

PROPOSED NEW RESIDENCE AT:

620 NORTH LAKE WAY

TOWN OF PALM BEACH

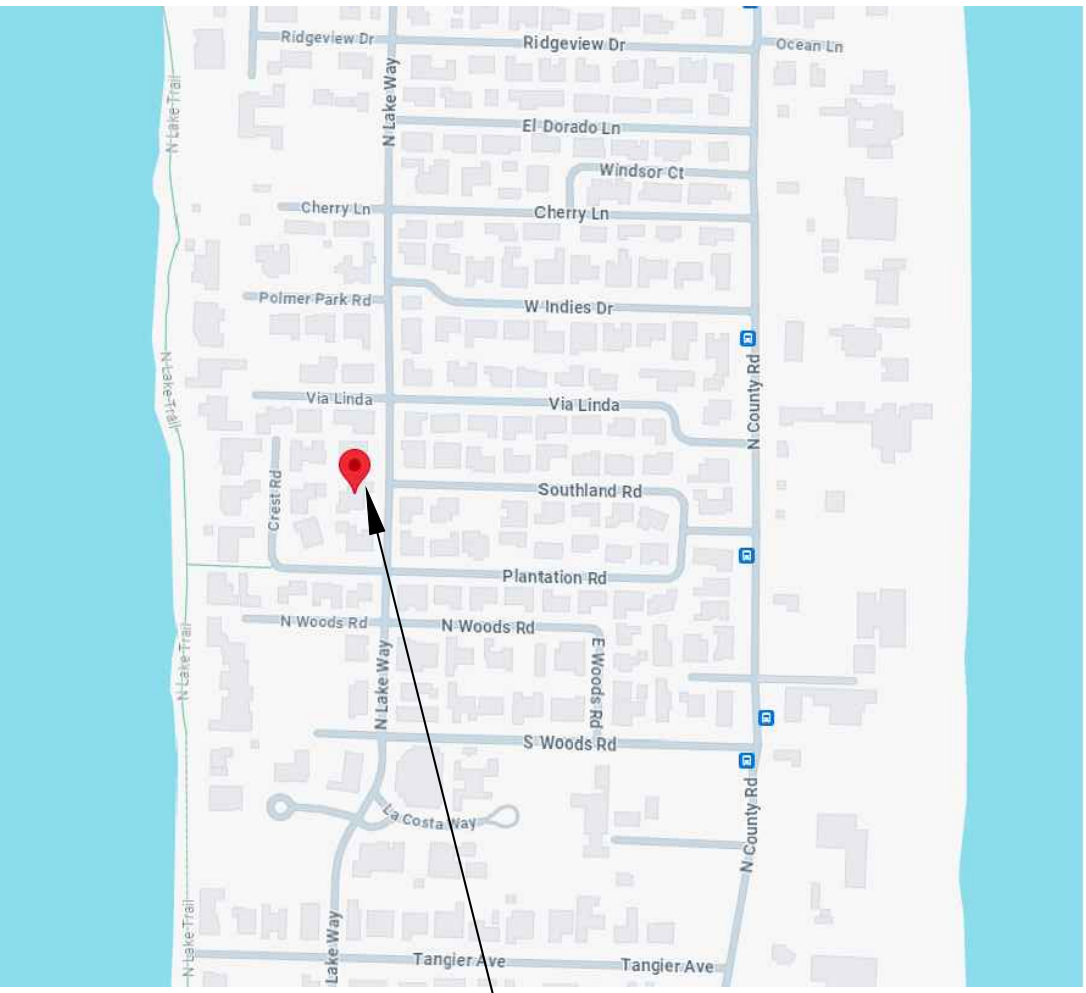
PALM BEACH COUNTY, FLORIDA

RECEIVED
By yfigueroa at 2:12 pm, Jun 10, 2024

ARC-24-035 / ZON-24-043
ARCOM: 05.29.2024
TOWN COUNCIL: 06.12.2024
FIRST SUBMITTAL: 03.14.2024
SECOND SUBMITTAL: 04.01.2024
FINAL SUBMITTAL: 04.15.2024
PRESENTATION SET: 05.24.2024
ARCOM REV 01 SUBMITTAL: 06.10.2024

INDEX OF DRAWINGS

- A-0.00 COVER SHEET SURVEY
- A-0.01 STREETScape DRAWINGS/ NEIGHBORHOOD
- A-0.02 REFERENCE IMAGES
- A-0.03 REFERENCE IMAGES
- SP-1.01 1/8" - 1'-0" SITE PLAN - PROPOSED W/ DATA
- SP-1.02 SITE DATA AND CUBIC CONTENT
- SP-1.03 LOT COVERAGE
- SP-1.04 TRUCK LOGISTICS
- A-1.01 3/16" - 1'-0" FIRST FLOOR PLAN
- A-1.02 3/16" - 1'-0" SECOND FLOOR PLAN
- A-1.03 3/16" - 1'-0" ROOF PLAN
- A-2.01 3/16" - 1'-0" ELEVATIONS
- A-2.02 3/16" - 1'-0" ELEVATIONS
- A-2.03 COLORED ELEVATIONS
- A-2.04 COLORED ELEVATIONS
- A-2.05 RENDERED PERSPECTIVE
- A-2.06 RENDERED PERSPECTIVE
- A-3.01 BUILDING AND YARD SECTIONS
- A-3.02 BUILDING AND YARD SECTIONS
- A-5.01 3/4" - 1'-0" DETAILS
- C1 LOT GRADING PLAN
- C2 DRAINAGE CALCS



SUBJECT PROPERTY

LOCATION MAP
PALM BEACH, FL
N.T.S.

SCOPE OF WORK

- 1. NEW 2 STORY RESIDENCE
- 2. NEW POOL
- 3. NEW HARDSCAPE
- 4. NEW LANDSCAPE

CONSULTANTS AND ENGINEERS:							
GENERAL CONTRACTOR:	GEOTECHNICAL ENGINEER:	STRUCTURAL ENGINEER:	MEP ENGINEER:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:	SURVEYOR:	JOB NUMBER: 24-137
				STORMWATERJ ENGINEERING, INC. 1855 INDIAN ROAD, SUITE 202 WEST PALM BEACH, FL, 33409 561-242-0028	NIELSEN LANDSCAPE ARCHITECTS 1447 CYPRESS DRIVE, SUITE 2 JUPITER, FL 33469 561-402-9414	WALLACE SURVEYING 5553 VILLAGE BLVD WEST PALM BEACH, FL 33407 561-640-4551	ISSUED FOR PRE-APP REVIEW: 01.03.24 ISSUED FOR FIRST SUBMITTAL: 03.14.24 ISSUED FOR SECOND SUBMITTAL: 04.01.24 ISSUED FOR FINAL SUBMITTAL: 04.15.24 ARCOM APPROVAL :

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

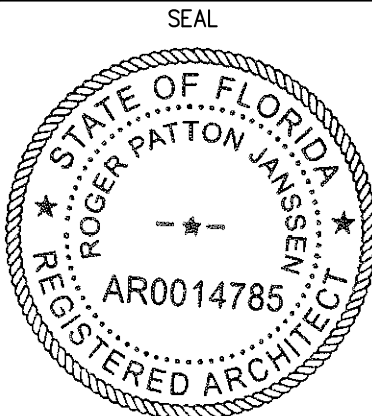
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DRAWN: JB

REVISIONS:

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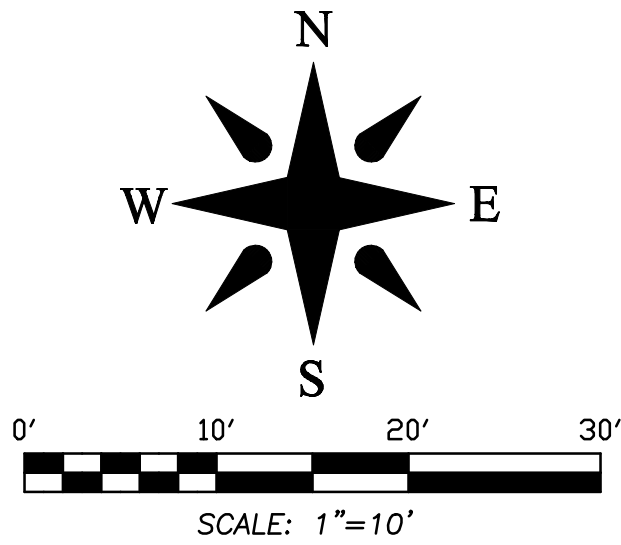
ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A0.00

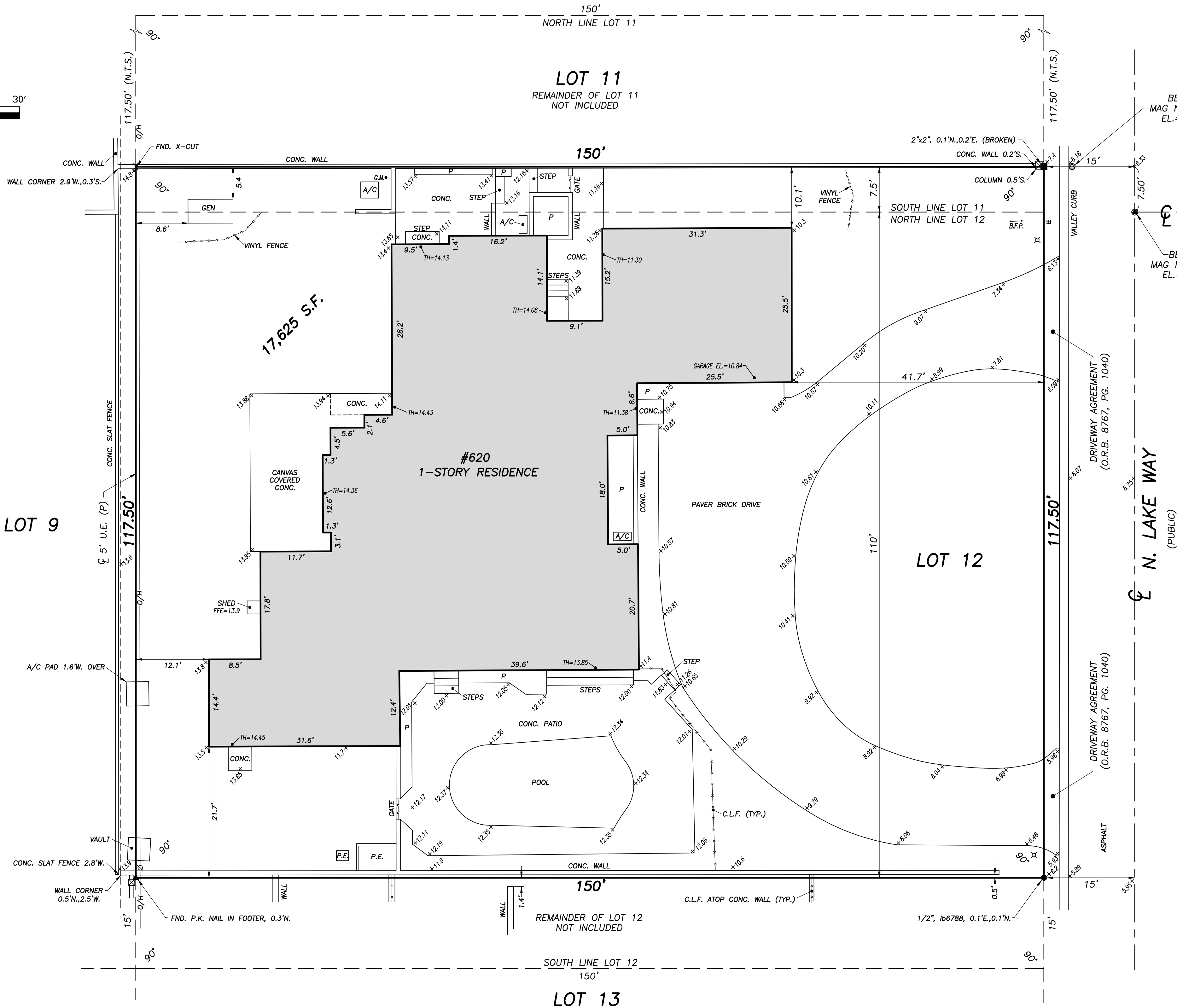
JOB NUMBER: 23-137



LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
B.F.P. = BACKFLOW PREVENTER
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DNV = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
FFE = FINISH FLOOR ELEVATION
FND. = FOUND
GEN. = GENERATOR
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
OH = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
P = PLANTER
(P) = PLANT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P.O. = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
PVMT = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R.W. = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
SD = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U.C. = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
@ = BASELINE
+ = CENTERLINE
+ = CENTRAL ANGLE/DELTA
+ = CONCRETE MONUMENT FOUND (AS NOTED)
+ = CONCRETE MONUMENT SET (LB #4569)
+ = ROD & CAP FOUND (AS NOTED)
+ = SIF ROD & CAP SET (LB #4569)
+ = IRON PIPE FOUND (AS NOTED)
+ = IRON ROD FOUND (AS NOTED)
+ = NAIL FOUND
+ = NAIL & DISK FOUND (AS NOTED)
+ = MAG NAIL & DISK SET (LB #4569)
+ = PROPERTY LINE
+ = UTILITY POLE
+ = FIRE HYDRANT
+ = WATER METER
+ = WATER VALVE
+ = LIGHT POLE

LOT 9



FLOOD ZONE:

This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0581F, dated 10/5/2017.

NOTES:

- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 3/24/2021

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

LAKE WORTH LAGOON

SITE

VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR: KOCHMAN & ZISKA PLC

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

Kochman & Ziska PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

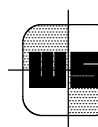
620 N Lake Way
Palm Beach FL 33480

LEGAL DESCRIPTION:

The South 7.5 feet of Lot 11 and the North 110 feet of Lot 12, **EAST SHORE ADDITION**, according to the plat thereof as recorded in Plat Book 21, Page 14, Public Records of Palm Beach County, Florida.

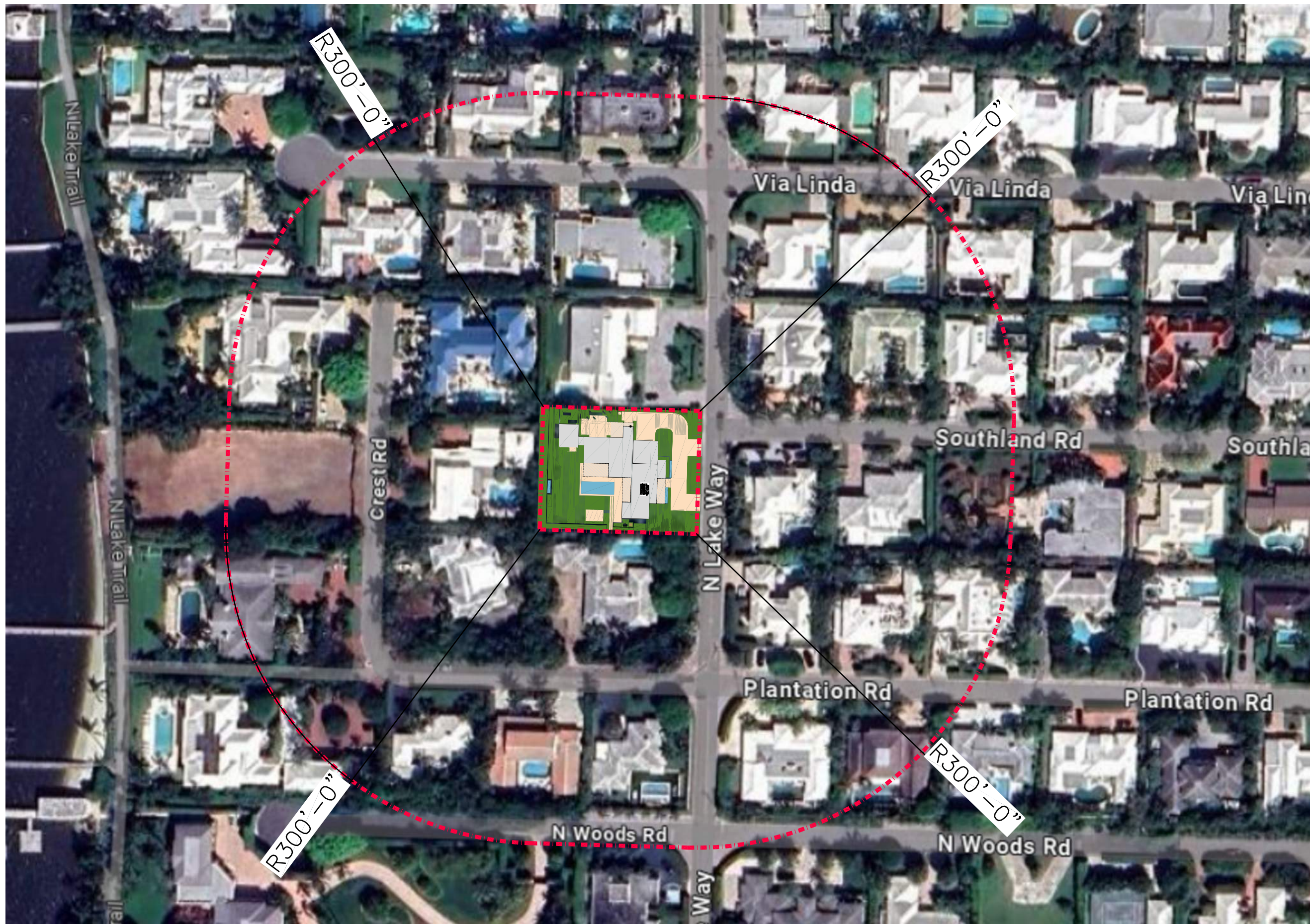
BOUNDARY SURVEY FOR:

KOCHMAN & ZISKA PLC



WALLACE SURVEYING
CORP., LICENSED BUSINESS # 4569
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD	B.M.	JOB NO.	21-1194	F.B.	PB308	PG.	49
OFFICE	M.B.	DATE	3/24/21	DWG. NO.	21-1194		
C.K'D.	C.W.	REF.	21-1194.DWG	SHEET	1	OF	1



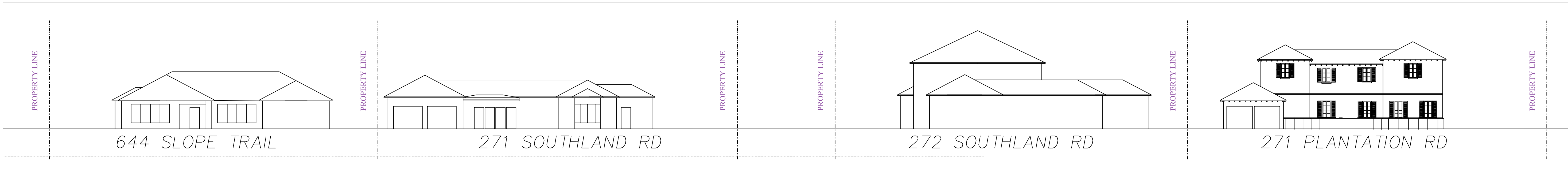
AERIAL MAP



LOCATION PLAN



620 NORTH
LAKE WAY
STREETSCAPE



PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

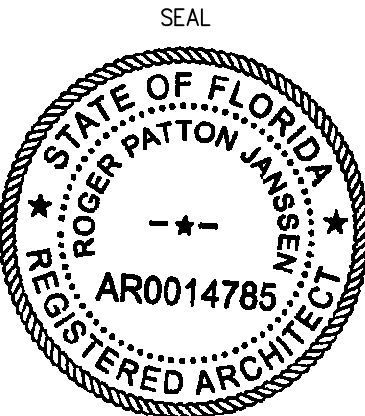
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REVISIONS:

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A0.01

JOB NUMBER: 23-137



1090 NLW



958 NLW



936 NLW



900 NLW



237 RIDGEVIEW



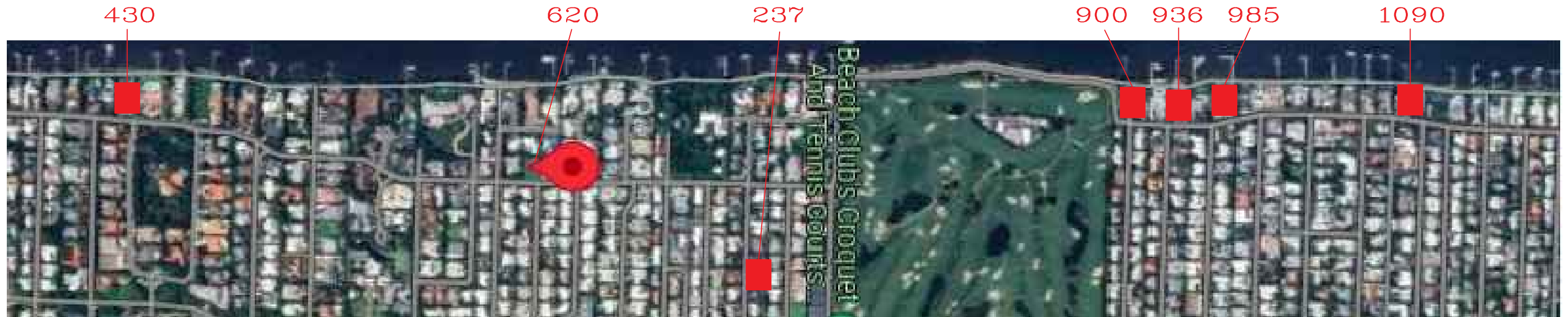
301 PLANTATION



301 PLANTATION



430 NLW



 AERIAL MAP

PROPOSED RESIDENCE AT:

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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620 N LAKE WAY

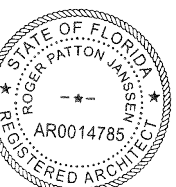
TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

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SEAL



ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A0.01B

JOB NUMBER: 23-137



254 PLANTATION RD



255 PLANTATION RD



255 SOUTHLAND RD (2)



255 SOUTHLAND RD



257 VIA LINDA



260 PLANTATION RD



265 PLANTATION RD (2)



265 PLANTATION RD



265 SOUTHLAND RD (2)



265 SOUTHLAND RD



266 SOUTHLAND RD (2)



266 SOUTHLAND RD



271 PLANTATION (2)



271 PLANTATION RD



271 SOUTHLAND (2)



271 SOUTHLAND RD



272 PLANTATION RD (2)



272 SOUTHLAND (2)



272 SOUTHLAND



301 PLANTATION RD (2)



301 PLANTATION RD



301 VIA LINDA (2)



301 VIA LINDA



302 N WOODS RD (2)



302 N WOODS RD



302 VIA LINDA (2)



302 VIA LINDA (3)



302 VIA LINDA



304 PLANTATION RD



309 VIA LINDA



310 PLANTATION RD



310 VIA LINDA (2)



310 VIA LINDA



316 PLANTATION RD



318 N WOODS RD



318 VIA LINDA



324 PLANTATION RD



325 VIA LINDA (2)



325 VIA LINDA



326 VIA LINDA



595 N LAKE WAY (2)



595 N LAKE WAY



615 CREST RD (2)



615 CREST RD



620 CREST RD (2)



620 CREST RD



620 N LAKE WAY (SUBJECT PROPERTY)



624 N LAKE WAY (2)



624 N LAKE WAY



625 CREST RD



630 CREST RD (2)



630 CREST RD



635 CREST RD (2)



635 CREST RD



640 CREST RD



644 N LAKE WAY (2)



644 N LAKE WAY



620 NLW EXIST 1



620 NLW EXIST 2



620 NLW EXIST 3



620 NLW EXIST 4



620 NLW EXIST 5



620 NLW EXIST 6



ALFRED BROWNING PARKER
PRECEDENT STUDIES



PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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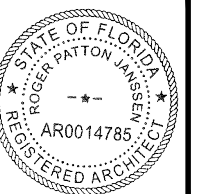
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A0.02

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COLOR PALETTE EXTERIOR
PRECEDENT STUDIES

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620 N LAKE WAY
PALM BEACH

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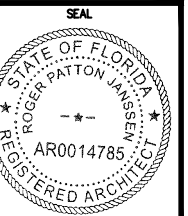
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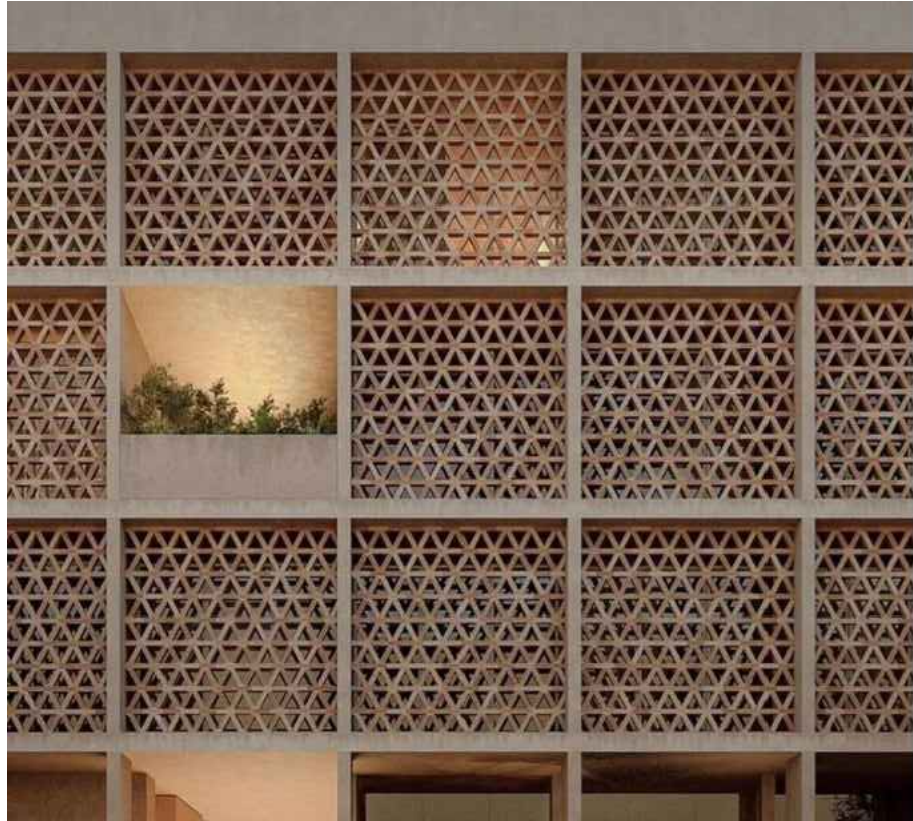
ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A0.03

JOB NUMBER: 23-137



BREEZE BLOCK EXTERIOR
PRECEDENT STUDIES

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TOWN OF PALM BEACH

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DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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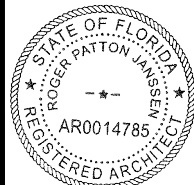
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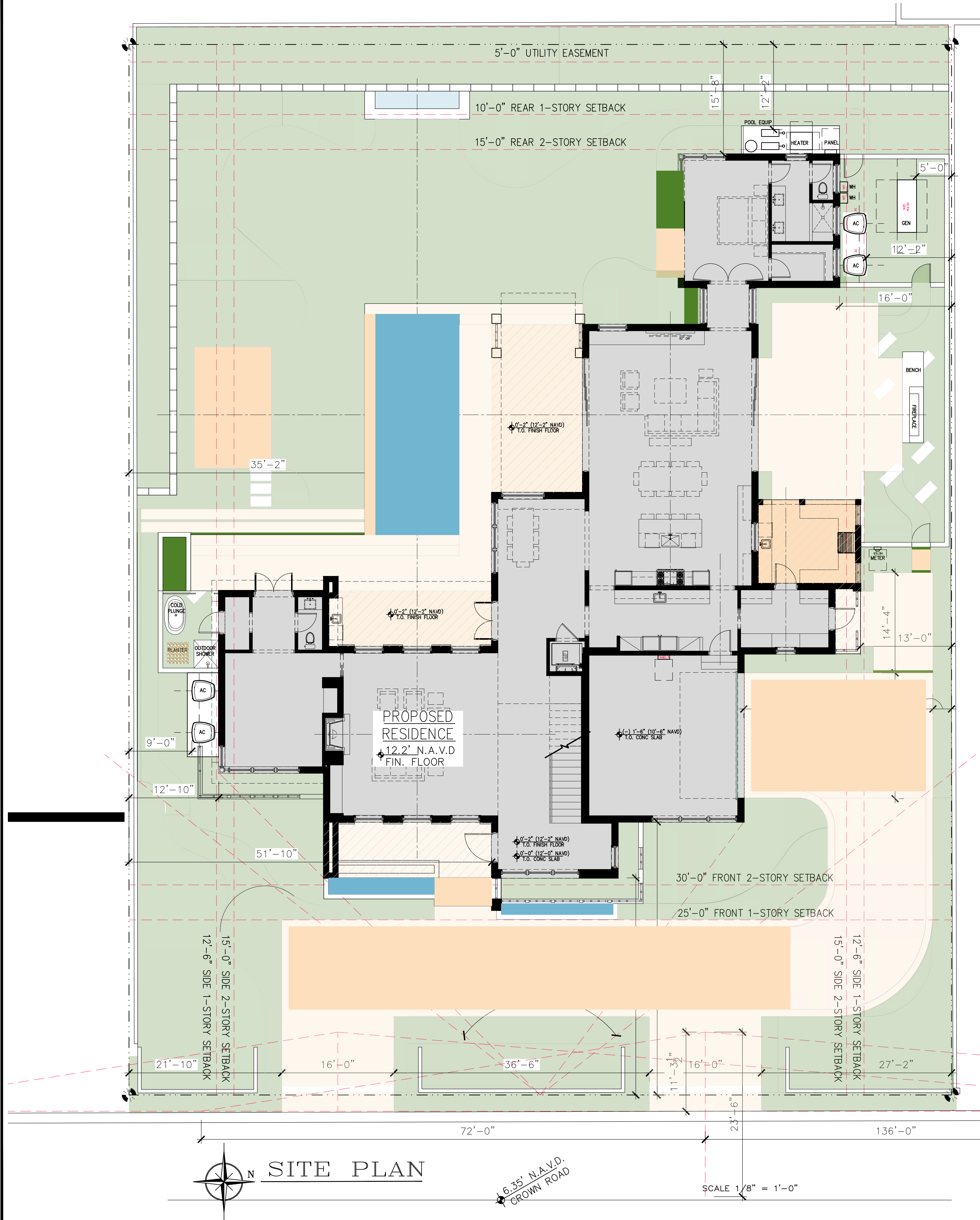
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DRAWING NO.

A0.04

JOB NUMBER:

23-137



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

SCOPE OF WORK	
1 - NEW 2-STORY RESIDENCE 2- NEW HARDSCAPE AND POOL 3- NEW LANDSCAPE	
PROPOSED SQUARE FOOT DATA	
LOT SIZE:	17,625 SF (10,000 SF MINIMUM)
RESIDENCE AREA CALCULATIONS:	
AREA:	SQUARE FOOTAGE:
FIRST FLOOR (AC):	3,534 S.F.
SECOND FLOOR (AC):	2,082 S.F.
TOTAL:	5,616 S.F.
GARAGES:	
2 CAR GARAGE:	536 S.F.
PATIOS/ TERRACES:	
LOGGIA 1:	187 S.F.
LOGGIA 2:	312 S.F.
SIDE ENTRY:	37 S.F.
ENTRY:	192 S.F.
TOTAL UNDER ROOF:	6,880 S.F.

Line #	Zoning Legend			
1	Property Address:	620 N LAKE WAY		
2	Zoning District:	R-B		
3	Lot Area (sq. ft.):	17,625		
4	Lot Width (W) & Depth (D) (ft.):	117'-6" WIDTH, 150'-0" DEPTH		
5	Structure Type:	SINGLE-FAMILY		
6	(Single-Family, Multi-Family, Comm., Other)			
7	FEMA Flood Zone Designation:	ZONE X		
8	Zero Datum for point of meas. (NAVD)	7.85' NAVD / 12.17' NAVD PROPOSED		
9	Crown of Road (COR) (NAVD)	6.35' NAVD		
10	Lot Coverage (Sq Ft and %)	10,000	17,625	17,625
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	N/A	6,152
12	*Front Yard Setback (Ft.)	25' (1) / 30' (2)	N/A	31'-0"
13	* Side Yard Setback (1st Story) (Ft.)	12'-6"	N/A	13'-0"N / 12'-10"S
14	* Side Yard Setback (2nd Story) (Ft.)	15'-0"	N/A	15'-2"N / 51'-10"S
15	*Rear Yard Setback (Ft.)	10' (1) / 15' (2)	N/A	15'-8"
16	Angle of Vision (Deg.)	104	N/A	82
17	Building Height (Ft.)	14'-0" (1) / 22'-0" (2)	N/A	10'-0" / 19'-6"
18	Overall Building Height (Ft.)	30'-0"	N/A	28'-11" (36'-9"NAVD)
19	Cubic Content Ratio (CCR) (R-B ONLY)	3.92 (69,090 C.F)	N/A	3.92 (68,981.5 C.F)
20	** Max. Fill Added to Site (Ft.)		N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	N/A	N/A	12'-2" NAVD
22	Base Flood Elevation (BFE)(NAVD)	N/A	N/A	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	7,931.25 (45%)	N/A	8,025 (45.5%)
24	Perimeter LOS (Sq Ft and %)	3,965.6 (50% of item 23)	N/A	4,145 (52%)
25	Front Yard LOS (Sq Ft and %)	1,743.6 (40% of Front)	N/A	2,362 (54%)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626

PROPOSED RESIDENCE AT:

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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SEAL

ROGER P. JANSSEN AR-14785

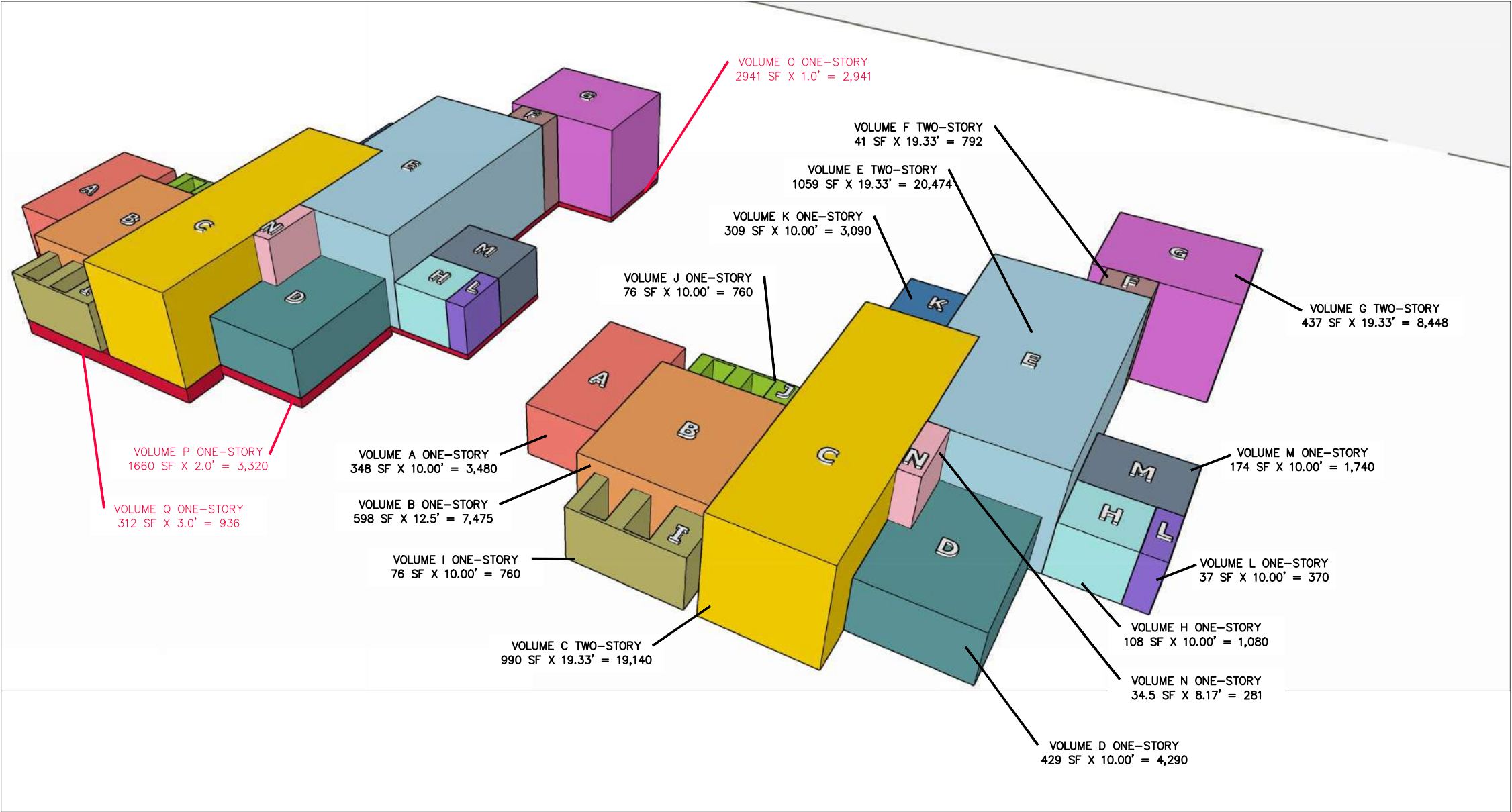
ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

SP1.01

JOB NUMBER: 23-137

CUBIC CONTENT DIAGRAM



CUBIC CONTENT TABULATION VARIANCE REQUEST				
	MASS	AREA	HEIGHT	VOLUME
A	ONE STORY	348 SF	10.0'	3,480 CF
B	ONE STORY	598 SF	12.5'	7,475 CF
C	TWO STORY	990 SF	19.33'	19,140 CF
D	ONE STORY	429 SF	10.0'	4,290 CF
E	TWO STORY	1059 SF	19.33'	20,474 CF
F	TWO STORY	41 SF	19.33'	792 CF
G	TWO STORY	437 SF	19.33'	8,448 CF
H	ONE STORY	108 SF	10'	1,080 CF
I	OPEN PORCH	76 SF	10.0'	760 CF (UNENCLOSED)
J	OPEN PORCH	76 SF	10.0'	760 CF (UNENCLOSED)
K	OPEN PORCH	309 SF	10.0'	3,296 CF (UNENCLOSED)
L	OPEN ENTRY	37 SF	10.0'	370 CF (UNENCLOSED)
M	OUTDOOR KITCHEN	174 SF	10.0'	1,740 CF (UNENCLOSED)
N	ONE STORY	34.5 SF	8.17'	281 CF
O	ONE STORY	2941 SF	1.0'	2941 CF
P	ONE STORY	1660 SF	2.0'	3320 CF
Q	ONE STORY	312 SF	3.0'	936 CF
				SUM = 65,460 CF (ENCLOSED) 6,926 CF(UNENCLOSED) > 3,455 CF(ALLOWED) = 3,471CF TOTAL = 68,931 CF + 7197 CF = 76,128 CF (4.33) 3.92 (69,090 CF ALLOWED)

CUBIC CONTENT TABULATION				
	MASS	AREA	HEIGHT	VOLUME
A	ONE STORY	348 SF	10.0'	3,480 CF
B	ONE STORY	598 SF	12.5'	7,475 CF
C	TWO STORY	990 SF	19.33'	19,140 CF
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CUBIC CONTENT VARIANCE

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

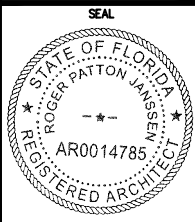
DATE: 2024.04.15

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX
TC # ZON-XX-XXX

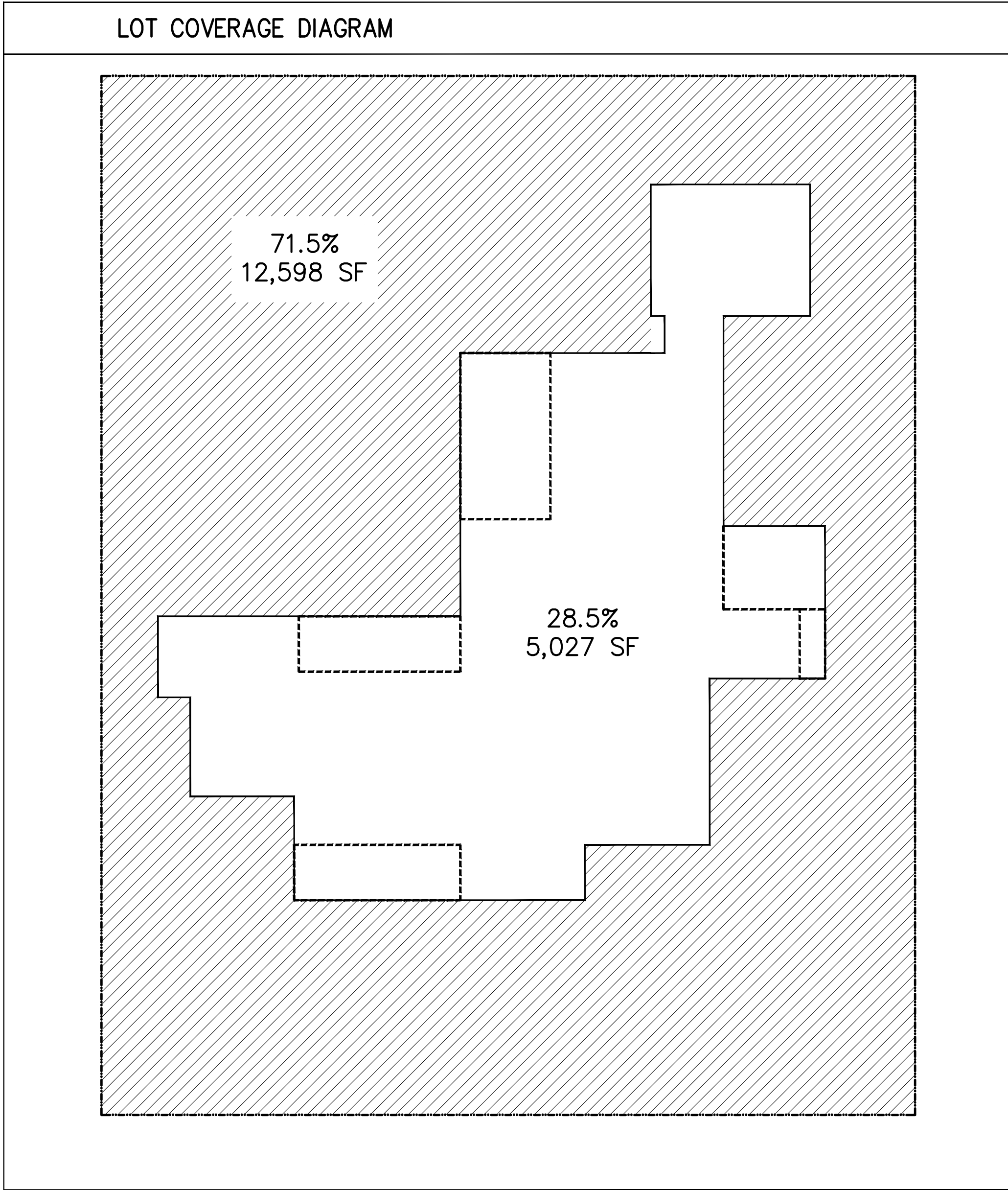
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SP1.02

JOB NUMBER: 23-137



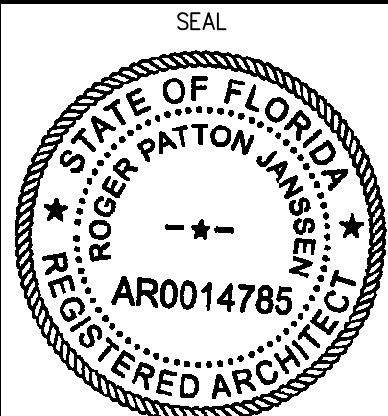
BUILDING HEIGHT VARIANCE
FOR 23'-8" VS 22'-0" REQ



PROPOSED RESIDENCE AT:

DATE: 2024.04.15
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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

SP1.03

JOB NUMBER: 23-137

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
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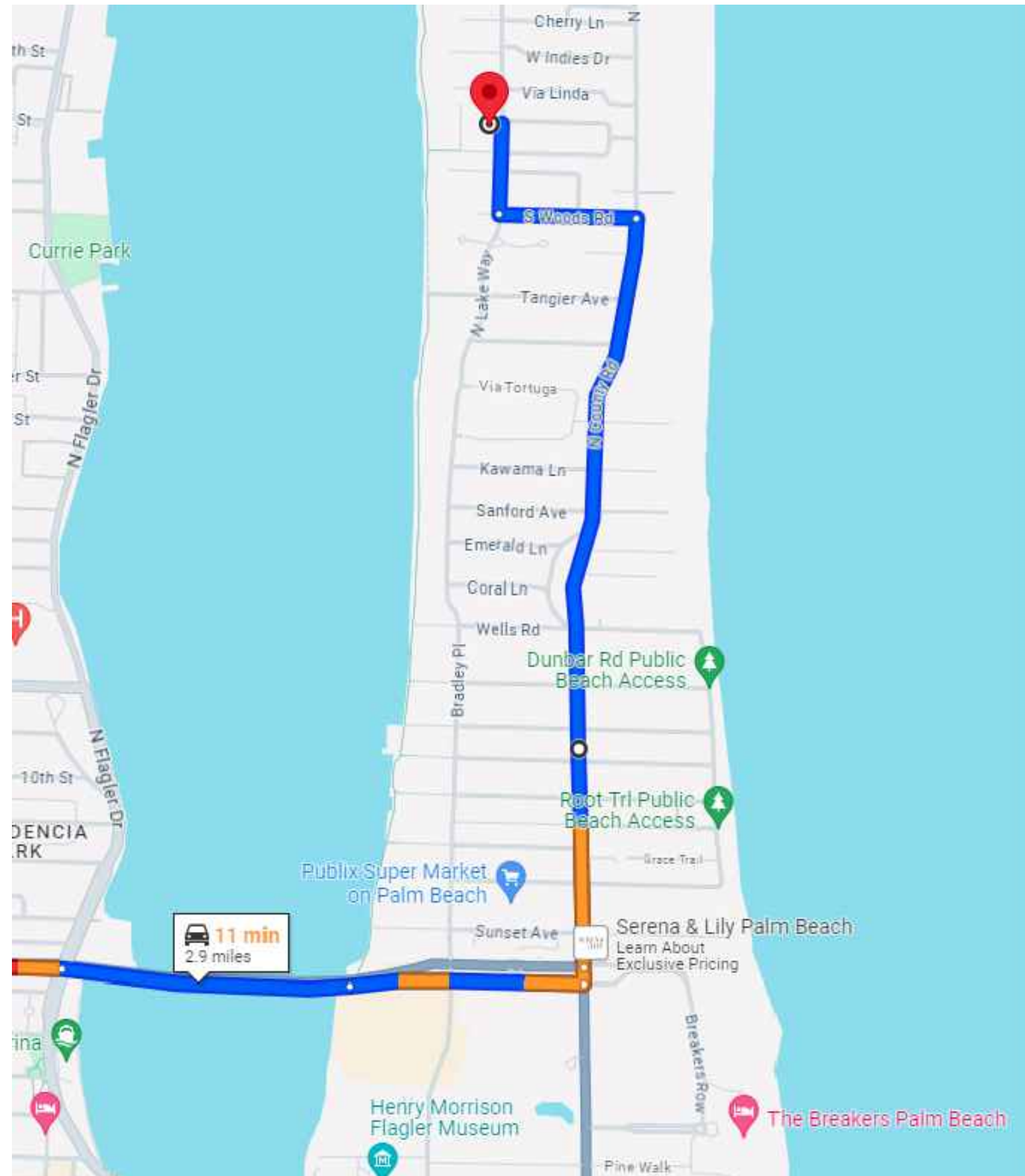
CONSTRUCTION SCHEDULE

MONTH 1 – SITE WORK & FOUNDATION
 MONTH 2-4 – SHELL ROUGH WORK
 MONTH 5 – DRY-IN
 MONTH 6 – ROUGH TRADES AND EXT WINDOWS
 MONTH 7 – INSULATION & DRY WALL
 MONTH 8 – FINISH DRY WALL WORK
 MONTH 9 – START INTERIOR FINISHES
 MONTH 10 – FINISH INTERIOR FINISHES
 MONTH 11 – SET ELECTRIC AND PLUMBING FIXTURES
 MONTH 12 – DRIVEWAY AND POOL
 MONTH 13 – LANDSCAPE, IRRIGATION AND FINAL INSPECTION

TRUCK SIZES & TYPES

LARGEST TRUCK TO BE A TRUSS FLATBED, APPROX
 50' LONG

20 DUMP TRUCKS
 60 DELIVERY TRUCKS
 28 DUMPSTER TRUCKS
 50 SUBCONTRACTOR VANS
 1 GUNNITE TRUCK
 1 PLASTER TRUCK



TRUCK LOGISTICS PLAN

PROPOSED RESIDENCE AT:

620 N LAKE WAY

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

DATE: 2024.04.15

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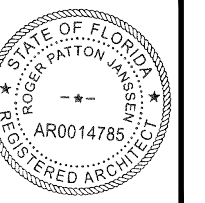
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SEAL



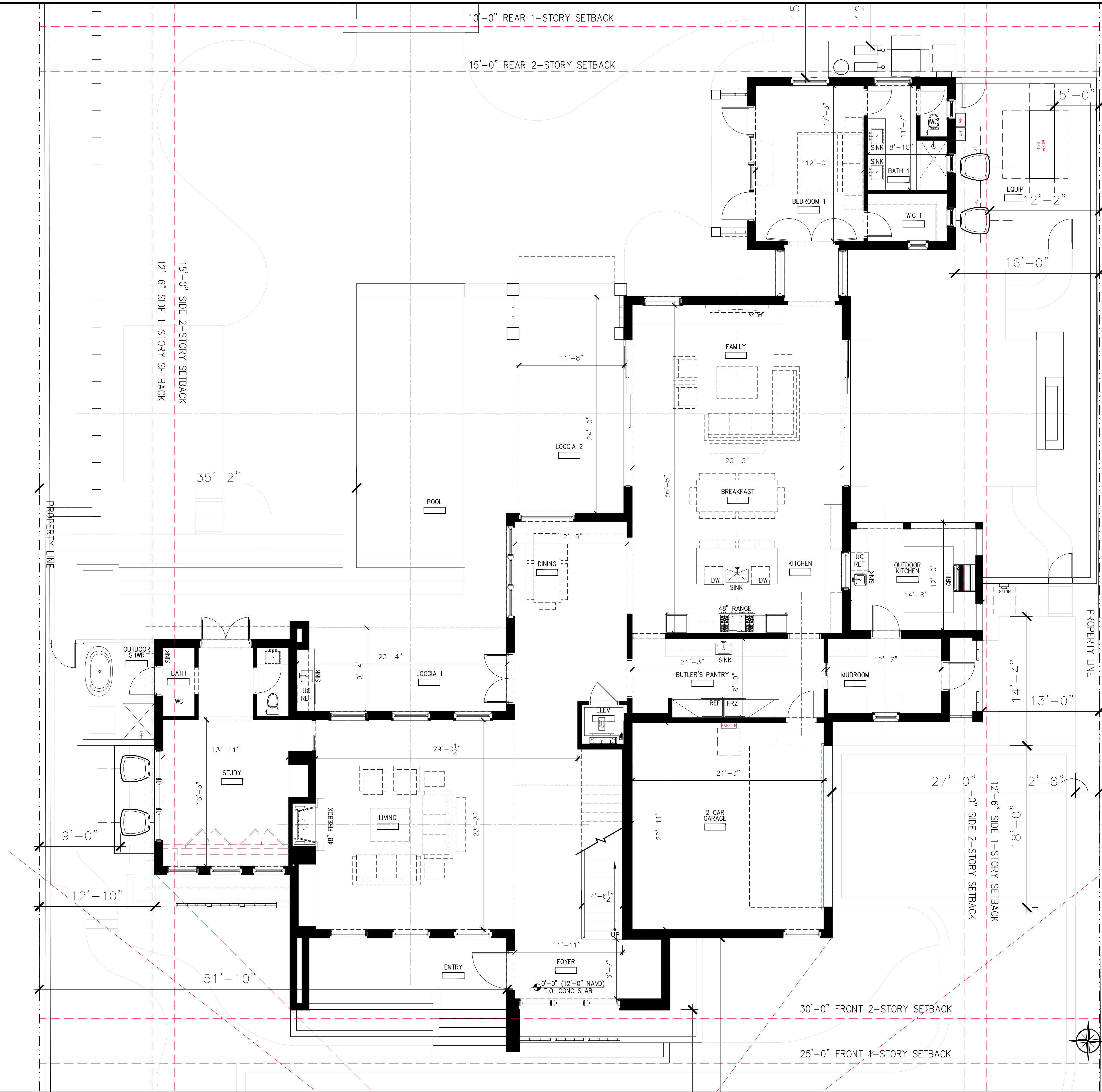
ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
 TC # ZON-24-043

DRAWING NO.

SP1.04

JOB NUMBER: 23-137



FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

A1.01

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX
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DRAWING NO.

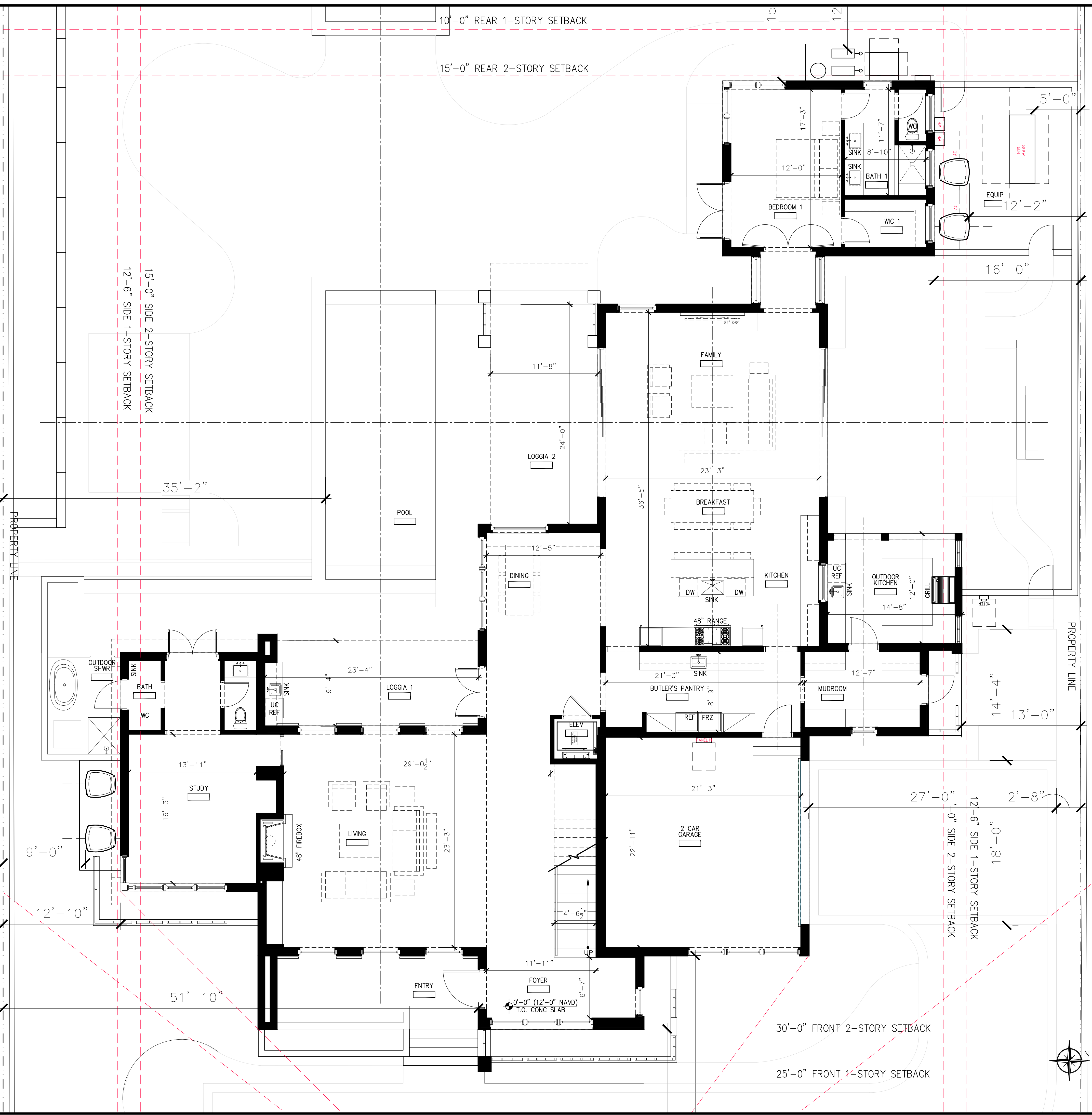
JOB NUMBER: 23-137

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
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PROPOSED
FIRST FLOOR PLAN

SCALE 3/16" = 1'-0"

PROPOSED RESIDENCE AT:

DATE: 2024.04.15

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TC # ZON-24-043

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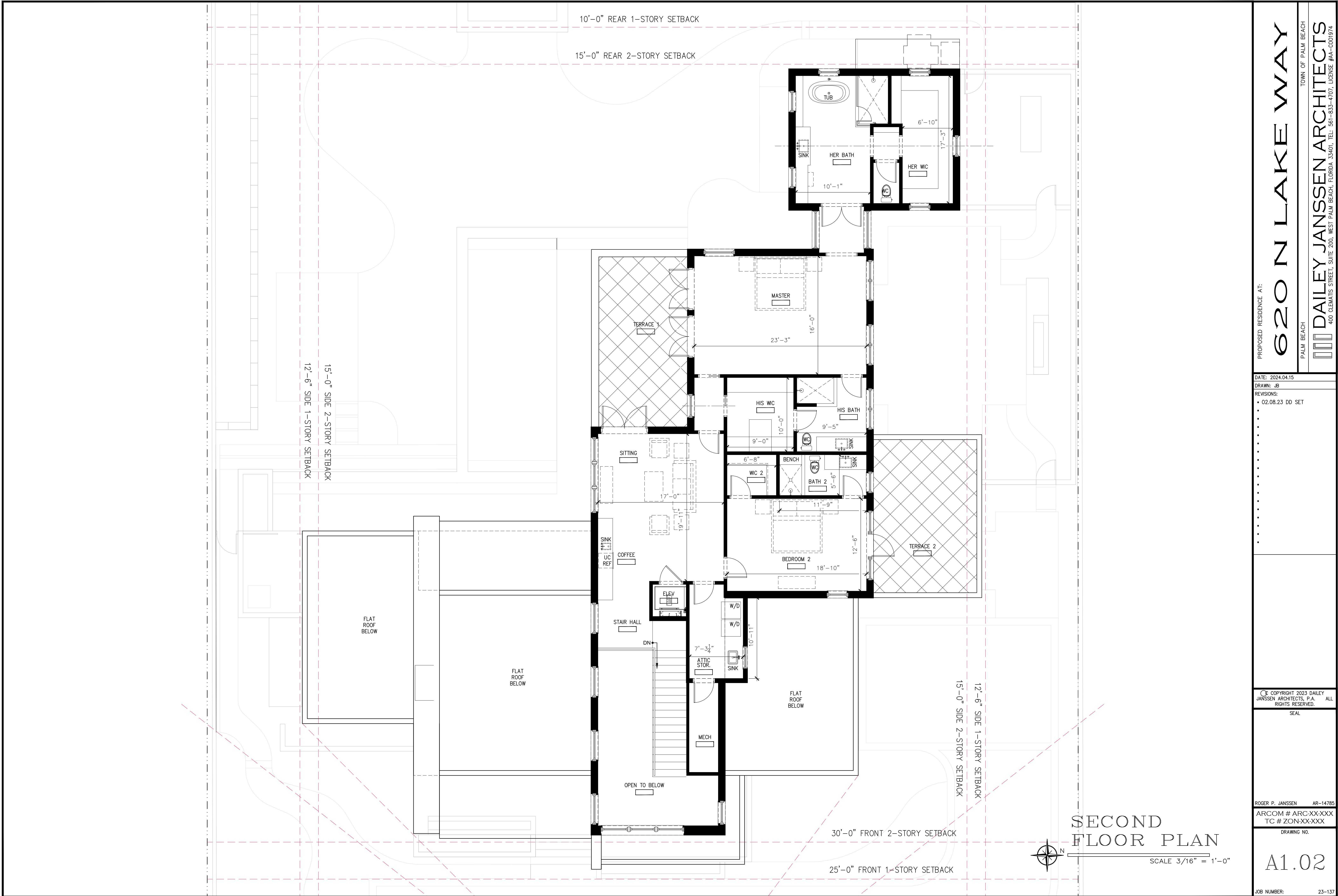
JOB NUMBER: 23-137

620 N LAKE WAY

TOWN OF PALM BEACH

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400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

A1.01



PROPOSED RESIDENCE AT:

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ROGER P. JANSSEN

AR-14785

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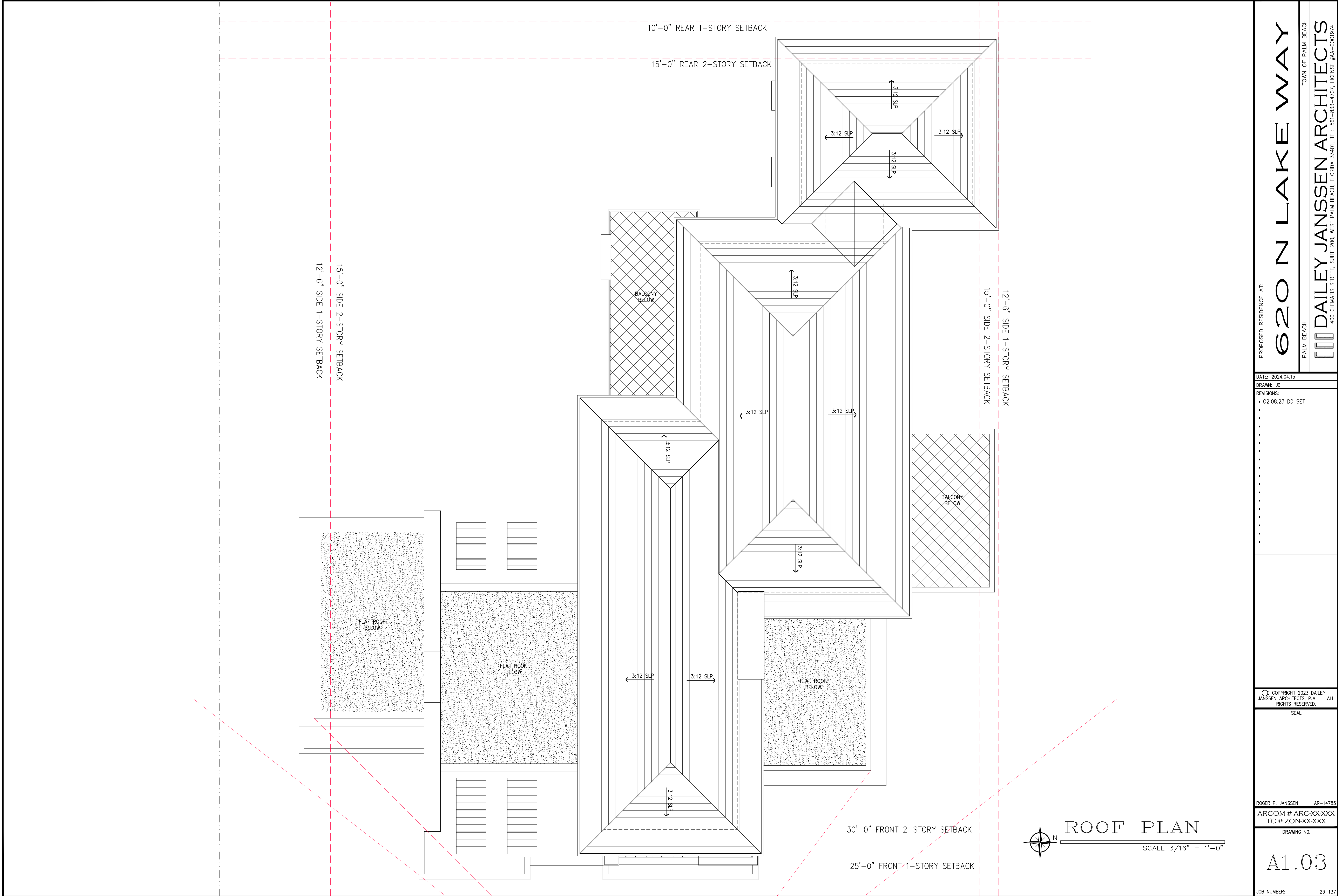
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PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

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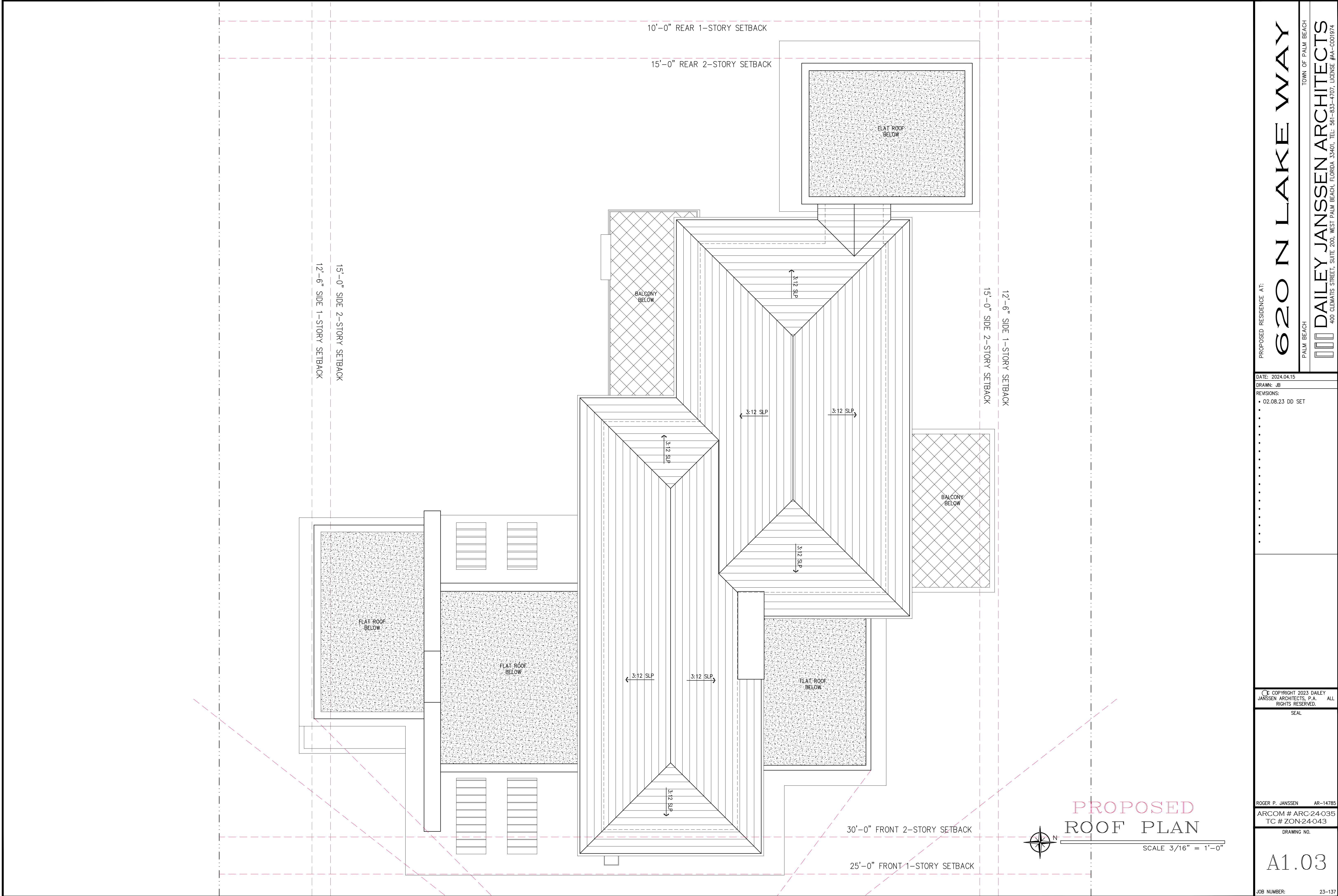
ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX
TC # ZON-XX-XXX

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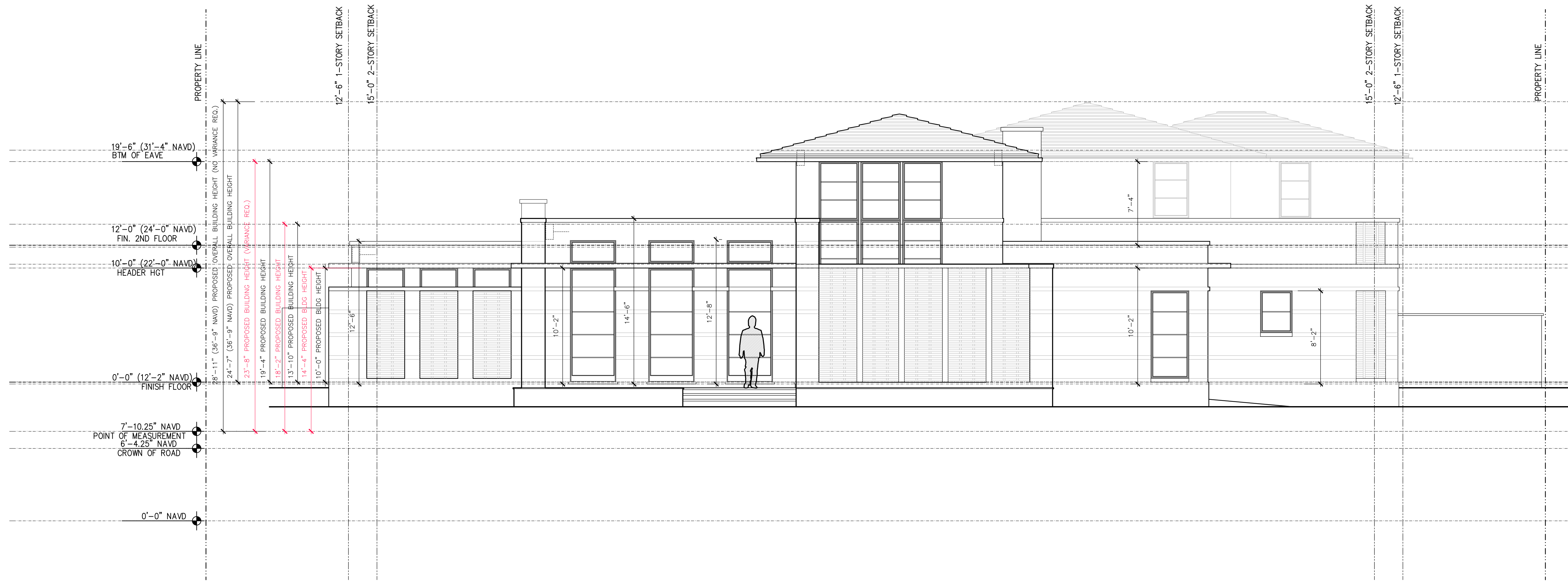
SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

JOB NUMBER: 23-137



PREVIOUS EAST ELEVATION

SCALE 3/16" = 1'-0"



PROPOSED EAST ELEVATION

SCALE 3/16" = 1'-0"

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A2.01A

JOB NUMBER: 23-137



PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

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DATE: 2024.04.15

DRAWN: JB

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SEAL

ROGER P. JANSSEN

AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A2.01B

JOB NUMBER:

23-137



PROPOSED RESIDENCE AT:

DATE: 2024.04.15

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.02A

JOB NUMBER: 23-137

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974



PREVIOUS EAST ELEVATION

SCALE NTS



PROPOSED EAST ELEVATION

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.03A

JOB NUMBER: 23-137



PREVIOUS SOUTH ELEVATION
SCALE NTS



PROPOSED SOUTH ELEVATION
SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A2.03B

JOB NUMBER: 23-137



PREVIOUS WEST ELEVATION
SCALE NTS



PROPOSED WEST ELEVATION
SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.04A

JOB NUMBER: 23-137



PREVIOUS NORTH ELEVATION
SCALE: NTS



PROPOSED NORTH ELEVATION
SCALE: NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.04B

JOB NUMBER: 23-137



FRONT PERSPECTIVE
SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX
TC # ZON-XX-XXX

DRAWING NO.

A2.05

JOB NUMBER: 23-137



PROPOSED FRONT PERSPECTIVE NO LANDSCAPE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A2.05A

JOB NUMBER: 23-137



PROPOSED FRONT PERSPECTIVE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974

DATE: 2024.04.15

DRAWN: JB

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.05B

JOB NUMBER: 23-137



FRONT PERSPECTIVE
SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
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DATE: 2024.04.15

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX

TC # ZON-XX-XXX

DRAWING NO.

A2.06

JOB NUMBER:

23-137



PROPOSED FRONT PERSPECTIVE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.06A

JOB NUMBER: 23-137



PROPOSED FRONT PERSPECTIVE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS
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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A2.06B

JOB NUMBER: 23-137



REAR PERSPECTIVE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
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DATE: 2024.04.15

DRAWN: JB

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-XX-XXX

TC # ZON-XX-XXX

DRAWING NO.

A2.07

JOB NUMBER: 23-137



PROPOSED REAR PERSPECTIVE

SCALE NTS

PROPOSED RESIDENCE AT:

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS
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DATE: 2024.04.15

DRAWN: JB

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ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035

TC # ZON-24-043

DRAWING NO.

A2.07

JOB NUMBER: 23-137



MATERIAL OPTIONS

PORTLAND WHITBED
LIMESTONE
HONED FINISH
(VERTICAL SURFACES)



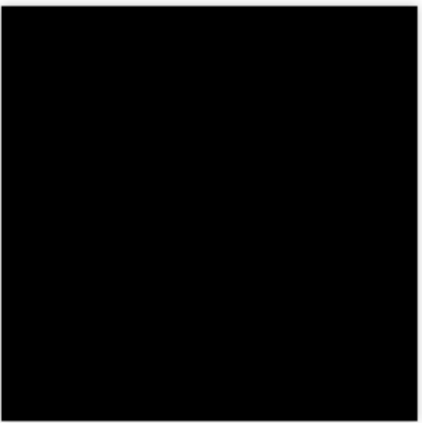
FLAT TILE ROOF



CAST STONE BREEZE BLOCK



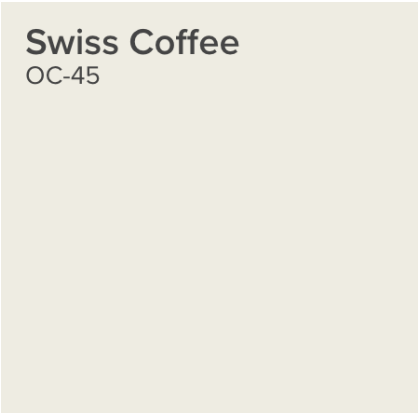
BOKARA SPLIT COBBLESTONE
(WALK PATHS)



Black
UC40577
aluminum windows
and doors



wood stain



Swiss Coffee
OC-45

exterior paint

PROPOSED RESIDENCE AT:

620 N LAKE WAY

PALM BEACH

TOWN OF PALM BEACH



DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-853-4707, LICENSE #AA-C001874

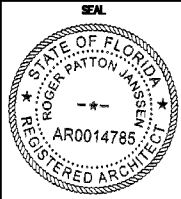
DATE: 2024.03.14

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REVISIONS:

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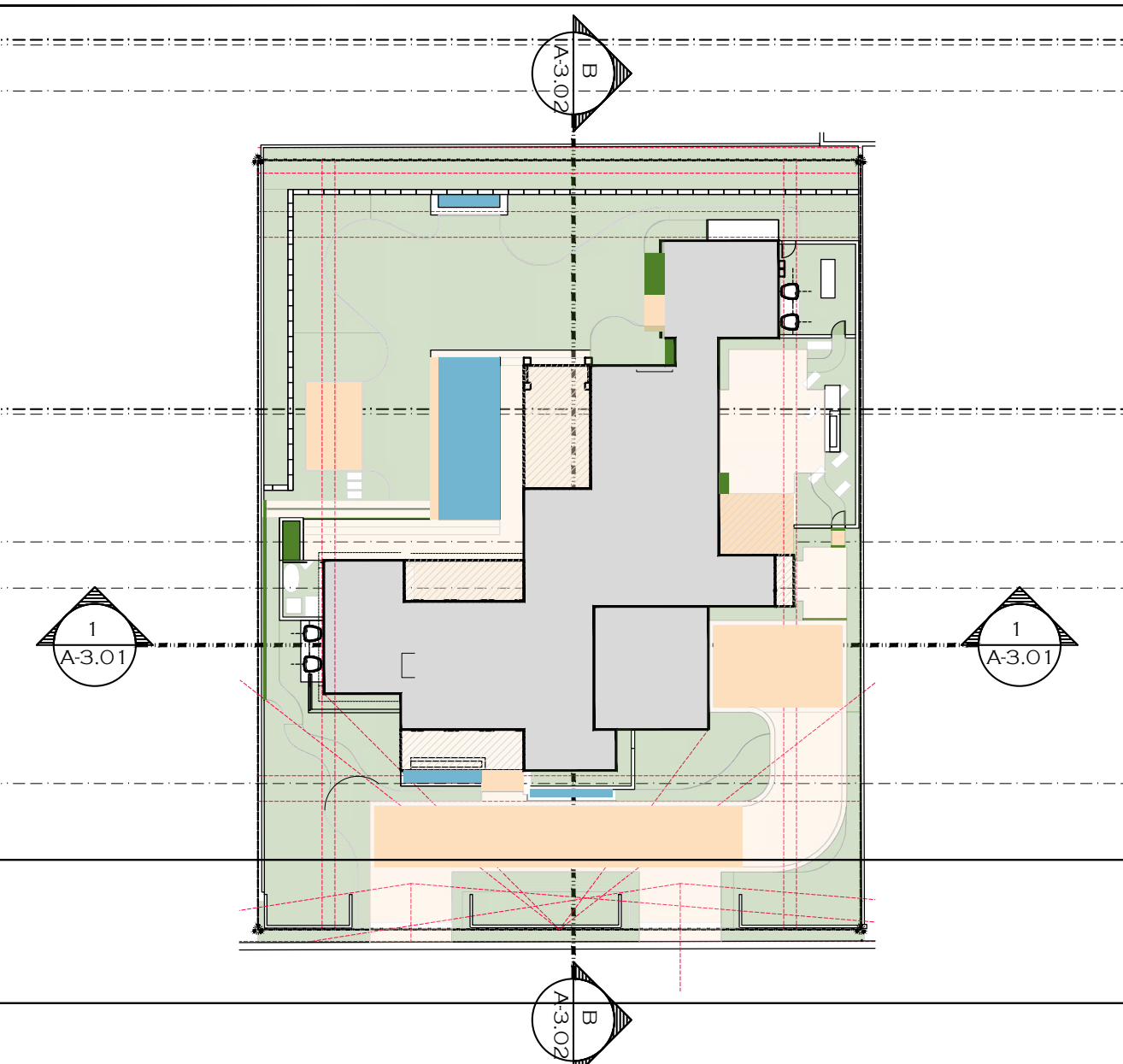


ROGER P. JANSSEN AR-14785
ARCOM # ARC-24-035
TC # ZON-24-043

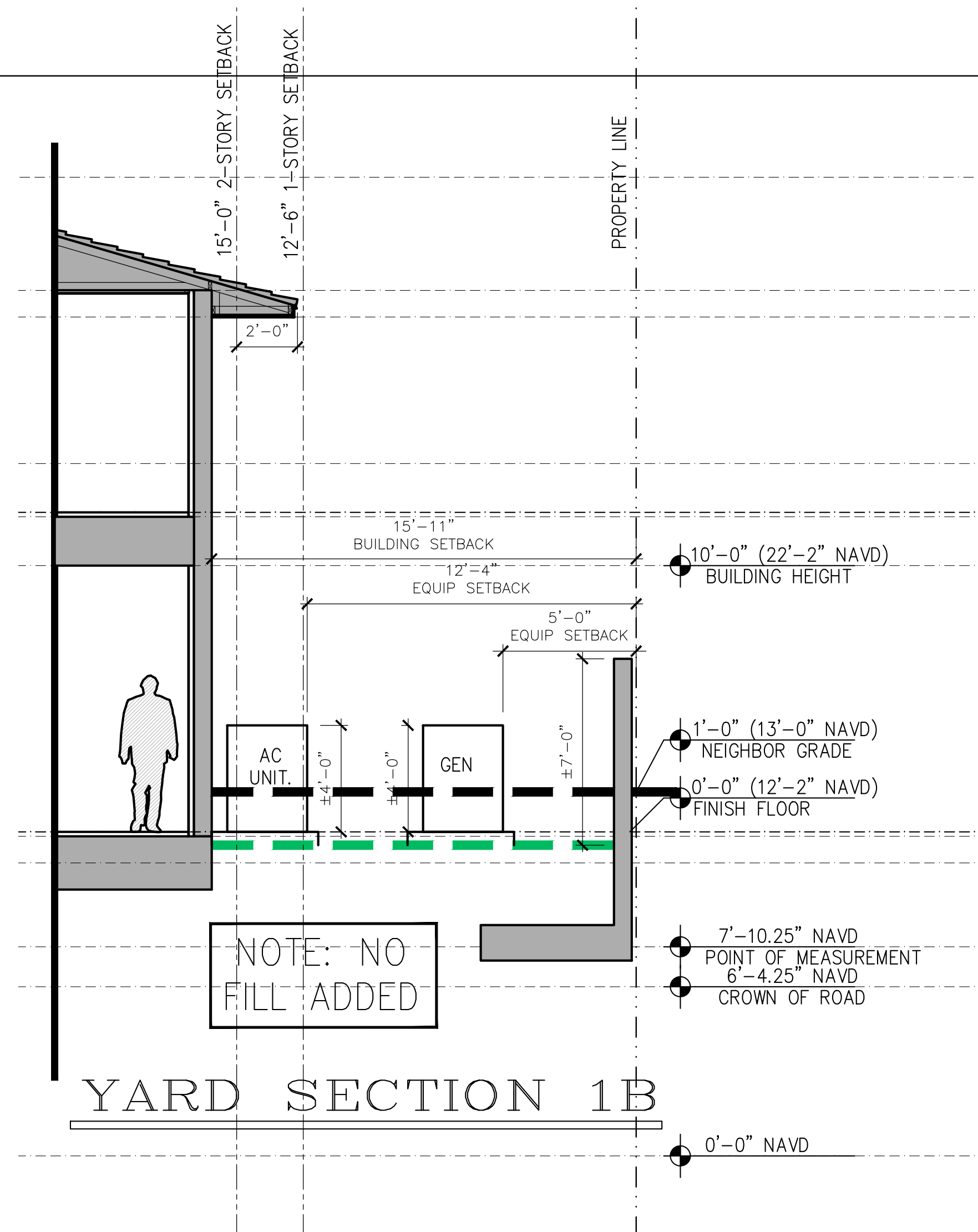
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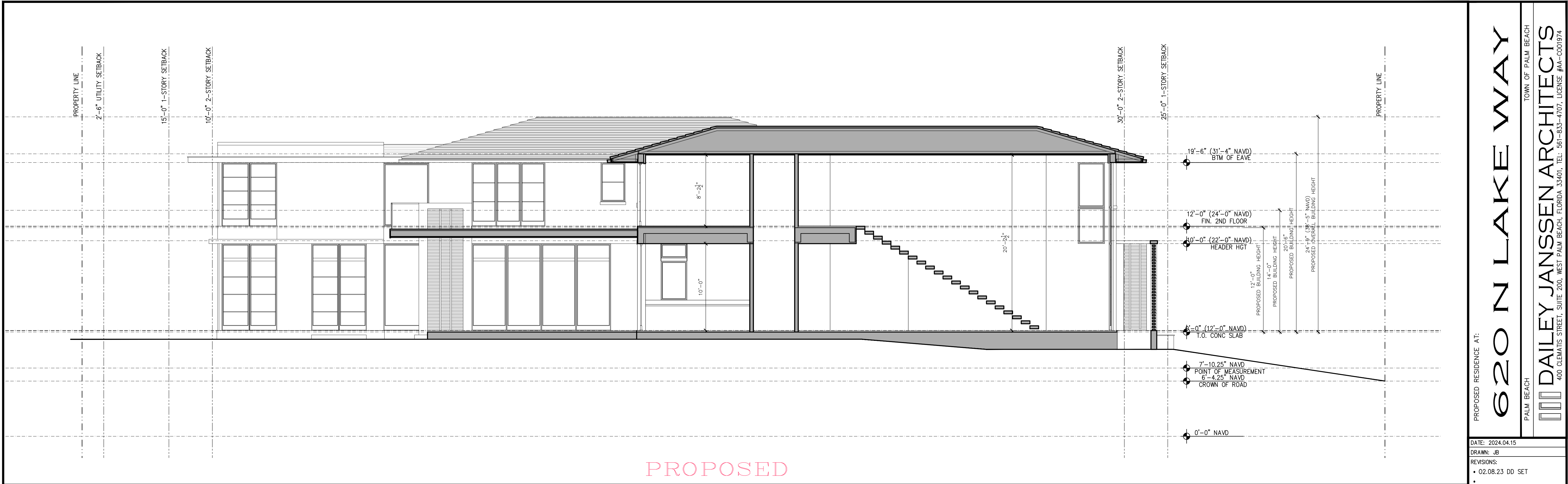
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23-137

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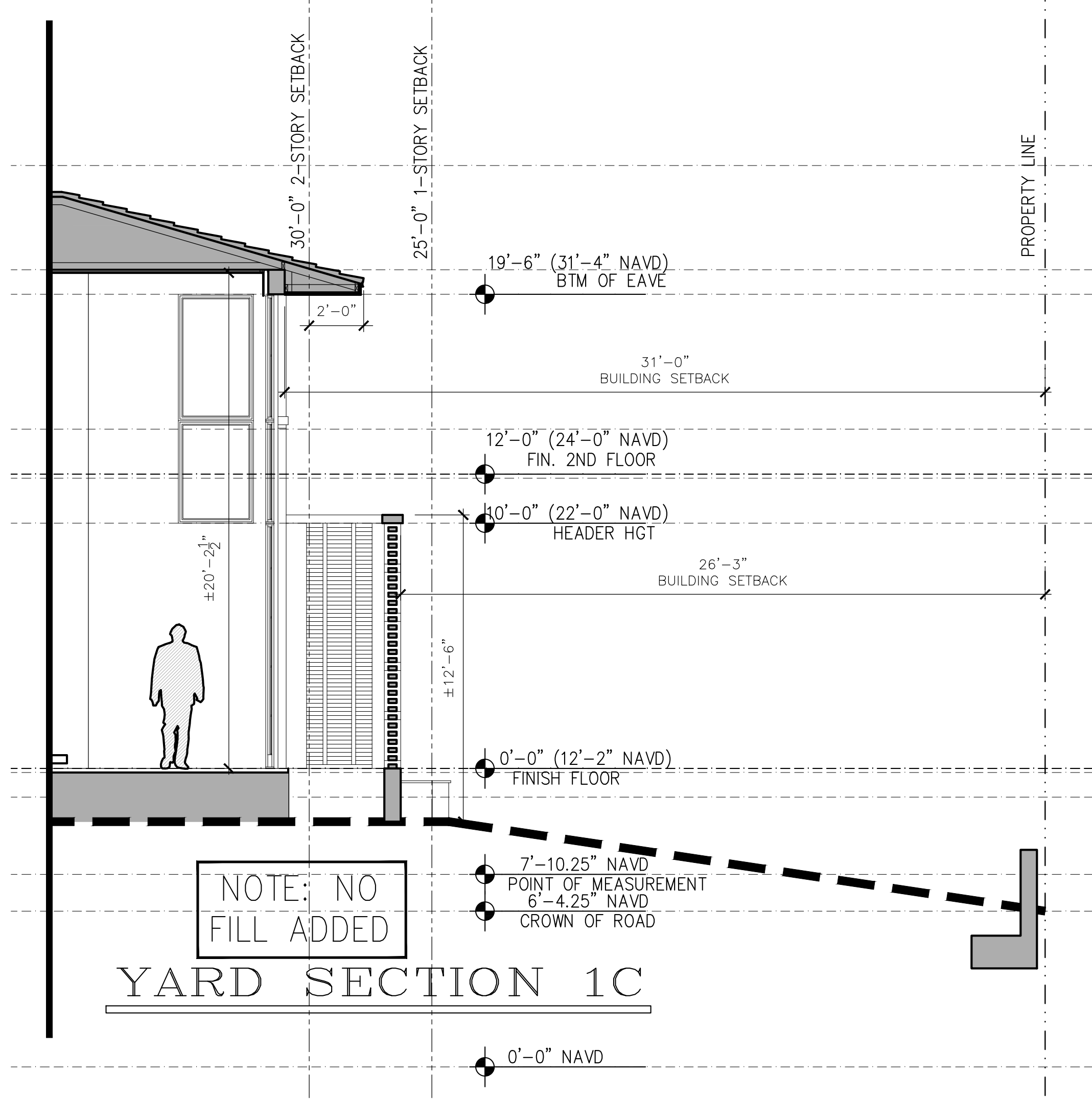
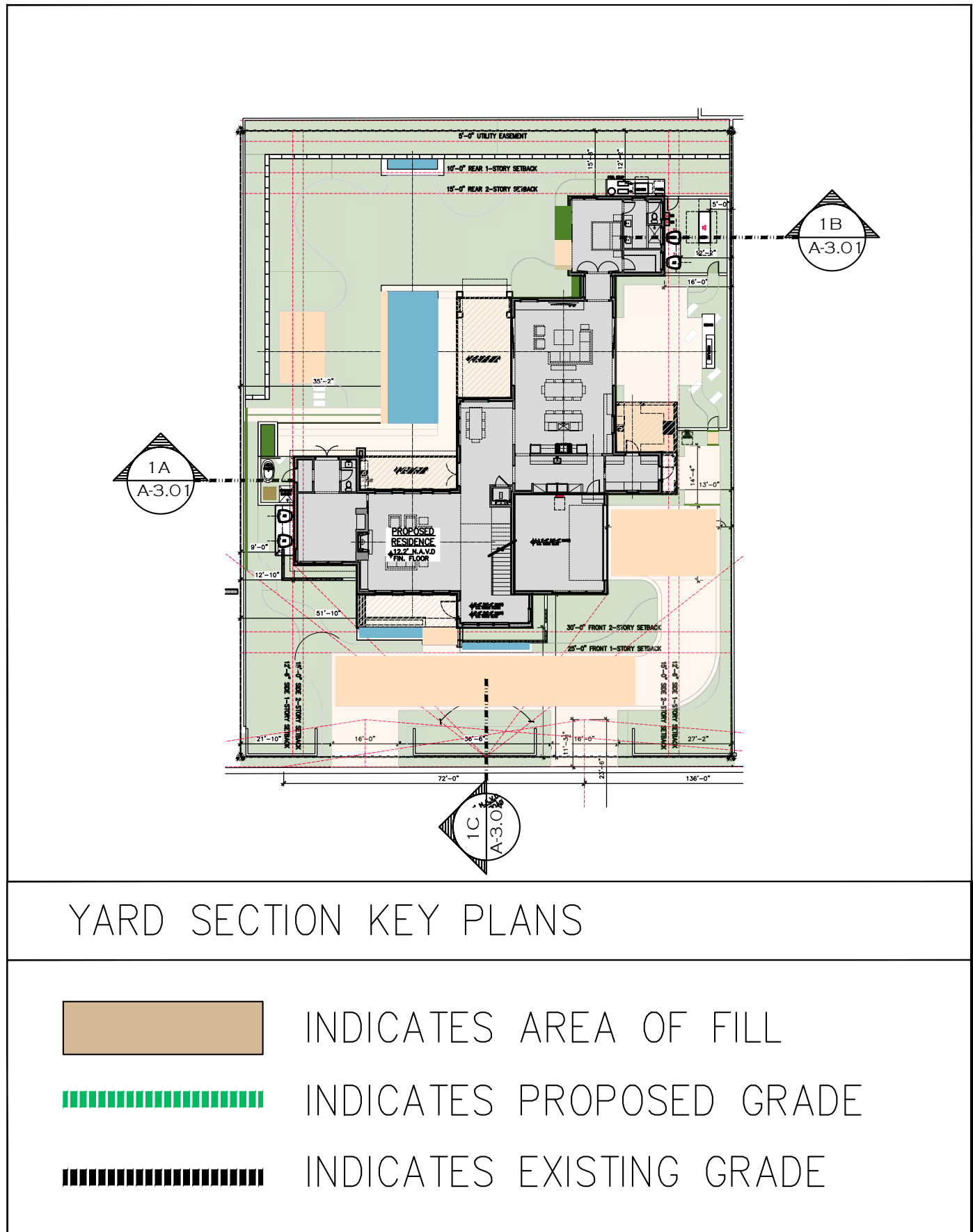
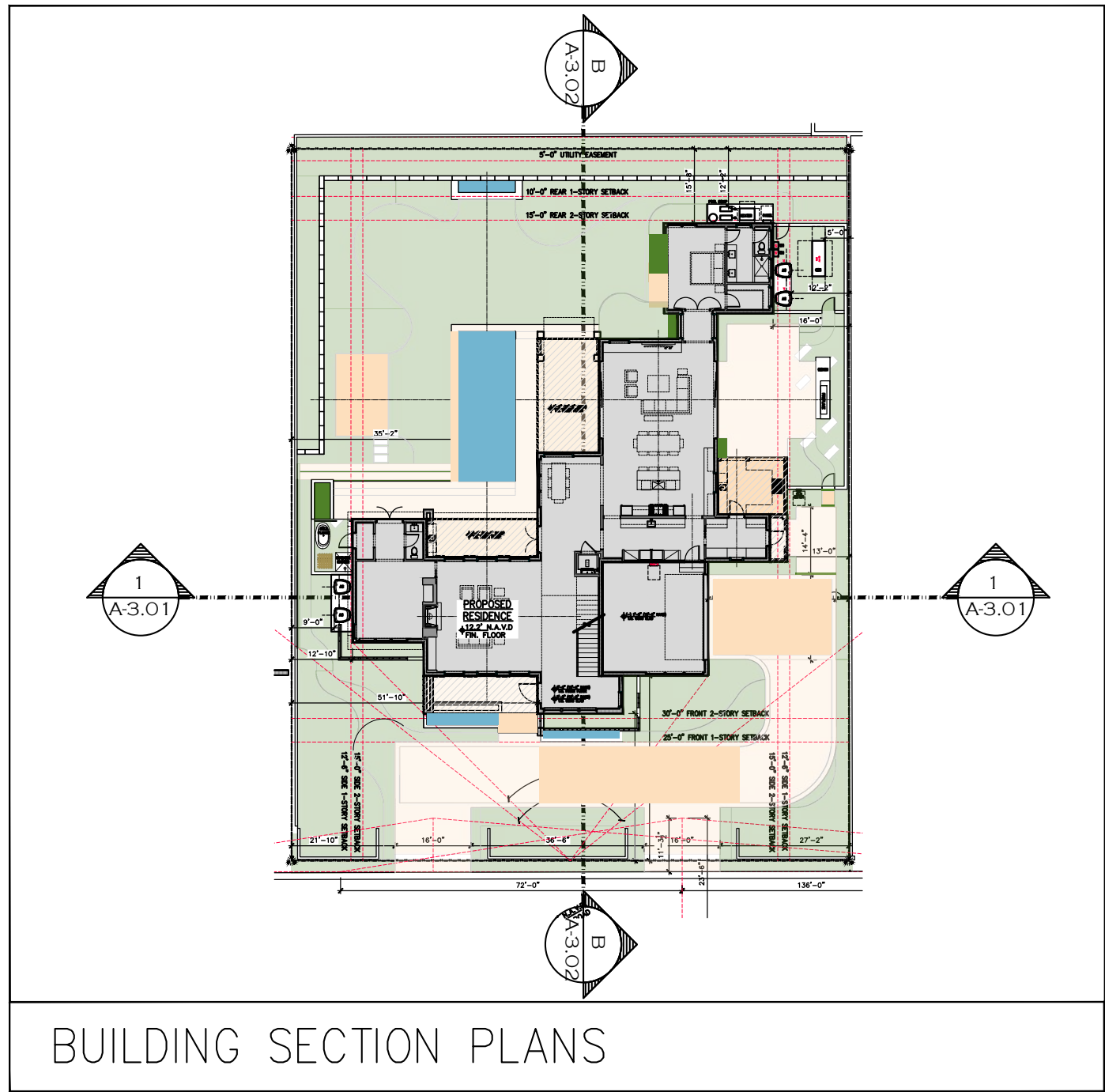
 INDICATES AREA OF FILL
 INDICATES PROPOSED GRADE
 INDICATES EXISTING GRADE





PROPOSED
BUILDING SECTION B

SCALE 3/16" = 1'-0"



PROPOSED RESIDENCE AT:

DATE: 2024.04.15

DRAWN: JB

REVISIONS:

• 02.08.23 DO SET

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A3.02

JOB NUMBER:

23-137

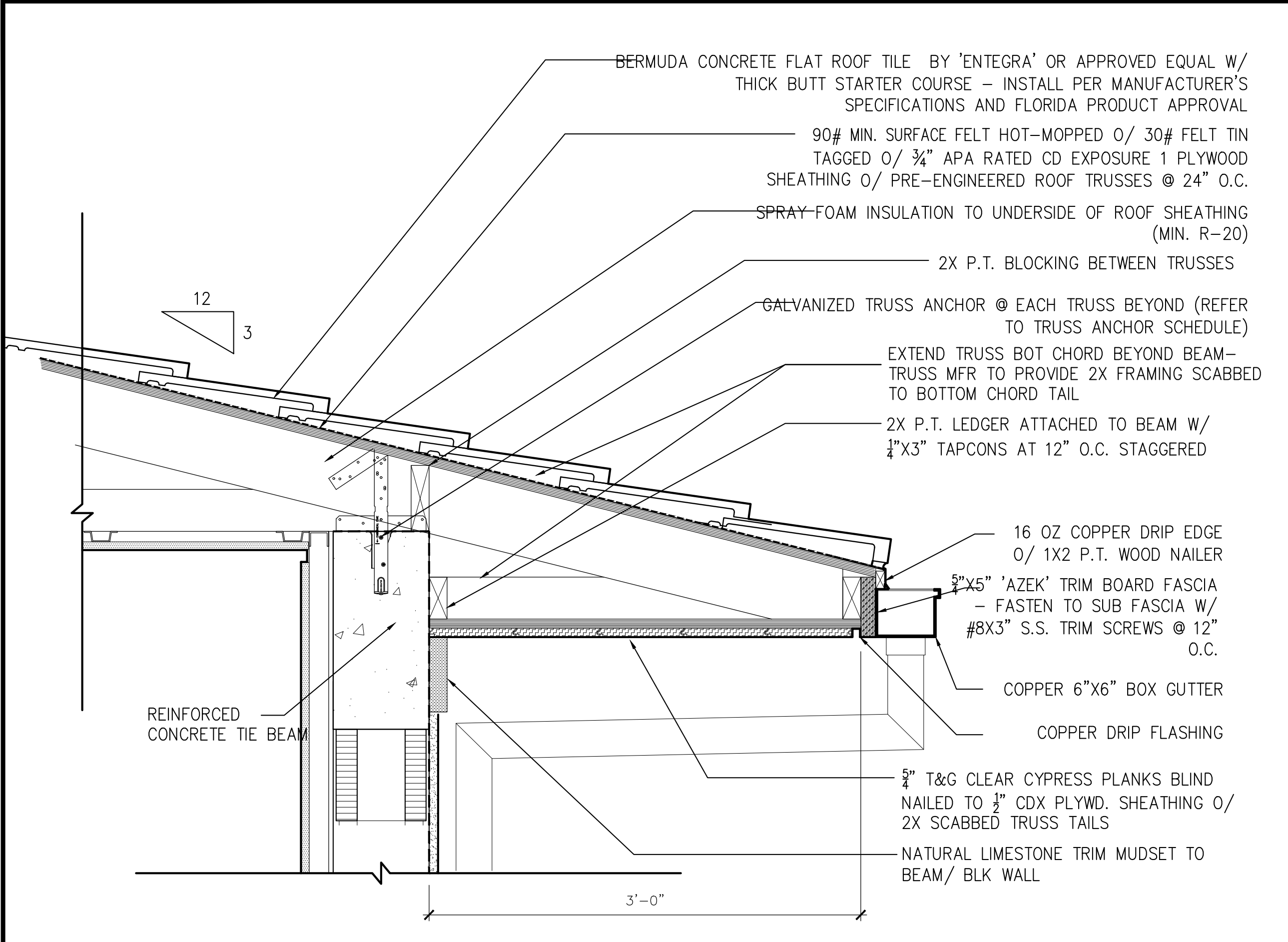
620 N LAKE WAY

TOWN OF PALM BEACH

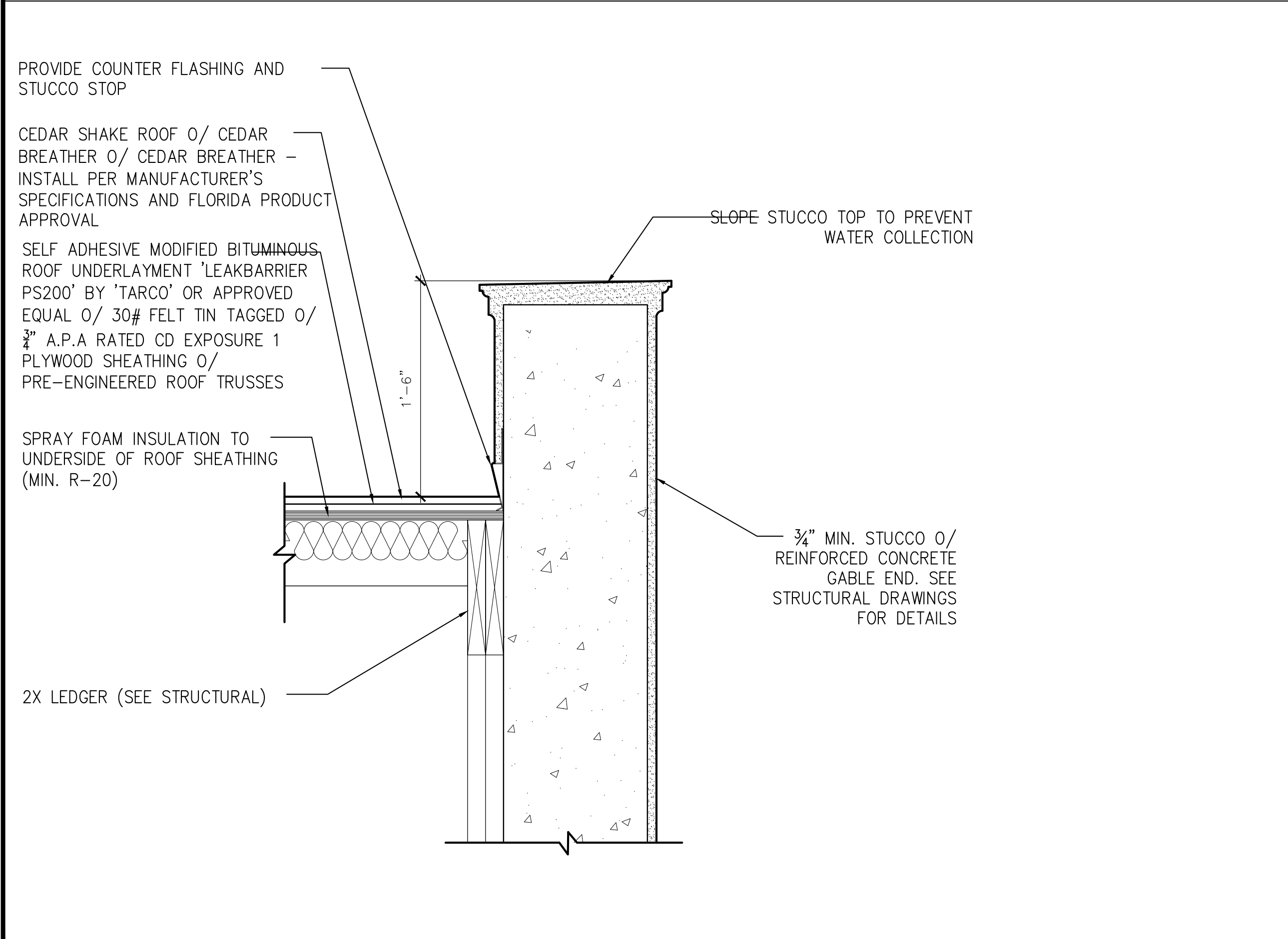
PALM BEACH

DAILEY JANSSEN ARCHITECTS

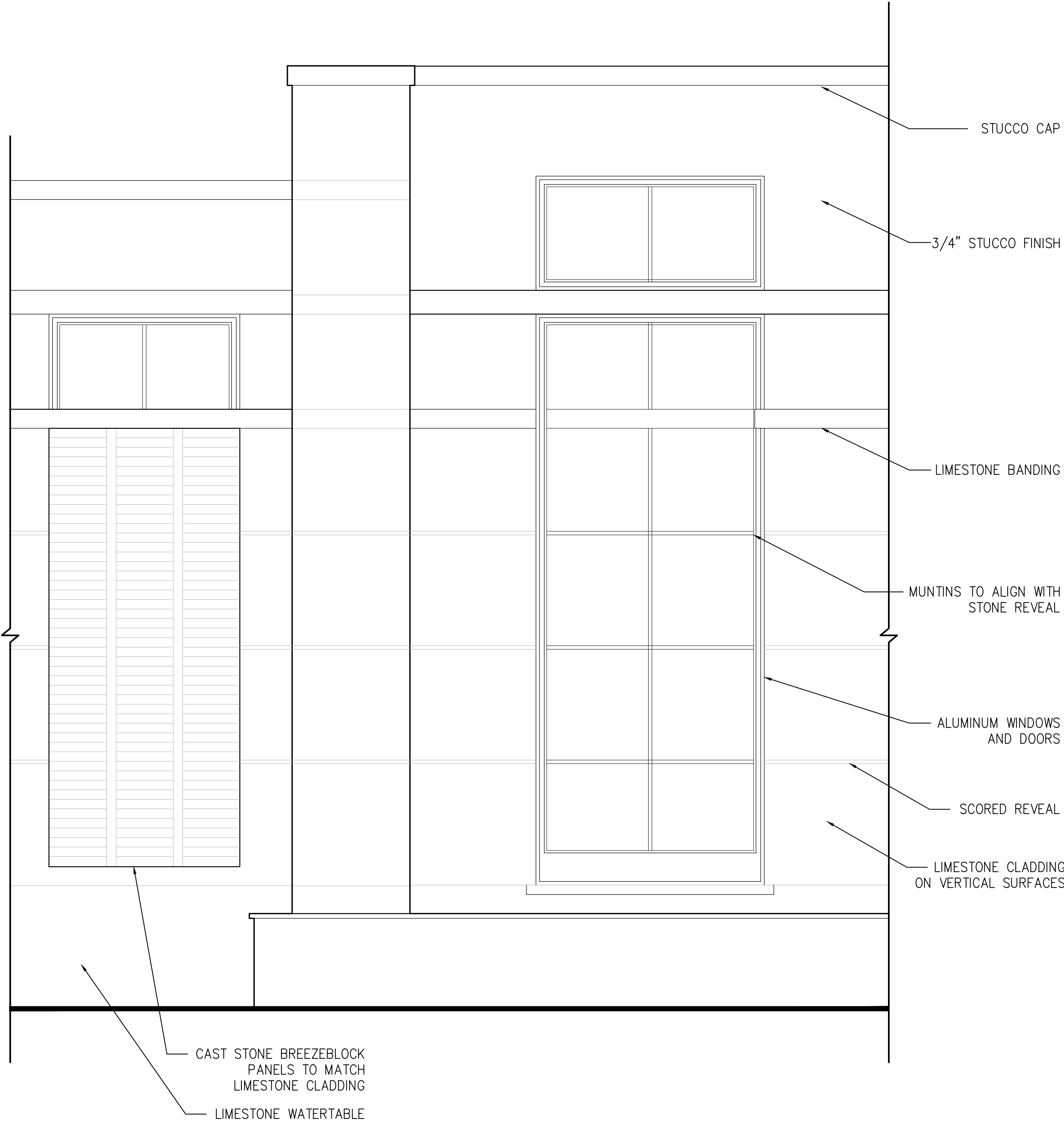
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-0001974



1 EAVE DETAIL
MAIN ROOF SCALE 1 1/2" = 1'-0"



2 EAVE DETAIL
LOWER ROOF SCALE 1 1/2" = 1'-0"



3 ELEVATION DETAIL
CLADDING SCALE N.T.S

PROPOSED RESIDENCE AT:

DATE: 2024.04.15

DRAWN: JB

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SEAL

ROGER P. JANSSEN AR-14785

ARCOM # ARC-24-035
TC # ZON-24-043

DRAWING NO.

A5.01

JOB NUMBER:

23-137

620 N LAKE WAY

TOWN OF PALM BEACH

PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

YARD DRAIN #2
GRATE ELEV. = 9.7
N. INV. ELEV. = 7.2
E. INV. ELEV. = 7.2
BOTT. ELEV. = 6.2

YARD DRAIN #3
GRATE ELEV. = 10.5
S. INV. ELEV. = 8.3
BOTT. ELEV. = 7.3

YARD DRAIN #4
GRATE ELEV. = 10.0
N. INV. ELEV. = 7.8
S. INV. ELEV. = 7.8
BOTT. ELEV. = 6.8

YARD DRAIN #5
GRATE ELEV. = 8.3
N. INV. ELEV. = 6.1
S. INV. ELEV. = 6.1
BOTTOM ELEV. = 4.5

TRENCH DRAIN #1
GRATE ELEV. = 6.3
N. INV. ELEV. = 5.3
E. INV. ELEV. = 5.3

TRENCH DRAIN #2
GRATE ELEV. = 6.5
BOTT. ELEV. = 5.5

SECTION A-A

SECTION B-B

SECTION C-C

POST OPTIONS:

SOFTWOOD 2 1/2" DIA.
SOFTWOOD 2" x 4"
HARDWOOD 1 1/2" x 1 1/2"
STEEL 1.33 LBS/FT

ELEVATION
SILT FENCE

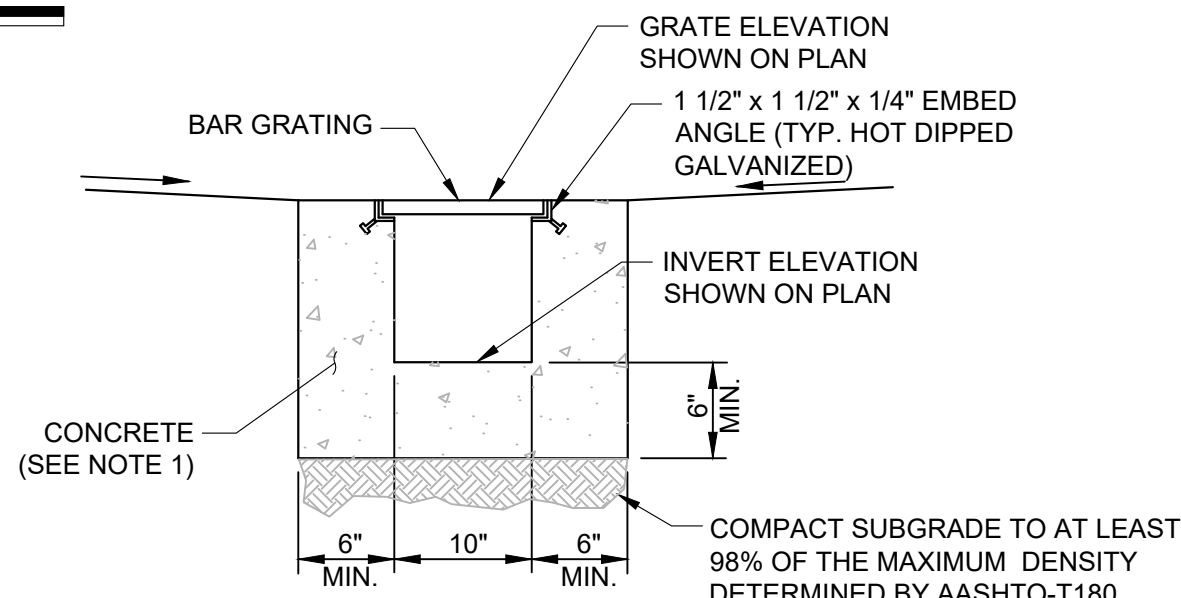
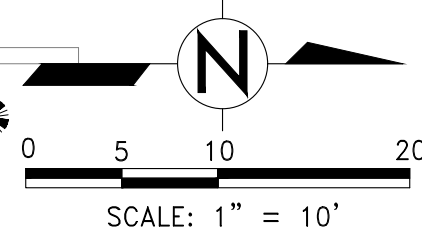
SECTION

GENERAL NOTES

- ALL ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SITE PLAN OBTAINED BY DAILEY JANSSEN ARCHITECTS, WEST PALM BEACH, FLORIDA, DATE 11/20/2023.
- 2 INCHES DIAMETER OVERFLOW MINIMUM FROM POOL TO STORM WATER SYSTEM REQUIRED.

Always call 811 two full business days before you dig to have underground utilities located and marked.

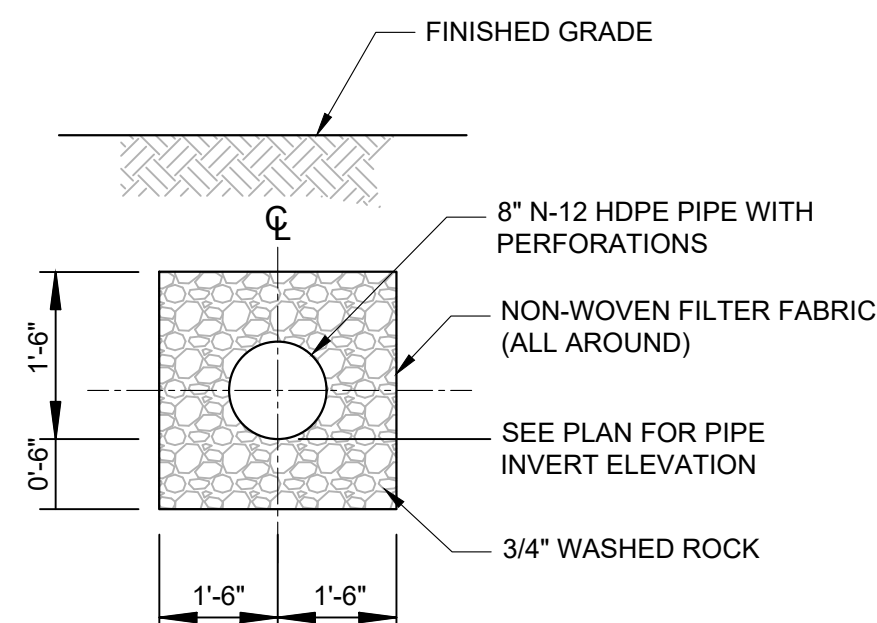
Sunshine811.com



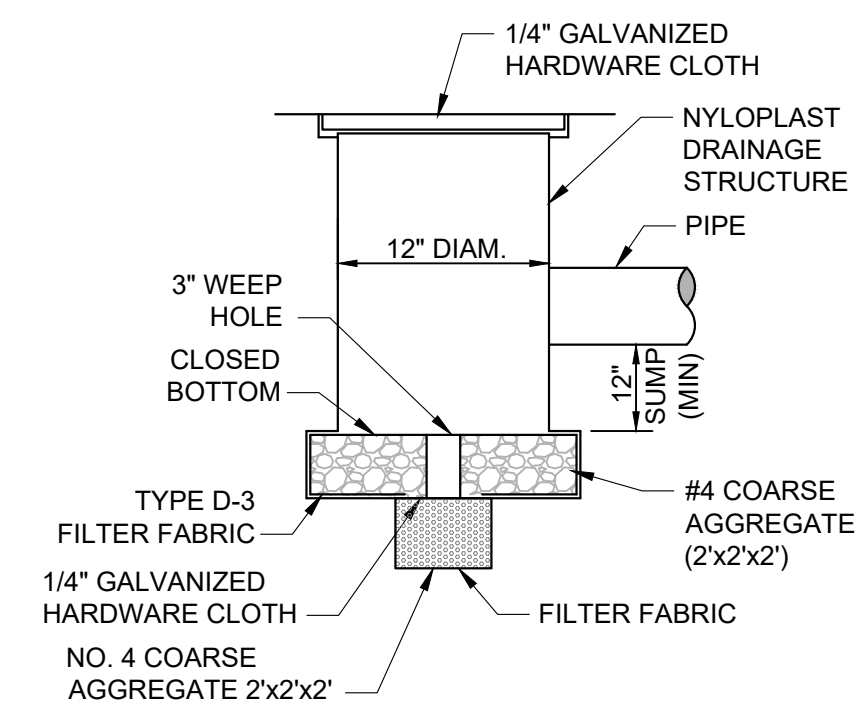
NOTES:

- CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- BAR GRATING SHALL BE WELDED PLAIN STEEL HOT ROLLED WITH 1 1/2" x 1/4" BEARING BARS 1 3/16" ON CENTER, HOT DIPPED GALVANIZED. BEARING BARS RUN ACROSS THE WIDTH. SUITABLE FOR VEHICULAR LOADS.

TRENCH DRAIN



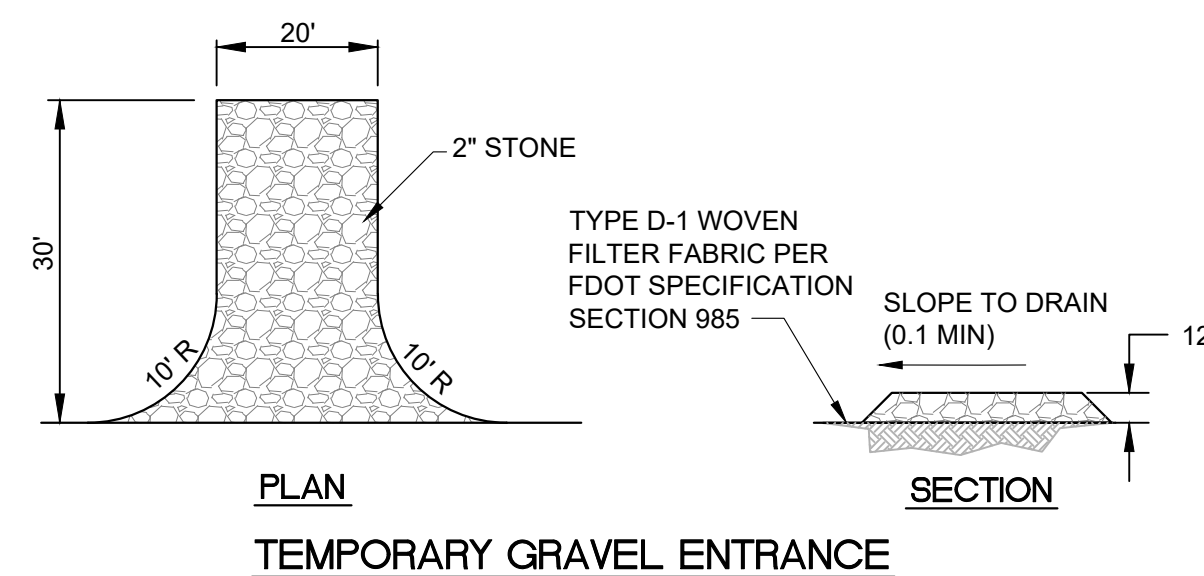
EXFILTRATION TRENCH



YARD DRAIN WITH WEEP HOLE

LEGEND

- EXISTING ELEVATIONS
- FINISHED GRADE ELEVATION
- DRAINAGE FLOW DIRECTION
- CONCRETE DRIVEWAY
- SILT FENCE



PLAN
TEMPORARY GRAVEL ENTRANCE

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REVISIONS		NO.	DATE	REMARKS	BY

STORMWATER, INC.
Civil, Hydrologic & Hydraulic Engineers
1835 Indian Road, Suite 202, West Palm Beach, FL 33409
Ph: (561) 442-0023 • Fax: (561) 442-0109 • stormwater@ststormwater.com

SITE GRADING PLAN 620 N LAKE WAY PALM BEACH, FLORIDA

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By A Registered Professional Engineer Representing Stormwater Engineering, Inc.
C.A. 00009484

Patrick F. Barthelmy, P.E.
License # 75965

DATE	04/12/2024	PL
DRAWN	CHECKED (1)	
1	CHECKED (2)	
2	PROJECT MANAGER	PFB
JOB NO.	24012	



1855 Indian Road, Suite 202
West Palm Beach, FL 33409
(561) 242-0028 Fax 242-0109

Job # 24012 File: Calculations
Job Name: 620 North Lake Way
Subject: Drainage Calculations
By: Patrick Barthelemy, PE
Date: 4/1/2024
Page: 1 of 2

The purpose of these calculations is to verify the developed property will meet stormwater storage requirements for The Town of Palm Beach. The first 2 inches of rainfall will be retained on site prior to discharge into the town system based on the SCS Runoff Equation.

Total Property Area = 17,625 SF

Property Impervious Areas -

Building Roof = 4,492.2 SF
Driveway/Walkway = 3,768 SF
Pool = 1,480 SF
Equipment Pads = 119 SF

Total Impervious Area = 9,859.20 SF
Percent of Property Impervious = $9,859.2/17,625 \times 100 = 55.9\%$

Average Finished Grade = 10.0
Average Ground Water Level = 2.0 (assumption)
Depth to the Water Table = $10.0 - 2.0 = 8.0$ feet

Amount of water which can be stored under pervious services will be 6.75 inches based on compacted flatwoods.

Soil Storage $S = 6.75 \text{ inches} \times (1 - 0.559) = 2.98 \text{ inches}$

Runoff to be Retained = $Q = (P - 0.2S)^2 / (P + 0.8S) = ((2.0 - (0.2 \times 2.98))^2 / (2 + (0.8 \times 2.98)) = 0.45 \text{ inches}$

Runoff to be Stored in Exfiltration Trench = $0.405 \text{ Ac} \times 0.45 \text{ inches} = 0.182 \text{ Ac-In}$

Required Exfiltration Trench = 25 LF (See Exfiltration Trench Calculations)

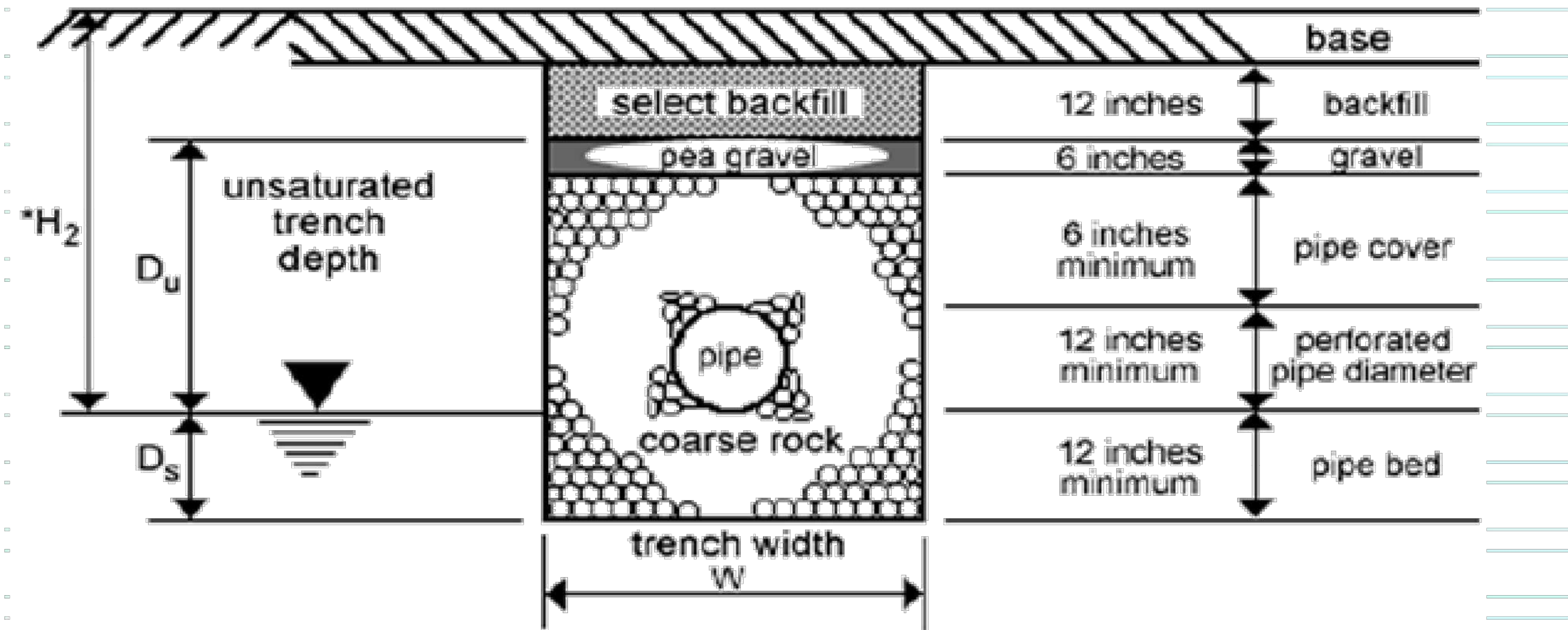
Provided Exfiltration Trench = 60 LF



1855 Indian Road, Suite 202
West Palm Beach, FL 33409
(561) 242-0028 Fax 242-0109 stormwaterj@gmail.com

Job # 24012 File: Calcs
Job Name: 620 North Lake Way
Subject: Size Exfiltration Trench Length
By: Patrick Barthelemy, PE
Date: 4/1/24
Page: 2 of 2

Exfiltration Trench Calculation TYPICAL EXFILTRATION TRENCH



$$L = \frac{V}{K (H_2 W + 2 H_2 D_u - D_u^2 + 2 H_2 D_s) + (1.39 \times 10^{-4}) W D_u}$$

L = Length of Trench Required (feet)
 V = Volume Treated (acre - inches)
 W = Trench Width (feet)
 K = Hydraulic Conductivity (cfs/ft.² - ft. head)
 $*H_2$ = Depth to Water Table (feet)
 D_u = Non-Saturated Trench Depth (feet)
 D_s = Saturated Trench Depth (feet)

*The value of H_2 to be used in the equation is the effective head on the saturated surface.

$$V = 0.18 \text{ Ac In} = 0.02 \text{ Ac Ft}$$

$$W = 3.00 \text{ Ft}$$

$$K = 4.42E-04 \text{ CFS/Ft}^2\text{-Ft Head}$$

$$H_2 = 2.50 \text{ Ft}$$

$$D_u = 1.50 \text{ Ft}$$

$$D_s = 0.50 \text{ Ft}$$

$$L = 25 \text{ Ft}$$

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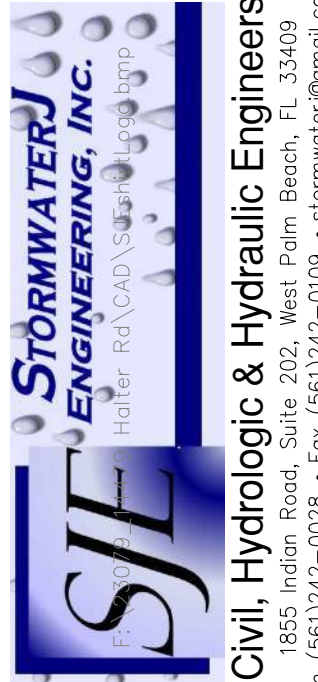
GENERAL NOTES

- ALL ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- SITE PLAN OBTAINED BY DAILEY JANSSEN ARCHITECTS, WEST PALM BEACH, FLORIDA. DATE 11/20/2023.

Always call 811 two full business days before you dig to have underground utilities located and marked.



REVISIONS		NO.	DATE	REMARKS	BY



DRAINAGE CALCULATIONS
620 N LAKE WAY
PALM BEACH, FLORIDA

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License # 75565

DATE	02/06/2024	PL	
DRAWN		CHECKED (1)	
		CHECKED (2)	
PROJECT MANAGER			PFB
JOB NO.	24012		



1855 Indian Road, Suite 202
West Palm Beach, FL 33409
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Job # 24012 File: Calculations
Job Name: 620 North Lake Way
Subject: Drainage Calculations
By: Patrick Barthelemy, PE
Date: 4/1/2024
Page: 1 of 2

The purpose of these calculations is to verify the developed property will meet stormwater storage requirements for The Town of Palm Beach. The first 2 inches of rainfall will be retained on site prior to discharge into the town system based on the SCS Runoff Equation.

Total Property Area = 17,625 SF

Property Impervious Areas -

Building Roof = 4,492.2 SF

Driveway/Walkway = 3,768 SF

Pool = 1,480 SF

Equipment Pads = 119 SF

Total Impervious Area = 9,859.20 SF

Percent of Property Impervious = $9,859.2 / 17,625 \times 100 = 55.9\%$

Average Finished Grade = 10.0

Average Ground Water Level = 2.0 (assumption)

Depth to the Water Table = $10.0 - 2.0 = 8.0$ feet

Amount of water which can be stored under pervious services will be 6.75 inches based on compacted flatwoods.

Soil Storage $S = 6.75 \text{ inches} \times (1 - 0.559) = 2.98 \text{ inches}$

Runoff to be Retained = $Q = (P - 0.2S)^2 / (P + 0.8S) = ((2.0 - (0.2 \times 2.98))^2 / (2 + (0.8 \times 2.98)) = 0.45 \text{ inches}$

Runoff to be Stored in Exfiltration Trench = $0.405 \text{ Ac} \times 0.45 \text{ inches} = 0.182 \text{ Ac-In}$

Required Exfiltration Trench = 25 LF (See Exfiltration Trench Calculations)

Provided Exfiltration Trench = 60 LF

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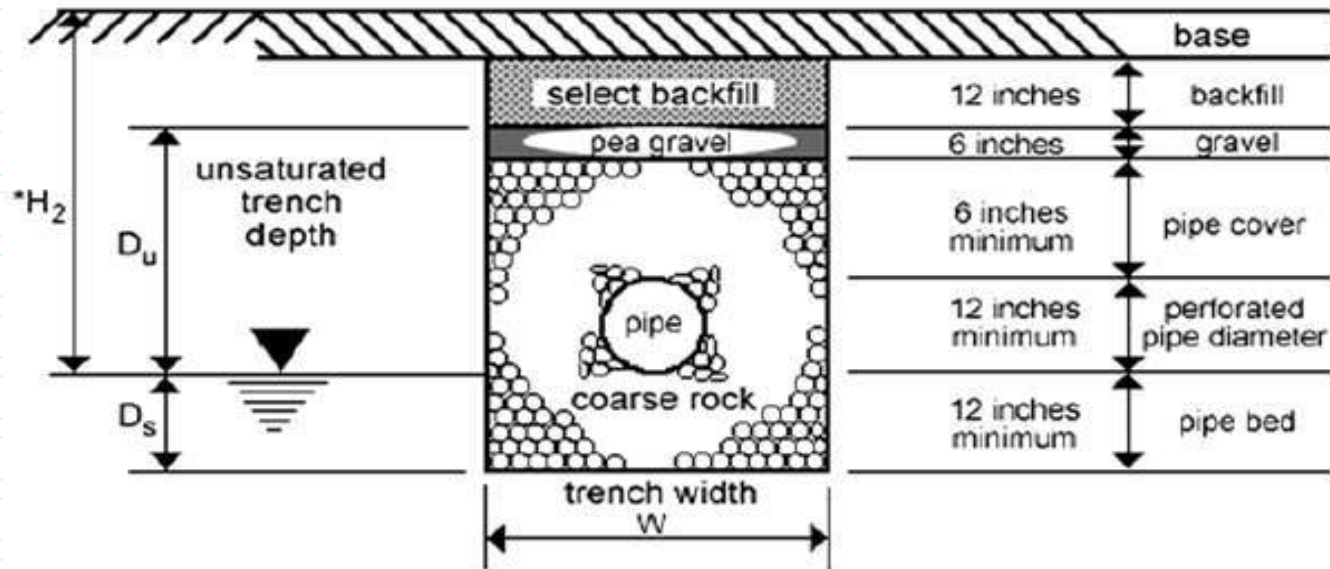
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Job # 24012 File: Calcs
Job Name: 620 North Lake Way
Subject: Size Exfiltration Trench Length
By: Patrick Barthelemy, PE
Date: 4/1/24
Page: 2 of 2

Exfiltration Trench Calculation

TYPICAL EXFILTRATION TRENCH



$$L = \frac{V}{K (H_2 W + 2 H_2 D_u - D_u^2 + 2 H_2 D_s) + (1.39 \times 10^{-4}) W D_u}$$

L = Length of Trench Required (feet)

V = Volume Treated (acre - inches)

W = Trench Width (feet)

K = Hydraulic Conductivity (cfs/ft.² - ft. head)

*H₂ = Depth to Water Table (feet)

D_u = Non-Saturated Trench Depth (feet)

D_s = Saturated Trench Depth (feet)

*The value of H₂ to be used in the equation is the effective head on the saturated surface.

V = 0.18 Ac In = 0.02 Ac Ft

W = 3.00 Ft

K = 4.42E-04 CFS/Ft²-Ft Head

H₂ = 2.50 Ft

D_u = 1.50 Ft

D_s = 0.50 Ft

L = 25 Ft