

ILLUSTRATIVE RENDERING



LOCATION MAP



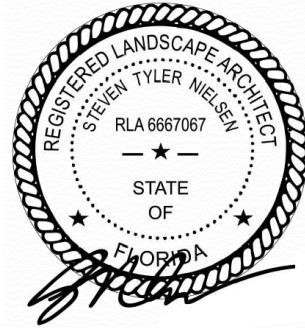
SCOPE OF WORK

THE FOLLOWING DRAWINGS ILLUSTRATE THE PROPOSED SCOPE OF WORK FOR 210 JAMAICA LANE TO BE APPROVED BY PALM BEACH COUNTY:

- INSTALLATION NEW LANDSCAPE PLANTINGS
- INSTALLATION OF NEW IRRIGATION SYSTEM
- INSTALLATION OF NEW HARDSCAPE
- INSTALLATION OF NEW FRONT ENTRY DRIVEWAY

SHEET INDEX	
LANDSCAPE DRAWINGS	DRAWING NOTES
LCVR COVER PAGE	RE: BY OTHERS
L001 GENERAL SITE NOTES	
L002 PRECEDENT IMAGERY	
L003 PRECEDENT IMAGERY	
L004 OVERALL SITE PLAN	
L005 SITE CONTEXT IMAGES	
L006 SITE CONTEXT IMAGES	
L007 ILLUSTRATIVE RENDERINGS	
L008 ILLUSTRATIVE RENDERINGS	
L009 ILLUSTRATIVE RENDERINGS	
L010 ILLUSTRATIVE RENDERINGS	
L011 CONSTRUCTION STAGING PLAN	
L012 LANDSCAPE BUFFER PLAN	
L100 TREE DISPOSITION NOTES	
L101 TREE DISPOSITION NOTES	
L102 TREE DISPOSITION SCHEDULE	
L103 TREE DISPOSITION PLAN	
L300 MATERIALS PLAN	
L400 GRADING PLAN & NOTES	
L500 LAYOUT PLAN & NOTES	
L600 DETAILS	
L601 DETAILS	
L602 DETAILS	
L700 PLANTING NOTES, SCHEDULE & IMAGES	
L701 CANOPY PLANTING PLAN	
L702 UNDERSTORY PLANTING PLAN	
L703 PLANTING DETAILS	
L900 LIGHTING PLAN	

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10.04.2024

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210 JAMAICA LANE
210 JAMAICA LANE | PALM BEACH, FL 33480

SITework GENERAL NOTES

1. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK BY THE SUBCONTRACTORS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT AND GENERAL CONTRACTOR OF DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING ANY WORK.
3. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION. ALL CONTRACTORS MUST COMPLY WITH PERMIT REQUIREMENTS. LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES RULES AND REGULATIONS AND LAND USE APPROVAL CONDITIONS AT ALL TIMES.
4. WORK PERFORMED WITHOUT APPROVAL OF LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES AND/OR NOT IN COMPLIANCE WITH SPECIFICATIONS AND/OR DRAWINGS IS SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE.
5. ALL WORK SHALL CONFORM TO THE APPROPRIATE AGENCIES. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR UTILITIES OR STRUCTURES NOT SHOWN ON THE DRAWINGS. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS AND ELECTRICAL LINES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL LAND MONUMENTS DISRUPTED BY CONSTRUCTION ACTIVITIES OR NEGLIGENCE ON THE PART OF THE CONTRACTOR. RESETS SHALL BE PERFORMED UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR AND MONUMENT RECORDS MUST BE FILED AS REQUIRED BY STATUTE FOR ALL MONUMENTS.
7. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY MEASURES NECESSARY TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS AND STRUCTURES DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR RECONSTRUCTED SATISFACTORY TO THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.
8. ALL BARRICADING AND TEMPORARY TRAFFIC CONTROL DEVICES OR METHODS USED DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES STANDARDS. PROVIDE ADEQUATE TIME FOR REVIEW AND APPROVAL BY THE ABOVE JURISDICTIONS PRIOR TO COMMENCEMENT.
9. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES UTILIZED OR FOR SAFETY PRECAUTIONS OR PROBLEMS IN CONNECTION WITH THE WORK. THE LANDSCAPE ARCHITECT WILL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. CONTRACT DOCUMENTS INCLUDE THE CONSTRUCTION DOCUMENT DRAWING SET/TECHNICAL SPECIFICATIONS MANUAL/LASIS.
10. CONTRACTOR TO VERIFY ALL QUANTITIES. IN CASE OF ANY DISCREPANCIES, GRAPHICALLY SHOWN MATERIAL QUANTITIES SHALL TAKE PRECEDENCE.
11. A SYSTEM OF DIAGRAMMATIC SYMBOLS, HATCHES AND NOTATIONS IS USED IN THESE DRAWINGS. REVIEW NOTATIONS CAREFULLY, NOTIFY LANDSCAPE ARCHITECT AND REQUEST CLARIFICATION OF ANY UNCLEAR NOTATION OR DISCREPANCY PRIOR TO COMMENCING WORK.

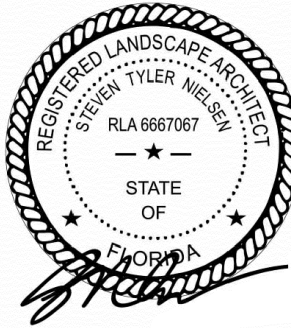
SITework GENERAL NOTES CONTINUED

1. PROVIDE SLEEVES AS REQUIRED FOR DRAINAGE, IRRIGATION AND ELECTRICAL LINES. IRRIGATION AND ELECTRICAL SLEEVES AND SUBSURFACE DRAINAGE SYSTEMS SHALL BE CONSTRUCTED PRIOR TO PAVING AND LANDSCAPE WORK. UTILITY SLEEVES ARE REQUIRED IN ALL PLANT BEDS ISOLATED BY PAVEMENT OR ANY OTHER STRUCTURES.
2. SPECIAL CONSIDERATION IS GIVEN TO THE DESIGN AND INTENDED RELATIONSHIP BETWEEN ARCHITECTURE, PLANTING AREAS AND PAVING SYSTEMS. PAVEMENT JOINTING, PAVERS, STONE, FINISHES AND GRADES HAVE BEEN STRICTLY COORDINATED IN THE CONTRACT DOCUMENTS. CONSTRUCTION OF THESE SYSTEMS SHALL BE STRICTLY COORDINATED.
3. VEHICLES, EQUIPMENT, AND/OR MATERIALS SHALL NOT BE PARKED OR STORED IN AREAS OF EXISTING VEGETATION, INCLUDING WITHIN THE DRIPLINE OF EXISTING TREES TO REMAIN.
4. CONSTRUCTION WASTE-INCLUDING BUT NOT LIMITED TO: PLANT MATERIAL, BUILDING MATERIALS, DEMOLISHED MATERIALS, PACKAGING, LEFTOVER PAINT AND CONCRETE SLURRY-SHOULD BE PROPERLY REUSED, RECYCLED, DISPOSED OF LEGALLY OFF-SITE OR IN DESIGNATED WASH-OUT AREAS DETERMINED BY THE GENERAL CONTRACTOR.
5. RECYCLING AND TRASH BINS TO BE PROVIDED ON SITE. SEPARATE BINS FOR CARDBOARD, CO-MINGLED, AND OTHER RECYCLABLE/REUSABLE MATERIALS IDENTIFIED BY THE LOCAL JURISDICTION SHALL BE MAINTAINED. ALL BINS TO BE WILDLIFE-PROOF.
6. ON-SITE FUEL STORAGE FOR CONSTRUCTION EQUIPMENT IS DISCOURAGED. CONSTRUCTION EQUIPMENT USED ON SITE TO BE CHECKED REGULARLY TO ASSURE CONTAMINATION CONCERNS FROM OILS AND GREASES ARE ELIMINATED. NO TOXIC MATERIALS SHALL BE STORED ON-SITE.
7. GENERAL CONTRACTOR TO KEEP ALL ITEMS IMPLEMENTED BY LANDSCAPE ARCHITECT IN PROPER WORKING ORDER THROUGHOUT THE DURATION OF THE PROJECT.
8. THE CONSTRUCTION SITE TO BE INSPECTED ON A MONTHLY BASIS BY LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER TO ASSURE THAT THE SILT FENCE AND MUD TRACKING PAD ARE PROPERLY IN PLACE AND FUNCTIONING AS DESIGNED.
9. GREEN BUILDING PRACTICES SHALL BE EMPLOYED TO THE EXTENT FEASIBLE. SUCH PRACTICES INCLUDE: CARPOOLING/VANPOOLING TO JOB SITE, MINIMIZING MATERIALS PACKING BEFORE ARRIVAL TO JOB SITE, REDUCING MATERIAL/RESOURCE INEFFICIENCIES BY COORDINATING WORK.
10. THE PROJECT LIMIT OF CONSTRUCTION AND ALL EXISTING VEGETATION TO REMAIN IS TO BE CLEARLY DEFINED BY STURDY, WEATHERPROOF FENCING AT A MINIMUM OF FOUR (4) FEET HIGH.
11. WATERPROOFING OF SUBGRADE AND OTHER ARCHITECTURAL SPACES BELOW AND/OR ADJACENT TO IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT IS TO BE ADEQUATELY DESIGNED AND DETAILED BY OTHERS TO PERMANENTLY REPEL ALL WATER SOURCES INCLUDING, BUT NOT LIMITED TO: PRECIPITATION, STORM WATER RUNOFF, GROUND WATER, IRRIGATION, ROOF RUNOFF, GROUND WATER, AND PLUMBING LEAKS.
12. STRUCTURAL DESIGN TO SUPPORT IMPROVEMENTS DESIGNED BY THE LANDSCAPE ARCHITECT AND LOCATED ABOVE, BELOW, AND/OR ADJACENT TO SUBGRADE AND OTHER ARCHITECTURAL SPACES IS THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER. THE STRUCTURAL DESIGN SHOULD BE ADEQUATELY DESIGNED TO SUPPORT ALL POSSIBLE LOADS INCLUDING, BUT NOT LIMITED TO: BACKFILL, COMPACTION, PLANTINGS, HARDSCAPES, RETAINING AND FREESTANDING SITE WALLS, AND CONSTRUCTION MATERIALS/EQUIPMENT/ACTIVITY.

SOIL EROSION CONTROL NOTES

1. PRIOR TO BEGINNING ANY EARTH CHANGE, THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL SESC MEASURES AS SHOWN ON THE CONTRACT DOCUMENTS AND AS REQUIRED BY ANY GOVERNING AGENCIES.
2. ALL SESC MEASURES TO BE MAINTAINED DAILY.
3. THE CONTRACTOR TO CONDUCT ALL EXCAVATION, FILLING, GRADING, AND CLEANUP OPERATIONS IN A MANNER SUCH THAT SEDIMENT, GENERATED BY WIND OR WATER IS NOT DISCHARGED INTO ANY STORM SEWER, DRAINAGE DITCH, RIVER, LAKE, AIR, OR UNDERGROUND UTILITY SYSTEM. STAGE WORK TO MINIMIZE THE AREA OF EXPOSED SOIL, THEREBY REDUCING THE OPPORTUNITY FOR SOIL EROSION.
4. WATER FROM TRENCHES AND OTHER EXCAVATION TO BE PUMPED INTO A FILTRATION BAG TO REMOVE SEDIMENTS FROM THE WATER.
5. NORTH AMERICAN GREEN SC-150 OR EQUIVALENT EROSION CONTROL FABRIC IS REQUIRED ON ALL DISTURBED SLOPES GREATER THAN 3:1 UNTIL PROJECT AREA IS REVEGETATED PER THE PLANTING PLAN.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. CONTRACTOR TO PROVIDE ONSITE WATERING TO REDUCE FUGITIVE DUST LEAVING THE SITE DURING CONSTRUCTION.
8. SOIL EROSION CONTROL MEASURES TO BE PROVIDED FOR ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE PROJECT LIMITS.
9. CONSTRUCTION STAGING AND PHASING SHALL OCCUR, WHERE APPLICABLE, TO MINIMIZE SOIL DISTURBANCE TIME.
10. BEST MANAGEMENT PRACTICES (BMPs) SHALL BE ADJUSTED AS NEEDED TO MEET ANY OTHER UNFORESEEN CONDITIONS.
11. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING A MUD TRACKING PAD/WASHING PAD AT THE CONSTRUCTION ENTRANCES TO MINIMIZE MUD DETACHMENT FROM TRUCK TIRES. 1-1/2 INCH SCREENED ROCK TO BE PLACED ON MIRAFI 140-N FILTER FABRIC. ADDITIONAL CLEAN GRAVEL TO BE ADDED THROUGHOUT THE DURATION OF CONSTRUCTION AS NEEDED.
12. CONTRACTOR SHALL ABIDE BY THE LOCAL, STATE AND FEDERAL JURISDICTIONS AND GOVERNING BODIES/AGENCIES CONSTRUCTION MANAGEMENT PLAN REQUIREMENTS.
13. RESEED AS INDICATED IN SEEDING NOTES.

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GENERAL SITE NOTES

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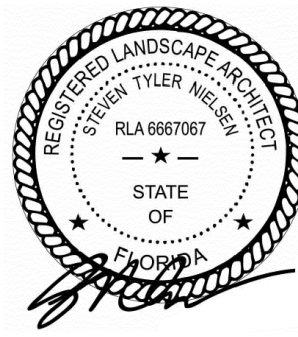
L001

PRECEDENT IMAGERY



210 JAMAICA LANE
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PRECEDENT IMAGERY	
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PRECEDENT IMAGERY



210 JAMAICA LANE

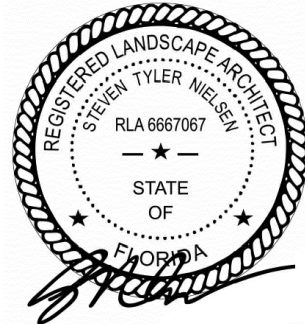
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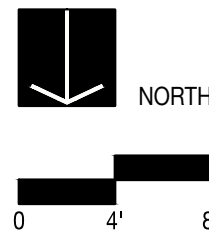
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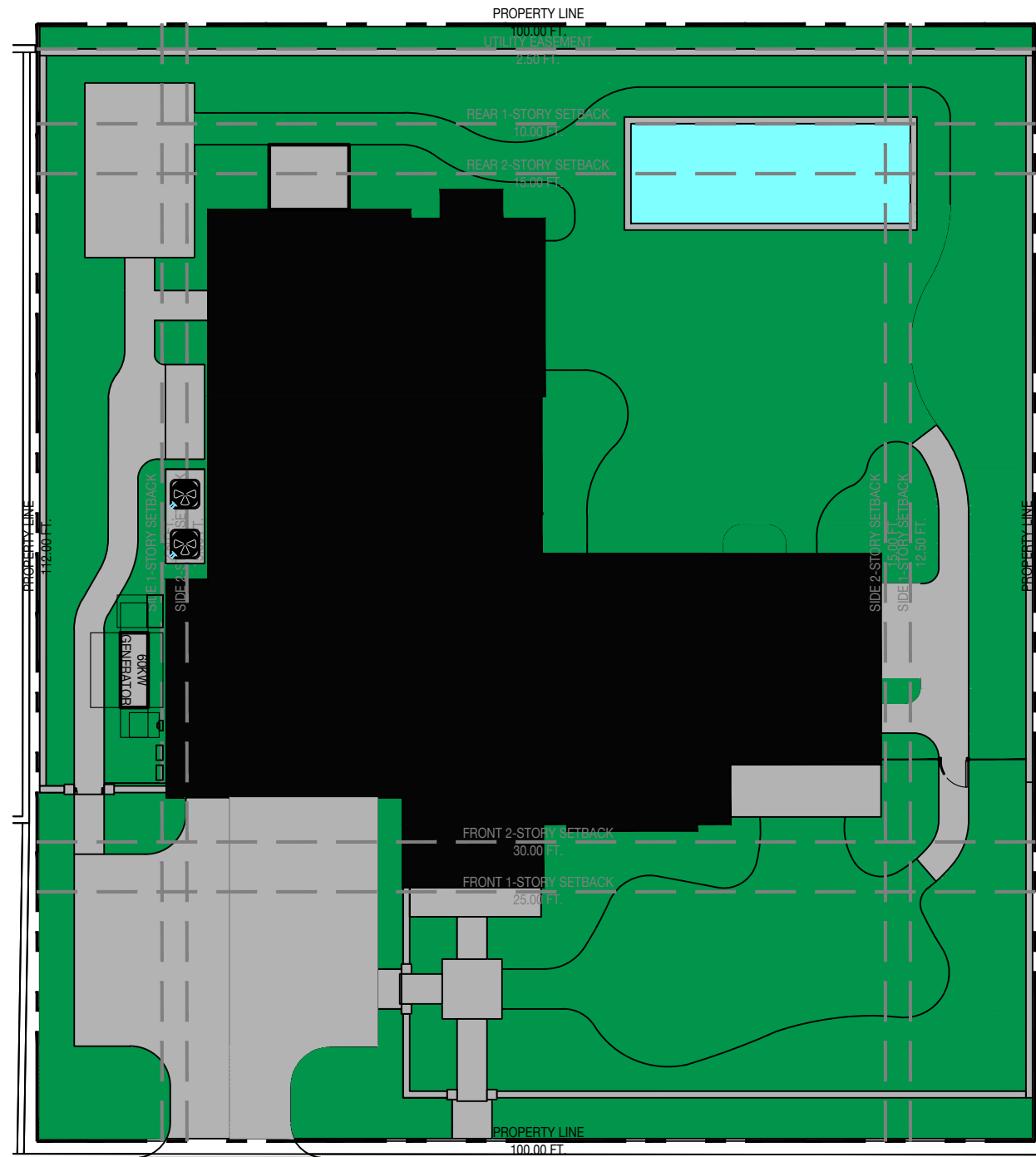
OVERALL SITE PLAN	
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L004

SITE PLAN LEGEND

- | | | |
|--------------------------|----------------------------------|-----------------------------|
| 1. RIGHT OF WAY | 9. POOL SAFETY FENCE | 17. COVERED SEATING AREA |
| 2. RIGHT OF WAY LAWN | 10. COVERED SEATING AREA | 18. FIREPLACE (GAS) |
| 3. 15 FT. VIEW TRIANGLES | 11. EQUIPMENT/MECHANICAL | 19. BBQ/GRILL |
| 4. DRIVEWAY | 12. GRAVEL MAINTENANCE PATH | 20. OUTDOOR DINING AREA |
| 5. FRONT ENTRY WALKWAY | 13. COVERED SEATING AREA | 21. BRICK PATH |
| 6. FRONT ENTRY STAIRS | 14. ZOYSIA ZEON PLAY LAWN | 22. POOL EQUIPMENT |
| 7. PLANTING AREA TYPICAL | 15. BUFFER PLANTING AREA | 23. GRAVEL MAINTENANCE PATH |
| 8. ZOYSIA ZEON LAWN | 16. POOL (UNDER SEPARATE PERMIT) | 24. GENERATOR |



SITE DIAGRAM PLAN: SCALE $\frac{1}{16} = 1'0"$

SITE CALCULATIONS

- | | | |
|------------------------|----------------------------------|--|
| 1. TOTAL SITE AREA: | 11,200 SQUARE FEET | |
| 2. PROPOSED STRUCTURE: | 3,042 SQUARE FEET (27% LOT AREA) | |
| 3. PROPOSED HARDSCAPE: | 2,110 SQUARE FEET (19% LOT AREA) | |
| 4. PROPOSED LANDSCAPE: | 5,768 SQUARE FEET (52% LOT AREA) | |
| 5. PROPOSED POOL: | 280 SQUARE FEET (2% LOT AREA) | |

AERIAL SITE IMAGE



SITE CONTEXT IMAGES



204 JAMAICA LANE



205 JAMAICA LANE



215 JAMAICA LANE



221 JAMAICA LANE



214 JAMAICA LANE



205 JAMAICA LANE



216 JAMAICA LANE



221 JAMAICA LANE



225 JAMAICA LANE



205 JAMAICA LANE

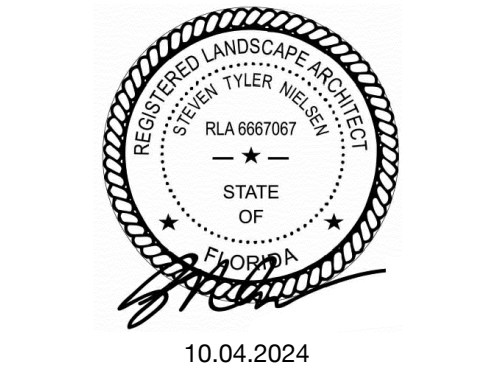


237 JAMAICA LANE



221 JAMAICA LANE

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10.04.2024	ARCOM SUBMITTAL

SITE CONTEXT IMAGES



218 JAMAICA LANE



245 JAMAICA LANE



244 JAMAICA LANE



253 JAMAICA LANE



252 JAMAICA LANE



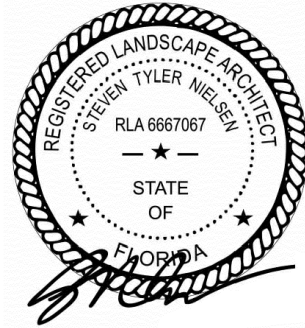
265 JAMAICA LANE



260 JAMAICA LANE



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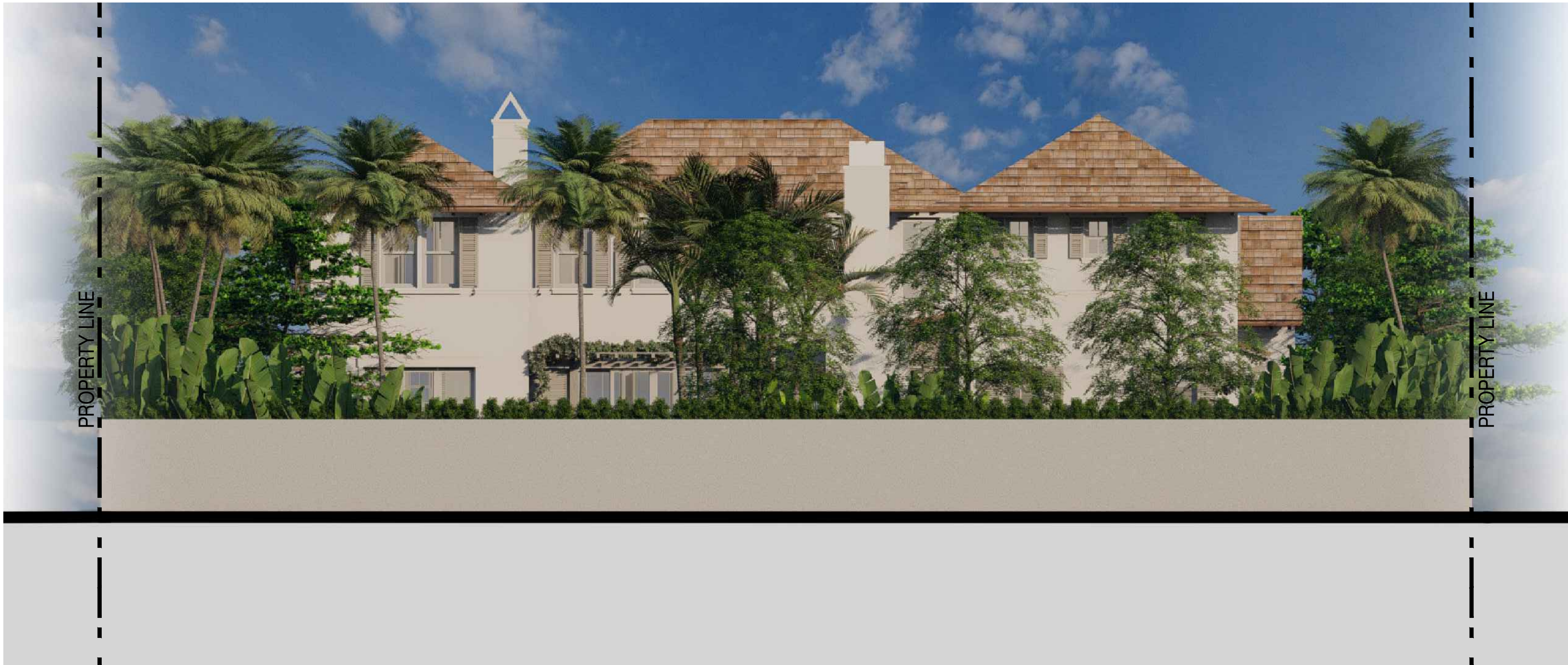
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ILLUSTRATIVE RENDERINGS



SOUTH PROPERTY LINE ELEVATION (NTS)

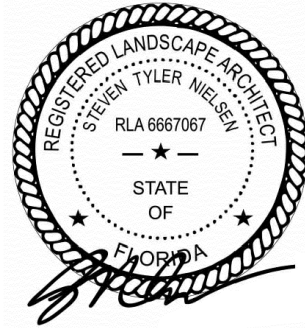


NORTH PROPERTY LINE ELEVATION (NTS)

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ILLUSTRATIVE RENDERINGS



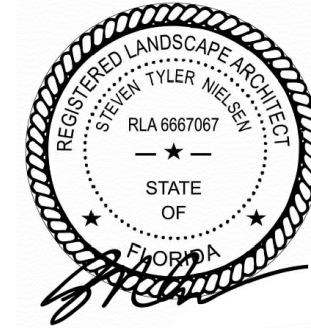
EAST PROPERTY LINE ELEVATION (NTS)



WEST PROPERTY LINE ELEVATION (NTS)

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L008

ILLUSTRATIVE RENDERINGS



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ILLUSTRATIVE RENDERINGS



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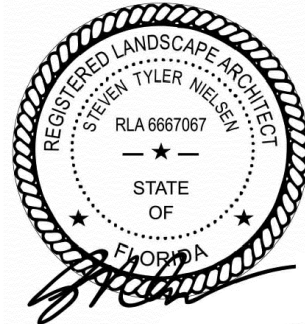
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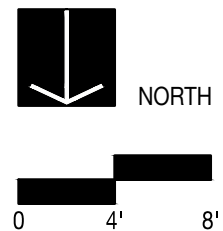
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L010



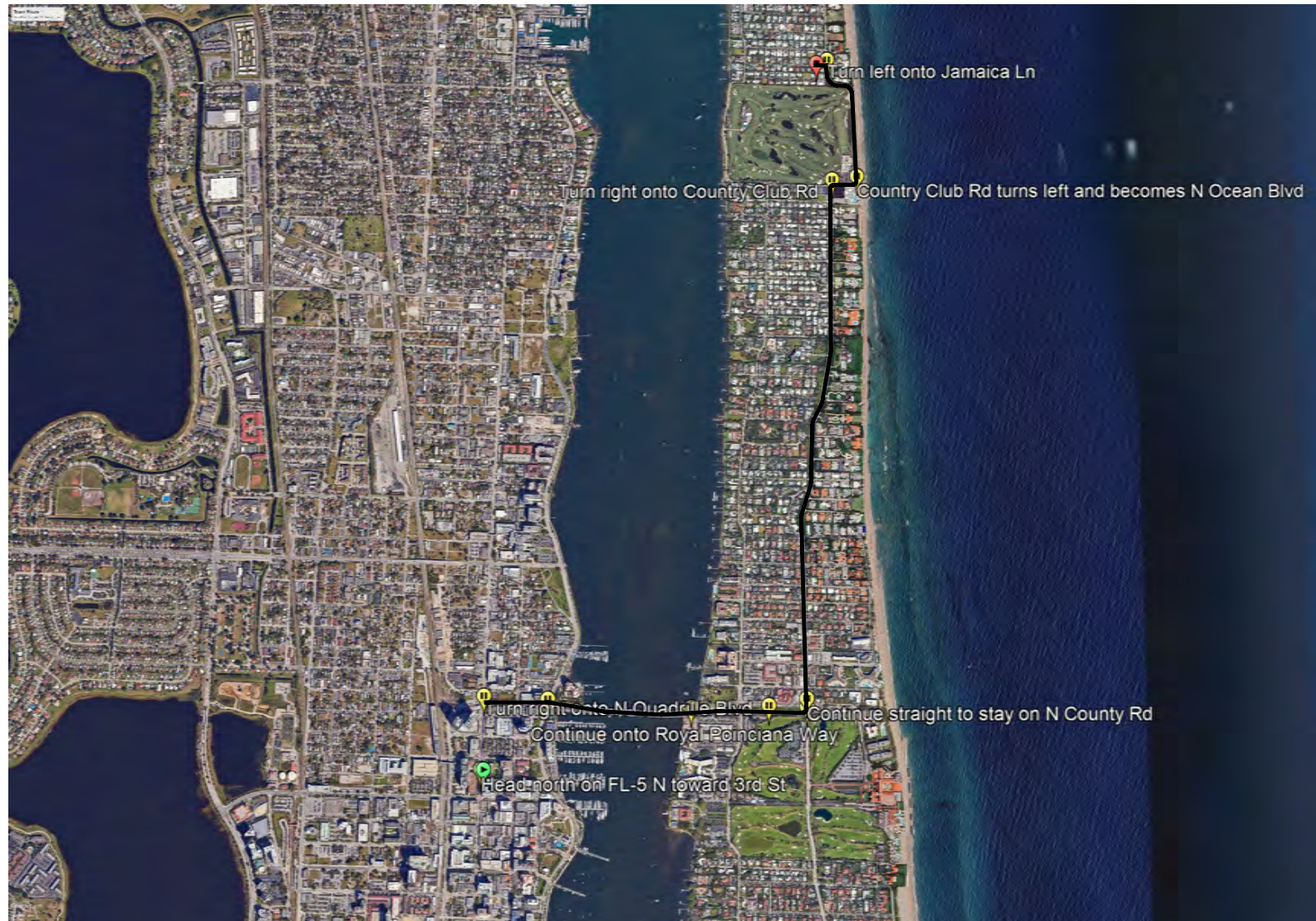
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CONSTRUCTION STAGING PLAN	
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L011

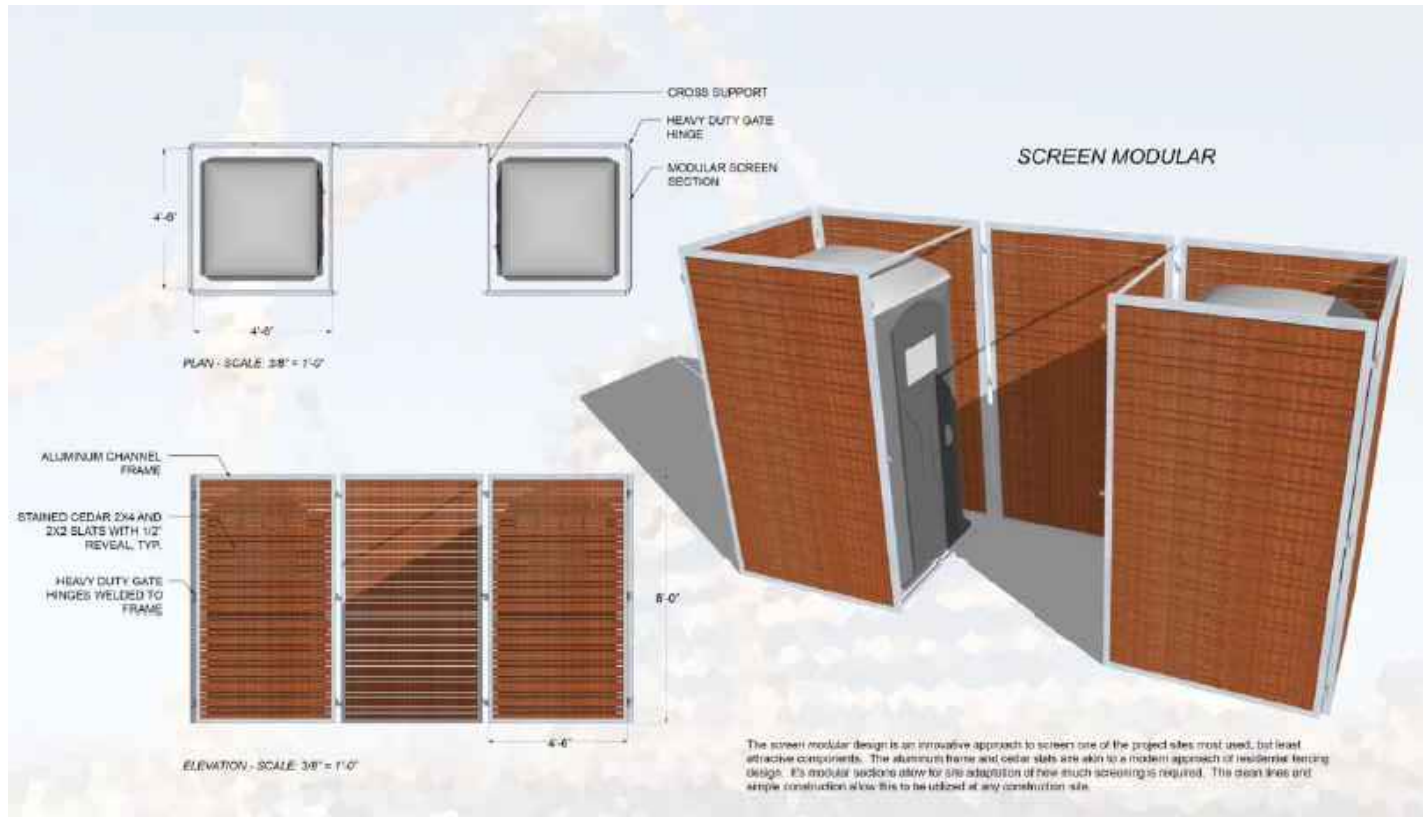
TRUCK ROUTE PLAN



- FROM WEST PALM BEACH TO 210 JAMAICA LANE:
- CROSS BRIDGE AT ROYAL POINCIANA WAY
 - TURN LEFT AT N. COUNTY ROAD
 - CONTINUE NORTH ON N. COUNTY ROAD
 - TURN RIGHT ON COUNTRY CLUB RD
 - CONTINUE NORTH ON N. OCEAN BLVD
 - TURN LEFT ONTO JAMAICA LANE



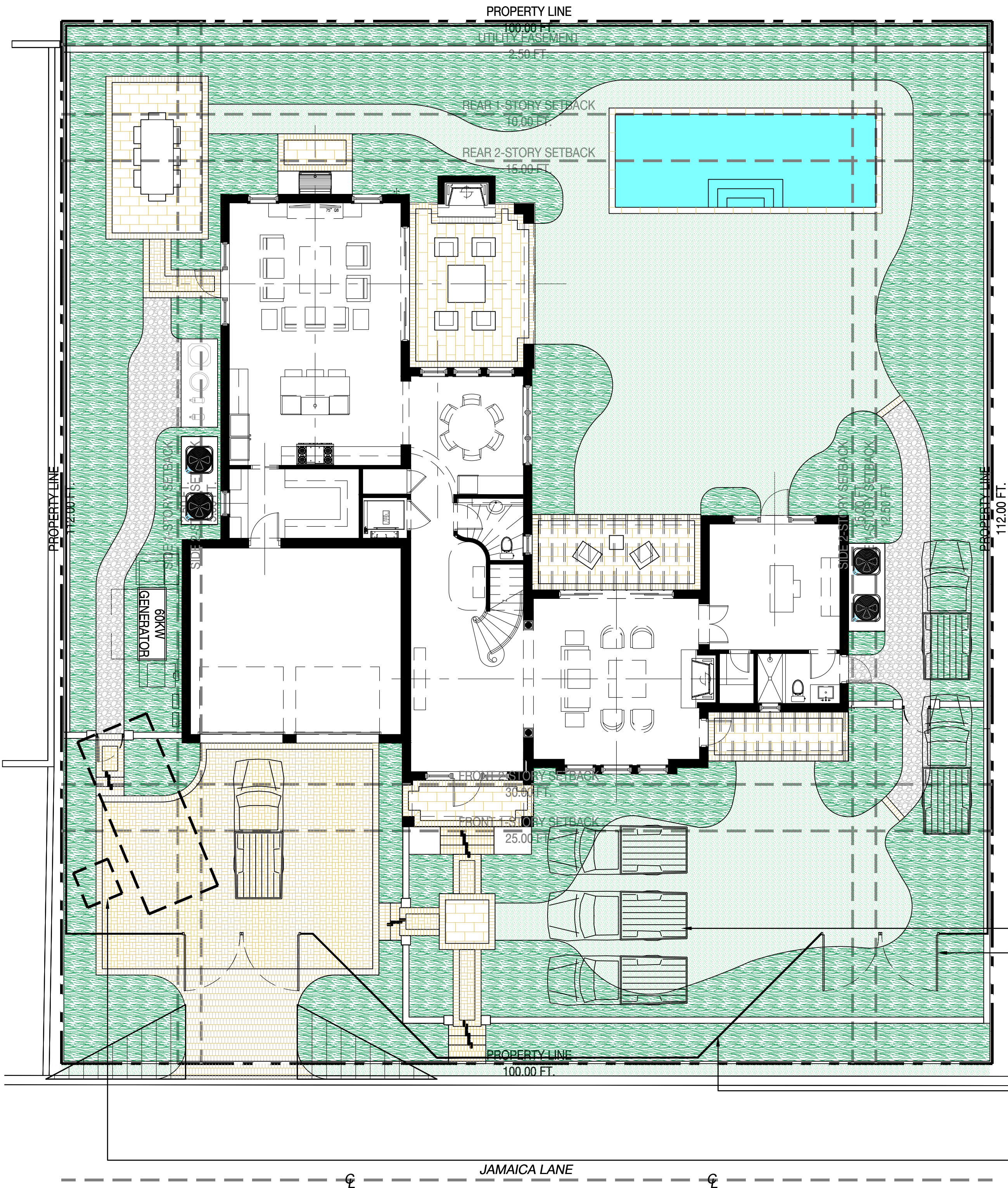
1 CONSTRUCTION FENCE (16-18 FT. HIGH)
NO SCALE



2 PORTA-POTTY
NO SCALE

NOTES:

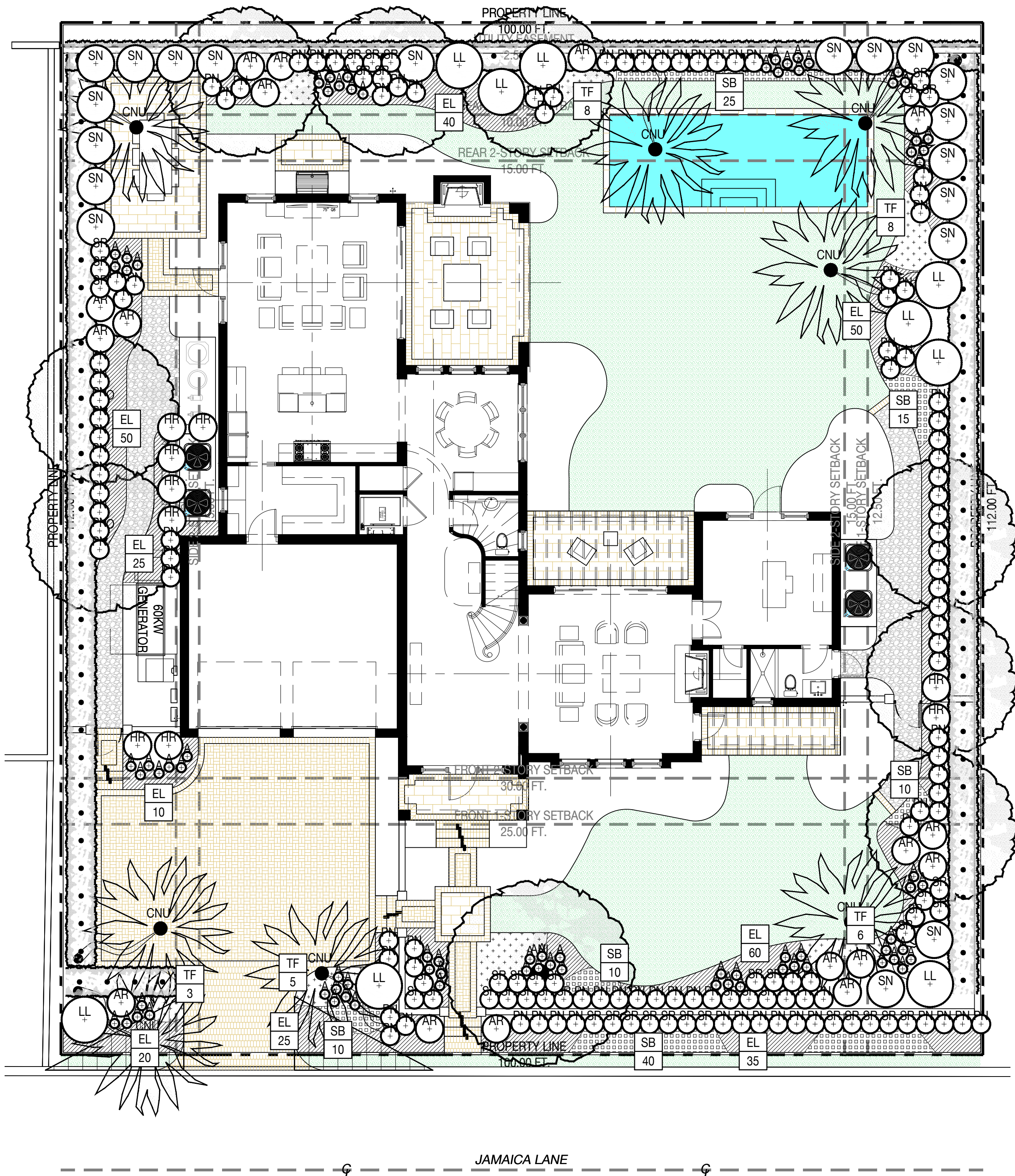
1. CONTROL OF DAMAGE TO LAWNS, CURBS, RIGHTS OF WAY OR ANY FOLIAGE BY CONTRACTORS, WORKERS, AND EQUIPMENT. REPAIRS NEED TO BE COMPLETED IMMEDIATELY.



CONSTRUCTION PARKING
SECURITY GATE

6 FT. HIGH CONSTRUCTION
BARRIER FENCE W/ OPAQUE
GREEN MESH SCREEN

CONSTRUCTION PORTA
POTTY TO BE SCREENED W/
PLYWOOD STRUCTURE
PAINTED FOREST GREEN



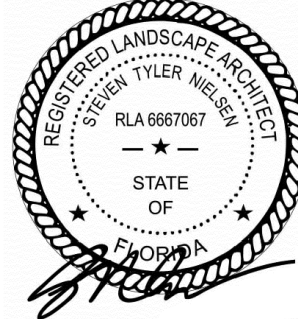
NOTES:

1. INSTALLATION OF LANDSCAPE BUFFER TO OCCUR UPON COMPLETION OF SITE GRADING AND STABILIZATION.
2. IRRIGATION MAIN LINE, BFP, AND APPROPRIATE ZONES TO BE INSTALLED TO SUPPORT IMMEDIATE BUFFER PLANTING.
3. CONTRACTOR TO COORDINATE WITH LANDSCAPE ARCHITECT AND PALM BEACH COUNTY TO ENSURE COMPLIANCE.
4. CONSTRUCTION OF STRUCTURAL FEATURES TO BEGIN AFTER INSTALLATION OF BUFFER

LANDSCAPE BUFFER PLANTING SCHEDULE

ABR.	QUANTITY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS
TREES & PALMS				
ANI	1	ALBIZIA NIOPOIDES	CARIBBEAN ALBIZIA	8 IN. DBH. 24 FT. OA. HT.
CRO	8	CLUSIA ROSEA	PITCH APPLE	4 IN. DBH. SINGLE LEADER. STANDARD. 16 FT. OA.
CNU	13	COCOS NUCIFERA 'GREEN MALAYAN'	COCONUT PALM	FG. CHARACTER CURVE. 12 FT. GW.
CAL	2	CHAMPACA ALBA	SAME	4 IN. DBH. 16 FT. OA. HT.
UNDERSTORY TREES & SHRUBS				
LL	9	LATANIA LODDIGESII	BLUE LATAN PALM	45 GAL. 6 FT. HT.
SN	18	STRELITZIA NICOLAI	WHITE BIRD OF PARADISE	65 GAL. 8-10 FT. HT. OA.
HR	4	HELICONIA ROSTRATA	LOBSTER CLAW HELICONIA	15 GAL. 8 FT. HT.
AR	17	ALOCASIA 'REGAL SHIELDS'	ELEPHANT EAR	15 GAL. 4 FT. HT.
PN	101	PSYCHOTRIA NERVOSA	WILD COFFEE	7 GAL. 3 FT. HT.
SR	45	STRELITZIA REGINAE	ORANGE BIRD OF PARADISE	7 GAL. 3 FT. HT.
A	90	AGAVE ATTENUATA	SOFT TIP AGAVE	3 GAL. 18 IN. HT.
PRA	110	PIMENTA RACEMOSA	BAY RUM	25 GAL. 6 FT. HT. OA. FULL TO BASE
GROUNDCOVERS				
EL	310	ERNODEA LITTORALIS	GOLDEN BEACH CREEPER	3 GAL. 18 IN OC.
SB	105	SPARTINA BAKERI	SAND CORDGRASS	3 GAL. 18 IN OC.
TF	40	TRIPSACUM FLORIDANA	DWARF FAKAHATCHEE GRASS	3 GAL. 24 IN. OC.

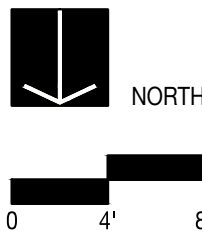
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