

PROPOSED POOL HOUSE & GAZEBO

854 S. COUNTY ROAD

FINAL PLAN SET

AUGUST 21, 2024 LPC

TOWN OF PALM BEACH, FLORIDA



PROJECT DATA

OCCUPANCY : R3 CONSTRUCTION : TYPE VB

CODES AND REFERENCES :

* THE FLORIDA BUILDING CODE, 2023 EDITION*

* NATIONAL ELECTRIC CODE 2020 EDITION*

INDEX OF DRAWINGS

A-0.00 COVER SHEET

SURVEY

A-0.01 STREETSCAPE DRAWING

NEIGHBOR HOOD PHOTOGRAPHS

SP-1.00 SITE PLAN & SITE DATA

A-1.01 POOL HOUSE PLAN & ROOF PLAN

A-2.01 POOL HOUSE ELEVATIONS

A-2.02 POOL HOUSE SECTIONS

A-2.03 GAZEBO PLAN & ELEVATIONS

A-2.04 BUILDING HEIGHT DIAGRAM

A-3.01 EXTERIOR DETAILS

A-3.02 MATERIALS

PROJECT NUMBER

HEARING DATES

HSB-24-005 (ZON-24-0035)

08-21-2024 LPC
09-11-2024 TC

SCOPE OF WORK

1. CONSTRUCT NEW 1 STORY POOL HOUSE, TO MATCH STYLE, COLOR, MATERIALS & DETAILS OF THE MAIN RESIDENCE.

2. CONSTRUCT NEW GAZEBO, MATCHING THE COLOR & ROOF TILES OF EXISTING RESIDENCE.

LOCATION MAP

CONSULTANTS AND ENGINEERS

CIVIL ENGINEER

LANDSCAPE ARCHITECT

SURVEYOR

ARCHITECT

ENVIRONMENT DESIGN GROUP

DUSTIN M. MIZELL, M.L.A. #A6666784

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DEERFIELD BEACH, FLORIDA 33442

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VARIANCE REQUESTS:

- Additional enclosed accessory building containing bedrooms with bath facilities is proposed.
- Vehicle gate setback of 10'-0" in lieu of the 18'-0" required.

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ARCHITECTURE • PLANNING

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PROPOSED POOL HOUSE & GAZEBO

854 S. COUNTY ROAD

PALM BEACH, FLORIDA

ARCHITECT'S SEAL

BRIAN BULLOCK, ARCHITECT

AR 95754

DIGITAL SIGNATURE

DATE 06-27-2024

DRAWN BY RST

PROJECT NO. BR2350

SITE PLAN

A-0.00

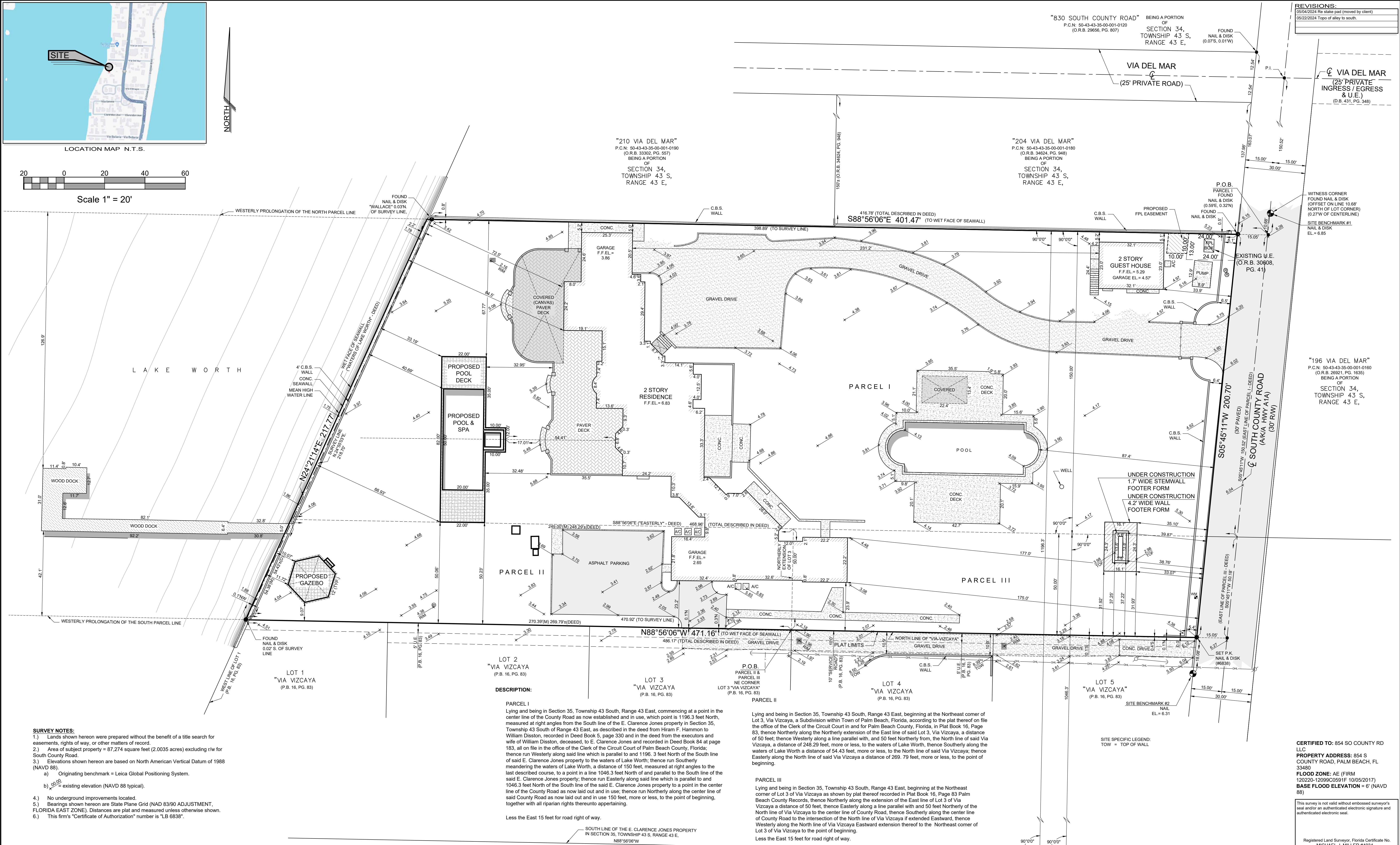
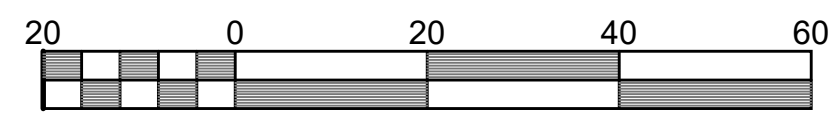
REVISIONS

PROJECT NO. HEARING DATES & SCOPE OF WORK

REV BY DATE

1 RST 07-12-2024

ALL IDEAS, DESIGNS, ARRANGEMENTS, & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY & THE PROPERTY OF THE ARCHITECT & WERE CREATED, EVOLVED, & DEVELOPED FOR USE ON, & IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF BRIAN BULLOCK, ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY & BE RESPONSIBLE FOR ALL DIMENSIONS & CONDITIONS ON THE JOB. THE ARCHITECT MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF ADEQUATE SCALE MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION. UNITS AS NOTED.



- SURVEY NOTES:**
- Lands shown hereon were prepared without the benefit of a title search for easements, rights of way, or other matters of record.
 - Area of subject property = 87,274 square feet (2.0035 acres) excluding r/w for South County Road.
 - Elevations shown hereon are based on North American Vertical Datum of 1988 (NAVD 88).
 - Originating benchmark = Leica Global Positioning System.
 - Existing elevation (NAVD 88 typical).
 - No underground improvements located.
 - Bearings shown hereon are State Plane Grid (NAD 83) ADJUSTMENT, FLORIDA EAST ZONE. Distances are plat and measured unless otherwise shown.
 - This firm's "Certificate of Authorization" number is "LB 6838".

SPECIFIC PURPOSE SUREY ALLEY TO SOUTH TOPOGRAPHIC

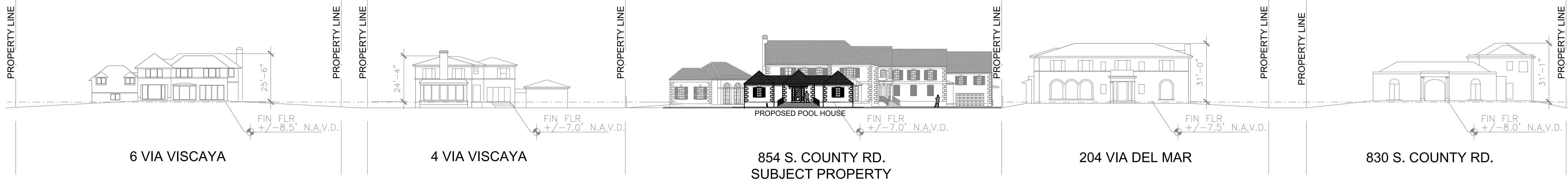
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
ALC.	ALCUT	P.I.	POINT OF INTERSECTION
C.B.S.	CONCRETE BLOCK STRUCTURE	P.O.C.	POINT OF COMMENCEMENT
CONC. MON.	CONCRETE MONUMENT	P.O.B.	POINT OF BEGINNING
CONC.	CONCRETE	R.W.	RIGHT OF WAY
D.E.	DRAINAGE EASEMENT	CH.B.	CHAIN BEARING
U.E.	UTILITY EASEMENT	N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
P.F.E.	PROPOSED FLOOR ELEVATION	O.B.B.	OFFICIAL RECORD BOOK
EL.	ELEVATION	P.B.	PLAT BOOK
(B.I.)	BEARING REFERENCE	P.C.	POINT OF CURVATURE
(D)	DEED	P.O.T.	POINT OF TANGENCY
M.	MEASURED	P.R.C.	POINT OF REVERSE CURVATURE
		P.C.C.	POINT OF COMPOUND CURVATURE
			ASPHALT PAVEMENT
			CONCRETE PLATWORK
			PAVER BRICK PLATWORK
			WOOD POWER POLE
			WATER METER
			FIRE HYDRANT
			CATCH BASIN
			SANITARY MANHOLE

SCALE: 1" = 20'
DRAWN BY: PICARD
FIELD WK: F.U.
DATE: 05/15/2024

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e-mail: orders@millersurveying.com

CERTIFIED TO: 854 SOUTH RD
LLC
PROPERTY ADDRESS: 854 S
COUNTY ROAD, PALM BEACH, FL
33480
FLOOD ZONE: AE (FIRM
120220-1206903591 10/05/2017)
BASE FLOOD ELEVATION = 6' (NAVD
88)
This survey is not valid without embossed surveyor's
seal and/or an authorized electronic signature and
authorized electronic seal.
Registered Land Surveyor, Florida Certificate No.
MICHAEL J. MILLER #4034
CRD. FILE Y240519

REF: B-50746 B-50771
B-50769 B-50771
PREV. Y240519 Y240520
JOB NO. Y240519
L - 2409 - E



2 **STREETSCAPE CONTEXTUAL ELEVATIONS**
NTS



1 **300' RADIUS AREA MAP**
NTS

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REV	BY	DATE	REVISIONS
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PROPOSED POOL HOUSE & GAZEBO 854 S. COUNTY ROAD PALM BEACH, FLORIDA			
ARCHITECT'S SEAL			
BRIAN BULLOCK, ARCHITECT AR 95754			
DIGITAL SIGNATURE			
DATE	06-27-2024		
DRAWN BY	RST		
PROJECT NO.	BR2350		
STREETSCAPE DRAWING			
A-0.01			



850 S Ocean A



854 S. County



860 S Ocean



874 S. County Guesthouse



204 Via Del Mar A



210 Via Del Mar



235 Via Vizcaya



822 S. County



125 Via Vizcaya A



195 Via Del Mar



196 Via Del Mar



203 Via Vizcaya



11 Via Vizcaya



12 Via Vizcaya



13 Via Vizcaya A



14 Via Vizcaya A



4 Via Vizcaya



6 Via Vizcaya



7 Via Vizcaya



10 Via Vizcaya



830 S. County A



830 S. County B



840 S Ocean A



840 S Ocean B

THE BENEDICT BULLOCK GROUP

1525 NW 3RD STREET, SUITE #1 DEERFIELD BEACH 33442

854 S. COUNTY ROAD

TOWN OF PALM BEACH, FLORIDA

NEIGHBORHOOD PHOTOGRAPHS

300',RADIUS



109 Via Vizcaya



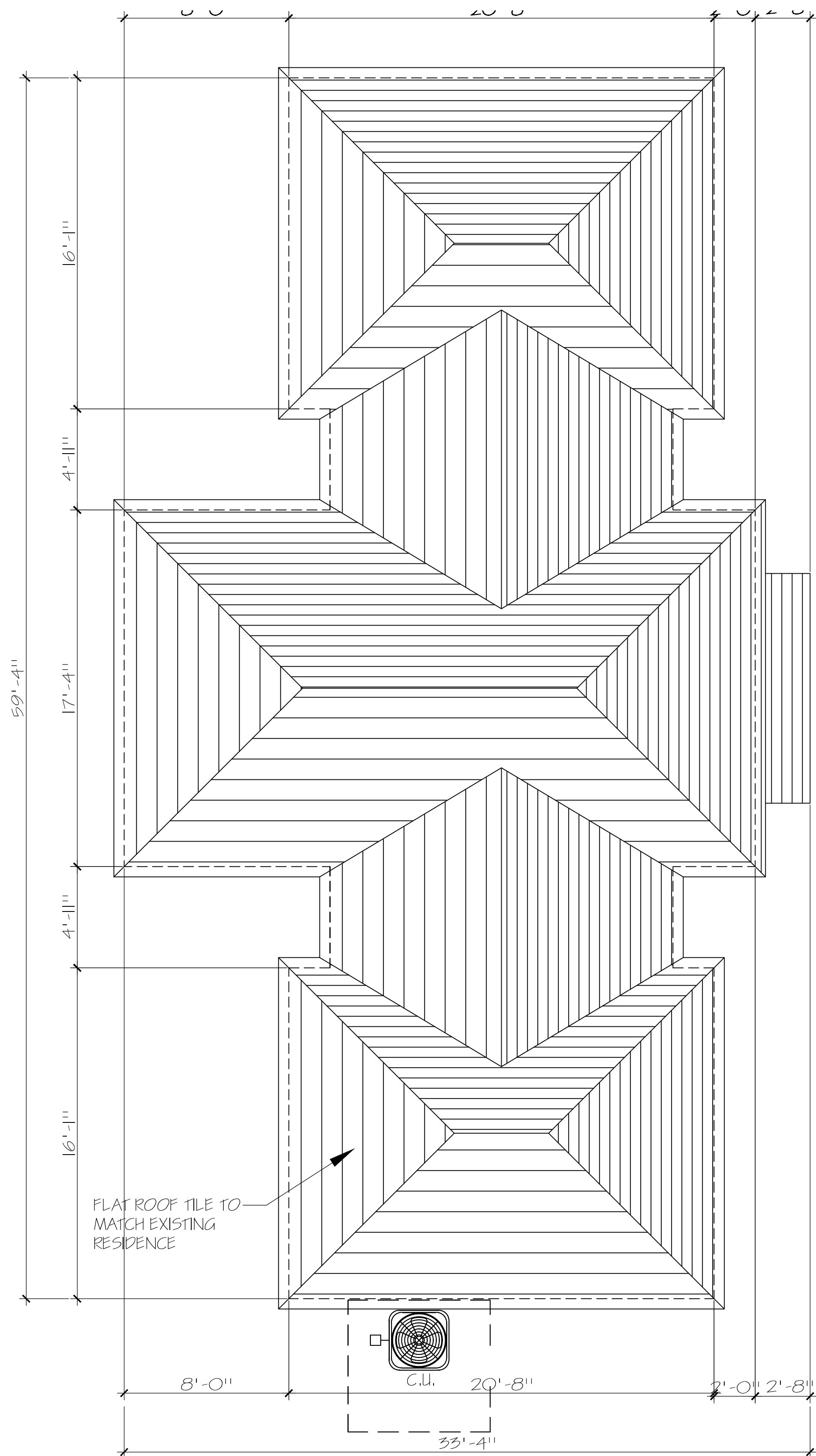
117 Via Vizcaya



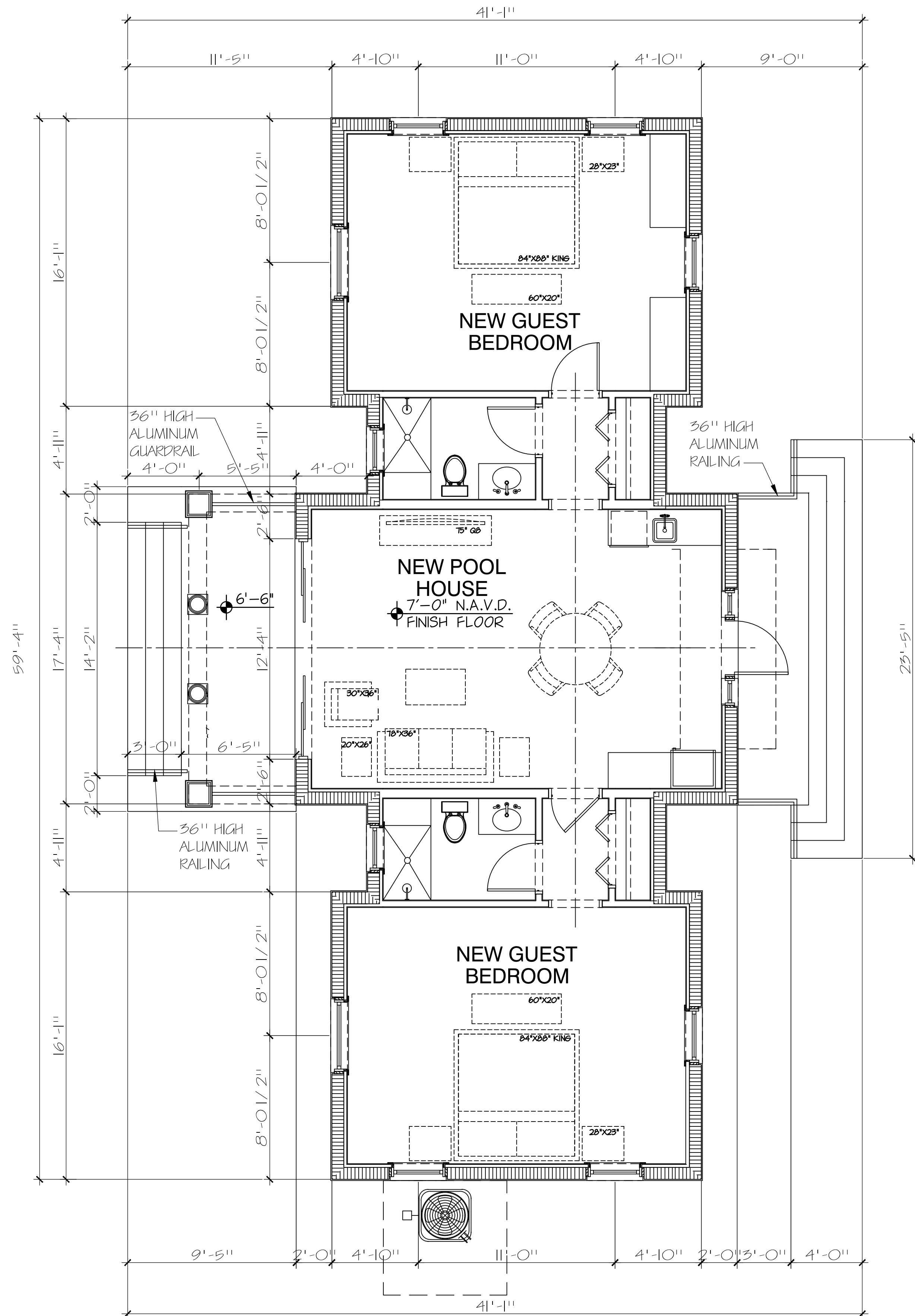
118 Via Vizcaya



120 Via Vizcaya



2 ROOF PLAN
SCALE 1/4"=1'-0"



1 FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

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ARCHITECT'S SEAL BRIAN BULLOCK, ARCHITECT AR 95754	
DIGITAL SIGNATURE DATE 06-27-2024 DRAWN BY RST PROJECT NO. BR2350	
FLOOR PLANS	
A-0.01	



4 WEST ELEVATION
SCALE 1/4"=1'-0"



3 SOUTH ELEVATION
SCALE 1/4"=1'-0"



2 NORTH ELEVATION
SCALE 1/4"=1'-0"



1 EAST ELEVATION
SCALE 1/4"=1'-0"

- WHITE ALUMINUM RAILING TYPICAL
- CYPRESS FRONT DOOR
- WHITE STUCCO COLUMNS
- WHITE STUCCO QUOINS
- IMPACT RATED DOUBLE HUNG WIN. OWS. MAHOGA Y PAINT D WHITE.
- MUNTINS TO MATCH EXISTING RESIDENCE
- RECESSED STUCCO SURROUND
- COLONIAL SHUTTERS, MANCHESTER TAN
- WHITE FLAT CLAY TILE ROOF TO MATCH EXISTING RESIDENCE
- CYPRESS CLAD IMPACT RATED GARAGE DOORS

NOTE:

ALL THE ABOVE ARCHITECTURAL FEATURES ARE TO MATCH EXISTING MAIN RESIDENCE.

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		IN	FEET/INCHES	IN	DATE

**The
Benedict
Bullock
Group, PA**

ARCHITECTURE ■ PLANNING

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ELEVATIONS & SECTION

A-2.01