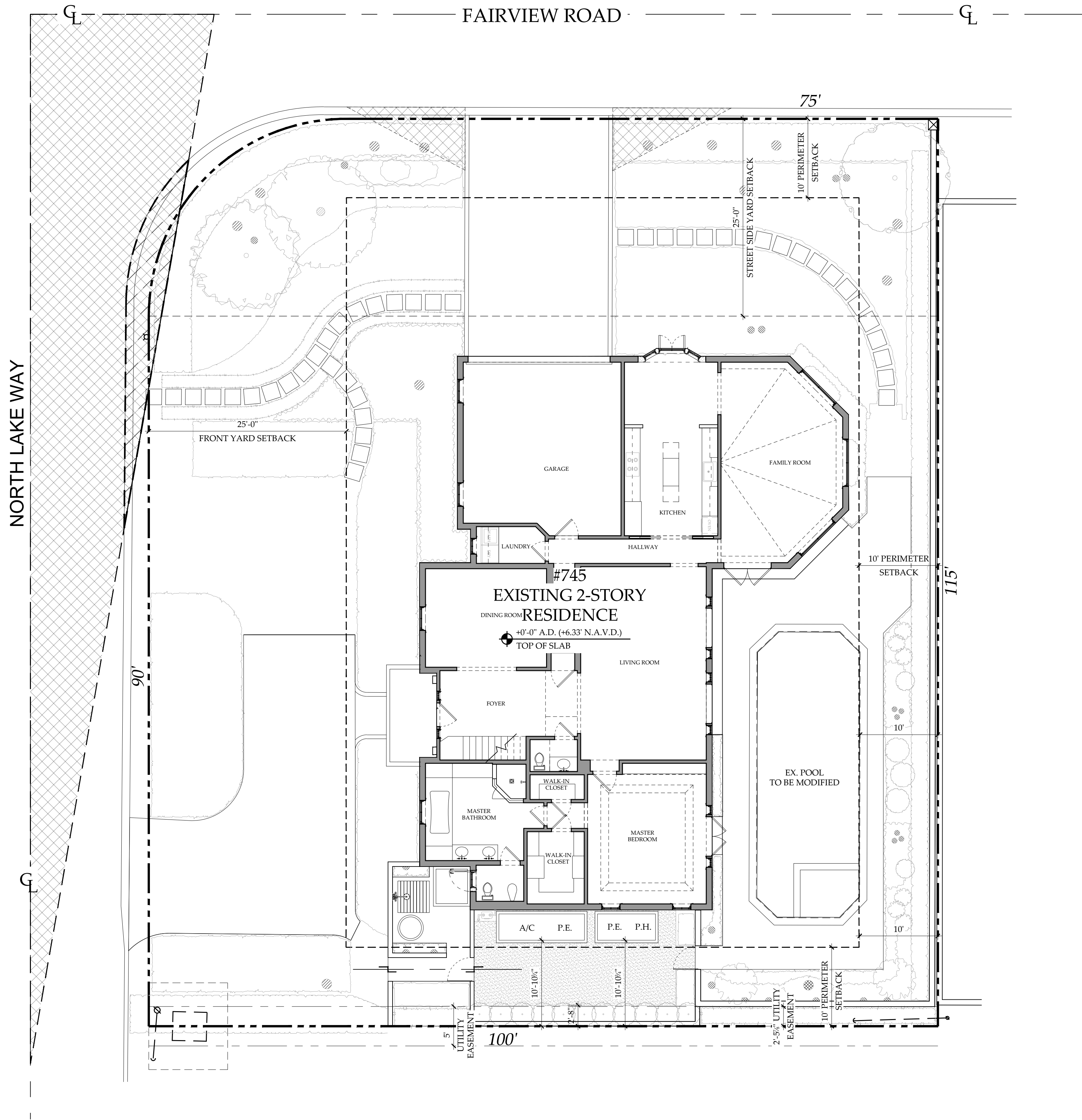
10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA = 3,814 SQ FT

MINIMUM LANDSCAPE:

REQUIRED = 1,968 SQ FT  
EXISTING = 2,968 SQ FT  
PROPOSED = 2,718 SQ FT

THIS SITE PLAN INDICATES THE PENDING ADMINISTRATIVE APPROVALS SUBMITTED TO THE TOPB BY NIEVERA WILLIAMS DESIGN. PLEASE REFER TO THE PENDING ADMINISTRATIVE REVIEW (ARCOM) SUBMITTAL (ARCS-24-0229) FOR MORE INFORMATION. PURSUANT TO THE EMAIL RECEIVED FROM THE TOPB STAFF ON OCTOBER 28, 2024, THIS APPLICATION IS PROCEEDING WITH THE ASSUMPTION THAT THE ADMINISTRATIVE APPROVAL IS IN PLACE.



PENDING ADMINISTRATIVE REVIEW SITE PLAN

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1

ADMINISTRATIVE SITE PLAN  
SCALE: 1/8" = 1'-0"





**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	745 N Lake Way, Palm Beach, FL 33480		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Lot Area (sq. ft.):	11,366 SQ. FT.		
4	Lot Width (W) & Depth (D) (ft.):	100' x 115'		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE FAMILY RESIDENCE		
6	FEMA Flood Zone Designation:	AE 6.0		
7	Zero Datum for point of meas. (NAVD)	EXISTING FIRST FLOOR TOP OF SLAB = 6.33' (NAVD)		
8	Crown of Road (COR) (NAVD)	CROWN OF ROAD = 4.70' (NAVD)		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	30% MAX. (3,408.76 SQ. FT.)	25.39% (2,886 SQ. FT.)	25.81% (2,933 SQ. FT.)
11	Enclosed Square Footage (1st & 2nd Fl. Basements, Access Structures, etc.)		4,254.84 SQ. FT.	4,258.23 SQ. FT.
12	*Front Yard Setback (Ft.)	25'-0"	30'-4" (WEST)	30'-4" (WEST)
13	*Side Yard Setback (1st Story) (Ft.)	25'-0"(N) / 12'-6" (S)	30'-1" (N) / 14'-9" (S)	30'-1" (N) / 14'-9" (S)
14	*Side Yard Setback (2nd Story) (Ft.)	30'-0"(N) / 15'-0" (S)	56'-3" (N) / 20'-3" (S)	56'-3" (N) / 20'-3" (S)
15	*Rear Yard Setback (Ft.)	10'-0"	11'-4" (EAST)	11'-4" (EAST)
16	Angle of Vision (Deg.)	108.00 DEG.	81.00 DEG.	81.00 DEG.
17	Building Height (Ft.)	22'-0"	20'-4"	20'-4"
18	Overall Building Height (Ft.)	30'-0"	28'-2"	28'-2"
19	Cubic Content Ratio (CCR) (R-B ONLY)	45,308.24 CU. FT. (3.986)	44,104.04 CU. FT. (3.880)	44,207.10 CU. FT. (3.889)
20	** Max. Fill Added to Site (Ft.)	1.4'	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	N/A	6.33' (NAVD)	6.33' (NAVD)
22	Base Flood Elevation (BFE)(NAVD)	6.00' (NAVD)	6.33' (NAVD)	6.33' (NAVD)
23	Landscape Open Space (LOS) (Sq Ft and %)	45% MIN. (5,115 SQ. FT.)	47% (5,357 SQ. FT.)	46.7% (5,210 SQ. FT.)
24	Perimeter LOS (Sq Ft and %)	50% MIN. (2,558 SQ. FT.)	58% (2,968 SQ. FT.)	67.67% (2,685 SQ. FT.)
25	Front Yard LOS (Sq Ft and %)	40% MIN. (946 SQ. FT.)	80% (1,898 SQ. FT.)	87% (2,384 SQ. FT.)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

\* Indicate each yard area with cardinal direction (N,S,E,W)

\*\* Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

\*\*\* Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

REV BF 20230626

THE OWNER IS PURSUING ABANDONMENT  
OF UTILITY EASEMENTS ALONG THE  
SOUTHERLY PROPERTY BOUNDARY.

SIGHT TRIANGLE TYP. 8' x 15'  
NOTE: NO WALLS OR  
LANDSCAPING TO EXCEED 30" HT.  
WITHIN SIGHT TRIANGLES. NO  
VEGETATION GREATER THAN 30"  
IN HT. WITHIN 3' OF ANY SIGHT  
TRIANGLE. REFER TO LANDSCAPE  
DRAWINGS FOR MORE  
INFORMATION

48" HT. BLACK  
VINYL COATED  
CHAIN LINK FENCE

FENCE TO DROP 6" @ START  
OF RADIUS  
HEADER CURB

LOW RETENTION CURB  
WALL STUCCO FINISH &  
PAINT TO MATCH HOUSE.  
MINIMUM 6" HT. ABOVE  
INTERIOR GRADE AT  
HIGHEST POINT. TOP OF  
WALL TO REMAIN LEVEL

NATURAL STONE  
WALKWAY AND TREADS

PROVIDE DRAIN AT REAR  
OF STEP TREAD

DBL SWING PEDESTRIAN GATE

LOW RETENTION CURB WALL  
STUCCO FINISH & PAINT TO  
MATCH HOUSE. MINIMUM 6"  
HT. ABOVE INTERIOR GRADE  
AT HIGHEST POINT. TOP OF  
WALL TO REMAIN LEVEL

38"x 46" OUTDOOR  
SHOWER + TEAK INLAY  
W/ 6" STONE BORDER

FOUNTAIN FEATURE  
TBD

NEW 6" SCREENING WALL  
T.O.W. = 11.30' N.A.V.D

$$\Delta = 90^{\circ}00'00''$$
$$A = 39.27'$$
$$R = 25.00'$$

SIGHT TRIANGLE TYP. 8' x 15'  
NOTE: NO WALLS OR LANDSCAPING TO  
EXCEED 30" HT. WITHIN SIGHT  
TRIANGLES. NO VEGETATION GREATER  
THAN 30" IN HT. WITHIN 3' OF ANY  
SIGHT TRIANGLE. REFER TO LANDSCAPE  
DRAWINGS FOR MORE INFORMATION

"W.S.C."  
FND. IN OLD  
U/G CURB

5/8", ILLEGIBLE  
0.1"N, 0.2"W.  
15'-0"

SOLID PANEL SELF CLOSING  
GATE LEVER 54" MIN HT.  
NATURAL STONE WALKWAY

#745  
EXISTING 2-STORY  
RESIDENCE  
+0'-0" A.D. (+6.33' N.A.V.D.)  
TOP OF SLAB

NATURAL STEP STONE WALK, TBD.  
MUDSET ON COMPACTED BASE.

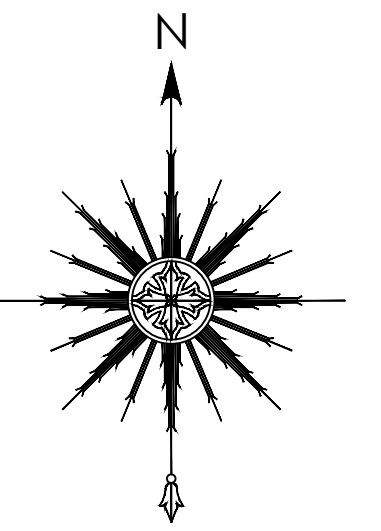
6' HT. EQUIP. SCREENING  
WALL. NOT TO EXCEED 7'  
HT. AS MEASURED FROM  
LOWEST ADJACENT GRADE

EXISTING WALL HEIGHT TO REMAIN  
ADJUST EXISTING WALL HEIGHT TO 6' HT.  
T.O.W. = 11.30' N.A.V.D

PROPOSED SITE PLAN

## RENOVATION OF AN EXISTING PROPERTY PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480







**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Zoning Legend			
1	Property Address:	745 N Lake Way, Palm Beach, FL 33480	
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL	
3	Lot Area (sq. ft.):	11,366 SQ. FT.	
4	Lot Width (W) & Depth (D) (ft.):	100' x 115'	
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE FAMILY RESIDENCE	
6	FEMA Flood Zone Designation:	AE 6.0	
7	Zero Datum for point of meas. (NAVD)	EXISTING FIRST FLOOR TOP OF SLAB = 6.33' (NAVD)	
8	Crown of Road (COR) (NAVD)	CROWN OF ROAD = 4.70' (NAVD)	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	30% MAX. (3,408 SQ. FT.)	25.39% (2,886 SQ. FT.)
11	Enclosed Square Footage (1st & 2nd Fl., Basements, Access Structures, etc.)	4,254.84 SQ. FT.	4,258.23 SQ. FT.
12	*Front Yard Setback (Ft.)	25'-0"	30'-4" (WEST)
13	*Side Yard Setback (1st Story) (Ft.)	25'-0"(N) / 12'-6" (S)	30'-1" (N) / 14'-9" (S)
14	*Side Yard Setback (2nd Story) (Ft.)	30'-0"(N) / 15'-0" (S)	56'-3" (N) / 20'-3" (S)
15	*Rear Yard Setback (Ft.)	10'-0"	11'-4" (EAST)
16	Angle of Vision (Deg.)	108.00 DEG.	81.00 DEG.
17	Building Height (Ft.)	22'-0"	20'-4"
18	Overall Building Height (Ft.)	30'-0"	28'-2"
19	Cubic Content Ratio (CCR) (R-B ONLY)	45,308.24 CU. FT. (3.986)	44,104.04 CU. FT. (3.880)
20	** Max. Fill Added to Site (Ft.)	1.4'	N/A
21	Finished Floor Elev. (FFE)(NAVD)	N/A	6.33' (NAVD)
22	Base Flood Elevation (BFE)(NAVD)	6.00' (NAVD)	6.33' (NAVD)
23	Landscape Open Space (LOS) (Sq Ft and %)	45% MIN. (5,115 SQ. FT.)	47% (5,357 SQ. FT.)
24	Perimeter LOS (Sq Ft and %)	50% MIN. (2,558 SQ. FT.)	58% (2,968 SQ. FT.)
25	Front Yard LOS (Sq Ft and %)	40% MIN. (946 SQ. FT.)	80% (1,898 SQ. FT.)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

\* Indicate each yard area with cardinal direction (N,S,E,W)

\*\* Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

\*\*\* Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.  
Enter N/C if value is not changing.

REV BF 20230626

LEGEND

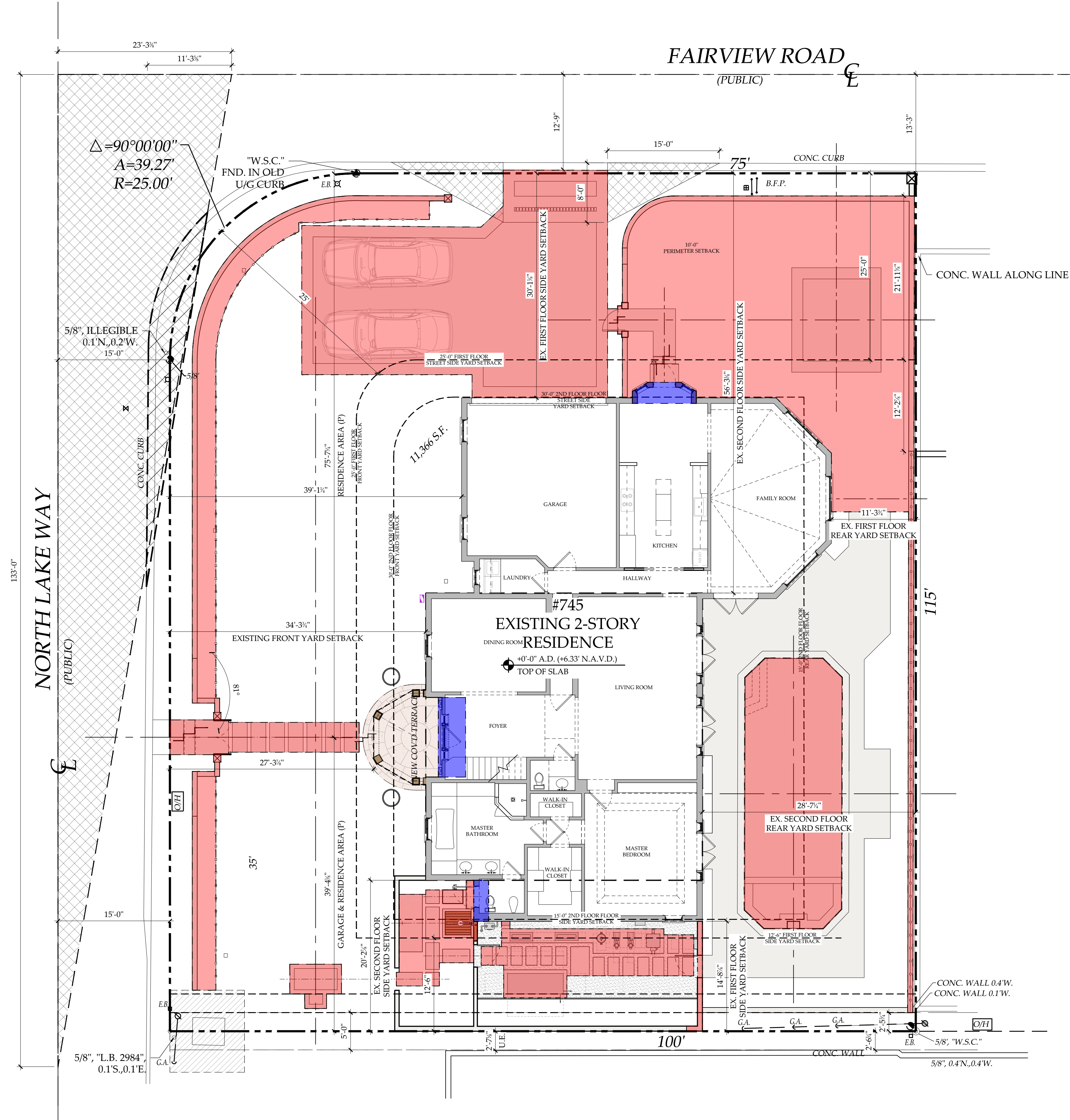
- PROPOSED ARCHITECTURAL MODIFICATIONS
- PROPOSED SITE PLAN/LANDSCAPE ARCHITECTURAL MODIFICATIONS

THE OWNER IS PURSUING ABANDONMENT  
OF UTILITY EASEMENTS ALONG THE  
SOUTHERLY PROPERTY BOUNDARY.

PENDING ADMINISTRATIVE REVIEW SITE PLAN / PROPOSED SITE PLAN COMPARISON DIAGRAM

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480







**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	745 N Lake Way, Palm Beach, FL 33480		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Lot Area (sq. ft.):	11,366 SQ. FT.		
4	Lot Width (W) & Depth (D) (ft.):	100' x 115'		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE FAMILY RESIDENCE		
6	FEMA Flood Zone Designation:	AE 6.0		
7	Zero Datum for point of meas. (NAVD)	EXISTING FIRST FLOOR TOP OF SLAB = 6.33' (NAVD)		
8	Crown of Road (COR) (NAVD)	CROWN OF ROAD = 4.70' (NAVD)		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	30% MAX. (3,409.76 SQ. FT.)	25.39% (2,886 SQ. FT.)	25.81% (2,933 SQ. FT.)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)		4,254.84 SQ. FT	4,258.23 SQ. FT
12	*Front Yard Setback (Ft.)	25'-0"	30'-4" (WEST)	30'-4" (WEST)
13	* Side Yard Setback (1st Story) (Ft.)	25'-0"(N) / 12'-6" (S)	30'-1" (N) / 14'-9" (S)	30'-1" (N) / 14'-9" (S)
14	* Side Yard Setback (2nd Story) (Ft.)	30'-0"(N) / 15'-0" (S)	56'-3" (N) / 20'-3" (S)	56'-3" (N) / 20'-3" (S)
15	*Rear Yard Setback (Ft.)	10'-0"	11'-4" (EAST)	11'-4" (EAST)
16	Angle of Vision (Deg.)	108.00 DEG.	81.00 DEG.	81.00 DEG.
17	Building Height (Ft.)	22'-0"	20'-4"	20'-4"
18	Overall Building Height (Ft.)	30'-0"	28'-2"	28'-2"
19	Cubic Content Ratio (CCR) (R-B ONLY)	45,308.24 CU. FT. (3.986)	44,104.04 CU. FT. (3.880)	44,207.10 CU. FT. (3.889)
20	** Max. Fill Added to Site (Ft.)	1.4'	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	N/A	6.33' (NAVD)	6.33' (NAVD)
22	Base Flood Elevation (BFE)(NAVD)	6.00' (NAVD)	6.33' (NAVD)	6.33' (NAVD)
23	Landscape Open Space (LOS) (Sq Ft and %)	45% MIN. (5,115 SQ. FT.)	47% (5,357 SQ. FT.)	46.7% (5,210 SQ. FT.)
24	Perimeter LOS (Sq Ft and %)	50% MIN. (2,558 SQ. FT.)	58% (2,968 SQ. FT.)	67.67% (2,685 SQ. FT.)
25	Front Yard LOS (Sq Ft and %)	40% MIN. (946 SQ. FT.)	80% (1,898 SQ. FT.)	87% (2,384 SQ. FT.)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

\* Indicate each yard area with cardinal direction  
(N,S,E,W)

\*\* Difference of Fin. Floor Elev. (FFE) and  
highest Crown of Rd (COR) divided by two. (FFE -  
COR) / 2 = Max. Fill [\(Sec. 134-1600\)](#)

\*\*\* Provide Native plant species info per  
category as required by [Ord. 003-2023](#) on  
separate TOPB Landscape Legend

Enter N/A if value is not applicable.

Enter N/C if value is not changing.

REV BF 20230626

ZONING LEGEND

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

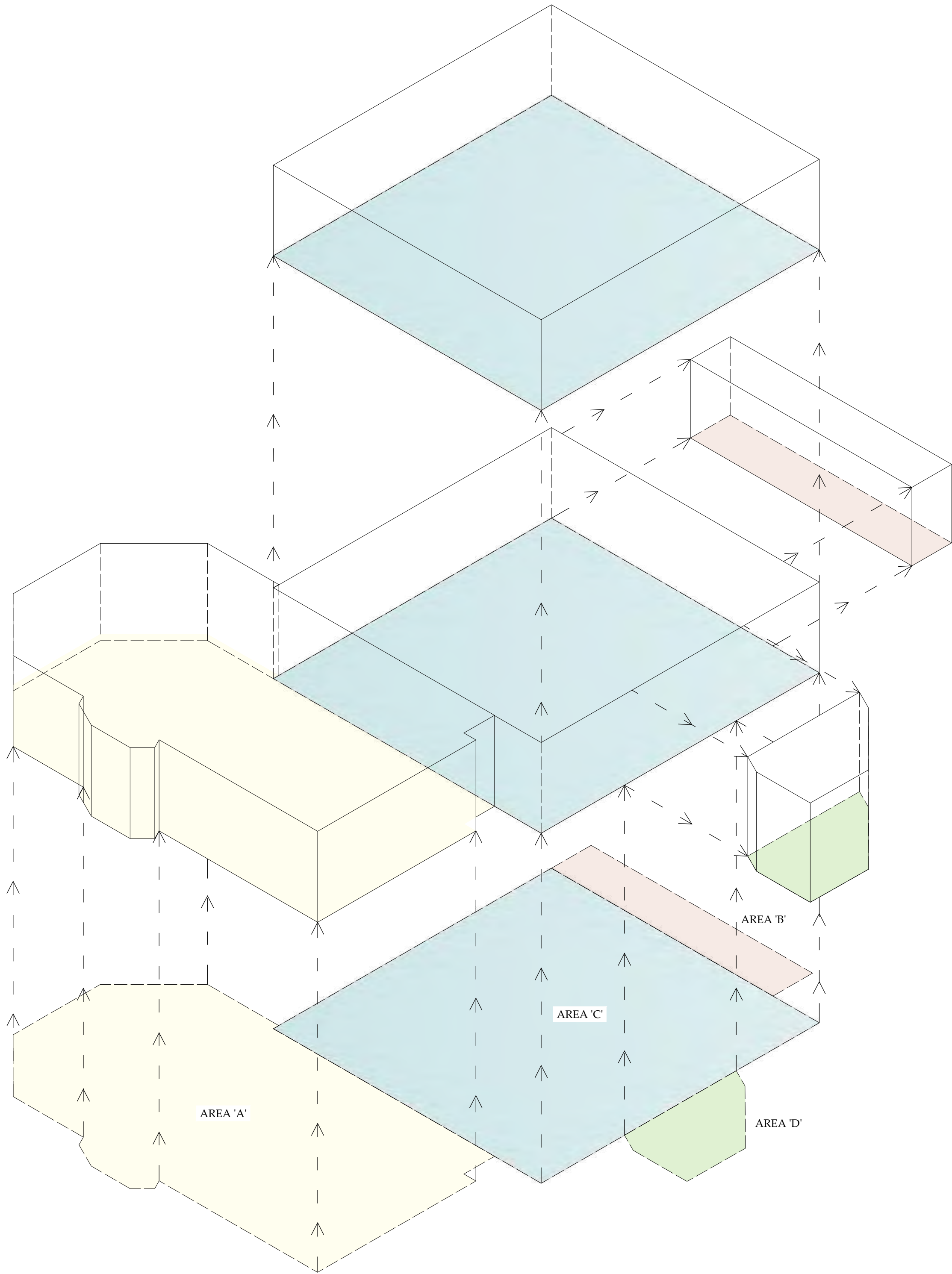
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



AREA CALCULATIONS		ZONING DISTRICT R-B
	ALLOWABLE	PROPOSED
LOT AREA	10,000 SQ. FT. MINIMUM	11,365.87 SQ. FT., CONFORMS
AIR CONDITIONED FIRST FLOOR		2,365.54 SQ. FT.
COVERED EXTERIOR SPACES (FIRST FLOOR)		75.00 SQ. FT.
TOTAL BUILDING AREA (FIRST FLOOR & COVERED EXT. SPACES)		2,440.54 SQ. FT.
LOT COVERAGE (BUILDING AREA) - TWO STORY BUILDING	30% MAX. (3,409.76 SQ. FT.)	2,906 SQ. FT., CONFORMS

PROPOSED CUBIC CONTENT RATIO		ZONING DISTRICT R-B
CUBIC CONTENT RATIO: FOR LOTS BETWEEN 10,000 SQ. FT. AND 60,000 SQ. FT.: CCR = 3.50 + [(60,000 - LOT AREA) / 50,000] x 0.5] CCR = 3.50 + [(60,000 - 11,365.87) / 50,000 x 0.5] CCR = 3.986		
ALLOWABLE		45,308.24 CU. FT.
AREA 'A'	1,263.56 SQ. FT. @ 10.63'	13,431.69 CU. FT.
AREA 'B'	168.67 SQ. FT. @ 10.63'	1,792.93 CU. FT.
AREA 'C'	1,427.71 SQ. FT. @ 20.30'	28,982.48 CU. FT.
TOTAL - AIR CONDITIONED SPACE		44,207.10 CU. FT.
PROPOSED CUBIC CONTENT RATIO	44,207.10 CU. FT. / 11,365.87 SQ. FT.	3.889 CCR
45,308.24 CU. FT. MAX - 44,207.10 CU. FT.		1,101.14 CU. FT. REMAINING
CUBIC CONTENT OF COVERED EXTERIOR AREAS		
ALLOWABLE (5% OF MAIN HOUSE CUBIC CONTENT)		2,210.35 CU. FT.
AREA 'D' - PROPOSED	75 SQ. FT. @ 12.00'	900.00 CU. FT.
TOTAL - COVERED EXTERIOR SPACE		900.00 CU. FT.
2,210.35 CU. FT. - 900.00 CU. FT.		1,310.35 CU. FT. REMAINING
1,310.35 CU. FT. REMAINING + 1,101.14 CU. FT. REMAINING		2,411.50 CU. FT. REMAINING

EXISTING CUBIC CONTENT RATIO		ZONING DISTRICT R-B
CUBIC CONTENT RATIO: FOR LOTS BETWEEN 10,000 SQ. FT. AND 60,000 SQ. FT.: CCR = 3.50 + [(60,000 - LOT AREA) / 50,000] x 0.5] CCR = 3.50 + [(60,000 - 11,365.87) / 50,000 x 0.5] CCR = 3.986		
ALLOWABLE		45,308.24 CU. FT.
AREA 'A'	1,253.87 SQ. FT. @ 10.63'	13,331.25 CU. FT.
AREA 'B'	168.67 SQ. FT. @ 10.63'	1,792.93 CU. FT.
AREA 'C'	1,427.71 SQ. FT. @ 20.30'	28,982.48 CU. FT.
TOTAL - AIR CONDITIONED SPACE		44,104.04 CU. FT.
EXISTING CUBIC CONTENT RATIO	44,104.04 CU. FT. / 11,365.87 SQ. FT.	3.880 CCR
45,308.24 CU. FT. MAX - 44,104.04 CU. FT.		1,204.22 CU. FT. REMAINING
CUBIC CONTENT OF COVERED EXTERIOR AREAS		
ALLOWABLE (5% OF MAIN HOUSE CUBIC CONTENT)		2,205.20 CU. FT.
AREA 'D' - EXISTING TO BE DEMOLISHED	55.61 SQ. FT. @ 10.93'	607.93 CU. FT.
TOTAL - COVERED EXTERIOR SPACE		607.93 CU. FT.
2,205.20 CU. FT. - 607.93 CU. FT.		1,597.37 CU. FT. REMAINING
1,597.37 CU. FT. REMAINING + 1,204.22 CU. FT. REMAINING		2,801.60 CU. FT. REMAINING



1 EXPLODE AXONOMETRIC PROPOSED CONTENT INFORMATION  
SCALE: N.T.S

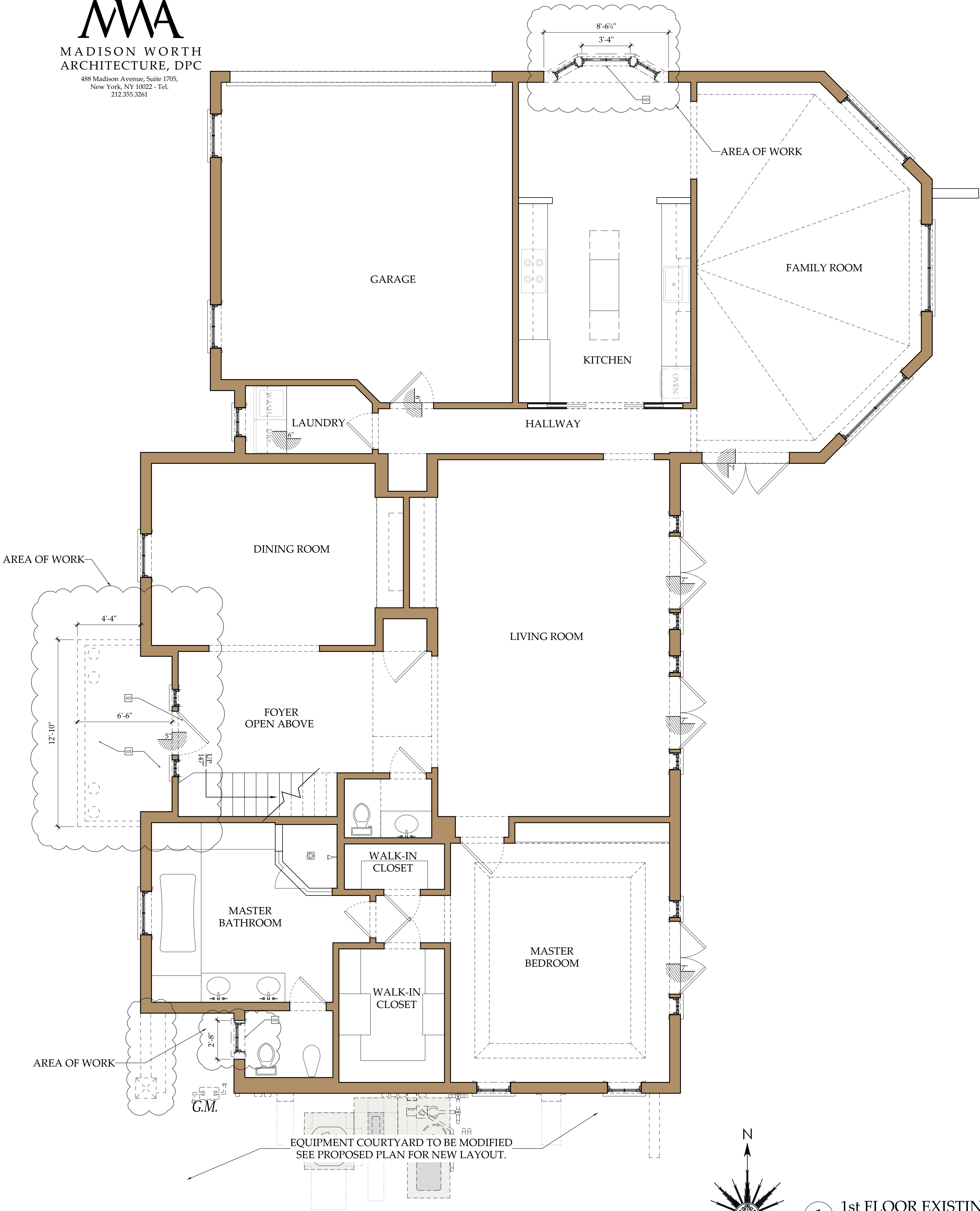
CUBIC CONTENT CALCULATION  
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



DEMOLITION LEGEND	
	EXISTING WALL OR MATERIAL TO REMAIN
	EXISTING WALL OR MATERIAL TO BE REMOVED

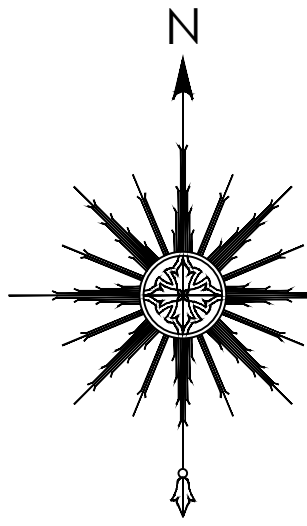
DEMOLITION KEYNOTES:  
101. EXISTING ENTRY PORTICO TO BE REMOVED  
102. EXISTING DOOR & DOOR HARDWARE TO BE REMOVED.  
103. EXISTING WINDOW & WINDOW HARDWARE TO BE REMOVED.



1ST FLOOR EXISTING PLAN



RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

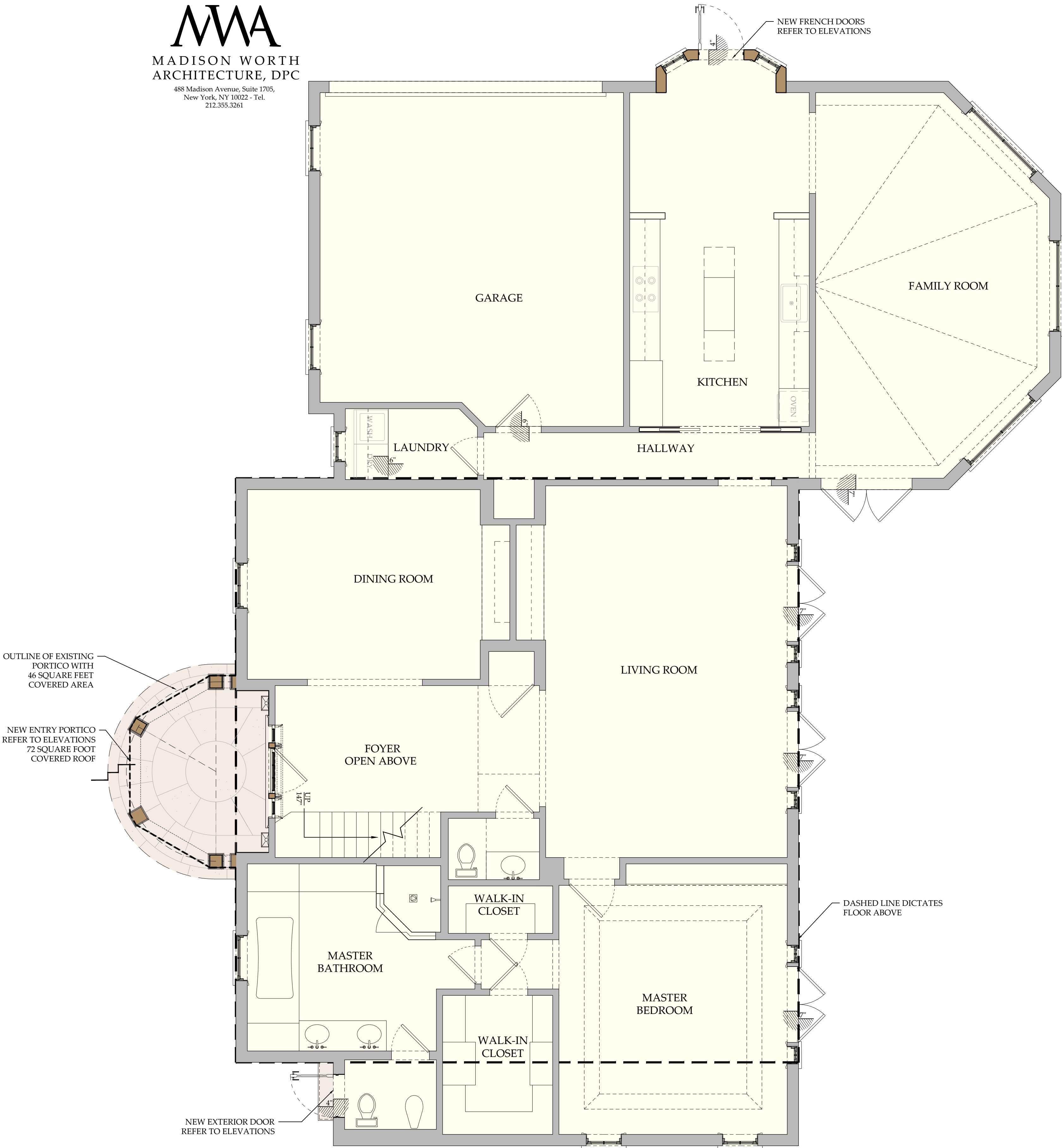
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 1st FLOOR EXISTING PLAN  
SCALE: 1/4" = 1'-0"



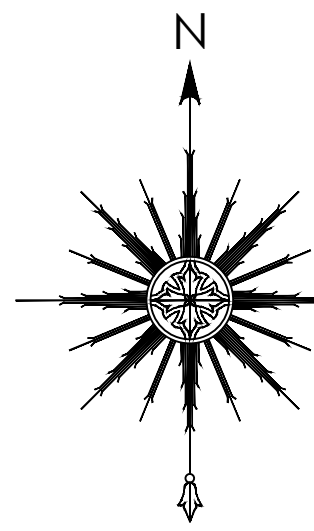
WALL LEGEND	
	EXISTING WALL OR MATERIAL TO REMAIN
	NEWLY PROPOSED WALL



1ST FLOOR PROPOSED PLAN

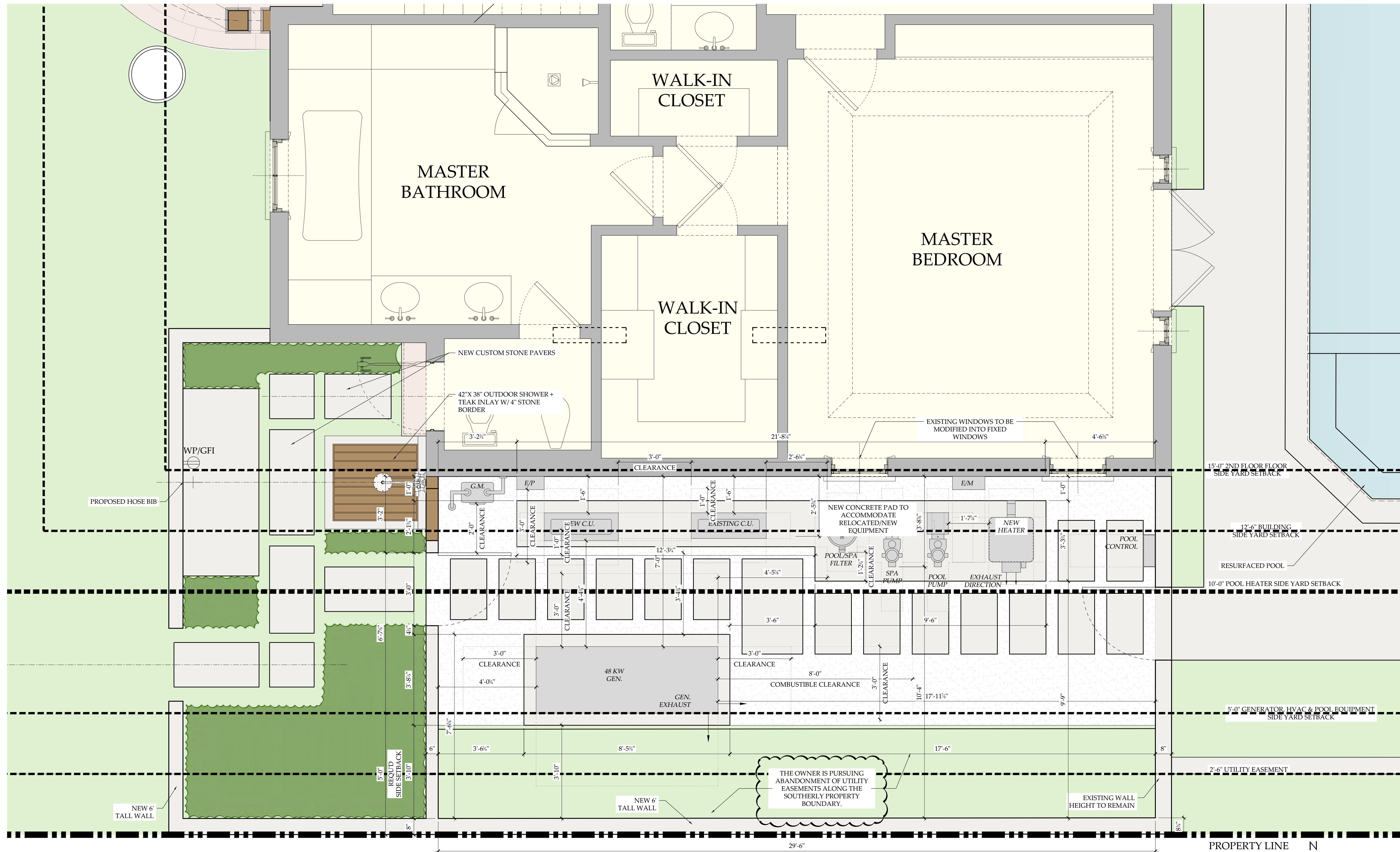
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 1st FLOOR PROPOSED PLAN  
SCALE: 1/4" = 1'-0"



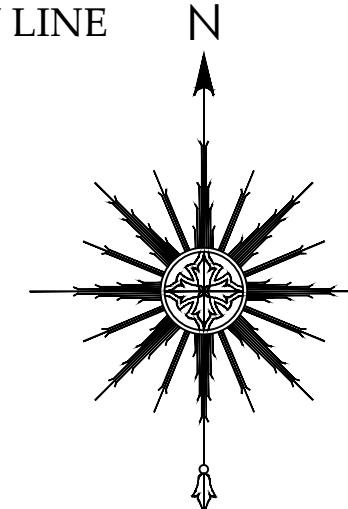


WALL LEGEND LEGEND	
	EXISTING WALL OR MATERIAL TO REMAIN
	NEWLY PROPOSED HOUSE WALL
	NEWLY PROPOSED SITE WALL & HARDSCAPE

PROPOSED EQUIPMENT LAYOUT

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 PROPOSED EQUIPMENT LAYOUT  
SCALE: 1/2" = 1'-0"



**SEC. 134-1728. - AIR CONDITIONING AND SWIMMING POOL, AND FOUNTAIN EQUIPMENT.**

A. AIR CONDITIONING/CHILLER EQUIPMENT (EXCLUDING COOLING TOWERS). AIR CONDITIONING EQUIPMENT SHALL NOT BE ALLOWED IN A REQUIRED FRONT YARD SETBACK. SAID EQUIPMENT SHALL BE ALLOWED IN A REQUIRED SIDE, REAR, STREET SIDE AND STREET REAR YARD SETBACK PROVIDED THE FOLLOWING REQUIREMENTS ARE MET:

(1) THE EQUIPMENT SHALL HAVE A MINIMUM FIVE-FOOT SIDE AND REAR YARD SETBACK.

(3) A MAXIMUM OF TWO PIECES OF AIR CONDITIONING EQUIPMENT NOT EXCEEDING SIX FEET IN HEIGHT ABOVE GRADE OR THE MINIMUM FLOOD ELEVATION, WHICHEVER IS HIGHER, SHALL BE ALLOWED.

C. SWIMMING POOL AND FOUNTAIN EQUIPMENT. SWIMMING POOL AND FOUNTAIN EQUIPMENT SHALL BE ALLOWED IN A REQUIRED SIDE, REAR, STREET SIDE AND STREET REAR YARD SETBACK PROVIDED THE FOLLOWING REQUIREMENTS ARE MET:

(1) SWIMMING POOL AND FOUNTAIN PUMP AND FILTER EQUIPMENT SHALL HAVE A MINIMUM FIVE FOOT SIDE AND REAR YARD SETBACK AND SHALL IN ALL SITUATIONS BE LOCATED NO FURTHER THAN 25-FEET FROM THE POOL OR FOUNTAIN WATER'S EDGE.

(2) SWIMMING POOL HEATER EQUIPMENT SHALL HAVE A MINIMUM TEN-FOOT SIDE AND REAR YARD SETBACK AND SHALL IN ALL SITUATIONS BE LOCATED NO FURTHER THAN 25-FEET OF THE SWIMMING POOL WATER'S EDGE.

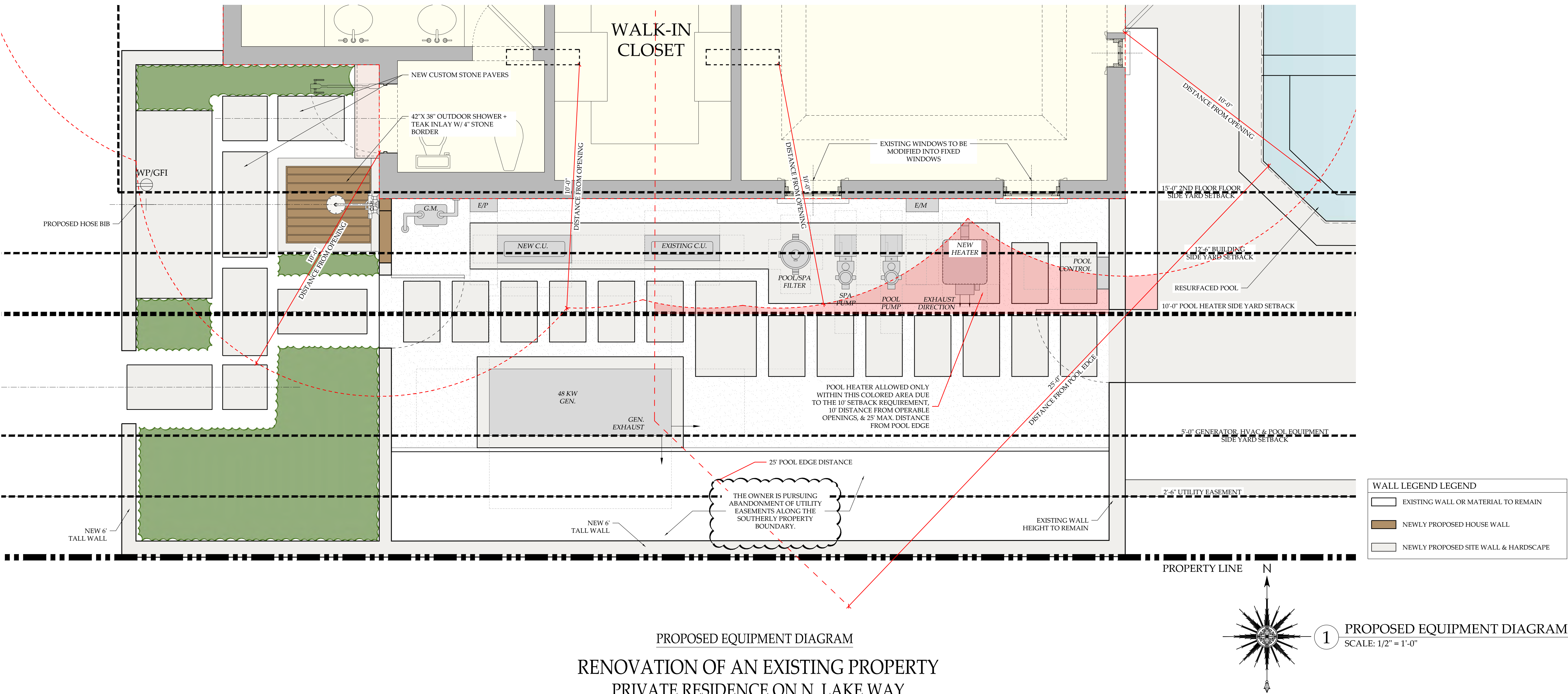
(3) SWIMMING POOL HEATER AND PUMP EQUIPMENT AND FOUNTAIN EQUIPMENT (EXCLUDING FILTERS) SHALL NOT EXCEED FOUR PIECES OF EQUIPMENT.

**SEC. 134-1729. - GENERATORS.**

A. EXCEPT FOR GENERATORS SERVING A PUBLIC PURPOSE AND OWNED AND OPERATED BY THE TOWN OR TEMPORARY GENERATORS USED DURING OR AFTER A NATURAL DISASTER SUCH AS A TROPICAL STORM OR HURRICANE EVENT, AND WHICH ARE THEREFORE EXEMPT FROM THESE REGULATIONS, PORTABLE OR PERMANENT GENERATORS TEMPORARILY OR PERMANENTLY PLACED ON THE GROUND, ON A STAND OR ON A TRAILER, SHALL NOT BE PLACED IN THE REQUIRED FRONT, STREET SIDE OR STREET REAR YARD SETBACKS; PROVIDED, HOWEVER, NOT MORE THAN ONE SUCH GENERATOR SHALL BE PLACED IN ANY GIVEN WITHIN THE SAME REQUIRED SIDE OR REAR YARD SETBACK.

(1) ONE OR A COMBINATION OF MORE THAN ONE PORTABLE OR PERMANENT GENERATORS WITH COMBINED OUTPUT OF NOT MORE THAN 60 KW SHALL BE ALLOWED PROVIDED ONLY ONE GENERATOR IS WITHIN THE SAME REQUIRED YARD AREA. SAID GENERATOR(S) SHALL BE ALLOWED FIVE FEET FROM A SIDE OR REAR PROPERTY LINE PROVIDED SAID GENERATOR MEETS THE FOLLOWING REQUIREMENTS:

a. THERE IS ONLY ONE GENERATOR WITHIN THAT REQUIRED YARD AREA.



RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY





1 EXTRY PORTICO PRECEDENT  
N.T.S.



2 PEDESTRIAN GATE PRECEDENT  
N.T.S.

CONTEXT SITE PRECEDENT

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





PRECEDENT & INSPIRATION FOR  
PROPERTY WALL & HEDGE  
LAYERING (LOW HEDGING FOR  
VISIBILITY AT CORNER PROPERTY)



1 ENTRY PORTICO PRECEDENT  
N.T.S.

2 PROPERTY WALL PRECEDENT  
N.T.S.



3 PEDESTRIAN GATE PRECEDENT  
N.T.S.



4 ENTRY PORTICO DETAIL PRECEDENT  
N.T.S.

CONTEXT SITE PRECEDENT

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





1 PEDESTRIAN GATE PRECEDENT  
N.T.S.



2 PEDESTRIAN GATE PRECEDENT  
N.T.S.



3 PEDESTRIAN GATE PRECEDENT  
N.T.S.



4 PEDESTRIAN GATE PRECEDENT  
N.T.S.

CONTEXT SITE PRECEDENT

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





EXISTING AND PROPOSED WEST ELEVATION

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





EXISTING AND PROPOSED WEST ELEVATION  
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY





1 PROPOSED NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



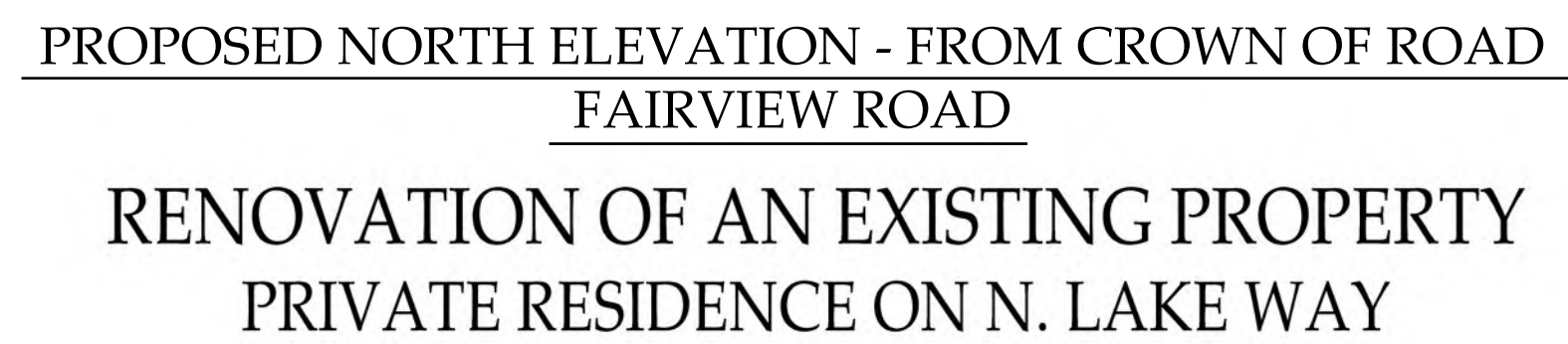
2 EXISTING NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

EXISTING AND PROPOSED NORTH ELEVATION

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480

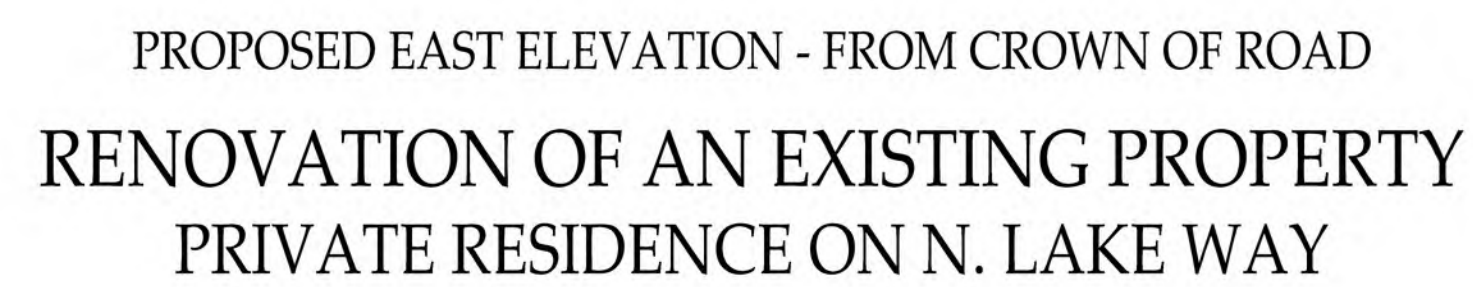




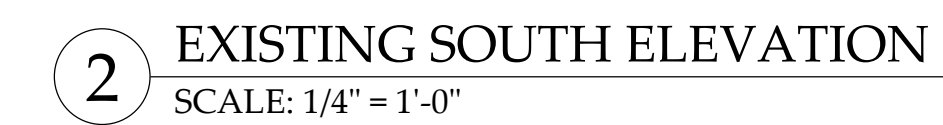






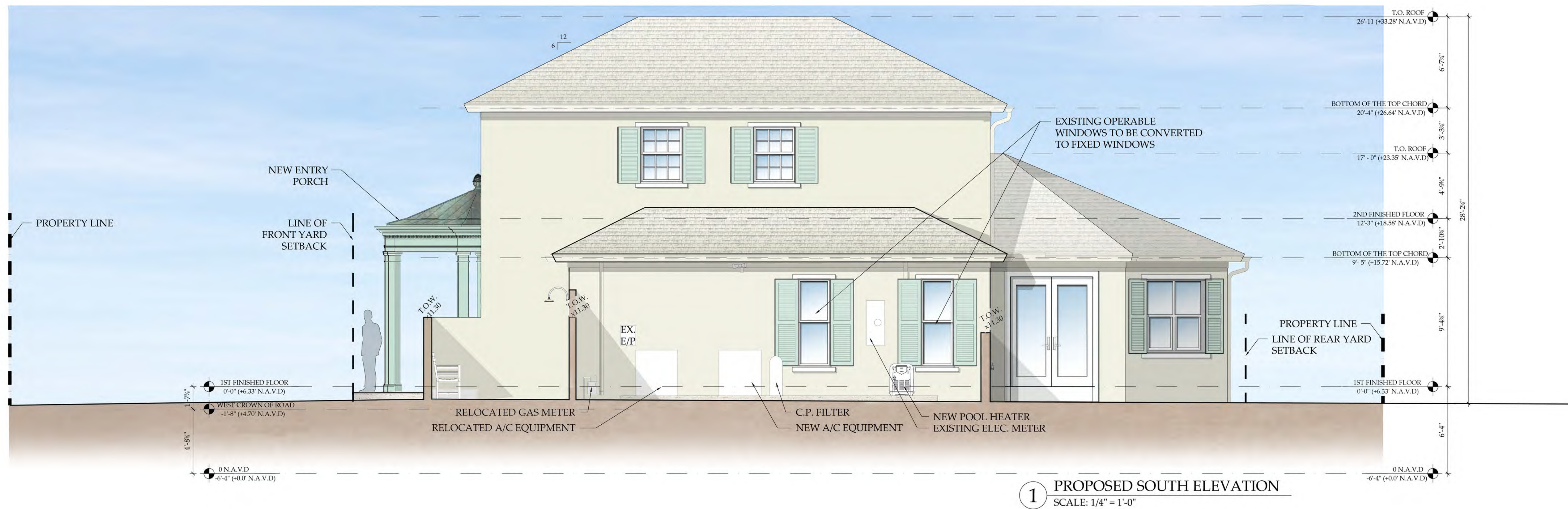






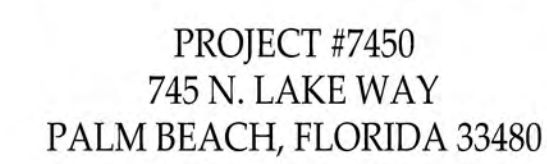
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





EXISTING AND PROPOSED SOUTH ELEVATION  
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY







PLACEHOLDER

RENDERING SHEET 1

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





RENDERING SHEET 2

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





© ANDRE' JUNGET 24 MK

RENDERING SHEET 3

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



FINISHES



COPPER PATINA ROOF



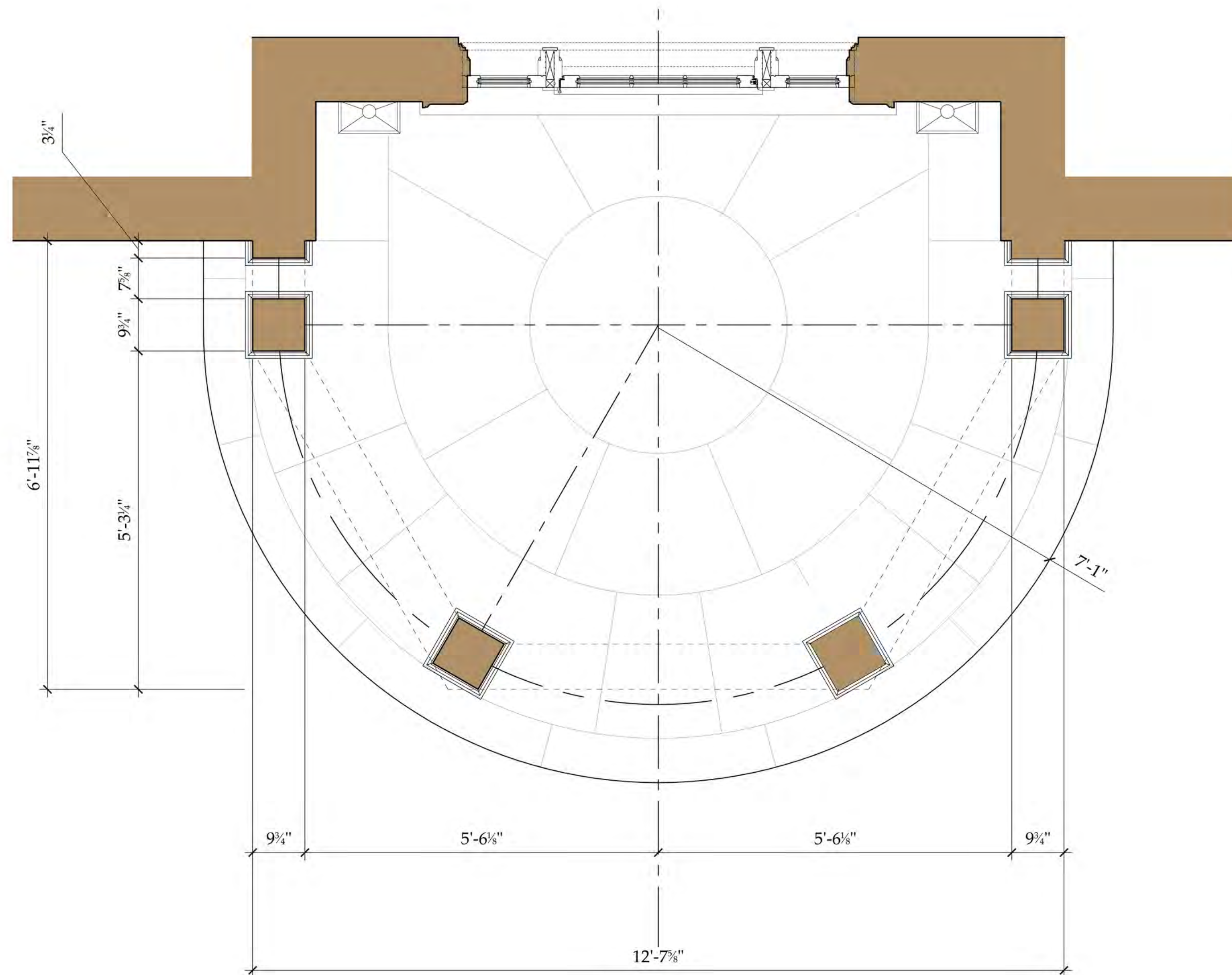
PAINTED MILLWORK  
BENJAMIN MOORE - BUFFET GREEN  
SATIN FINISH



PAINTED PAVILION  
BENJAMIN MOORE - WEEPING WILLOW GREEN  
SATIN FINISH



NATURAL CAST COQUINA



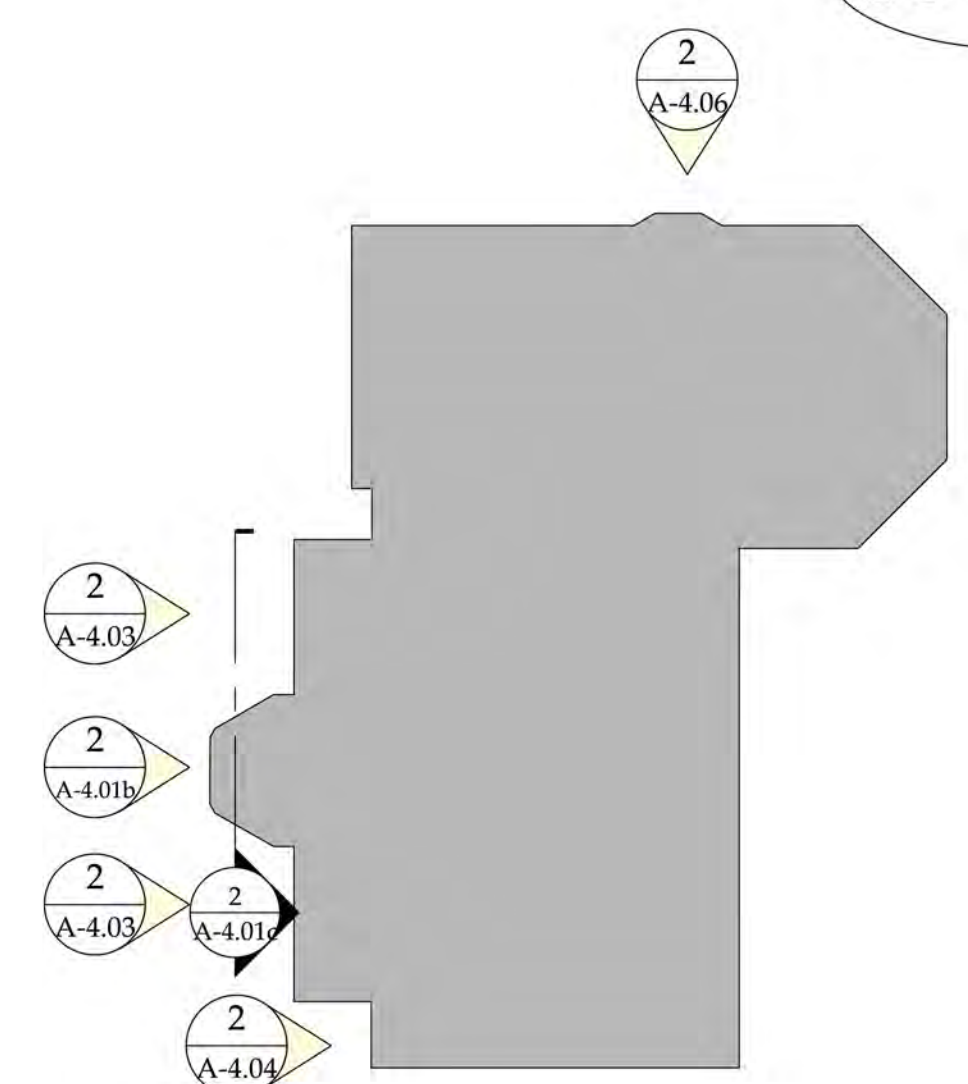
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A-4.01b

2 PROPOSED ENTRY PORTICO DETAILS  
SCALE: 3/4" = 1'-0"

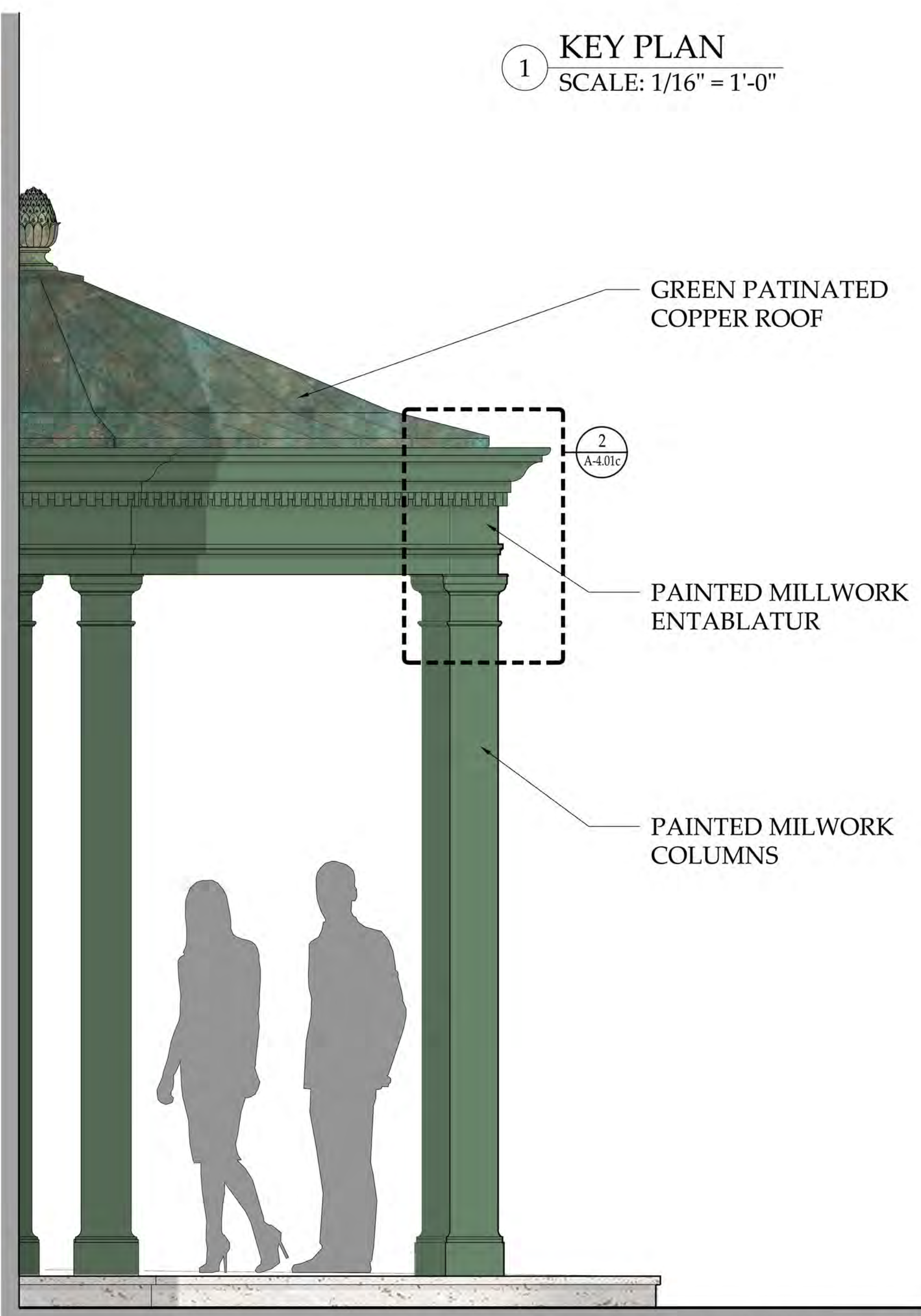
ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 KEY PLAN  
SCALE: 1/16" = 1'-0"



2  
A-4.01c

3 PROPOSED ENTRY PORTICO DETAILS  
SCALE: 3/4" = 1'-0"



FINISHES



COPPER PATINA ROOF



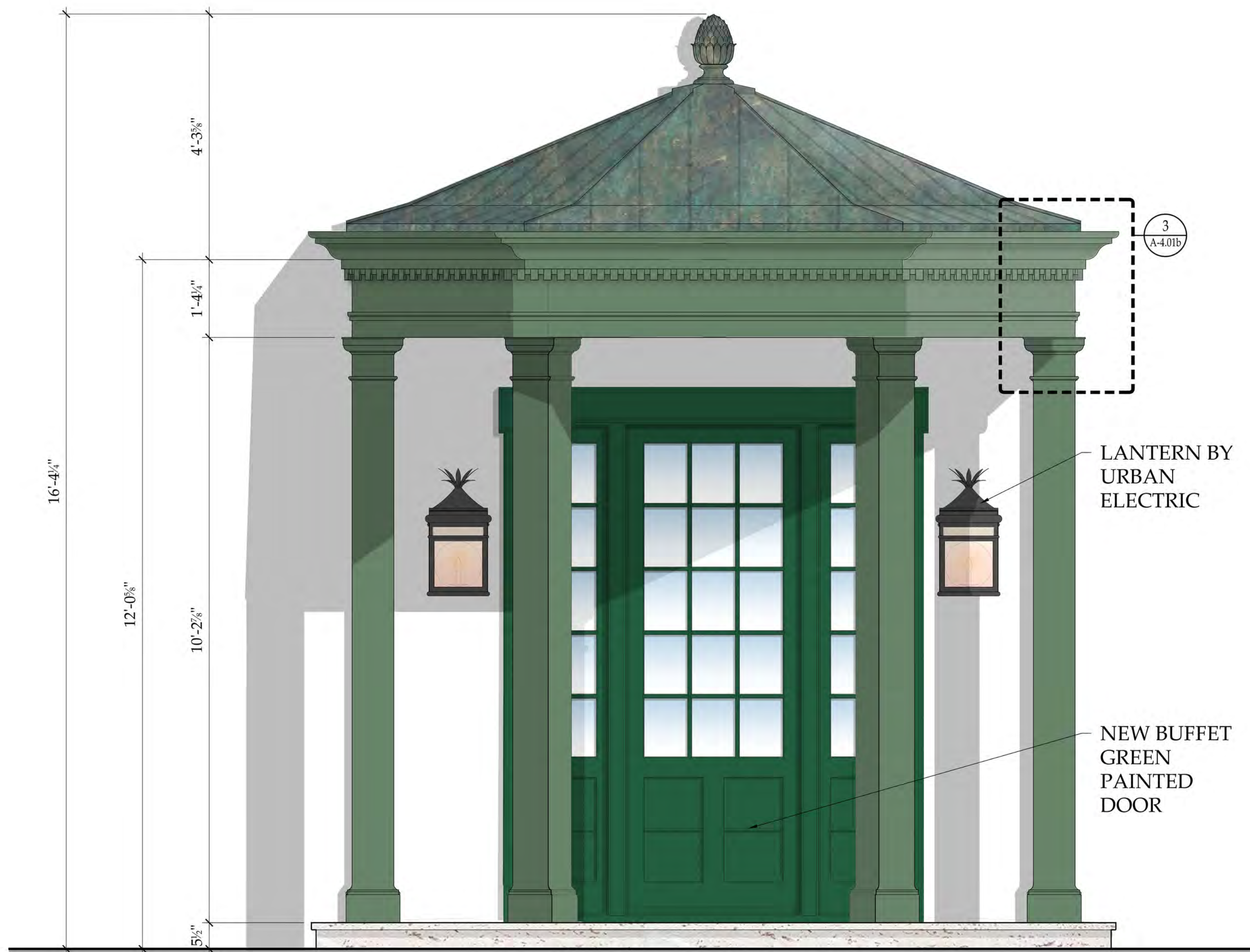
PAINTED MILLWORK  
BENJAMIN MOORE - BUFFET GREEN  
SATIN FINISH



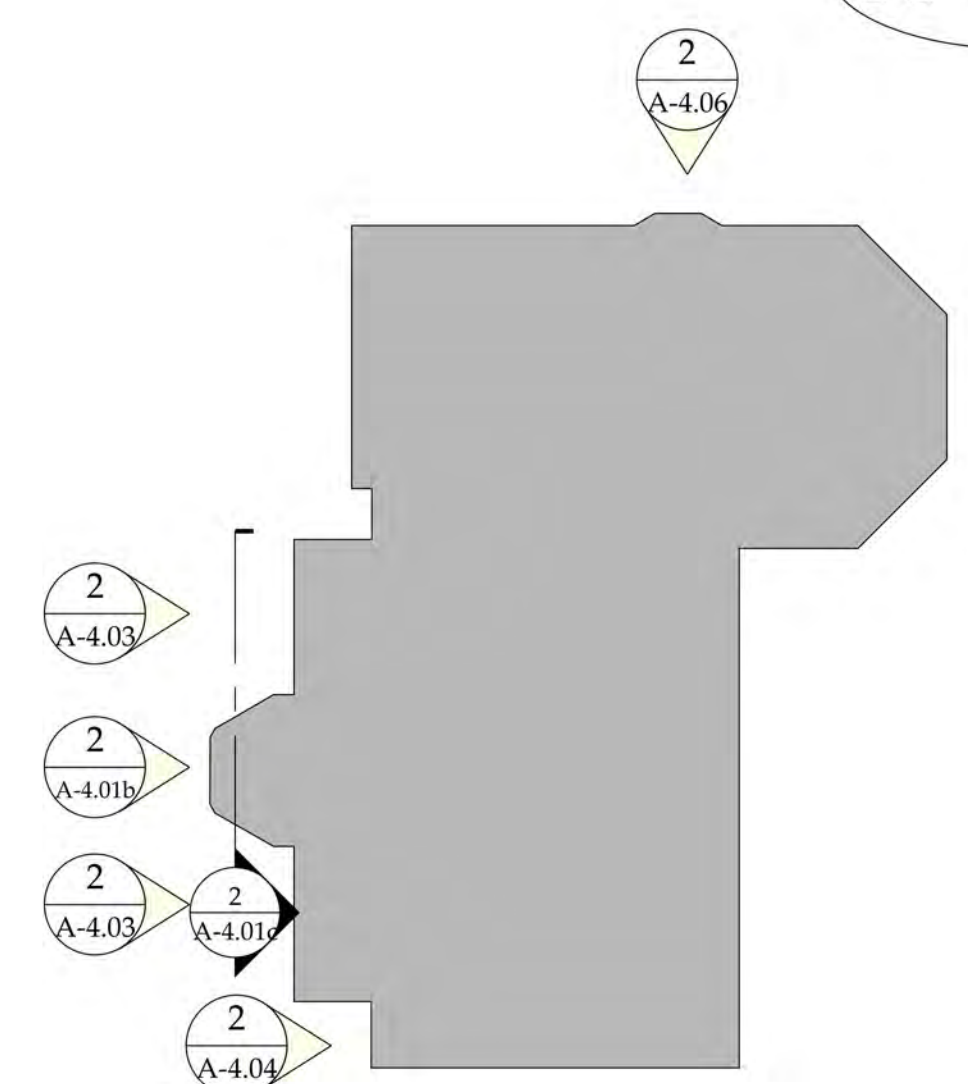
PAINTED PAVILION  
BENJAMIN MOORE - WEEPING WILLOW GREEN  
SATIN FINISH



NATURAL CAST COQUINA



2 PROPOSED ENTRY PORTICO DETAILS  
SCALE: 3/4" = 1'-0"



1 KEY PLAN  
SCALE: 1/16" = 1'-0"

LANTERN BY  
URBAN  
ELECTRIC

NEW BUFFET  
GREEN  
PAINTED  
DOOR

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



FINISHES



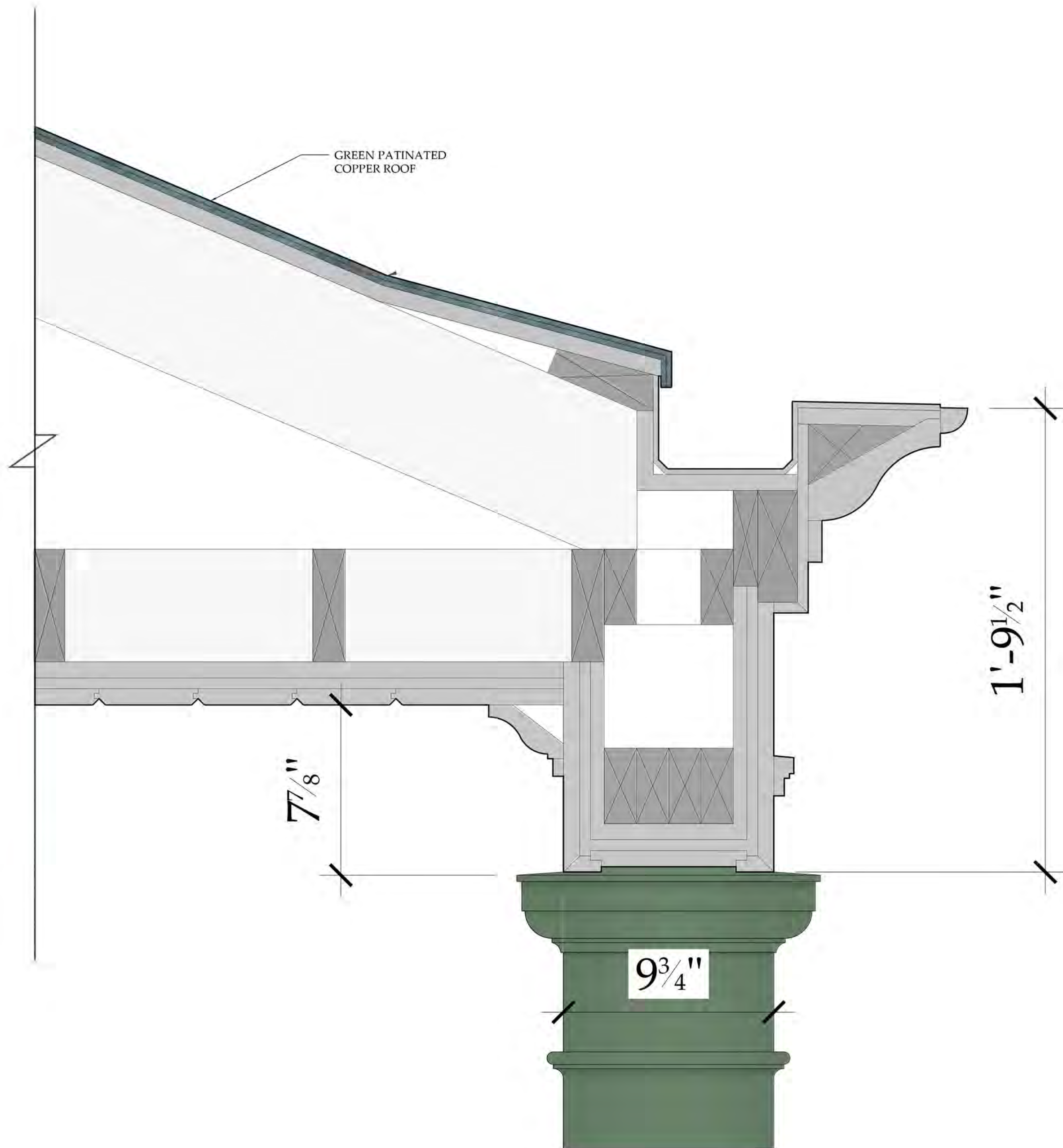
COPPER PATINA ROOF



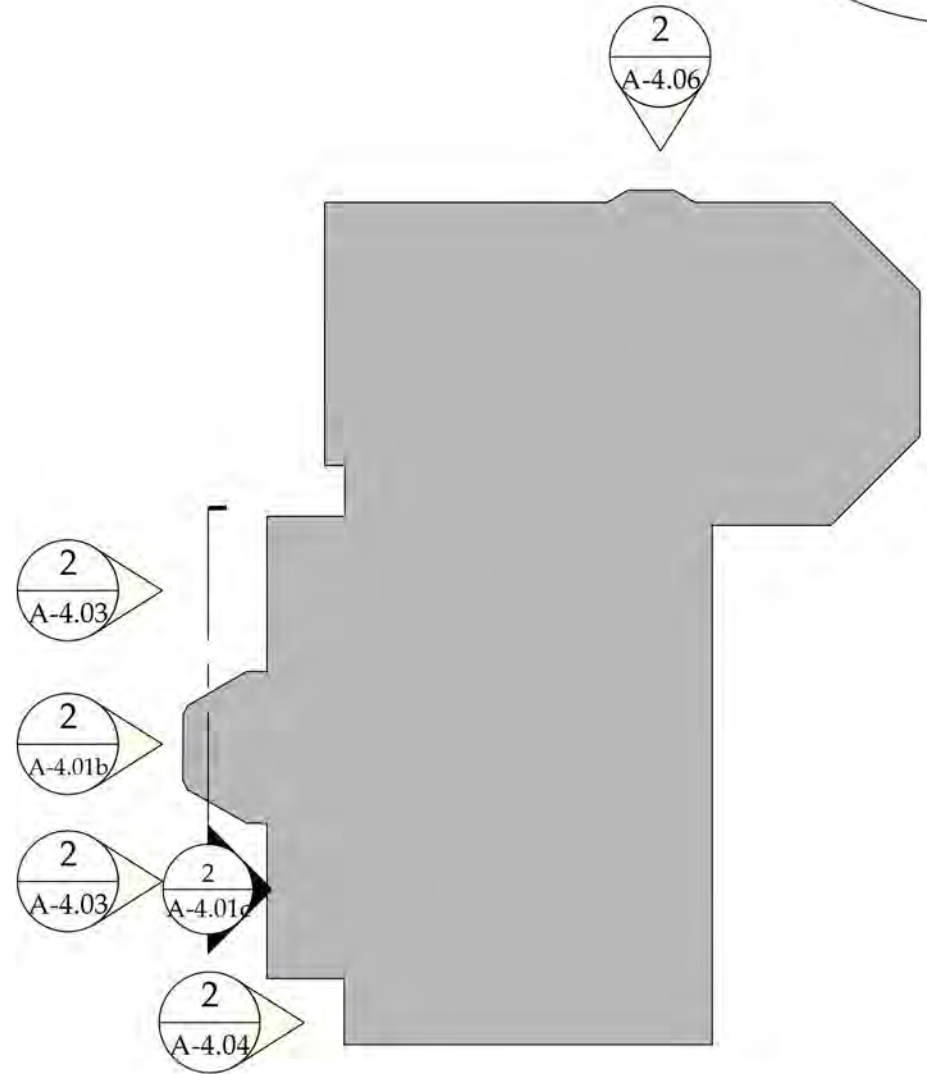
PAINTED MILLWORK  
BENJAMIN MOORE - BUFFET GREEN  
SATIN FINISH



PAINTED PAVILION  
BENJAMIN MOORE - WEEPING WILLOW GREEN  
SATIN FINISH



2 EAVE DETAIL  
SCALE: 3" = 1'-0"



1 KEY PLAN  
SCALE: 1/16" = 1'-0"

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

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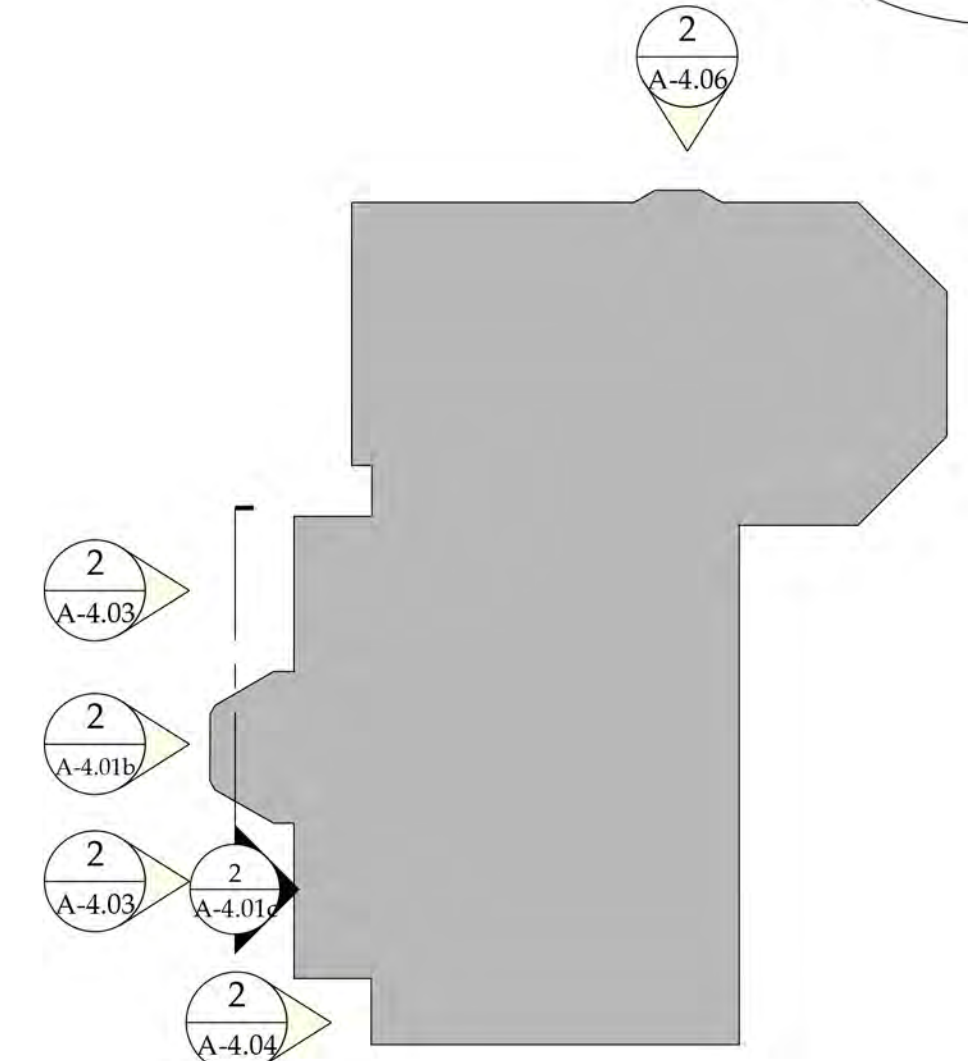
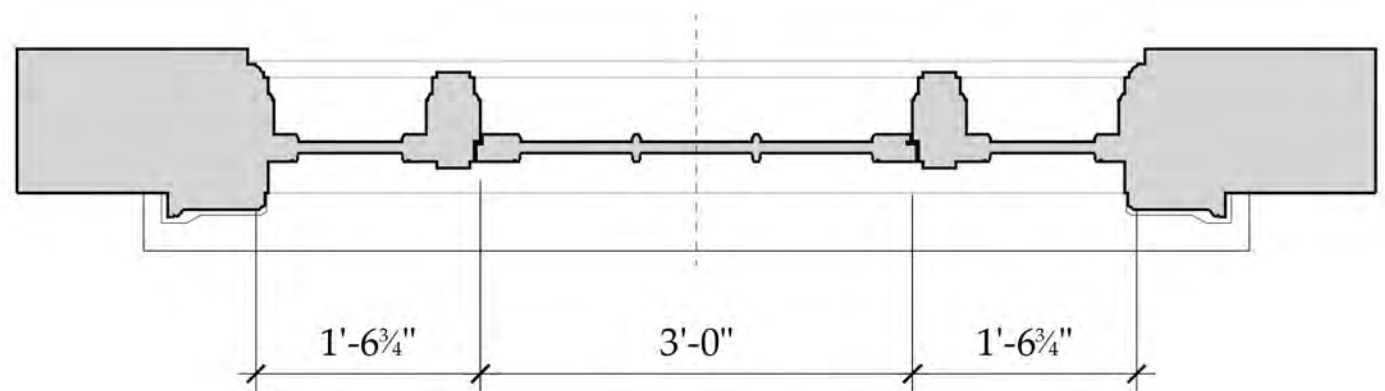
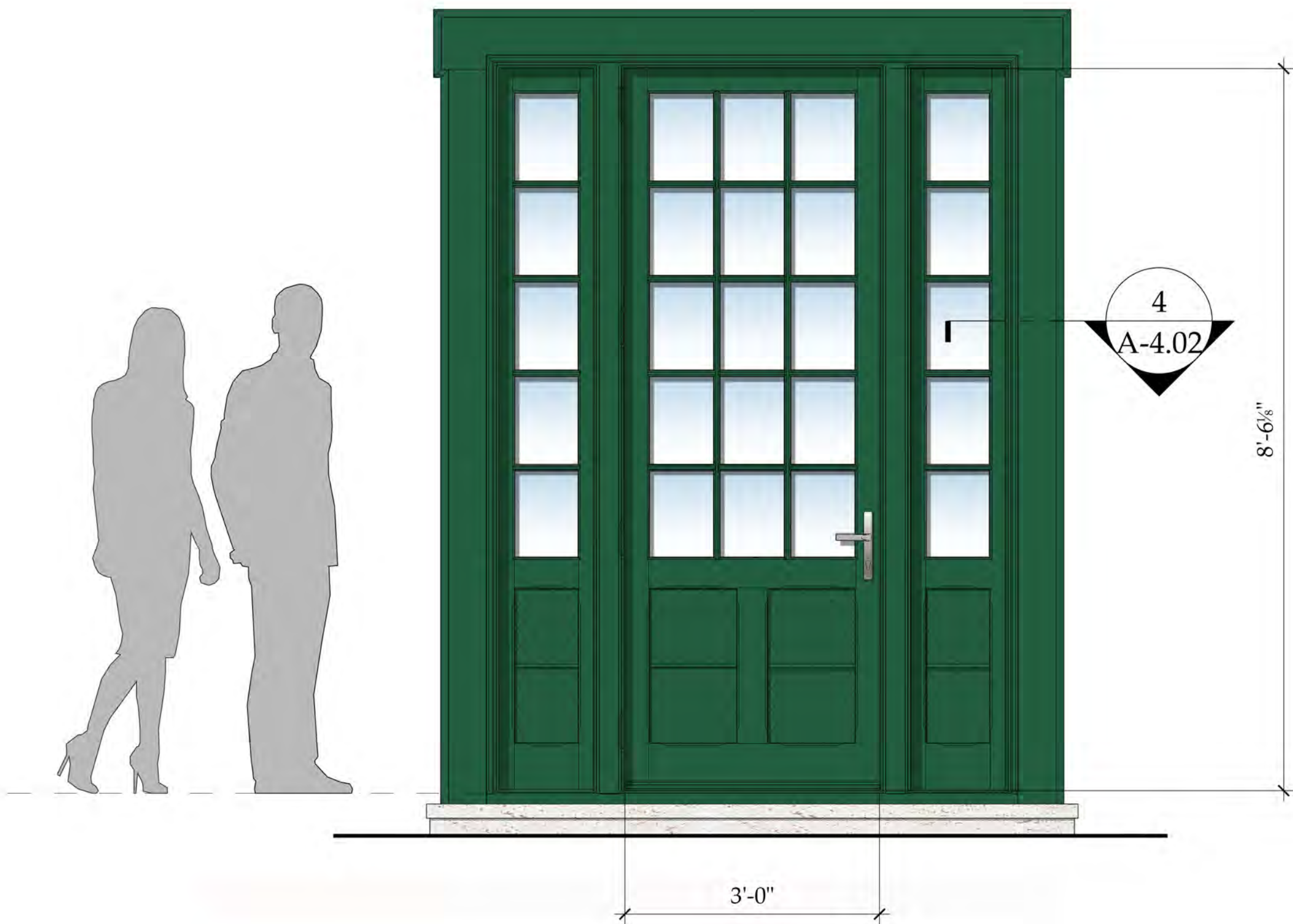


FINISHES



PAINTED MILLWORK  
BENJAMIN MOORE - BUFFET GREEN  
SATIN FINISH

**MMA**  
MADISON WORTH  
ARCHITECTURE, DPC  
488 Madison Avenue, Suite 1705,  
New York, NY 10022 - Tel.  
212.355.3261



KEY PLAN  
SCALE: 1/16" = 1'-0"



PROPOSED LANTERN TO BE RE-USED AT FRONT ENTRY  
N.T.S.

PROPOSED FRONT DOOR DETAILS  
SCALE: 3/4" = 1'-0"



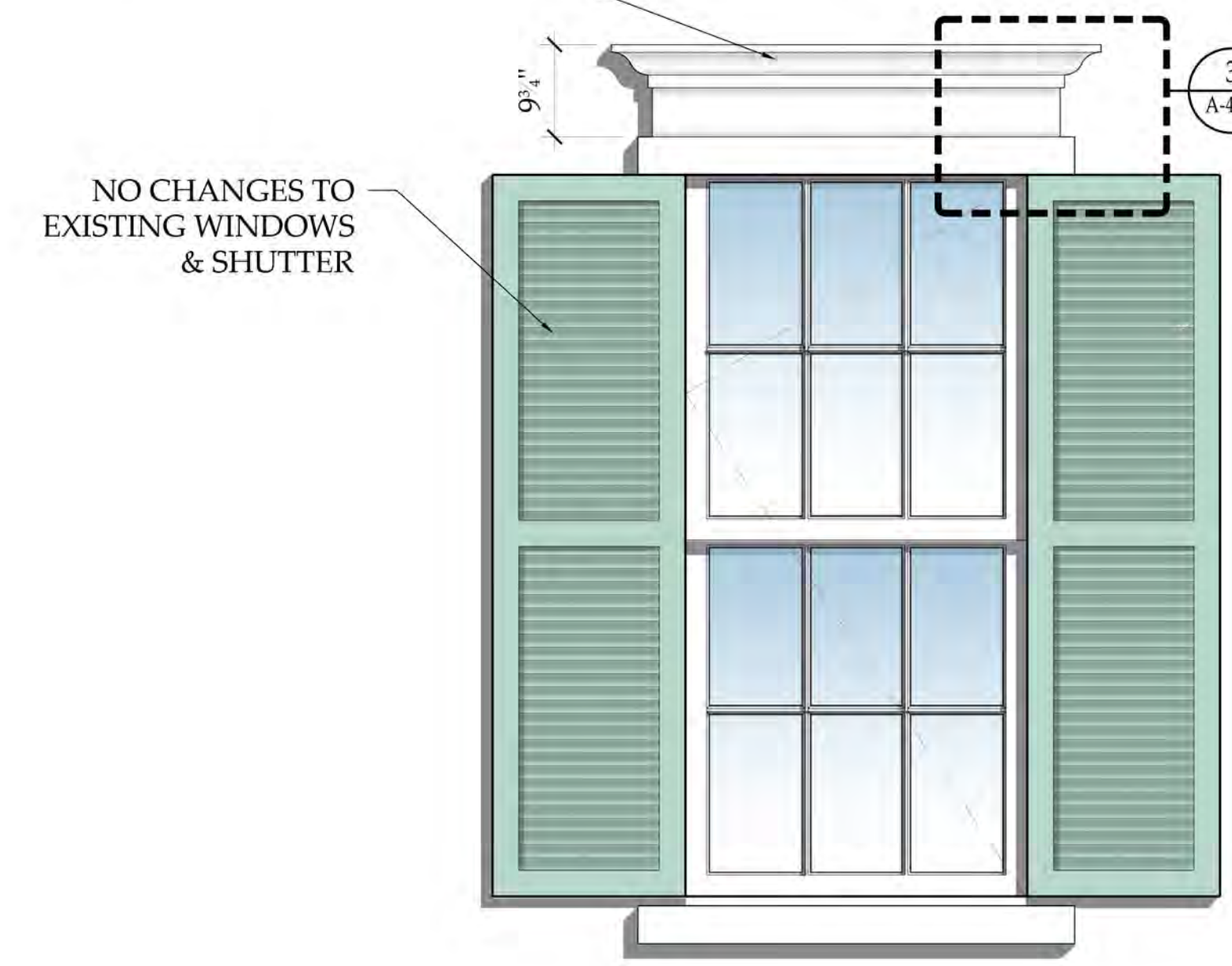
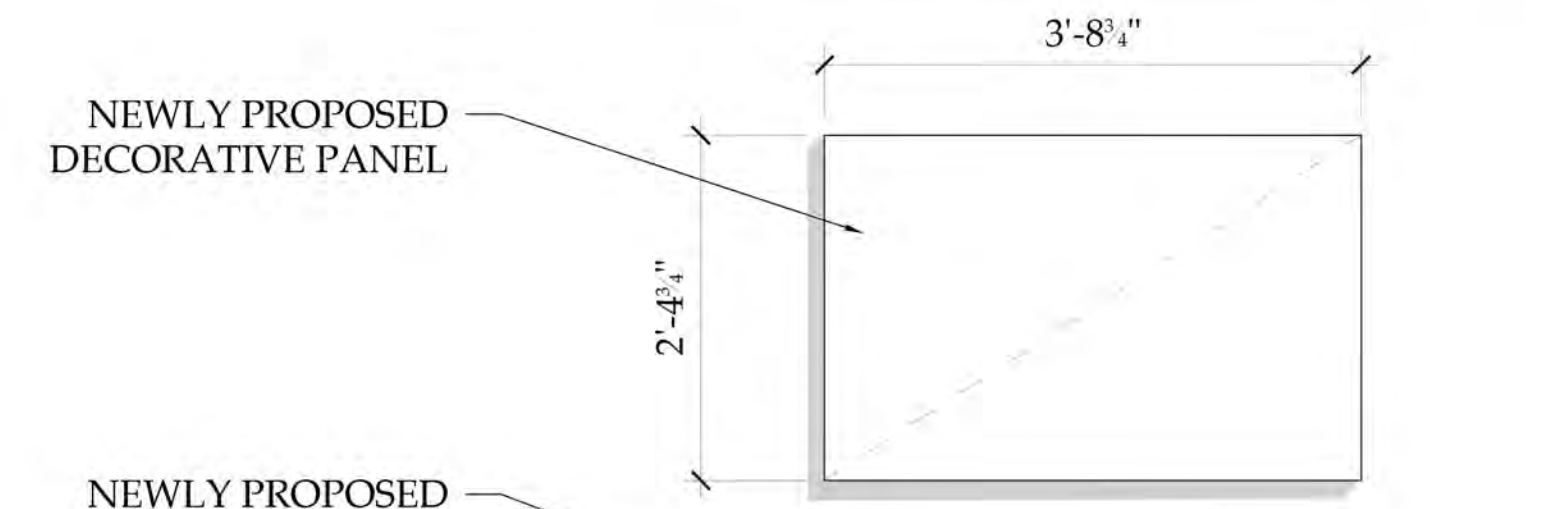
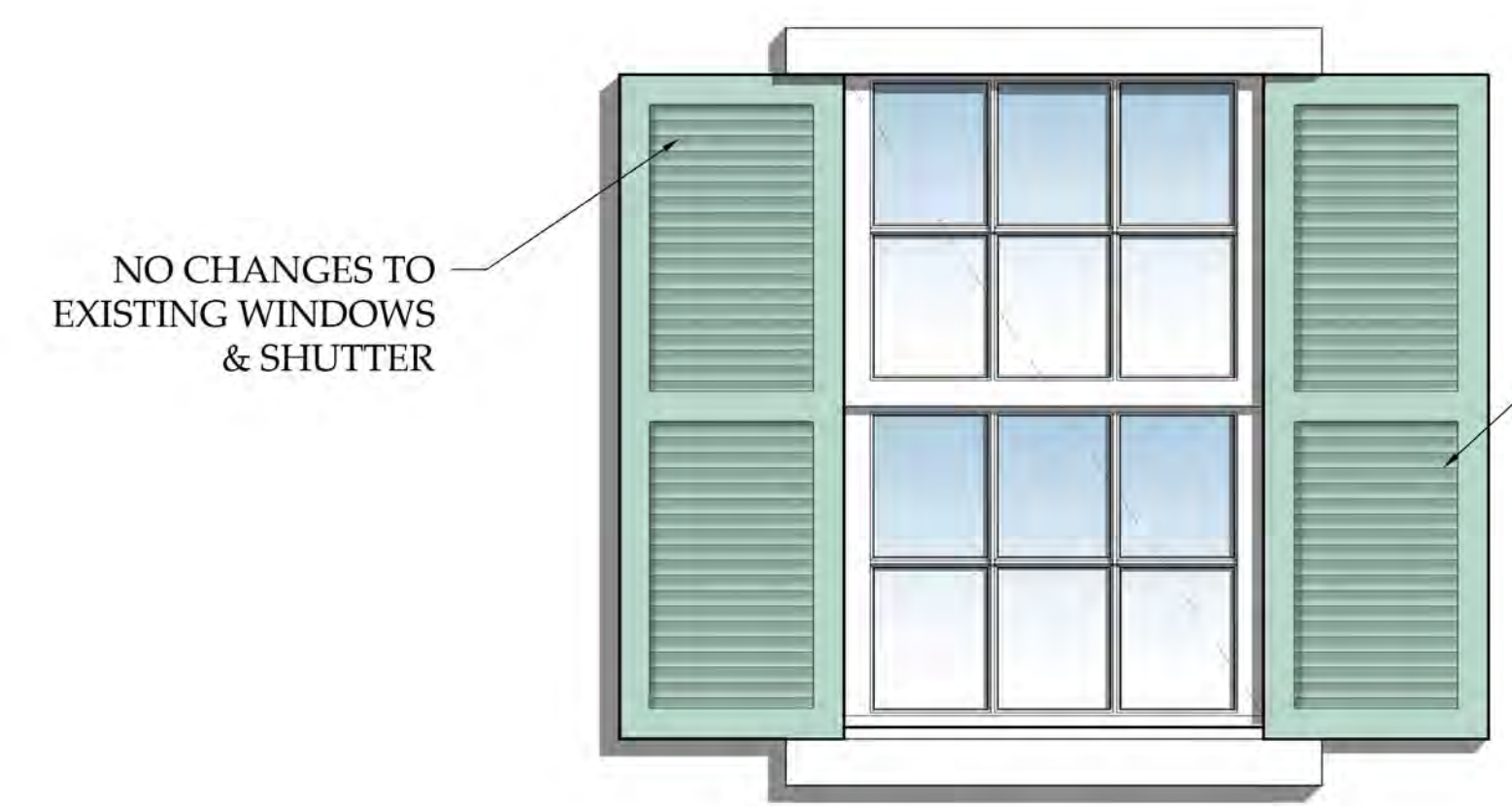
DOOR CASING PROFILE DETAIL  
SCALE: 1'-0" = 1'-0"

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

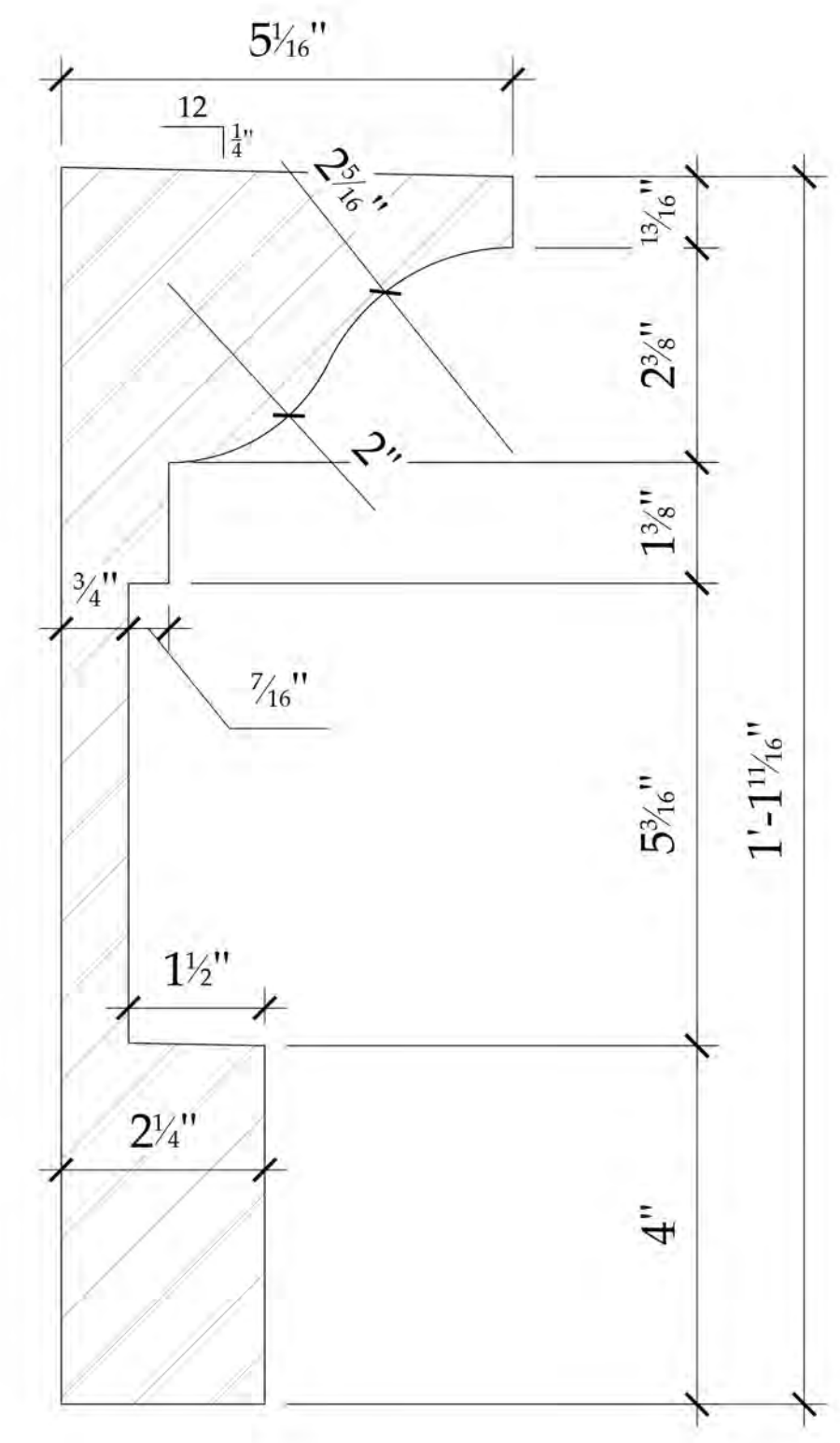
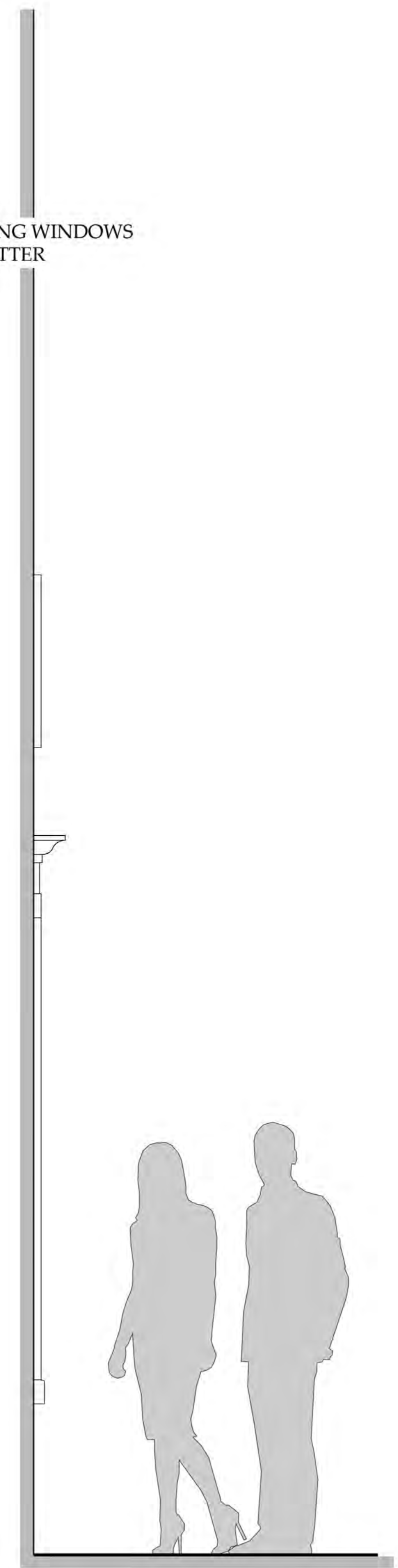
PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480





2 WEST FACADE - NEW PROPOSED TRIM  
SCALE: 3/4" = 1'-0"

EXISTING WINDOWS  
& SHUTTER

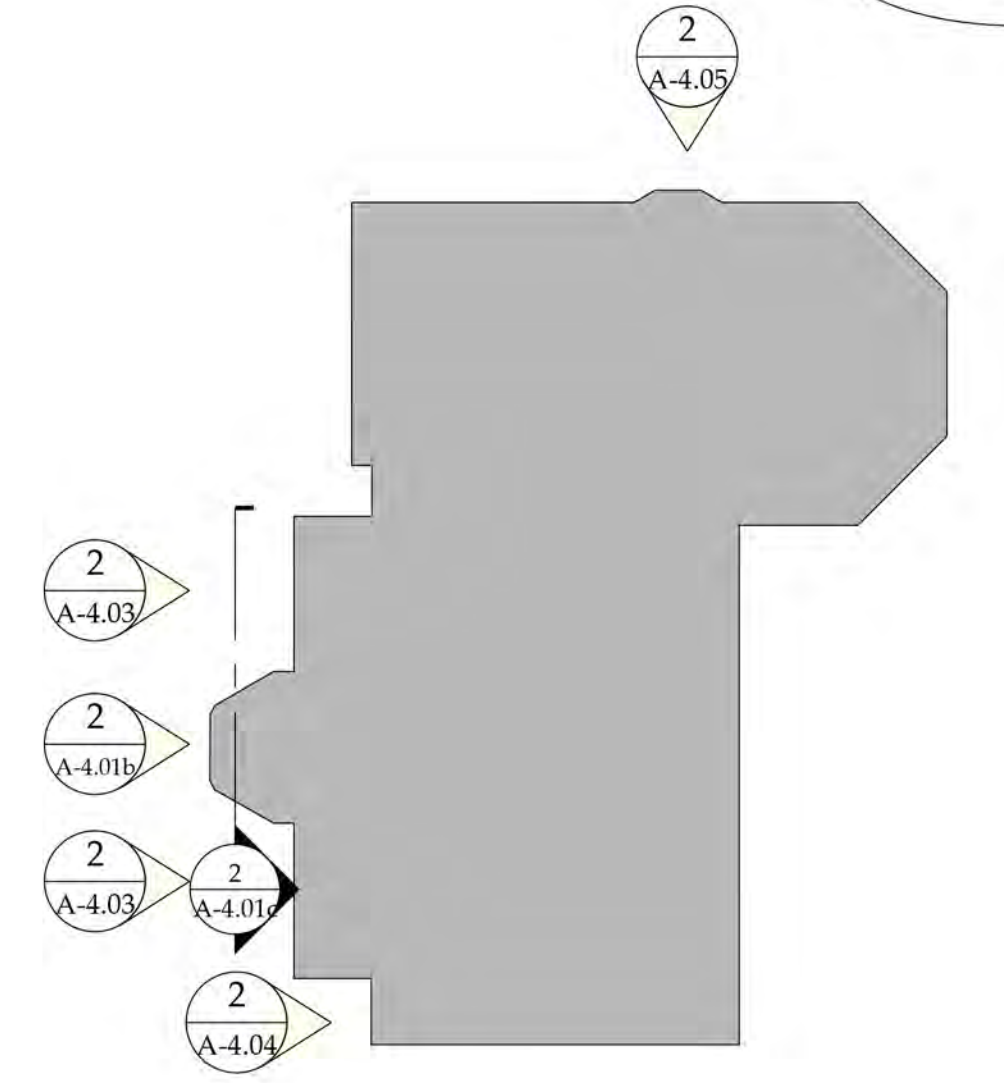


3 WEST FACADE - NEW PROPOSED TRIM  
SCALE: 6" = 1'-0"

FINISHES



SATIN FINISH - PAINTED  
MILLWORK



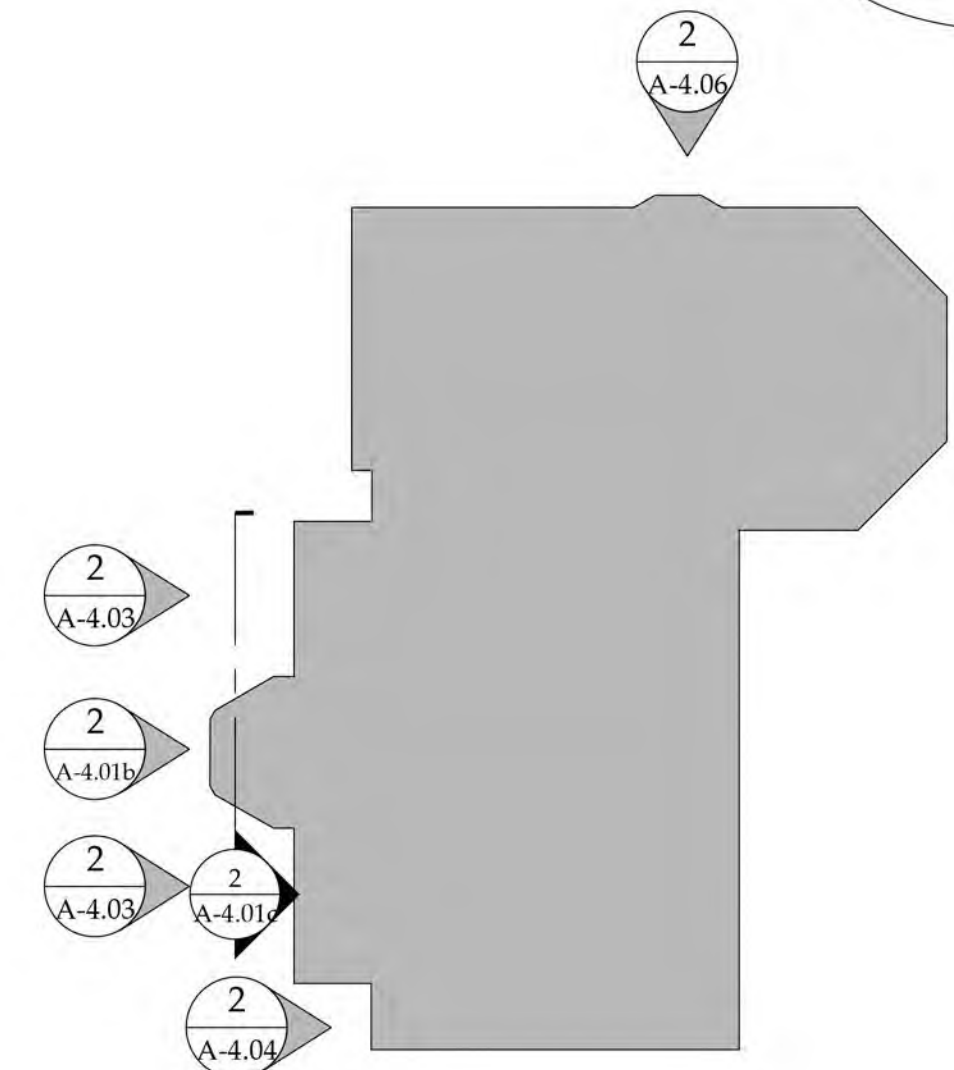
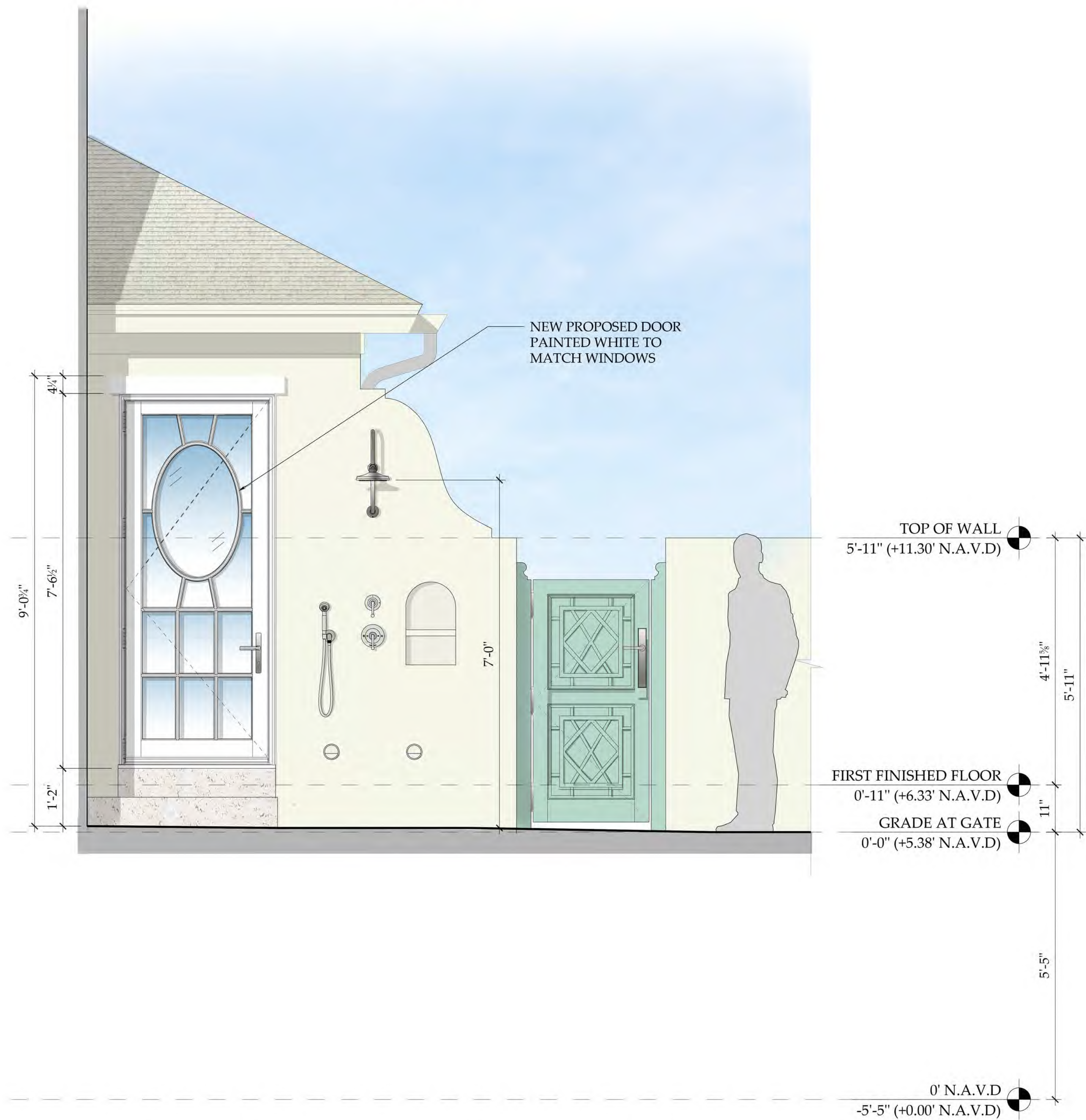
1 KEY PLAN  
SCALE: 1/16" = 1'-0"

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
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PALM BEACH, FLORIDA 33480





1 KEY PLAN  
SCALE: 1/16" = 1'-0"

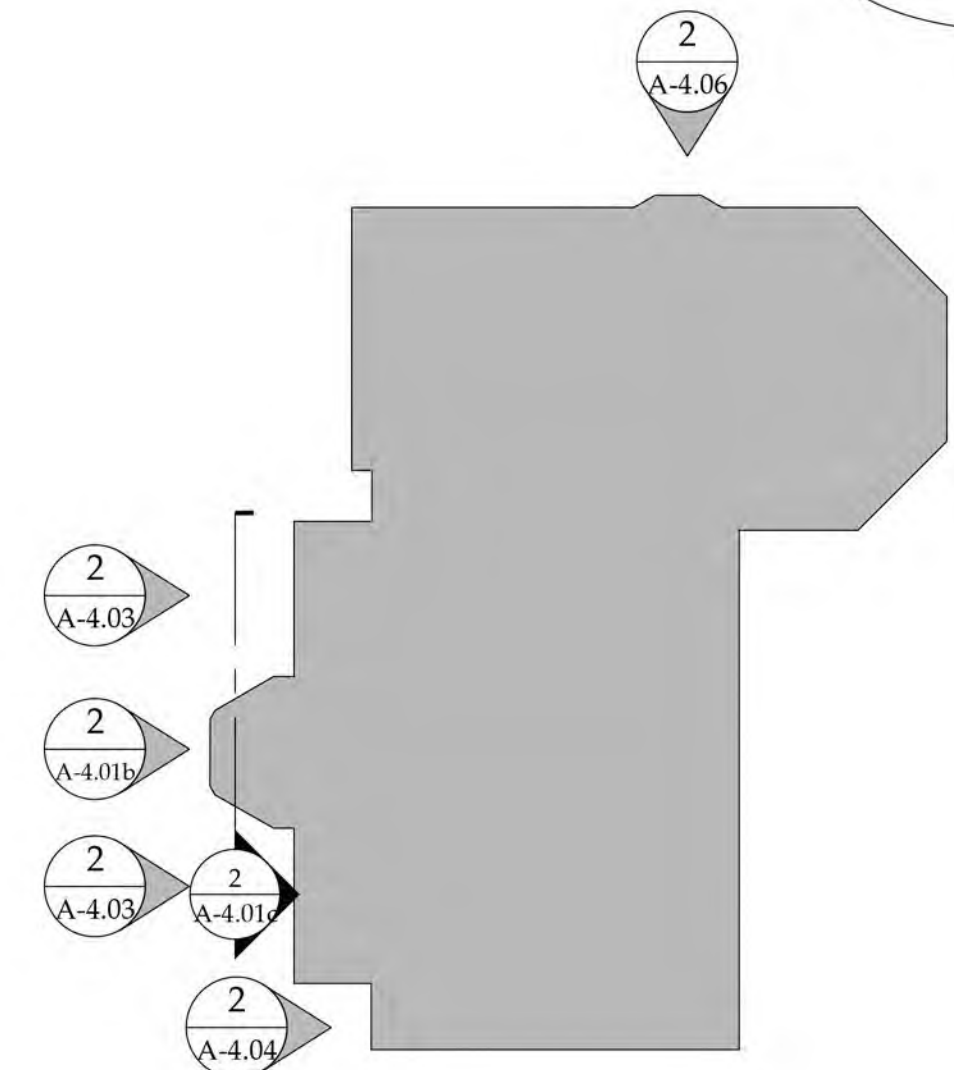
2 NEWLY PROPOSED DOOR & OUTDOOR SHOWER  
SCALE: 3/4" = 1'-0"

ARCHITECTURAL DETAILS

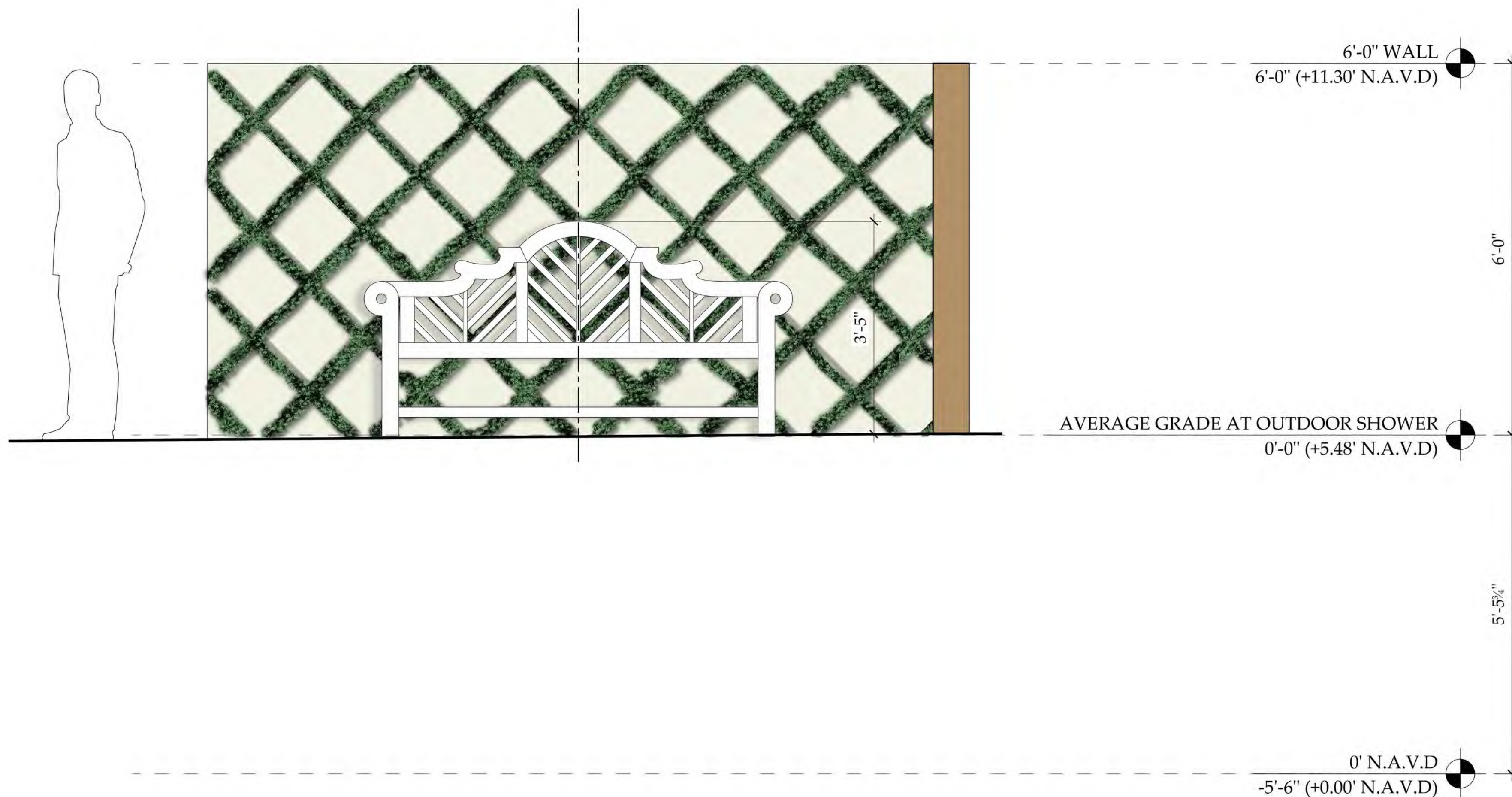
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
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1 KEY PLAN  
SCALE: 1/16" = 1'-0"



2 OUTDOOR SHOWER AREA - WEST INTERIOR ELEVATION  
SCALE: 3/4" = 1'-0"

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
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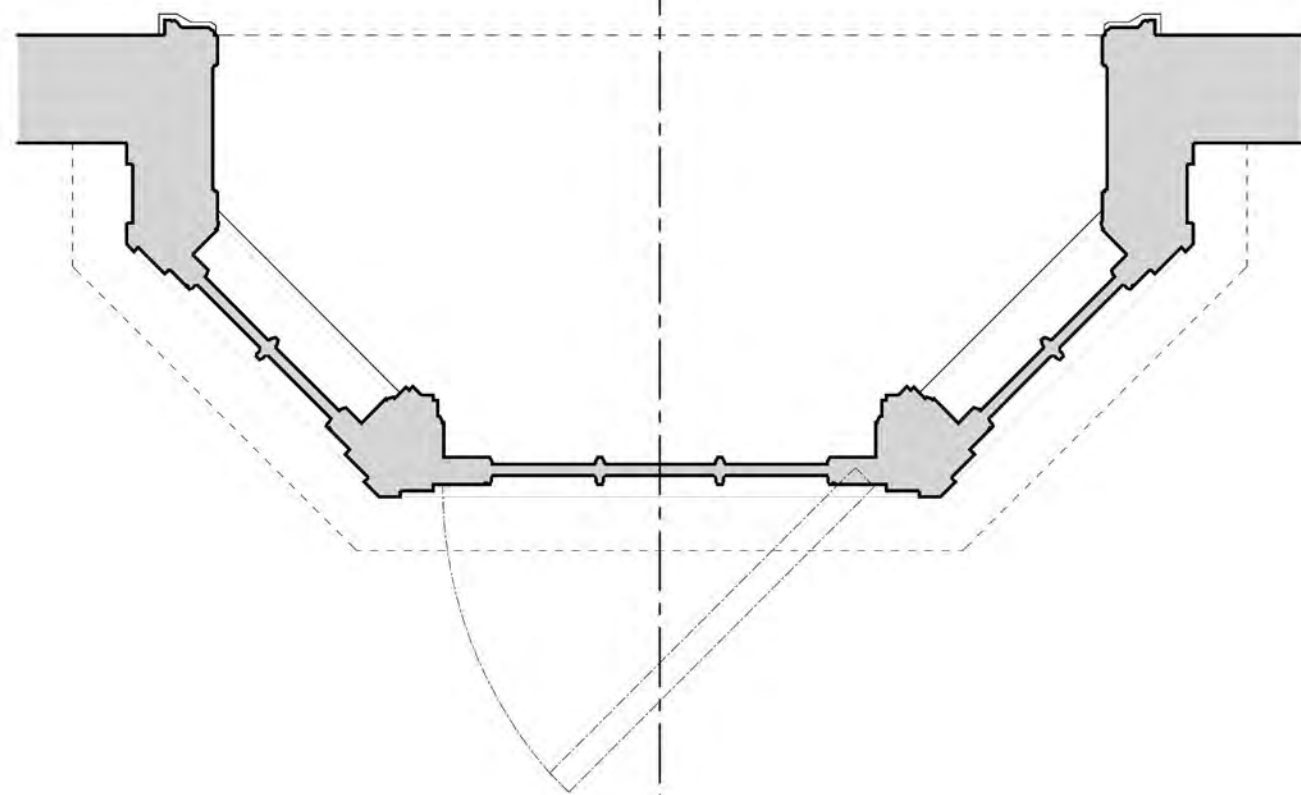
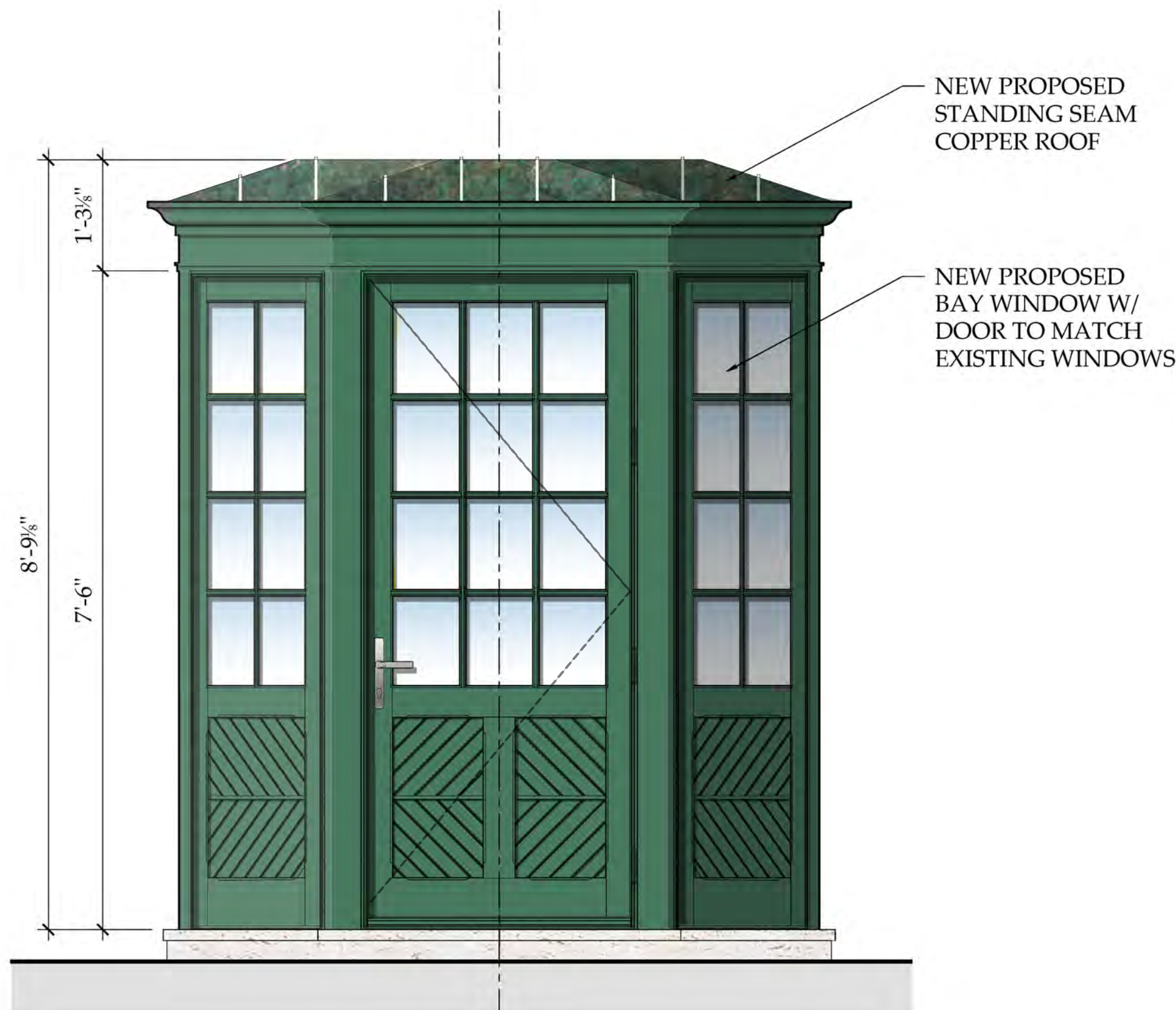
COPPER PATINA ROOF



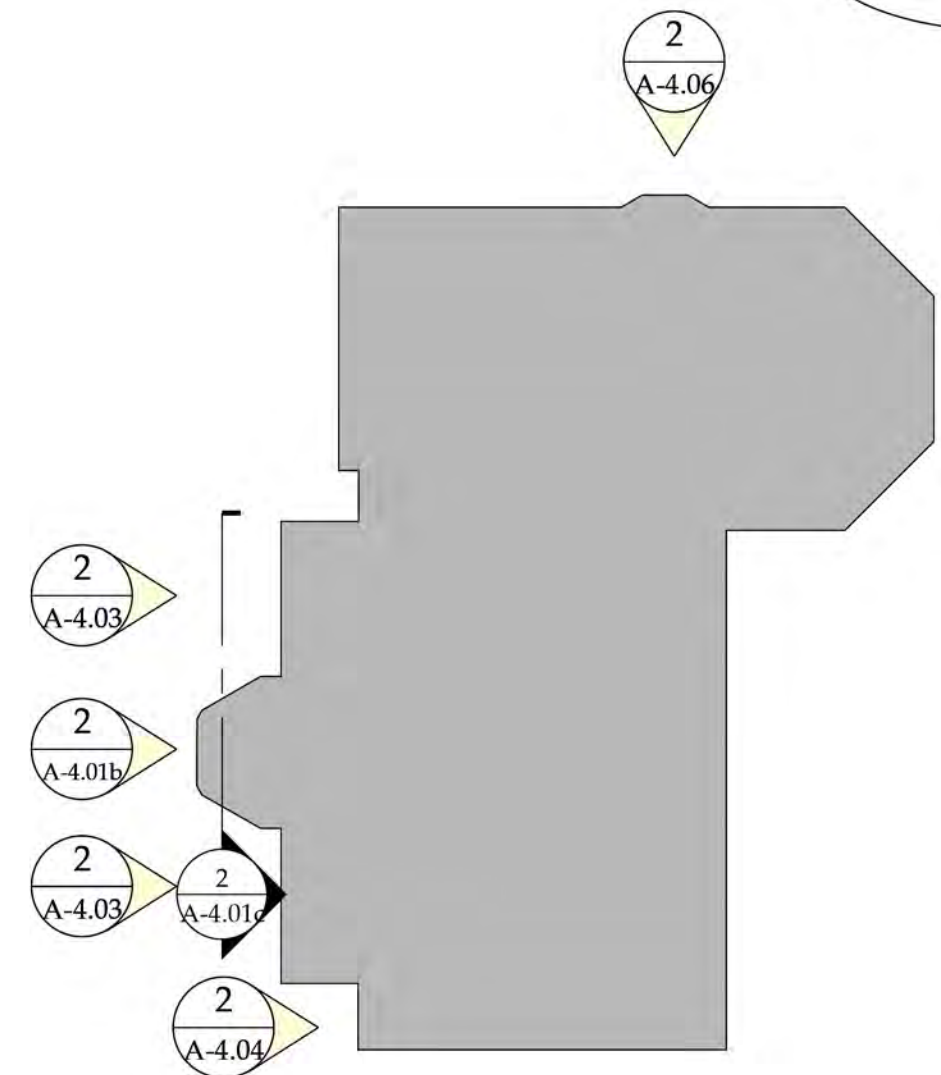
PAINTED MILLWORK  
BENJAMIN MOORE - BUFFET GREEN  
SATIN FINISH



NATURAL CAST COQUINA



2 NEWLY PROPOSED DOOR @ NORTH KITCHEN  
SCALE: 3/4" = 1'-0"



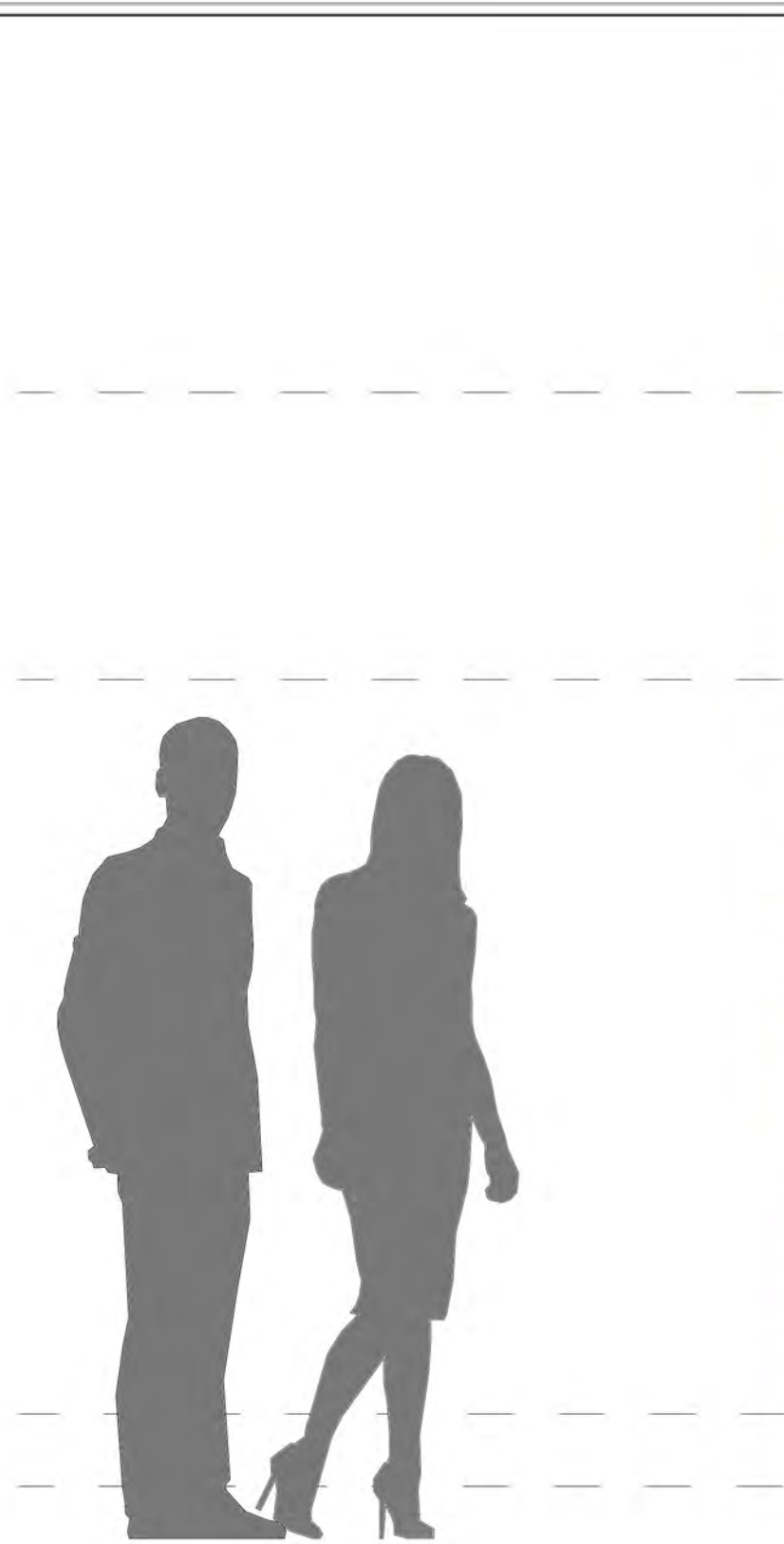
1 KEY PLAN  
SCALE: 1/16" = 1'-0"

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

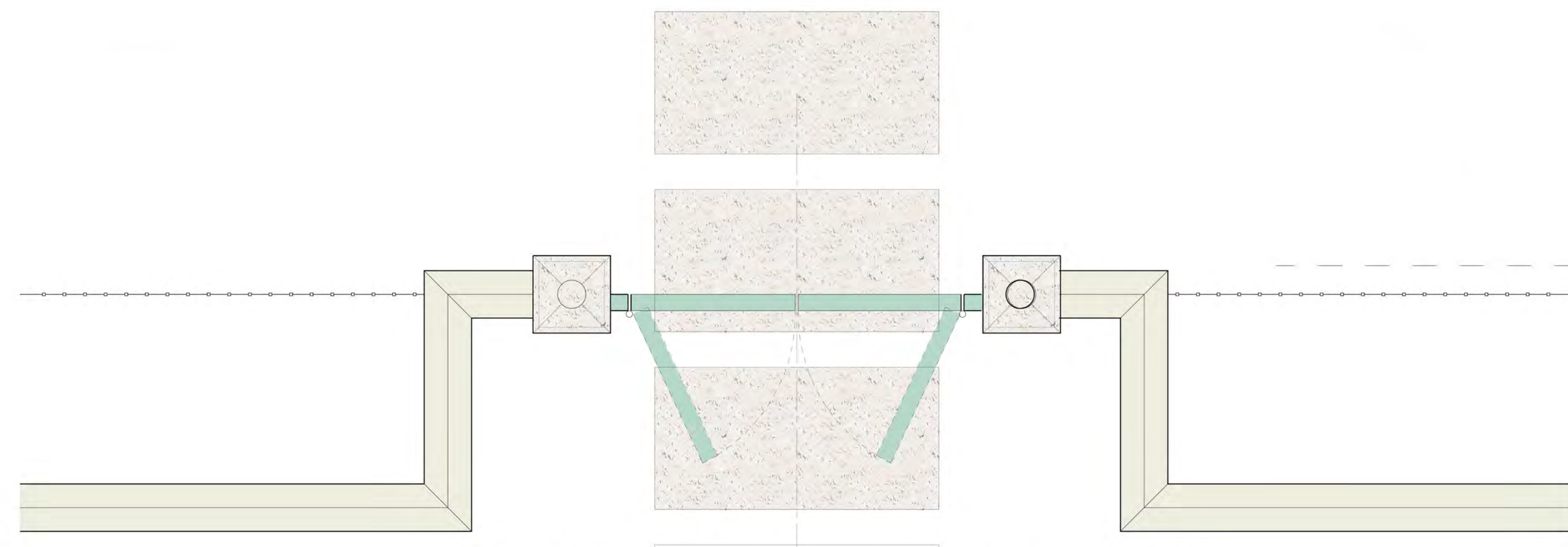
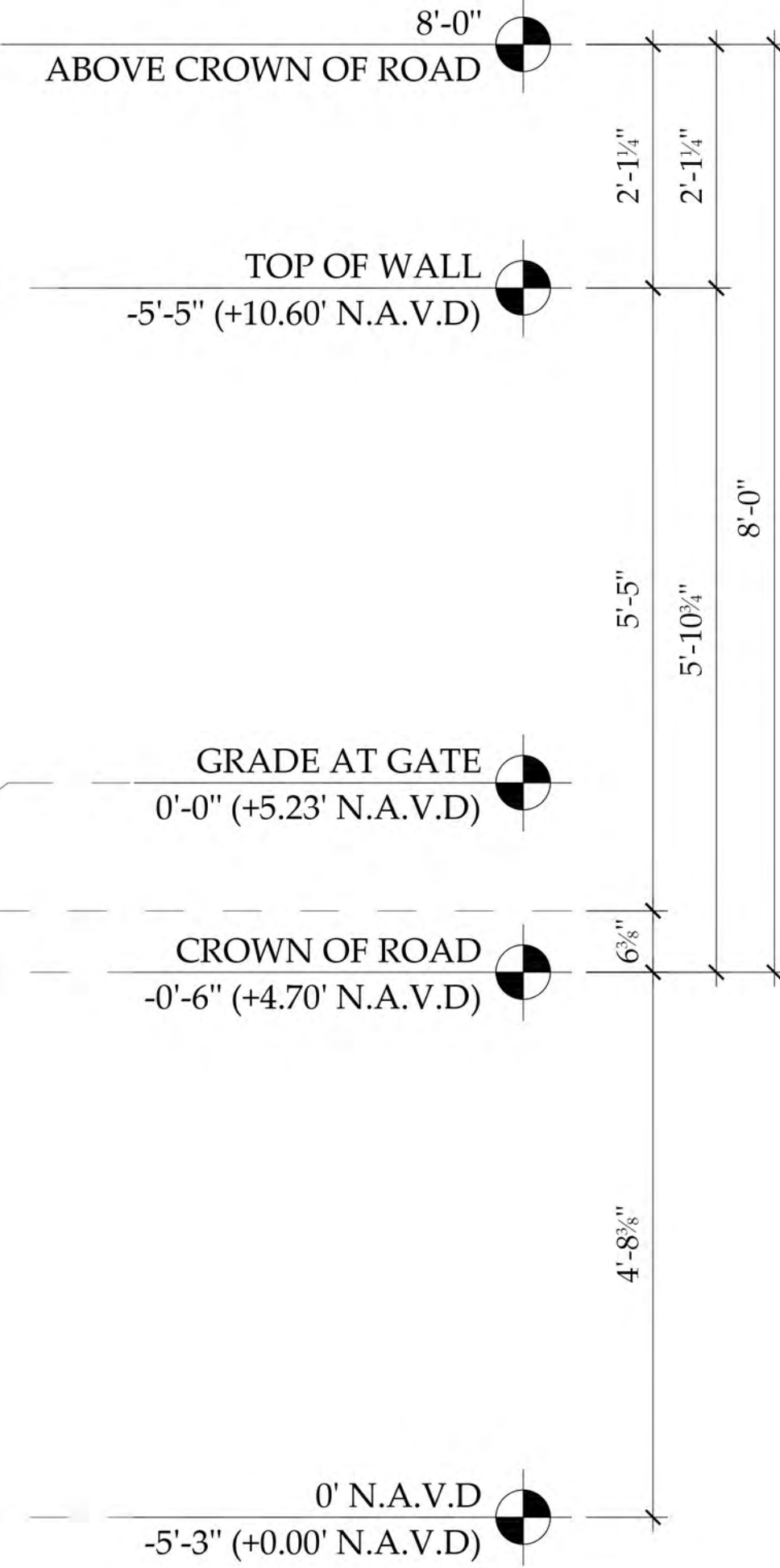
PROJECT #7450  
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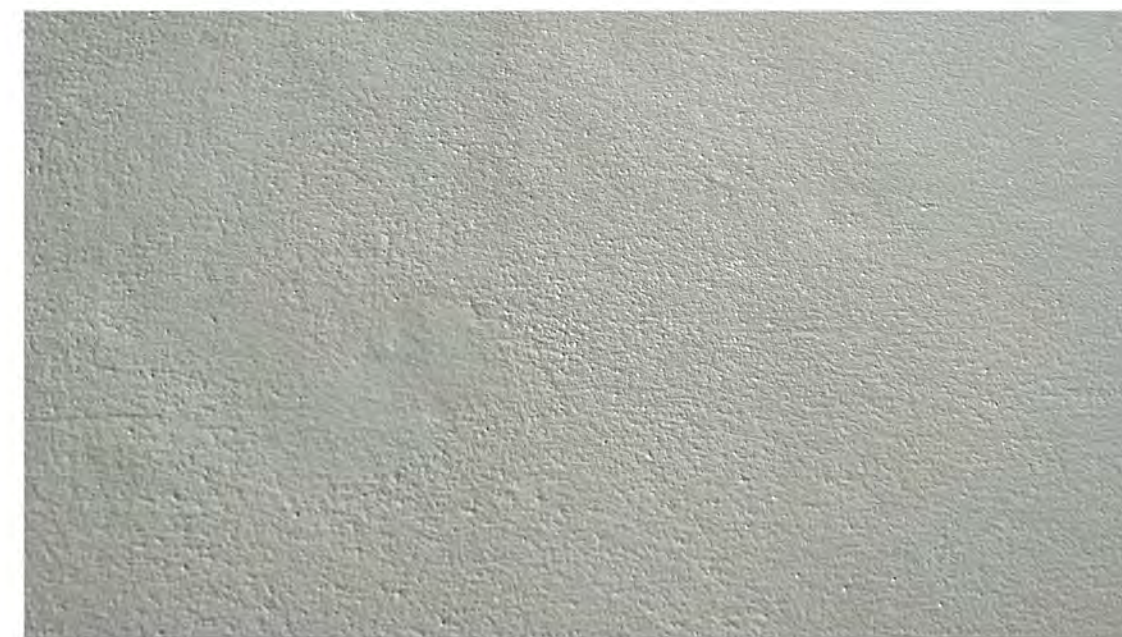


MMA  
MADISON WORTH  
ARCHITECTURE, DPC  
488 Madison Avenue, Suite 1705,  
New York, NY 10022 - Tel.  
212.355.3261

A-4.07



1 NEWLY PROPOSED PEDESTRIAN GATE, TYP.  
SCALE: 3/4" = 1'-0"



2 STUCCO  
FACADE TO MATCH EXISTING



3 NATURAL CAST COQUINA  
FOR NEWLY PROPOSED PEDESTRIAN GATE

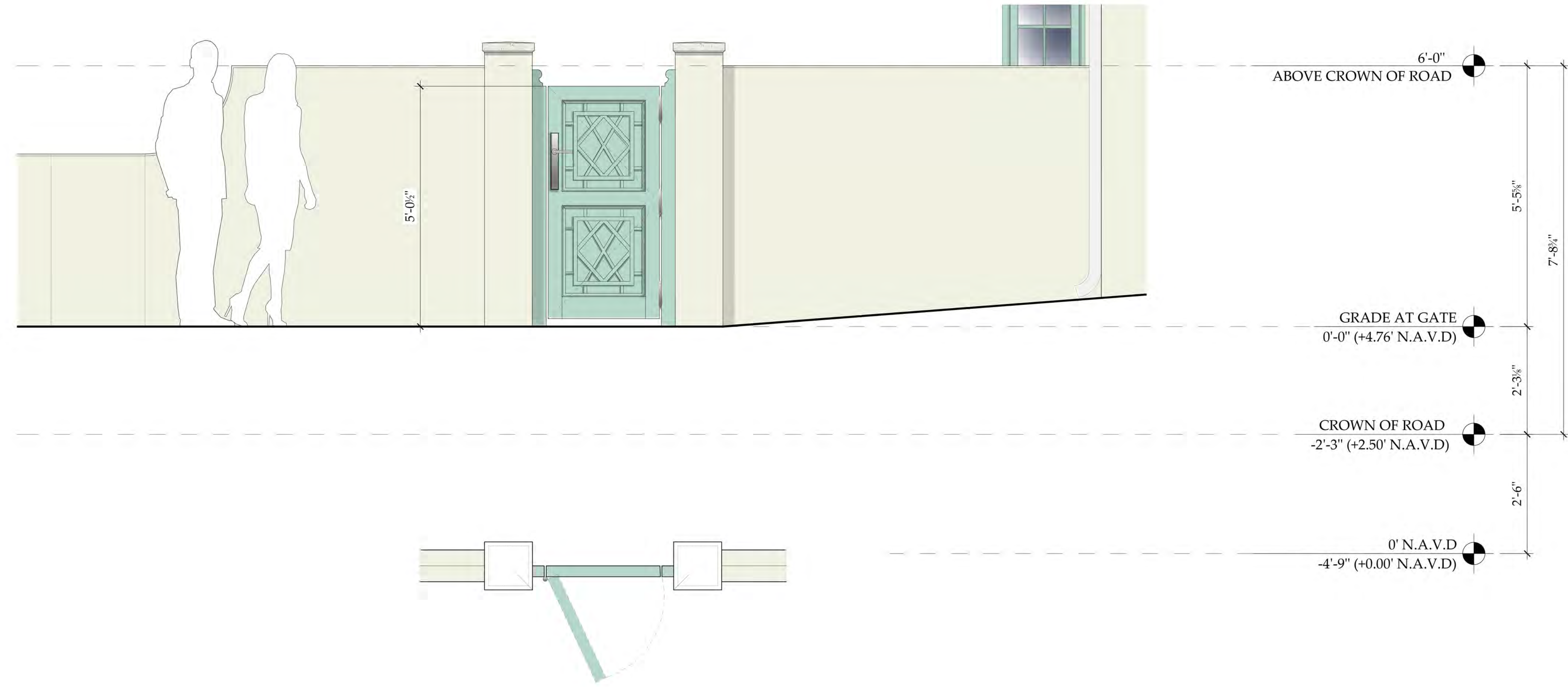


4 NORTHERN LIGHT GREEN PAINTED GATE  
NEWLY PROPOSED DOORS

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY





1 NEWLY PROPOSED PEDESTRIAN GATE, TYP.  
SCALE: 3/4" = 1'-0"



2 STUCCO  
FACADE TO MATCH EXISTING



3 NORTHERN LIGHT GREEN PAINTED GATE  
NEWLY PROPOSED DOORS

ARCHITECTURAL DETAILS

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

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1 STUCCO  
WEST FACADE TO MATCH EXISTING



2 COPPER ROOF  
FOR NEWLY PROPOSED ENTRY PORTICO

GREEN FOR TRIM &  
ENTRY PORTICO  
  
WHITE WINDOWS  
& DOORS



3 SATIN FINISH - PAINTED MILLWORK  
MATCH EXISTING NORTHERN LIGHT GREEN SHUTTERS



4 NATURAL CAST COQUINA  
FOR NEWLY PROPOSED ENTRY PORTICO FLOOR



5 SATIN FINISH - BUFFET GREEN PAINTED MILLWORK  
NEWLY PROPOSED DOORS



6 SOUTHFIELD GREEN PAINTED - FOR GATES  
NEWLY PROPOSED GATES

EXTERIOR MATERIALS & FINISHES SHEET

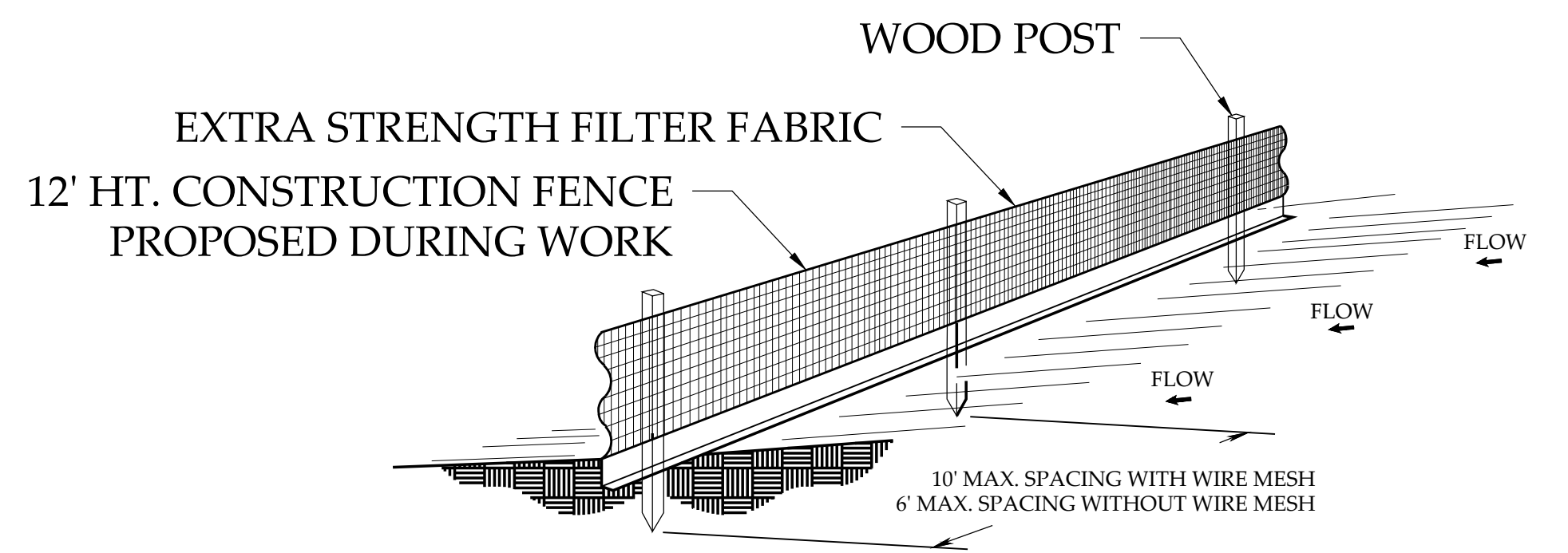
RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
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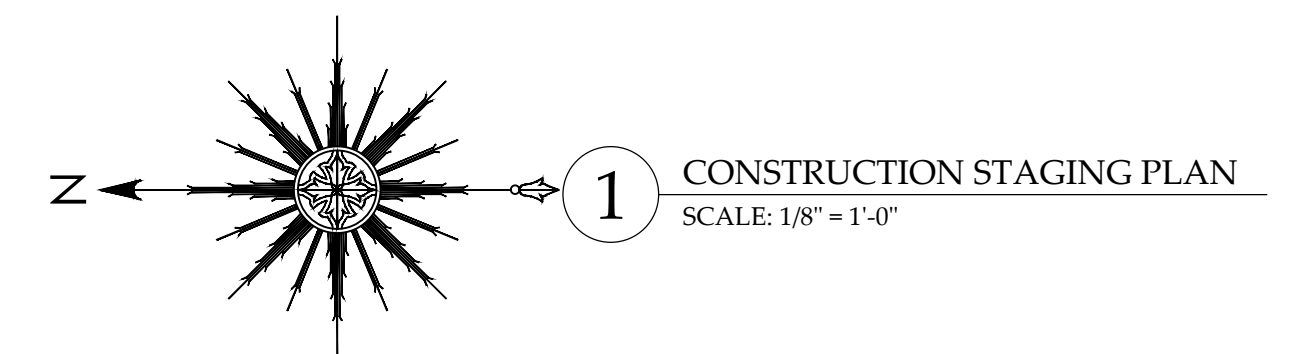
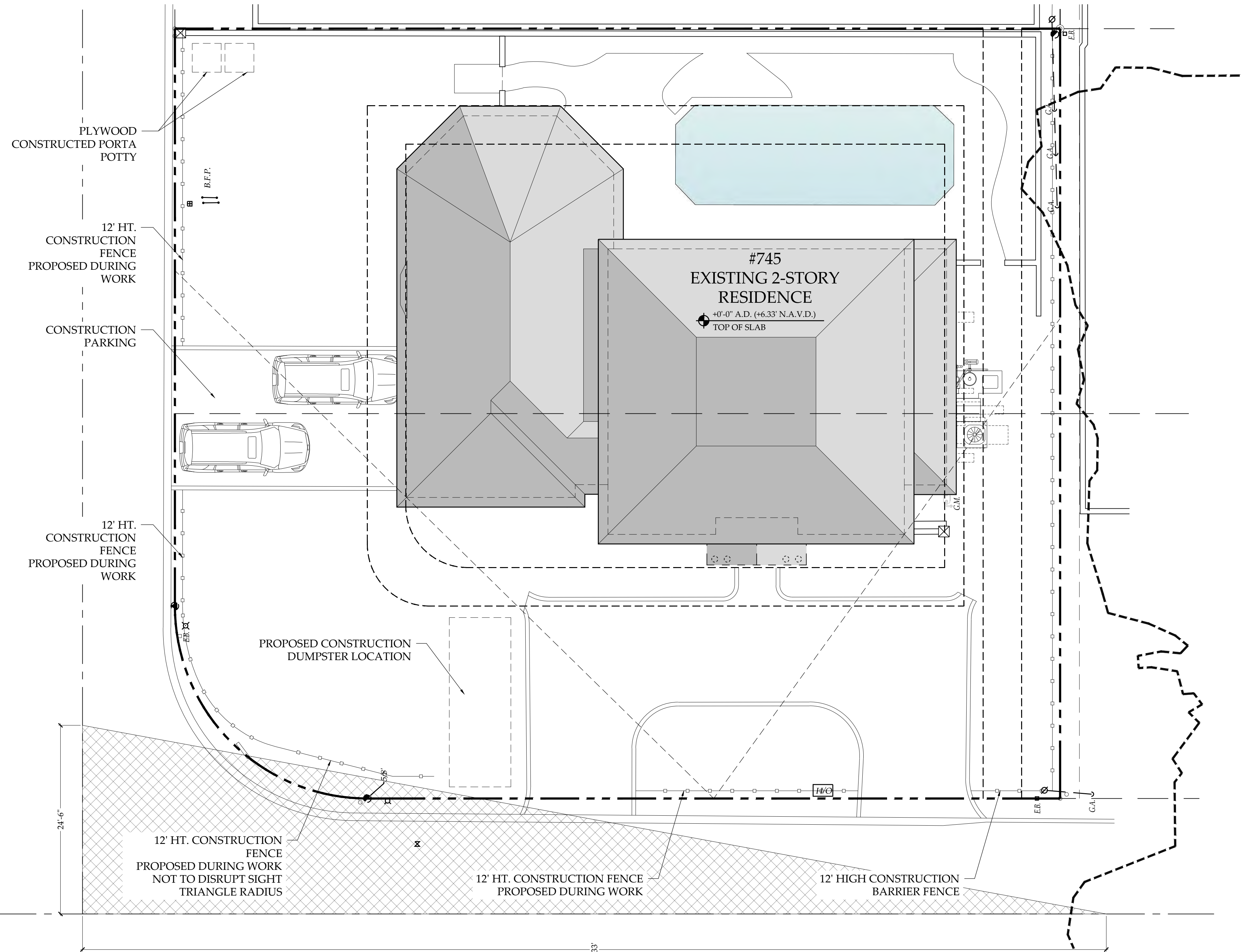
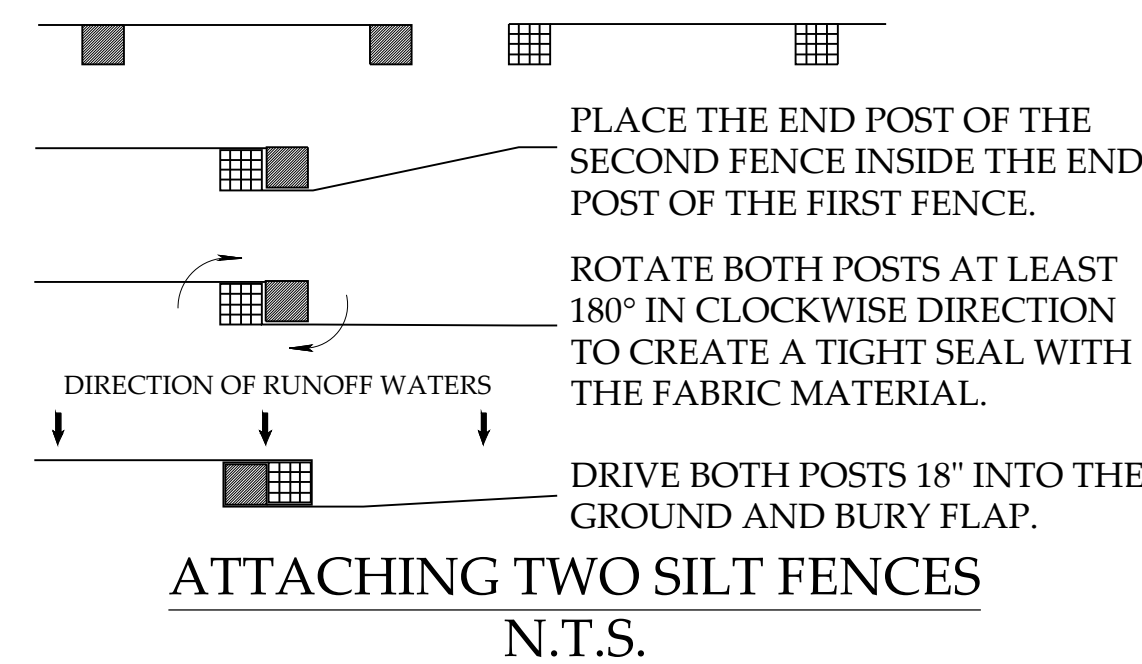
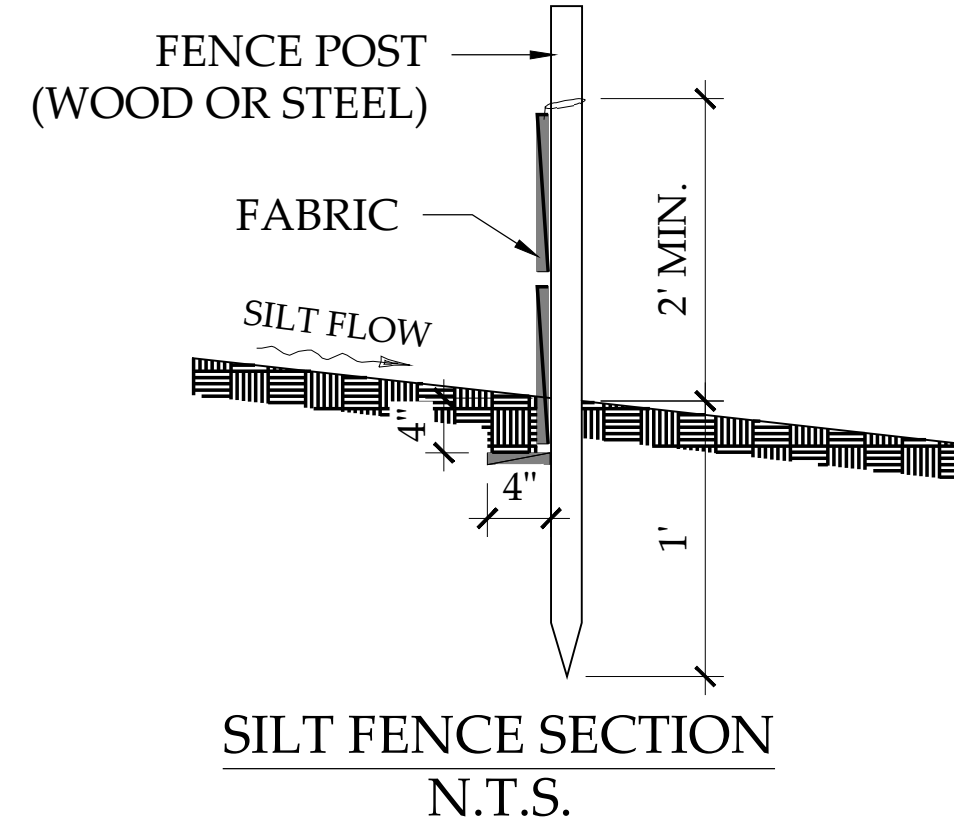
NOTES:

1. THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36".
2. FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
3. POST SHALL BE SPACED A MAXIMUM OF 10' APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12." WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 12'.
4. HEIGHTS OF PERIMETER FENCING SHALL BE 90% OPAQUE SCREENING.
5. IT NEEDS TO BE SUFFICIENT TO SHIELD ADJACENT RESIDENTS FROM CONSTRUCTION, INCLUDING RESIDENTS ACROSS THE STREET.
6. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4" WIDE AND 4" DEEP ALONG THE LINE OF POST AND UP-SLOPE FROM THE BARRIER.
7. WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHELL BE FASTENED SECURELY TO THE UP-SLOPE SIDE OF THE POST USING HEAVY DUTY WIRE STAPLES AT LEAST 1" LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2" AND SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
8. THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8" OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36" ABOVE THE ORIGINAL GROUND SURFACE.
9. THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
10. CONTRACTOR IS RESPONSIBLE FOR INSTALLING & MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
11. CONTRACTOR TO INVESTIGATE CONDITION OF EXISTING SEWER SERVICE PRIOR TO BUILDING PERMIT SUBMISSION. IF EXISTING SEWER SERVICE IS CAST IRON OR IN POOR CONDITION, SERVICE WILL BE REPLACED TO MAIN PER TOWN OF PALM BEACH STANDARDS.
12. THERE ARE NO EXISTING SITE WALL'S ON SITE THAT WILL NEED HEIGHT CALLOUTS.
13. THE ESTIMATED HEIGHT FOR THE EXISTING LANDSCAPE ALONG THE NORTHWEST CURVE IS AROUND 12'-14'. THIS IS TO BE REMOVED.



A CONSTRUCTION FENCE DETAIL  
N.T.S.

SILT FENCE DETAIL  
N.T.S.



CONSTRUCTION STAGING PLAN

RENOVATION OF AN EXISTING PROPERTY  
PRIVATE RESIDENCE ON N. LAKE WAY

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# PROPOSED TRUCK INGRESS/EGRESS ROUTES MAP

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

TRUCK ROUTE USES ROYAL PARK BRIDGE TO S COUNTY RD, TO ISLAND RD, TO ISLAND DRIVE.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

- 30' MAX LENGTH OF VEHICLE TO BE UTILIZED.
- RIGHT OF WAY PERMIT MAY BE REQUIRED IF LARGER TRUCKS NEEDED.
- APPROXIMATELY 10 TRUCKS ON SITE DURING CONSTRUCTION.

TRUCK LOGISTICS PLAN

## RENOVATION OF AN EXISTING PROPERTY PRIVATE RESIDENCE ON N. LAKE WAY

PROJECT #7450  
745 N. LAKE WAY  
PALM BEACH, FLORIDA 33480



1 TRUCK ROUTE PLAN  
SCALE: N.T.S.