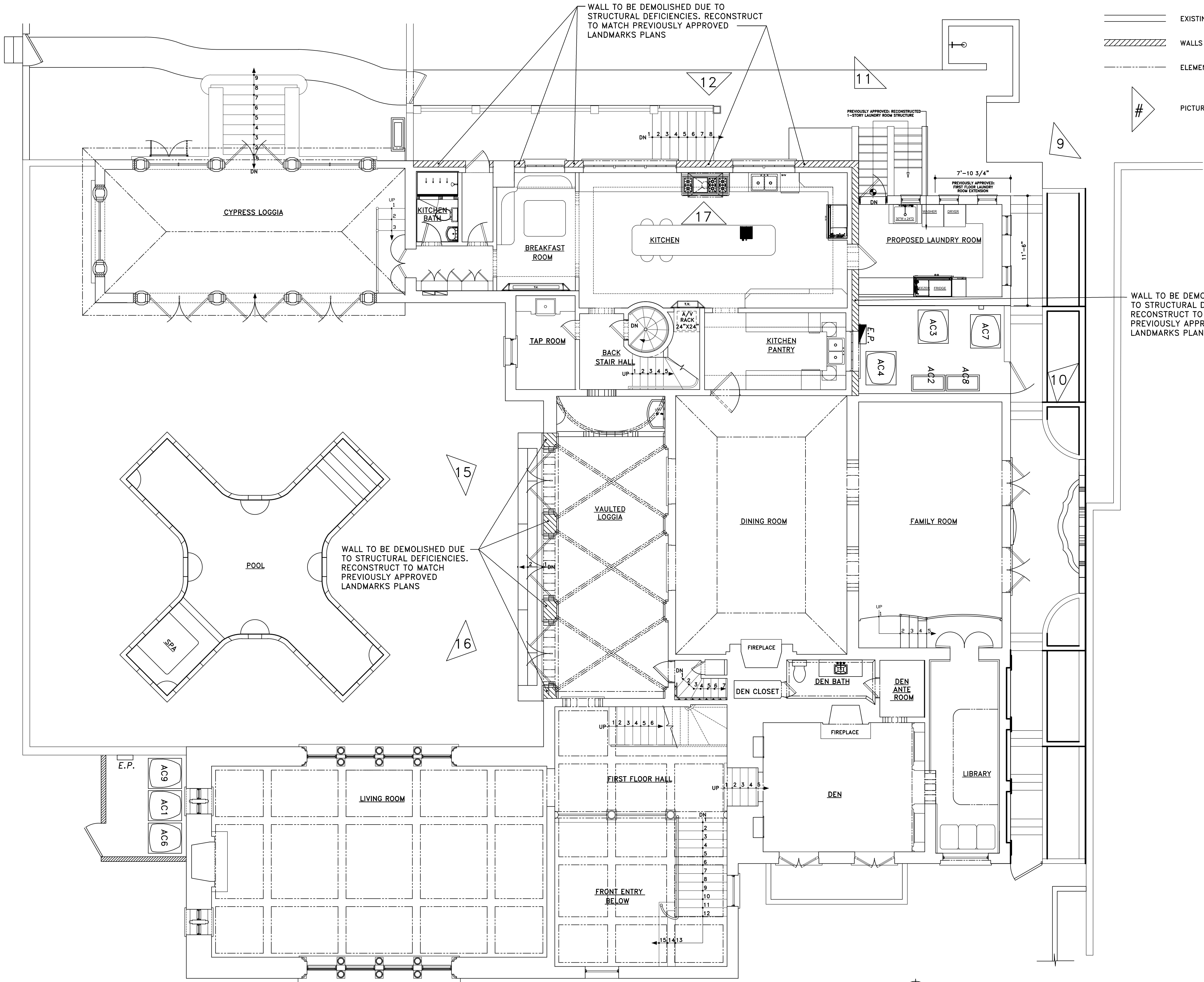
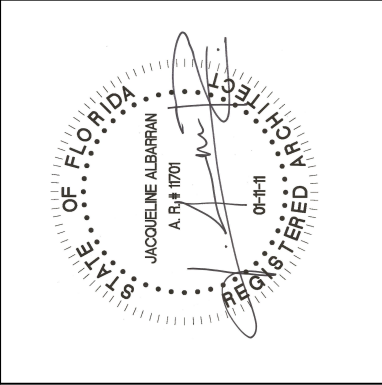


GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.

- LEGEND:
- EXISTING WALLS TO REMAIN
 - WALLS TO BE REPAIRED
 - ELEMENTS ABOVE
 - PICTURES POINT OF VIEW

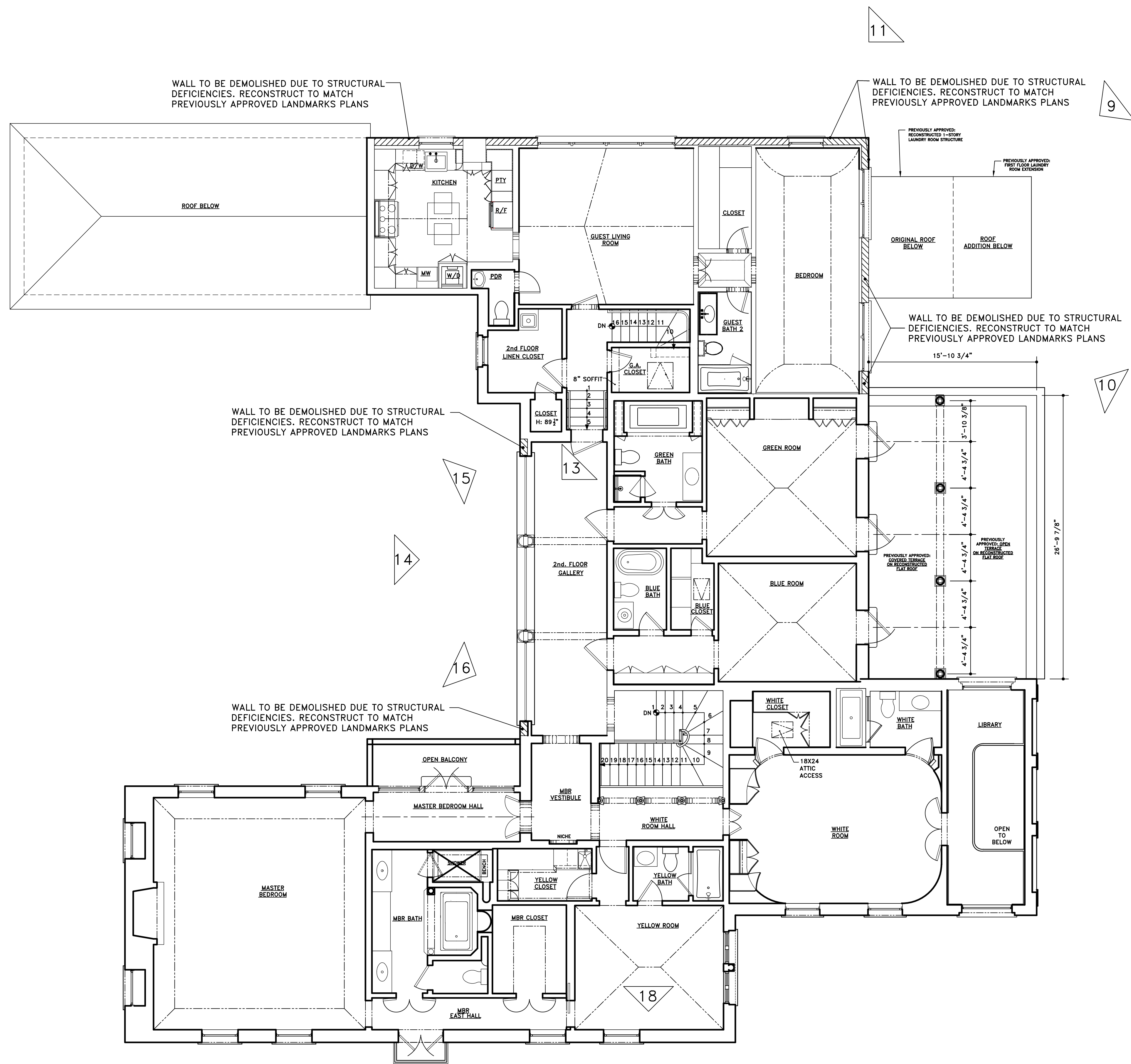


PROPOSED FIRST FLOOR PLAN
SCALE: 3/16" = 1'-0"



REVISIONS:
1

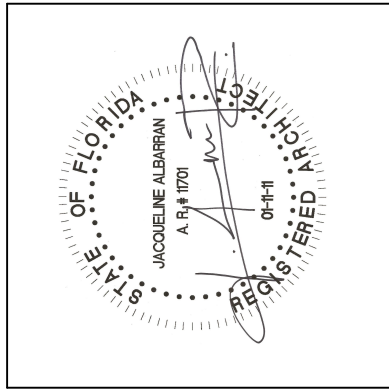
SHEET NUMBER:
A5
DATE:
07-09-24
JOB #
0445



GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.

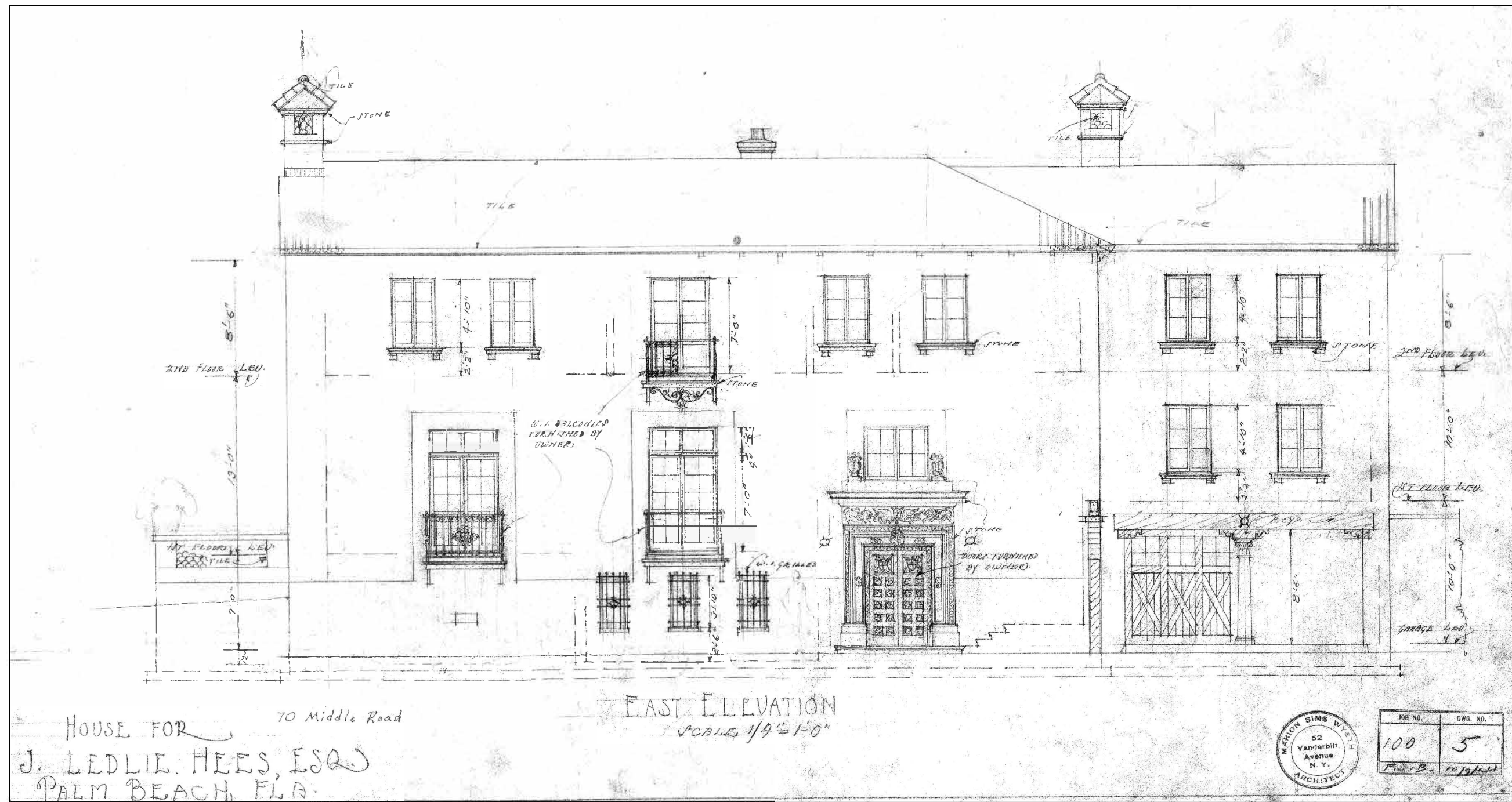
- LEGEND:
- EXISTING WALLS TO REMAIN
 - WALLS TO BE REPAIRED
 - ELEMENTS ABOVE
 - PICTURES POINT OF VIEW

PROPOSED SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

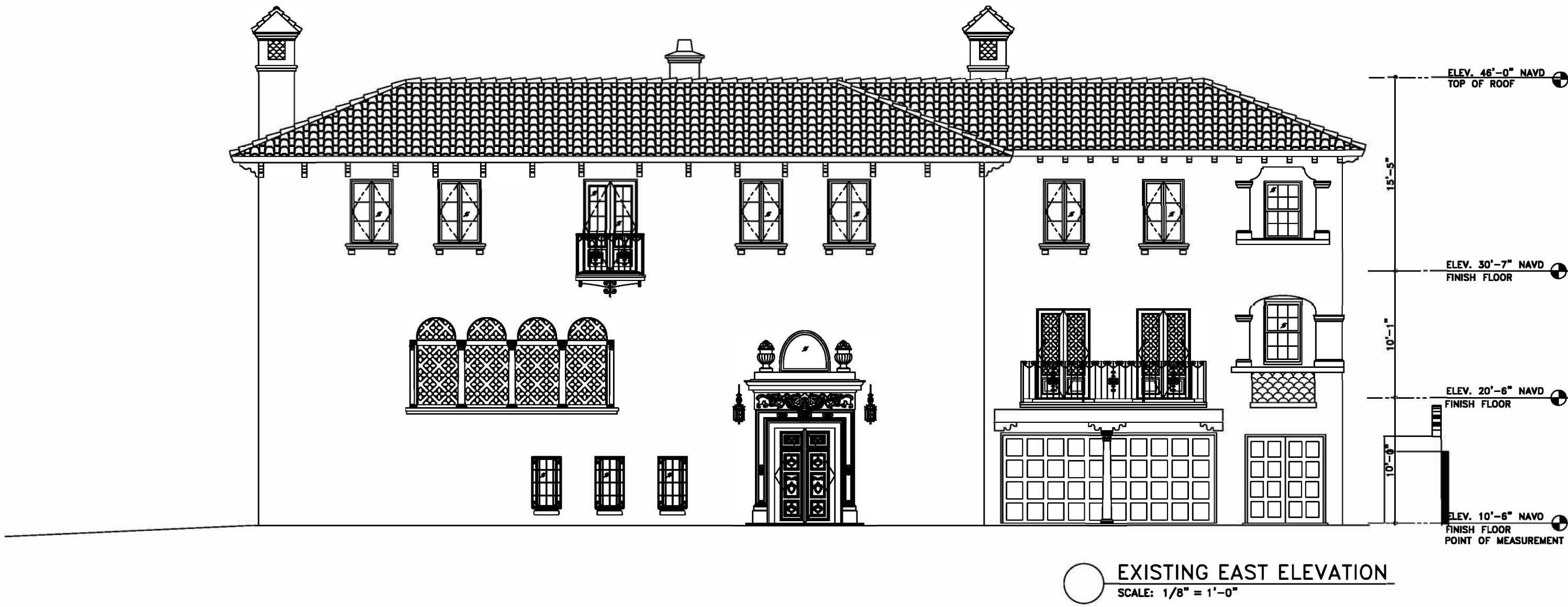


REVISIONS:
1

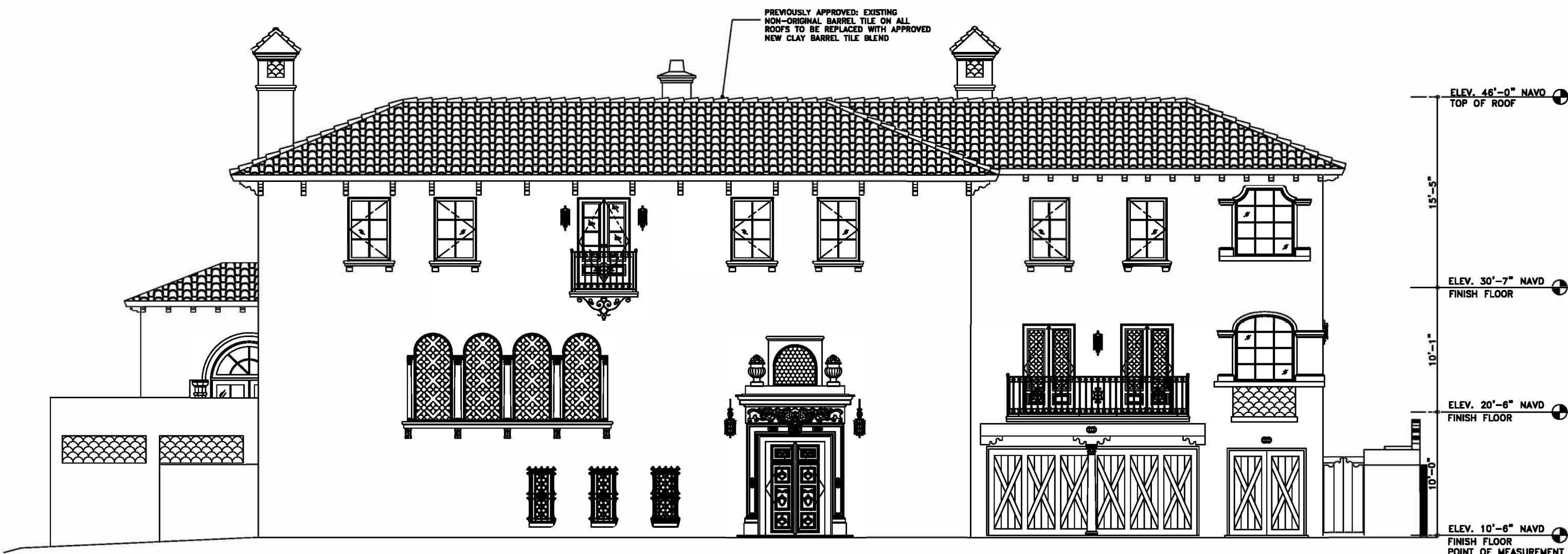
SHEET NUMBER:
A6
DATE: 07-09-24
JOB # 0445



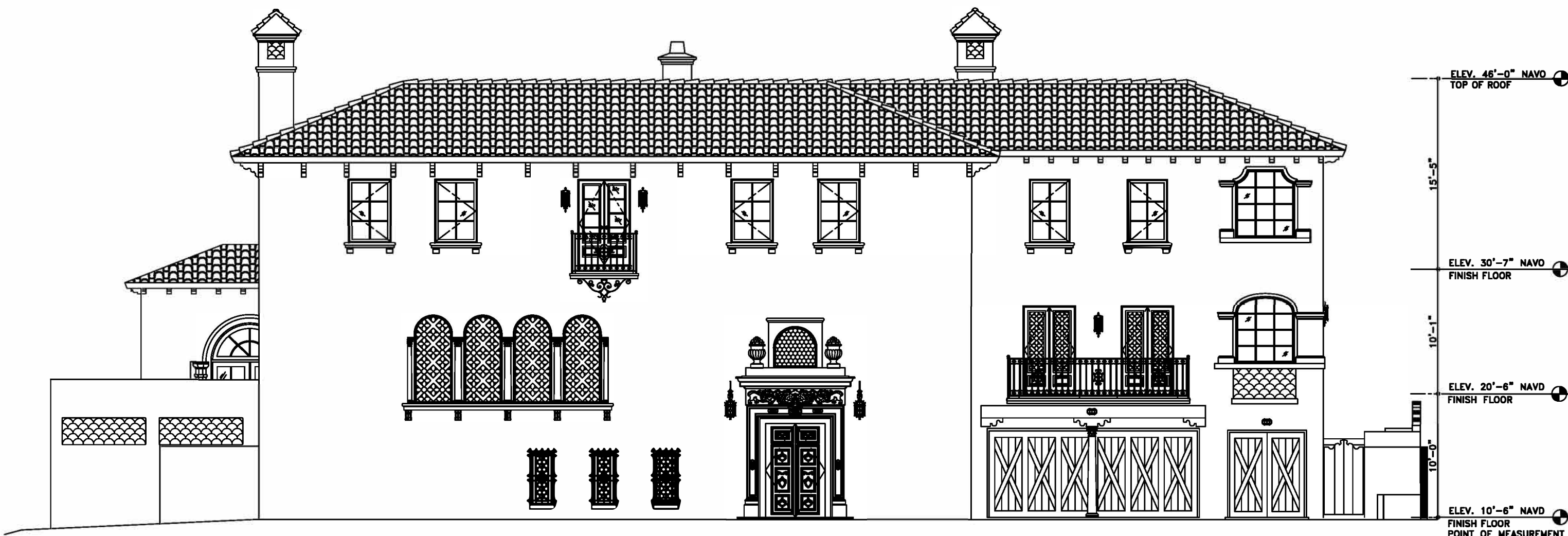
ORIGINAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



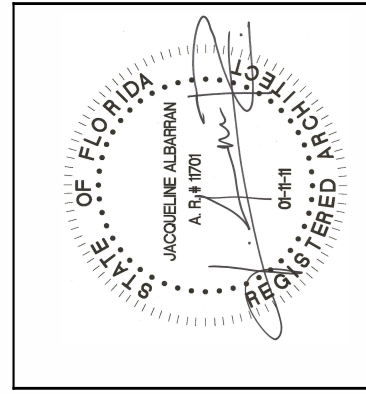
PREVIOUSLY APPROVED EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020.

NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA



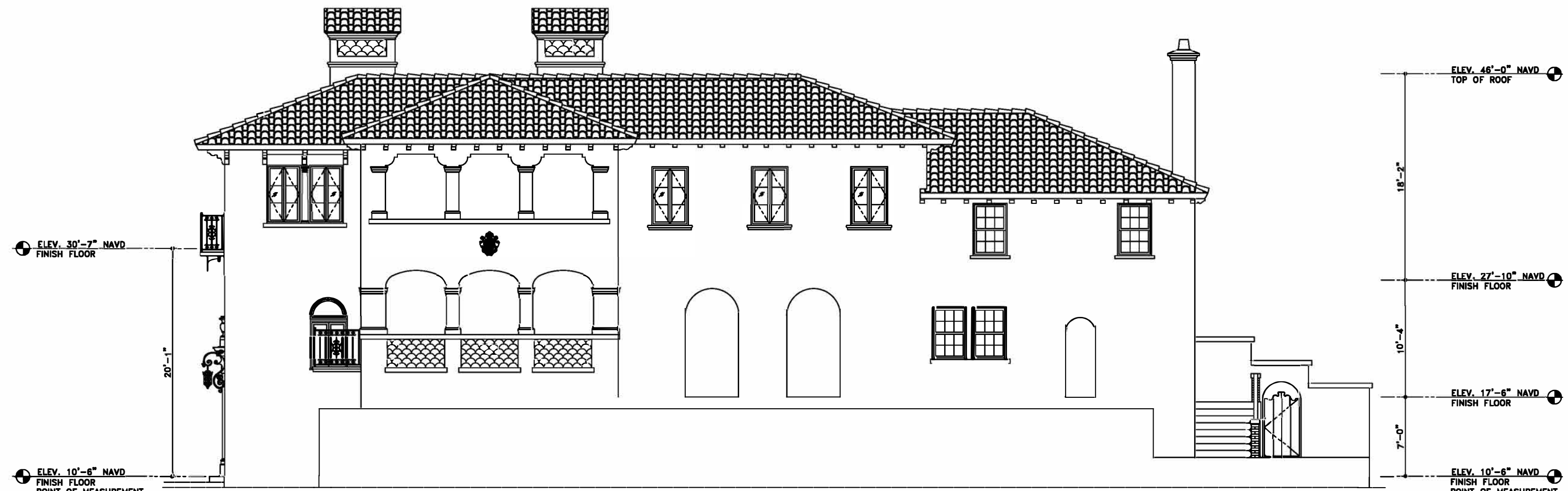
REVISIONS:
1

SHEET NUMBER:
A7
DATE:
07-09-24
JOB #
0445

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533



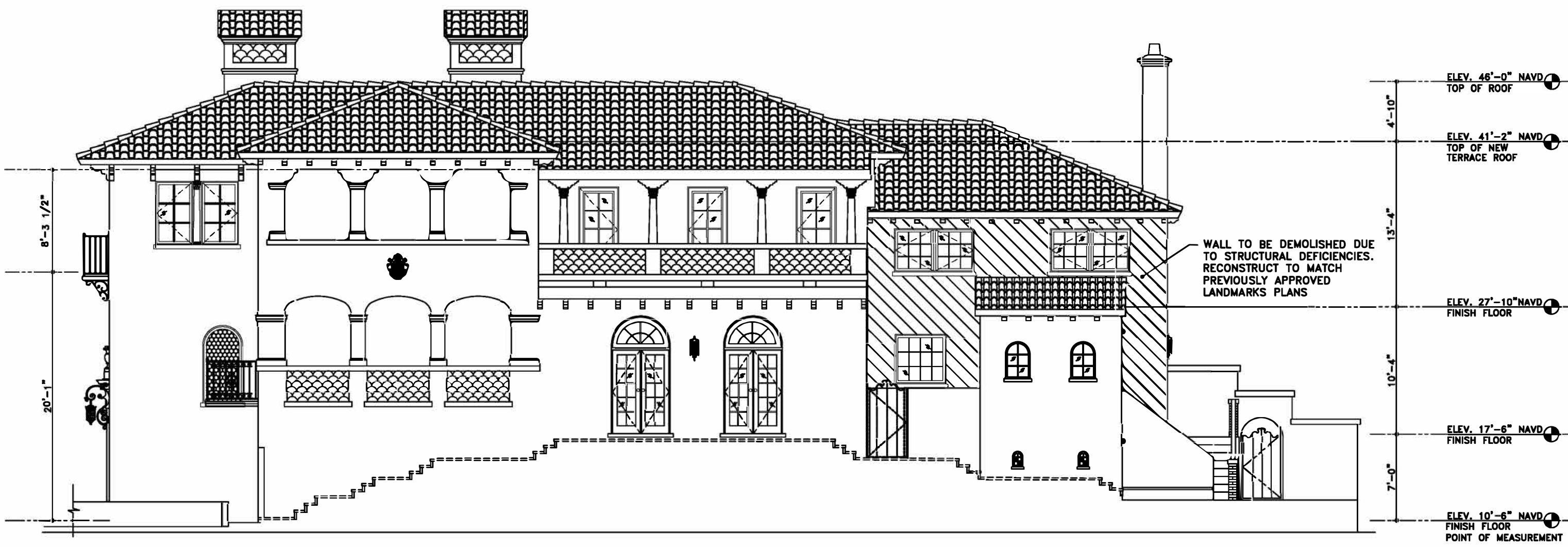
ORIGINAL NORTH ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED NORTH ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020.

NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533



REVISIONS:	
1	

SHEET NUMBER:	
A8	
DATE:	07-09-24
JOB #	0445

NORTH WALL

9



10



10

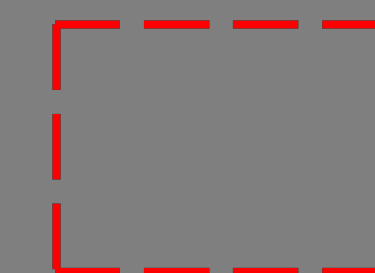


MANY HOLES AND CRACKS IN THE WALL WITH BRICK INFILL

9

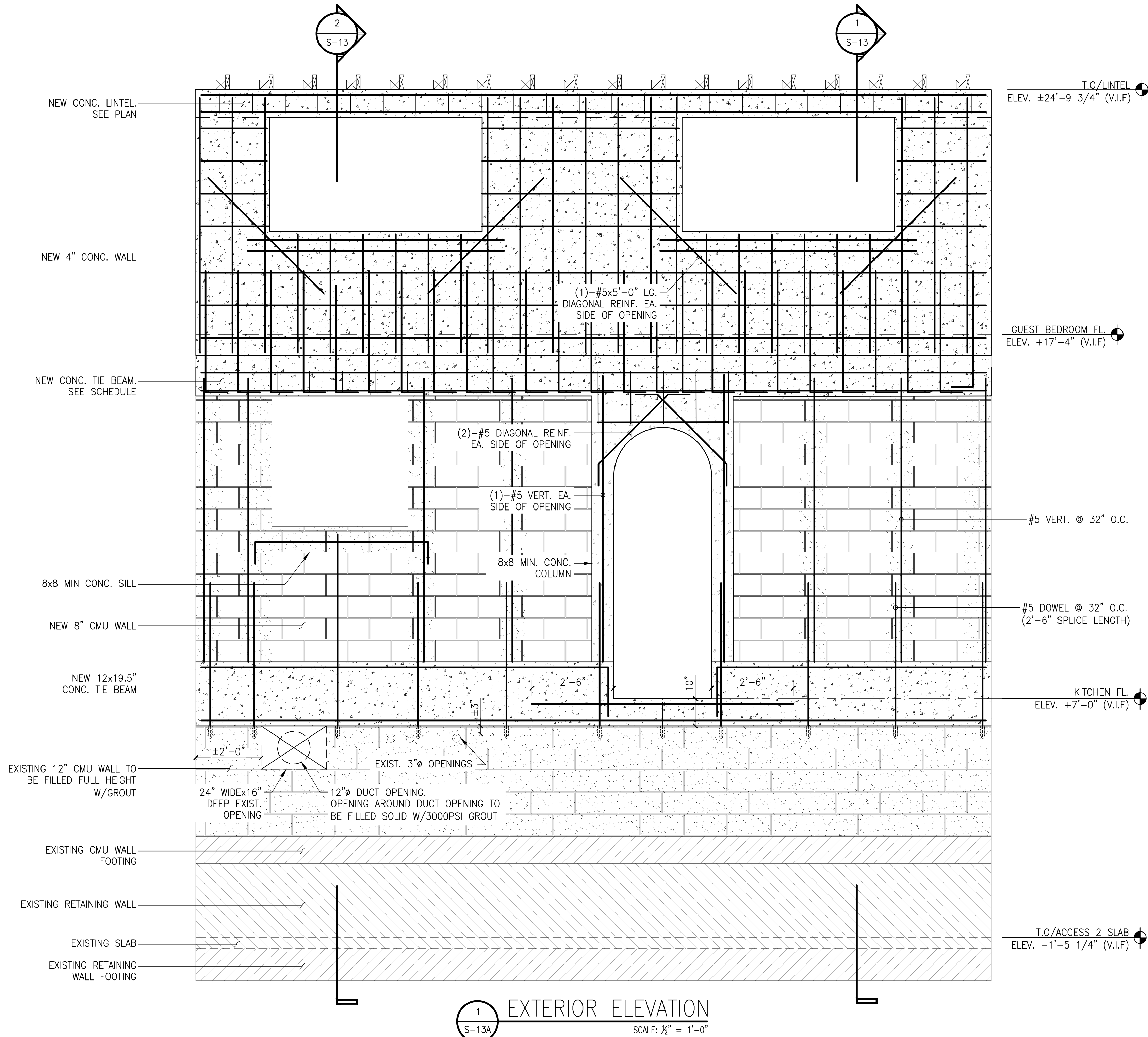


10



APPROVED NEW
WINDOW SIZES

ALL WINDOW AND DOOR OPENINGS TO BE MODIFIED
LEAVING THE WALL WITH TOO MANY PENETRATIONS



STRUCTURAL GENERAL NOTES

CONCRETE NOTES:

Shall conform to the building code required for structural concrete 318-19

- Concrete slump shall be as follows: Slump in Inches

	Minimum	Maximum
Massive sections, pavements, and slabs	1-1/2"	4
Heavy slabs, beams, walls	3-1/2"	5
Thin walls, columns	3-1/2"	6
- Minimum concrete cover shall be:
Slab - 3/4"
Beams and columns - 1-1/2"
Tie columns - 1-1/2"
Exposed unprotected concrete - 1-1/2"
Formed concrete below grade - 2"
Unformed concrete below grade - 3"

REBAR SPICING:

The following requirements apply to uncoated number 6 bars or smaller, having a minimum of 1.0db concrete cover and 2.0db C/C spacing (Case I). Minimum concrete strength, 4000 PSI. All rebars shall have a minimum of 50db splice length.

EXCEPTION: Top Bars in continuous beams and slabs shall have a minimum 64db splice length. Such members shall be marked as "CON" in the structural plans.

Reinforcing in concrete walls shall be continuous-lap bars 50 diameters. Horizontal bar laps shall be staggered.

CONCRETE MASONRY NOTES

- Beams and lintels, unless otherwise shown, shall have 8" min. bearing at each end.
- Reinforced concrete masonry construction shall conform to the Building Code Requirements for Concrete Masonry Structures" (ACI 530-13)
- Vertical cells to be grouted shall have vertical alignment sufficient to maintain a clear, unobstructed continuous cell.
- Cleanout openings shall be provided at the bottom of grouted cells at each lift. Cleanouts shall be sealed after cleaning and inspection, and before grouting.
- Reinforcing steel shall be lapped 48 bar diameter minimum where spliced and shall be either separated by one bar diameter or wired together.
- Masonry walls shall cure at least twenty-four (24) hours before grouting.
- When grouting is stopped for one (1) hour or longer, the grout shall be stopped 1-1/2" below the top of the uppermost unit.
- Grout shall be placed in lifts not to exceed 5'-0" maximum and pour not to exceed 12'-0" maximum.
- Vertical wall reinforcing shall be doweled to footing below and to beam above.
- Provide two (2) 9 Ga. reinforcing wires every second course in exterior walls.
- Masonry shall be anchored to supporting beams and columns unless otherwise noted. Masonry units laid to concrete shall be supported by dovetail anchors spaced at 16" or with an equivalent system.
- Masonry walls shall be braced to resist lateral loads until adequate bracing is provided by the other components of the structure.
- Grouted cells with a #5 reinforcing bar shall be placed at all door and window jambs and as otherwise indicated.
- Fill masonry cells at door and window jambs solid with mortar or grout.
- Grouted 8"x 8" min. masonry sills for window openings shall be reinforced with min. of 1-#5 extended 6" beyond opening width (U.O.N.)
- Masonry grout shall be mixed with sufficient water to give a fluid consistency without segregation of materials per ASTM C476-19.

MISCELLANEOUS

- General Contractor shall verify size and location of duct openings, grilles, louvers, etc., with the mechanical contractor before proceeding with the work.
- All wood in contact with masonry, concrete, or steel shall be pressure treated.
- Contractor shall verify all dimensions with the architectural drawings prior to construction and fabrication. Discrepancies shall be brought to the attention of the architect and engineer before construction.
- All work shall be done in accordance with all pertinent local, state, and federal building regulations.
- Provisions of the AIA General Conditions of the Contract for Construction shall apply unless otherwise indicated in the Construction Documents.
- Botkin Parssi & Associates (BPA) has prepared only the structural engineering plans and specifications for this project. BPA assumes no responsibility for water proofing of this building in any shape or form. water proofing shall be by others.
- BPA is not responsible for corrosion of any component of this building. It shall be the owners responsibility to hire a corrosion specialist to prepare specifications for corrosion prevention.
- Botkin Parssi & Associates, Inc. scope of services shall strictly be limited to structural design or inspection only. All non-structural items including but not limited to waterproofing/caulking and corrosion shall be the responsibility of others

RENOVATION, REMODEL OR REPAIR WORK

These drawings have been assembled based upon field measurements, existing plans, observation of existing conditions and certain assumptions based upon general construction practice. If the contractor or owner finds the conditions not to be as detailed, he shall notify the engineer immediately.

SHOP DRAWINGS

The engineer's review is only for conformance with the design concept of the project and compliance with the information given in the Contract Documents. The contractor is responsible for dimensions to be confirmed and correlated at the site, for information that pertains solely to the fabrication, processes, or to the means, methods, techniques, sequences and procedures of construction; and for coordination of the work of all trades. The engineer's approval of a specific item shall not include approval of an assembly of which the item is a component.

DESIGN DATA

- Normal weight concrete (145 PCF) 28-day compressive strength:
- Foundations 4000 PSI (W/C Ratio 0.45)
- Columns, beams, and slabs 5000 PSI (W/C Ratio 0.40)
- Concrete masonry 28-day compressive prism strength (net area) 1500 PSI. Masonry units shall conform to ASTM C90-14
- Mortar type M or S ASTM C270-14A
- Masonry grout with 2500 PSI min. strength shall conform to ASTM C476-19.
- Concrete reinforcing steel --- A615 grade 60.
- Structural Lumber-Southern Pine #2 grade or better.
- Laminated wood (LVL) shall be by Truss Joist Manufacturer with the following allowable unit design stresses:
Fb = 2,600 PSI
Fv = 285 PSI
Ft = 1,895 PSI
Fcll= 2,510 PSI
Fc = 750 PSI
E = 2.0x10⁶ PSI
- Design live loads:
Roof: Chapter 1607.1 Standard Building FBC 2023 8th. Edition.
- Design Wind Loads: 170 MPH (3 sec. gust) in accordance with FBC 2023.
- Soil bearing pressures:
Foundations are designed on the assumption of a minimum soil bearing value of 2500 PSF. It shall be the owner's responsibility to assure that the actual soil bearing value equals or exceeds this minimum and, if it is less, to make such provision as the actual conditions may require.

WIND LOAD	
BASIC WIND SPEED	170 MPH (3 SEC. GUST)
WIND IMPORTANCE FACTOR	1.00
WIND EXPOSURE CATEGORY	D
INTERNAL PRESSURE COEFFICIENT	+/- 0.18
EDGE DISTANCE	FT
BUILDING ENVELOPE CATEGORY	ENCLOSED
10 SQ. FT. E.W.A. COMPONENT AND CLADDING ASD PRESSURES:	
GABLE ROOF SLOPE	7/12 0< 27° 2/12 6/12
MEAN ROOF HEIGHT	30 FT.
WALL EDGE	+/- 70.81 PSF
WALL INTERIOR	+/- 57.37 PSF
ROOF CORNER	+/- 120.11 PSF
ROOF EDGE	+/- 75.29 PSF
ROOF INTERIOR	+/- 75.29 PSF

ABBREVIATIONS					
BOTT.	BOTTOM	ELEV.	ELEVATION	OPNG.	OPENING
COL.	COLUMN	EMBED.	EMBEDMENT	REINF.	REINFORCEMENT
CAP.	CAPACITY	EXIST.	EXISTING	T.O	TOP OF
C.L.	CENTER LINE	FTG.	FOOTING	TYP.	TYPICAL
CMU	CONC. MASONRY UNIT	G.C.	GENERAL CONTRACTOR	VERT.	VERTICAL
COL.	COLUMN	HORIZ.	HORIZONTAL	V.I.F	VERIFY IN FIELD
CONC.	CONCRETE	MIN.	MINIMUM		
EA.	EACH	O.C.	ON CENTER		

These plans/details are the intellectual property of Botkin Parssi & Associates, Inc. (BPA). The drawings may not be reproduced for purposes outside of those relating directly with this building. The information herein may not be copied or transcribed without the written approval of BPA.

NO.	DESCRIPTION	DATE	DRWN	CHK
1	ISSUED FOR CONSTRUCTION	4-25-2024	FM	TA

SHEET TITLE
NORTH WALL WINDOWS RETROFIT ELEVATION AND STRUCTURAL NOTES

bpa BOTKIN PARSSI & ASSOCIATES, INC. CONSULTING ENGINEERS	2749 Exchange Court West Palm Beach, Florida 33409-4038
	Phone: (561) 965-1957 Fax: (561) 965-4308 E-Mail: CAD@BOTKINPARSSI.COM CA # : 00002133

70 MIDDLE ROAD PALM BEACH, FL 33480

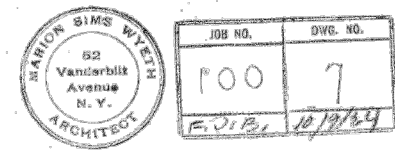
SEAL
DATE: 4-25-2024

SCALE	AS-NOTED
JOB	23-054

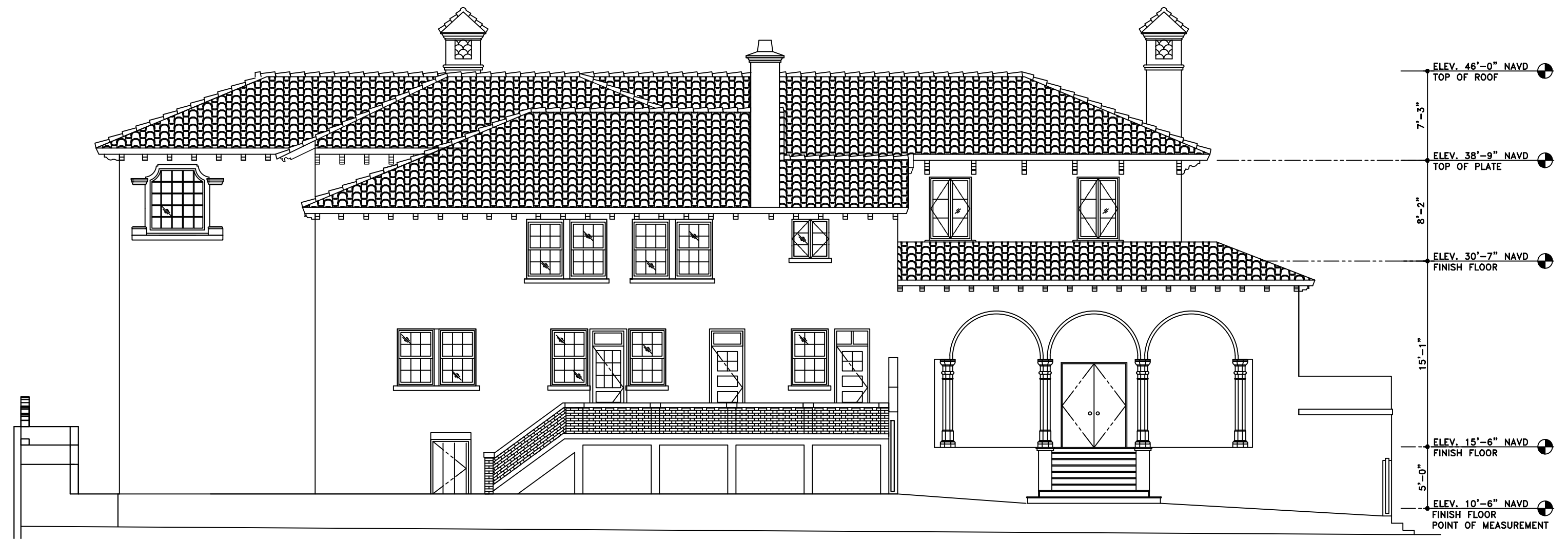
S-13A



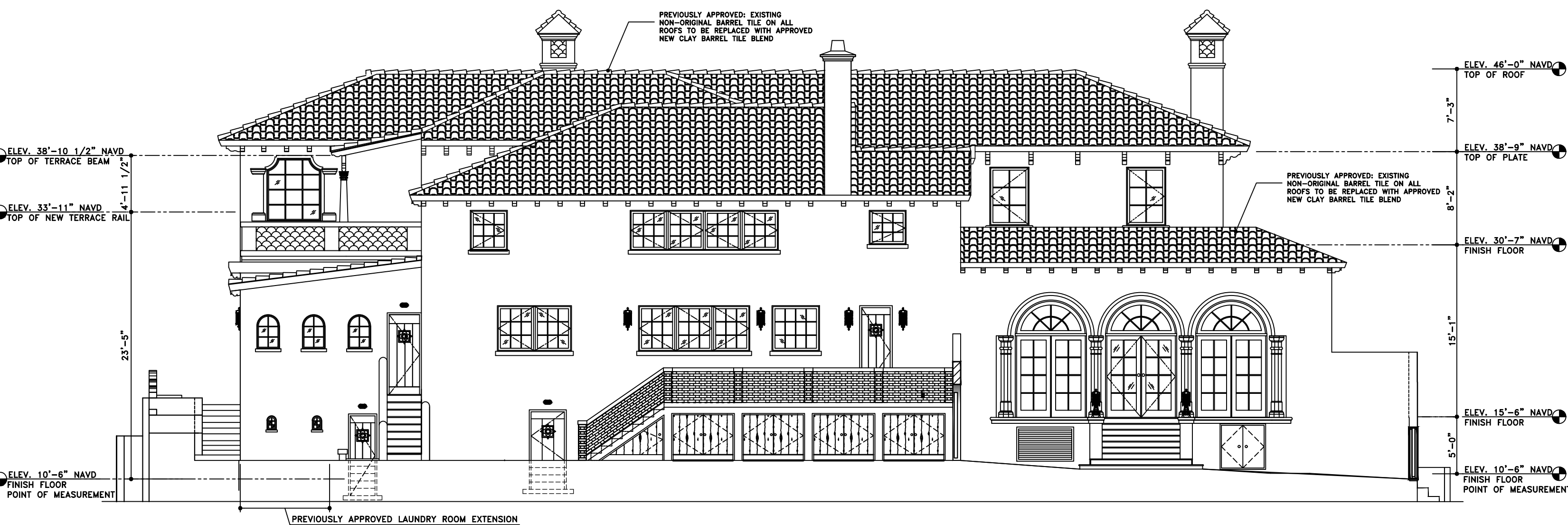
WEST ELEVATION
SCALE: 1/8" = 1'-0"



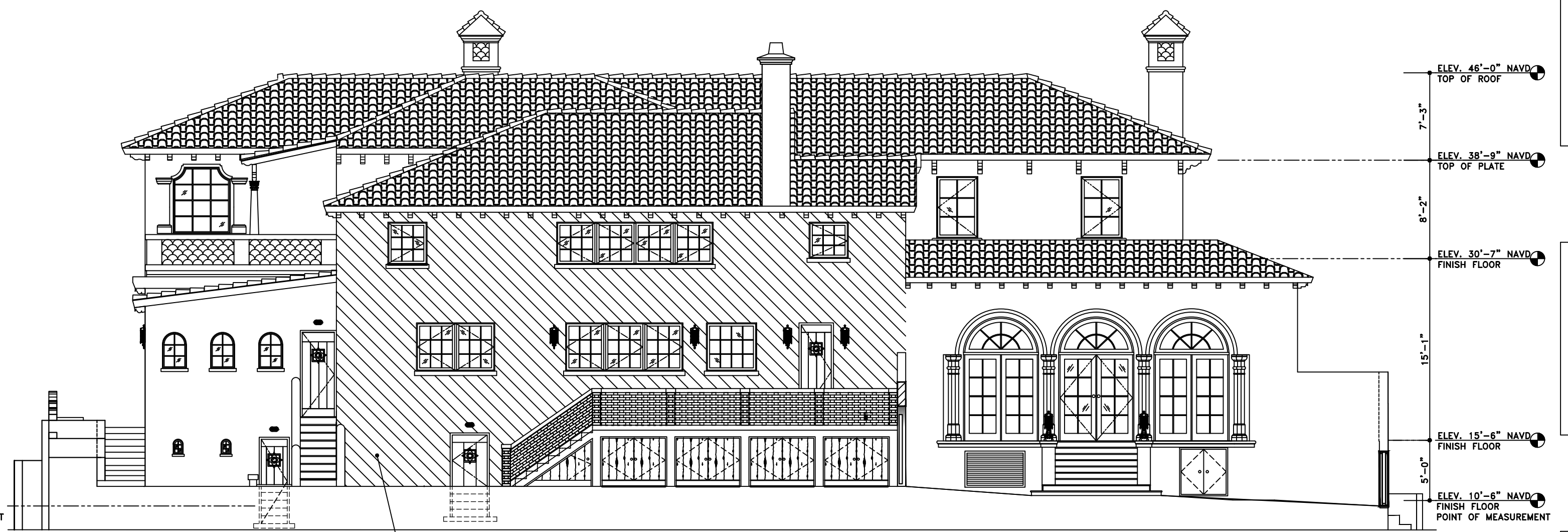
ORIGINAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"



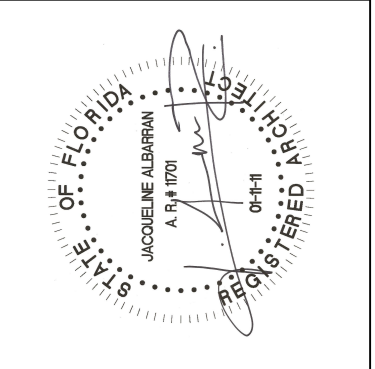
PREVIOUSLY APPROVED WEST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020.

NAEGELE RESIDENCE
70 MIDDLE ROAD
PALM BEACH, FLORIDA



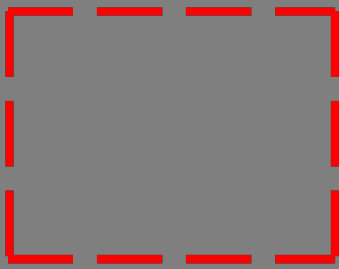
REVISIONS:	
1	

SHEET NUMBER:	
A9	
DATE:	07-09-24
JOB #	0445

SKA
SKA ARCHITECT + PLANNER
324 ROYAL PALM WAY, SUITE 227, PALM BEACH, FLORIDA
TEL: 561.655.7676 FAX: 561.655.3533

WEST WALL

11



APPROVED NEW
WINDOW SIZES

COLUMNS REMOVED FOR
NEW WINDOW OPENINGS

ALL WINDOW OPENINGS TO BE MODIFIED LEAVING
THE WALL WITH TOO MANY LARGE PENETRATIONS

11



12



12



DIAGONAL WALL CRACKS BETWEEN WINDOW OPENINGS

