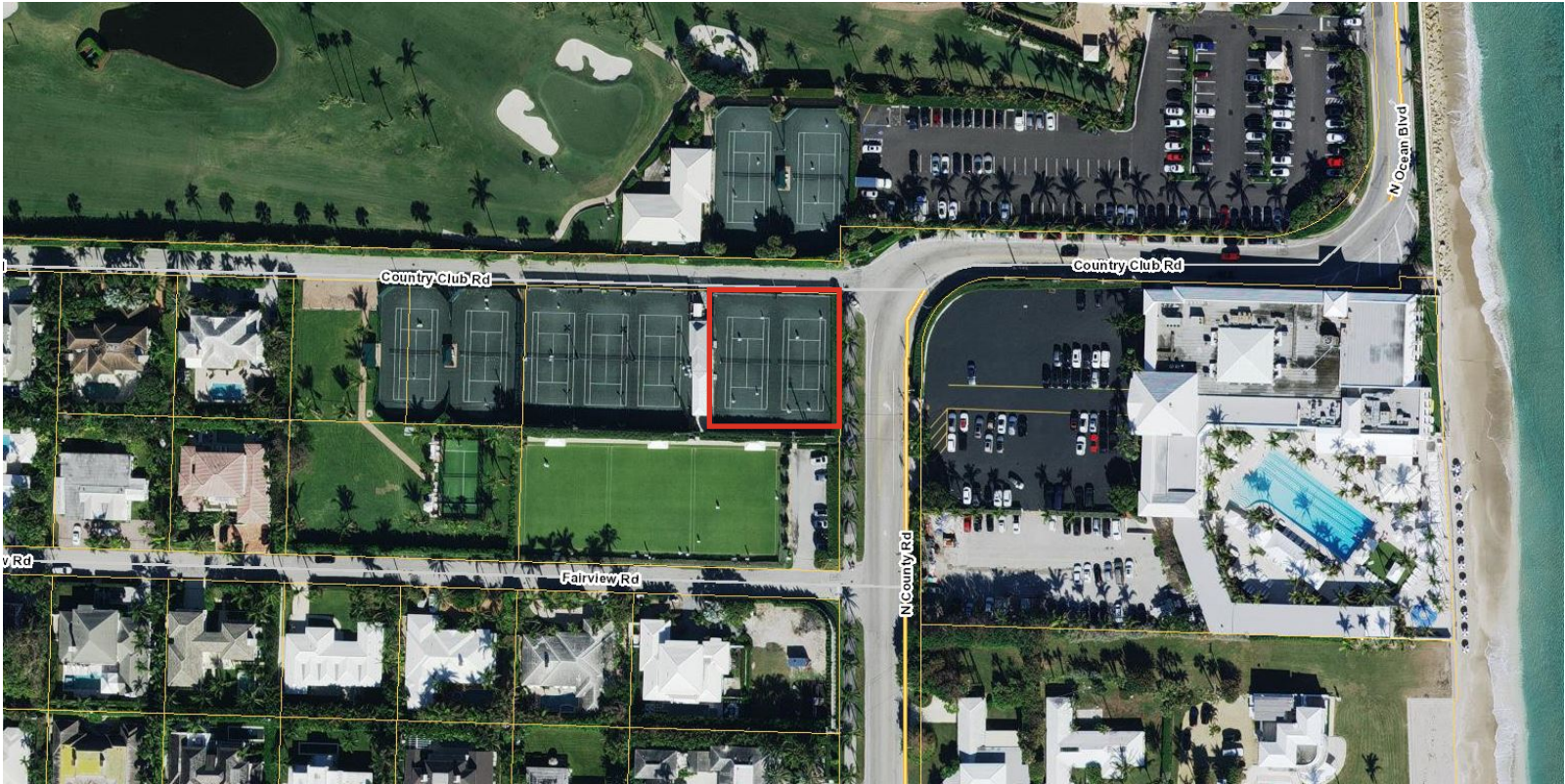


THE BEACH CLUB
755 NORTH COUNTY ROAD
PALM BEACH, FL 33480



NEW LIGHTING - EAST TENNIS COURTS
TOWN COUNCIL SUBMITTAL
ZON-24-0
PROJECTED TOWN COUNCIL HEARING DATE:
NOVEMBER 13, 2024


KOCHMAN & ZISKA LLC

THE BEACH CLUB
755 NORTH COUNTY ROAD
PALM BEACH, FL 33480

9/25/2024

COVER SHEET

AS NOTED

CV



EXISTING TENNIS COURT WITHOUT LIGHTS



EXISTING LIGHTS ON TRIPLE COURTS



EXISTING ELECTRICAL PANEL



EXISTING LIGHTS ON TRIPLE COURTS

EXISTING SITE PHOTOS

THE BEACH CLUB
755 N. COUNTY ROAD
PALM BEACH, FL 33480

**LITE
MAINTENANCE
INC.**
(954) 486-0111
2071 NW 29TH ST.
OAKLAND PARK, FL 33311

**PERMIT #
E-24-00037 -
TENNIS
COURT
LIGHTING**

ISSUE DATE - 9/26/2024

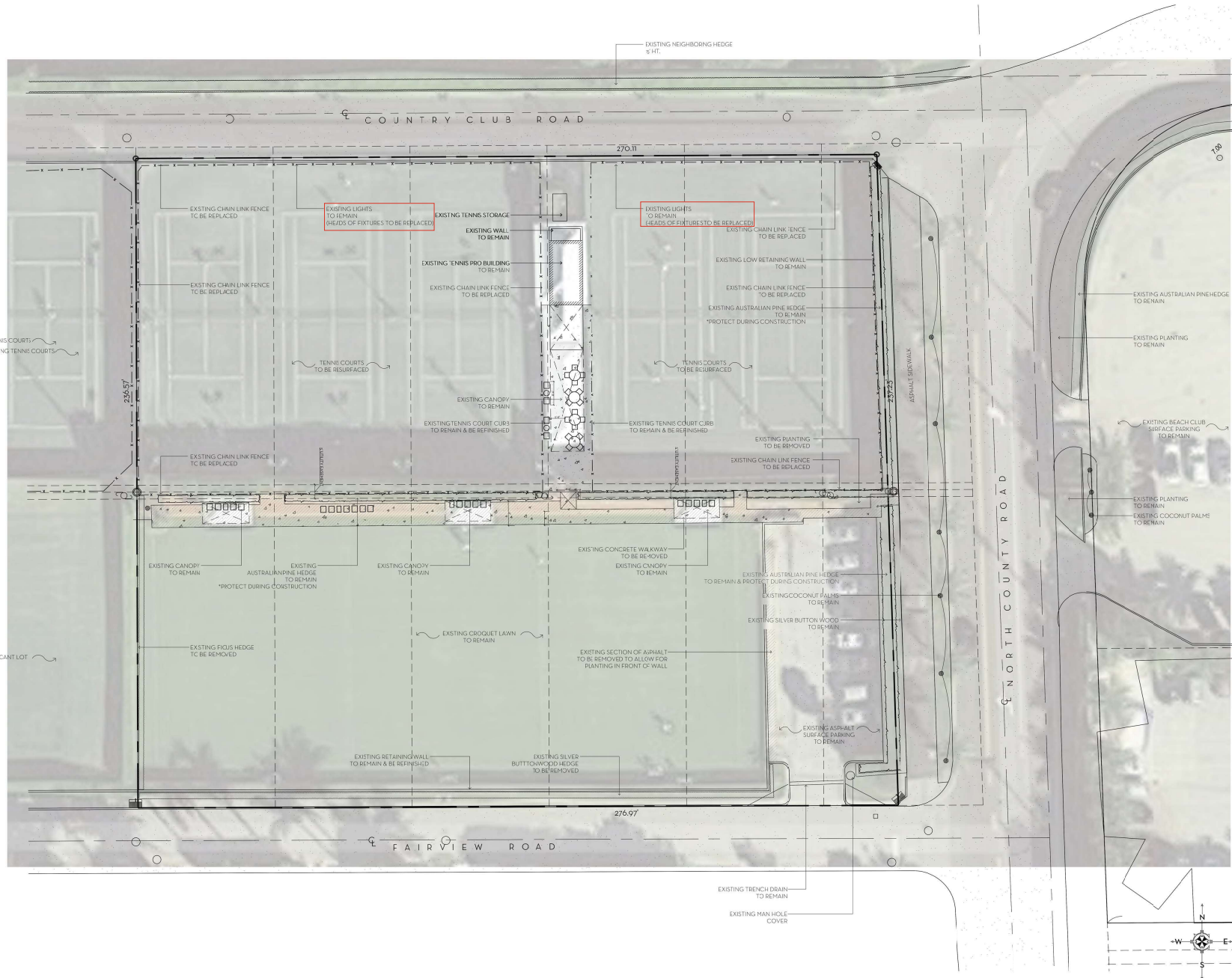
**DATE
9-25-2024**

Existing SITE Photos

AS NOTED

SHEET No.

E-1



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

TENNIS COURT SITE PLAN
BEACH CLUB
755 N. CO. PALM BEACH, FL

SCALE: 1/8" = 1'-0"

15 MAY 2015



NIEVERA WILLIAMS
DESIGN

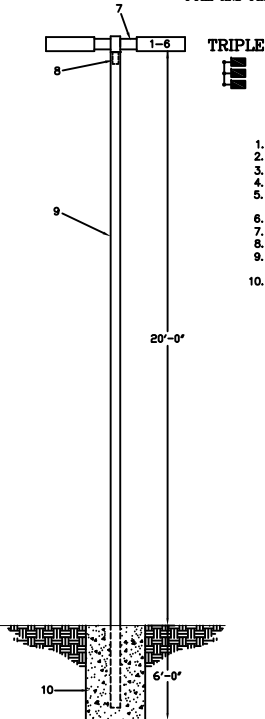
223 Sunset Avenue
Suite 150
Palm Beach, Florida 33460
P: 561-659-2820
F: 561-659-2113

NIEVERA.WILLIAMS.COM

R1

STRUCTURAL SUPPORT FOR TRIPLE LMI-TLL SERIES LED LUMINAIRE

DESIGN WIND LOAD = 170 M.P.H. Exp. CAT D
RISK CAT. II F.B.C. 2020
SINGLE HSG FIXTURE EPA (SQ. FT.) = 0.9
POLE WEIGHT = 120 LBS.
(6061 T6 ALUMINUM ALLOY)
FIXTURE WEIGHT = 43 LBS.
POLE AND FIXTURE WEIGHT = 249 LBS.



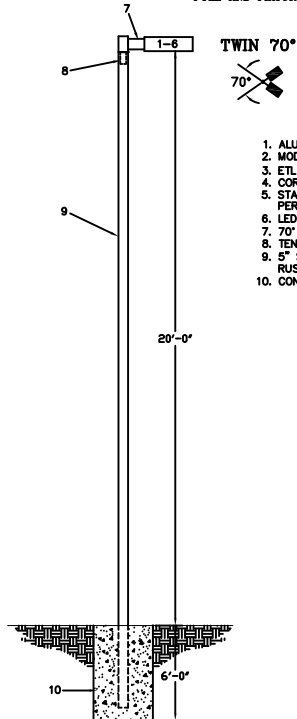
SPECIFICATIONS

- 1. ALUMINUM HOUSING
- 2. MODULAR LED SYSTEM
- 3. ETL LISTED FOR WET LOCATIONS(IP64).
- 4. CORROSION RESISTANT GREEN E-COAT LAYER
- 5. STATE OF THE ART UV STABILIZED ACRYLIC HIGH PERFORMANCE REFRACTIVE OPTICAL ASSEMBLIES.
- 6. LED POWER SUPPLY CONFORMS TO UL8750 STANDARDS.
- 7. 70° ALUMINUM BRACKET.
- 8. TENON, SLIP-FIT MOUNT (3-1/2" x 6").
- 9. 6" STRAIGHT ROUND ALUMINUM POLE .250" THK. D.O.T. RUSTPROOF POWDER COAT PAINTED.
- 10. CONCRETE FOUNDATION 18" x 18" x 6'

DIRECT BURIAL

STRUCTURAL SUPPORT FOR TWIN 70° LMI-TLL SERIES LED LUMINAIRE

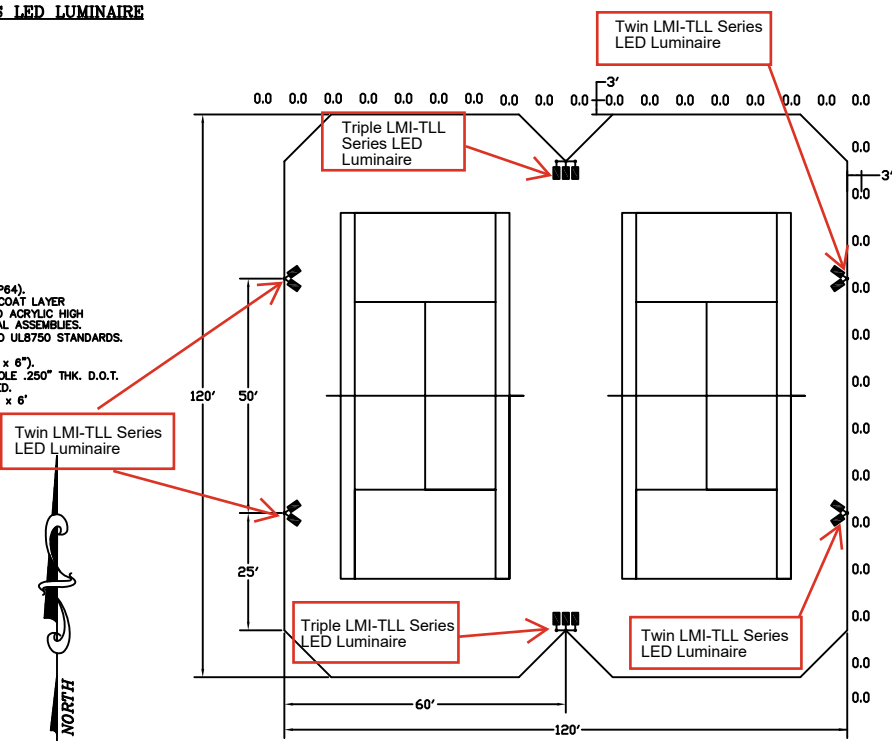
DESIGN WIND LOAD = 170 M.P.H. Exp. CAT D
RISK CAT. II F.B.C. 2020
SINGLE HSG FIXTURE EPA (SQ. FT.) = 0.9
POLE WEIGHT = 120 LBS.
(6061 T6 ALUMINUM ALLOY)
FIXTURE WEIGHT = 43 LBS.
POLE AND FIXTURE WEIGHT = 206 LBS.



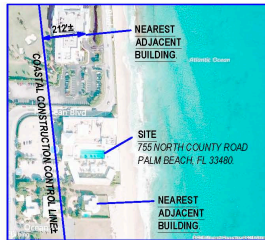
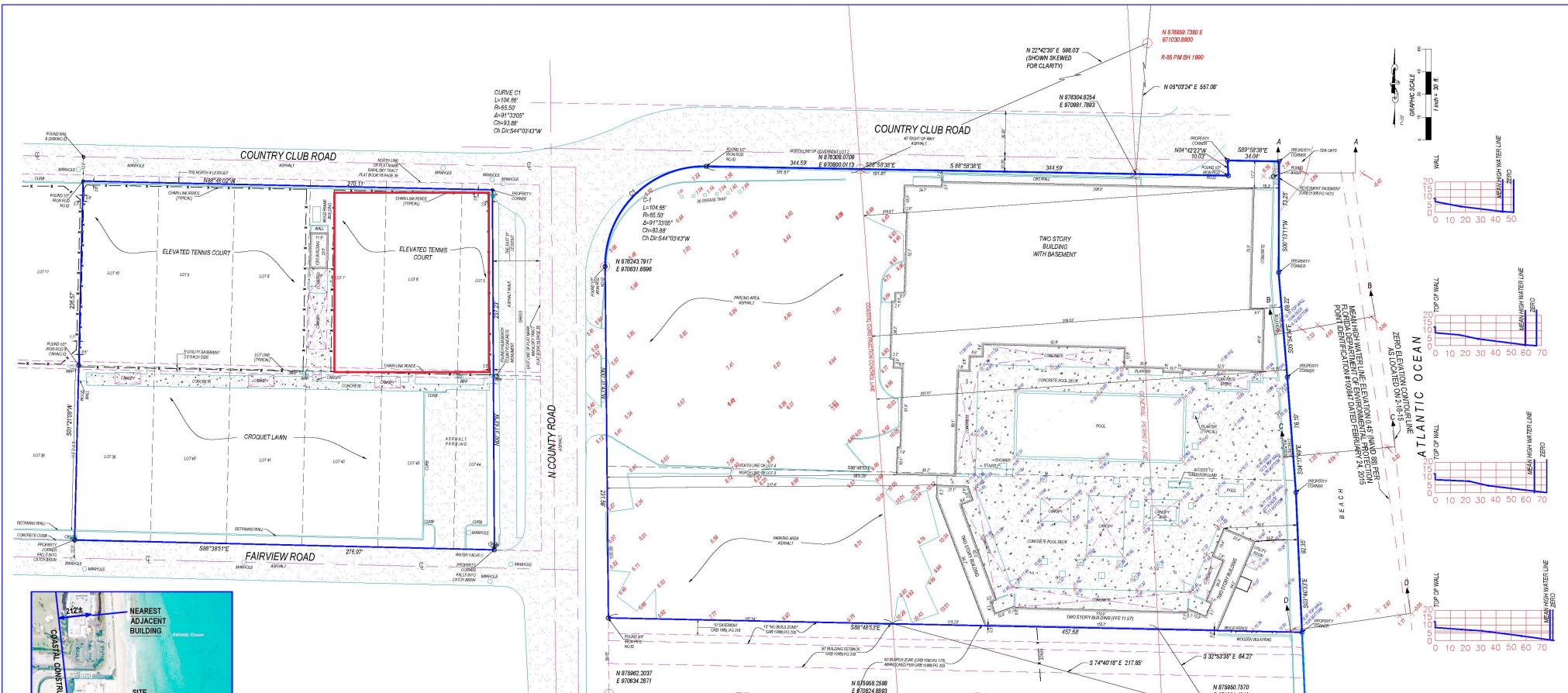
SPECIFICATIONS

- 1. ALUMINUM HOUSING
- 2. MODULAR LED SYSTEM
- 3. ETL LISTED FOR WET LOCATIONS(IP64).
- 4. CORROSION RESISTANT GREEN E-COAT LAYER
- 5. STATE OF THE ART UV STABILIZED ACRYLIC HIGH PERFORMANCE REFRACTIVE OPTICAL ASSEMBLIES.
- 6. LED POWER SUPPLY CONFORMS TO UL8750 STANDARDS.
- 7. 70° ALUMINUM BRACKET.
- 8. TENON, SLIP-FIT MOUNT (3-1/2" x 6").
- 9. 5" STRAIGHT ROUND ALUMINUM POLE .250" THK. D.O.T. RUSTPROOF POWDER COAT PAINTED.
- 10. CONCRETE FOUNDATION 18" x 18" x 6'

DIRECT BURIAL



Lite Maintenance Inc. 2071 N.W. 29th Street Oakland Park, FL. 33311 Tel. 954-486-0111 Fax 954-486-0440 Email: litemaintenance@yahoo.com		DRAWN DWG		The Beach Club 755 North County Road Palm Beach, Florida 33480	
		DATE: 02-10-24			
		SCALE: N.T.S.			
		DATE: DRAWN:			
		REV. #		REVISION DESCRIPTION*	
		09-14-2024		REVISED DESIGN WIND LOAD BOTH POLES	



ADDRESS
755 NORTH COUNTY ROAD
PALM BEACH, FL 33480

FLOOD ZONE: "C"
Panel No: 120220 0001C
Date: SEPTEMBER 30, 1982

CERTIFIED TO:

1. THE BEACH CLUB INC., A FLORIDA CORPORATION
2. WELLS FARGO BANK, N.A., ITS SUCCESSORS AND/OR ASSIGNS AS THEIR INTERESTS MAY APPEAR
3. LESLIE ROBERT EVANS AND ASSOCIATES, PA
4. OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

LEGAL DESCRIPTION:

LOTS 3 LESS THE SOUTH 50 FEET THEREOF, AND ALL OF LOT 4, REPLAT OF OCEAN FRONT, MARK RAFALSKY TRACT, ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIVIL COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 16, PAGE 35, AND LOT 5, LESS THE EAST 31' AND THE NORTH 4' THEREOF, LOTS 6, 7, 8, 9, AND 10, LESS THE NORTH 4' THEREOF, LOTS 38, 40, 41, 42, 43 AND 44, LESS THE EAST 31' OF LOT 44, MARK RAFALSKY TRACT, ACCORDING TO THE PLAT THEREOF, ON FILE IN THE OFFICE OF THE CLERK OF THE CIVIL COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 11, PAGE 51.

TITLE COMMITMENT REVIEW

THIS OFFICE HAS REVIEWED THE OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY'S ALTA 2006 OWNERS POLICY, FILE NO. 14101205 KD2 REVISION B, AGENT FILE NO. 3801.101, EFFECTIVE DATE: NOVEMBER 14, 2014, AND ALL PLOTTABLE SURVEY MATTERS ARE DEPICTED.

SCHEDULE B EXCEPTIONS:

- 1 THROUGH 7: STANDARD EXCEPTIONS, NOT SURVEY RELATED, NOT DEPICTED.
- 8 MATTERS OF THE PLAT OF MARK RAFALSKY TRACT, ALL MATTERS OF PLAT ARE DEPICTED WITHOUT COMMENT.
- 9 MATTERS OF THE REPLAT OF OCEAN FRONT MARK RAFALSKY TRACT, ALL MATTERS OF PLAT ARE DEPICTED WITHOUT COMMENT.
- 10 AGREEMENT WITH TOWN OF PALM BEACH IN ORB 1880 PAGE 178 AND ORB 10869 PAGE 209, DEPICTED "NO BUILD ZONE" AND BUILDING SETBACKS ON SOUTH OF PROPERTY.
- 11 RESTRICTIONS IN DEED BOOK 7068 PAGE 1632, PROHIBITS RESIDENTIAL USE, NOT A SURVEY MATTER, NOT DEPICTED.
- 12 MATTERS IN THE DECLARATION IN ORB 12201 PAGE 185, PROHIBITS RESIDENTIAL USE, NOT A SURVEY MATTER, NOT DEPICTED.
- 13 EASEMENT IN ORB 21356 PG 1421, DEPICTED IN NORTHEAST OF PROPERTY.
- 14 UNITY OF TITLE IN ORB 22976 PG 677, NOT A SURVEY MATTER, NOT DEPICTED.
- 15 COASTAL CONSTRUCTION CONTROL LINE, DEPICTED.
- 16 ALL RIGHTS OF THE UNITED STATES GOVERNMENT, NOT A SURVEY MATTER, NOT DEPICTED.
- 17 INTENTIONALLY DELETED.
- 18 PUBLIC BEACH RIGHTS, NOT A SURVEY MATTER, NOT DEPICTED.
- 19 RIGHTS TO SUBMERGED LANDS, NOT A SURVEY MATTER, NOT DEPICTED.
- 20 RIPARIAN AND LITTORAL RIGHTS, NOT A SURVEY MATTER, NOT DEPICTED.

OWNERSHIP AND ENCUMBRANCE REVIEW

THIS OFFICE HAS FURTHER REVIEWED THE LESLIE R. EVANS & ASSOCIATES OWNERSHIP AND ENCUMBRANCE REPORT DATED NOVEMBER 14TH, 2014, AND THERE ARE NO PLOTTABLE SURVEY MATTERS CONTAINED THEREIN.



ABBREVIATIONS

CL	CENTERLINE
CB	CATCH BASIN
CH	MANHOLE
WPP	WOOD POWER POLE
ES	ELECTRIC SERVICE
WSP	WOOD SERVICE POLE
CLF	CHANUKIM FENCE
WTF	WOOD FENCE
CONC	CONCRETE
FO	FLOOR
COV	COVERED
WM	WATER METER
CS	CONCRETE BLOCK STRUCTURE
PB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT

SIGNED: *Mark D. Lano*
MARK D. LANO, STATE OF FLORIDA
PROFESSIONAL LAND SURVEYOR AND MAPPER
FLORIDA CERTIFICATE No. 5119

DATE: 02-18-15

S14100865	ADD ELEVATIONS	JPM	CD	02-18-15
	NEW TITLE	--	MDL	12-04-14
	COMMENTS	--	MDL	12-04-14
	ADD WORK	JH	CD	12-02-14
	BOUNDARY SURVEY	JH	CD	11-07-14
	PURPOSE	FIELD	DMH	

BOUNDARY SURVEY
PM SURVEYING
LICENSED BUSINESS No. 6788



4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
OFFICE 561-478-7764
FAX 561-478-1094

Please visit us on the web @ www.pmsurveying.net

SURVEYORS' NOTES:

1. I HEREBY CERTIFY this survey meets Minimum Technical Standards pursuant to Section 472.027, Florida Statutes.
2. The survey map and report and the copies thereof are not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
3. Underground or obscured improvements were not located.
4. Dimensions are record and field unless otherwise noted.
5. Stated dimensions take precedence over scaled dimensions.
6. This firm's Certificate of Authorization Number is LB 6788.
7. Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
8. Survey subject to reservations, restrictions, easements and rights-of-way of record. (Unless a Title Review, Commitment Review, or Ownership and Encumbrance Review is present on the face of this document, this survey has been completed in the absence of a title insurance policy).
9. Location map is gleaned from online mapping sites and is only approximate.
10. Bearings shown hereon are based on state plane coordinates and reference record monumentation for coastal control.