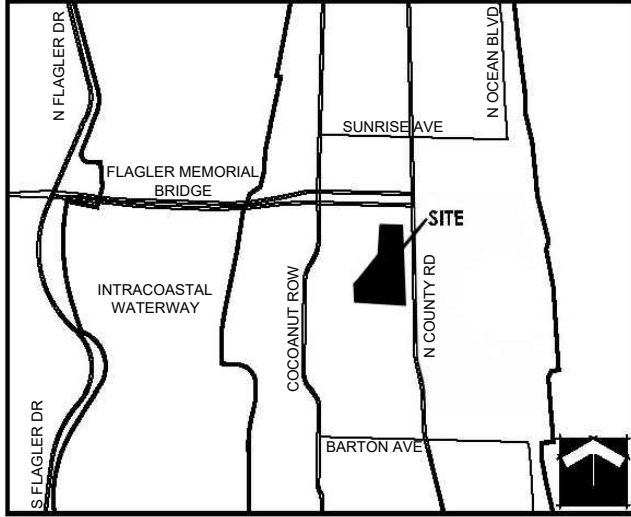


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Location Map



THE BREAKERS - PADEL COURTS

FINAL DROP-OFF

JULY 15, 2024

ARC - 24-0049
ZONING - 24-0027

LANDMARK PRESERVATION COMMISSION
AUG 21st, 2024

ARCOM MEETING DATE:
AUG 28th, 2024

TOWN COUNCIL:
AUG 14th, 2024 (Commercial/Multi-Family)
SEP 25th, 2024 (Single-Family)



VICINITY LOCATION MAP



PROJECT SCOPE:

NEW PADEL COURTS (2) ADDED TO THE APPROVED TENNIS COMPLEX



DRAWINGS LIST

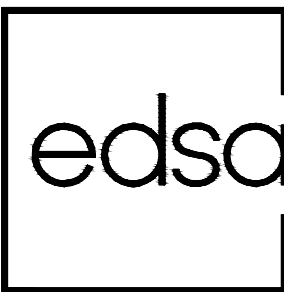
Sheet Number	Sheet Title				
L0-0-00	COVER	L0-0-10	CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN	L3-4-02	HARDSCAPE DETAILS
L0-0-02	GENERAL NOTES	L0-0-11	KEY PLAN	L3-4-03	HARDSCAPE DETAILS
L0-0-03	PADEL COURTS ADJUSTMENTS	L1-0-01	DEMOLITION NOTES	L3-5-01	HARDSCAPE SCHEDULE
L0-0-04	ILLUSTRATIVE PLAN	L1-1-00	OVERALL SITE PREPARATION PLAN	L4-1-01	GRADING PLAN
L0-0-05	SITE PLAN	L1-1-01	SITE PREPARATION PLAN	L5-0-01	PLANTING NOTES
L0-0-06	EXISTING SITE IMAGES	L2-1-00	OVERALL LAYOUT PLAN	L5-1-00	OVERALL TREE PLAN
L0-0-07	EXISTING CONDITIONS PLAN	L2-1-01	LAYOUT PLAN	L5-1-01	TREE PLAN
L0-0-08	SURVEY P1	L3-1-00	OVERALL HARDSCAPE PLAN	L6-1-00	OVERALL SHRUB PLAN
L0-0-09	SURVEY P2	L3-1-01	HARDSCAPE PLAN	L6-1-01	SHRUB PLAN
		L3-2-01	HARDSCAPE SECTIONS	L6-4-01	PLANTING DETAILS
		L3-4-01	HARDSCAPE DETAILS	L6-4-02	PLANTING DETAILS
				L6-5-01	PLANTING SCHEDULE

PREPARED FOR:

THE BREAKERS PALM BEACH

2 S County Rd
Palm Beach, FL 33480

CONSULTANTS



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Drawing name: G:\Teams\ECOP\S\121067 - The Breakers\EDS\doc\06-SHEETS\0067 - Padel Courts\L0-02 GENERAL NOTES.dwg L0-02 GENERAL NOTES Jun 26, 2024 5:13pm by ecalala

GENERAL NOTES:

- LOCATIONS, ELEVATIONS AND DIMENSIONS OF EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES WERE PROVIDED TO EDSA AND ARE SHOWN ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF THE PREPARATION OF THESE CONTRACT DOCUMENTS. EDSA AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREIN OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- THE CONTRACTOR SHALL FIELD LOCATE, VERIFY AND FURTHER IDENTIFY THE LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES, STRUCTURES AND OTHER FEATURES ABOVE AND BELOW GRADE AFFECTING ANY COMPONENT OF THE WORK CONTAINED IN THE CONTRACT DOCUMENTS PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION. DISCREPANCIES, CONFLICTS, OR POTENTIAL DEVIATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVE IN WRITING WITHIN 48 HOURS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF ANY PHASE OF CONSTRUCTION.
- DO NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION DISCOVERED IN THE CONTRACT DOCUMENTS. IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE OF ANY SUCH DISCOVERY. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO REFLECT THE DESIGN INTENT OF THE CONTRACT DOCUMENTS.
- ALL EXISTING SITE FACILITIES TO REMAIN SHALL BE PROTECTED FROM ANY DAMAGE THROUGHOUT ALL CONSTRUCTION PHASES. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO SAID FACILITIES THAT OCCURS DUE TO WORK PREFORMED BY THE CONTRACTOR CALLED FOR IN THE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH THE CODES, STANDARDS, REGULATIONS, REQUIREMENTS AND ORDINANCES OF ANY GOVERNMENTAL AGENCY HAVING JURISDICTION OVER THE WORK. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO THE START OF CONSTRUCTION AND SCHEDULE ALL INSPECTIONS AND TESTING ACCORDING TO THE REQUIREMENTS OF SAID AGENCIES AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT SO AS NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND ALL PERSONNEL ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT. ALL SAFETY REGULATIONS REQUIRED BY APPLICABLE CODES, REGULATIONS AND RECOGNIZED LOCAL PRACTICES SHALL BE ENFORCED DURING THE CONSTRUCTION AND/OR MAINTENANCE OF THIS PROJECT.
- THE OWNERS REPRESENTATIVE SHALL HAVE THE RIGHT AT ANY STAGE OF THE OPERATION TO REJECT ALL WORK OR MATERIALS WHICH IN THEIR OPINION DO NOT MEET THE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL REQUIRED SEDIMENT AND EROSION CONTROL MEASURES INSTALLED AS PART OF THIS PROJECT SHALL REMAIN IN PLACE AND SHALL BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETE. SEE THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- EXISTING TREES DESIGNATED TO REMAIN SHALL BE PROTECTED BY BARRICADES ERECTED PRIOR TO COMMENCEMENT OF ANY SITE DEMOLITION, CLEARING, OR GRADING. SEE DEMOLITION/SITE CLEARING NOTES FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL REFER TO THE LANDSCAPE NOTES, SPECIFICATIONS AND THE CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, IRRIGATION, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ADDITIONAL REQUIREMENTS.

HARDSCAPE NOTES:

- PRIOR TO THE COMMENCEMENT OF HARDSCAPE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHER CONTRACTORS WORKING ON THIS PROJECT IN RELATION TO THE WORK RESPONSIBILITIES DEPICTED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE IN WRITING OF ANY POTENTIAL DEVIATIONS WITHIN 48 HRS OF DISCOVERY. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO SUCH CONDITIONS WILL BE AWARDED IF WRITTEN NOTIFICATION IS NOT PROVIDED PRIOR TO THE START OF HARDSCAPE CONSTRUCTION.
- THE CONTRACTOR SHALL SURVEY, LAYOUT AND STAKE THE LOCATION OF ALL FOOTINGS, PIERS, WALLS, COLUMNS AND PAVEMENT FOR REVIEW BY THE OWNERS REPRESENTATIVE PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND/OR FIELD MOCKUPS FOR ALL ITEMS LISTED ON THE FINISH SCHEDULE UNLESS SPECIFICALLY NOTED OTHERWISE. MOCKUPS SHALL BE SET UP IN A SECURED LOCATION ON THE SITE FOR REFERENCE AS DIRECTED BY THE OWNERS REPRESENTATIVE. MOCKUPS WILL REMAIN ON SITE UNTIL THE COMPLETION OF HARDSCAPE CONSTRUCTION.
- ANY REFERENCE IN THE HARDSCAPE CONSTRUCTION DOCUMENTS TO BRANDED PRODUCTS, PROCEDURES OR PATENTED PROCESSES ARE ASSUMED TO CARRY AN IMPLIED STATEMENT OF "OR APPROVED EQUAL" UNLESS SPECIFICALLY NOTED OTHERWISE WITH "NO SUBSTITUTIONS PERMITTED"
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR THE SAFE EXECUTION AND COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THIS SITE AND BE RESPONSIBLE FOR THE ACCURACY AND CORRECTNESS OF SAME.
- THE CONTRACTOR SHALL EMPLOY AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND/OR GOVERNING AUTHORITIES, A TESTING LABORATORY APPROVED BY THE OWNERS REPRESENTATIVE TO CONDUCT ALL TESTS NECESSARY TO ENSURE COMPLIANCE WITH THE CONTRACT DOCUMENTS, APPLICABLE STANDARDS AND CODES.
- WRITTEN DIMENSIONS, COORDINATES AND/OR ELECTRONIC FILES PREVAIL OVER SCALED DIMENSIONS. DO NOT SCALE FROM THE CONTRACT DOCUMENTS.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- REFER TO CIVIL PLANS FOR OVERALL SITE LAYOUT/DIMENSIONS.
- HARDSCAPE DIMENSIONS ARE FROM THE FACE AND/OR CENTERLINE OF THE OBJECT AT 90 DEGREE ANGLES UNLESS NOTED OTHERWISE. ALL RADII AND CURVES ARE TO HAVE SMOOTH AND CONTINUOUS TRANSITIONS WITHOUT ABRUPT CHANGES OR BENDS.
- PAVER DIMENSIONS ARE NOMINAL. VERIFY ACTUAL PAVER DIMENSIONS PRIOR TO LAYOUT OF PAVER FIELDS.
- ALL REFERENCES TO "GRAY CONCRETE" SHALL MEAN NATURAL CONCRETE WITH NO COLOR ADDITIVE.
- INFORMATION ON STRUCTURAL REINFORCEMENT, ANCHORS, FASTENERS, FOUNDATIONS OR OTHER STRUCTURAL ELEMENTS SHOWN ON THE SITE HARDSCAPE DOCUMENTS RELATED TO WALLS, SLABS, STRUCTURES AND ALL CAST IN PLACE CONCRETE IS SHOWN FOR MATERIAL RELATIONSHIPS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND CIVIL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
- CROSS SLOPE ON HARDSCAPE PAVEMENT SHALL NOT EXCEED 2%. RUNNING SLOPE SHALL NOT EXCEED 5% UNLESS NOTED OTHERWISE. SEE LANDSCAPE GRADING FOR ADDITIONAL REQUIREMENTS.
- SITE FURNISHINGS SHALL BE INSTALLED AS DETAILED IN THE CONSTRUCTION DOCUMENTS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ANCHORING DETAILS WITH THE ITEM'S MANUFACTURER PRIOR TO PURCHASE/INSTALLATION.
- HARDSCAPE ON-STRUCTURE: SITE HARDSCAPE ELEMENTS FOR ALL PODIUM, ROOF LEVEL AND BUILDING RELATED SURFACES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP AND STRUCTURAL ENGINEERING CONSULTANTS FOR ACTUAL CONSTRUCTION DOCUMENTATION FOR ALL

HARDSCAPE NOTES:(cont.)

- ANCHORS, REINFORCING, WATERPROOFING, DRAINAGE FIXTURES, MATERIAL ATTACHMENTS, SETTING METHODS AND SLAB PENETRATIONS FOR PAVING, IRRIGATION, DRAINAGE AND ELECTRICAL FIXTURES.
- WATER FEATURES: SITE HARDSCAPE ELEMENTS SHOWN FOR FOUNTAINS, POOLS, SPA WATERFALLS AND OTHER WATER FEATURES ARE SHOWN FOR MATERIAL RELATIONSHIP ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ARCHITECTURAL, MEP, STRUCTURAL AND FOUNTAIN/POOL ENGINEERS FOR ACTUAL CONSTRUCTION DOCUMENTATION.
 - LIGHT FIXTURES: LIGHT FIXTURES ARE SHOWN FOR MATERIAL RELATIONSHIP AND ORIENTATION WITH HARDSCAPE/LANDSCAPE ELEMENTS ONLY. REFER TO CONTRACT DOCUMENTS PREPARED BY BUT NOT LIMITED TO ELECTRICAL ENGINEER FOR ACTUAL CONSTRUCTION DOCUMENTATION.

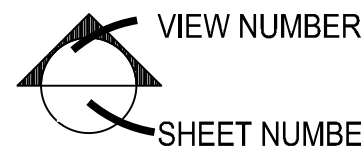
LANDSCAPE GRADING NOTES:

- LANDSCAPE GRADES ARE COMPLEMENTARY. REFER TO THE CIVIL ENGINEERING CONTRACT DOCUMENTS FOR ROUGH GRADING OF THE SITE, FINISH GRADES FOR ALL VEHICULAR PAVEMENT, BUILDINGS, DRAINAGE AND UTILITY STRUCTURES.
- PRIOR TO INITIATING LANDSCAPE GRADING THE CONTRACTOR SHALL INSPECT THE SITE TO CONFIRM THAT ROUGH GRADING AND DRAINAGE STRUCTURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CIVIL ENGINEERING CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT IN WRITING TO THE OWNERS REPRESENTATIVE ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. THE OWNERS REPRESENTATIVE WILL PROVIDE DIRECTION REGARDING ANY CORRECTION OR INTERPRETATION NECESSARY TO RESOLVE ANY DISCREPANCIES.
- NUMEROUS UNDERGROUND UTILITIES, CONDUITS, SLEEVES AND UTILITY STRUCTURES ABOVE AND BELOW GRADE HAVE BEEN PREVIOUSLY INSTALLED. THE CONTRACTOR SHALL CONDUCT FINE GRADING TO AVOID DAMAGE TO THESE ELEMENTS.
- ALL PEDESTRIAN PAVEMENT AND LANDSCAPE AREAS SHALL BE GRADED TO POSITIVELY DRAIN AWAY FROM VERTICAL ELEMENTS INCLUDING BUT NOT LIMITED TO BUILDINGS, WALLS AND COLUMNS TOWARD AND INTO DRAINAGE STRUCTURES. LANDSCAPE AREAS SHALL BE SMOOTH AND EVEN IN TRANSITION AND VOID OF WATER HOLDING DEPRESSIONS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADES UNLESS OTHERWISE NOTED. MAKE ALLOWANCES FOR PAVEMENT THICKNESS AND THE DEPTH OF PREPARED PLANTING SOIL WHERE APPLICABLE.
- THE CONTRACTOR SHALL NOT SUBSTANTIALLY VARY FINE GRADING FROM THE GRADING PLAN WITHOUT APPROVAL FROM THE OWNERS REPRESENTATIVE. THE OWNERS REPRESENTATIVE MAY ADJUST FINE GRADING SHOWN ON THE PLANS TO ACCOMMODATE UNFORESEEN FIELD CONDITIONS OR TO ACCOMPLISH DESIGN INTENT.
- PROTECT SITE FEATURES TO REMAIN, INCLUDING BUT NOT LIMITED TO BENCH MARKS, SURVEY CONTROL POINTS, EXISTING STRUCTURES AND PAVING FROM DAMAGE BY GRADING EQUIPMENT.
- MATCH PROPOSED PAVEMENT GRADES WITH EXISTING CONDITIONS TO REMAIN TO PROVIDE FLUSH INTERFACES WITH ABUTTING SURFACES.
- GRADES FOR SOD AREAS SHALL BE HELD ONE INCH (1") BELOW ADJACENT PAVEMENT GRADES TO ALLOW FOR INSTALLATION OF SOD.
- GRADES FOR PLANTING AREAS SHALL BE HELD TWO INCHES (2") BELOW ADJACENT PAVEMENT TO ALLOW FOR THE INSTALLATION OF PREPARED PLANTING SOIL, MULCH AND PLANT MATERIAL.
- FILL REQUIRED TO BRING THE SITE TO THE REQUIRED LINES AND FINISHED GRADES CONTAINED IN THE CONTRACT DOCUMENTS SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- FILL SHALL BE COMPACTED AS FOLLOWS:
 - UNDER PEDESTRIAN PAVEMENT: AS RECOMMENDED BY CIVIL/GEOTECHNICAL ENGINEER.
 - LANDSCAPE AREAS: COMPACT TOP TWELVE INCHES (12") BELOW SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO 80% MAXIMUM DRY DENSITY ACCORDING TO ASTM D698.
- CONTOURS FOR LANDSCAPE BERMS, MOUNDS AND SWALES SHALL BE SMOOTH CONTINUOUS ARCS VOID OF SURFACE IRREGULARITIES AND SHALL BLEND INTO SURROUNDING TERRAIN IN A NATURAL MANOR.
- ALL LANDSCAPE AREAS SHALL BE DRAGGED WITH A DRAG MAT TO BLEND IN SMALL IMPERFECTIONS AND ROUND OFF AND SHARP EDGES.
- FINE GRADE TOLERANCES FOR LANDSCAPE AREAS...PLUS OR MINUS (+/-) 0.04 FOOT (").
- FINE GRADE TOLERANCES FOR HARDSCAPE AREAS...PLUS OR MINUS (+/-) 0.02 FOOT(").
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING GRADES AND TO REPAIR AND CLEAN UP AREAS WHERE SETTLEMENT, WASHOUTS, EROSION OR OTHER GRADE CHANGES OCCUR UNTIL FINAL ACCEPTANCE.

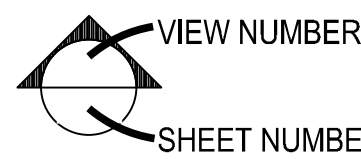
STANDARD ABBREVIATIONS:

ARCH	ARCHITECTURE	EW	EACH WAY	REQ'D	REQUIRED
ADA	AMERICANS WITH DISABILITIES ACT	FG	FINISHED GRADE	REV	REVISION
		FL	FLOW LINE	S	SOUTH
BC	BOTTOM OF CURB	FOC	FACE OF CURB	SF	SQUARE FOOT
BLDG	BUILDING	FT	FOOT (FEET)	SHT	SHEET
BOC	BACK OF CURB	FTG	FOOTING	SIM	SIMILAR
BR	BOTTOM OF RAMP	FFE	FINISHED FLOOR ELEVATION	SPECS	SPECIFICATIONS
BS	BOTTOM OF STEP	GALV	GALVINIZED	SS	STAINLESS STEEL
BW	BOTTOM OF WALL	GA	GUAGE	STD	STANDARD
B&B	BALLED AND BURLAPPED	GEN	GENERAL	SY	SQUARE YARD
BFP	BACKFLOW PREVENTER	H2O	WATER	SYM	SYMMETRICAL
CAL	CALIPER	HP	HIGH POINT	TOC	TOP OF COLUMN
CB	CATCH BASIN	HT	HEIGHT	TOPO	TOPOGRAPHY
CF	CUBIC FEET	HWL	HIGH WATER LINE	TR	TOP OF RAMP
CLR	CLEARANCE	ID	INSIDE DIAMETER	TYP	TYPICAL
CM	CENTIMETER	IN	INCH	TW	TOP OF WALL
CY	CUBIC YARD	INV	INVERT ELEVATION	TS	TOP OF STEP
CIP	CAST-IN-PLACE	LF	LINEAR FEET (FOOT)	TC	TOP OF CURB
CJ	CONSTRUCTION JOINT	LP	LOW POINT	VAR	VARIES
CL	CENTER LINE	MISC	MISCELLANEOUS	VOL	VOLUME
CMU	CONCRETE MASONRY UNIT	MAX	MAXIMUM	W	WEST
COORD	COORDINATE	MHW	MEAN HIGH WATER	WL	WATER LEVEL
CONT	CONTINUOUS	MIN	MINIMUM	YD	YARD DRAIN
DEG	DEGREE	NWL	NATURAL WATER LINE		
DIM	DIMENSION	NIC	NOT IN CONTRACT		
DTL	DETAIL	NTS	NOT TO SCALE		
DWG	DRAWING	N	NORTH		
DEMO	DEMOLITION	OD	OUTSIDE DIAMETER		
DIA	DIAMETER	OC	ON CENTER		
DI	DRAIN INLET	PLT	PLANTING AREA		
E	EAST	PL	PROPERTY LINE		
EL	ELEVATION	PT	PAINT		
ENG	ENGINEER	QTY	QUANTITY		
EXIST	EXISTING	R	RADIUS		
EJ	EXPANSION JOINT	RIM	RIM ELEVATION		
EQ	EQUAL	ROW	RIGHT-OF-WAY		
ESMT	EASEMENT	REINF	REINFORCE (D)		

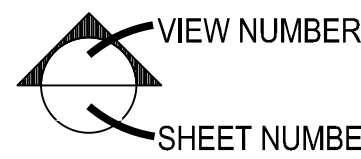
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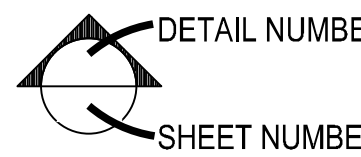
SECTION



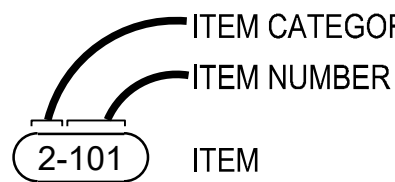
ELEVATION



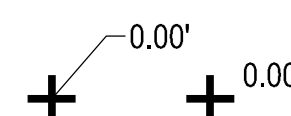
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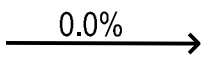
ENLARGEMENT PLAN



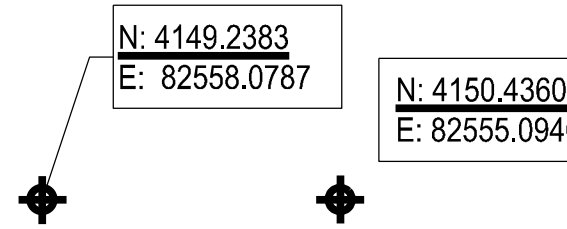
MATERIAL REFERENCE



PROPOSED ELEVATION



SLOPE PERCENTAGE & DIRECTION



COORDINATE



PROPERTY LINE



LIMIT OF WORK

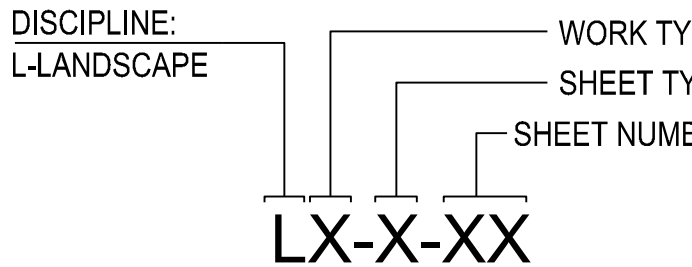


MATCHLINE

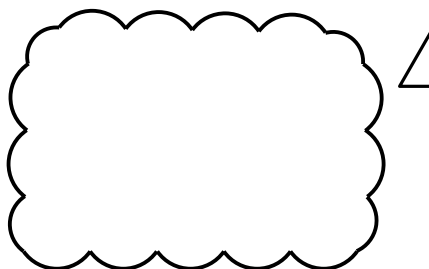


PLANT CODE

PLANT QUANTITY



SHEET NUMBERING SYSTEM:



REVISION CLOUD

Project Name

B

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

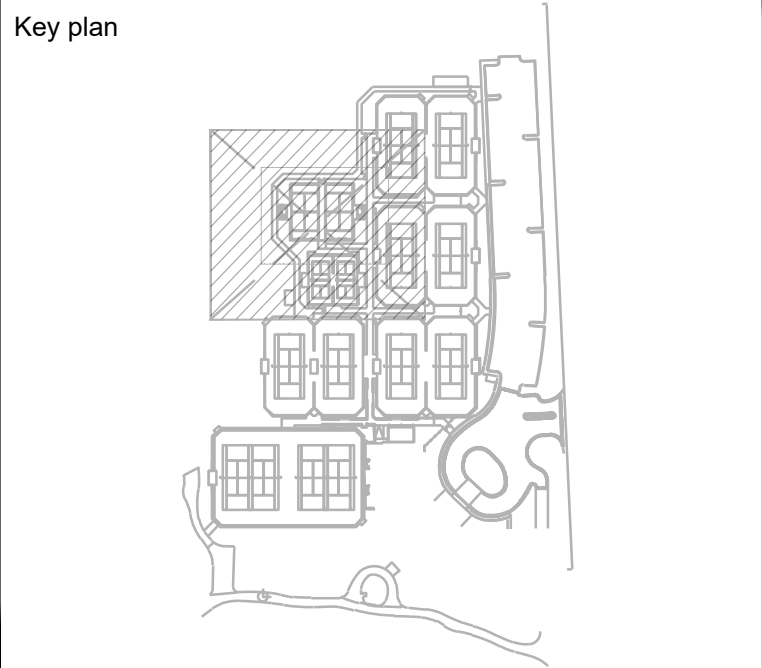
2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
△		
△		



File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

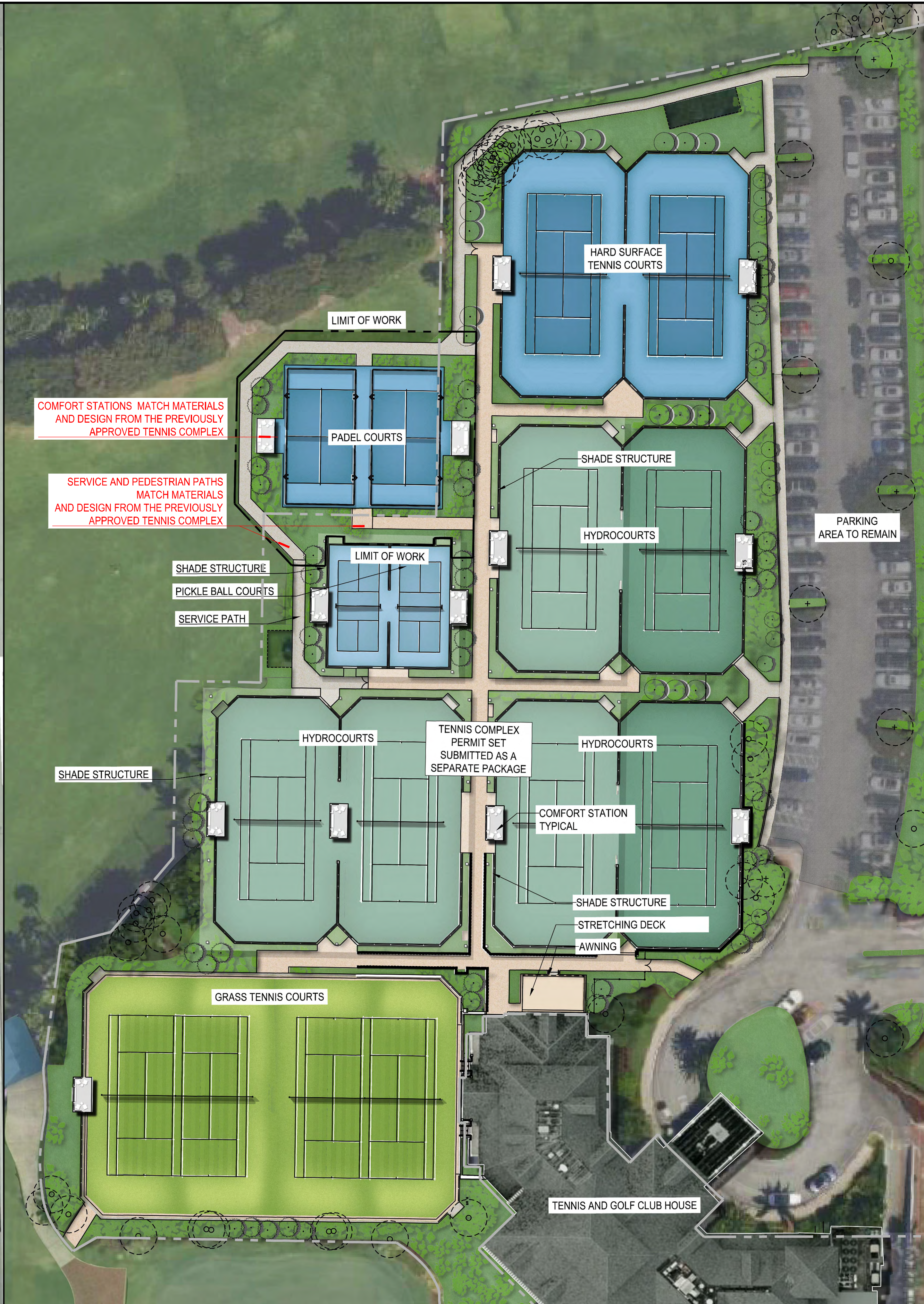
GENERAL NOTES

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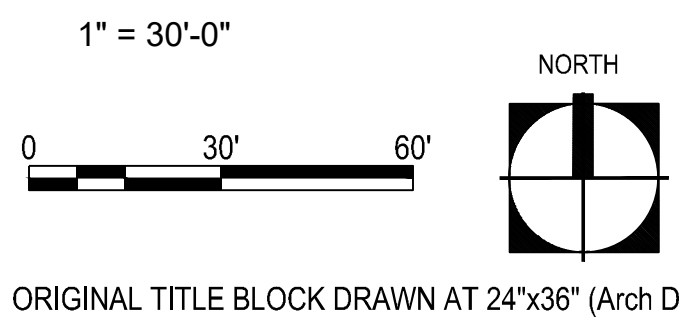
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1 PREVIOUSLY APPROVED TENNIS CENTER
SCALE - 1"=30'-0"



2 PADEL COURT ADDITION
SCALE - 1"=30'-0"



Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS
PALM BEACH

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
1		
2		
3		

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

**PADEL COURTS
ADJUSTMENTS**

Revision Number	Sheet Number
0	L0-0-03

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\06-SHEETS\0067 - Padel Courts\00-04 ILLUSTRATIVE PLAN.dwg Jun 26, 2024 5:14pm by eedala



Project Name

THE BREAKERS
PALM BEACH

-PADEL COURTS-

Client

**THE BREAKERS
PALM BEACH**

2 S County Rd
Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
1		
2		
3		

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
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Approved / Checked By	CM
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Seal

Project Number

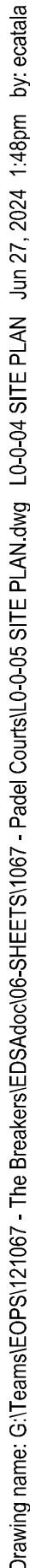
Project Phase

PERMIT SET

Sheet Title


ILLUSTRATIVE PLAN

Revision Number	Sheet Number
0	L0-0-04



LANDSCAPE LEGEND			
PROPERTY ADDRESS:		2 S COUNTY RD, PALM BEACH, FL 33480	
	REQUIRED	EXISTING TO REMAIN	PROPOSED
LIMIT OF WORK SIZE (SQ FT)			11,850
LANDSCAPE OPEN SPACE (LOS) (SQ FT AND %)			4,006 (34%)
	PLANTING		3,396
	GRASS AREA		610
HARDSCAPE (LOS) (SQ FT AND %)			7,653 (65%)
NATIVE* TREES %			
NATIVE* PALMS %			100 (100%)
NATIVE* SHRUBS %	(35%)		1,148.5 (66%)
NATIVE* GROUNDCOVER/VINES %	(35%)		1,195 (71%)



Revision Number	Sheet Number
	L0-0-05



NORTH VIEW OF GOLF COURSE



EAST VIEW OF GOLF COURSE TOWARDS TENNIS COURT



SOUTH VIEW OF GOLF COURSE

Project Name

B

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

2 S County Rd

Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
△		
△		
△		

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

EXISTING SITE IMAGES

Revision Number

0

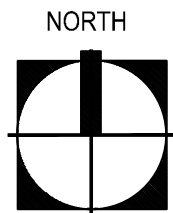
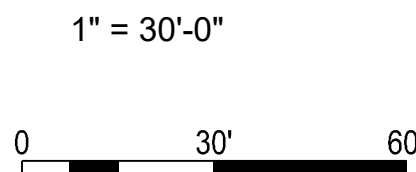
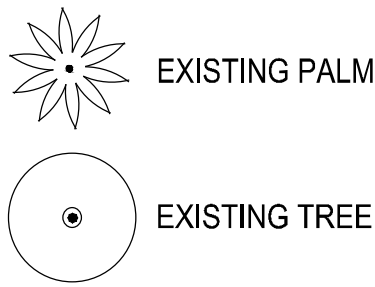
Sheet Number

L0-0-06

Drawing name: G:\Teams\ECOPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\LO-0-07 EXISTING CONDITIONS PLAN.dwg Jun 26, 2024 5:14pm by: ecatala

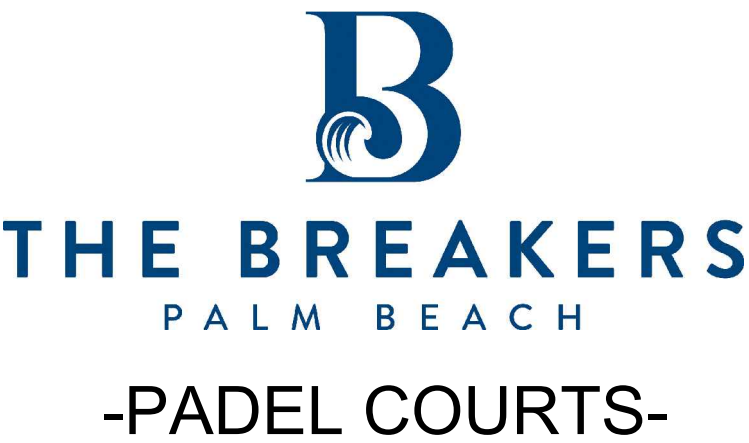


EXISTING CONDITIONS	
	EXISTING
LIMIT OF WORK SIZE (SQ FT)	11,850 SQ FT
LANDSCAPE OPEN SPACE (LOS) (SQ FT AND %)	11,850 SQ FT (100%)
LAWN / TURF	11,850 SQ FT



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name



Client

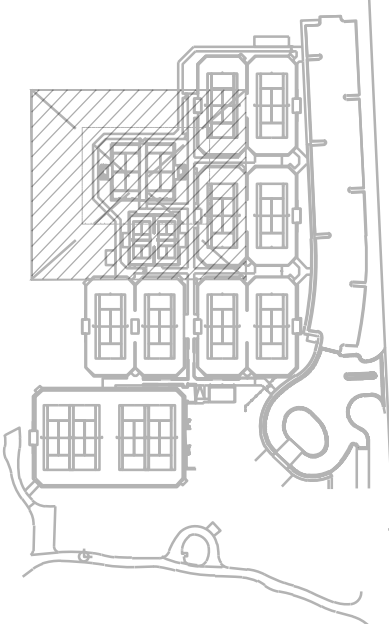
THE BREAKERS
PALM BEACH
2 S County Rd
Palm Beach, FL 33480



PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
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Project Number

Project Phase
PERMIT SET

Sheet Title
EXISTING CONDITIONS PLAN

Revision Number	Sheet Number
0	L0-0-07

DRIVING RANGE

CART PATH

PUTTING GREEN

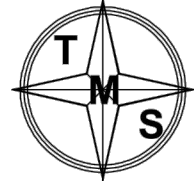
CLUB HOUSE
FINISH FLOOR ELEVATION
8.55 NAVD

SURVEYOR'S NOTES

1. THE SURVEY DEPICTED HEREIN IS CLASSIFIED AS A TOPOGRAPHIC SURVEY.
2. THE CONTROL SURVEY FOR THE SURVEY DEPICTED HEREON MEETS OR EXCEEDS A LINEAR CLOSURE OF 1 FOOT IN 10,000 FEET. THE EXPECTED USE OF SAID SURVEY IS FOR HIGH RISK COMMERCIAL.
3. UNDERGROUND APPARENT USE WAS NOT LOCATED BY THIS SURVEY.
4. TIMOTHY M. SMITH LAND SURVEYING, INC., LICENSED BUSINESS NUMBER LB-6865.
5. NO SEARCH OF THE PUBLIC RECORDS WAS MADE BY TIMOTHY M. SMITH LAND SURVEYING, INC., THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF TITLE INFORMATION.
6. SURVEY MAP AND COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OF PROFESSIONAL SURVEYOR AND MAPPER TIMOTHY M. SMITH, FLORIDA CERTIFICATE NO. LS 004676.
7. ADDITIONS OR DELETIONS TO SURVEY MAP BY ANY OTHER THAN THE SIGNING PARTY IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.
8. ALL COMPUTED DATA OR PLOTTED FEATURES DEPICTED ON THIS SURVEY MAP ARE SUPPORTED BY ACCURATE SURVEY MEASUREMENTS MADE BY THE SURVEYOR.
9. DIMENSIONS SHOWN HEREON ARE EXPRESSED IN UNITED STATES STANDARD FEET AND DECIMAL PARTS THEREOF.
12. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 AND ARE BASED ON PALM BEACH COUNTY ENGINEERING DEPARTMENT BENCHMARK "BREAKERS" WITH A PUBLISHED ELEVATION OF 15.84.

TIMOTHY M. SMITH, P.S.M.
FLORIDA REGISTRATION NO. 4676
DATE OF SURVEY: 03/03/2022

TIMOTHY M. SMITH
LAND SURVEYING, INC.
4546 CAMBRIDGE STREET
WEST PALM BEACH, FL 33415
(561) 602-8160
LB #6865

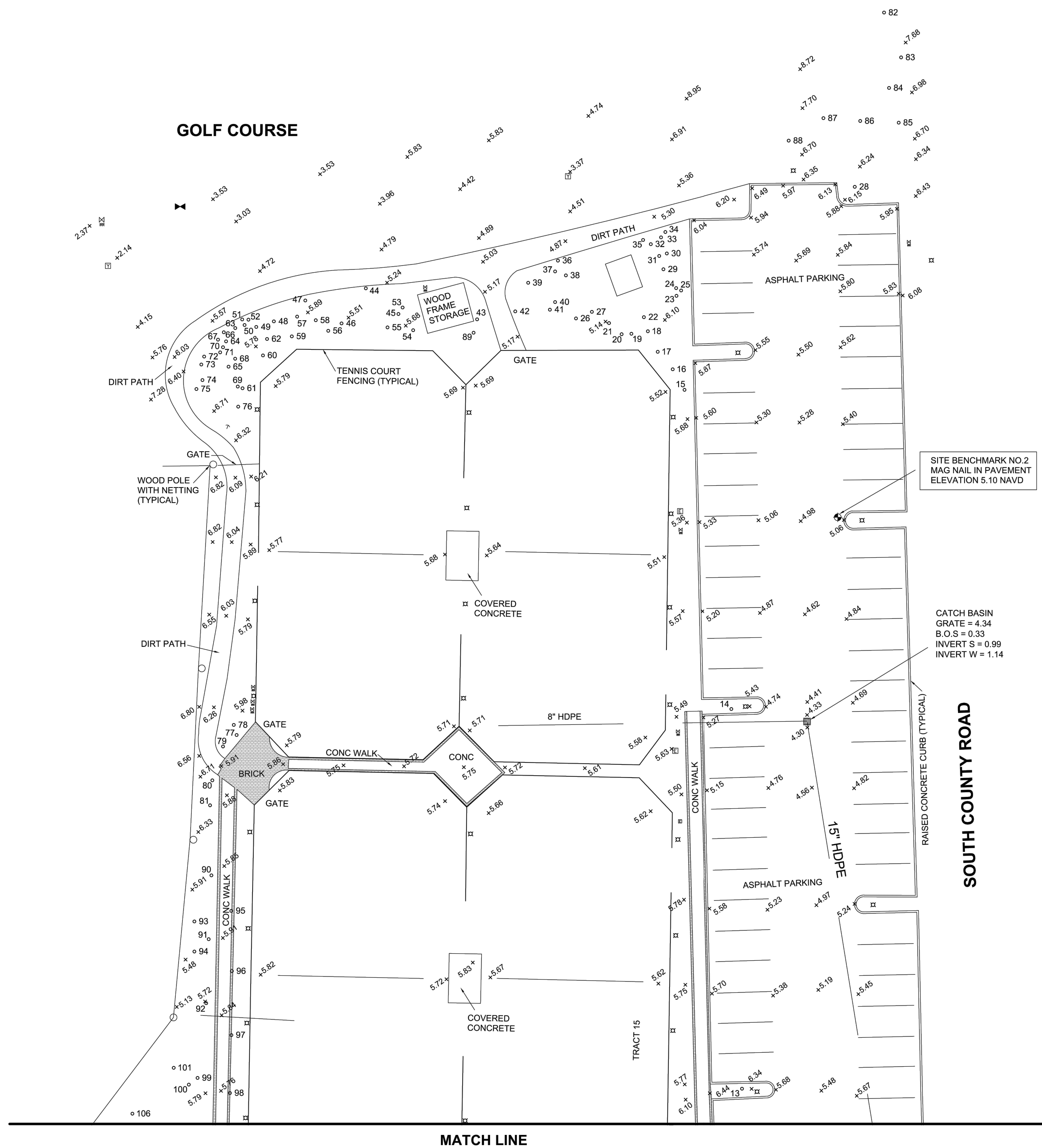
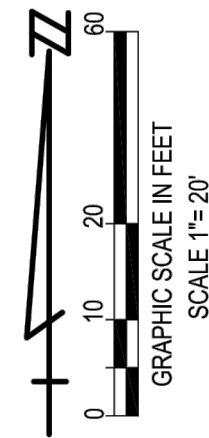


SPECIFIC PURPOSE SURVEY
THE BREAKERS
TENNIS CENTER

SHEET 1 OF 2
SCALE: 1"=20'
DATE: JANUARY 2022
DIRECTORY: BRAKTENN
FIELD BOOK: ELEC.
DWG NO.: BRAKTENN

TREE NUMBER	TREE TYPE	DIAMETER (INCHES)
1	COCONUT PALM	8
2	COCONUT PALM	8
3	COCONUT PALM	9
4	COCONUT PALM	8
5	COCONUT PALM	9
6	COCONUT PALM	8
7	COCONUT PALM	8
8	COCONUT PALM	8
9	COCONUT PALM	8
10	EXOTIC SHADE	14
11	DATE PALM	18
12	COCONUT PALM	8
13	OK	8
14	EXOTIC SHADE	18
15	COCONUT PALM	8
16	COCONUT PALM	9
17	COCONUT PALM	9
18	COCONUT PALM	8
19	COCONUT PALM	8
20	PALM	8
21	COCONUT PALM	8
22	ROYAL PALM	24
23	CABBAGE PALM	14
24	CABBAGE PALM	14
25	CABBAGE PALM	18
26	DATE PALM	24
27	BANYAN	100
28	EXOTIC SHADE	16
29	PALM	6
30	PALM	6
31	PALM	6
32	PALM	6
33	PALM	6
34	PALM	6
35	PALM	6
36	CABBAGE PALM	12
37	PALM	6
38	PALM	6
39	PALM	6
40	PALM	6
41	PALM	6
42	COCONUT PALM	10
43	COCONUT PALM	10
44	CABBAGE PALM	12
45	CABBAGE PALM	12
46	CABBAGE PALM	12
47	CABBAGE PALM	12
48	CABBAGE PALM	12
49	FANTAIL PALM	10
50	FANTAIL PALM	12
51	FANTAIL PALM	12
52	FANTAIL PALM	10
53	COCONUT PALM	10
54	COCONUT PALM	10
55	COCONUT PALM	10
56	COCONUT PALM	9
57	COCONUT PALM	10
58	COCONUT PALM	8
59	COCONUT PALM	10
60	COCONUT PALM	10
61	COCONUT PALM	10
62	COCONUT PALM	8
63	FANTAIL PALM	10
64	FANTAIL PALM	10
65	FANTAIL PALM	10
66	FANTAIL PALM	10
67	FANTAIL PALM	10
68	COCONUT PALM	8
69	COCONUT PALM	8
70	FANTAIL PALM	12
71	FANTAIL PALM	12
72	FANTAIL PALM	10
73	FANTAIL PALM	10
74	FANTAIL PALM	10
75	FANTAIL PALM	10
76	3 TRUNK SEAGRAPE	8
77	PALM	6
78	PALM	7
79	PALM	6
80	PALM	6
81	PALM	6
82	COCONUT PALM	14
83	COCONUT PALM	14
84	COCONUT PALM	12
85	COCONUT PALM	12
86	COCONUT PALM	12
87	COCONUT PALM	12
88	CABBAGE PALM	10
89	COCONUT PALM	10
90	PALM	6
91	PALM	6
92	PALM	6
93	PALM	6
94	PALM	8
95	PALM	6
96	PALM	6
97	PALM	6
98	PALM	6
99	BANYAN	60
100	CABBAGE PALM	12
101	CABBAGE PALM	12
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103	CABBAGE PALM	10
104	CABBAGE PALM	10
105	CABBAGE PALM	10

106	CABBAGE PALM	10
107	PALM	6
108	PALM	6
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111	PALM	6
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114	PALM	6
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116	PALM	6
117	CABBAGE PALM	12
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120	CABBAGE PALM	12
121	CABBAGE PALM	12
122	CABBAGE PALM	12
123	CABBAGE PALM	14
124	CABBAGE PALM	14
125	EXOTIC SHADE	12
126	EXOTIC SHADE	12
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137	FANTAIL PALM	6
138	FANTAIL PALM	6
139	FANTAIL PALM	6
140	EXOTIC SHADE	12
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152	PALM	6
153	PALM	6
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169	FANTAIL PALM	12
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208	PALM	12
209	PALM	6
210	PALM	6
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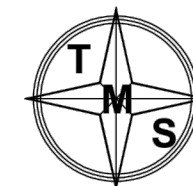
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3	COCONUT PALM	9
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6	COCONUT PALM	8
7	COCONUT PALM	8
8	COCONUT PALM	8
9	COCONUT PALM	8
10	EXOTIC SHADE	14
11	DATE PALM	18
12	COCONUT PALM	8
13	OK	8
14	EXOTIC SHADE	18
15	COCONUT PALM	8
16	COCONUT PALM	9
17	COCONUT PALM	9
18	COCONUT PALM	8
19	COCONUT PALM	8
20	PALM	8
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22	ROYAL PALM	24
23	CABBAGE PALM	14
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25	CABBAGE PALM	18
26	DATE PALM	24
27	BANYAN	100
28	EXOTIC SHADE	16
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30	PALM	6
31	PALM	6
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166	FANTAIL PALM	10
167	FANTAIL PALM	10
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171	COCONUT PALM	10
172	PALM	6
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179	ROYAL PALM	18
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203	FANTAIL PALM	8
204	FANTAIL PALM	8
205	PALM	10
206	CABBAGE PALM	8
207	PALM	6
208	PALM	6
209	PALM	6
210	PALM	6
211	DATE PALM	18
212	PALM	8
213	PALM	8
214	CABBAGE PALM	10
215	EXOTIC SHADE	10

TIMOTHY M. SMITH
LAND SURVEYING, INC.
4546 CAMBRIDGE STREET
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(561) 602-8160
LB #6865



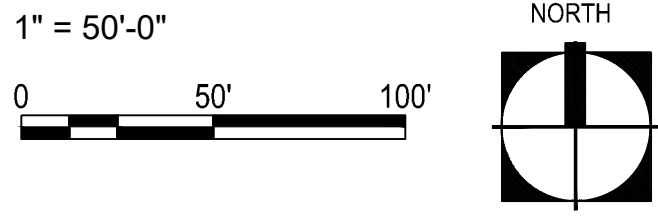
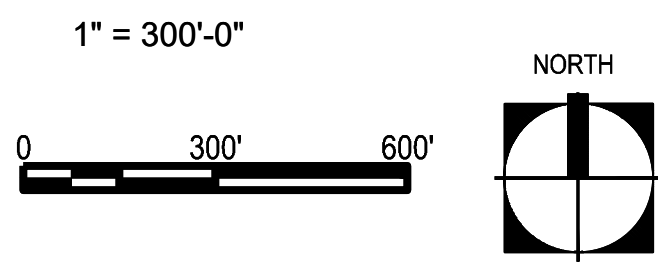
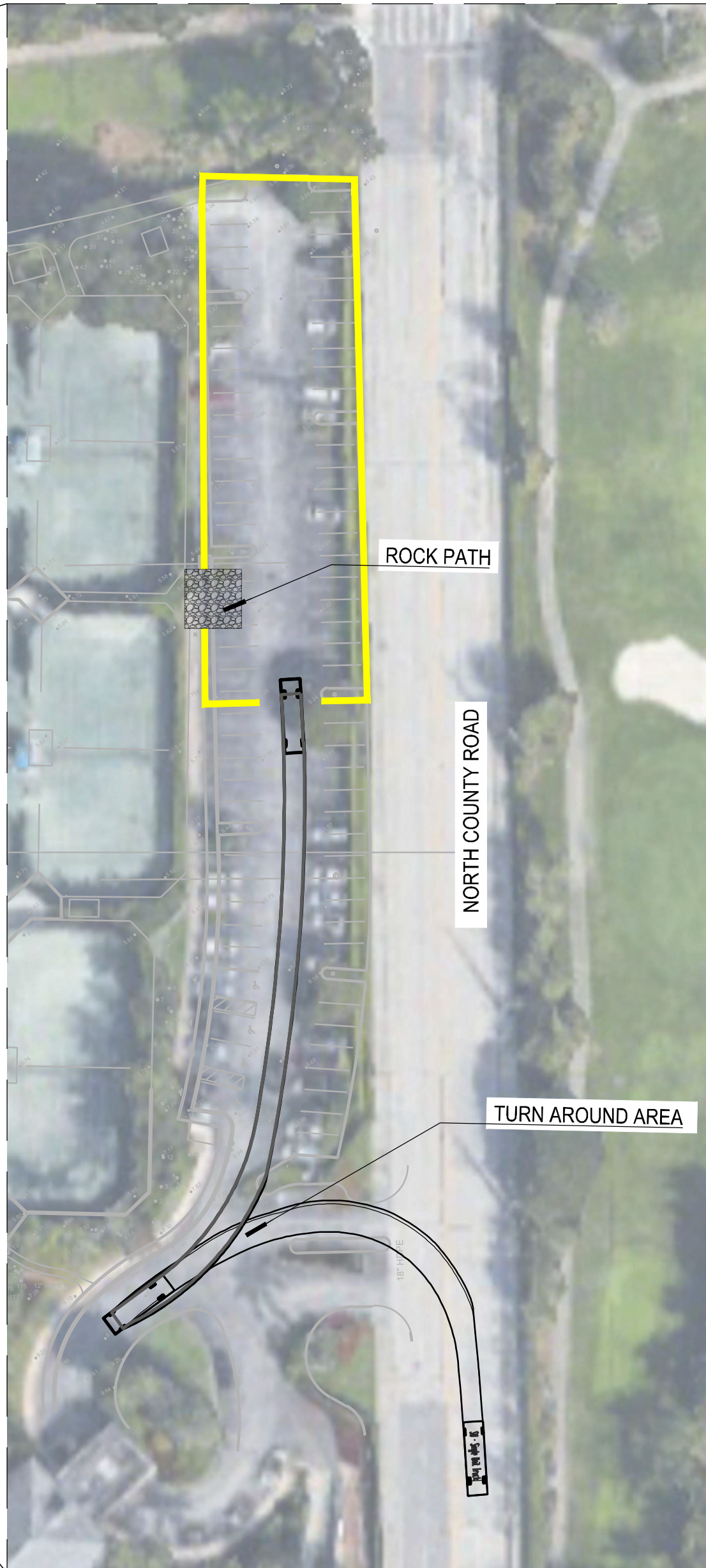
SPECIFIC PURPOSE SURVEY
THE BREAKERS
TENNIS CENTER

SHEET 2 OF 2
SCALE: 1"=20'
DATE: JANUARY 2022
DIRECTORY: BRAKTENN
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DWG NO.: BRAKTENN

Drawing name: G:\Teams\ECPS\121067 - The Breakers\EDS\06-SHEETS\067 - Padel Courts\04-10 CONSTRUCTION STAGING & TRUCK LOGISTICS PLAN.dwg Jun 26, 2024 4:15pm by: ecatala



- LEGEND:
- CONSTRUCTION TRUCK ROUTE
 - CONSTRUCTION STAGING & PARKING



ORIGINAL TITLE BLOCK DRAWN AT 24"x36" (Arch D)

Project Name

B

THE BREAKERS

PALM BEACH

-PADEL COURTS-

Client

THE BREAKERS

PALM BEACH

2 S County Rd

Palm Beach, FL 33480

edsa

PLANNING
LANDSCAPE ARCHITECTURE
URBAN DESIGN

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330

Rev	Date	Issued for
1		
1		
1		

Key plan

File Name	
Hearing Date	
Submittal Date	JULY 1, 2024
Designed By	CF
Drawn By	EC, CF
Approved / Checked By	CM
Project Number	121067

Seal

Project Number

Project Phase

PERMIT SET

Sheet Title

CONSTRUCTION STAGING
& TRUCK LOGISTICS PLAN

Revision Number	Sheet Number
0	L0-0-10