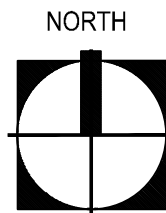
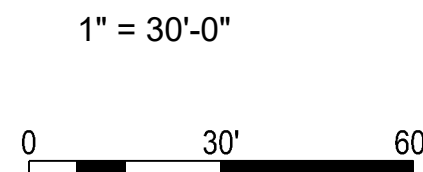
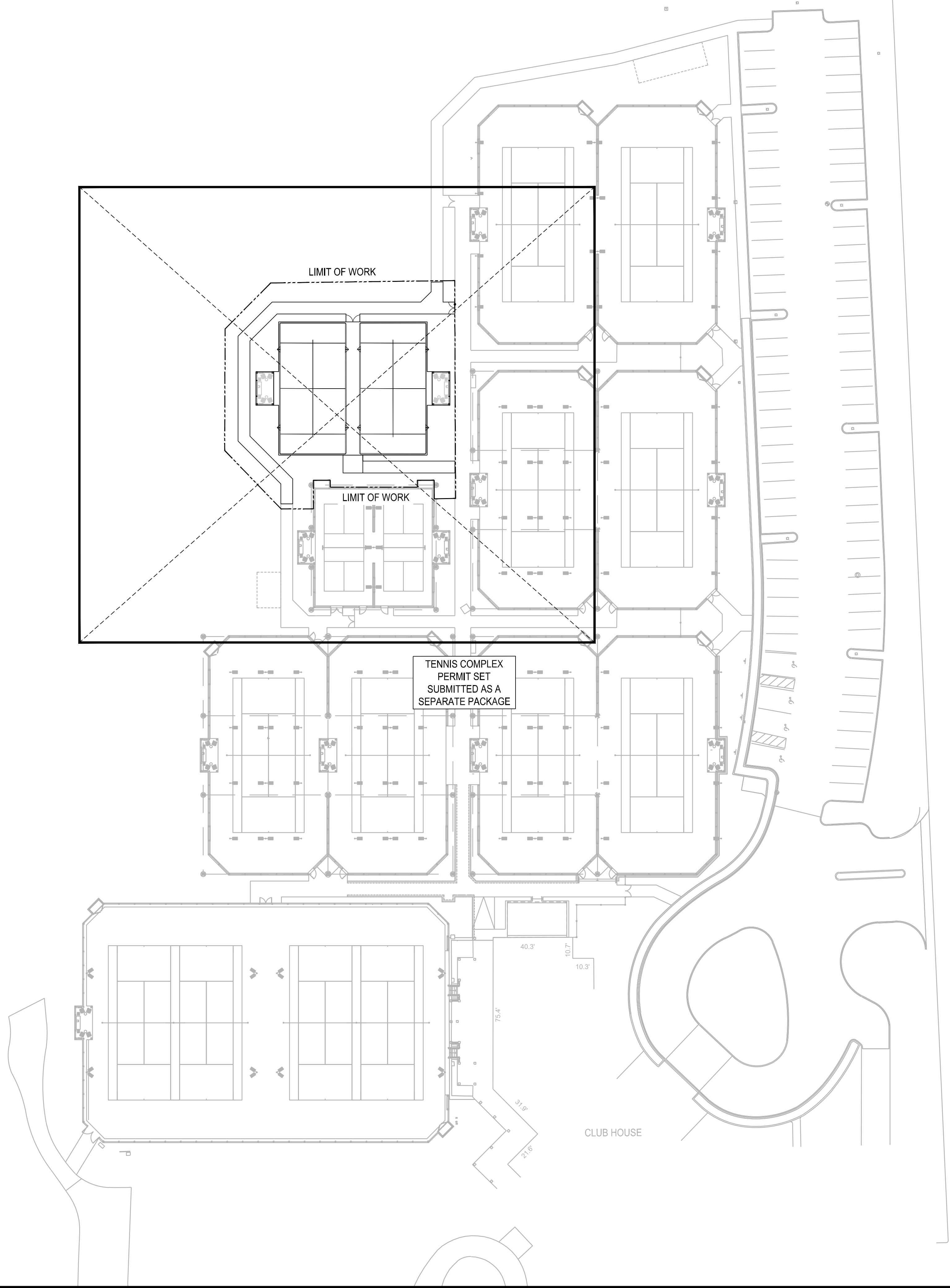


Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\04-11 KEY PLAN.dwg L0-0-11-KEY PLAN Jun 26, 2024 5:15pm by: ecatala



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name



-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

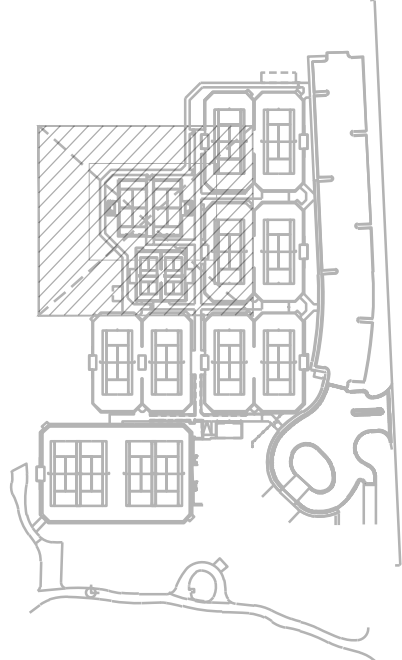


PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
△		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

KEY PLAN

Revision Number	Sheet Number
0	L0-0-11

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\L1-0-01 DEMOLITION NOTES.dwg L1-0-01 DEMOLITION NOTES Jun 26, 2024 5:15pm by: ecstala

DEMOLITION / SITE CLEARING

GENERAL NOTES:

- PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL PROVIDE FOR THE FOLLOWING:
 - ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AND FULLY OPERATIONAL. SEE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR REQUIREMENTS AND DETAILS.
 - ERECT BARRICADES TO PROTECT EXISTING TREES INDICATED TO REMAIN. SEE TREE PROTECTION REQUIREMENTS FOR ADDITIONAL REQUIREMENTS AND DETAILS.
 - COORDINATE WITH ALL UTILITY COMPANIES THAT MAY HAVE UTILITY SERVICES ON THIS SITE TO OBTAIN ALL PERMITS AS APPLICABLE. CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AS REQUIRED T TAKE SUCH UTILITY SYSTEMS OUT OF SERVICE IF REQUIRED.
 - UTILITIES OUTSIDE OF HE LIMITS OF CONSTRUCTION ARE TO BE MAINTAINED AND OPERATIONAL THROUGHOUT ALL PHASES OF CONSTRUCTION.
 - OWNER RESERVES THE RIGHT TO SALVAGE ANY MATERIAL, FIXTURES OR EQUIPMENT FROM THE SITE PRIOR TO DEMOLITION.
 - ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PERFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.

DEMOLITION / SITE CLEARING NOTES:

- THE CONTRACTOR SHALL PROVIDE AT LEAST 48-HOUR NOTICE TO ALL UTILITY COMPANIES PRIOR TO INITIATING DEMOLITION AND/OR SITE CLEARING TO PROVIDE FIELD LOCATES OF EXISTING UTILITIES.
- REMOVE IN THEIR ENTIRETY ALL BUILDINGS, PAVEMENTS, STRUCTURES, RUBBISH, DEBRIS, UTILITIES AND ALL OTHER APPURTENANCES WHICH ARE NECESSARY TO PERMIT THE PROPOSED CONSTRUCTION AS DESIGNATED ION THE CONSTURCITON DOCUMENTS.
- ALL VEGETATIVE GROWTH, TIMER AND BRUSH SHALL BE REMOVED TO A DEPTH OF 18 INCHES BELOW NATURAL GROUND OR DESIGN GRADE WHICHEVER IS LOWER.
- PAVEMENTS TO BE REMOVED SHALL BE SAW CUT TO ENSURE A CLEAN EDGE. CONCRETE PAVEMENT SHALL BE REMOVED TO THE NEAREST CONTROL JOINT WHERE APPLICABLE.
- ALL DELETERIOUS SUBSURFACE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED AND REMOVED. EXCAVATED AREAS SHALL BE BACKFILLED WITH CLEAN BUILDERS SAND AND RETURNED TO NATURAL GROUND OR DESIGN GRADE.
- AFTER DEMOLITION / SITE CLEARING TILL/DISK ALL SURFACES TO A DEPTH OF SIX INCHES (6") AND REMOVE ANY REMAINING DELETERIOUS MATERIAL GREATER THAN 1 INCH (1") IN DIAMETER.
- SHOULD ANY HAZARDOUS MATERIALS BE ENCOUNTERED DURING DEMOLITION AND/OR SITE CLEARING THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY IN THE AFFECTED AREA AND NOTIFY THE OWNERS REPRESENTATIVE FOR DIRECTION ON HOW TO PROCEED.
- ALL DEBRIS AND WASTE MATERIALS GENERATED BY DEMOLITION AND/OR SITE CLEARING ACTIVITIES SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT AN APPROVED DISPOSAL FACILITY. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR THE HAULING AND DISPOSAL OF WASTE MATERIAL.

TREE/PALM PROTECTION NOTES:

- THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF EXISTING TREES/PALMS TO REMAIN WITH THE OWNERS REPRESENTATIVE PRIOR TO COMMENCING DEMOLITION AND/OR SITE CLEARING.
- ALL TREE/PALM PROTECTION SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE CARE. ALL TREE CARE ACTIVITIES INCLUDING BUT NOT LIMITED TO CROWN PRUNING, FERTILIZING AND ROOT PRUNING SHALL BE CONDUCTED BY OR PREFORMED UNDER SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL B EAR THE COST OF THE ARBORIST.
- ERECT TREE/PALM PROTECTION BARRICADES AS DETAILED IN THE CONTRACT DOCUMENTS. ALL BARRICADES SHALL BE PLACED A MINIMUM OF TEN FEET (10') CLEAR DISTANCE FROM THE FACE OF ANY PROTECTED TREE/PALM OR AS INDICATED BY EXISTING CODE OR ORDINANCES WHICHEVER IS GREATER. BARRICADES SHALL FULLY ENCLOSE ALL TREES/PALMS TO REMAIN.
- NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIAL, MACHINERY, CHEMICALS, VEHICLES, OR SOIL DEPOSITS. ANY ACTIVITY THAT INVOLVES DISTURBING SOIL WITHIN THE BARRICADES SHALL BE DONE BY HAND OR LIGHT RUBBER WHEELED EQUIPMENT THAT WILL NOT COMPACT THE SOIL OR DAMAGE THE TREE/PALM ROOTS.
- ALL TREES SUBJECT TO ENCROACHMENT INTO THE DRIP LINE DUE TO PROPOSED CONSTRUCTION SHALL BE ROOT PRUNED EIGHTEEN INCHES (18") FROM THE EDGE OF SAID CONSTRUCTION.
 - ROOT PRUNING SHALL CONSIST OF DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP BY SIX INCHES (6") WIDE EITHER BY HAND OR WITH A TRENCHING MACHINE DESIGNED FOR THIS PURPOSE. ALL ROOTS SHALL BE CLEAN CUT WITH NO SPLITS OR TEARS.
 - TRENCH SHALL BE FILLED WITH TOPSOIL (SEE LANDSCAPE NOTES) PLACED IN TWELVE INCH (12") LIFTS. EACH LIFT SHALL BE WATERED IN TO PREVENT AIR POCKETS.
- BARRICADES SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION OR AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- PROTECTED TREES/PALMS DEEMED UNACCEPTABLE BY THE OWNERS REPRESENTATIVE AT THE PROJECT COMPLETION DUE TO DAMAGE, LACK OF PROTECTION OR NEGLIGENCE ON THE PART OF THE CONTRACTOR SHALL BE REMOVED IN THEIR ENTIRETY AND REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.

PROTECT COORDINATION NOTES:

- THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL WORK TO INTERFACE SMOOTHLY WITH OTHER WORK BEING PREFORMED ON OR ADJACENT TO THE SITE BY OTHER CONTRACTORS AND UTILITY COMPANIES.
- CONTRACTOR SHALL REFER TO THE HARDSCAPE NOTES, LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

TREE / PALM RELOCATION

GENERAL NOTES:

- TREES/PALMS TO BE RELOCATED ARE DESIGNATED ON THE DRAWINGS OR AS IDENTIFIED BY THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF THE EXISTING CONDITIONS WITH THE OWNERS REPRESENTATIVE AT BOTH THE CURRENT AND PROPOSED LOCATIONS OF RELOCATIONS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT DOCUMENTING THE EXISTING CONDITIONS INCLUDING BUT NOT LIMITED TO PHOTOGRAPHS IDENTIFYING TREES/PALMS TO BE RELOCATED, POTENTIAL OBSTRUCTIONS AND IDENTIFICATION OF A PROPOSED MOVING ROUTE THAT AVOIDS AND PROTECTS OVERHEAD AND UNDERGROUND UTILITIES. THE REPORT WILL SERVE AS A REFERENCE POINT FOR MONITORING THE EXISTING CONDITIONS WHICH WILL BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP INTACT.
- ALL TREE/PALM RELOCATIONS SHALL COMPLY WITH ANSI A-300 STANDARDS FOR TREE RELOCATIONS. ALL RELOCATION ACTIVITIES SHALL BE CONDUCTED BY OR PREFORMED UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND SHALL BEAR THE COST OF THE ARBORIST.
- THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE 24 HOURS IN ADVANCE OF EACH RELOCATION TO ALLOW FOR OBSERVATION OF THE PROCEDURES.
- TREES/PALMS SHALL ONLY BE MOVED ONCE, WITHIN 24 HOURS OF THE PLANTS EXCAVATION. NO NURSERY OR HOLDING ARE MAY BE USED.

PREPARATION NOTES:

- TREES SIX INCH (6") CALIPER OR LESS AND PALMS OTHER THAN THOSE LISTED AS SPECIMEN PALMS MAY BE RELOCATED BY MECHANICAL MACHINERY AND DO NOT REQUIRE ROOT PRUNING. (SEE MECHANICAL RELOCATION)
- TREES/PALMS REQUIRING ROOT PRUNING SHALL HAVE THIS PREFORMED ACCORDING TO THE FOLLOWING SCHEDULE:
 - TREES FOURTEEN INCH (14") CALIPER AND LESS AND SPECIMEN PALMS3 MONTHS PRIOR TO RELOCATING.
 - TREES FIFTEEN INCH (15") TO TWENTY-EIGHT INCH (28") CALIPER.....6 MONTHS PRIOR TO RELOCATING.
 - TREES OVER TWENTY-EIGHT INCH (28") CALIPER.....9 MONTHS PRIOR TO RELOCATING.
- EQUIPMENT USED FOR ROOT PRUNING SHALL BE DESIGNED FOR THIS TASK AND SHALL PRODUCE CLEAN CUTS OF ROOTS WITHOUT DAMAGE TO THE RESULTING ROOT BALL.
- TREES SHALL HAVE A MINIMUM ROOT BALL SIZE OF TEN INCHES (10") PER ONE INCH (1") OF CALIPER. ROOT BALLS ARE TO BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
- SPECIMEN PALMS SHALL HAVE A MINIMUM ROOT BALL OF THIRTY-SIX INCHES (36") AND SHALL BE FORMED SQUARE WITH EQUAL DISTANCE FROM THE TRUNK.
- ROOT BALLS FOR TREES/PALMS SHALL BE FORMED BY DIGGING A TRENCH FORTY-EIGHT INCHES (48") DEEP AND SIX INCHES (6") WIDE EITHER BY HAND OR BY A TRENCHING MACHINE DESIGNED FOR THE PURPOSE.
- IF ROOT PRUNING HAS BEEN PERFORMED OUTSIDE OF THE SCOPE OF THIS CONTRACT THE CONTRACTOR SHALL CONFIRM IN WRITING WITH THE OWNERS REPRESENTATIVE THAT ROOT PRUNING HAS BEEN ACCOMPLISHED AS DESCRIBED ABOVE.

HAND DIGGING / RELOCATION NOTES:

- TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
- ALL ROOT BALLS SHALL BE THOROUGHLY SOAKED FOR SEVEN (7) DAYS PRIOR TO DIGGING.
- EXCAVATE TWELVE INCHES (12") OUTSIDE OF PREVIOUS ROOT PRUNING TO A DEPTH OF FORTY-EIGHT INCHES (48").
- ROOT BALLS SHALL BE UNDERCUT PRIOR TO LIFTING. DO NOT FORCE TREE/PALM FROM GROUND.
- TREES/PALMS SHALL BE LIFTED AND TRANSPORTED IN SUCH A MANNER AS TO AVOID DAMAGE TO BARK, LIMBS, TRUNKS OR FRONDS. SUPPORT CHAINS, STRAPS AND/OR CABLES SHALL BE PADDED AS REQUIRED. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REQUIRE DOWELING IN LIEU OF LIFTING BY STRAPS.
- EXCAVATE NEW PLANT PIT TWENTY-FOUR INCHES (24") WIDER THAN ROOT BALL AND TO A DEPTH THAT ALLOWS NEW ROOT BALL TO BE SITUATED THREE INCHES (3") ABOVE PROPOSED GRADE.
- ROTATE TREE/PALM PRIOR TO SETTING TO ACHIEVE BEST POSITIONING AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- BACKFILL PLANTING PIT WITH PREPARED PLANTING SOIL (SEE LANDSCAPE NOTES/SPECIFICATIONS) IN TWELVE INCH (12") LIFTS THOROUGHLY DRENCHING EACH LIFT WITH WATER TO PREVENT AIR POCKETS.
- APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
- TREES/PALMS SHALL BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

MECHANICAL DIGGING / RELOCATION NOTES:

- TREES/PALMS SHALL BE PRUNED AS DIRECTED BY THE ARBORIST PRIOR TO DIGGING.
- TREE SPADES SHALL B E LARGE ENOUGH TO ENCOMPASS THE FIBROUS FEEDER ROOTS OF EACH PLANT. TREE SPADES USED TO RELOCATE TREES/ NON-SPECIMEN PALMS SHALL MEET THE FOLLOWING CRITERIA:
 - TREES UP TO THREE INCH (3") CALIPER.....FORTY-FOUR INCH (44") SPADE
 - TREES THREE INCH (3") TO FIVE INCH (5") CALIPER.....SIXTY INCH (60") SPADE
 - TREES UP TO EIGHT INCH (8") CALIPER AND NON-SPECIMEN PALMS.....NINETY INCH (90") SPADE
- USE SAME MACHINE TO DIG RECEIVING HOLE AND TO DIG TREE/PALM FOR TRANSPLANTING.
- TREE SPADES SHALL HAVE A MAXIMUM TOLERANCE OF TWO INCHES (2") BETWEEN BLADES AND SHALL BE MOUNTED TO A STABLE MACHINE CAPABLE OF SUPPORTING THE WEIGHT OF ALL RELOCATED MATERIAL.
- CENTER TREE/PALM IN THE SPADE WHEN DIGGING. CLEAN CUT ANY ROOTS PROTRUDING FROM THE DIGGING SPADE FLUSH WITH THE ROOT BALL BEFORE PLANTING.
- AFTER PLACING TREE/PALM IN RECEIVING HOLE IMMEDIATELY FILL ALL CREVICES/VOIDS WITH PREPARED PLANTING SOIL. (SEE LANDSCAPE NOTES/SPECIFICATIONS) THOROUGHLY DRENCH WITH WATER TO PREVENT AIR POCKETS.
- APPLY FERTILIZER, TRANSPLANT INOCULANTS AND ROOT STIMULANTS AS DIRECTED BY THE ARBORIST.
- TREES/PALMS TO BE STAKED AND MULCHED ACCORDING TO THE LANDSCAPE DETAILS.

TREE / PALM RELOCATION

POST PLANTING MAINTENANCE NOTES:

- DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL TRANSPLANTED TREES/PALMS.
- MAINTENANCE DURING THE PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, REMOVAL OF DEAD MATERIAL, REPAIRING AND/OR REPLACING STAKING, RESETTNG PLANTS TO PROPER GRADES AND UPRIGHT POSITIONS AND APPLYING SUCH SPRAYS AS DIRECTED BY THE ARBORIST AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
- ALL RELOCATED TREES/PALMS SHALL BE IRRIGATED BY HAND OR TEMPORARY AUTOMATIC IRRIGATION SYSTEM UNTIL A PERMANENT IRRIGATION SYSTEM IS OPERATIONAL.
- IRRIGATION FOR TREES SHALL INCLUDE MIST HEADS AS DIRECTED BY ARBORIST.

SUBSTANTIAL COMPLETION ACCEPTANCE NOTES:

- UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
- FOR THE PURPOSE OF ACCEPTANCE, THE RELOCATED TREES/PALMS TO BE HEALTHY, VIGOROUS, UNDAMAGED AND EXHIBIT EVIDENCE OF ESTABLISHING NEW ROOTS.
- THE MINIMUM ALLOWABLE RATE OF SURVIVAL OF ALL RELOCATED MATERIAL SHALL BE 90%. DETERMINATION OF SURVIVABILITY SHALL BE MADE BY THE OWNERS REPRESENTATIVE AT THE COMPLETION.
- ANY TREE/PALM THAT IS DEEMED UNACCEPTABLE AS A PRODUCT OF NEGLIGENCE BY THE CONTRACTOR SHALL BE REPLACED WITH A COMPARABLE SPECIMEN AT NO ADDITIONAL COST TO THE OWNER.
- THE DATE OF SUBSTANTIAL COMPLETION SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS THAT ALL WORK RELATED TO THE TREE/PALM TRANSPLANTING IS COMPLETE.
- ALL TRANSPLANTED TREES/PALMS SHALL BE WARRANTED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION FROM THE OWNERS REPRESENTATIVE. THE DATE OF SUBSTANTIAL COMPLETION MAY VARY FROM THE DATE OF SUBSTANTIAL COMPLETION FOR OTHER PORTION OF THE PROJECT.

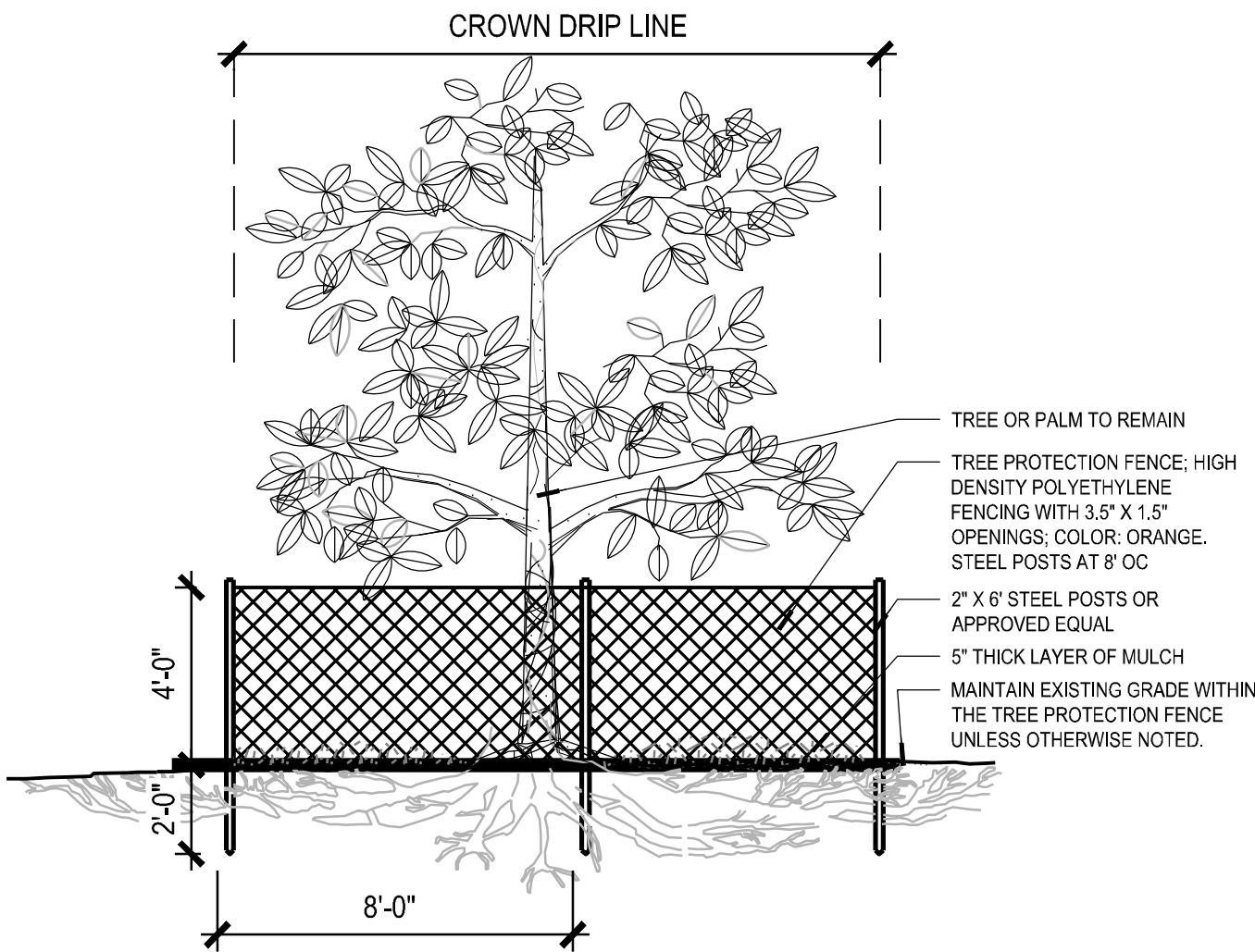
NOTE:

- NOTHING SHALL BE PLACED INSIDE THE BARRICADES INCLUDING BUT NOT LIMITED TO: CONSTRUCTION MATERIALS, MACHINERY, CHEMICALS, VEHICLES OR SOIL DEPOSITS.

IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.

NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING

BARRIERS TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION AND SHOULD NOT BE REMOVED WITHOUT AUTHORIZATION



TREE PROTECTION FENCE
SCALE - NTS

Project Name



-PADEL COURTS-

Client




THE BREAKERS
PALM BEACH

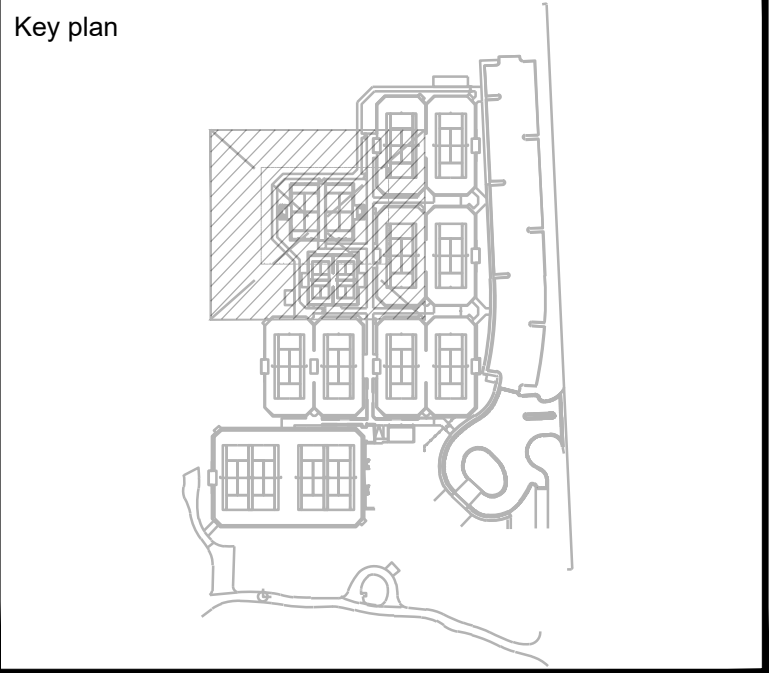
2 S County Rd
Palm Beach, FL 33480



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
		
		
		



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

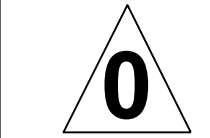
Project Number

Project Phase

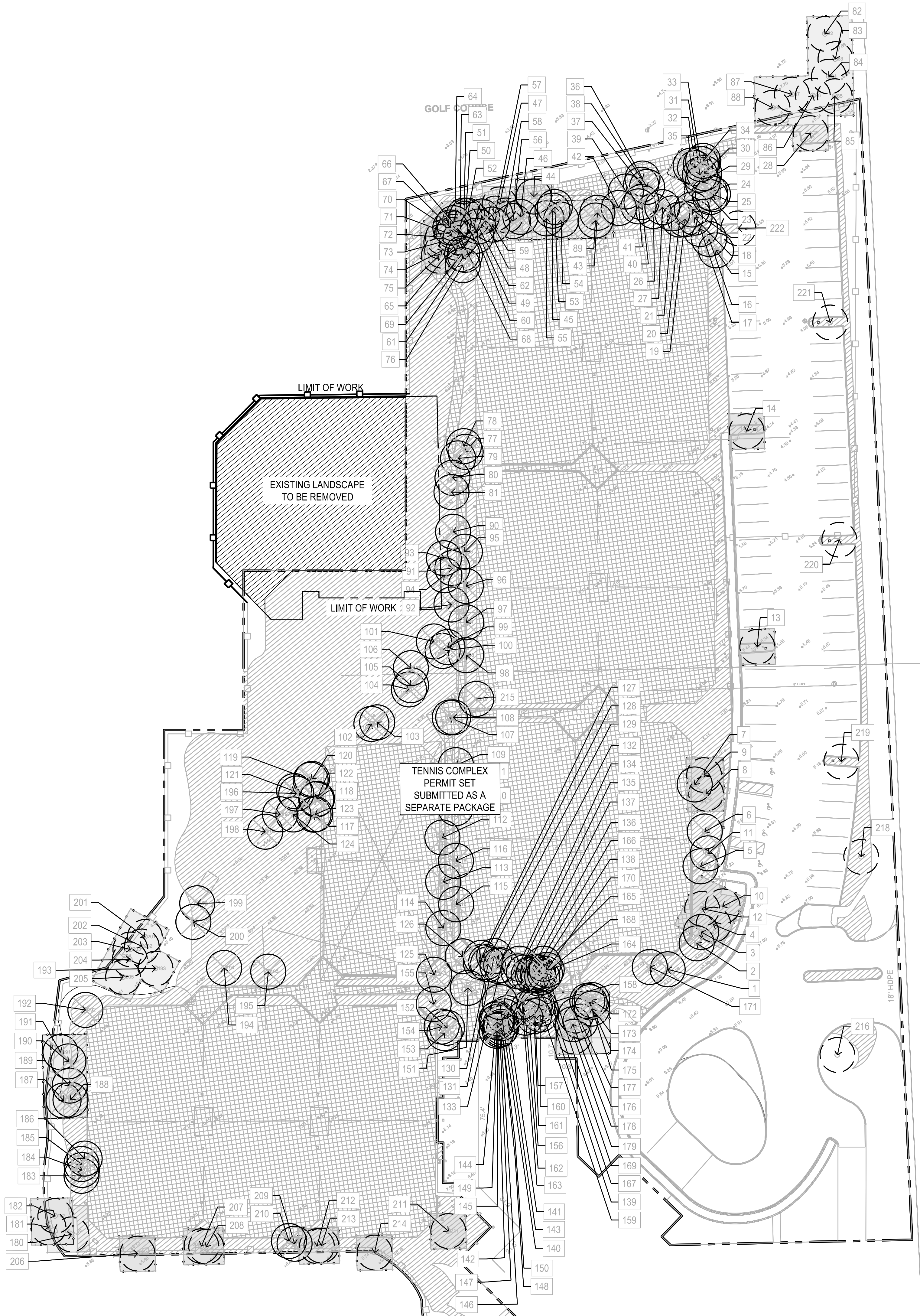
PERMIT SET

Sheet Title

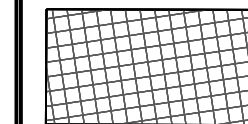
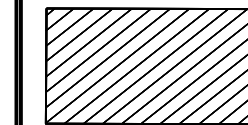

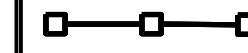
DEMOLITION NOTES

Revision Number	Sheet Number
	L1-0-01

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\1:1-00 OVERALL SITE PREPARATION PLAN.dwg L1-1-00 OVERALL SITE PREPARATION PLAN Jun 29, 2024 3:19pm by cdcundo

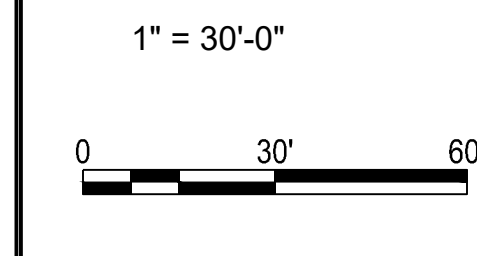


SITE PREP / DEMOLITION LEGEND:

-  EXISTING HARDSCAPE TO BE REMOVED
-  EXISTING LANDSCAPE TO BE REMOVED
-  PROTECT LANDSCAPE AREA
-  6 FT CHAIN LINK CONSTRUCTION FENCE WITH GREEN SCREEN

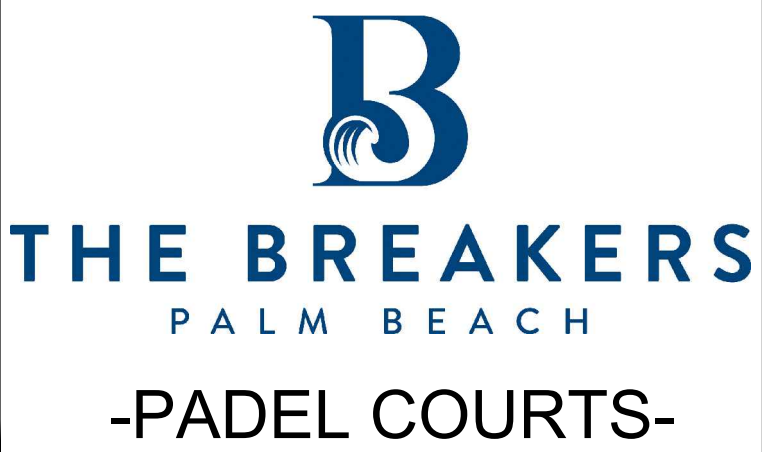
SITE PREPARATION NOTES:

- 1.) UNDERGROUND INFRASTRUCTURE LEADING TO TRENCH DRAINS AND DRAIN INLETS TO REMAIN.
- 2.) PROTECT TRENCH DRAINS AND DRAIN INLETS.
- 3.) MAINTAIN IRRIGATION SYSTEM IN WORKING ORDER FOR ALL TREE/PALM, LANDSCAPE & LAWN AREAS TO REMAIN IN PLACE



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

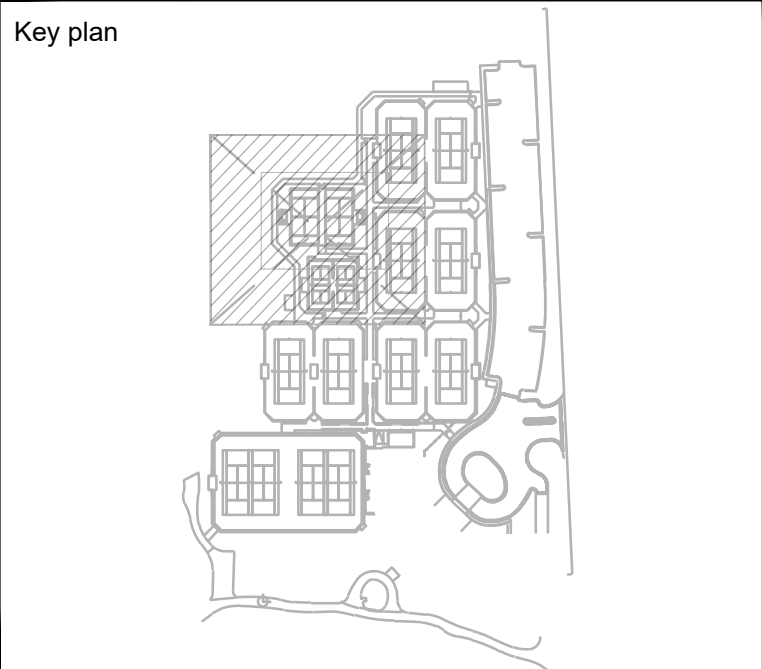


Client

THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480



Rev	Date	Issued for
△		
△		
△		



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067



Project Number

Project Phase

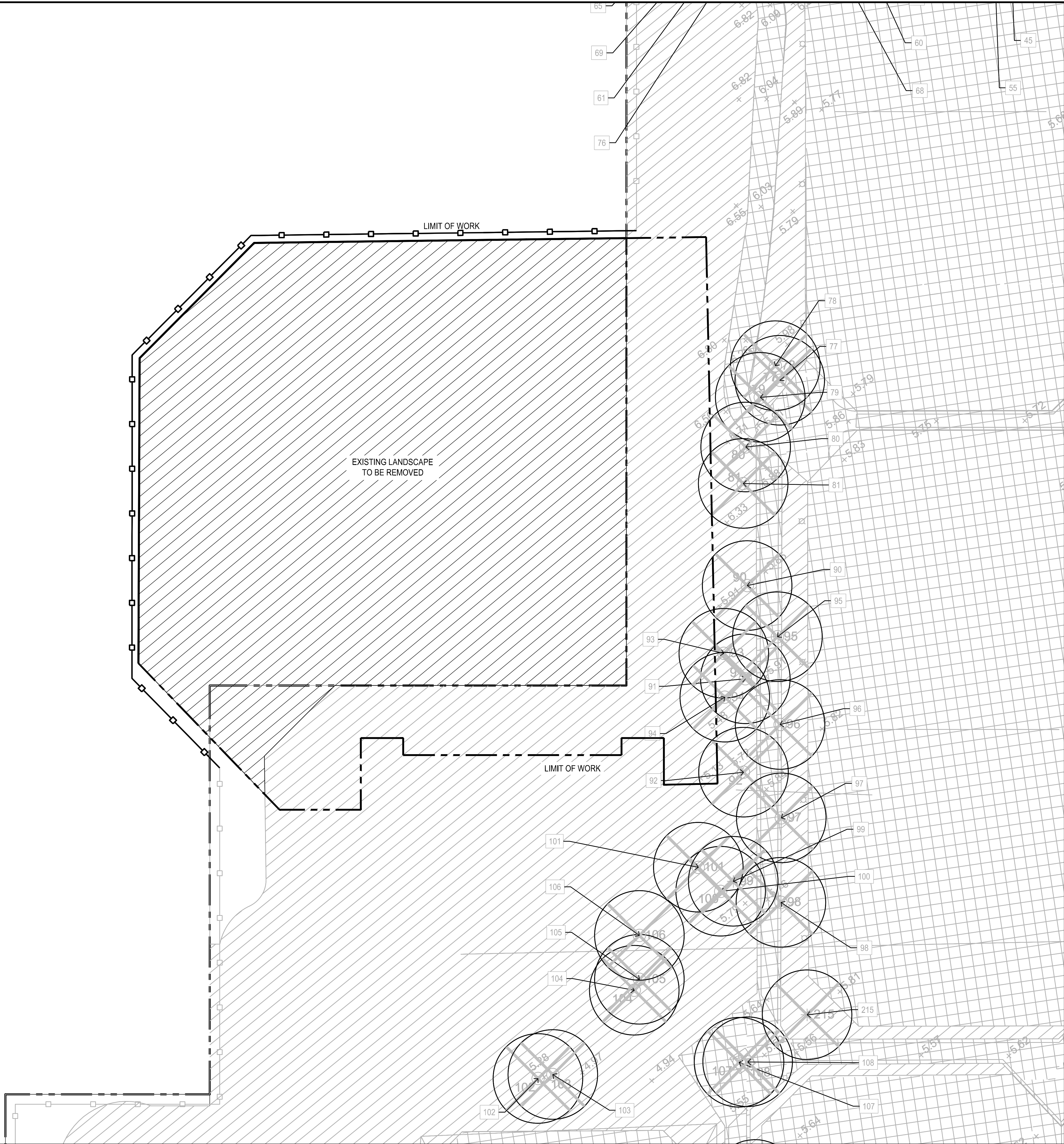
PERMIT SET

Sheet Title

OVERALL SITE PREPARATION PLAN

Revision Number	Sheet Number
0	L1-1-00

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\1:1-01 SITE PREPARATION PLAN.dwg Jun 28, 2024 3:19pm by cdeundo

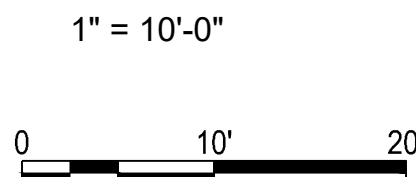


SITE PREP / DEMOLITION LEGEND:

- EXISTING HARDSCAPE TO BE REMOVED
- EXISTING LANDSCAPE TO BE REMOVED
- PROTECT LANDSCAPE AREA
- 6 FT CHAIN LINK CONSTRUCTION FENCE WITH GREEN SCREEN

SITE PREPARATION NOTES:

- 1.) UNDERGROUND INFRASTRUCTURE LEADING TO TRENCH DRAINS AND DRAIN INLETS TO REMAIN.
- 2.) PROTECT TRENCH DRAINS AND DRAIN INLETS.
- 3.) MAINTAIN IRRIGATION SYSTEM IN WORKING ORDER FOR ALL TREE/PALM, LANDSCAPE & LAWN AREAS TO REMAIN IN PLACE



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

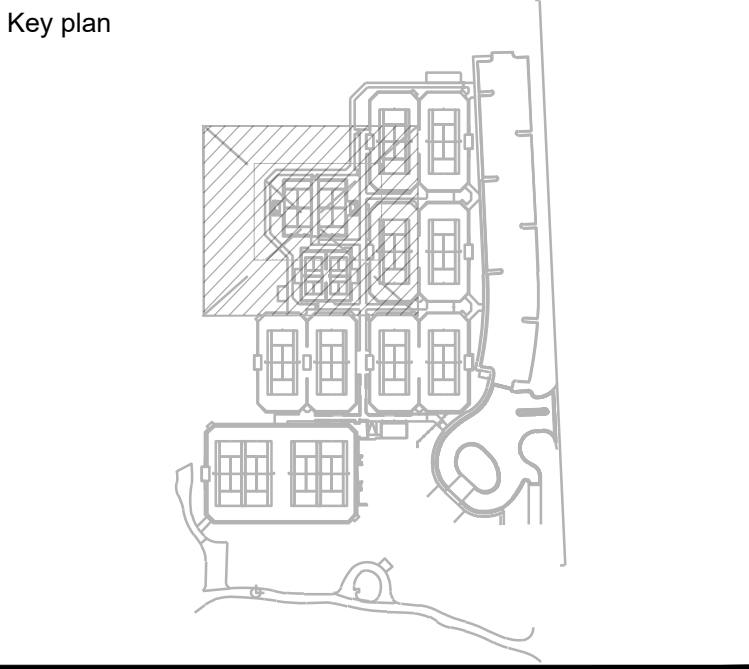
THE BREAKERS
PALM BEACH
-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480

edsa PLANNING
LANDSCAPE, ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

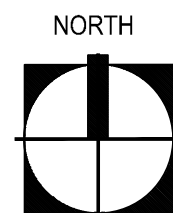
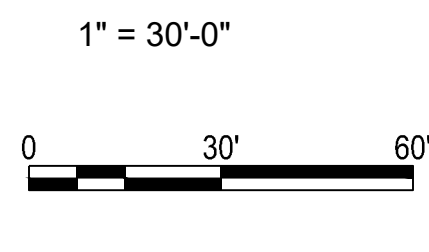
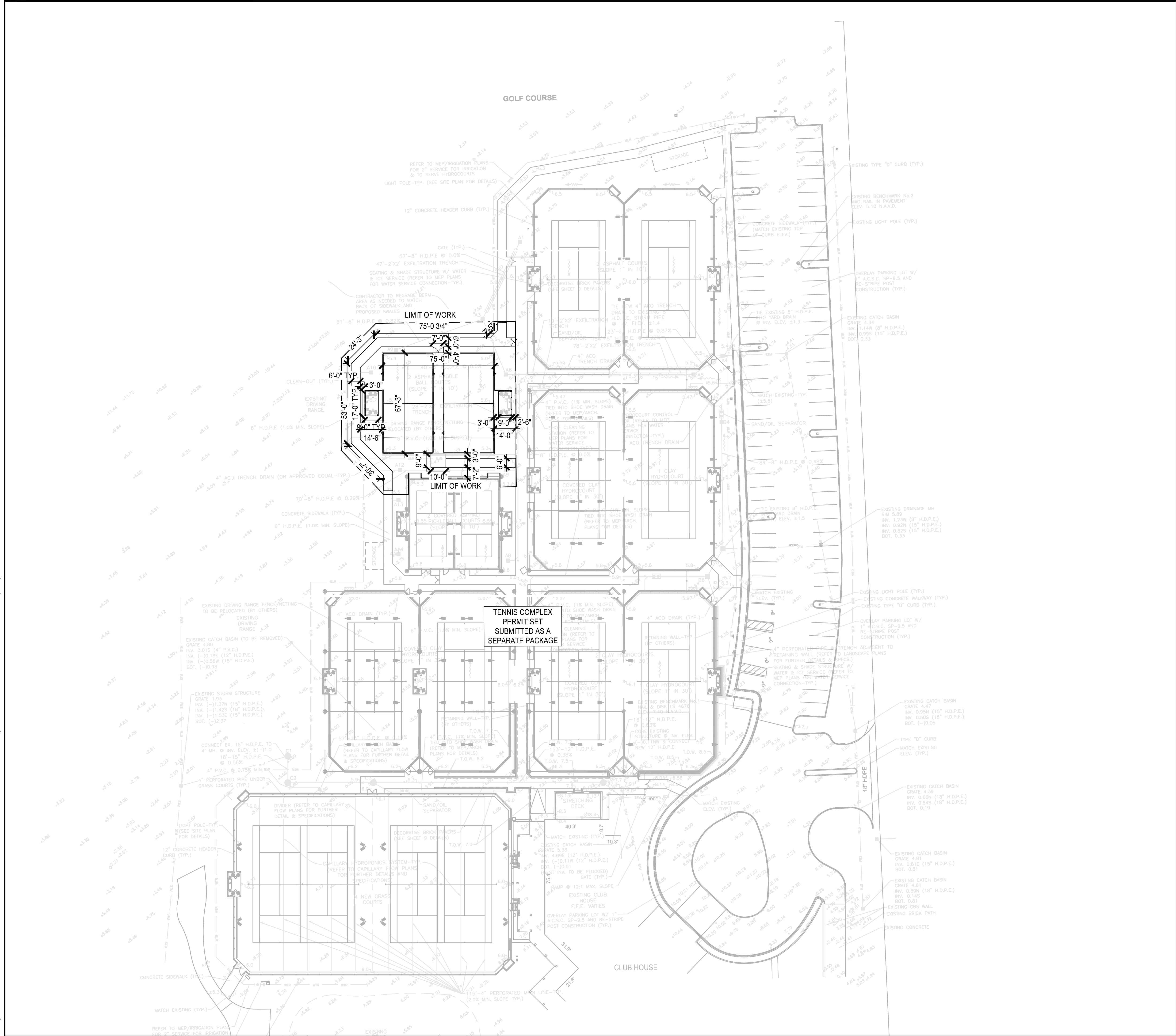
PERMIT SET

Sheet Title

SITE PREPARATION
PLAN

Revision Number	Sheet Number
0	L1-1-01

Drawing name: G:\Teams\EDS\121067 - The Breakers\EDS\121067 - Padel Courts\12-100 OVERALL LAYOUT PLAN Jun 26, 2024 5:17pm by: ecalala



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

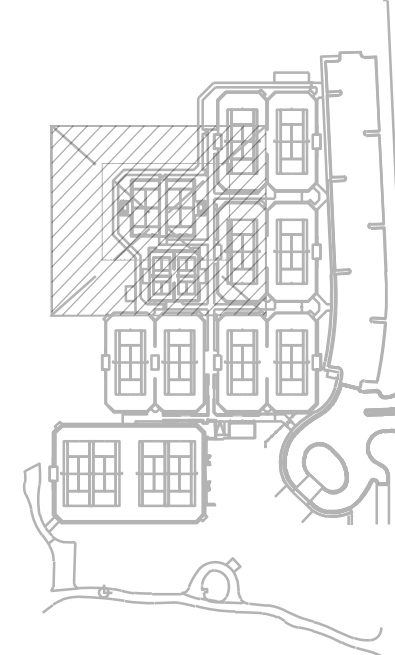


PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
1		
2		
3		
4		
5		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

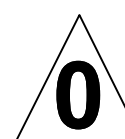
Project Phase

PERMIT SET

Sheet Title

OVERALL LAYOUT PLAN

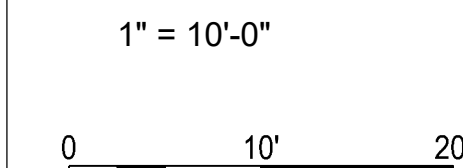
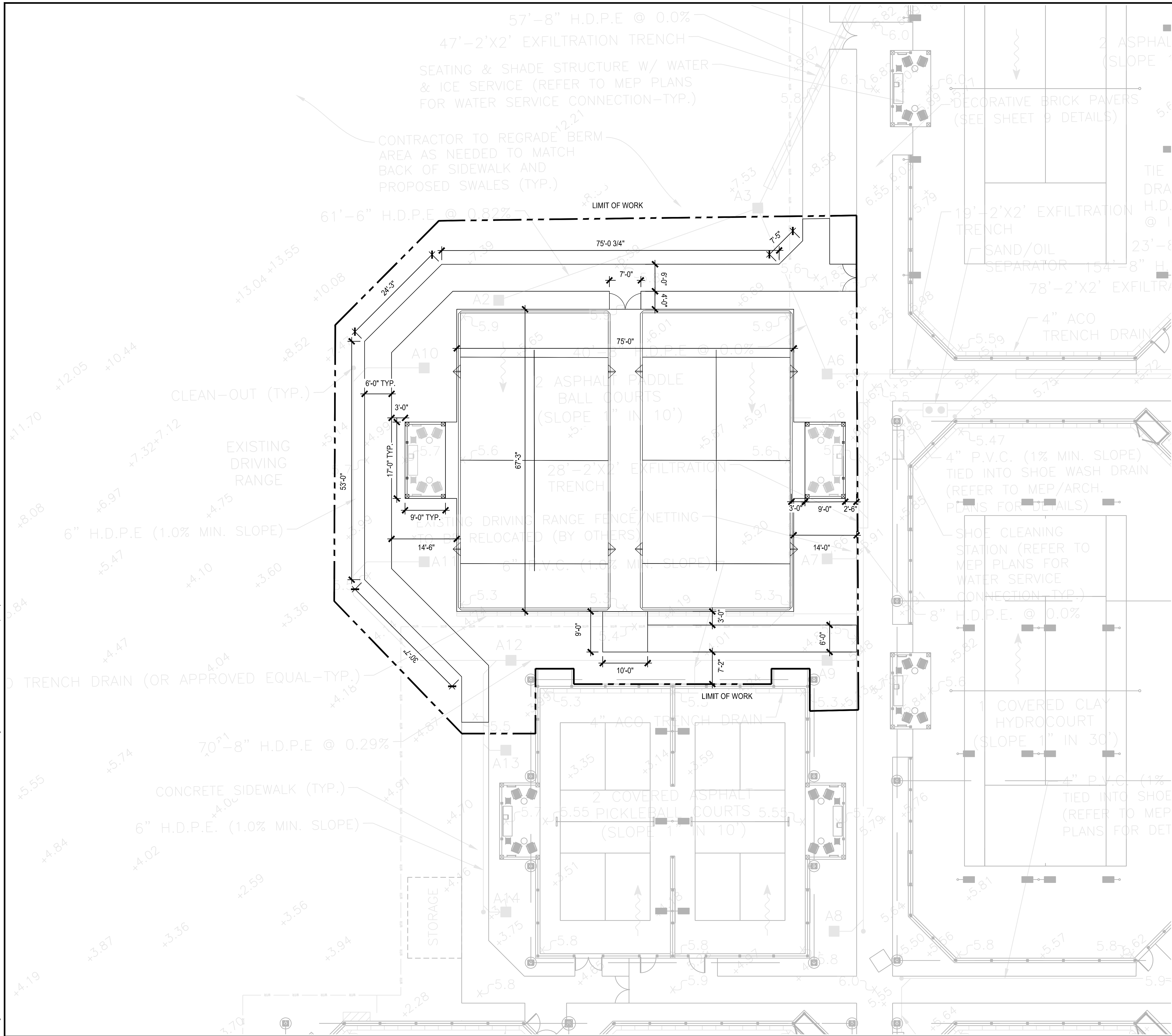
Revision Number




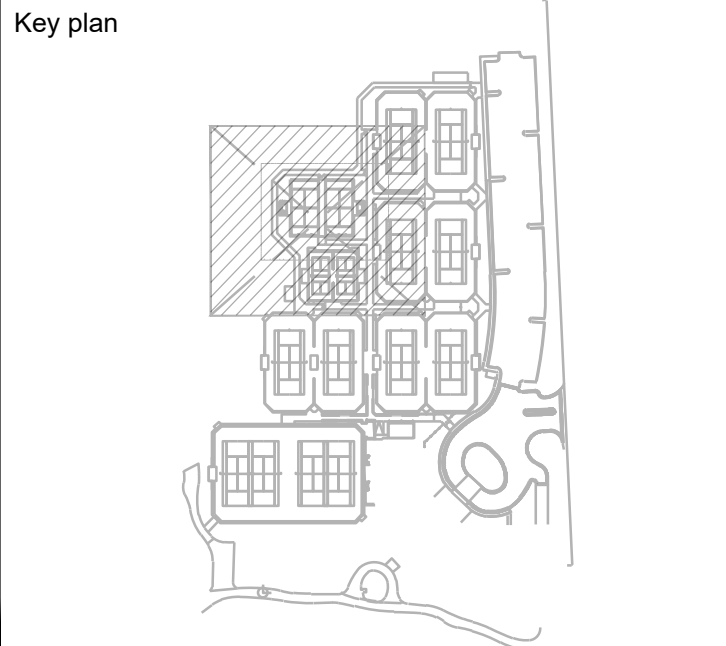
Sheet Number

L2-1-00

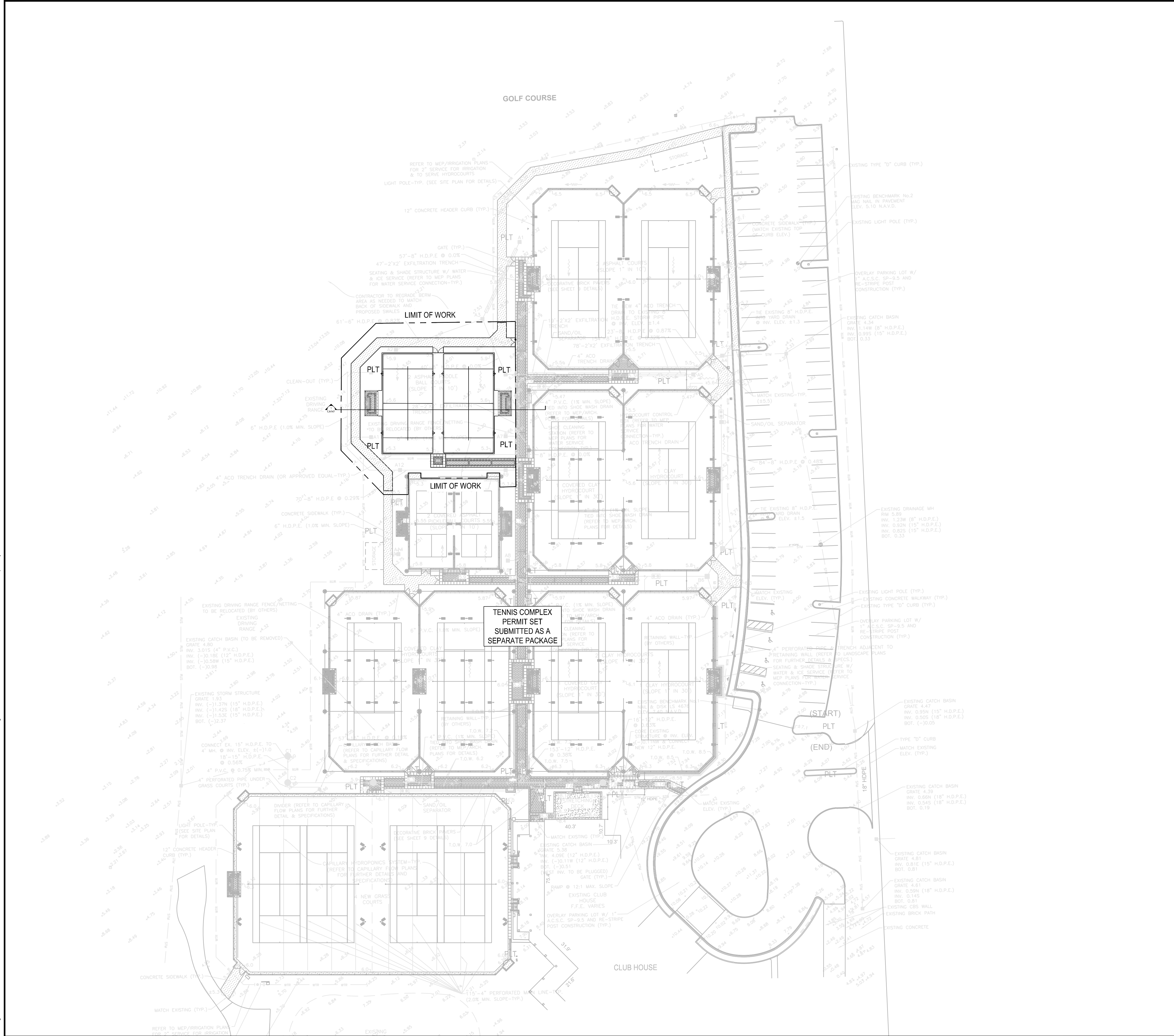
Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\L2-1-01 LAYOUT PLAN Jun 26, 2024 5:17pm by ecatala



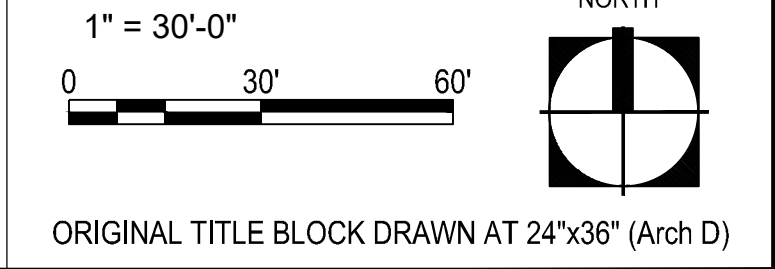
ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name	
 -PADEL COURTS-	
Client	
THE BREAKERS PALM BEACH 2 S County Rd Palm Beach, FL 33480	
Planning Landscape Architecture Urban Design	
1512 E. BROWARD BOULEVARD, SUITE 110 FORT LAUDERDALE, FLORIDA 33301 USA TEL: 954.524.3330	
Rev	Date
Issued for	
Key plan	
	
File Name	
Hearing Date	
Submittal Date	
Designed By	
Drawn By	
Approved / Checked By	
Project Number	
Seal	
Project Number	
Project Phase	
PERMIT SET	
Sheet Title	
LAYOUT PLAN	
Revision Number	Sheet Number
0	L2-1-01

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-08-SHEETS\007 - Padel Courts\L3-1-00-Overall Hardscape Plan.dwg L3-1-00-Overall Hardscape Plan Jun 27, 2024 1:29pm by ecstela



PC - PAVING / CURBS			
SYMBOL	ITEM	DETAIL	DESCRIPTION
PC-01	24"x24" PAVERS	1, 3, 4-01	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND
PC-02	8"x8" PAVERS	1, 2, 3, 4-01	TYPE: CONCRETE PAVER COLOR: IVORY, SILVER SAM PATTERN: RUNNING BOND
PC-03	12"x24" PAVERS	1, 3, 4-01	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND
PC-08	POURED IN PLACE CONCRETE	1, 3, 4-02	TYPE: CAST IN PLACE INTEGRAL COLOR: CONCRETE, GRAY CEMENT BASE COLOR: LIGHT GREY FINISH: MEDIUM BROOM
FG - FENCES / GATES / RAILINGS			
SYMBOL	ITEM	DETAIL	DESCRIPTION
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS	TYPE: CARBON STEEL, S355 FULL GALVANIZED AND NISH-FRAMES SUPPLIER: AOR SPORTS GROUP
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS
CS - COURT SURFACE			
SYMBOL	ITEM	DETAIL	DESCRIPTION
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS	TYPE: ARTIFICIAL TURF SUPPLIER: AOR SPORTS GROUP MODEL: INFINITY COLOR: LIGHT BLUE AND DARK BLUE
SS - SITE STRUCTURE			
SYMBOL	ITEM	DETAIL	DESCRIPTION
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS



Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

edsa

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

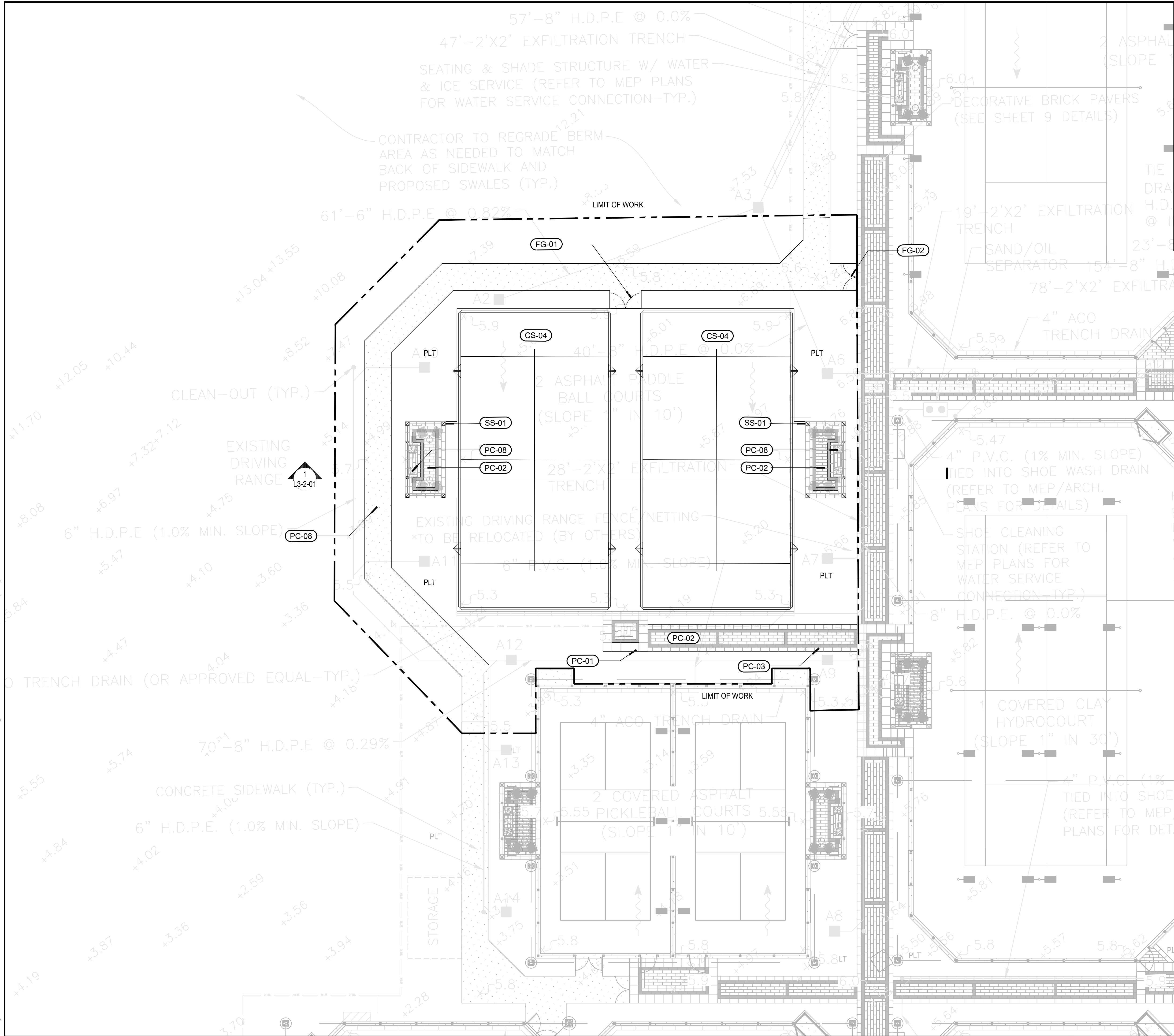
Project Number	
----------------	--

Project Phase	PERMIT SET
---------------	-------------------

Sheet Title	OVERALL LANDSCAPE PLAN
-------------	-------------------------------

Revision Number	Sheet Number
0	L3-1-00

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\3-1-01-HARDSCAPE PLAN.dwg 3-1-01-HARDSCAPE PLAN Jun 27, 2024 1:25pm by: ecstala



PC - PAVING / CURBS			
SYMBOL	ITEM	DETAIL	DESCRIPTION
PC-01	24"x24" PAVERS	1/3-4-01	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND
PC-02	8"x8" PAVERS	1/3-4-01	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND
PC-03	12"x24" PAVERS	1/3-4-01	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND
PC-08	POURED IN PLACE CONCRETE	1/3-4-02	TYPE: CAST IN PLACE INTEGRAL COLOR: CONCRETE, GRAY CEMENT BASE: LIGHT GREY FINISH: MEDIUM BROOM

FG - FENCES / GATES / RAILINGS			
SYMBOL	ITEM	DETAIL	DESCRIPTION
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS	TYPE: CARBON STEEL, SSSE FULL GALVANIZED AND WISH-FRAMES SUPPLIER: AOR SPORTS GROUP COLOR: RAL 9010 (WHITE)
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS

CS - COURT SURFACE			
SYMBOL	ITEM	DETAIL	DESCRIPTION
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS	TYPE: ARTIFICIAL TURF SUPPLIER: AOR SPORTS GROUP MODEL: INFINITY COLOR: LIGHT BLUE AND DARK BLUE

SS - SITE STRUCTURE			
SYMBOL	ITEM	DETAIL	DESCRIPTION
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS

1" = 10'-0"

0 10' 20'

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name

Hearing Date

Submittal Date

Designed By

Drawn By

Approved / Checked By

Project Number

Seal

Project Number

Project Phase

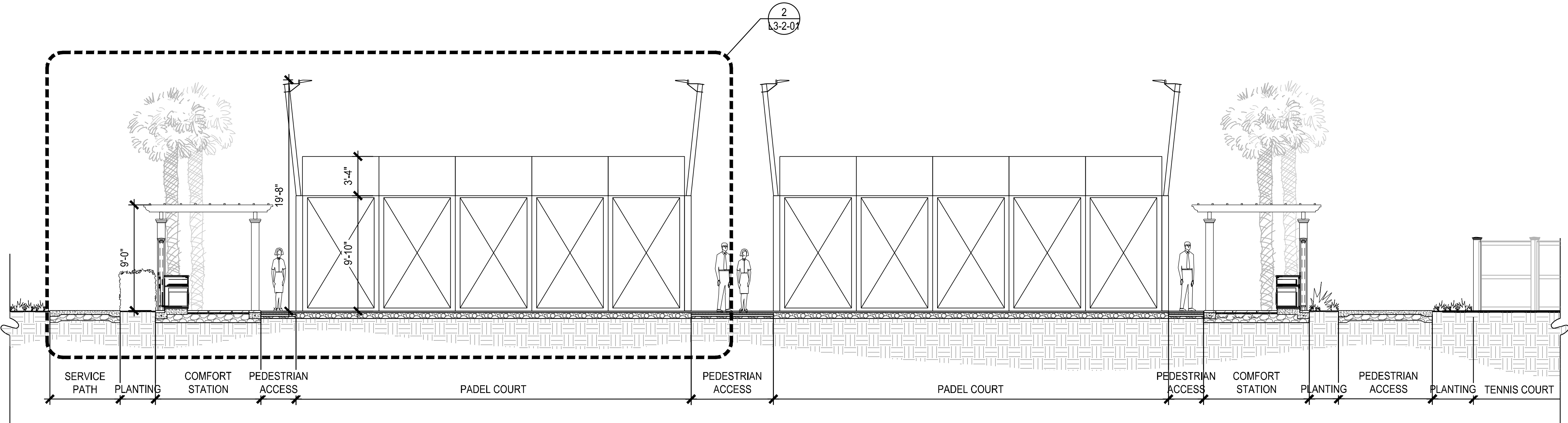
PERMIT SET

Sheet Title

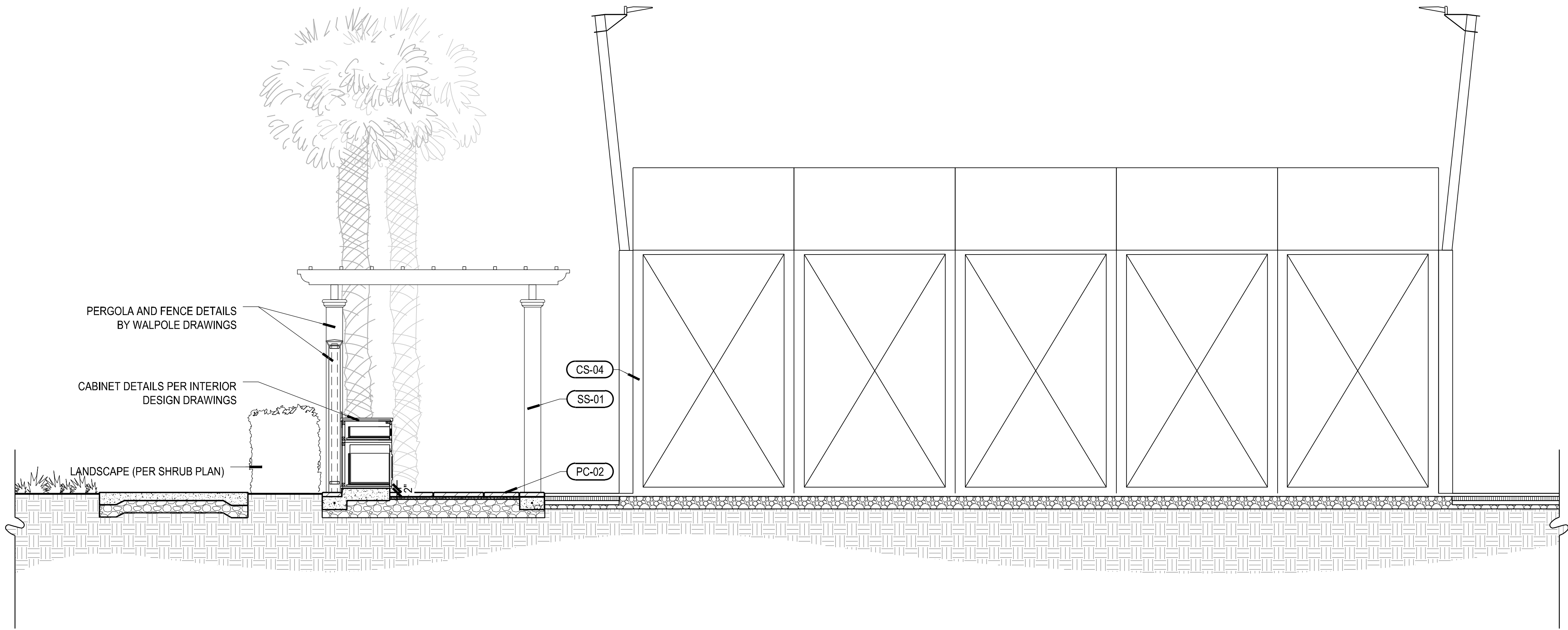
HARDSCAPE PLAN

Revision Number	Sheet Number
0	L3-1-01

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-06-SHEETS\067 - Padel Courts\L3-2-01 HARDSCAPE SECTIONS.dwg Jun 26, 2024 5:18pm by ecatala



1 PADEL COURT SECTION
SCALE - 3/16" = 1'-0"




2 PADEL COURT ENLARGEMENT
SCALE - 3/8" = 1'-0"

PC - PAVING / CURBS		
SYMBOL	ITEM	DETAIL
PC-01	24"X24" PAVERS	2 L3-4-01
PC-02	8"X24" PAVERS	1-2 L3-4-01
PC-03	12"X24" PAVERS	1 L3-4-01
PC-08	POURED IN PLACE CONCRETE	1 L3-4-02
FG - FENCES / GATES / RAILINGS		
SYMBOL	ITEM	DETAIL
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL
CS - COURT SURFACE		
SYMBOL	ITEM	DETAIL
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS
SS - SITE STRUCTURE		
SYMBOL	ITEM	DETAIL
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name




-PADEL COURTS-

Client

**THE BREAKERS
PALM BEACH**

2 S County Rd
Palm Beach, FL 33480

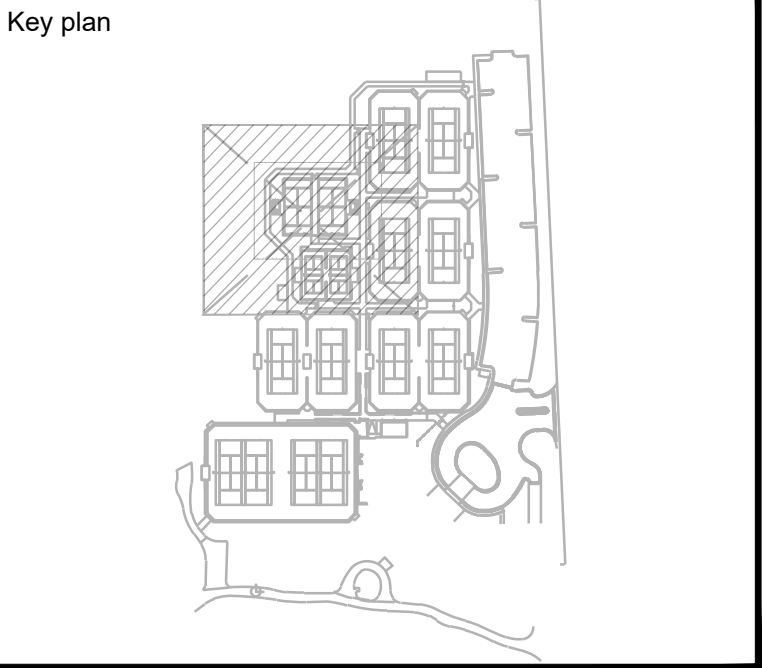


PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
2		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

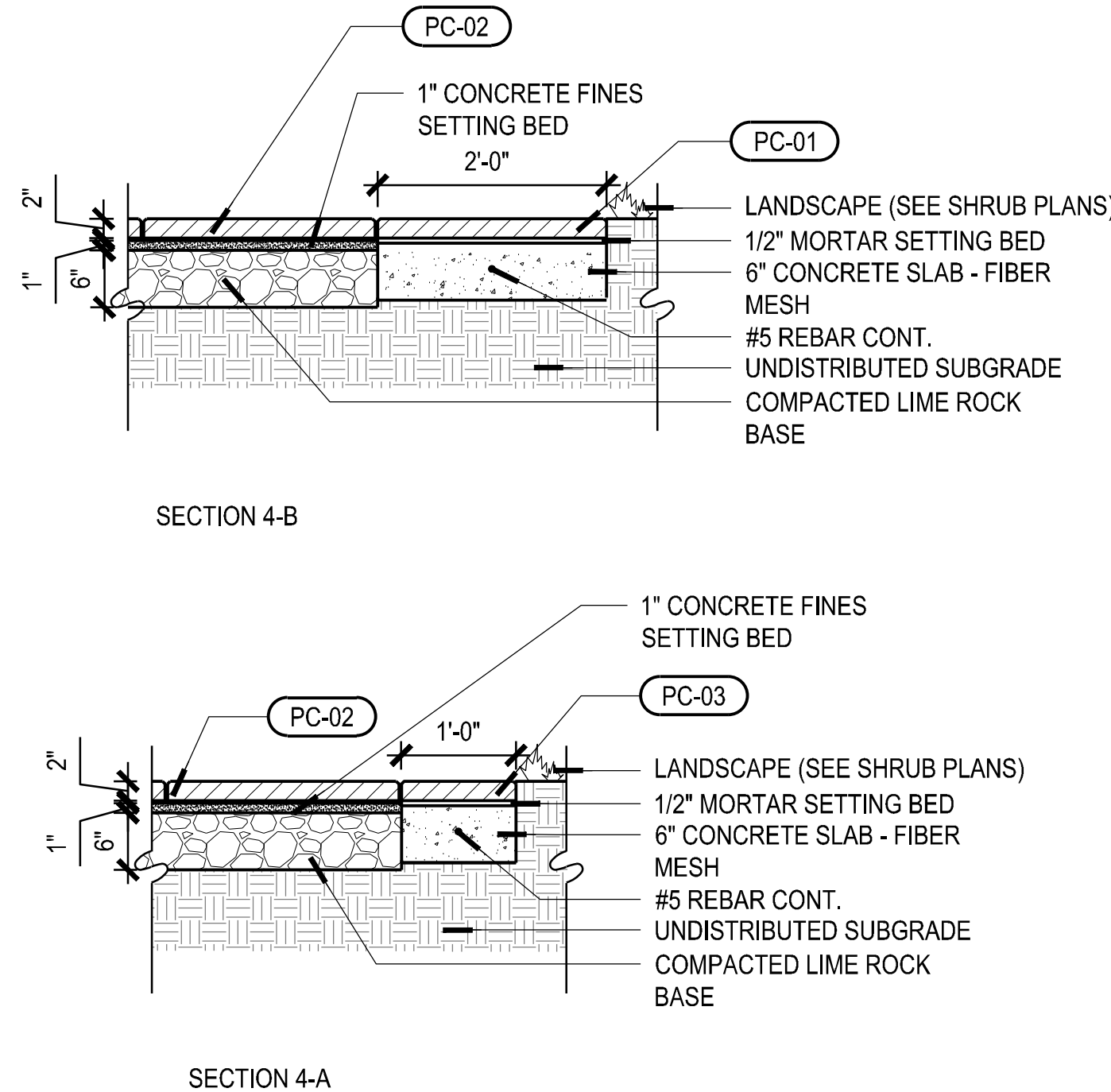
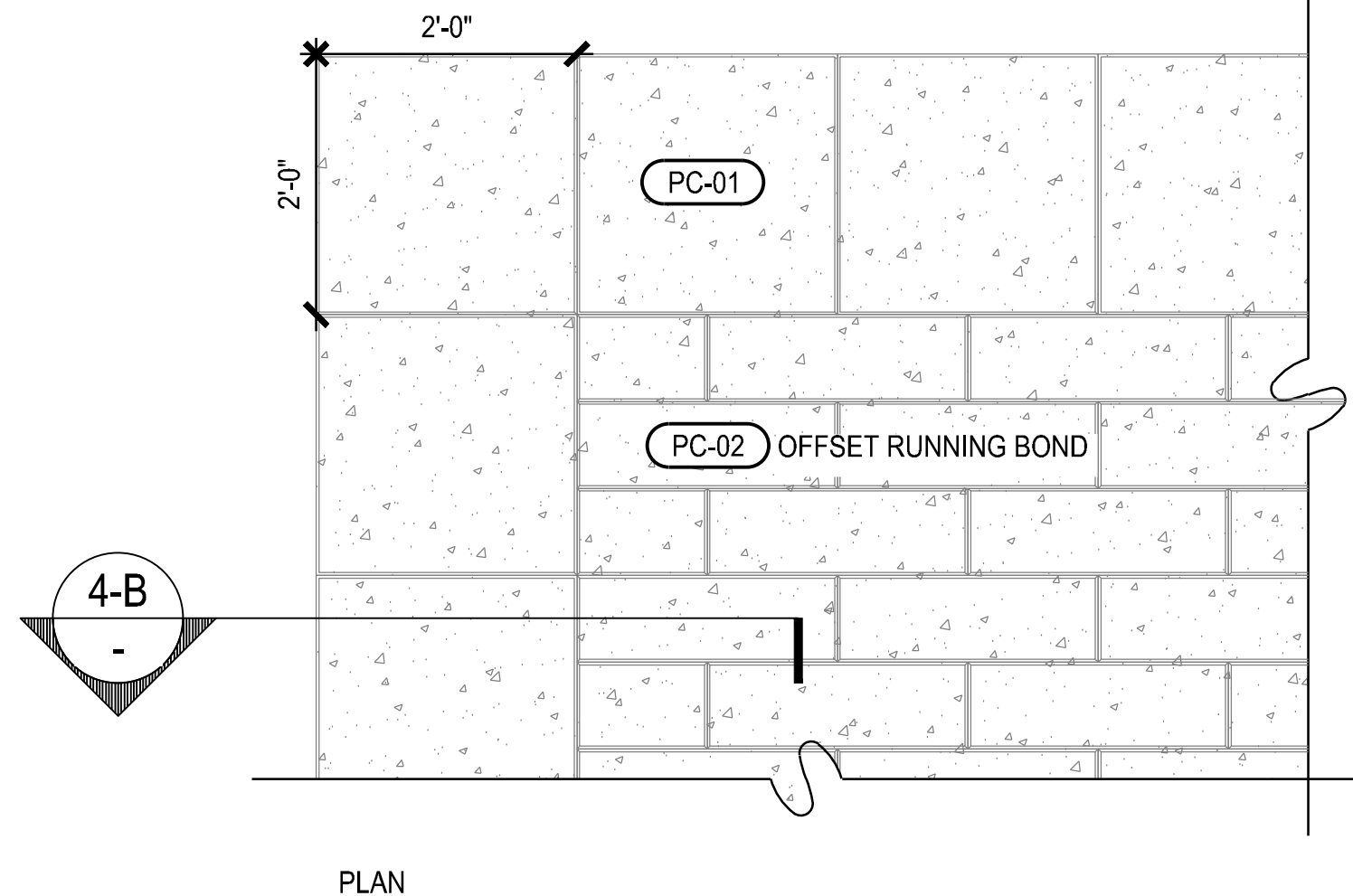
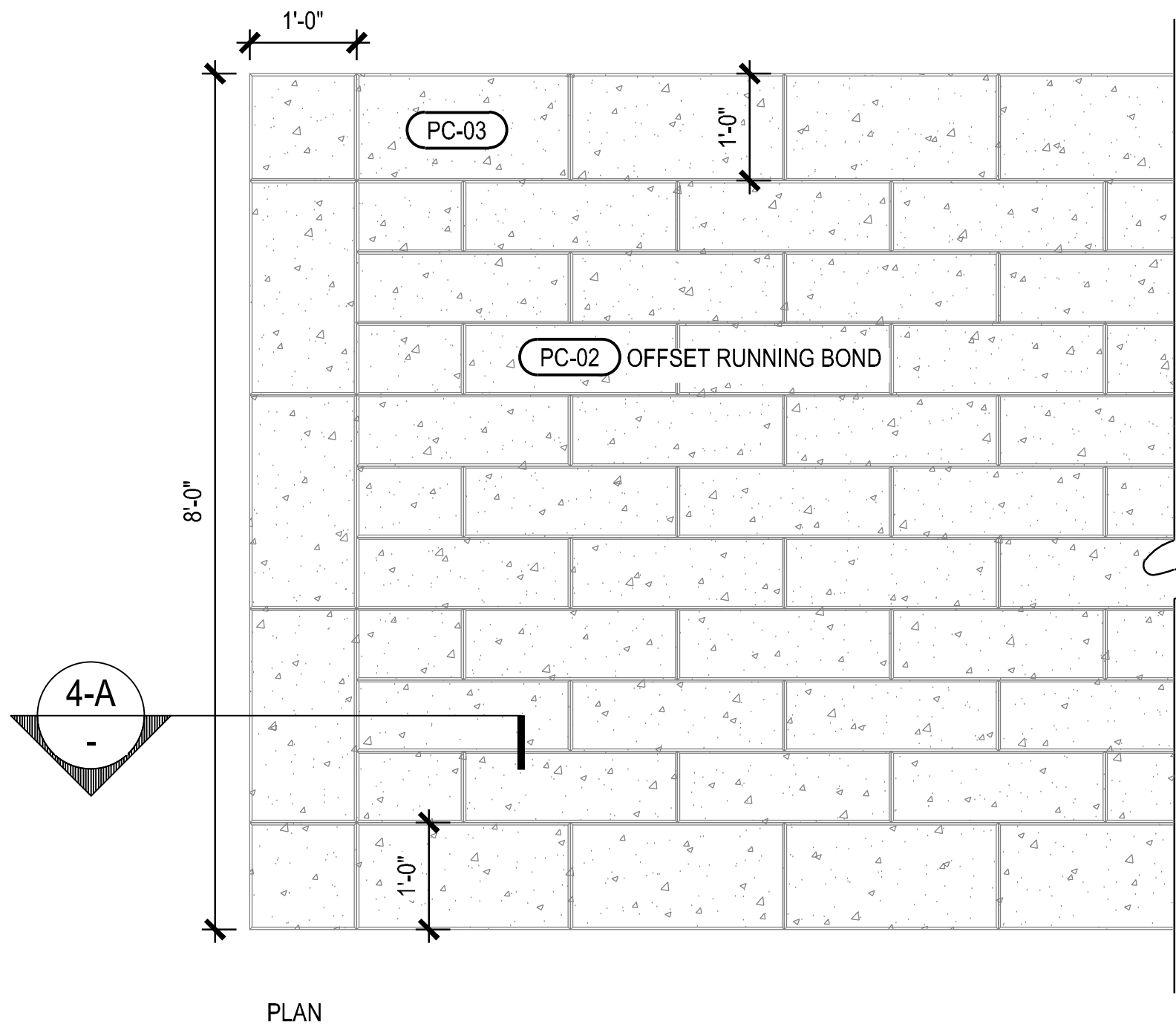
PERMIT SET

Sheet Title

HARDSCAPE SECTIONS

Revision Number	Sheet Number
0	L3-2-01

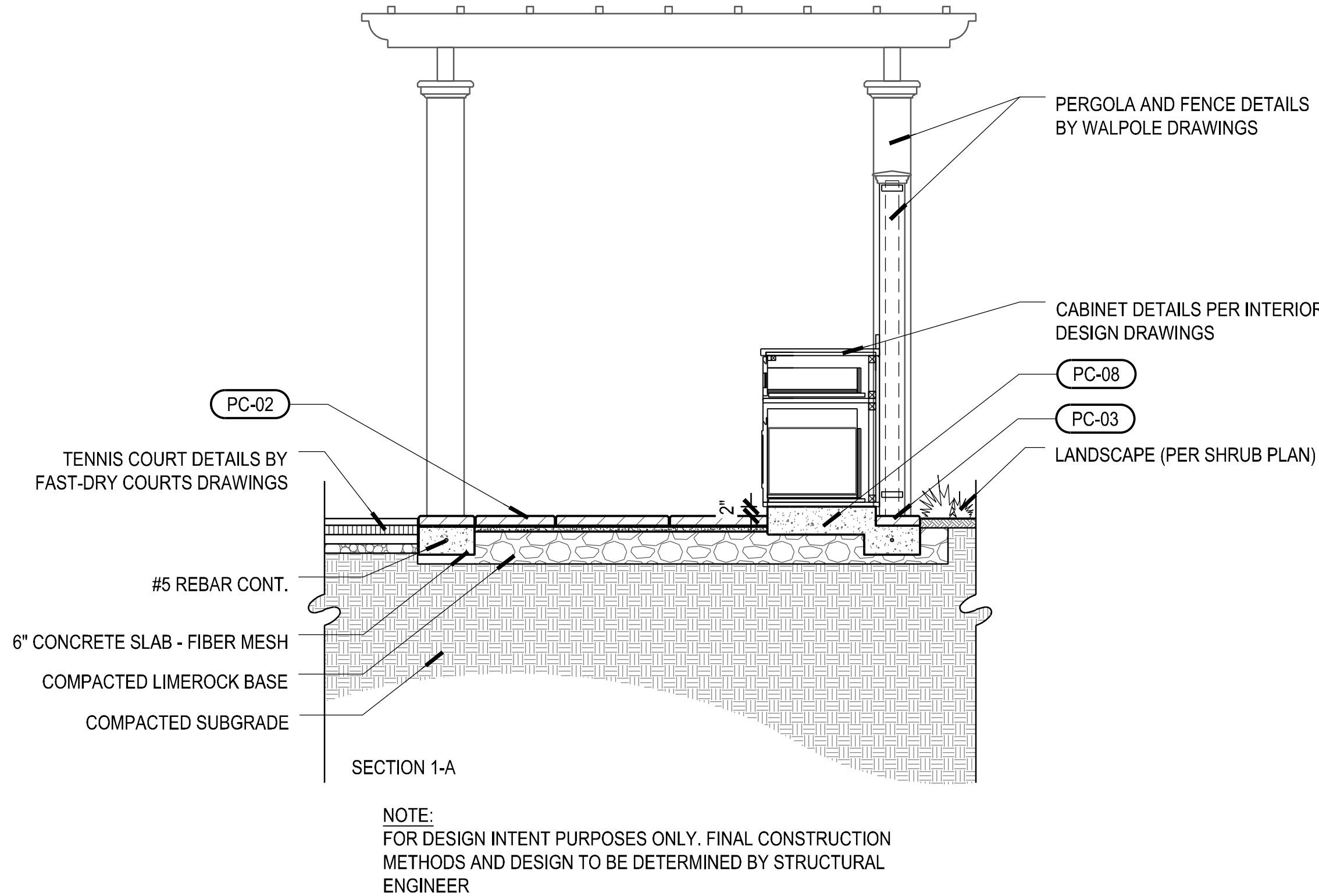
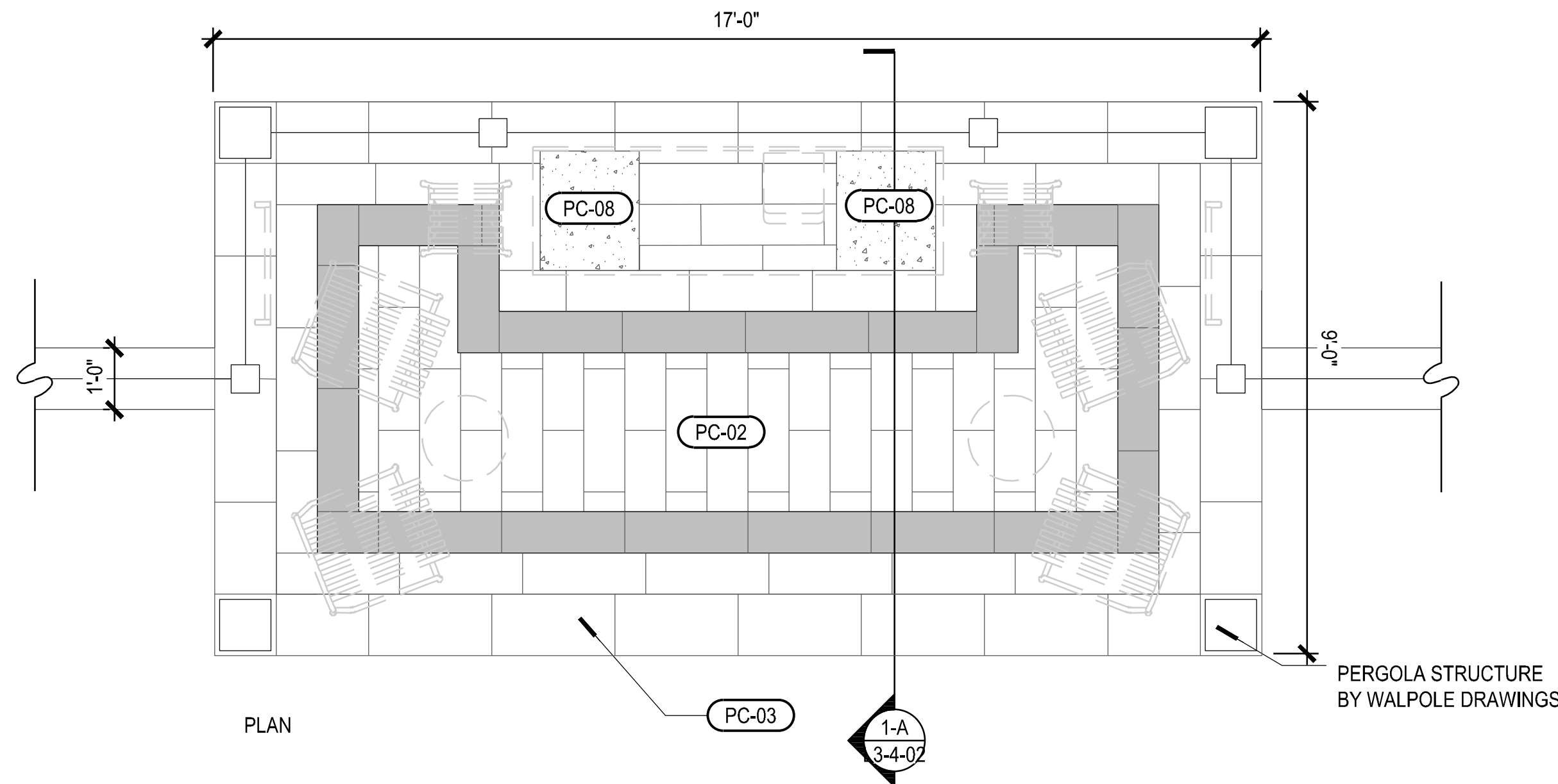
Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-08-SHEETS\067 - Padel Courts\3-4-04 HARD DETAILS.dwg Jun 26, 2024 5:18pm by: ecalala



1 CONCRETE PAVERS PATH
SCALE - 3/4" = 1'-0"

2 CONCRETE PAVERS AT COURT ACCESS
SCALE - 3/4" = 1'-0"

3 CONCRETE PAVER SECTION
SCALE - 3/4" = 1'-0"



4 COMFORT STATION
SCALE - 1/2" = 1'-0"

PC - PAVING / CURBS		
SYMBOL	ITEM	DETAIL
PC-01	24"x24" PAVERS	2 L3-4-01
PC-02	8"x24" PAVERS	1-2 L3-4-01
PC-03	12"x24" PAVERS	1 L3-4-01
PC-08	POURED IN PLACE CONCRETE	1 L3-4-02

FG - FENCES / GATES / RAILINGS		
SYMBOL	ITEM	DETAIL
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL

CS - COURT SURFACE		
SYMBOL	ITEM	DETAIL
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS

SS - SITE STRUCTURE		
SYMBOL	ITEM	DETAIL
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL

Project Name

THE BREAKERS
PALM BEACH
-PADEL COURTS-

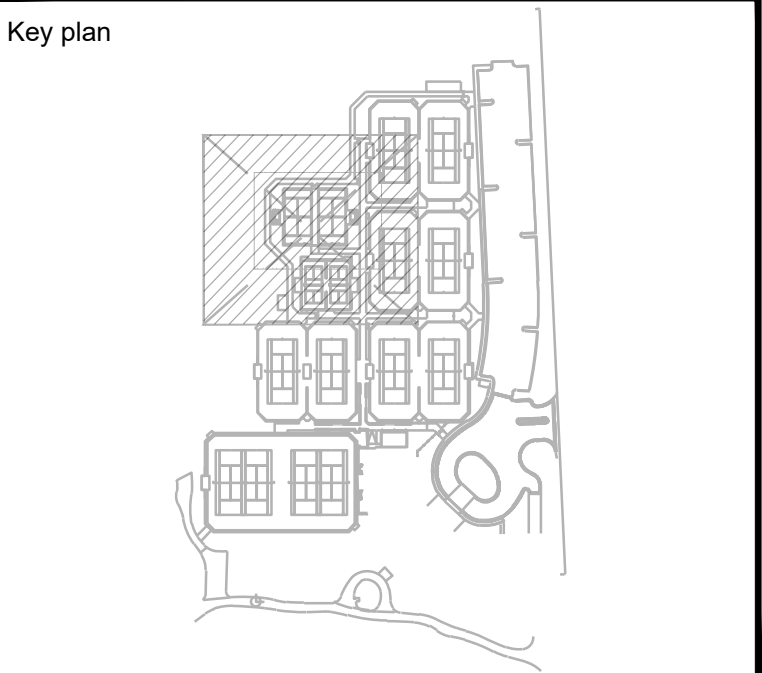
Client

THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
2		



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

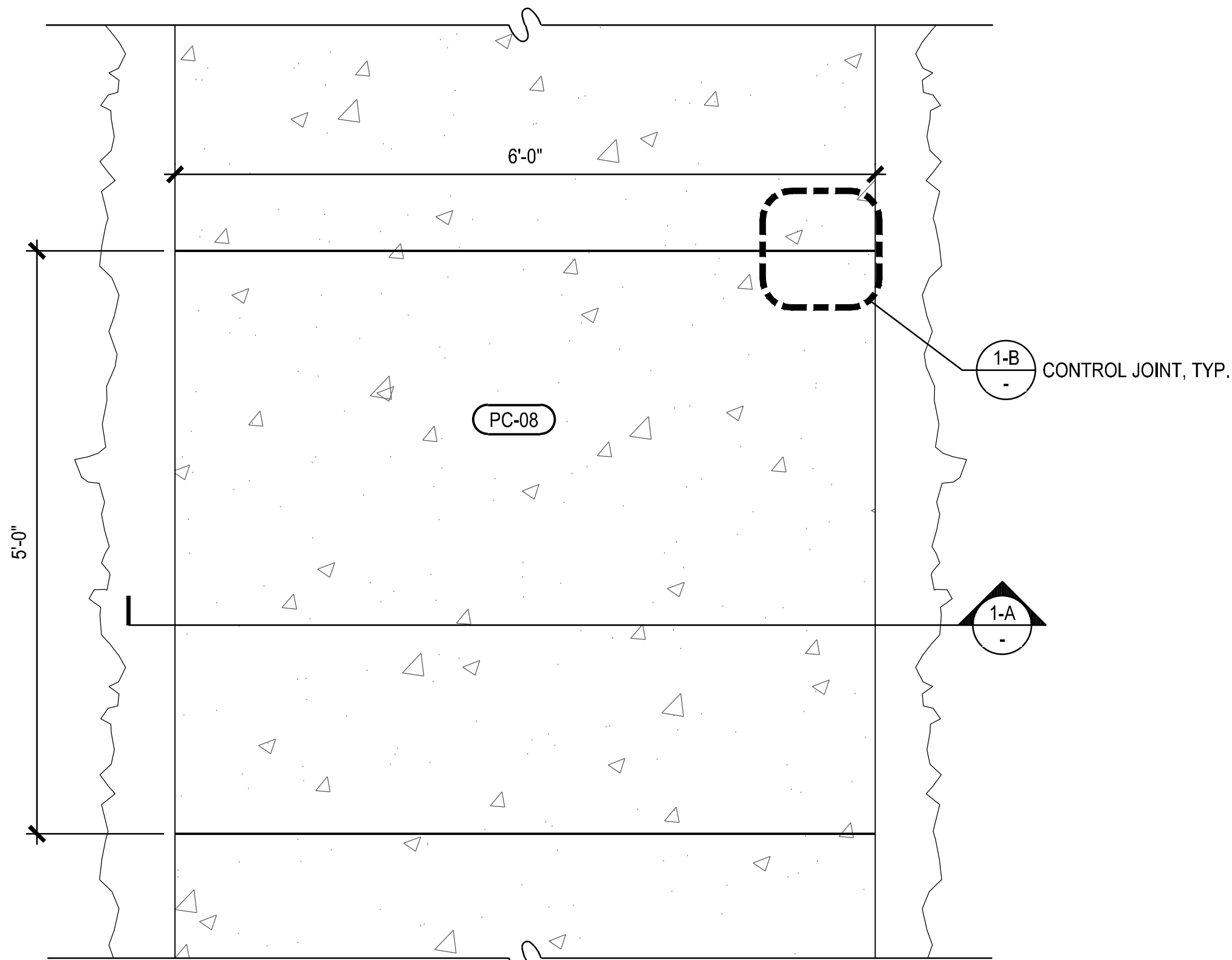
Sheet Title

HARDSCAPE DETAILS

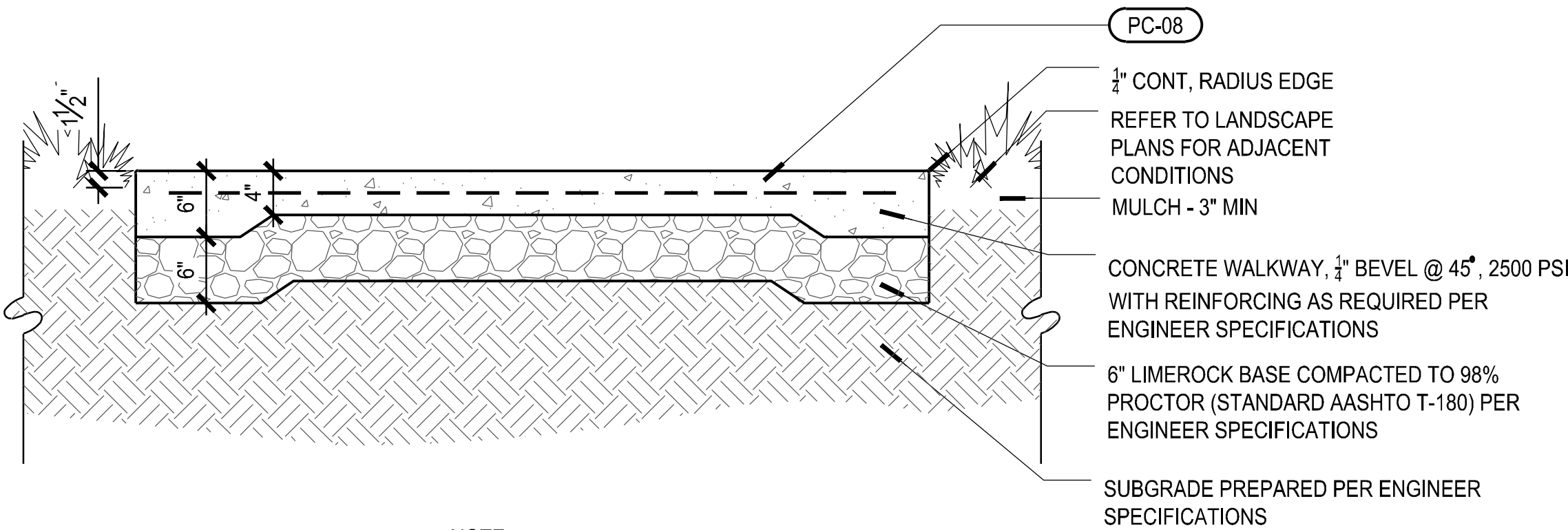
Revision Number	Sheet Number
0	L3-4-01

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\0067 - Padel Courts\L3-4-02 - HARDSCAPE DETAILS.dwg L3-4-02 - HARDSCAPE DETAILS Jun 26, 2024 5:18pm by ecaala



PLAN 1" = 1'-0"



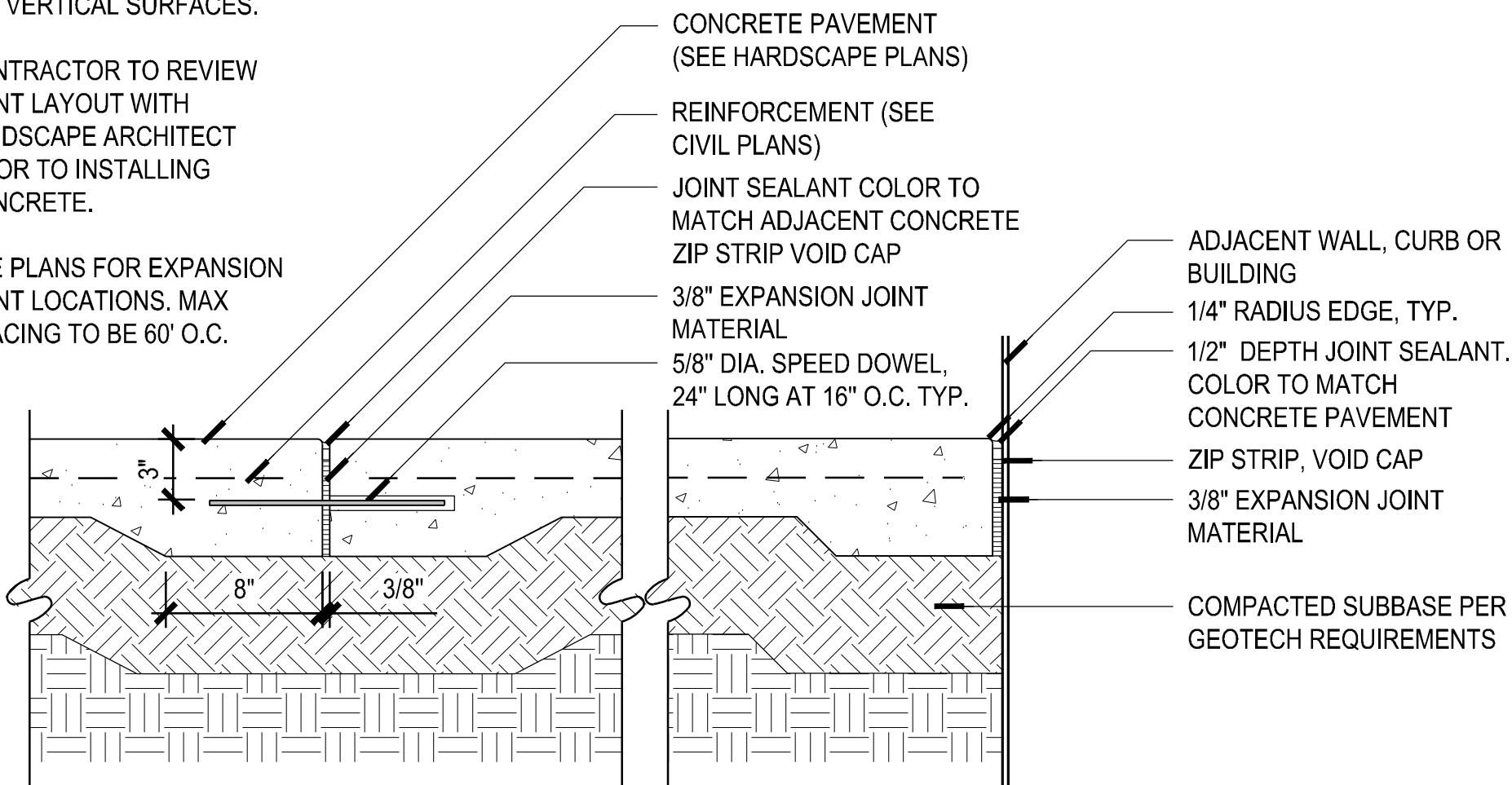
SECTION 1-A 1" = 1'-0"

NOTE:

- CONTRACTOR TO MOCK-UP MATERIAL TRANSITION AS PART OF PAVING MOCK-UPS FOR REVIEW AND APPROVAL.
- PLACE CONTROL JOINTS AT SPACING EQUAL TO WALKWAY WIDTH. WIDTHS VARY PER PLAN.
- 1.5% CROSS-SLOPE ON ALL PAVED SURFACES TO DRAIN.

NOTES:

- USE EXPANSION JOINTS WHERE PAVEMENT MEETS ALL VERTICAL SURFACES.
- CONTRACTOR TO REVIEW JOINT LAYOUT WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLING CONCRETE.
- SEE PLANS FOR EXPANSION JOINT LOCATIONS. MAX SPACING TO BE 60' O.C.



SECTION 1-B 1-1/2" = 1'-0"

1 SERVICE PATH
SCALE - 1"=1'-0"

PC - PAVING / CURBS

SYMBOL	ITEM	DETAIL
PC-01	24"X24" PAVERS	2 L3-4-01
PC-02	8"X24" PAVERS	1-2 L3-4-01
PC-03	12"X24" PAVERS	1 L3-4-01
PC-08	POURED IN PLACE CONCRETE	1 L3-4-02

FG - FENCES / GATES / RAILINGS

SYMBOL	ITEM	DETAIL
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL

CS - COURT SURFACE

SYMBOL	ITEM	DETAIL
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS

SS - SITE STRUCTURE

SYMBOL	ITEM	DETAIL
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name



Client

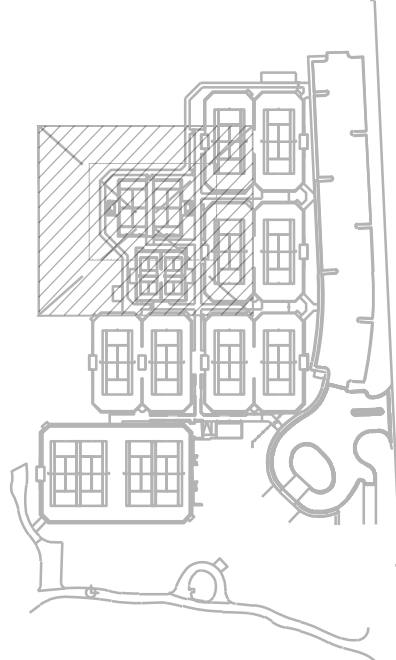
THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
△		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

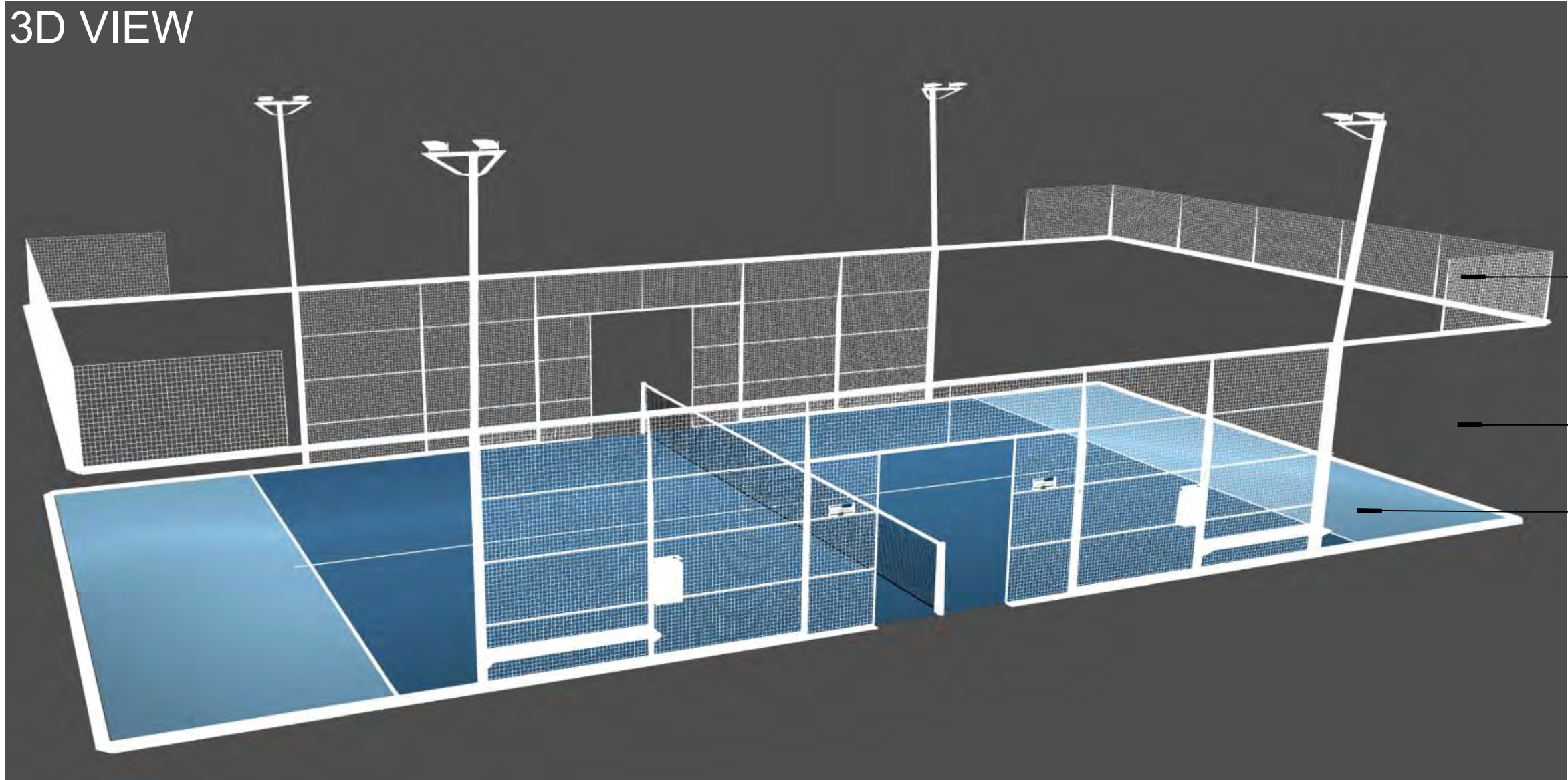
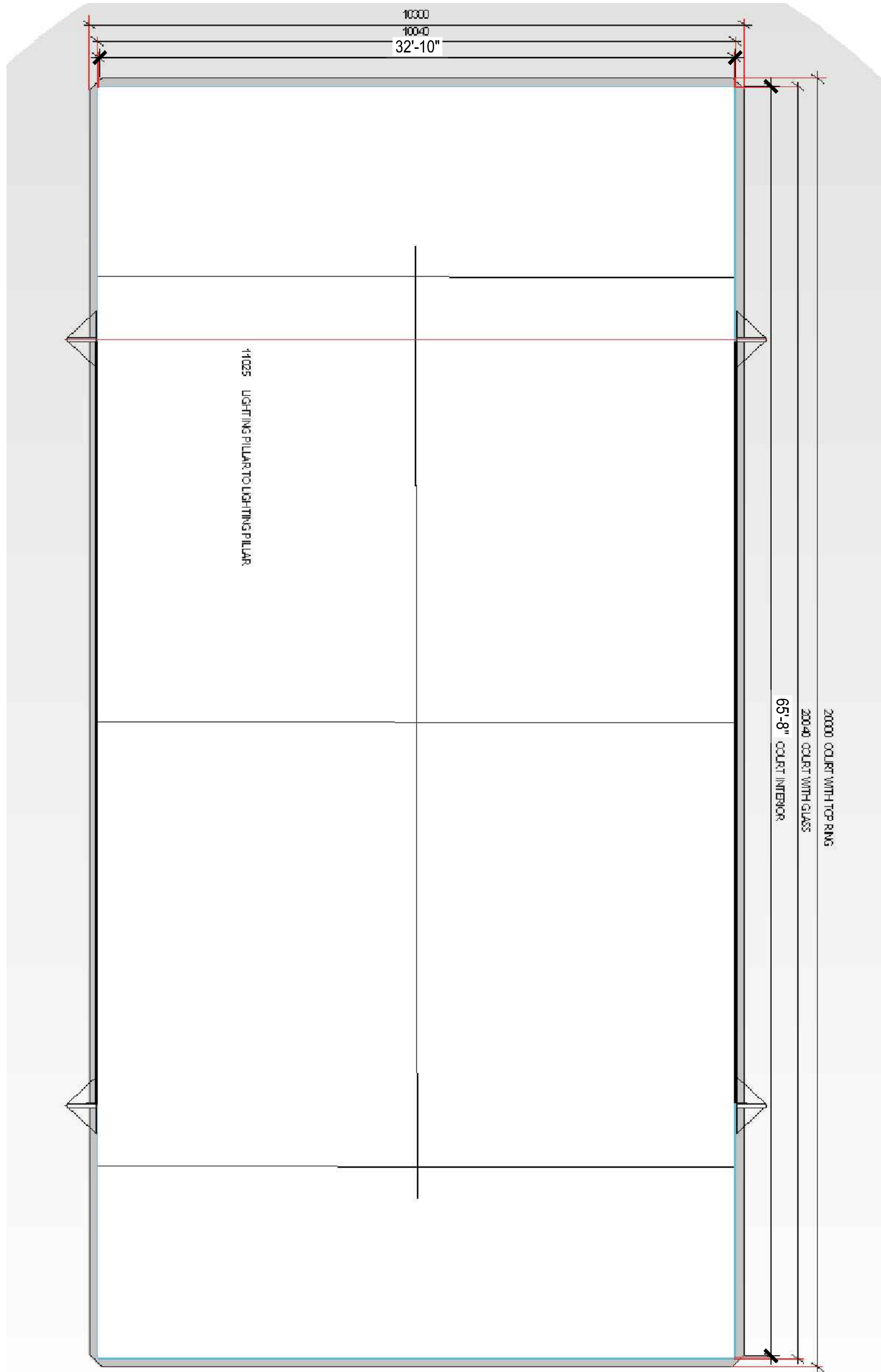
Project Number

Project Phase
PERMIT SET

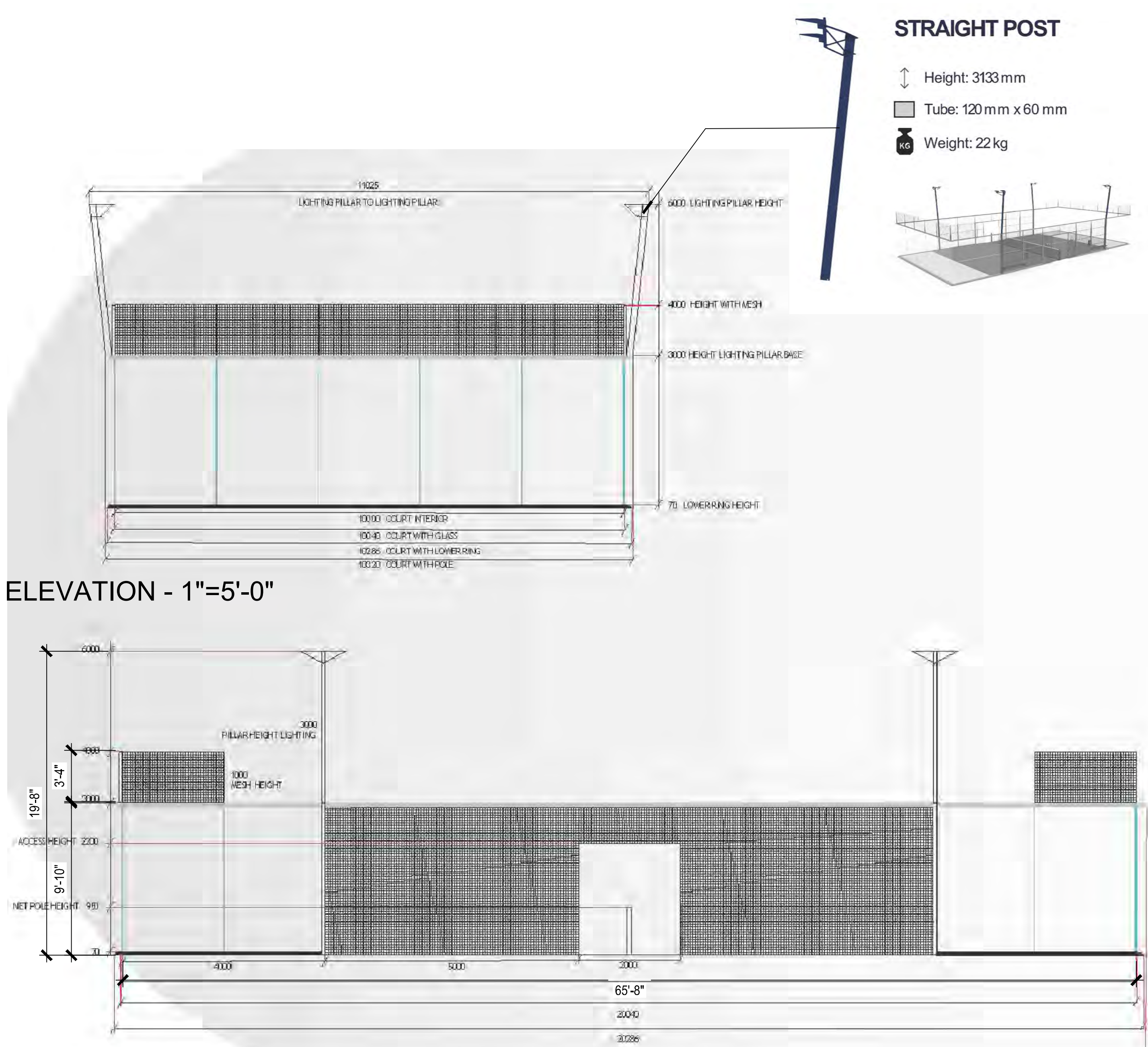
Sheet Title
HARDSCAPE DETAILS

Revision Number	Sheet Number
0	L3-4-02

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\L3-4-03 - HARDSCAPE DETAILS.dwg L3-4-03 - HARDSCAPE DETAILS Jun 27, 2024 1:59pm by ecatala



1 PADEL COURT
SCALE - NTS



ELEVATION - 1"=5'-0"

STRAIGHT POST

- Height: 3133 mm
- Tube: 120 mm x 60 mm
- Weight: 22 kg

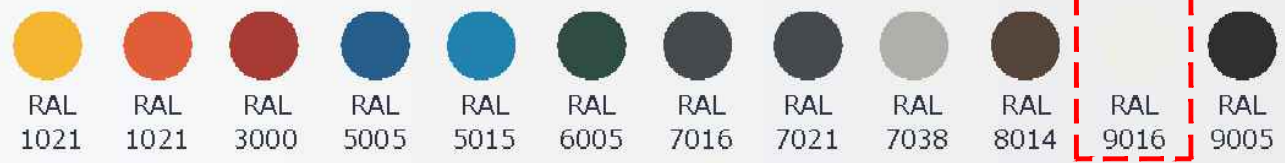


PC - PAVING / CURBS		
SYMBOL	ITEM	DETAIL
PC-01	24"x24" PAVERS	2 L3-4-01
PC-02	8"x24" PAVERS	1-2 L3-4-01
PC-03	12"x24" PAVERS	1 L3-4-01
PC-08	POURED IN PLACE CONCRETE	1 L3-4-02
FG - FENCES / GATES / RAILINGS		
SYMBOL	ITEM	DETAIL
FG-01	PADEL FENCE	PER MANUFACTURER'S DRAWINGS
FG-02	SITE GATES	PER MANUFACTURER'S DETAIL
CS - COURT SURFACE		
SYMBOL	ITEM	DETAIL
CS-04	PADEL COURT	PER COURT DESIGNER'S DRAWINGS
SS - SITE STRUCTURE		
SYMBOL	ITEM	DETAIL
SS-01	COMFORT STATION	PER MANUFACTURER'S DETAIL

Structure color

Choose any color on the RAL chart or combine them in the padel court.

MOST POPULAR COLOURS



Supplier:
MOR SPORTS GROUP
Contact info: Nick Blackwood
nick@morsportsgroup.com
<https://www.morsportsgroup.com>

Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
△		

Key plan

File Name

Hearing Date

Submittal Date JULY 1, 2024

Designed By CF

Drawn By EC, CF

Approved / Checked By CM

Project Number 121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

HARDSCAPE DETAILS

Revision Number	Sheet Number
0	L3-4-03

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\4006-SHEETS\0067 - Padel Courts\13-5-01 HARDSCAPE SCHEDULE.dwg 13-5-01 HARDSCAPE SCHEDULE Jun 26, 2024 5:19pm by ecatala

PC - PAVING / CURBS					
SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
<div>PC-01</div>	24"X24" PAVERS	<div>2</div> <div>L3-4-01</div>	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND	ARTISTIC PAVER PH: (305) 653-7283 Contact info: Ricardo Vazquez ricardo@artisticpavers.com	
<div>PC-02</div>	8"X24" PAVERS	<div>1-2</div> <div>L3-4-01</div>	TYPE: CONCRETE PAVER COLOR: IVORY, SILVER SAM PATTERN: RUNNING BOND	ARTISTIC PAVER PH: (305) 653-7283 Contact info: Ricardo Vazquez ricardo@artisticpavers.com	
<div>PC-03</div>	12"X24" PAVERS	<div>1</div> <div>L3-4-01</div>	TYPE: CONCRETE PAVER COLOR: IVORY PATTERN: RUNNING BOND	ARTISTIC PAVER PH: (305) 653-7283 Contact info: Ricardo Vazquez ricardo@artisticpavers.com	
<div>PC-08</div>	POURED IN PLACE CONCRETE	<div>1</div> <div>L3-4-02</div>	TYPE: CAST IN PLACE INTEGRAL COLOR: CONCRETE, GRAY CEMENT BASE COLOR: LIGHT GREY FINISH: MEDIUM BROOM	SIKA USA PH: (800) 933-7452 WEBSITE: https://usa.sika.com 201Palto Avenue Lyndhurst, NJ 07071	1. CONTRACTOR SHALL PROVIDE MOCK UP PER DETAIL. 2. L.A. RESERVES THE RIGHT TO REQUIRE MOCK UP UNTIL ADEQUATE MIX AND COLOR ARE PROVIDED FOR OWNERSHIP APPROVAL. 3. APPROVED MOCKUPS TO REMAIN ON SITE AS CONCRETE CONTROL BASIS FOR PROJECT DURATION.
FG - FENCES / GATES / RAILINGS					
SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
<div>FG-01</div>	PADEL FENCE	PER MANUFACTURER'S DRAWINGS	TYPE: CARBON STEEL S365 FULL GALVANIZED AND MESH FRAMES SUPPLIER: MOR SPORTS GROUP COLOR: RAL 9016 (WHITE)	MOR SPORTS GROUP Contact info: Nick Blackwood nick@morsportsgroup.com https://www.morsportsgroup.com	
<div>FG-02</div>	SITE GATES	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS	WALPOLE OUTDOORS PH: (941) 400-7444 Contact Info: Russell Clark russ.clark@walpoleoutdoors.com	
CS - COURT SURFACE					
SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
<div>CS-04</div>	PADEL COURT	PER COURT DESIGNER'S DRAWINGS	TYPE: ARTIFICIAL TURF SUPPLIER: MOR SPORTS GROUP MODEL: INFINITY COLOR: LIGHT BLUE AND DARK BLUE	MOR SPORTS GROUP Contact info: Nick Blackwood nick@morsportsgroup.com https://www.morsportsgroup.com	
SS - SITE STRUCTURE					
SYMBOL	ITEM	DETAIL	DESCRIPTION	SOURCE	NOTES
<div>SS-01</div>	COMFORT STATION	PER MANUFACTURER'S DETAIL	BY WALPOLE DRAWINGS	WALPOLE OUTDOORS PH: (941) 400-7444 Contact Info: Russell Clark russ.clark@walpoleoutdoors.com	

Project Name



-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

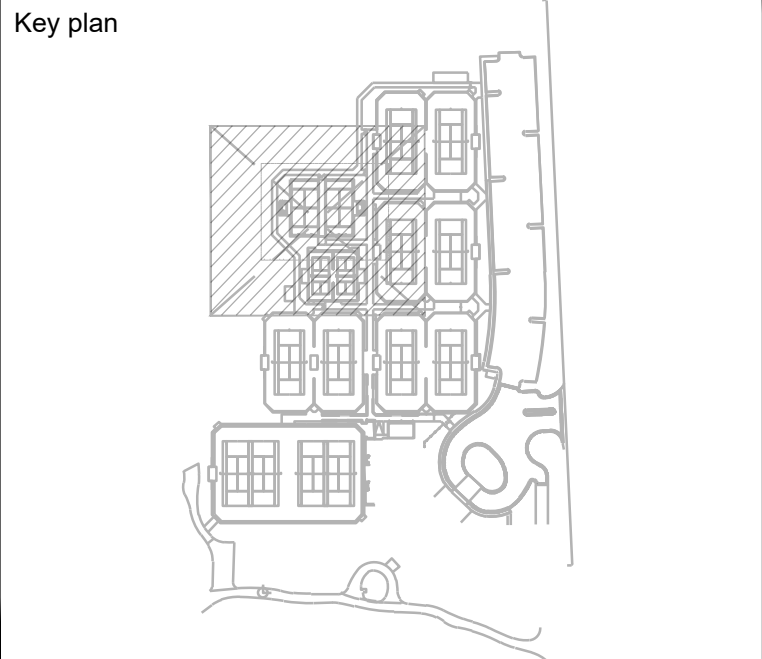


PLANNING
LANDSCAPE, ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
<div>△</div>		
<div>1</div>		
<div>2</div>		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

HARDSCAPE SCHEDULE

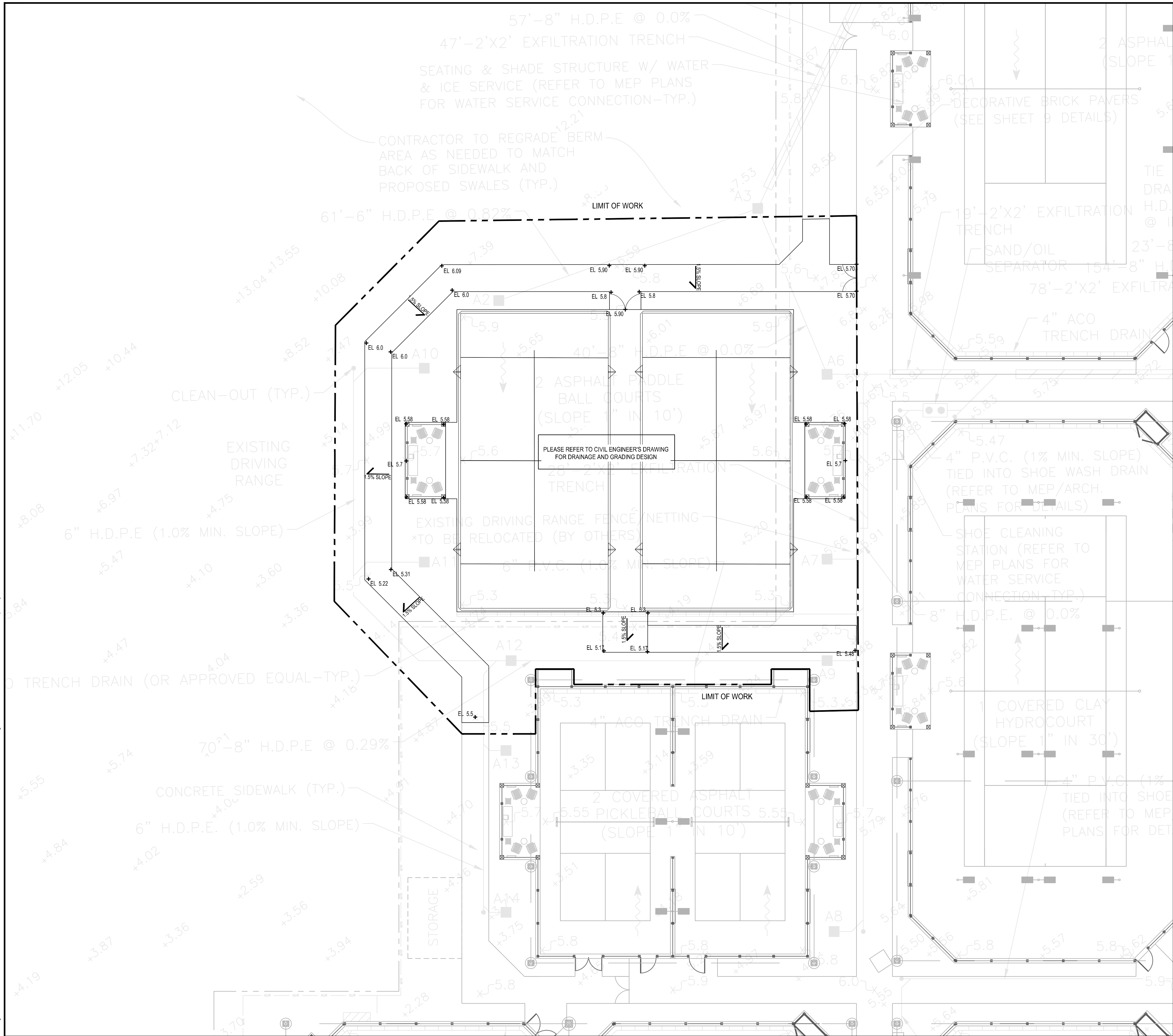
Revision Number

0

Sheet Number

L3-5-01

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\006-SHEETS\007 - Padel Courts\L4-1-01 GRADING PLAN.dwg L4-1-01 GRADING PLAN Jun 26, 2024 5:19pm by: ecstala



LEGEND

- ELEVATION
- CALLOUT
- ◆ +3.50 PROPOSED ELEVATION
- + FFL FINISHED FLOOR ELEVATION
- + TW TOP OF WALL
- + BW BOTTOM OF WALL
- TRENCH DRAIN
- + TS TOP OF STEP
- + BS BOTTOM OF STEP
- + TC TOP OF CURB
- + BC BOTTOM OF CURB
- + WL WATER LEVEL
- + BP BOTTOM OF POOL
- #R NUMBER OF RISERS
- DRAIN INLET
- 1.0% SLOPE INDICATOR
- DETENTION / RETENTION AREA
- EXISTING ELEVATIONS

1" = 10'-0"

0 10' 20'

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

GRADING PLAN

Revision Number	Sheet Number
<p>0</p>	<p>L4-1-01</p>

GENERAL NOTES:

1. PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. THE CONTRACTOR SHALL SUBMIT DATED PHOTOGRAPHS OF ALL PLANT MATERIAL NOT TAGGED BY THE OWNERS REPRESENTATIVE TO THE OWNERS REPRESENTATIVE FOR REVIEW PRIOR TO DELIVERY OF MATERIALS TO THE PROJECT. ALL PHOTOGRAPHS OF TREES AND PALMS SHALL HAVE A MEASURING DEVICE AND PERSON IN THE PHOTO FOR SCALE. NURSERY SOURCE, HEIGHT, WIDTH AND CALIPER OF PLANT MATERIAL SHALL BE INCLUDED WITH THE PHOTOGRAPH.
2. THE PLANT MATERIAL QUANTITIES SHOWN IN THE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT MATERIAL QUANTITIES AND NOTIFYING THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO THE AWARD OF CONTRACT AND COMMENCEMENT OF WORK.
3. THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ANY PLANT MATERIALS THAT DO NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN AND REQUIRE THE CONTRACTOR TO REPLACE THE REJECTED MATERIAL WITH MATERIAL MEETING THE SPECIFICATIONS. MAINTENANCE OF REPLACED MATERIAL SHALL CONTINUE UNTIL FINAL ACCEPTANCE.
4. THE OWNERS REPRESENTATIVE MAY ADJUST THE LOCATIONS OF THE PLANT MATERIAL SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
5. NO PLANT MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE OWNERS REPRESENTATIVE.
6. THE INSTALLATION OF ALL PLANT MATERIALS SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THIS WORK PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND BEAR ALL COSTS RELATED TO THE TESTING OF EXISTING SOILS, PREPARED PLANTING MIXES AND AMENDMENTS.
9. THE CONTRACTOR SHALL PROTECT ALL PLANT MATERIAL TO REMAIN. THE CONTRACTOR SHALL INSTALL AND/OR MAINTAIN BARRICADES AS DETAILED ON THE DRAWINGS AND AS OUTLINED IN THE DEMOLITION/SITE CLEARING NOTES.
10. THE CONTRACTOR SHALL REFER TO THE GENERAL, FINE GRADING AND HARDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.
11. ALL PLANT MATERIAL SHALL MEET OR EXCEED THE FOLLOWING:
 - A. AMERICAN STANDARDS FOR NURSERY STOCK, ANSI Z60.1.
 - B. FLORIDA GRADE NO. 1, FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS FOR NURSERY PLANTS LATEST ADDITION.
12. PLANTS SHALL BE SYMMETRICAL AS IS TYPICAL FOR THEIR VARIETY AND SPECIES. THEY SHALL BE FREE FROM PLANT DISEASE, INSECTS OR THEIR EGGS.
13. NURSERY GROWN STOCK SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT.
14. ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. HEIGHT AND SPREAD TAKE PRECEDENCE OVER CALIPER AND CONTAINER SIZES.
15. CONTAINER PLANTS SHALL HAVE BEEN GROWN IN A RIGID CONTAINER FOR A MINIMUM TIME AS FOLLOWS:
 - A. TREES.....2 YEARS.
 - B. SHRUBS.....1 YEAR.
 - C. GROUNDCOVERS.....6 MONTHS.
16. ALL CONTAINER PLANTS SHALL HAVE ROOTS SUFFICIENTLY DEVELOPED TO HOLD THE SOIL TOGETHER WHEN REMOVED FROM ITS CONTAINER. NO PLANT MATERIAL SHALL BE BOUND TO THE CONTAINER NOR HAVE CIRCULAR ROOTS.
17. BALLED AND BURLAPPED PLANTS WILL NOT BE ACCEPTED WHEN THE ROOT BALL HAS BEEN CRACKED OR BROKEN.
18. PLANTS GROWN IN GROW BAGS ARE PROHIBITED.
19. SOD SHALL BE THE SPECIES AS CALLED FOR ON THE DRAWINGS. SOD SHALL BE WELL MATTED WITH HEAVY ROOT DEVELOPMENT AND FREE OF WEEDS, FUNGUS AND OTHER DISEASES.
20. SOD SHALL BE MACHINE CUT TO A COMMERCIAL SIZE WITH A UNIFORM THICKNESS OF 1-1/4 TO 1-1/2 INCH THICKNESS.

SOIL PREPARATION AND SOIL MIX NOTES:

1. PREPARED PLANTING MIX SHALL CONSIST OF THE FOLLOWING:
 - A. TREES/SHRUBS/GROUND COVER.....70% CLEAN BUILDERS SAND, 30% TOPSOIL/PEAT MIX.
 - B. PALMS.....90% CLEAN BUILDERS SAND, 10% TOPSOIL/PEAT MIX.
 - C. ANNUALS.....50% CLEAN BUILDERS SAND, 25% PEAT, 25% VERMICULITE.
2. PREPARED PLANTING MIX FOR LANDSCAPE ON STRUCTURE SHALL CONSIST OF THE FOLLOWING:
 - A. 20% CLEAN BUILDERS SAND, 30% PEAT, 30% RICE ROCK, 20% PERLITE.
3. THE COMPOSITION OF THE PREPARED PLANTING MIX MAY BE MODIFIED BASED ON RECOMMENDATIONS FROM THE SOIL TEST(S).
4. TOPSOIL SHALL BE NATURAL SURFACE SOIL, FERTILE, FRIABLE AGRICULTURAL SOIL FREE OF WEEDS WITH 4-6% ORGANIC MATTER, A PH OF 5.5 TO 6.5 AND CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
5. EXISTING SOIL MAY BE SUBSTITUTED FOR TOPSOIL AND/OR SAND BASED ON THE RESULTS OF THE SOIL TEST(S).
6. PEAT SHALL BE ORGANIC PEAT SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE SHREDDED WITH PIECES NO LARGER THAN ONE-HALF INCH (1/2") IN DIAMETER. PEAT SHALL HAVE A PH OF 4.5 TO 6.5 AND SHALL BE STERILIZED TO MAKE IT FREE OF WEEDS AND NEMATODES.
7. COMPOSTED ORGANICS SHALL BE WOOD SHAVINGS, PINE BARK, GREEN WASTES OR CLEAN AGRICULTURAL WASTES, WELL-ROTTED AND SCREENED THROUGH A ONE-HALF INCH (1/2") SCREEN.
8. COMPONENTS OF THE PREPARED PLANTING MIX SHALL BE BLENDED OUTSIDE OF THE PLANTING BEDS. THE CONTRACTOR SHALL SUBMIT A TWO-GALLON SAMPLE TO A CERTIFIED SOILS TEST LABORATORY FOR ANALYSIS. BASED ON THE LABORATORY ANALYSIS THE CONTRACTOR SHALL APPLY SOIL AMENDMENTS AS NECESSARY TO ADJUST THE PREPARED PLANTING MIX TO MEET THE FOLLOWING REQUIREMENTS:
 - A. PH VALUE BETWEEN 5.5 AND 6.6.
 - B. ORGANIC MATTER CONTENT BETWEEN 5% AND 10% OF TOTAL DRY WEIGHT.
 - C. NITROGEN 5% AVERAGE OF ORGANIC MATTER.
 - D. PHOSPHORUS 0.05% AVERAGE OF TOTAL SOIL CONTENT.
 - E. POTASSIUM 1.2% AVERAGE OF TOTAL SOIL CONTENT.
9. FERTILIZER FOR PLANT MATERIALS SHALL BE AS FOLLOWS:
 - A. PALMS.....13-3-13 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.
 - B. TREES.....8-8-6 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 1/2 CALIPER INCH.

SOIL PREPARATION AND SOIL MIX NOTES: (cont.)

- D. SHRUBS/GROUNDCOVERS.....8-10-10 PLUS MINOR ELEMENTS-SLOW RELEASE. 1/2 LB. FERTILIZER PER 100 SQ. FT.
- E. LAWN.....16-4-8 PLUS MINOR ELEMENTS-SLOW RELEASE. 1LB. FERTILIZER PER 1,000 SQ. FT.
- F. ENDO AND ECTOMYCORRHIZAL INOCULANTS.....DIE HARD OR OWNERS REPRESENTATIVE APPROVED EQUAL.
- F. ANTI-DESICCANT.....WILT-PRUF OR OWNERS REPRESENTATIVE APPROVED EQUAL.
10. ALL FERTILIZERS SHALL BE MANUFACTURED FROM QUALITY MATERIALS, FREE FROM IMPURITIES AND SHALL MEET RECOGNIZED STANDARDS FOR EFFECTIVENESS.
11. ALL FERTILIZERS SHALL BE FREE FLOWING AND SUITABLE FOR APPLICATION WITH APPROVED EQUIPMENT.
12. ALL FERTILIZER SHALL BE DELIVERED TO THE SITE IN CONTAINERS, EACH FULLY LABELED CONFORMING TO APPLICABLE STATE FERTILIZER LAWS AND BEARING THE GRADE AND TRADE NAME OF THE PRODUCER.
13. AFTER ROUGH GRADING HAS BEEN COMPLETED ONE SAMPLE OF EXISTING SOIL PER 5,000 SQ. FT. OF LANDSCAPE AREAS SHALL BE SUBMITTED TO A CERTIFIED SOILS TESTING LABORATORY FOR ANALYSIS AS TO THE SUITABILITY OF THE EXISTING SOIL TO MEET THE REQUIREMENT OF THE PREPARED PLANTING MIX.
14. SOIL SAMPLES SHALL BE TAKEN TO A DEPTH OF TWENTY-FOUR INCHES (24").
15. SHOULD TEST RESULTS INDICATE THAT THE EXISTING SOILS DO NOT FALL WITHIN THE REQUIREMENTS FOR PREPARED PLANTING MIX THE CONTRACTOR SHALL:
 - A. SUBMIT TO THE OWNERS REPRESENTATIVE FOR APPROVAL AN AMENDED PLANTING MIX ALONG WITH RECOMMENDATION FOR ORGANIC MATERIALS, FERTILIZERS AND/OR OTHER MATERIALS FOUND NECESSARY TO ASSURE OPTIMUM PLANT GROWTH. PROPOSED REVISIONS SHALL INCLUDE METHODOLOGY FOR INCORPORATING THE AMENDMENTS TO A DEPTH OF TWENTY-FOUR INCHES (24"). ANY RECOMMENDED REVISIONS SHALL BE APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF THE AMENDED PLANTING MIX.....OR
 - B. EXCAVATE LANDSCAPE BEDS CONTAINING NONCOMPLIANT EXISTING SOILS TO A DEPTH OF 24 INCHES (24") AND BACKFILL WITH PREPARED PLANTING MIX AS SPECIFIED. PREPARED PLANTING MIX SHALL BE PLACED AND COMPACTED TO 80% STANDARD PROCTOR IN TWELVE INCH (12") LIFTS.
16. EXISTING SOILS MAY BE USED IN EITHER THE PREPARED OR AMENDED PLANTING MIXES AS DETERMINED BY THE SOIL TEST RECOMMENDATIONS.
17. EXCAVATED SOIL MAY BE USED FOR ONSITE FILL IF IT COMPLIES WITH GEOTECHNICAL REQUIREMENTS.
18. SUBMITTALS:
 - A. RESULTS OF SOIL TESTS INCLUDING CONTENT/MIX ANALYSIS AND AMENDMENT RECOMMENDATIONS.
 - B. CERTIFICATION THAT PREPARED AND/OR AMENDED PLANTING MIX MEETS REQUIREMENTS.
 - C. LITERATURE AND PROPOSED APPLICATION RATES FOR SOIL AMENDMENTS, HERBICIDES AND STERILIZERS.

IRRIGATION NOTES:

1. CONTRACTOR TO MODIFY / RETROFIT THE EXISTING IRRIGATION ZONE(S) TO SUPPLY RECONFIGURED PLANTING AREAS UTILIZING MATCHING HEADS.

PLANTING NOTES:

1. PRIOR TO THE INSTALLATION OF PLANT MATERIALS, THE CONTRACTOR SHALL CONFIRM IN WRITING TO THE OWNERS REPRESENTATIVE THAT THE FINISHED GRADES IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED CONFORM TO THE PROPOSED GRADES NOTED ON THE GRADING PLANS.
2. PLANTING SHALL NOT COMMENCE UNTIL IRRIGATION HAS BEEN INSTALLED AND IS OPERATIONAL. TREES MAY BE INSTALLED PRIOR TO THE INSTALLATION OF IRRIGATION PROVIDED THAT A HAND WATERING SCHEDULE IS SUBMITTED TO AND APPROVED BY THE OWNERS REPRESENTATIVE.
3. THE CONTRACTOR SHALL SUBMIT WEED CONTROL PRODUCTS THAT DO NOT INCLUDE GLYPHOSATE. PROTECT EXISTING PLANTS TO REMAIN FROM OVERSPRAY. DO NOT APPLY WITHIN ROOT ZONES OF EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO ENSURE TOTAL WEED ERADICATION PRIOR TO INSTALLATION OF PLANT MATERIAL.
4. CONTRACTOR SHALL CONFIRM THAT ALL ORGANICS, SOD, WEEDS, ROOTS AND DEBRIS HAVE BEEN REMOVED TO A DEPTH OF 12 INCHES FROM ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED. ALL PAVEMENT AND PAVEMENT BASE MATERIAL SHALL BE REMOVED COMPLETELY IN ALL AREAS WHERE PLANT MATERIALS ARE TO BE INSTALLED.
5. ANY DEPRESSIONS OR EXCAVATIONS BELOW THE APPROVED FINISHED GRADES CREATED FOR OR BY THE REMOVAL OF SUCH OBJECTS SHALL BE REFILLED WITH CLEAN COARSE SAND AND COMPACTED TO A DENSITY CONFORMING TO THE SURROUNDING GROUND.
6. THE CONTRACTOR SHALL PAINT THE OUTLINE OF EACH SHRUB AND GROUND COVER BED AND STAKE THE LOCATION OF ALL TREES/PALMS FOR APPROVAL OF THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
7. TREE/PALM PITS SHALL BE TESTED FOR VERTICAL DRAINAGE BY FILLING WITH WATER TWICE IN SUCCESSION. CONDITIONS PERMITTING THE RETENTION OF MORE THAN 6 INCHES OF WATER IN 1 HOUR SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR CORRECTION OF SUCH CONDITIONS BEFORE PROCEEDING WITH INSTALLATION.
8. UNIFORMLY APPLY REQUIRED AMENDMENTS TO AREAS TO RECEIVE SOD AND CULTIVATE BY MECHANICAL TILLING INTO THE TOP 6 INCHES OF SOIL.
9. AREAS TO RECEIVE SOD SHALL BE GRADED TO LEVEL OUT ALL UNDULATIONS OR IRREGULARITIES IN THE SURFACE RESULTING FROM TILLAGE, FERTILIZING OR OTHER OPERATIONS. THE RESULTING SURFACE SHALL BE ROLLED WITH THE RESULTING GRADE TO BE NO HIGHER THAN THE ADJACENT PAVING OR OTHER GRADE ELEMENTS AFTER SOD HAS BEEN INSTALLED.
10. PLANTING BEDS SHALL THEN BE FINE GRADED TO A SMOOTH AND EVEN SURFACE ASSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES AND ELIMINATING ANY DEPRESSIONS WHICH MAY COLLECT WATER.
11. "SURFLAN" OR OWNER REPRESENTATIVE APPROVED EQUAL PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED RATE.

PLANTING NOTES: (cont.)

2. ALL PLANT PITS SHALL BE EXCAVATED TO A WIDTH AND DEPTH AS INDICATED ON THE DRAWINGS.
3. PLANT MATERIALS SHALL BE CENTERED IN THEIR PITS, FACED FOR BEST EFFECT AND SET PLUMB FOR BACKFILLING.
4. SHRUB/GROUND COVER PLANTINGS SHOWN IN MASS PLANTING BEDS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION. SEE DRAWINGS FOR TRIANGULAR SPACING DETAIL AND PLANT MATERIAL LIST FOR ON-CENTER PLANT SPACING.
5. BALLED AND BURLAPPED PLANTS SHALL HAVE THE BURLAP, STRINGS, STRAPS AND WIRE CAGES REMOVED FROM THE TOP 1/3 OF THE ROOT BALL.
6. PLACE BACKFILL IN PLANT PITS IN LAYERS NOT TO EXCEED 1/3 THE DEPTH OF THE ROOT BALL AND TAMP FIRMLY IN PLACE. PRIOR TO PLACING THE FINAL LAYER, THE PIT SHALL BE FILLED WITH WATER AND THE SOIL ALLOWED TO SETTLE.
7. AFTER SETTLEMENT THE CROWN OF THE ROOT BALL SHALL BE ABOVE FINISHED GRADE AS INDICATED ON THE DRAWINGS. PLANTS WITH ROOT BALLS SET BELOW INDICATED HEIGHTS WILL BE REQUIRED TO BE REMOVED AND REPLANTED.
8. TREES/PALMS SHALL BE STAKED ACCORDING TO THE DETAILS ON THE DRAWINGS.
9. MULCH AS DESIGNATED ON THE DRAWINGS SHALL BE PLACED THROUGHOUT ALL PLANTING AREAS.
10. NO MULCH SHALL BE PLACED OVER SHRUB/GROUND COVER ROOT BALLS OR WITHIN 4" OF TREE OR PALM TRUNKS.
11. SOD SHALL BE PLACED WITH STAGGERED BUTT TIGHT JOINTS. THERE SHALL BE NO VOIDS OR OVERLAPPING OF EDGES BETWEEN SOD PIECES.
12. SOD SHALL BE ROLLED IMMEDIATELY AFTER BEING PLACED. CLEAN BUILDERS' SAND SHALL BE USED TO FILL ANY RESULTING VOIDS OR UNEVENNESS IN THE SOD SURFACE. ANY AREAS REQUIRING EXCESSIVE TOP-DRESSING SHALL HAVE THE SOD REMOVED, THE AREA REGRADED AND RE-SODDED.
13. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING INSTRUCTIONS.

POST PLANTING NOTES :

1. MAINTENANCE:
 - A. DURING THE PROJECT WORK PERIOD PRIOR TO SUBSTANTIAL COMPLETION ACCEPTANCE, THE CONTRACTOR SHALL MAINTAIN ALL PLANT MATERIAL.
 - B. MAINTENANCE DURING THE WORK PERIOD PRIOR TO THE SUBSTANTIAL COMPLETION ACCEPTANCE SHALL CONSIST OF WATERING, CULTIVATING, WEEDING, MULCHING, REMOVAL OF DEAD MATERIAL, REPAIRING/TIGHTENING OF STAKES AND GUYS, RESETTING PLANTS TO PROPER GRADES AND UPRIGHT POSITION AND FURNISHING AND APPLYING SUCH SPRAYS AS NECESSARY TO KEEP PLANT MATERIAL REASONABLY FREE OF DAMAGING INSECTS AND DISEASE.
 - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING ALL PLANT MATERIAL AS REQUIRED TO SUPPLEMENT IRRIGATION AND RAINFALL IN ORDER TO ENSURE PLANT MATERIAL ESTABLISHMENT.
2. SUBSTANTIAL COMPLETION ACCEPTANCE:
 - A. UPON WRITTEN NOTICE FROM THE CONTRACTOR, THE OWNERS REPRESENTATIVE SHALL REVIEW THE WORK AND DETERMINE IF THE WORK IS SUBSTANTIALLY COMPLETE.
 - B. FOR THE PURPOSE OF ACCEPTANCE ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, UNDAMAGED, FREE OF WEEDS AND DISEASE, AND EXHIBITING EVIDENCE OF ESTABLISHING NEW ROOTS. PLANT MATERIAL DEEMED UNACCEPTABLE SHALL BE REMOVED AND REPLACED.
 - C. THE DATE OF SUBSTANTIAL COMPLETION OF THE PLANTING SHALL BE THE DATE WHEN THE OWNERS REPRESENTATIVE ACCEPTS IN WRITING THAT ALL WORK RELATED TO PLANTING IS COMPLETE.
3. WARRANTY:
 - A. ALL PLANT MATERIAL SHALL BE WARRANTED IN WRITING BY THE CONTRACTOR FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF WRITTEN NOTIFICATION OF SUBSTANTIAL COMPLETION . REPLACEMENT OF PLANT MATERIAL DURING THE WARRANTY PERIOD SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL HAVE THE SAME WARRANTY PERIOD OF ONE (1) YEAR FROM DATE OF REPLACEMENT.

Project Name


THE BREAKERS
PALM BEACH
-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
0		
1		
2		

A key plan of the site showing the layout of the proposed development. The plan includes the existing building, the proposed building, and the surrounding area. The proposed building is shown with a hatched pattern, indicating its footprint. The existing building is shown with a solid pattern. The surrounding area is shown with a dotted pattern. The plan also shows the location of the proposed building relative to the existing building and the surrounding area.

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal


Project Number

Project Phase

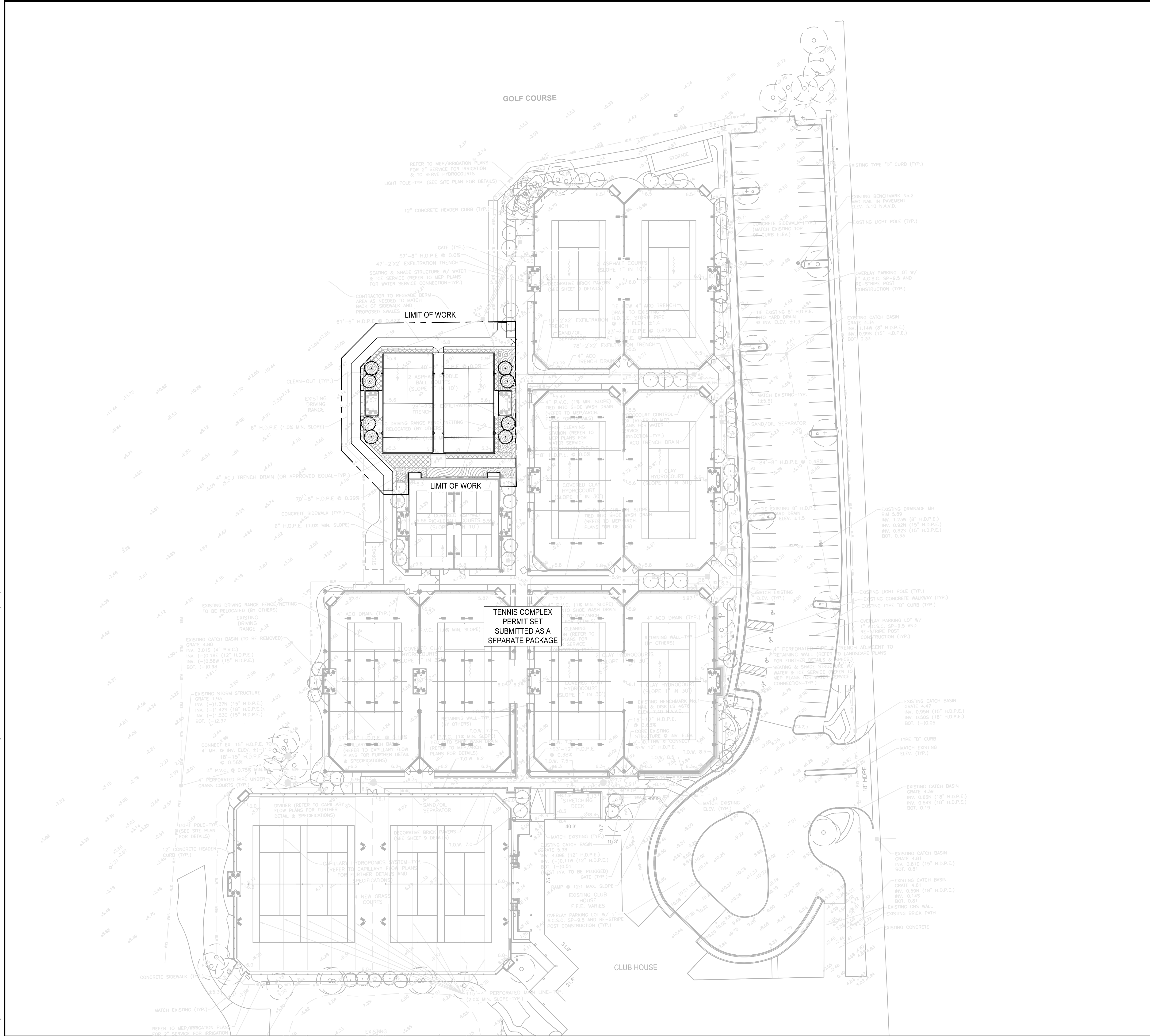
PERMIT SET

Sheet Title

PLANTING NOTES

Revision Number 	Sheet Number L5-0-01
--	--------------------------------

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\L5-1-00 TREE PLAN.dwg LS-100 OVERALL TREE PLAN Jun 26, 2024 5:46pm by ecatala



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE
TREES							
○	100	1	Small palm tree	Caribbean Palm	100	12' CT 18' CT (approximate)	Yes
○	REMAINING PALM						
+	REMAINING TREE						

1" = 30'-0"

0 30' 60'

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

B

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

2 S County Rd

Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name

Hearing Date

Submittal Date JULY 1, 2024

Designed By CF

Drawn By EC, CF

Approved / Checked By CM

Project Number 121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

OVERALL TREE PLAN

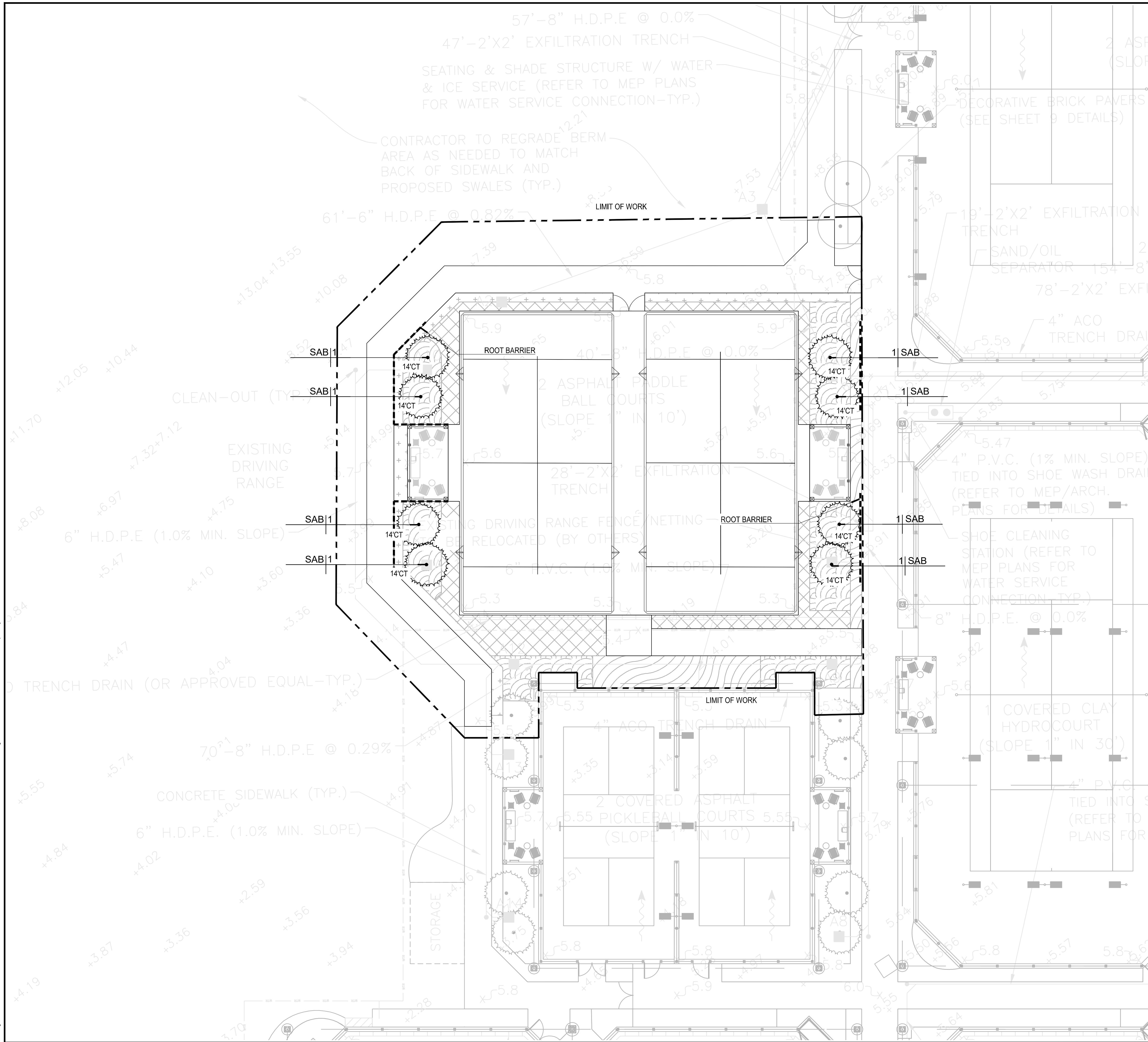
Revision Number

Sheet Number

0

L5-1-00

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\007 - Padel Courts\L5-1-01 TREE PLAN.dwg Jun 26, 2024 5:49pm by ecatala



PLANT SCHEDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE
TREES							
	SAB	1	Local palm	Coconut Palm	Palm Green	12' C.T. 10' C.T. Diagrammed	Yes
	REMAINING PALM						
	REMAINING TREE						

Project Name

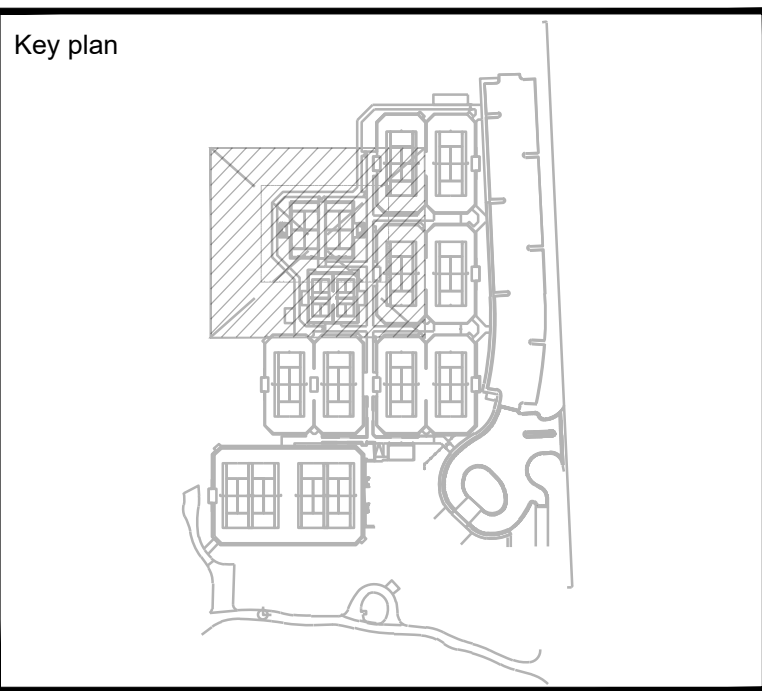
-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

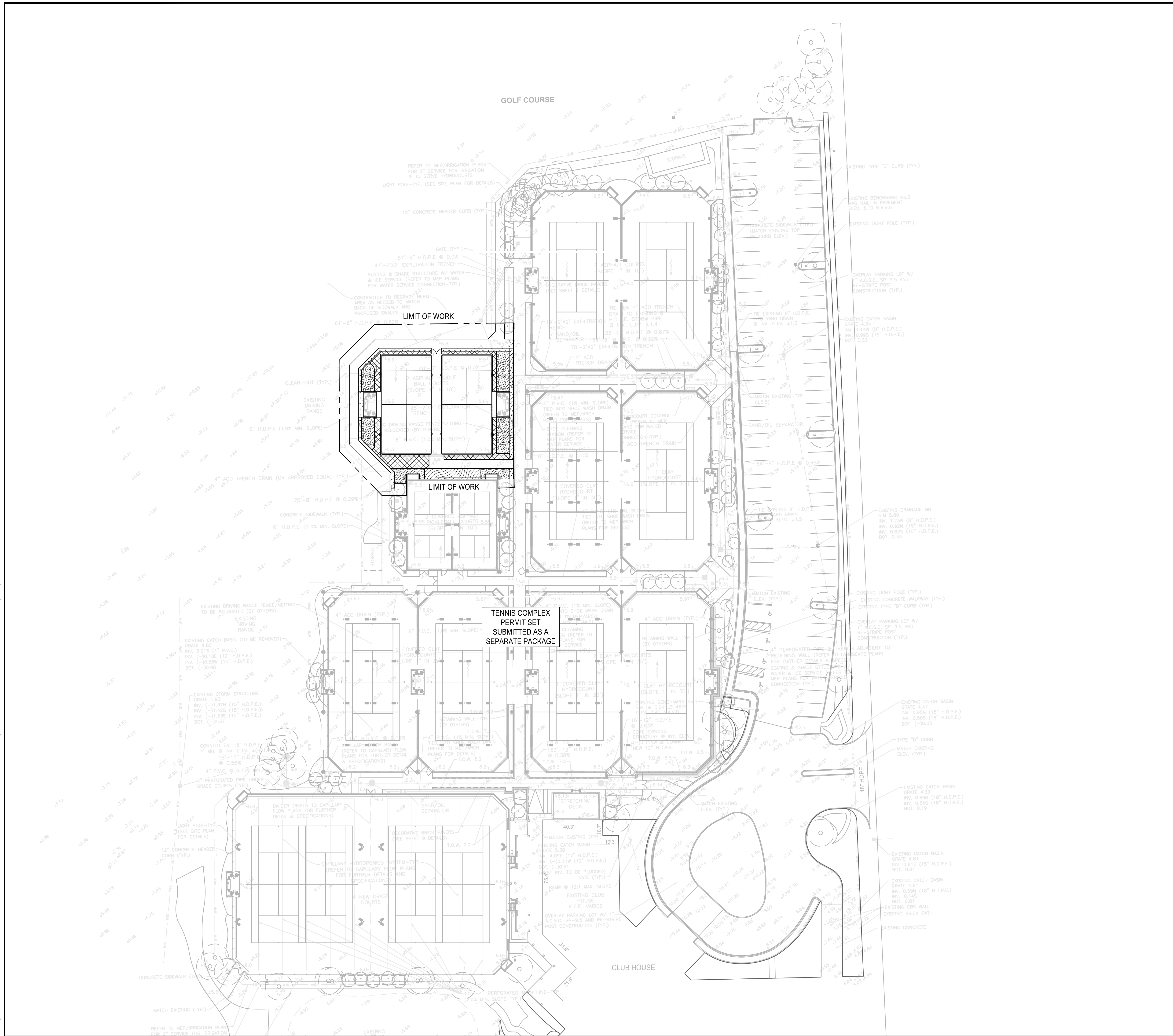
TREE PLAN

Revision Number	Sheet Number
	L5-1-01

1" = 10'-0"

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\L6-1-00 OVERALL SHRUB PLAN Jun 26 2024 5:58pm by catala



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME
SHRUB AREAS				
CLS	74		Clusia guttata	Small Leaf Clusia
LR	501		Liriodendron muscari	Liriodendron
MM	1,245		Mimosa strigilosa	Sunshine Mimosa
SES	141		Serenoa repens 'Cinerea'	Silver Saw Palmetto

Project Name

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

2 S County Rd

Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name

Hearing Date

Submittal Date

Designed By

Drawn By

Approved / Checked By

Project Number

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

OVERALL SHRUB PLAN

Revision Number

Sheet Number

0

L6-1-00

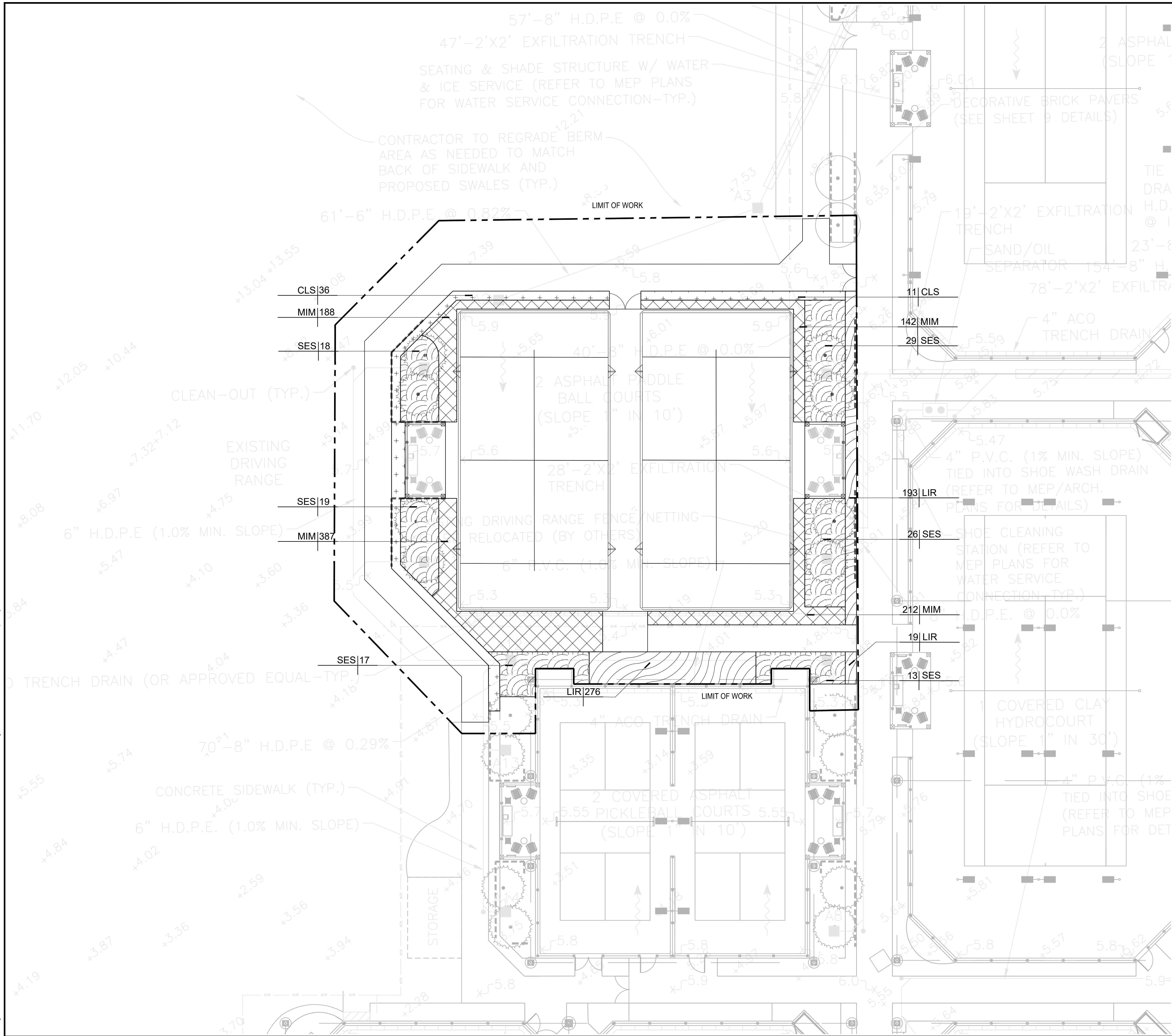
1" = 30'-0"

0 30' 60'

NORTH

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\LG-1-01 SHRUB PLAN.dwg LG-1-01 SHRUB PLAN Jun 26, 2024 5:51pm by ecatala



PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME
SHRUB AREAS				
CLS	74		Clusia guttata	Small Leaf Clusia
LIR	501		Liriodendron muscari	Lilyturf
MIM	1,245		Mimosa strigilosa	Sunshine Mimosa
SES	141		Serenoa repens 'Cinerea'	Silver Saw Palmetto

1" = 10'-0"

0 10' 20'

ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

NORTH

Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan

File Name

Hearing Date

Submittal Date MAY 24, 2024

Designed By CF

Drawn By EC, CF

Approved / Checked By CM

Project Number 121067

Seal

Project Number

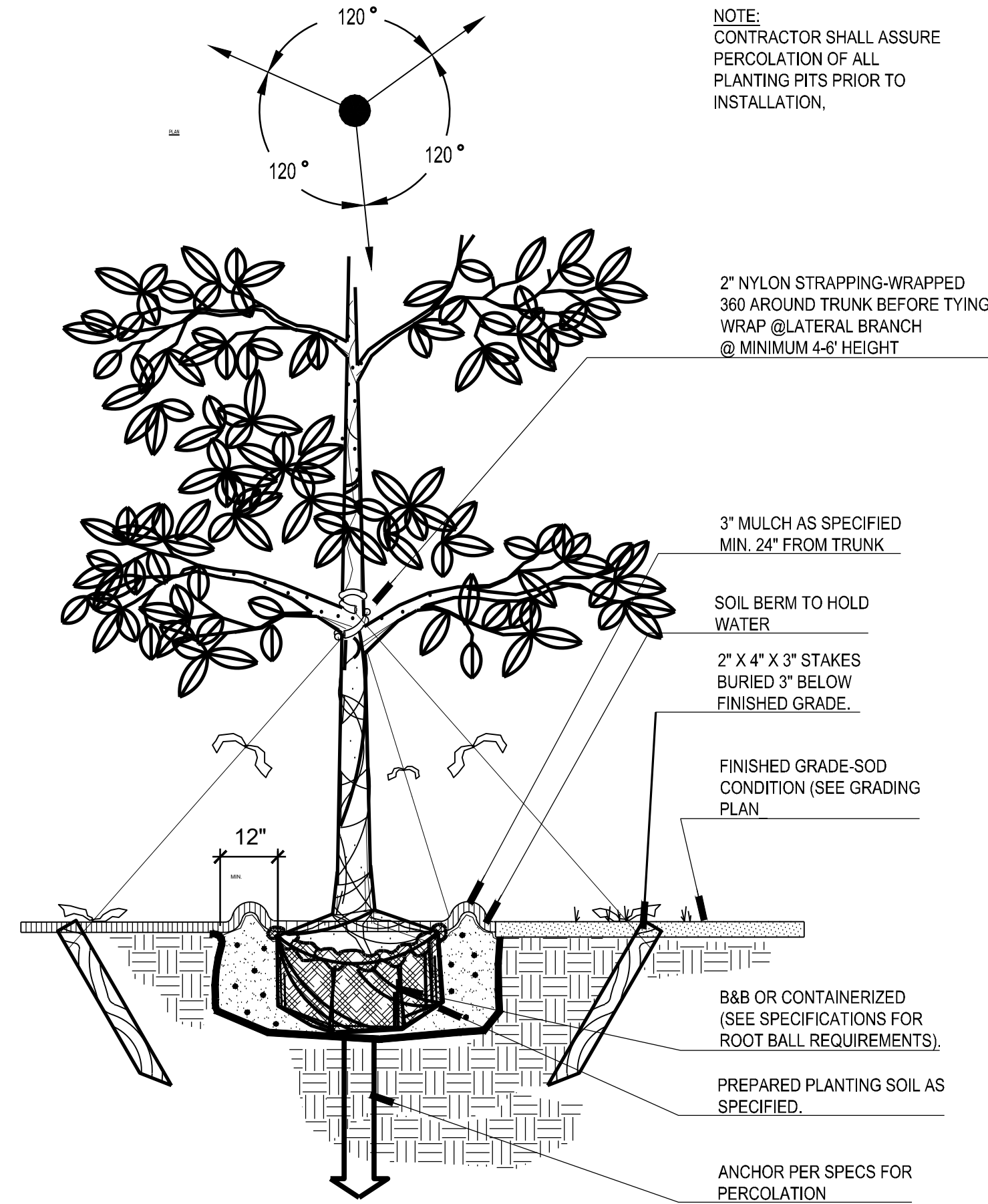
Project Phase

PERMIT SET

Sheet Title

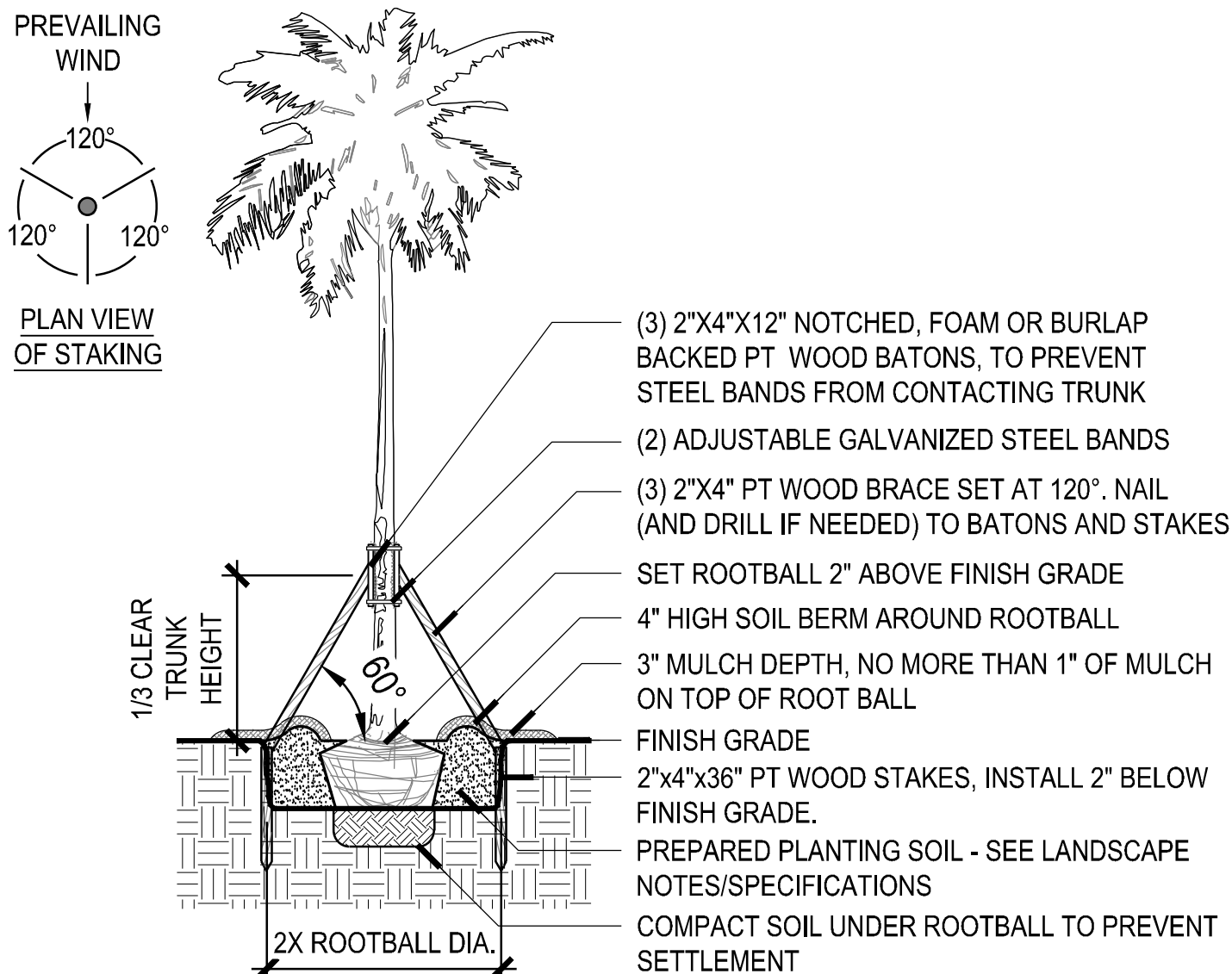
SHRUB PLAN

Revision Number	Sheet Number
	L6-1-01



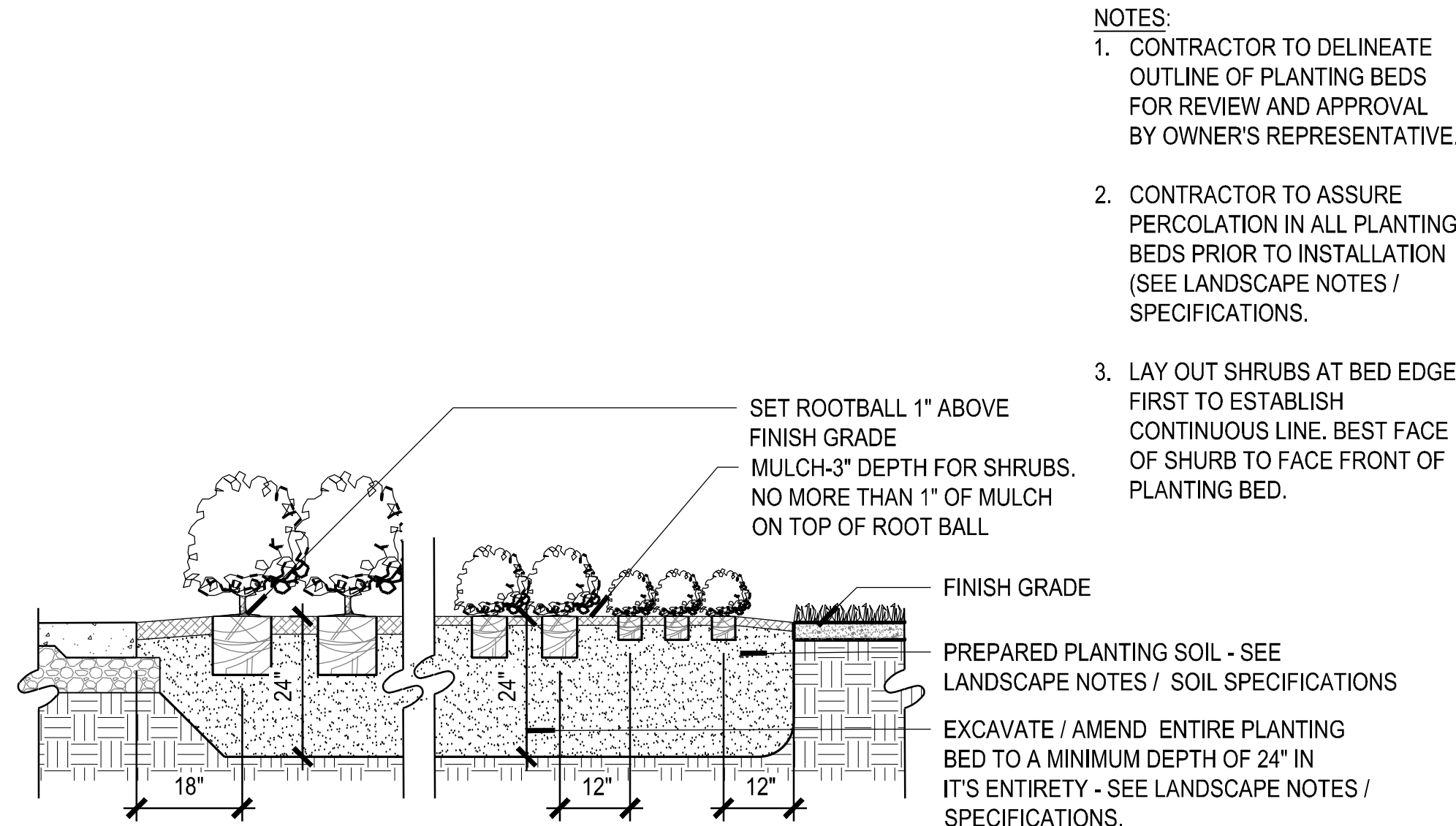
01 TREE STAKING

SCALE - 1" = 1'-0"



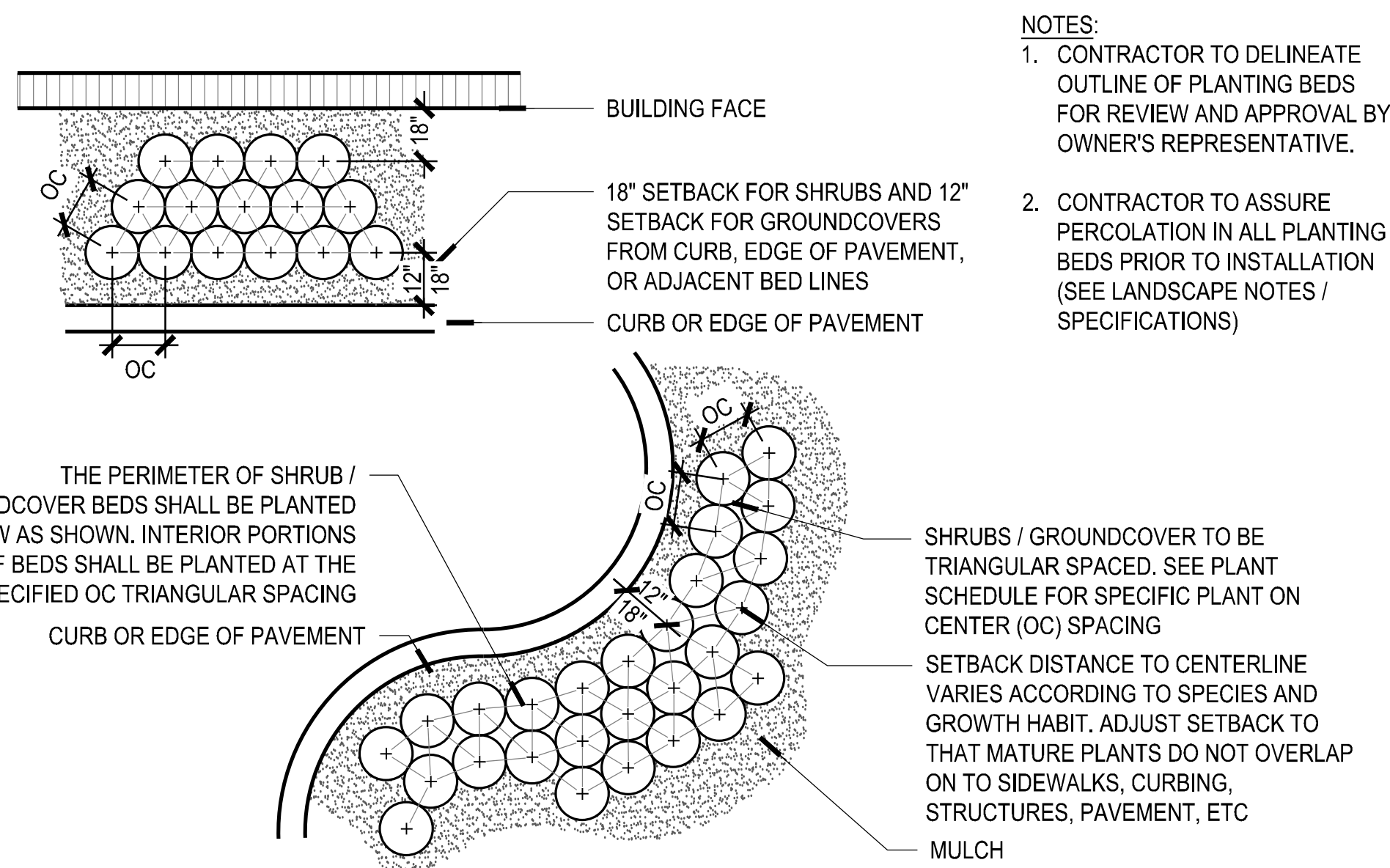
02 PALM STAKING - SMALL TRUNK PALM

SCALE - 1/4" = 1'-0"



03 SHRUB AND GROUNDCOVER PLANTING

SCALE - 1/2" = 1'-0"



04 SHRUB AND GROUNDCOVER SPACING

SCALE - 3/8" = 1'-0"

Project Name

THE BREAKERS
PALM BEACH
-PADEL COURTS-

Client

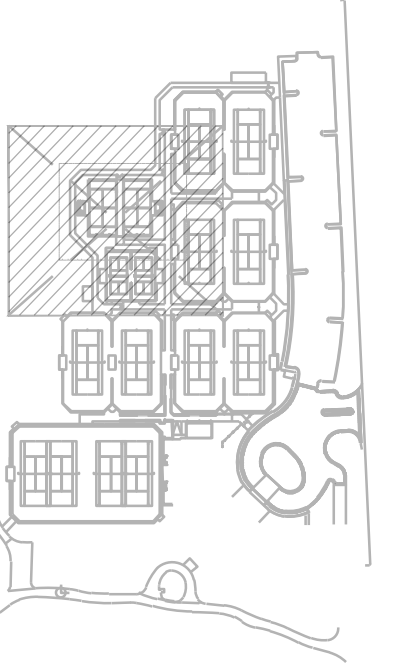
THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
1		
2		
3		
4		
5		

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

PLANTING DETAILS

Revision Number

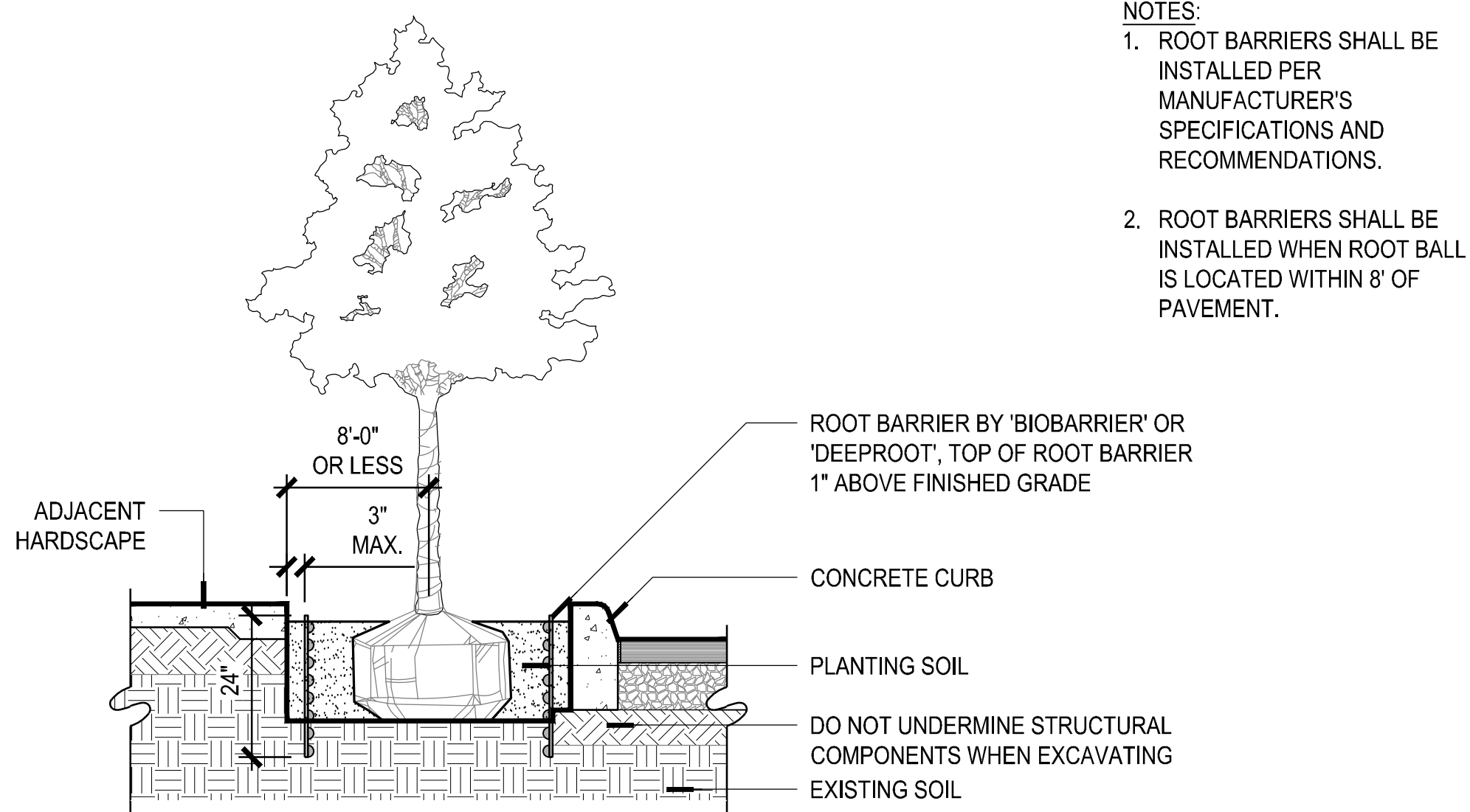
Sheet Number

0

L6-4-01

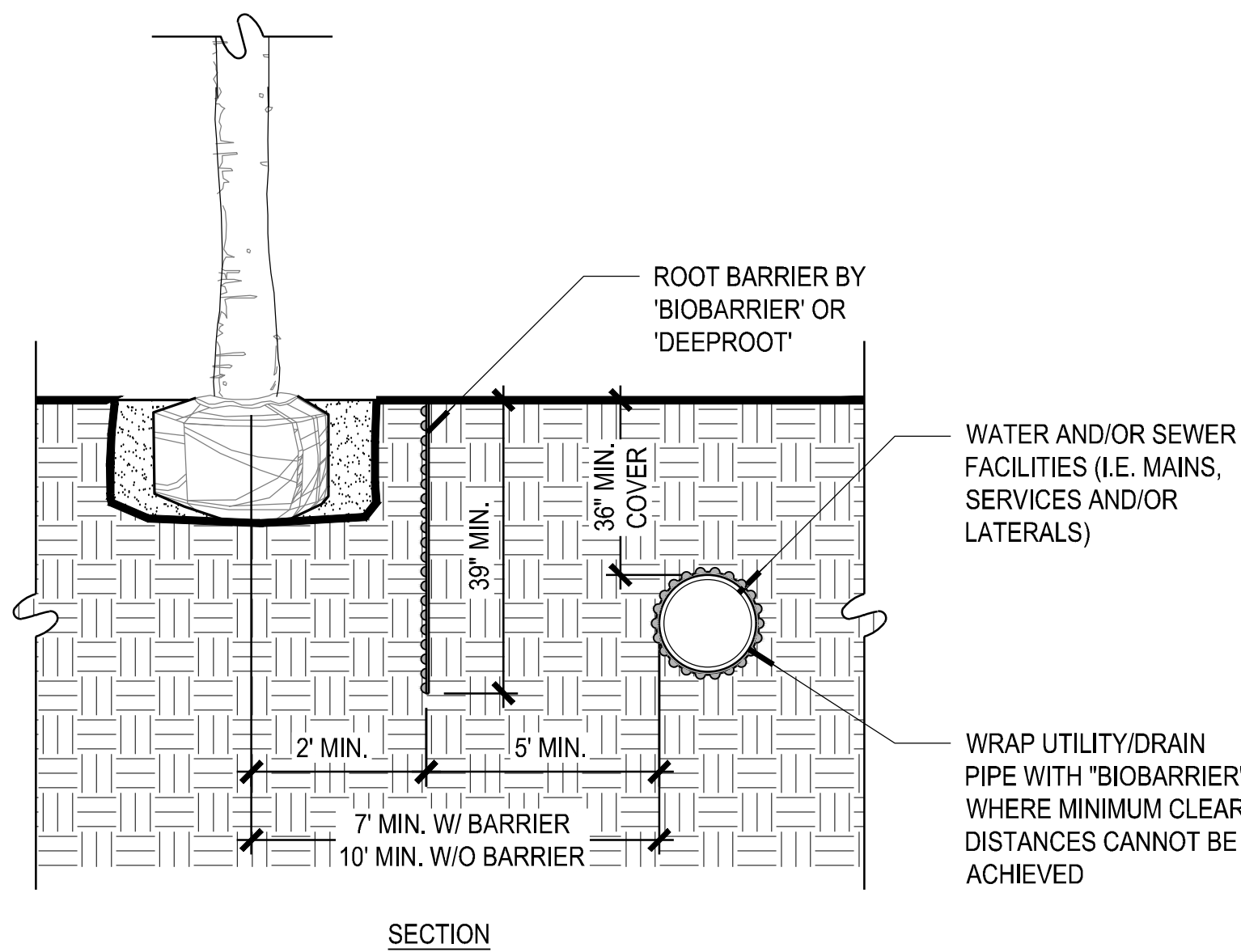
ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\6-4-01 PLANTING DETAILS.dwg LG-4-02-PLANTING DETAILS Jun 26, 2024 5:20pm by: eadella

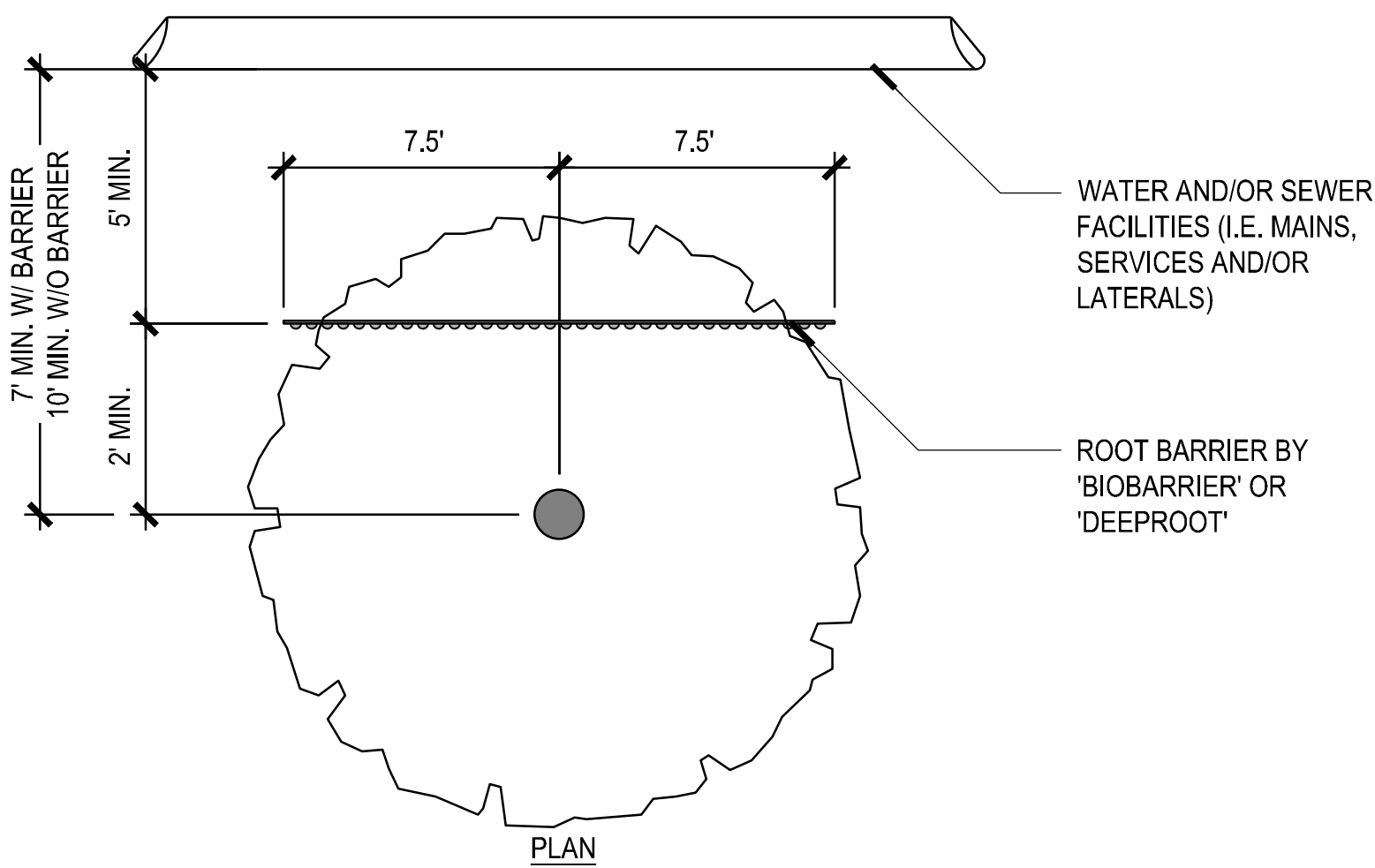


- NOTES:
1. ROOT BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 2. ROOT BARRIERS SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8' OF PAVEMENT.

01 **TYPICAL ROOT BARRIER AT PAVEMENT**
SCALE - 1/2" = 1'-0"



02 **TYPICAL ROOT BARRIER AT UTILITY**
SCALE - 3/8" = 1'-0"



- NOTES:
1. TREES/PALMS ARE TO BE INSTALLED WITH A MINIMUM TEN FOOT (10') SEPARATION FROM ANY PUBLIC WATER OR PUBLIC SEWER MAIN AND/OR SERVICE, HYDRANTS, AND LIFT STATIONS. IF A TEN FOOT (10') SEPARATION CANNOT BE ACHIEVED, THE TREE/PALM SHALL BE INSTALLED WITH A ROOT BARRIER SYSTEM.
 2. ROOT BARRIERS SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPALITY WITHIN WHICH THEY ARE LOCATED AS WELL AS WITH ANY REQUIREMENTS OF THE UTILITY HOLDER OF THE AFFECTED UTILITIES. IN THE EVENT THAT CONFLICTING REQUIREMENTS EXIST BETWEEN THIS ROOT BARRIER DETAIL AND THE MUNICIPALITY/UTILITY HOLDER REQUIREMENTS, THE MORE STRINGENT OF THE REQUIREMENTS SHALL BE APPLIED.

Project Name

B

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

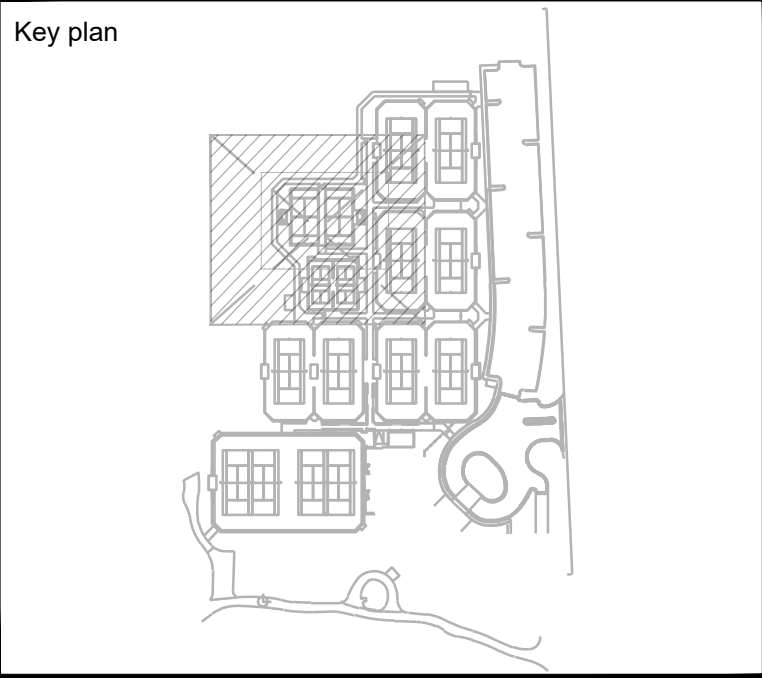
2 S County Rd
Palm Beach, FL 33480

edsa

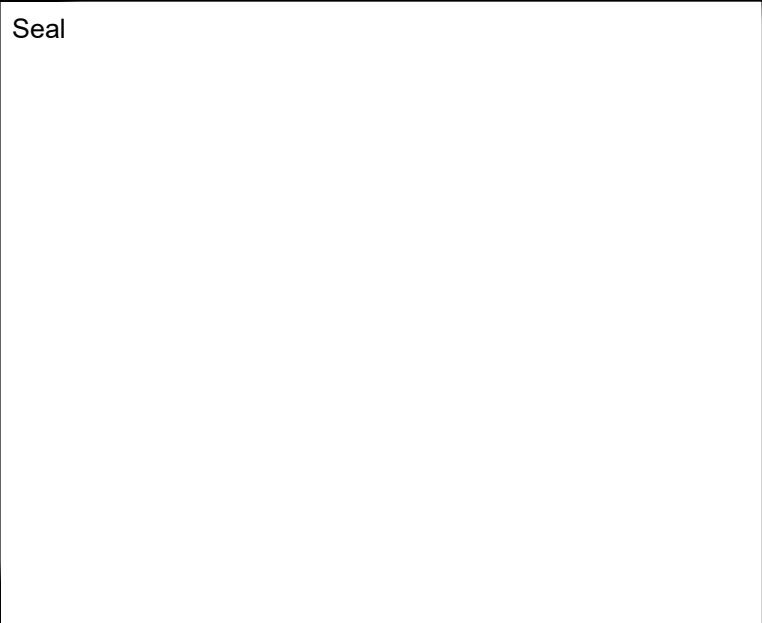
PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
1		
2		



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067



Project Number

Project Phase
PERMIT SET

Sheet Title
PLANTING DETAILS

Revision Number	Sheet Number
0	L6-4-02

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\doc\06-SHEETS\067 - Padel Courts\16-5-01 PLANTING SCHEDULE.dwg | 16-5-01 PLANTING SCHEDULE | Jun 26, 2024 5:20pm | by: ecatala

PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	NATIVE	
TREES								
	SAB	8	Sabal palmetto	Cabbage Palm	Field Grown	12' C.T. 16' C.T. /Regenerated	Yes	
	REMAINING PALM							
	REMAINING TREE							

PLANT_SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	NATIVE	SPACING	REMARKS
SHRUB AREAS									
	CLS	74	Clusia guttifera	Small Leaf Clusia	15 gal	4' Ht. x 3' Spr.	Non-native	36" o.c.	Shrub
	LIR	501	Liriope muscari	Lilyturf	1 gal	10" O.A.	Non-native	12" o.c.	Ground Cover
	MIM	1,245	Mimosa strigillosa	Sunshine Mimosa	1 gal	12" Spd.	Yes	12" o.c.	Ground Cover
	SES	141	Serenoa repens 'Cinerea'	Silver Saw Palmetto	7 gal	30" OA	Yes	36" o.c.	Shrub

Project Name



-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

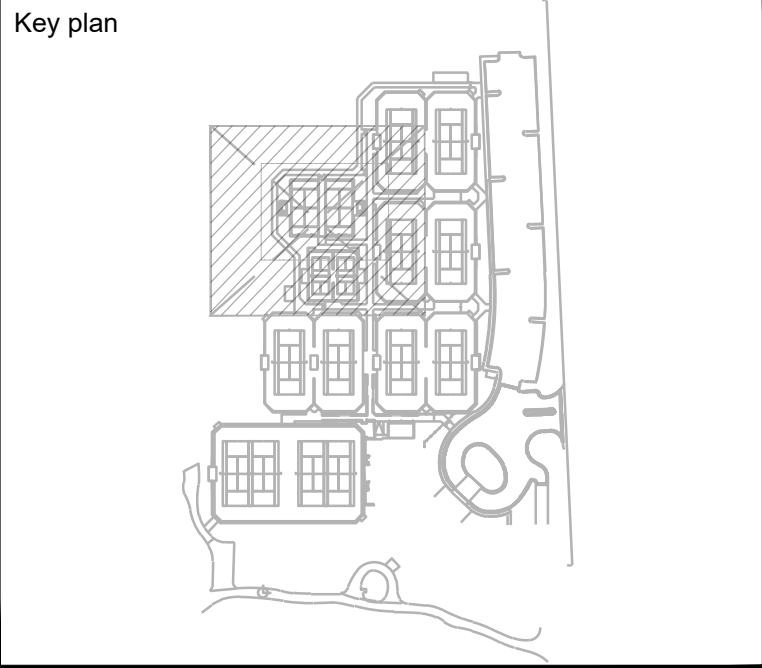


PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for

Key plan



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number


Project Phase

PERMIT SET

Sheet Title

PLANTING SCHEDULE

Revision Number



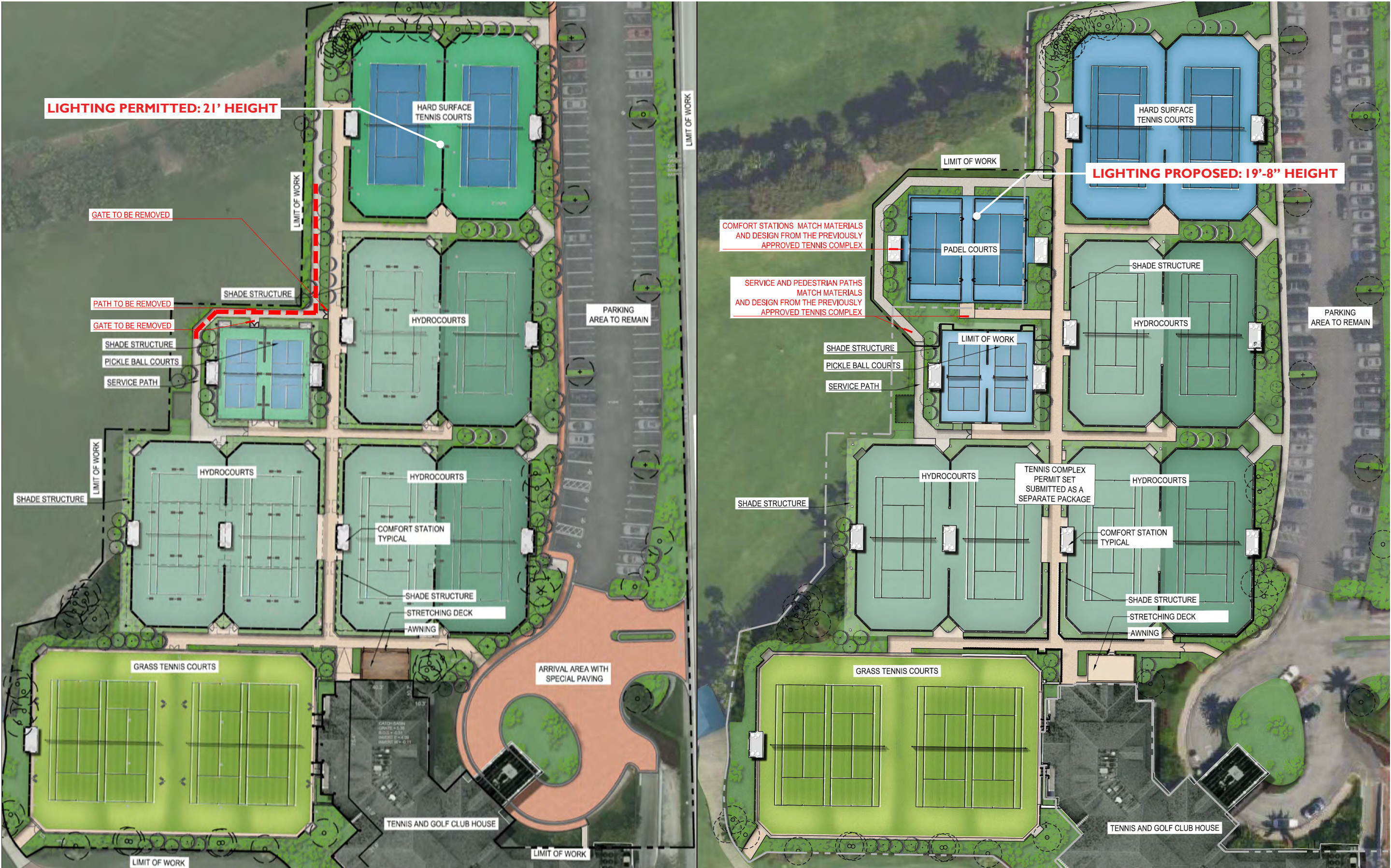
Sheet Number

L6-5-01

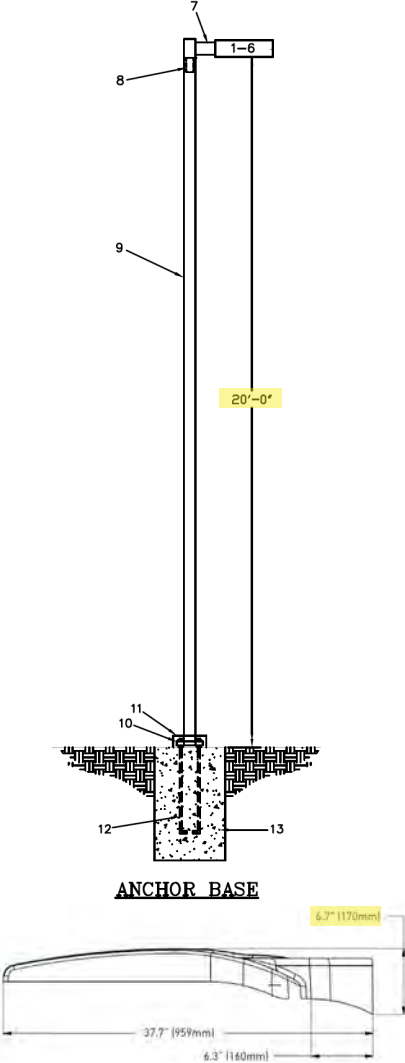
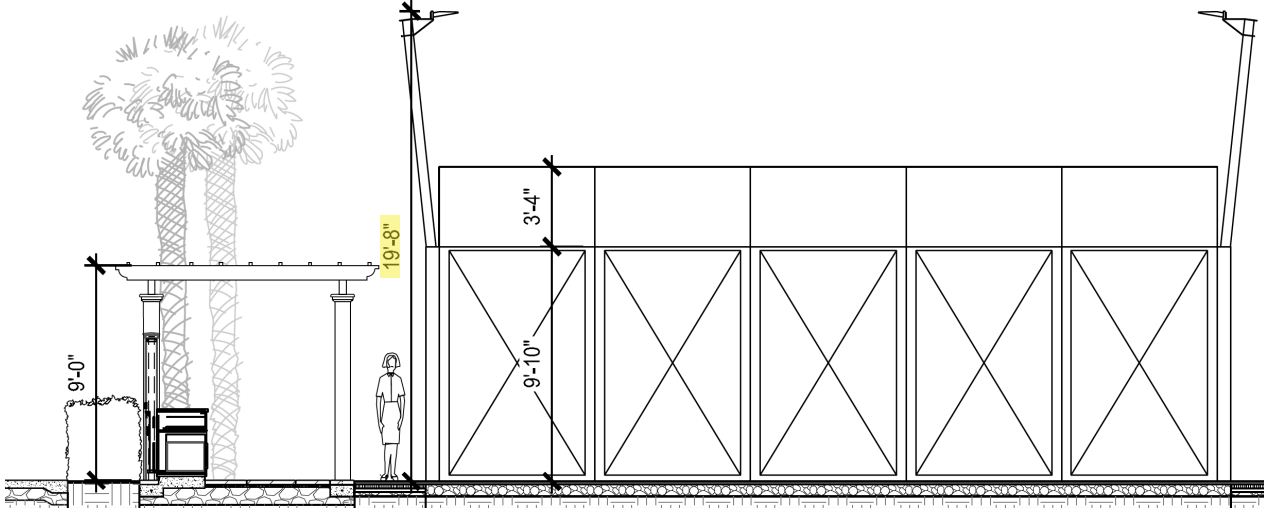
VARIANCE I: SEC. 134-1731 - LIGHTING FIXTURE HEIGHT

PREVIOUSLY APPROVED TENNIS CENTER

PROPOSED PADEL COURTS



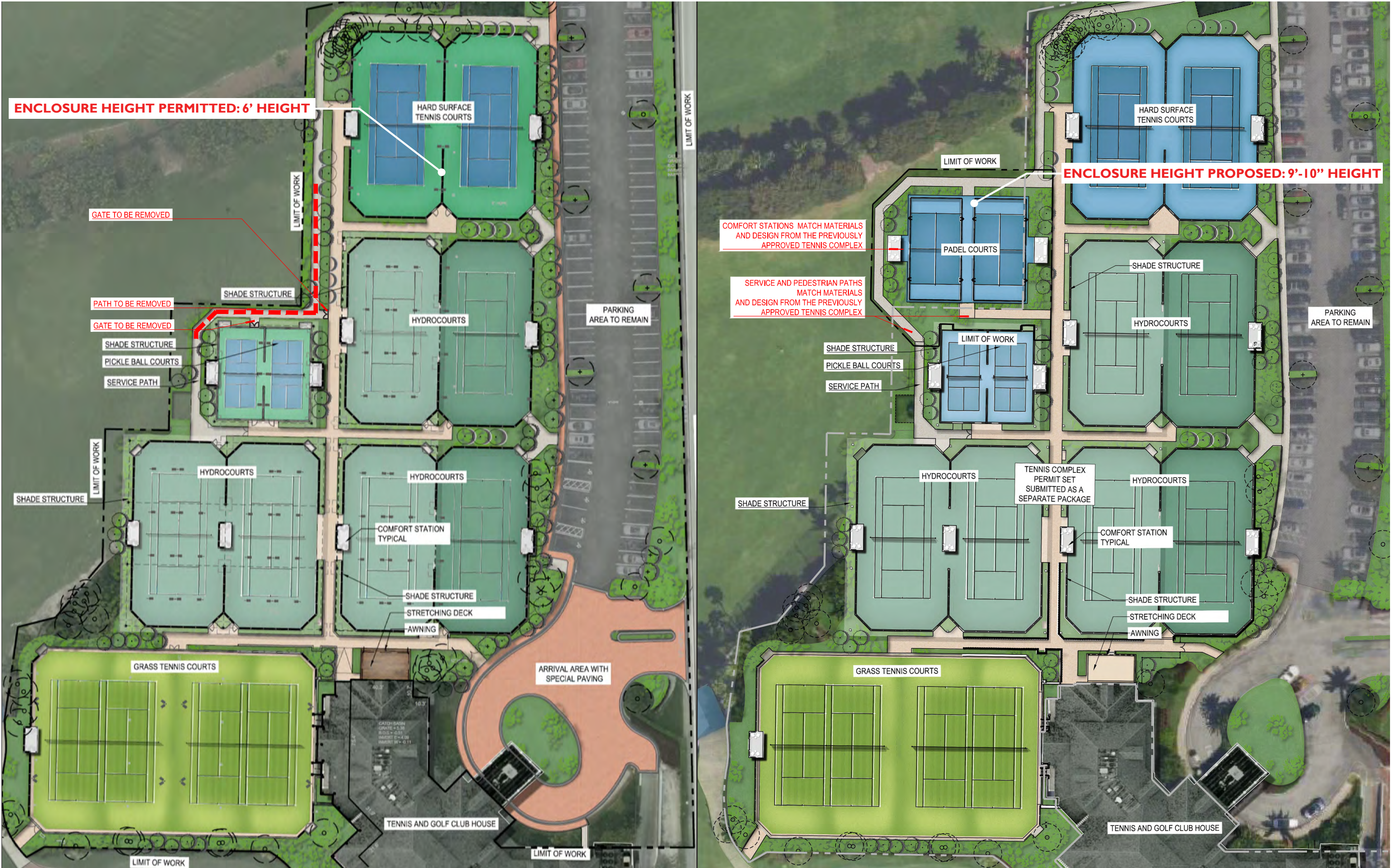
VARIANCE I: SEC. 134-1731 - LIGHTING FIXTURE HEIGHT

	REQUIRED	PERMITTED (TENNIS)	PROPOSED (PADEL)
LIGHTING FIXTURE HEIGHT	15' HEIGHT MAX		

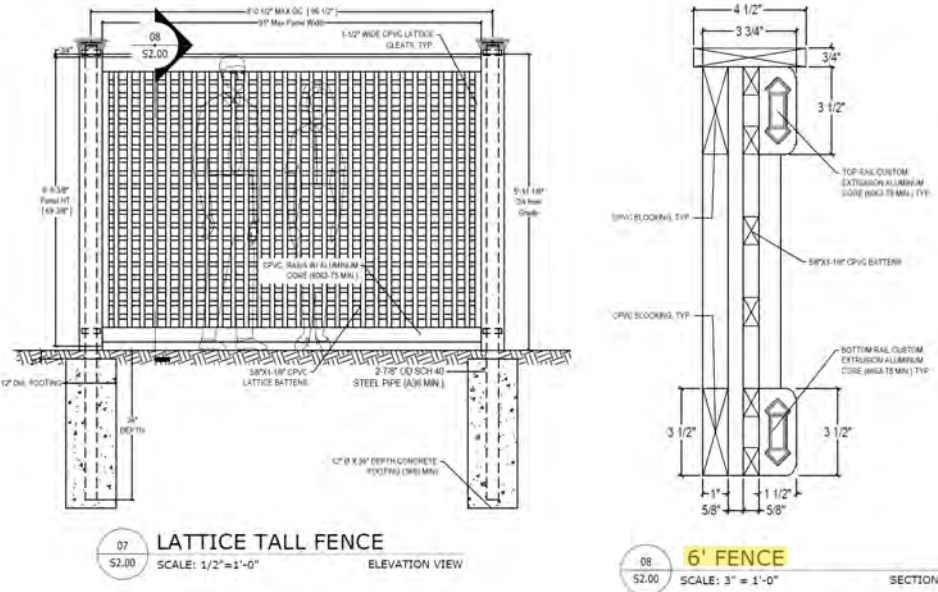
VARIANCE 2: SEC. 134-1759 (C) - ENCLOSURE HEIGHT

PREVIOUSLY APPROVED TENNIS CENTER

PROPOSED PADEL COURTS



VARIANCE 2: SEC. 134-1759 (C) - ENCLOSURE HEIGHT

	REQUIRED	PERMITTED (TENNIS)	PROPOSED (PADEL)
FENCE HEIGHT	10' HEIGHT MIN	<div><p>07 LATTICE TALL FENCE SCALE: 1/2"=1'-0" ELEVATION VIEW</p><p>08 6' FENCE SCALE: 3/8"=1'-0" SECTION</p></div>	