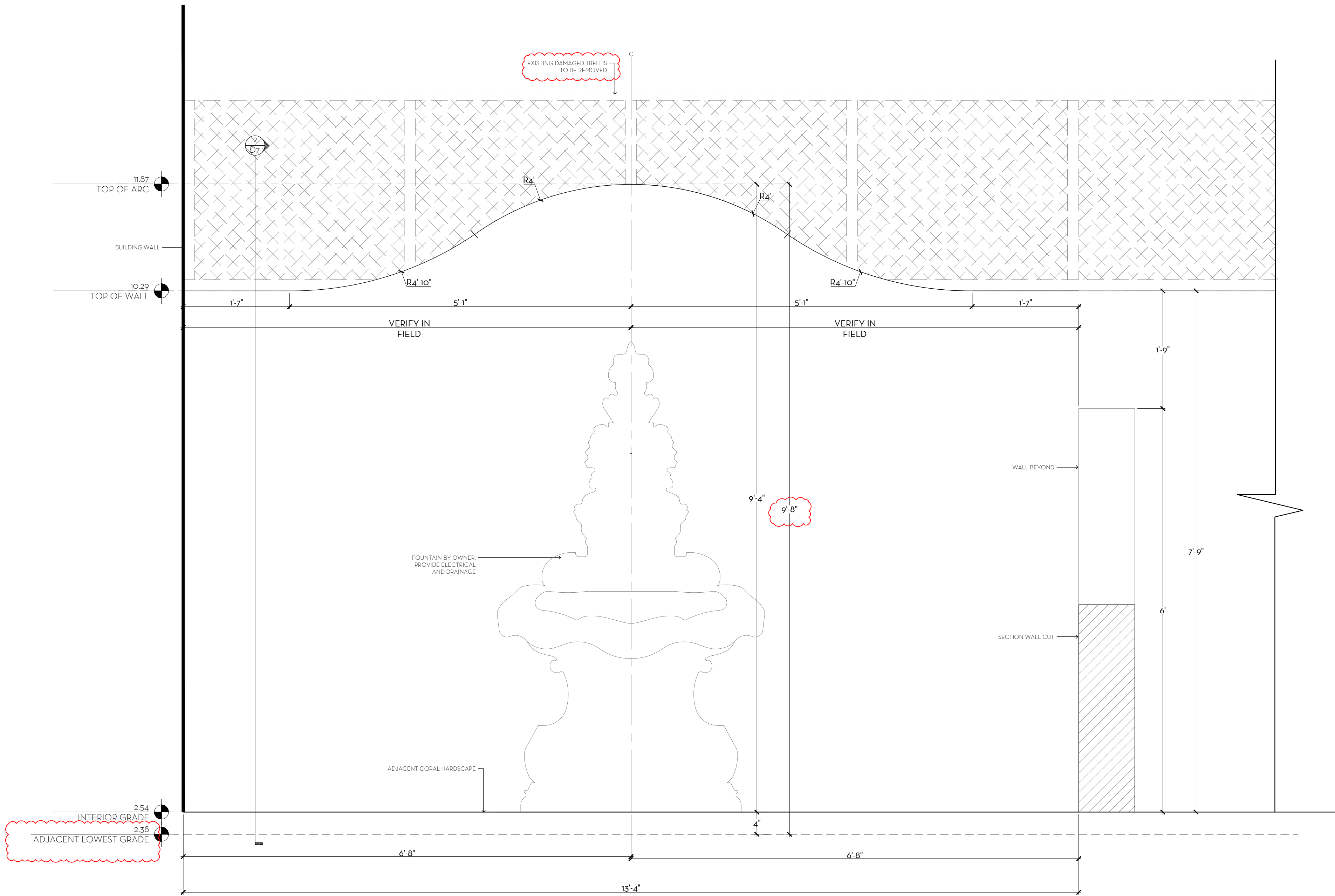
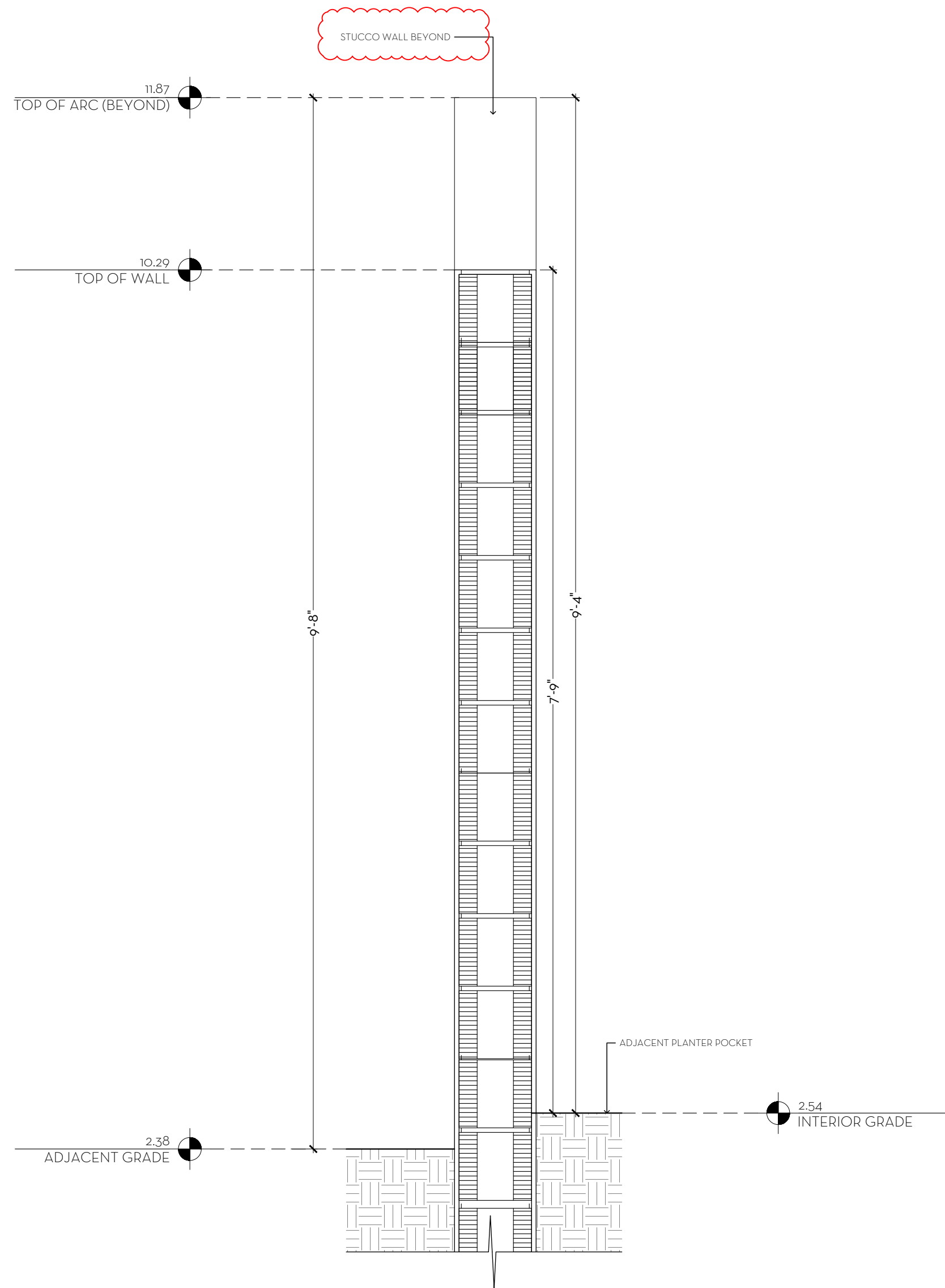


NOTE:
FOUNTAIN PROVIDED BY OWNER
PROVIDE ELECTRICAL & PLUMBING
PRIOR TO INSTALLATION

FINAL PLAN SET
JULY 17, 2024 LPC



1
D7 OUTDOOR KITCHEN WALL - ELEVATION DETAIL
SCALE: 1\"/>



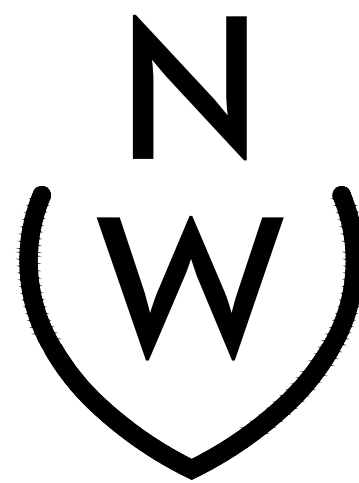
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D7 OUTDOOR KITCHEN WALL - SECTION DETAIL
SCALE: 1\"/>

MARIO F. NIEVERA

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Registration No.
6666856

CONSTRUCTION DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

JUNE 07 2024
MAY 24 2024
MAY 09 2024



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DESIGN

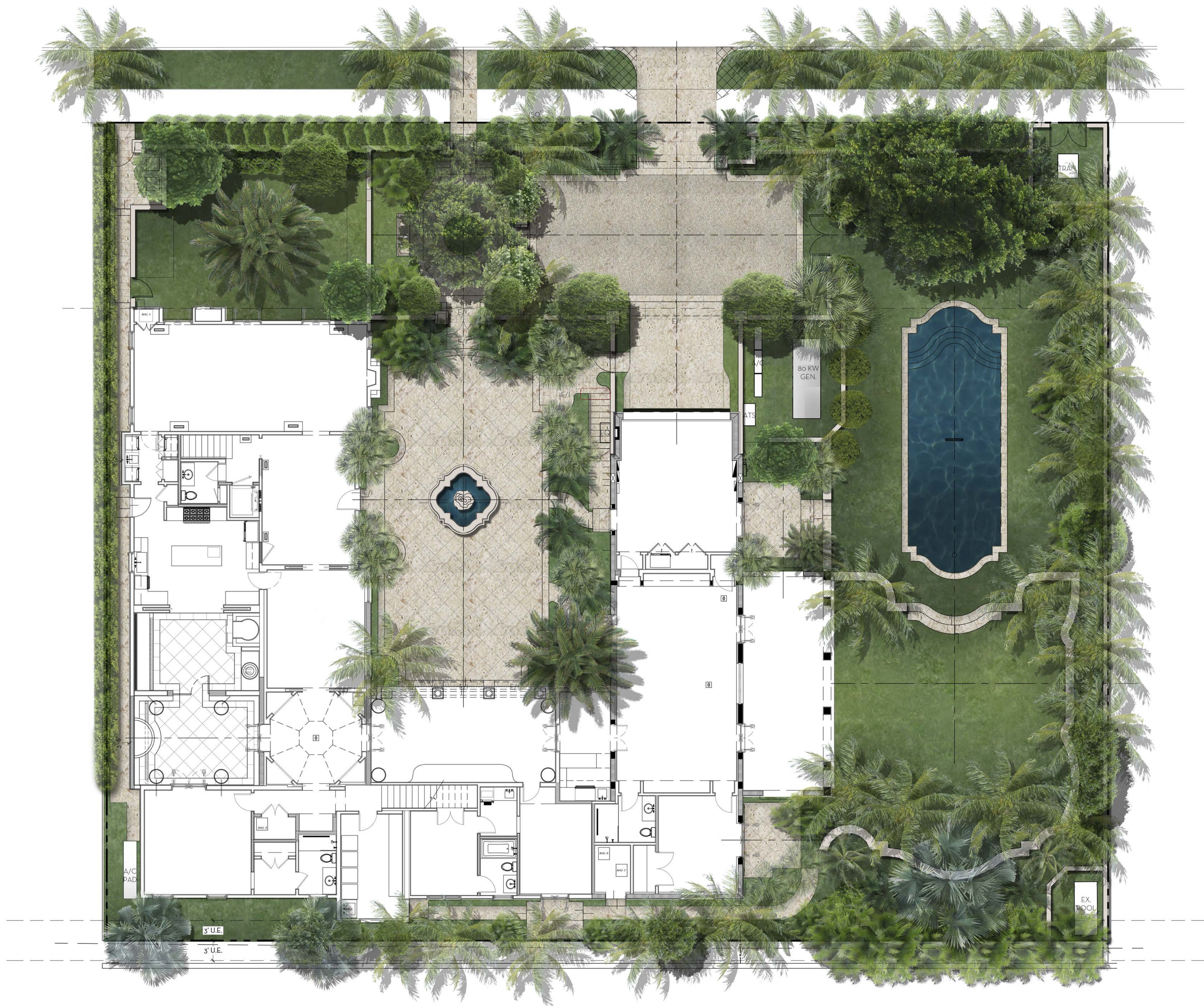
625 North Flagler Drive
Suite 502
West Palm Beach, Florida
33480
P: 561-659-2820
F: 561-659-2113

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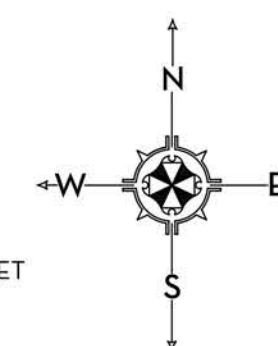
D7

NO CHANGES MADE

SEASPRAY AVENUE



0 1 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

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6666856

SCALE: 1/8" = 1'-0"

SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



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SP

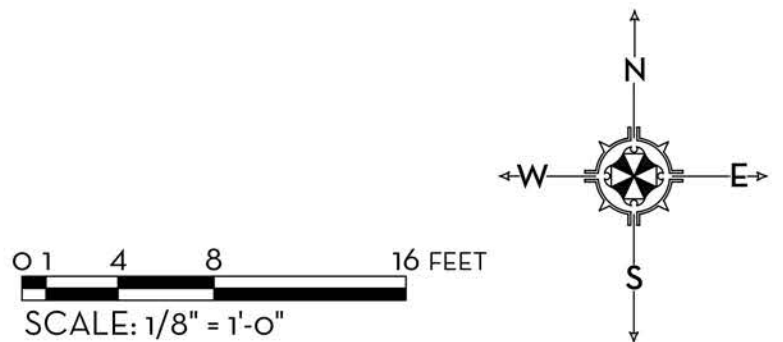
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PREVIOUSLY APPROVED
ARC - 21 - 069



PROPOSED

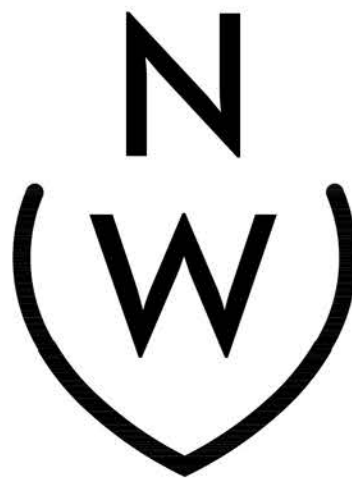


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SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



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NO CHANGES MADE



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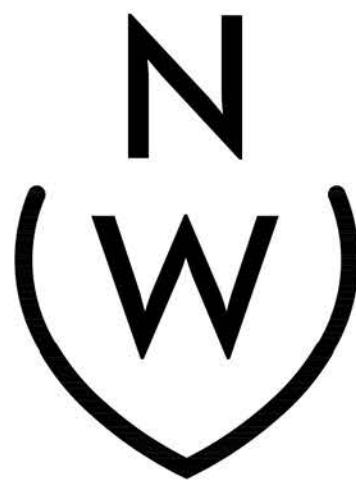
MARIO F. NIEVERA

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Registration No.
6666856

SCALE: AS SHOWN

NORTH ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



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EL1

NO CHANGES MADE



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PROPOSED

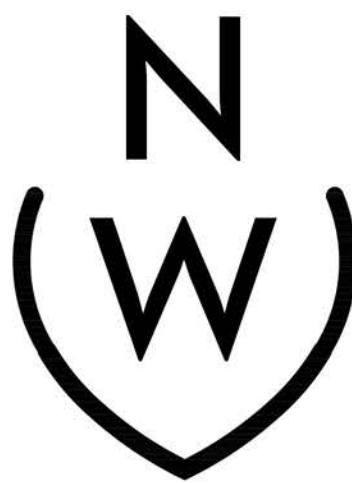
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Landscape Architect
Registration No.
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WEST ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



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EL2

NO CHANGES MADE



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ARC - 21 - 069



PROPOSED

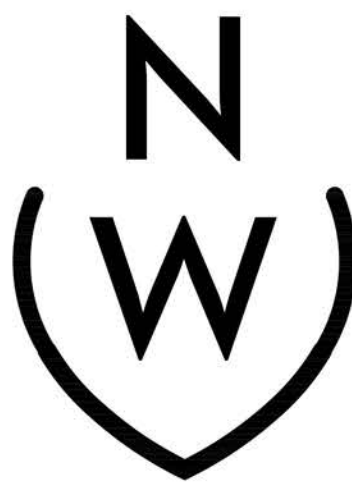
MARIO F. NIEVERA

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Registration No.
6666856

SOUTH ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



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DESIGN

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EL3

NO CHANGES MADE



PREVIOUSLY APPROVED
ARC - 21 - 069



PROPOSED

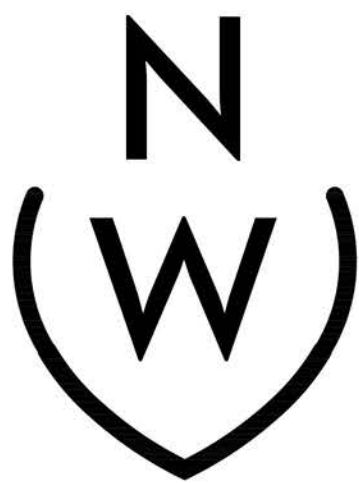
MARIO F. NIEVERA

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Registration No.
6666856

EAST ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



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DESIGN

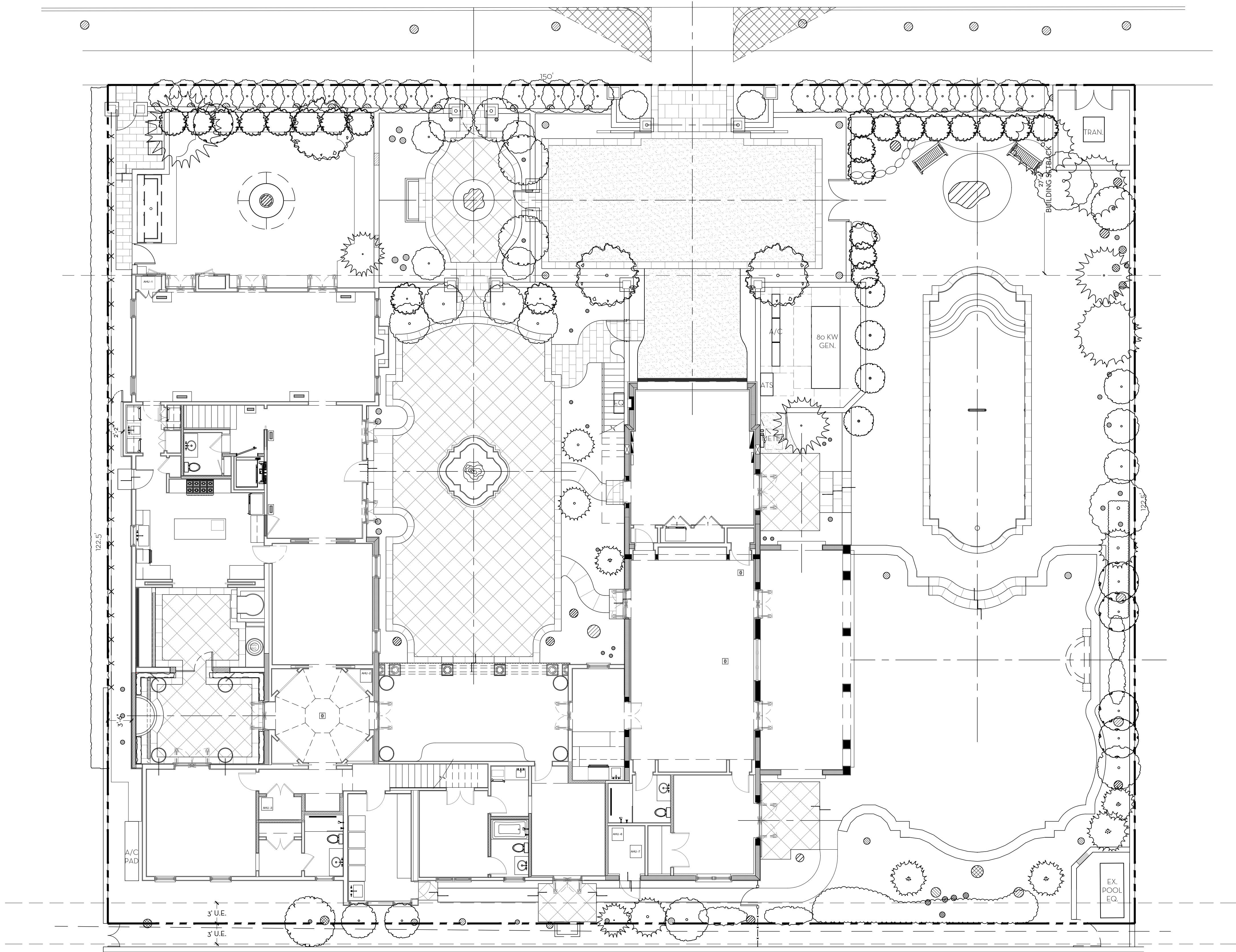
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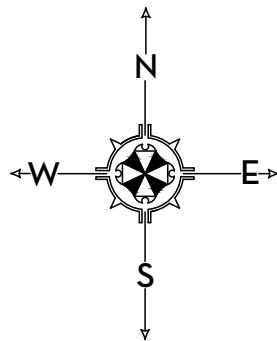
EL4

OVERALL R-B SITE CALCULATIONS:	FRONT SETBACK SITE CALCULATIONS:	10' PERIMETER SITE CALCULATIONS:
SITE AREA = 18,375 SQ FT 100%	25' SETBACK AREA = 3,750 SQ FT 100%	PERIMETER AREA = 5,050 SQ FT
MINIMUM LANDSCAPE: REQUIRED = 8,269 SQ FT 45% EXISTING = 6,338 SQ FT 34.5% PROPOSED = 8,489 SQ FT 45.6%	MINIMUM LANDSCAPE: REQUIRED = 1,500 SQ FT 40% EXISTING = 2,673 SQ FT 71.3% PROPOSED = 2,548 SQ FT 67.9%	MINIMUM LANDSCAPE: (50% OF 8,269 SF) = 4,135 REQUIRED EXISTING = 2,840 SQ FT PROPOSED = 3,344 SQ FT

NO CHANGES MADE



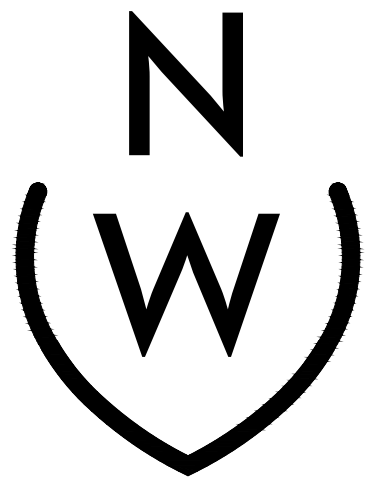
0 1 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

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SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA



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SP

SCALE: 1/8" = 1'-0"

MAY 24 2024
MAY 09 2024

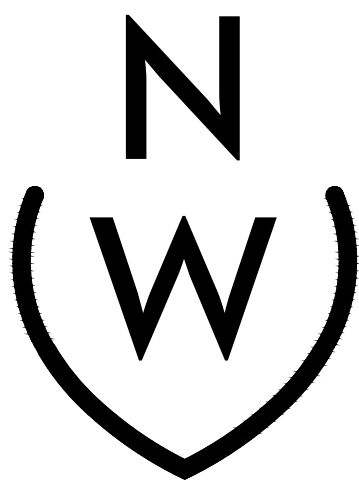
NO CHANGES MADE

MARIO F. NIEVERA

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Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

JUNE 07 2024
MAY 24 2024
MAY 09 2024



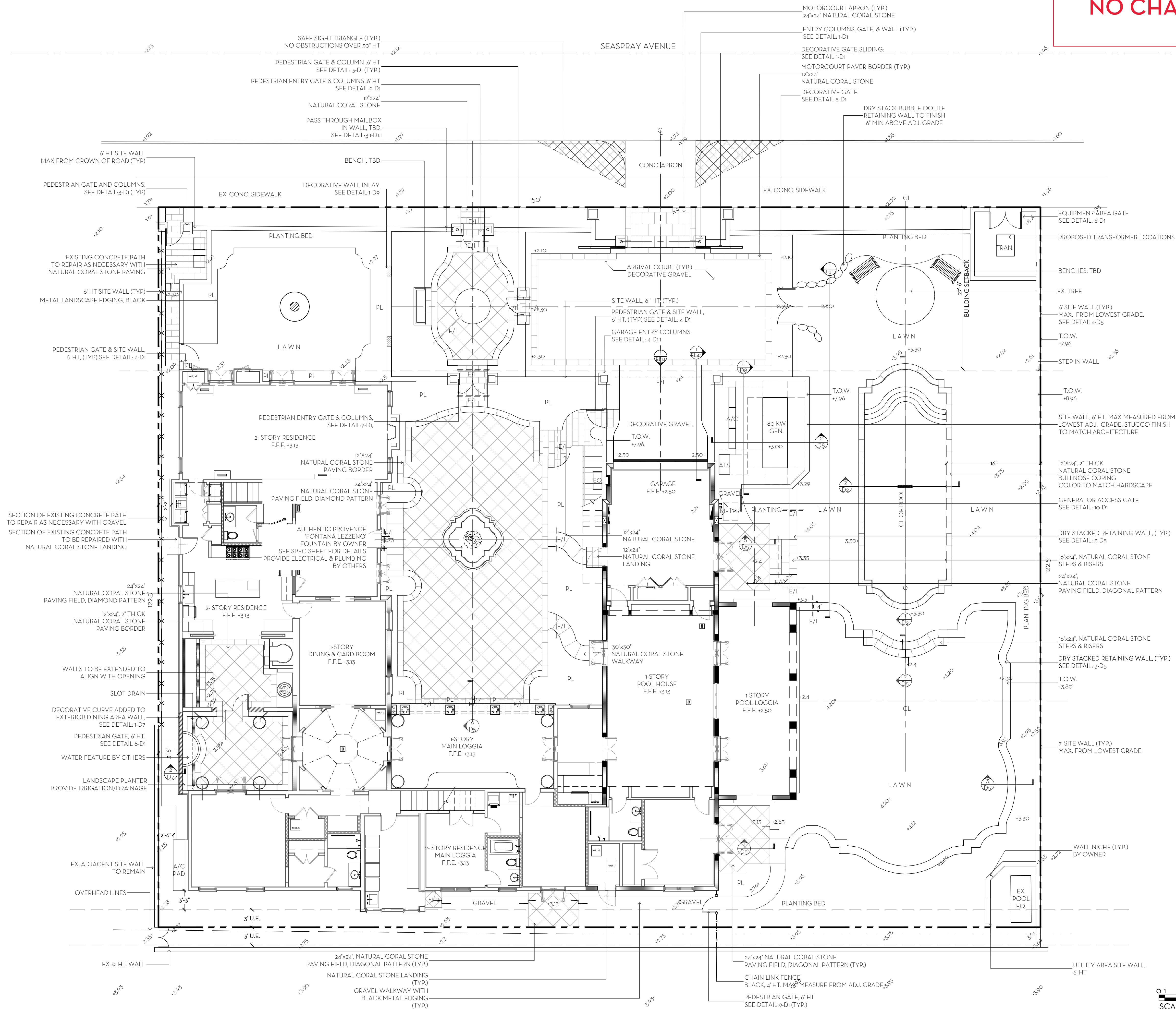
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L1

SCALE: 1/8" = 1'-0"



PREVIOUSLY APPROVED



RELAXED HONED COQUINA
DOMINICAN CORAL

PROPOSED



NATURAL CORAL STONE

LEGEND

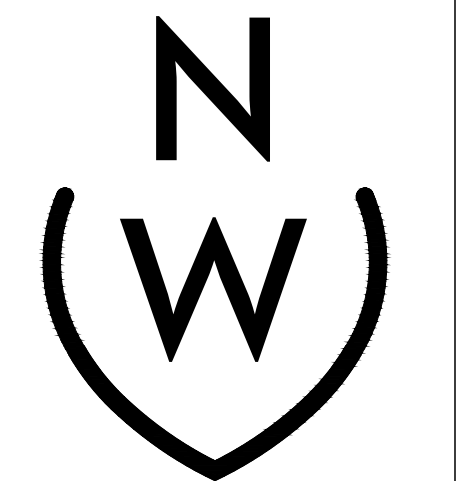
- +2.3 PROPOSED GRADE ELEVATION
- +3.99 EXISTING GRADE ELEVATION

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"

NO CHANGES MADE

State of Florida
Landscape Architect
Registration No.
6666856

MAY 24 2024	
MAY 09 2024	

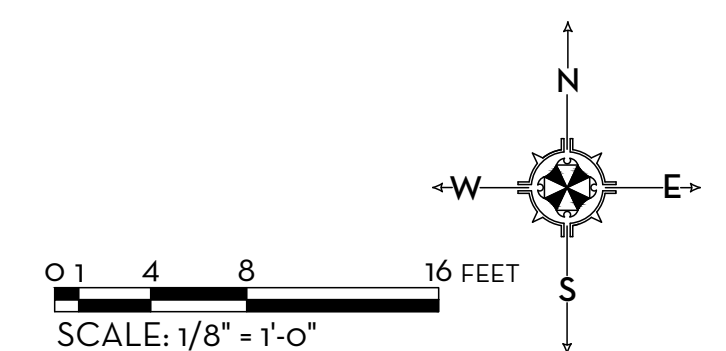
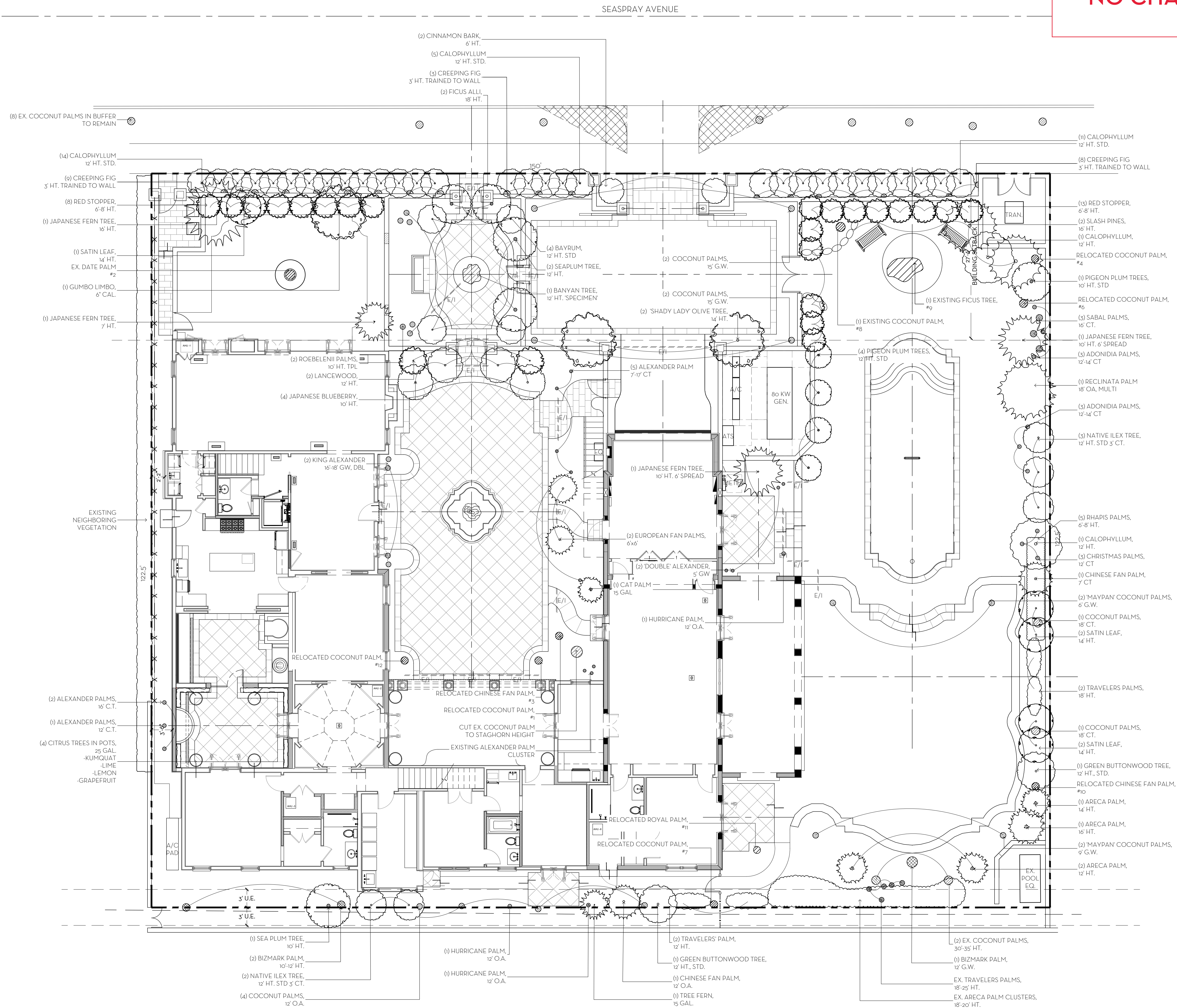


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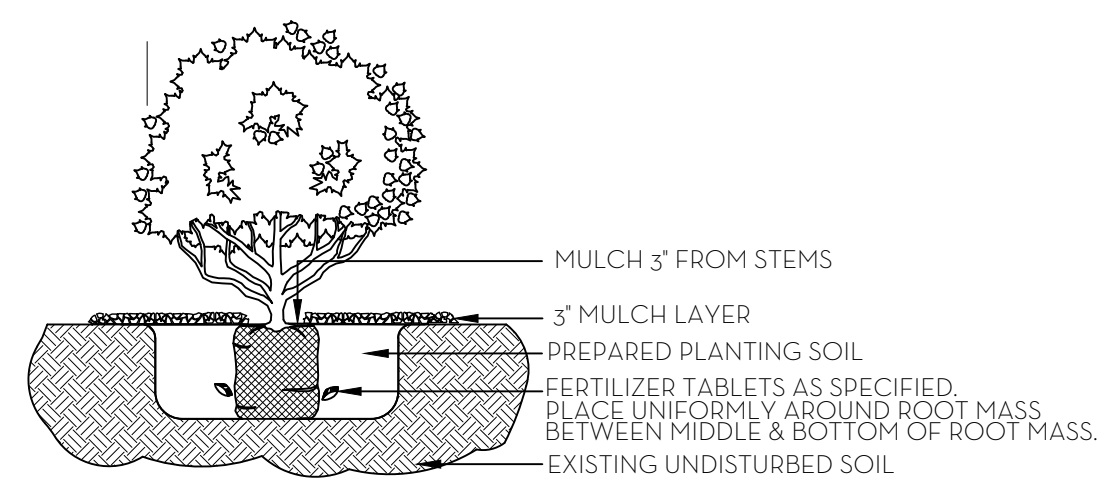
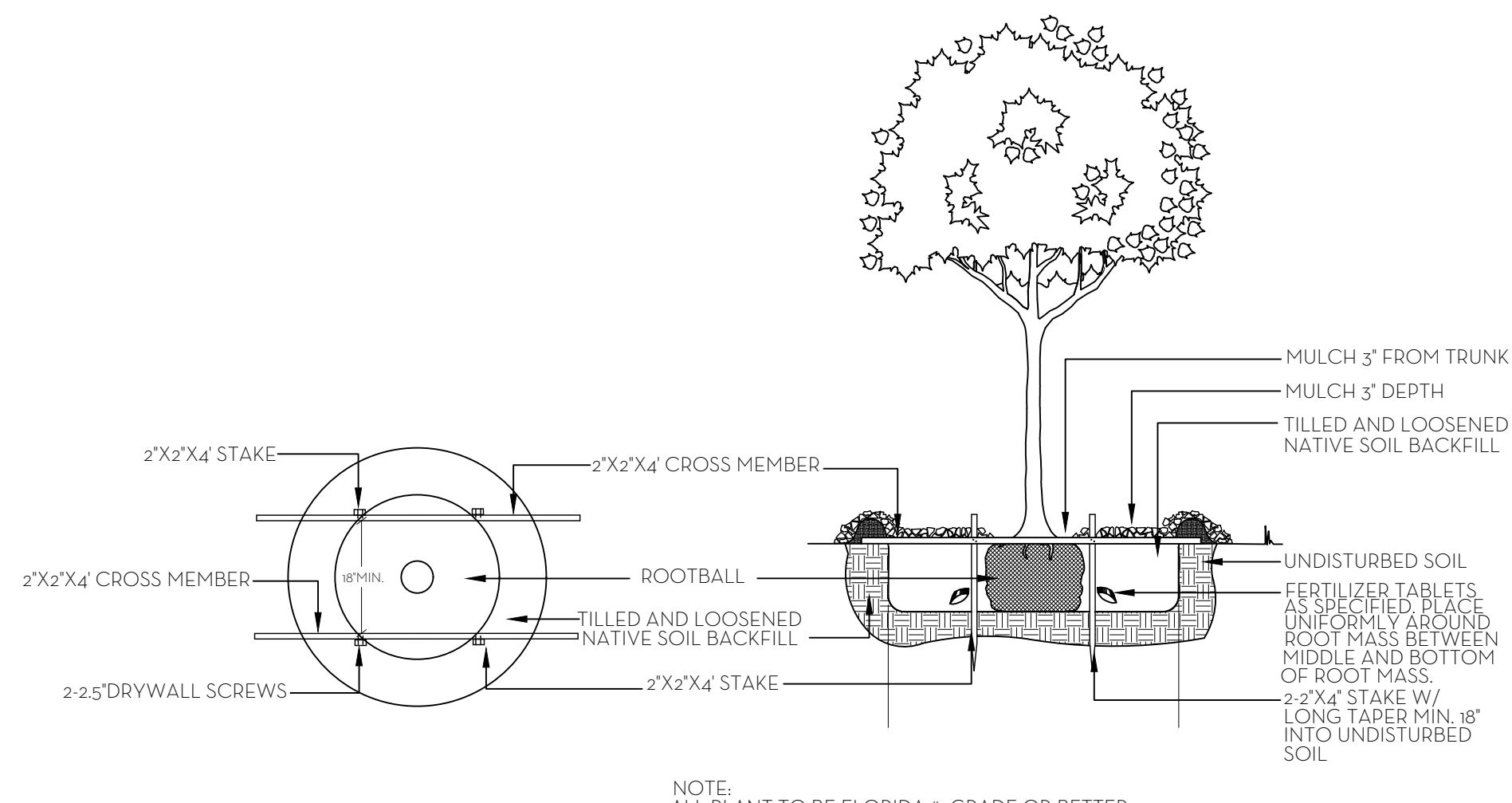
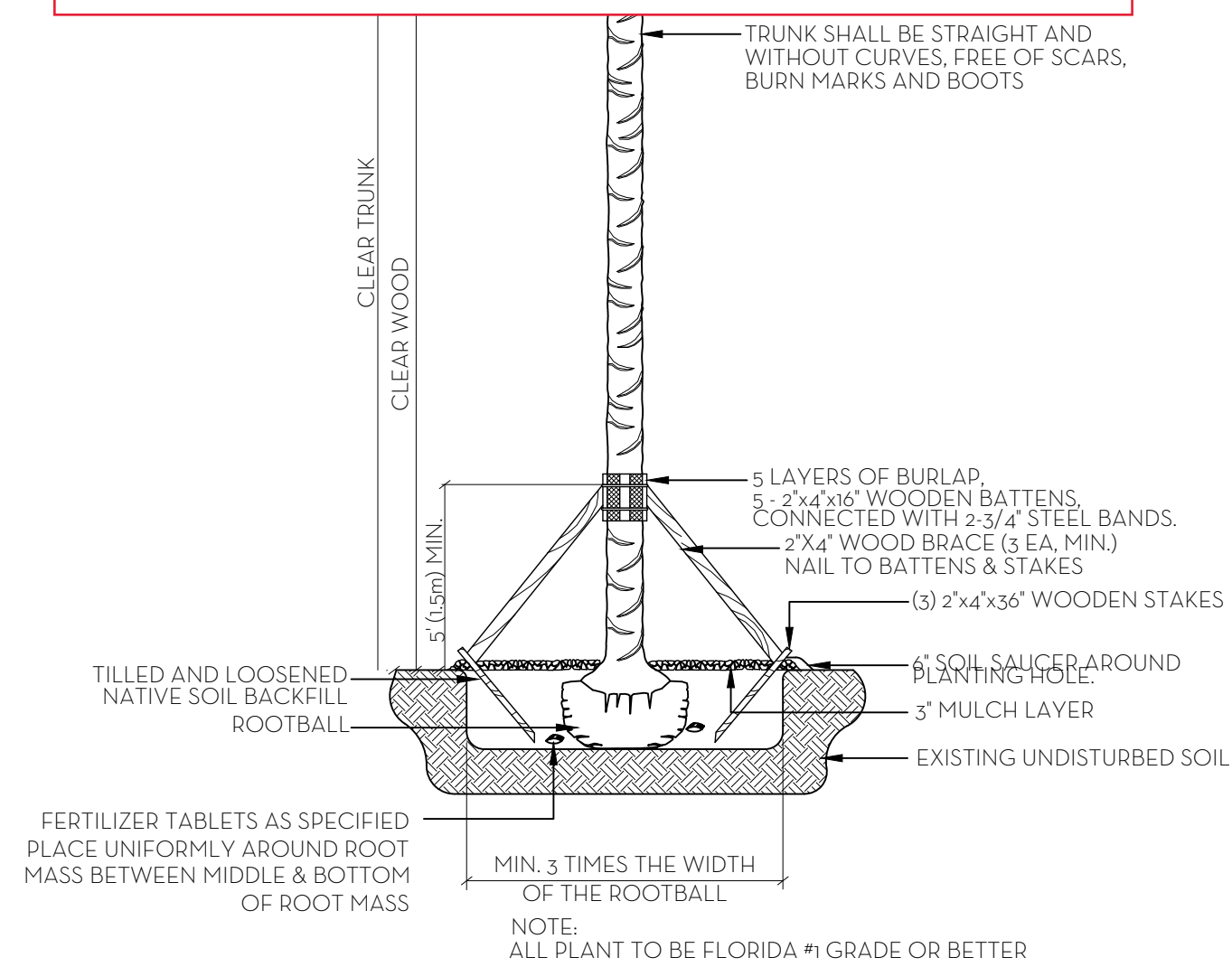
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LP1

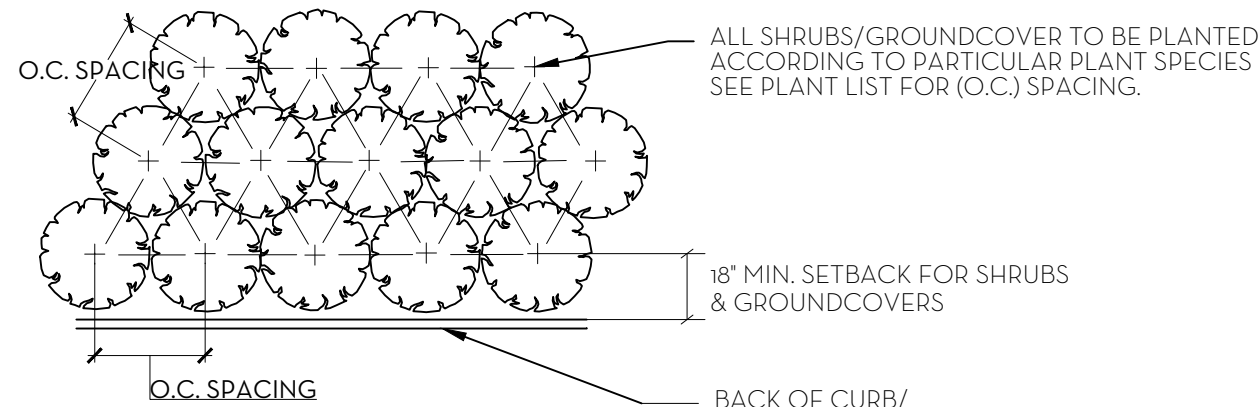


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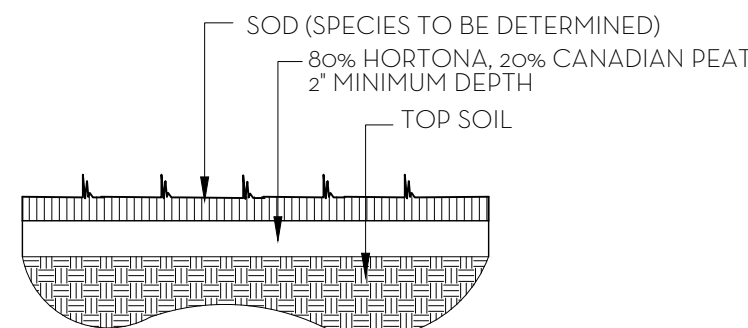
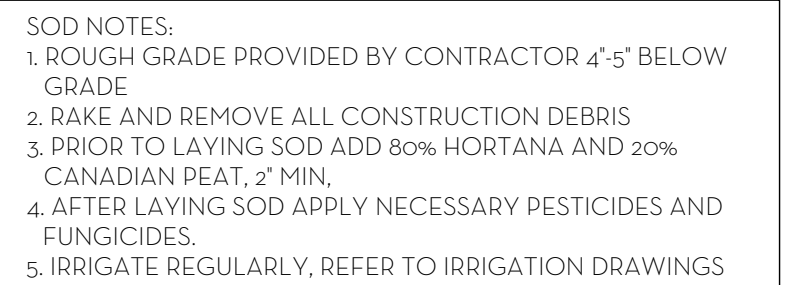
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
6. TOP OF ROOTBALL TO BE SET 2' BELOW FINISH SURROUNDING FINISH GRADE.



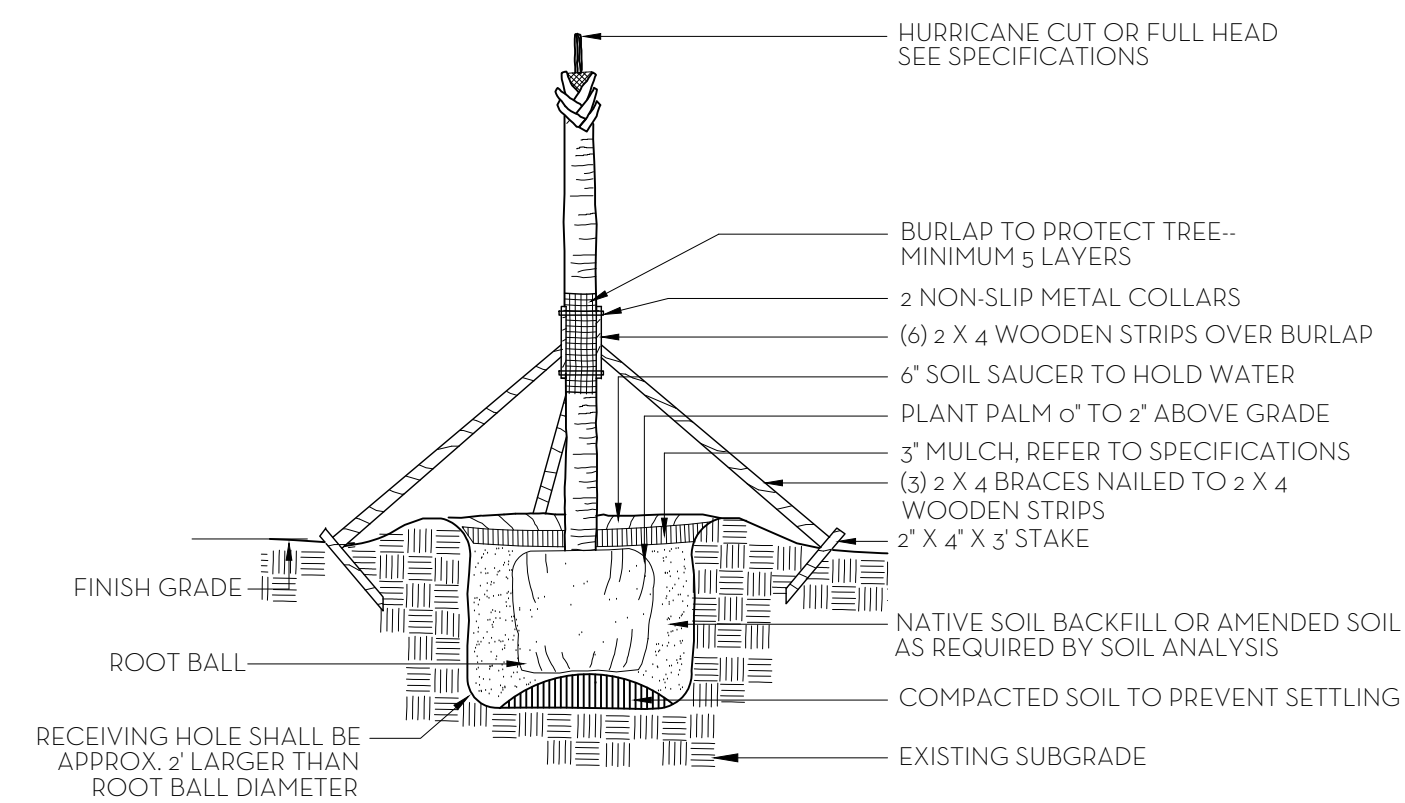
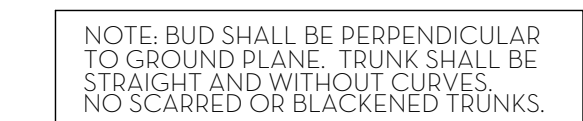
NOTE:
ALL MATERIAL TO BE FLORIDA #1 OR BETTER



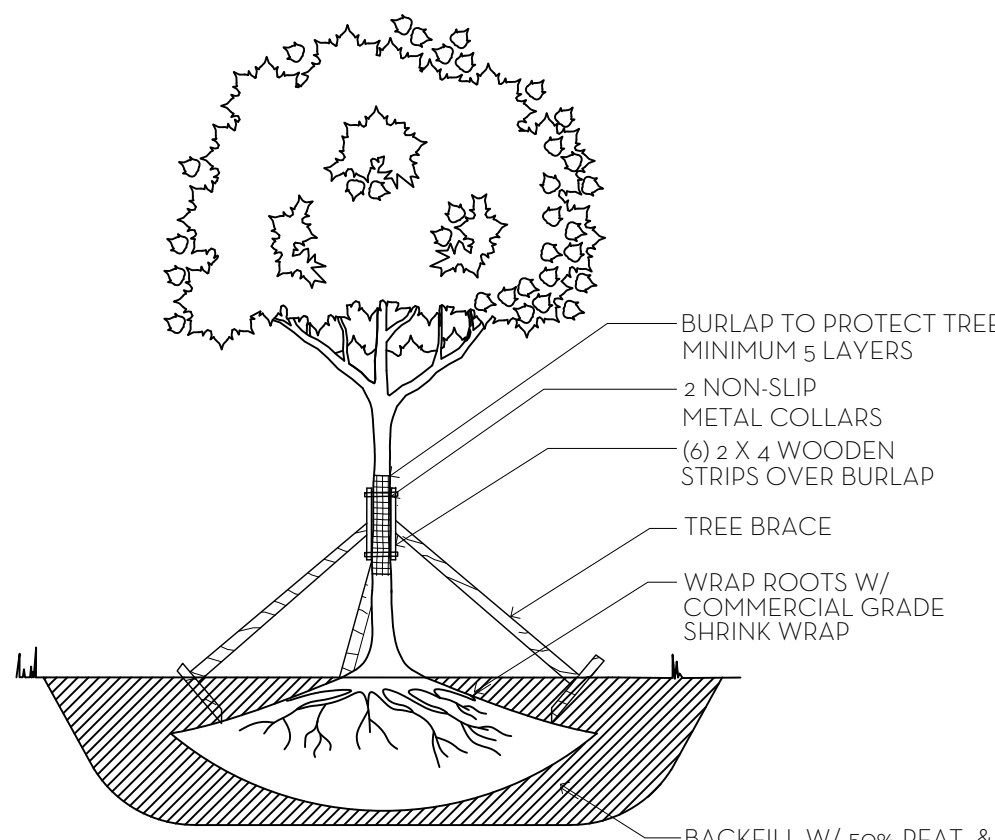
NOTE:
ALL PLANT TO BE FLORIDA #1 OR BETTER



SOD PLANTING DETAIL
N.T.S.

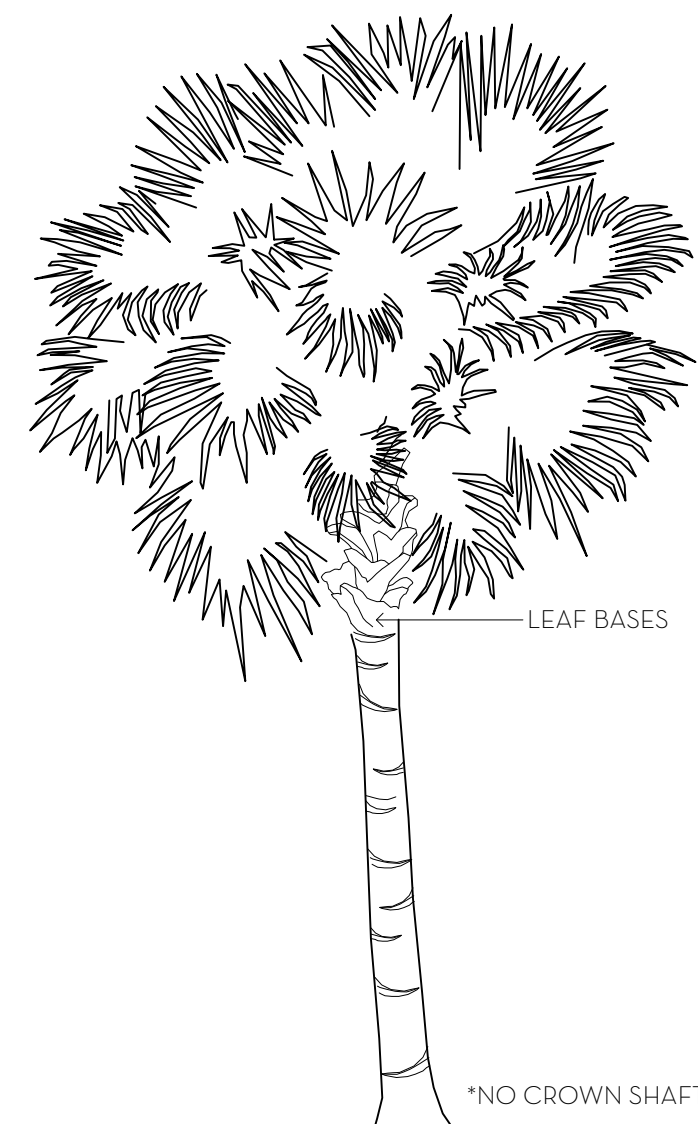


NOTES: STAKING & GUYING REQUIRED FOR PALMS, IF NECESSARY, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
ALL PLANT TO BE FLORIDA #1 OR BETTER



NOTE:

1. ALLOW 4-6 WEEKS BEFORE MOVING TREES.
2. PROVIDE DRIP IRRIGATION.
3. ALL PLANT MATERIAL TO BE FLORIDA #1 GRADE OR BETTER.



*NO CROWN SHAFT



<div><div><div>N</div><div>W</div></div><div>NIEVERA WILLIAMS DESIGN</div></div>					Villa Vanilla 346 Seaspray
					1.24.2024
Landscape Material Schedule					
Item No.	Common Name	Botanical Name	Quantity	Native	Specification
TREES					
1	Banyan Tree	Ficus benghalensis	1		12' HT. 'SPECIMEN'
2	Bayrum	Pimenta racemosa	4		12 HT. STD.
3	Calophyllum	Calophyllum antillarum	42		12' HT. STD
4	Weeping Hibiscus	Hibiscus schizopetalus	6		6'-8' HT.
5	Ficus Alii	Ficus binnendijkii 'Alii'	2		7' HT.
6	Ficus Alii	Ficus binnendijkii 'Alii'	2		18'HT.
7	Gumbo Limbo	Bursera simaruba	1	490	6' CAL.
8	Green Buttonwood	Coccarpus erectus	1	350	12' HT. STD.
9	Japanese Blueberry	Eleoacarpus decipiens	4		10' HT.
10	Japanese Fern Tree	Athyrium niponicum	1		16' HT.
11	Japanese Fern Tree	Athyrium niponicum	1		10' HT. 6' Spread
12	Japanese Fern Tree	Athyrium niponicum	1		7' HT.
13	Native Ilex	Ilex opaca	5	250	12' HT. STD. 3' CT.
14	Pigeonglum	Coccoloba diversifolia	4	400	12' HT. STD
15	Satin Leaf	Chrysophyllum oliviforme	4		14' HT.
16	Saaplum Tree	Coccoloba diversifolia x uvifera	1		10' HT.
17	"Shady Lady" Olive Tree	Terminalia buxaris	2	340	14' HT.
18	Slash Pine	Pinus Elliottii	2	100	16' HT.
PALMS					
19	Adonisia	Adonisia merrillii	6		12'-14' CT.
20	Thrinax Palm	Thrinax radiata	2	630	16'-18' GW. DBL
21	Alexander Palm	Ptychosperma elegans	2		5' GW. DBL
22	Alexander Palm	Ptychosperma elegans	1		12' CT.
23	Alexander Palm	Ptychosperma elegans	2		16' CT.
24	Alexander Palm	Ptychosperma elegans	7		7'-10' CT.
25	Areca Palm	Dypsis lutescens	1		16'HT.
26	Areca Palm	Dypsis lutescens	1		14' HT.
27	Areca Palm	Dypsis lutescens	2		12' HT.
28	Bismark Palm	Bismarckia nobilis	1		10-12' HT.
29	Bismark Palm	Bismarckia nobilis	1		12' GW.
30	Cat Palm	Chamaedorea cataractarum	1		15 Gal.
31	Chinese Fan Palm	Livistona chinensis	1		7' CT
32	Chinese Fan Palm	Livistona chinensis	1		12' O.A.
33	Christmas Palm	Veitchia merrillii	3		12' CT.
34	Coconut Palm	Cocos nucifera	4		12' O.A.
35	"Maypan" Coconut Palms	Cocos nucifera	2		6'S.W.
36	"Maypan" Coconut Palms	Cocos nucifera	2		9'S.W.
37	Coconut Palm	Cocos nucifera	2		18' CT.
38	European Fan Palm	Chamaerops humilis	2		6'6"
39	Hurricane Palm	Dicorysperma album	3		12' O.A.
40	Roebelenii Palm	Phoenix roebelenii	2		10' HT. TPL
41	Sabal	Sabal palmetto	3	528	16' CT.
42	Traveler Palm	Revenala madagascariensis	2		18' HT.
43	Traveler Palm	Revenala madagascariensis	2		12' HT.
44	Redinata Palm	Phoenix reclinata	1		18' OA, MULTI
SHRUB/ACCENTS					
45	Red Stopper	Eugenia rhombica	25		6'-8' HT.
46	Saw Palmetto	Serenoa repens	7		5'x5'
47	Tree Fern	Orethos cooperi	4		5'x5'
48	Tibouchina	Tibouchina	1		5' HT.
49	Tibouchina	Tibouchina	2		3 GAL.
50	Yesterday, Today, Tomorrow	Brunfelsia calycina	3		3 GAL.
51	King Sago	Cycas revoluta	2		3'x5'
52	Philodendron 'Selloum'	Philodendron selloum 'Selloum'	1		4'x4'
53	Philodendron 'Selloum'	Philodendron selloum 'Selloum'	2		3'-4' HT.
54	Variegated Shell Ginger	Alpinia zerumbet 'Variegata'	7		7 GAL.
55	Shell Ginger	Alpinia zerumbet	1		5'x5'
56	Copper Leaf	Acalypha	1		3'-4' HT.
57	Copper Leaf	Acalypha	1		3 GAL.
58	Tahitian Gardenia	Gardenia latensis	3		7 GAL.
59	Bromeliad	Aechmea	10		3 GAL.
60	Sword Fern	Nephrolepis biserrata	18	200	3 GAL.
61	Rhapis Bush	Rhapis exelsa	1	10	4' HT.
62	Ganges Primrose	Asystasia gangetica	20		1 GAL.
63	Licuala Palms	Licuala grandis	2		15 GAL.
64	Licuala Palm	Licuala grandis	4		3' HT.
65	Ti Plant	Cordylone fruticosa	4		3 GAL.
66	Giant Elephant Ear	Alseodia gigantea	1		3' HT.
67	Philodendron 'Burlle marx'	Philodendron 'Burlle marx'	4		1 GAL.
68	Philodendron 'Burlle marx'	Philodendron 'Burlle marx'	8		3 GAL.
69	Green Congo	Philodendron 'Congo'	8		3' HT.
70	Purple Crinum Lily	Crinum 'Purple'	2		7 GAL.
71	Ground Orchid	Spathoglottis	15		3 GAL.
72	Latania Palm	Latania lontaroides	2		5'x5'
GROUND COVER / VINES					
73	Variegated Confederate Jasmine	Trachelospermum jasminoides 'Variegatum'	10		5' HT.
74	Podocarpus Pringles	Podocarpus macrophyllus 'Pringles'	180		3 GAL.
75	Carmona	Carmona microphylla	202		3 GAL.
76	Liriope	Liriope spp.	143		3 GAL.
77	Minima	Trachelospermum asiaticum 'Minima'	60		1 GAL.
78	Ice Pink Oleander	Nerium oleander	2		7 GAL.
79	Annuala	Annuala	6		1 GAL.
80	Tabernaemontana Shrub	Tabernaemontana divaricata	3		3 GAL.
SOD					
81	Empire Zoysia			TBFV	
RELOCATE/EXISTING TO REMAIN					
82	Royal Palm	Roystonea regia	1		Relocated from on-site.
83	Alexander Palm Cluster	Ptychosperma elegans	1		Existing to remain.
84	Traveler Palm	Revenala madagascariensis	2		18'-25' HT. Existing to remain.
85	Date Palm	Phoenix	1		Existing to remain.
86	Coconut Palm	Cocos nucifera	5		Relocated from on-site.
87	Coconut Palm	Cocos nucifera	10		To remain.
88	Coconut Palm	Cocos nucifera	2		30'-35' HT. Existing to remain.
89	Ficus Tree	Ficus altissima	1		Existing to remain.
90	Chinese Fan Palm	Livistona chinensis	2		Relocated from on-site.
91	Areca Palm Cluster	Dypsis lutescens	1		18'-30' HT. Existing to remain.

NATIVE LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE: (8,272 SF)

REQUIRED =	2,068 SQ FT	25%
PROPOSED =	2,808 SQ FT	33.9%

MARIO F. NIEVERA

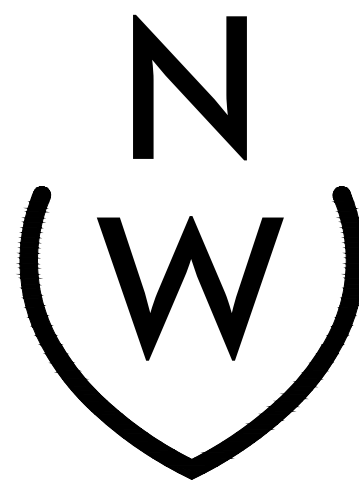
State of Florida
Landscape Architect
Registration No.
6666856

PLANT LIST AND DETAILS

VILLA VANILLA

346 SEASPRAY AVENUE; PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



NIEVERA WILLIAMS
DESIGN

625 North Flagler Drive
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LP2

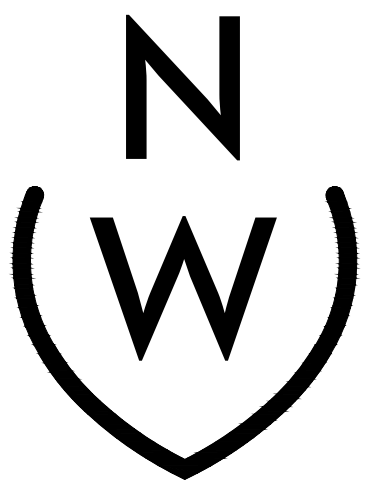
NO CHANGES MADE

MARIO F. NIEVERA

State of Florida
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Registration No.
6666856

LANDSCAPE LIGHTING PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



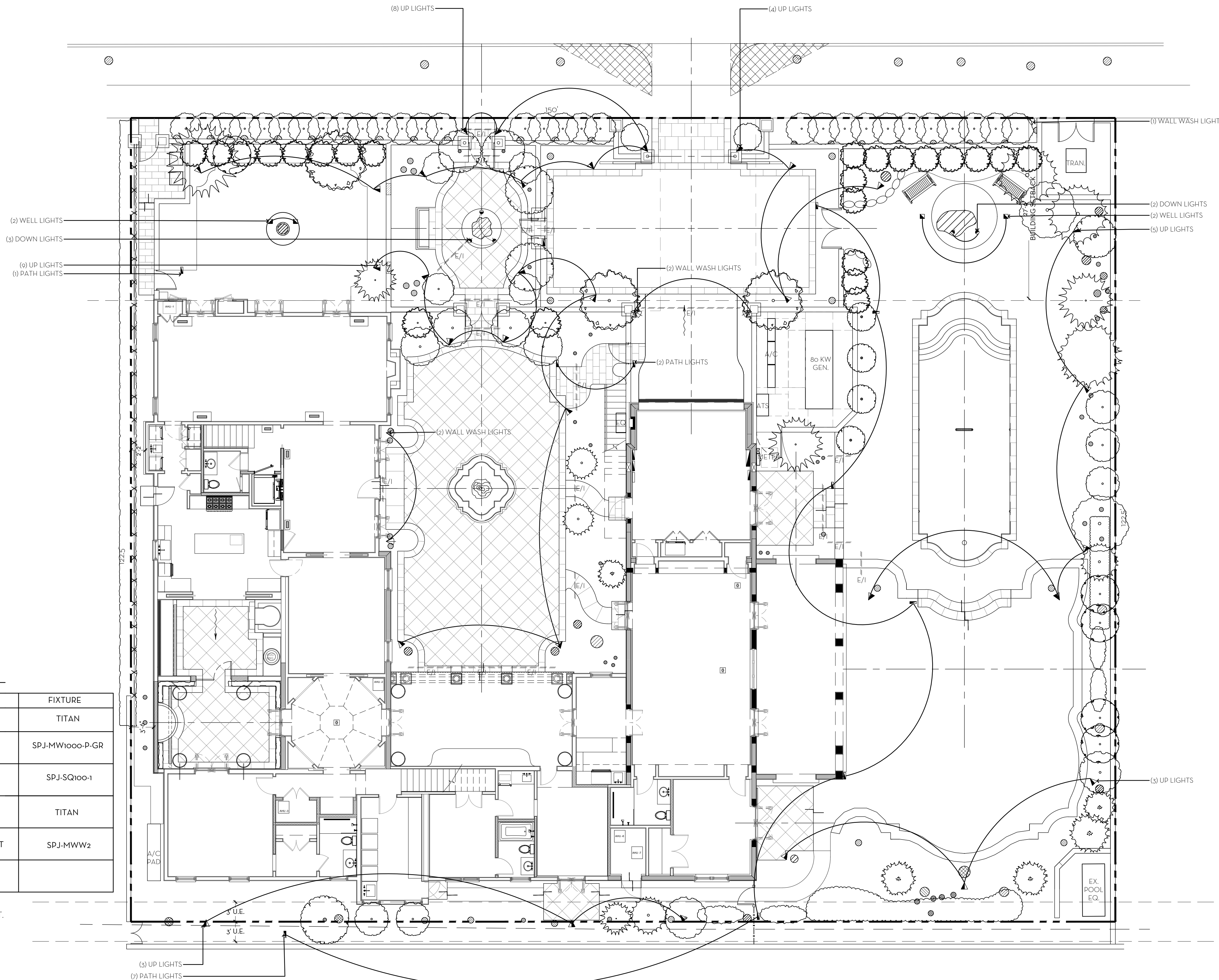
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LL1

SEASPRAY AVENUE

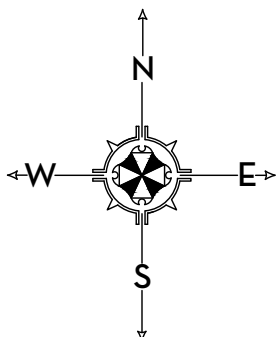







PROPOSED LIGHTING SCHEMATIC

SYMBOL	QUANTITY	CATEGORY	FIXTURE
	32	UP LIGHT	TITAN
	4	WELL LIGHT	SPJ-MW1000-P-GR
	10	PATH LIGHT	SPJ-SQ100-1
	5	DOWN LIGHT	TITAN
	5	WALL WASH LIGHT	SPJ-MWW2
	56	TOTAL	


150 FIXTURES ALLOWED PER 43,560 SQ. FT.
.42 ACRE X 150 = 63 FIXTURES PERMITTED
56 FIXTURES PROVIDED

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"



SYMBOL	QUANTITY	CATEGORY	FIXTURE
	32	UP LIGHT	TITAN
	4	WELL LIGHT	SPJ-MW1000-P-GR
	10	PATH LIGHT	SPJ-SQ100-1
	5	DOWN LIGHT	TITAN
	5	WALL WASH LIGHT	SPJ-MWW2
	56	TOTAL	

NO CHANGES MADE



Model: **SPJ-MW1000-P-GR**
Finish: PVDS

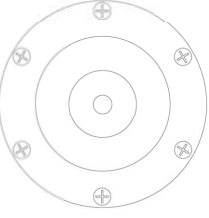
Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

Electrical: Available in 9-15V, 12-15V

Labels: ETL Standard Wet Label C-ETL

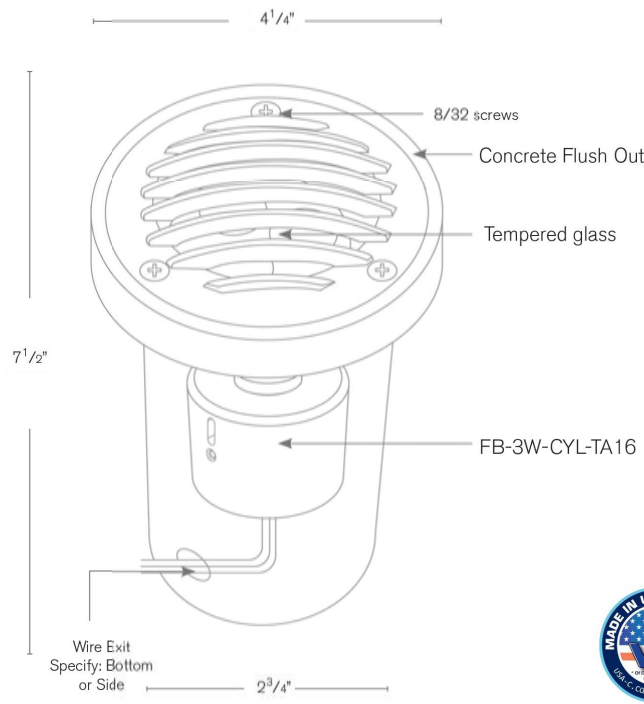


Top View

Well Light

DESCRIPTION

Model#: SPJ-MW1000-P-GR
Material: Solid Brass
Finish: PVD Satin
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Lamp:
Options: FB-2W-CYL-TA16 8-15v 150
FB-3W-CYL-TA16 8-15v 200
FB-6W-CYL-TA16 12-15v 300
FB-8W-CYL-TA16 12-15v 580
Mounting: Concrete Flush Out



4 1/4"
7 1/2"
2 1/4"
8/32 screws
Concrete Flush Out
Tempered glass
FB-3W-CYL-TA16
Wire Exit
Specify Bottom or Side


ETL US Wet Listed

ORDERING INFORMATION

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-MW1000 P-GR	PVDS	3W	FLOOD	150	2700K	8-15V

V = Verde CM = Gun Metal
M = Moss B = Black
AG = Argent Brass R = Rusty
MBR = Matte Brass PVDP = PVD Polished
SB = Satin Brass PVDG = PVD Satin

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Model: **SPJ-MWW2**
Finish: Matte Bronze

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

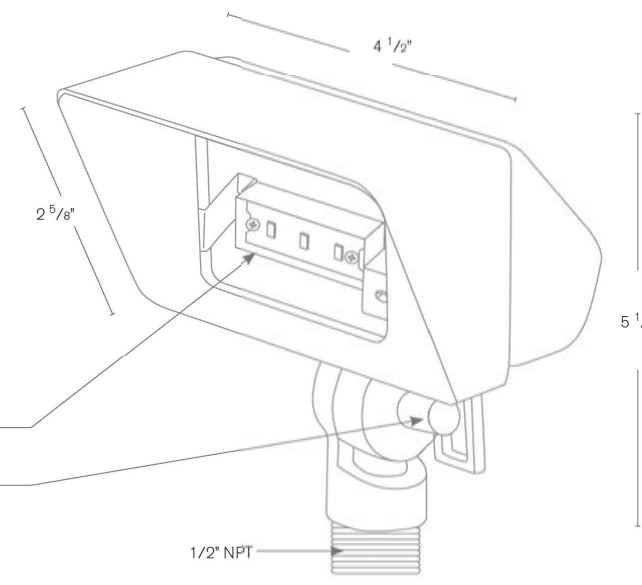
Electrical: Available in 9-15V

Labels: ETL Standard Wet Label C-ETL

Wall Washer

DESCRIPTION

Model#: SPJ-MWW2
Material: Cast Brass
Electrical: 9-15V
Engine: Interchangeable - REC
Lumens: 1W, 2W, 4W
85, 125, 250
Color Temp: 2700K
Mounting: 1/2" NPT, Nichia
LED:



4 1/2"
5 1/2"
2 3/4"
Interchangeable-REC
Adjustable key swivel
1/2" NPT


ETL US Wet Listed

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-MWW2	MBR	1W	85	2700K	9-15V

V = Verde CM = Gun Metal
M = Moss B = Black
AG = Argent Brass R = Rusty
MBR = Matte Brass PVDP = PVD Polished
SB = Satin Brass PVDG = PVD Satin

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Model: **SPJ-SQ100-1**
Finish: PVD Graphite

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

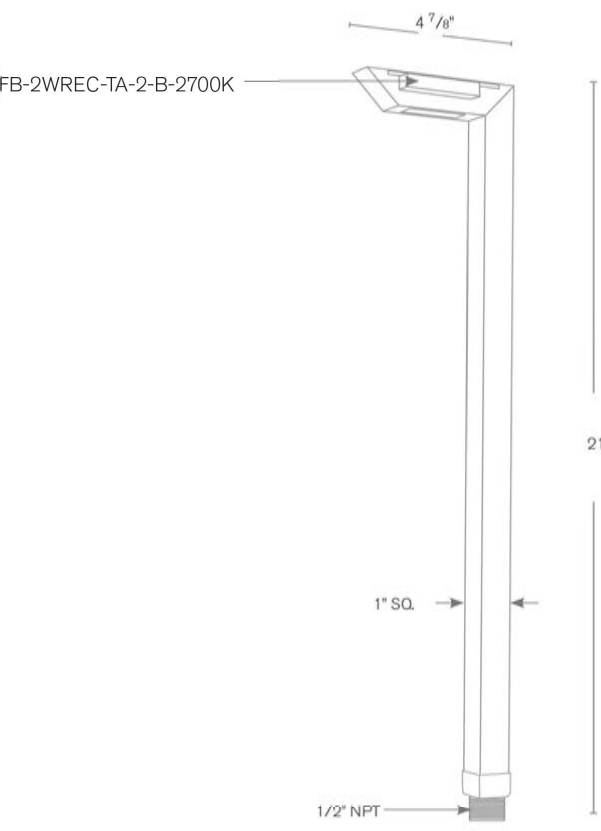
Electrical: Available in 9-15V

Labels: ETL Standard Wet Label C-ETL

Contemporary Path Light

DESCRIPTION

Model#: SPJ-SQ100-1
Material: Cast Brass
Electrical: 9-15V
Engine: FB-2WREC-TA-2-B-2700K
Lumens: 125
Color Temp: 2700K
Mounting: 1/2" NPT, Nichia
LED:



4 1/2"
21"
1" SQ.
1/2" NPT


ETL US Wet Listed

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-SQ100-1	PVDG	2W	125	2700K	9-15V

V = Verde CM = Gun Metal
M = Moss B = Black
AG = Argent Brass PVDP = PVD Polished
MBR = Matte Brass PVDG = PVD Satin
SB = Satin Brass PVDG = PVD Satin
RC = Raw Copper
CM = Gun Metal

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Model: **Titan**

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

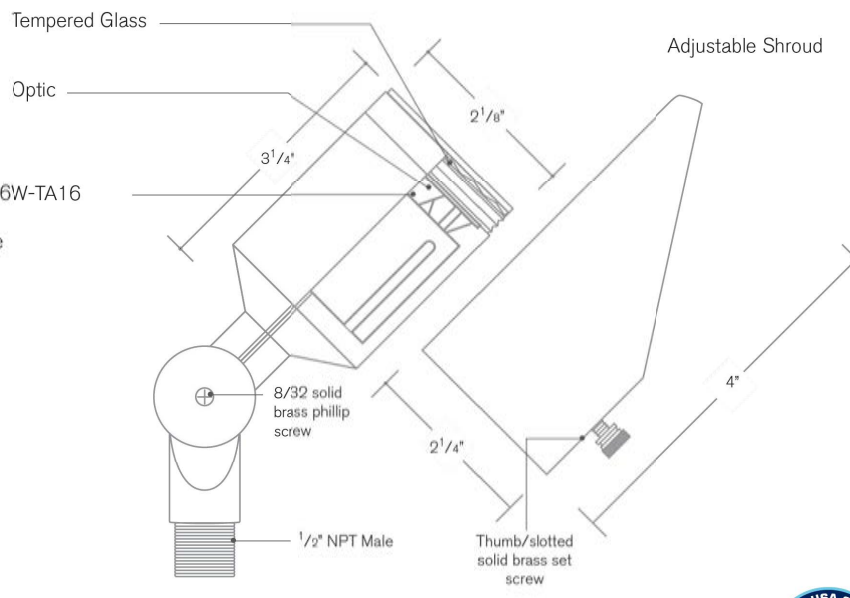
Electrical: Available in 12V-15V or 120V

Labels: ETL Standard Wet Label C-ETL

Directional Light

DESCRIPTION

Model#: Titan
Material: Solid Brass
Finish: Matte Bronze
Electrical: 12V-15V or 120V
Engine: FB-6W-TA16
Lumens: 300
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Mounting: 1/2" NPT



Tempered Glass
Optic
Adjustable Shroud
3 1/4"
2 1/4"
2 1/4"
4"
8/32 solid brass phillips screw
1/2" NPT Male
Thumb/skidded solid brass set screw

ETL US Wet Listed

ORDERING INFORMATION

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
TITAN	MBR	6W	FLOOD	300	2700K	12V-15V

V = Verde CM = Gun Metal
M = Moss B = Black
AG = Argent Brass R = Rusty
MBR = Matte Brass PVDP = PVD Polished
SB = Satin Brass PVDG = PVD Satin

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MARIO F. NIEVERA

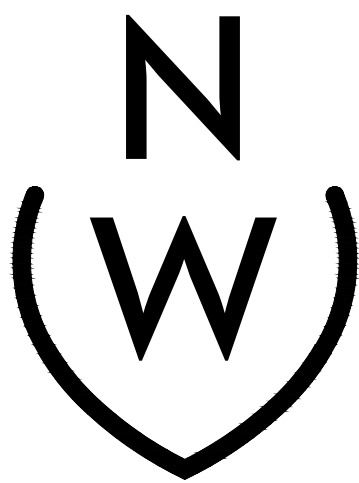
State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE LIGHTING SPECIFICATIONS

VILLA VANILLA

346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024

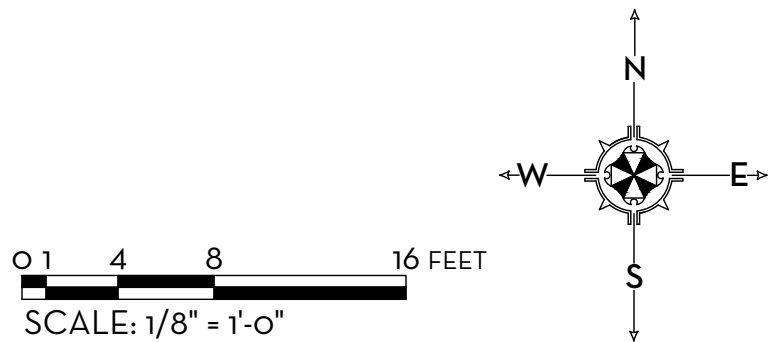


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DESIGN

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33480
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F: 561-659-2113

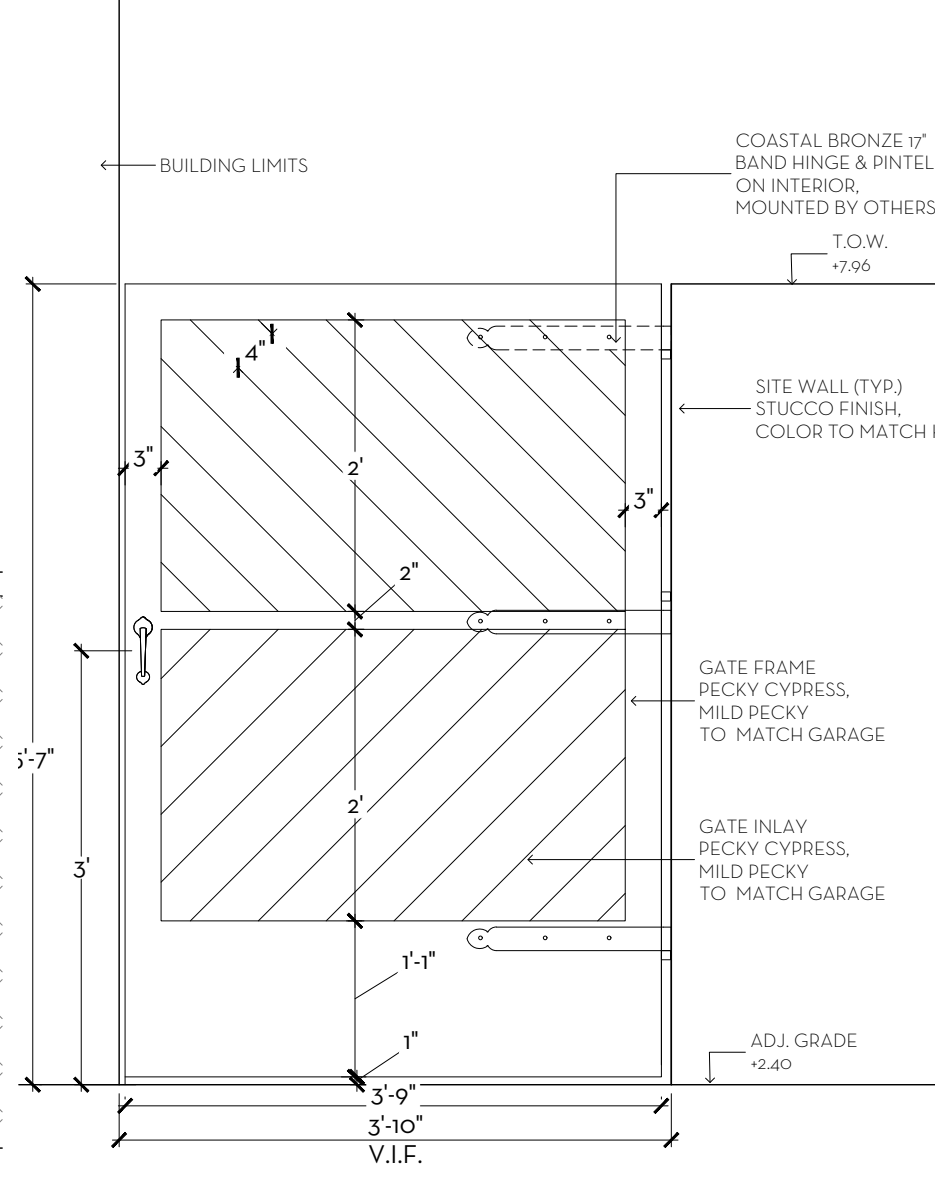
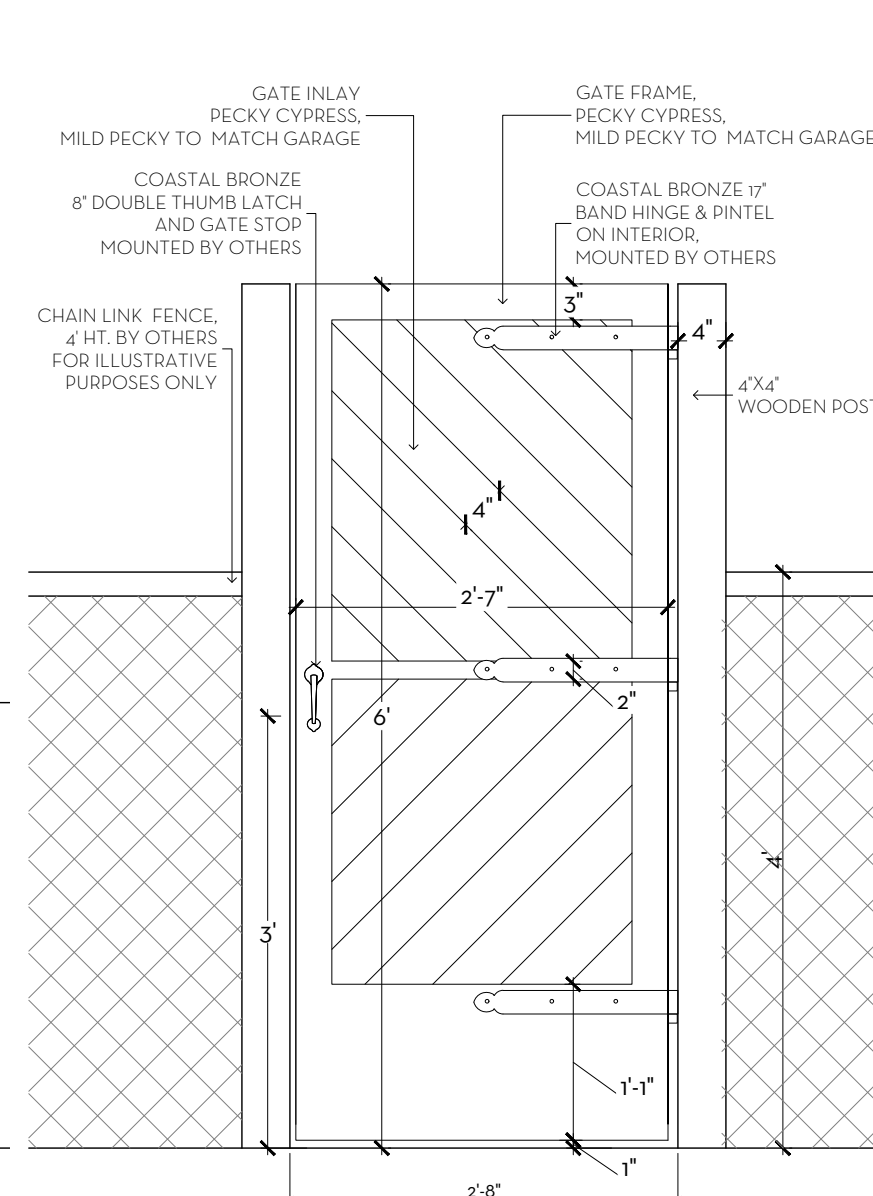
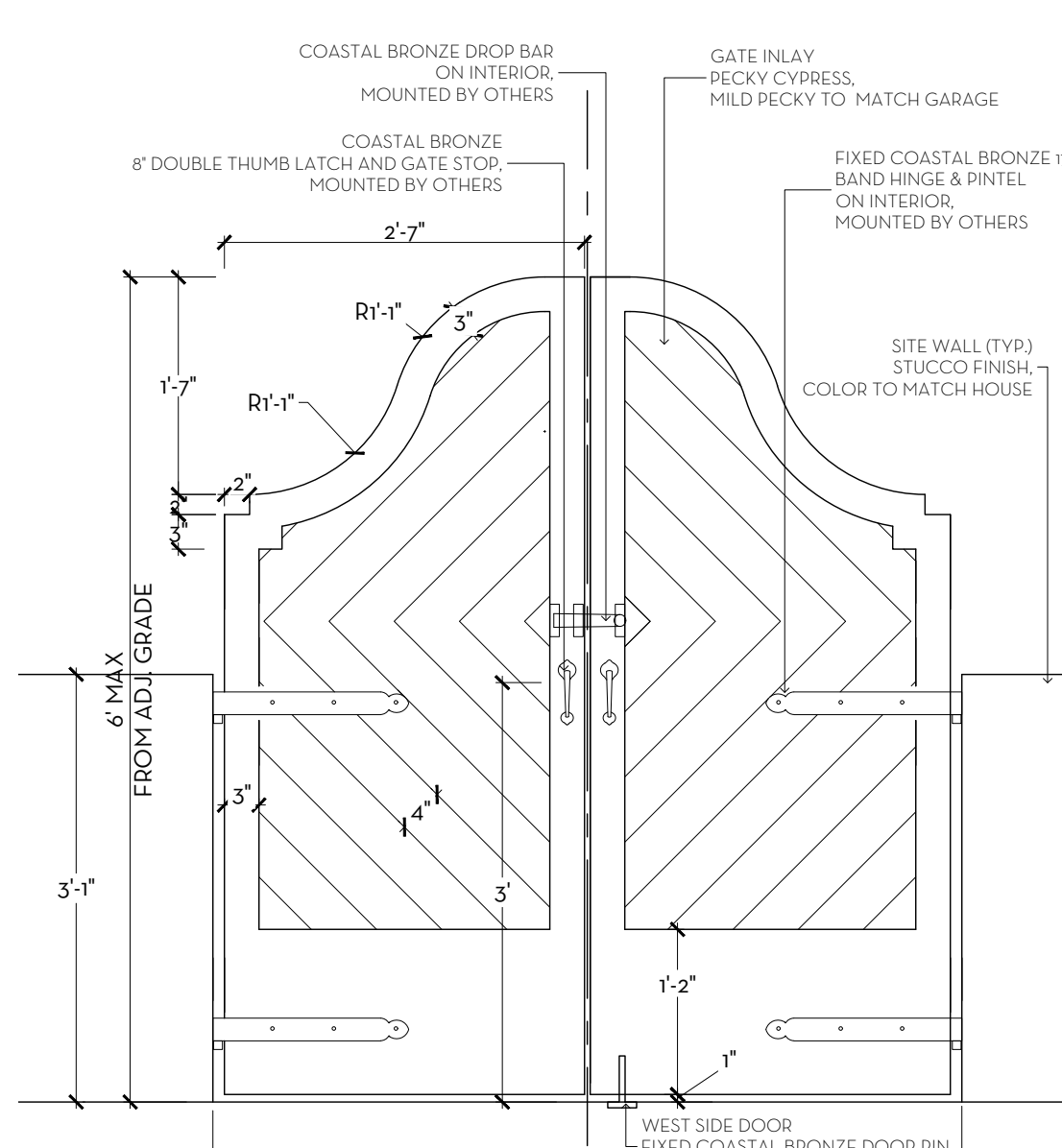
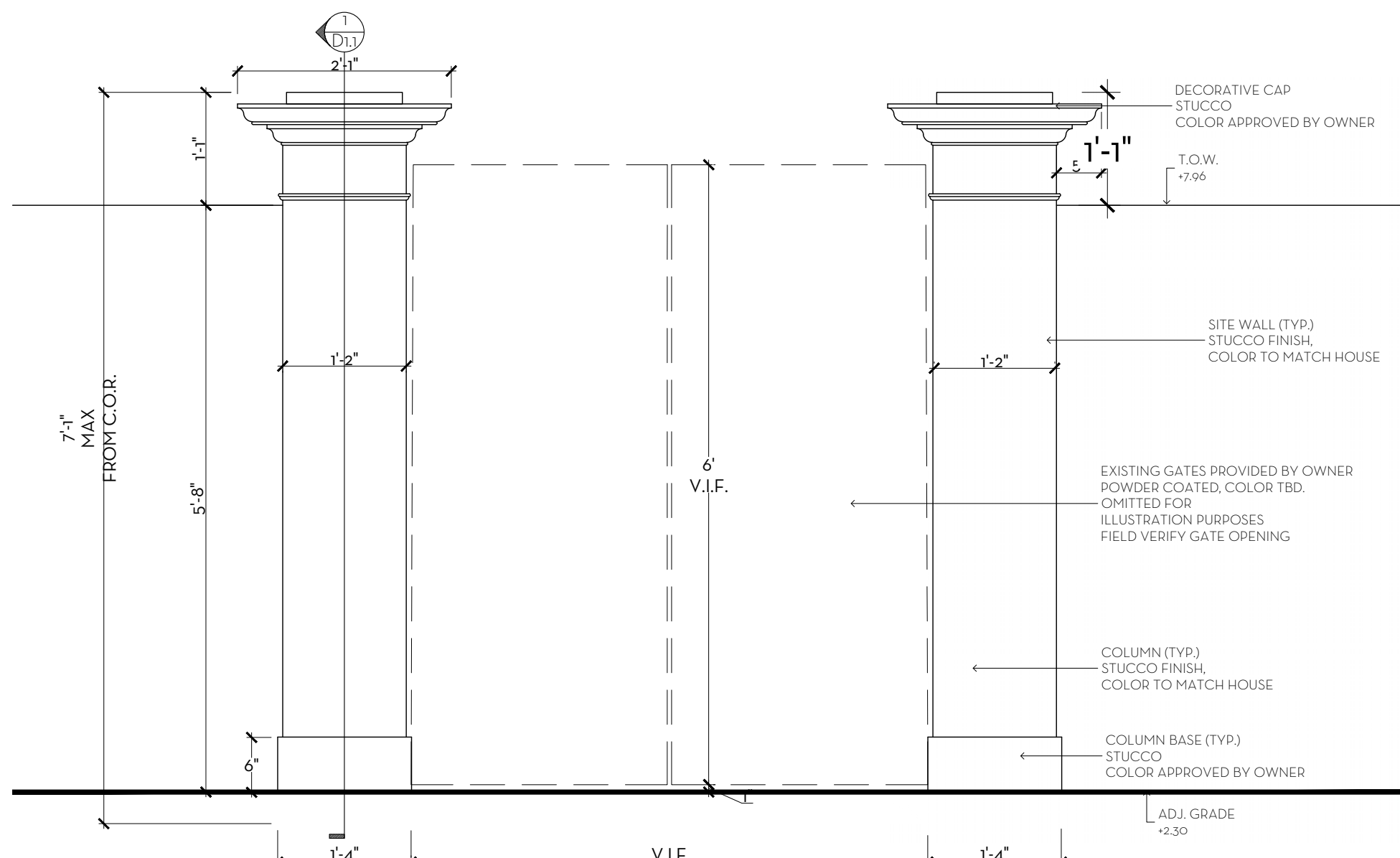
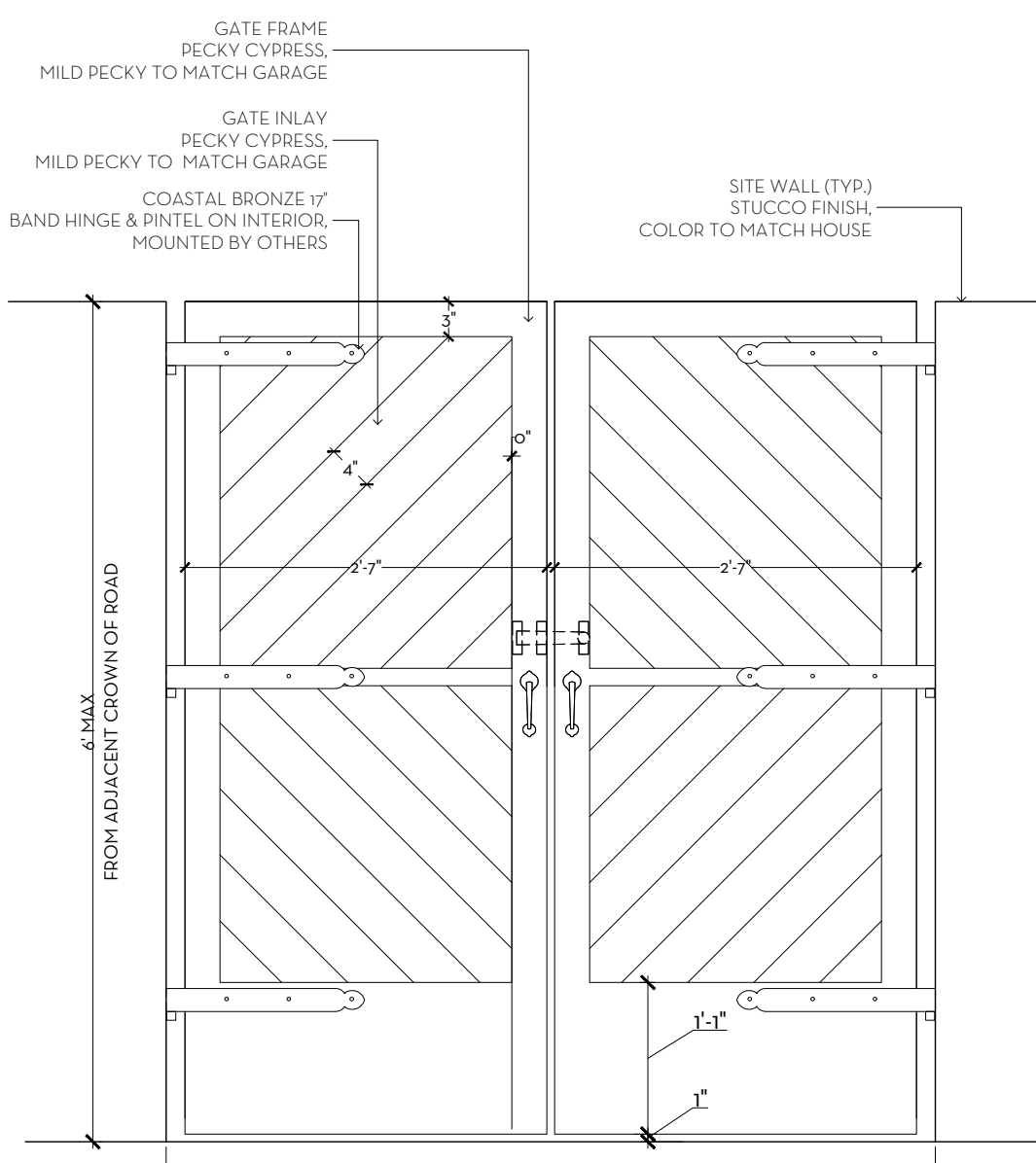
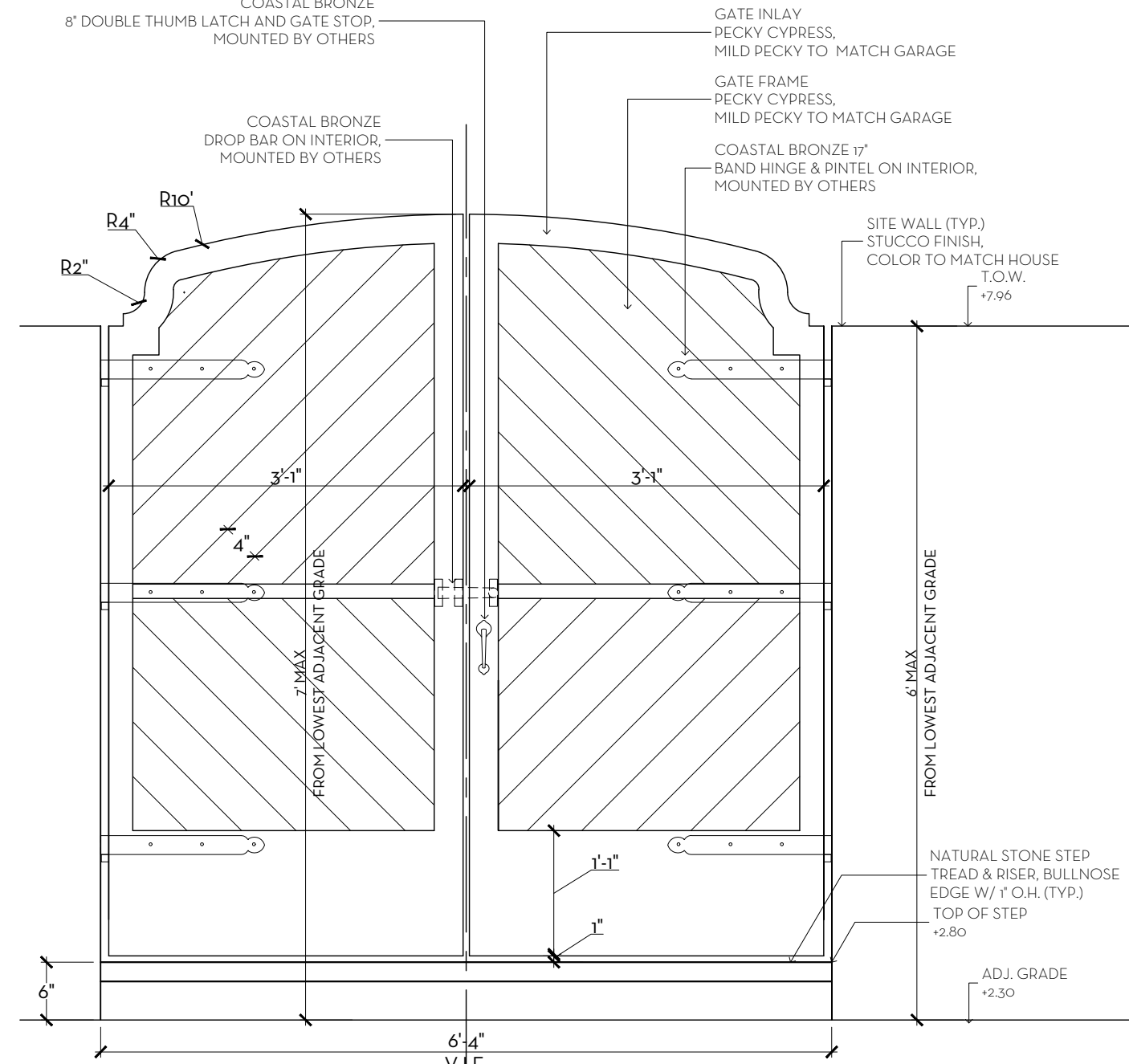
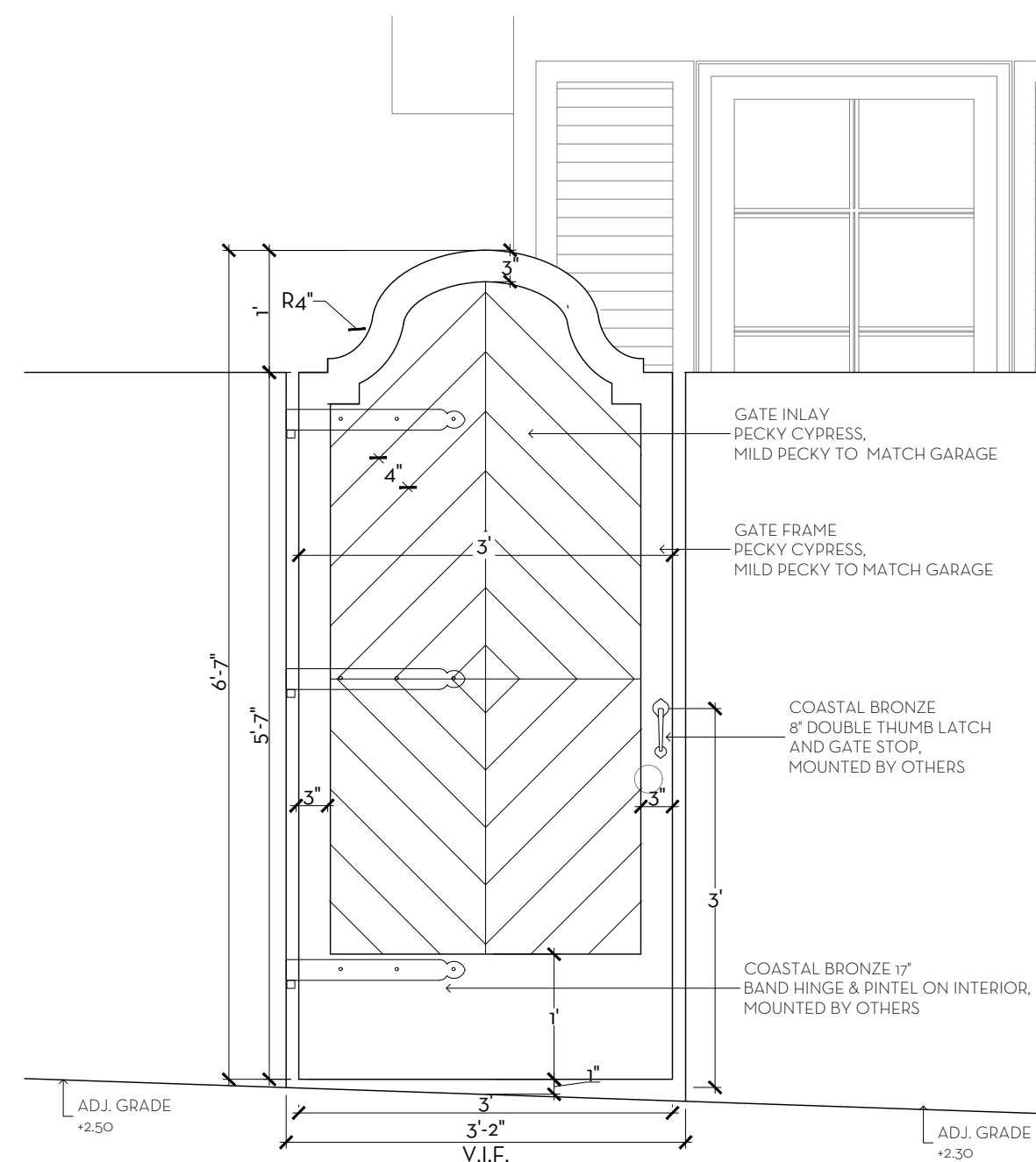
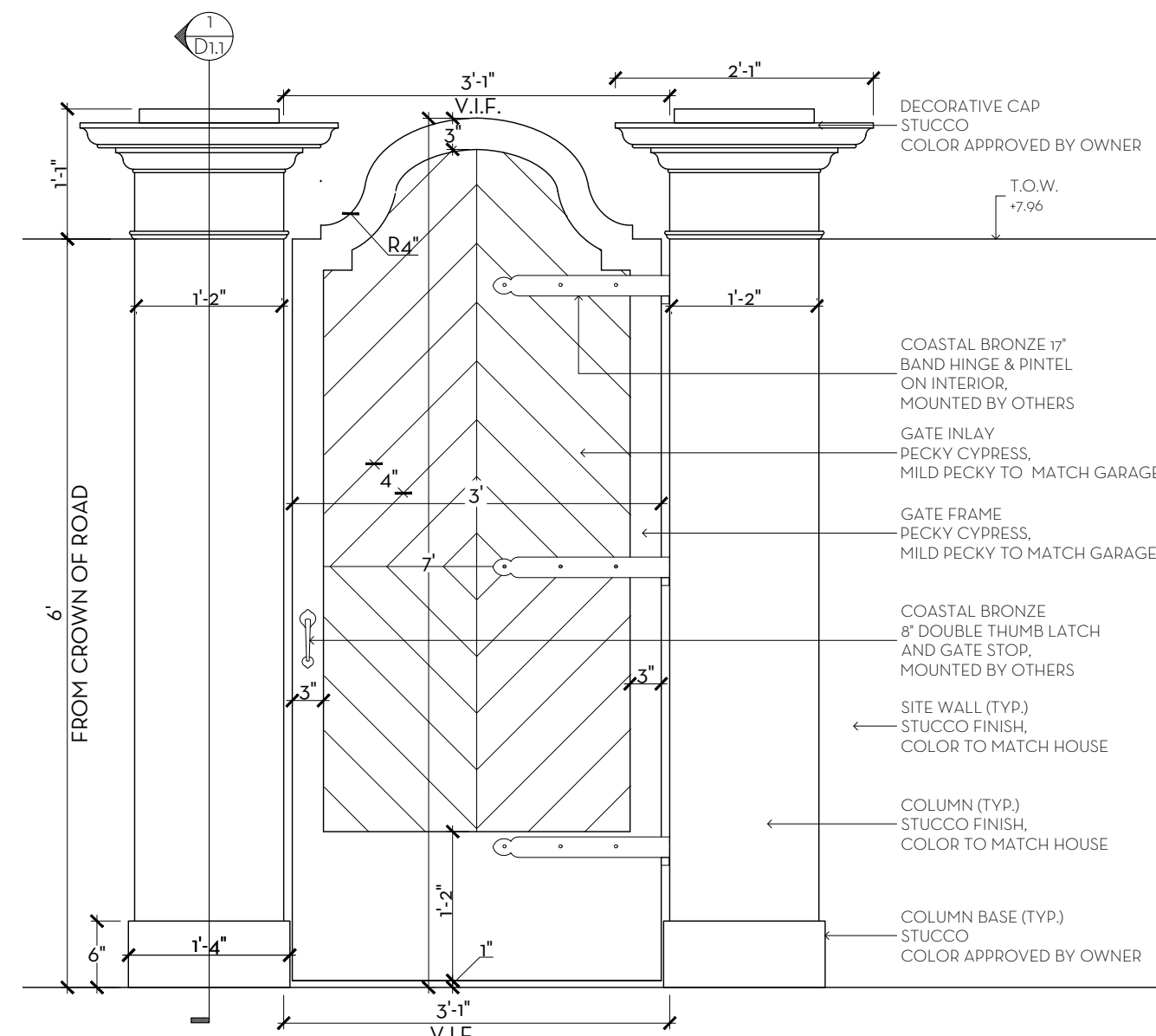
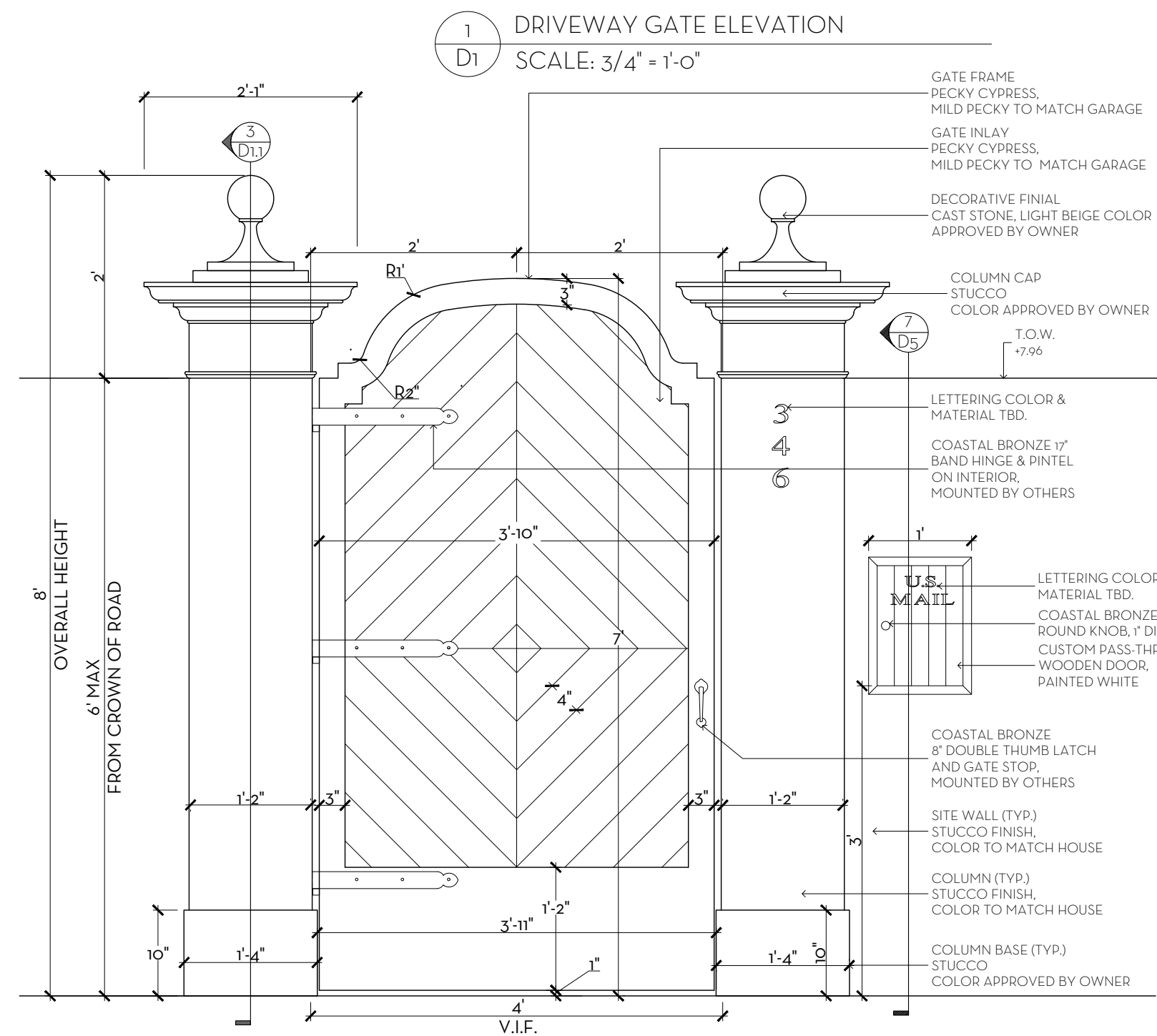
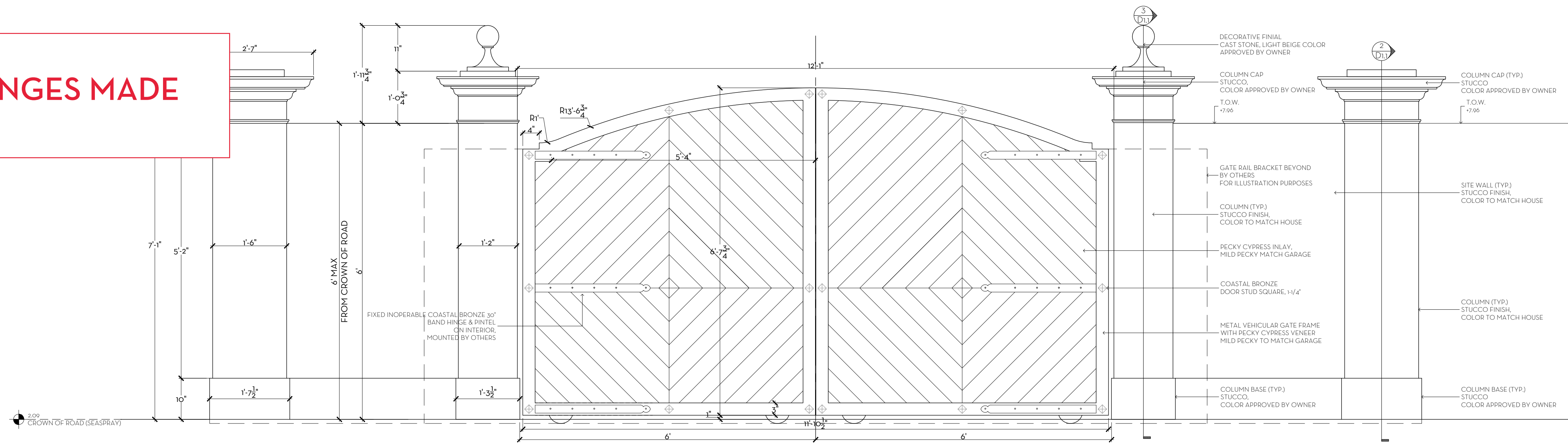
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LL2



SCALE: 1/8" = 1'-0"

NO CHANGES MADE

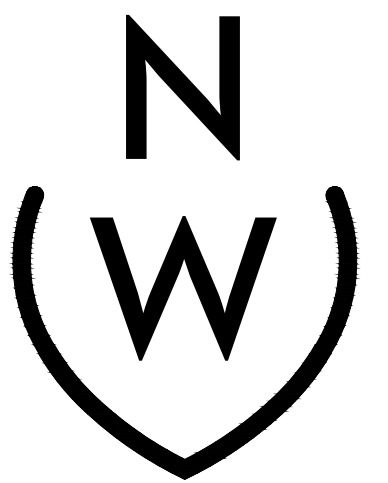


MARIO F. NIEVERA

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DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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MAY 09 2024



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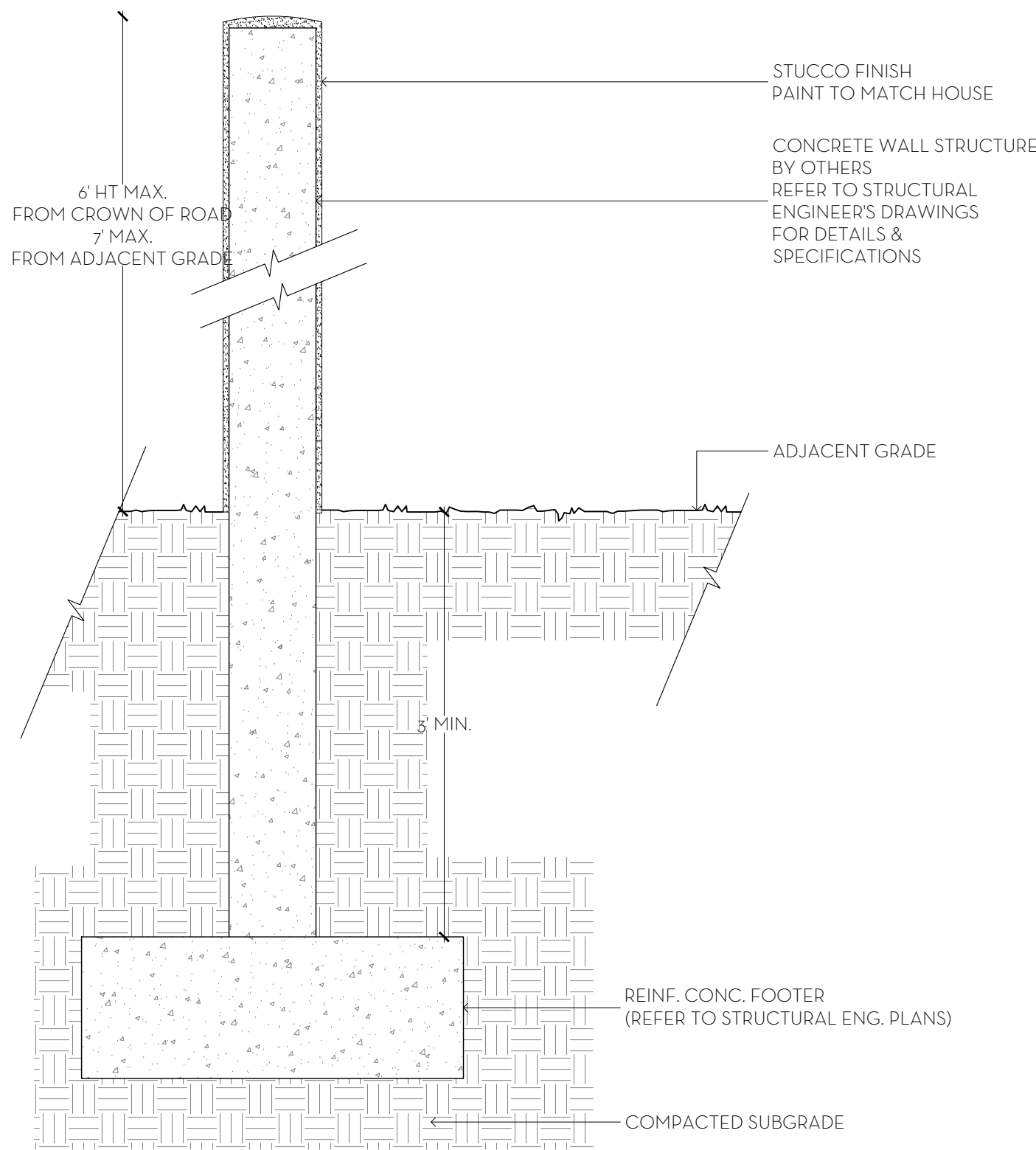
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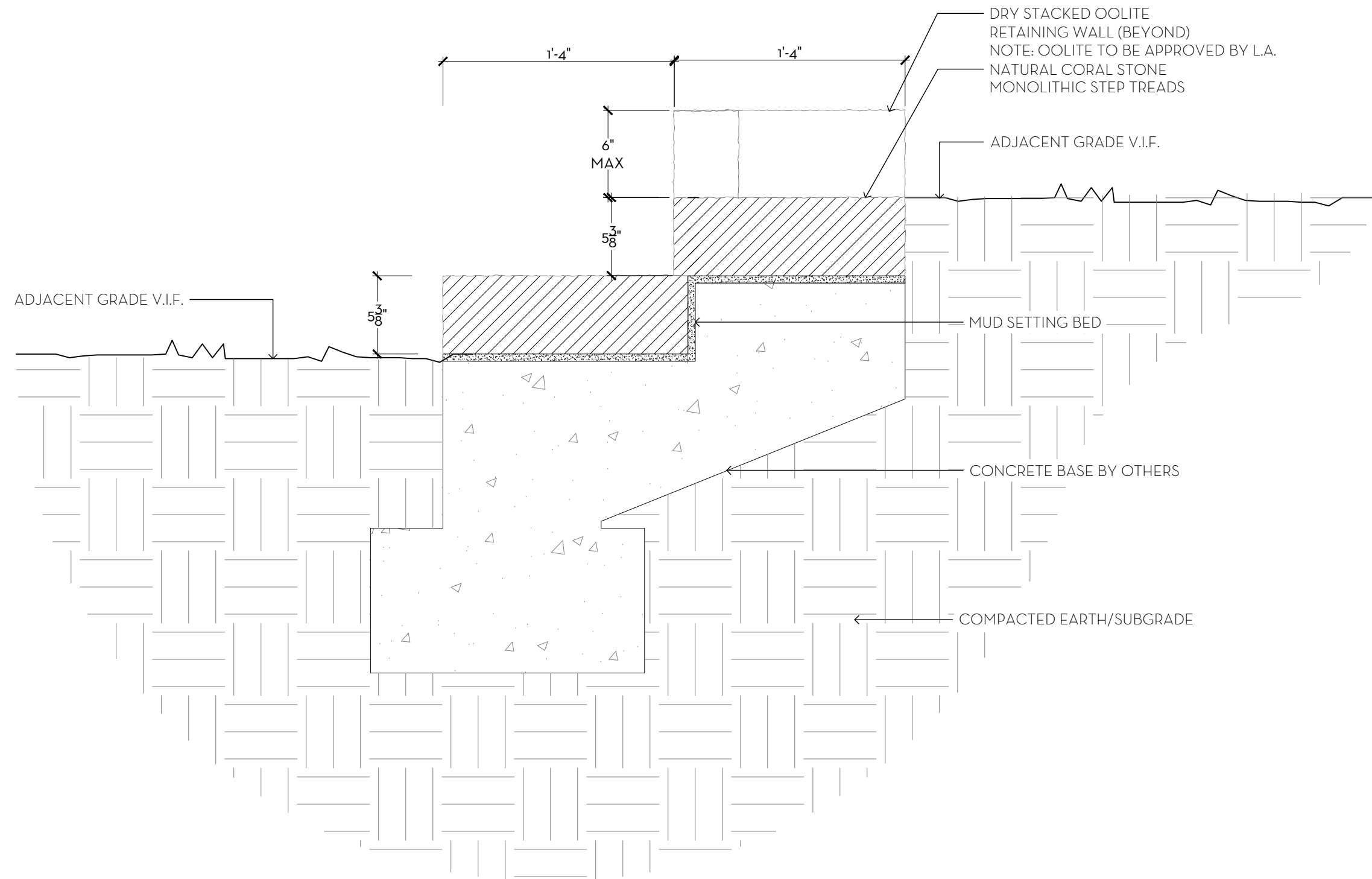
D1

SCALE: AS SHOWN

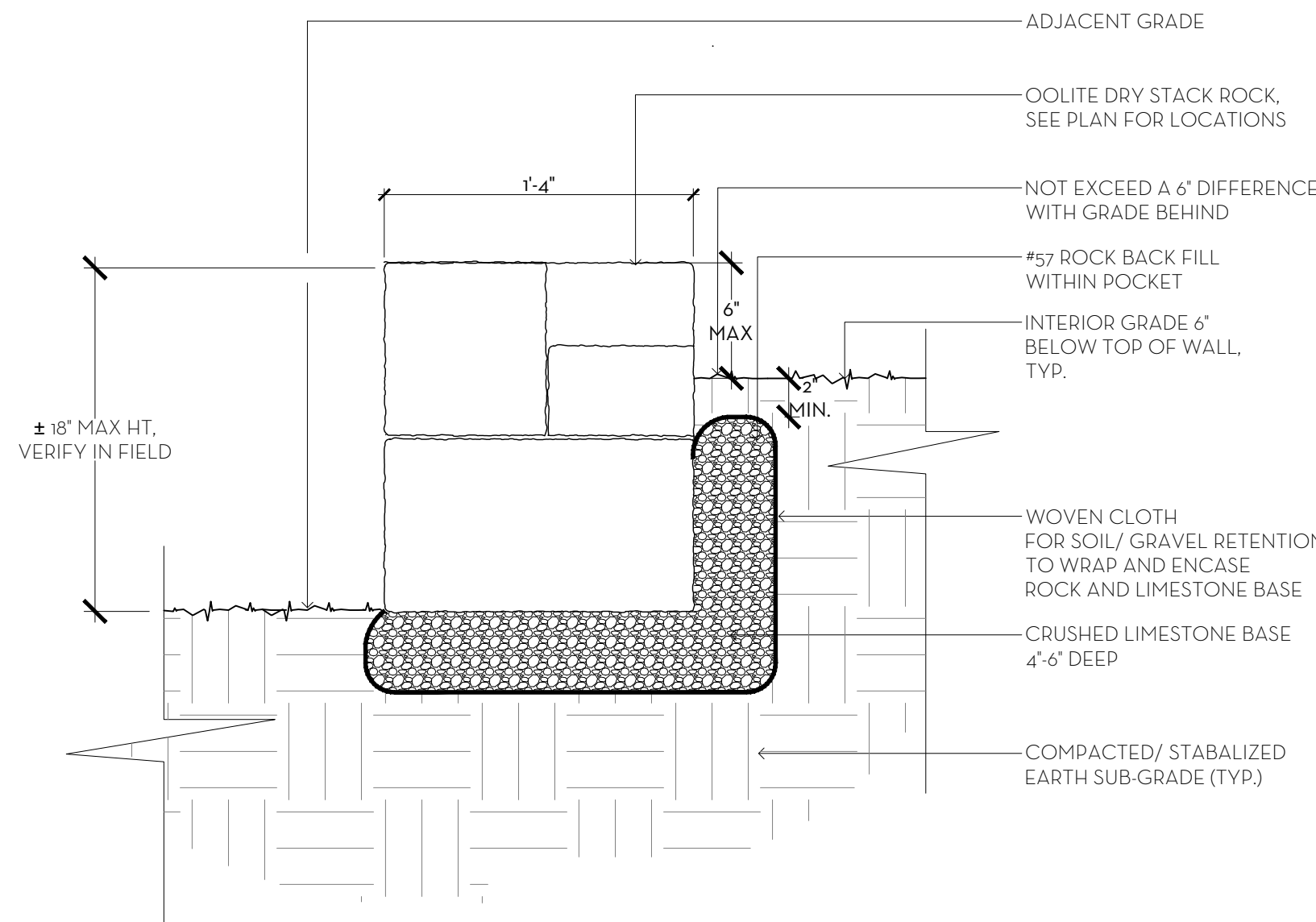
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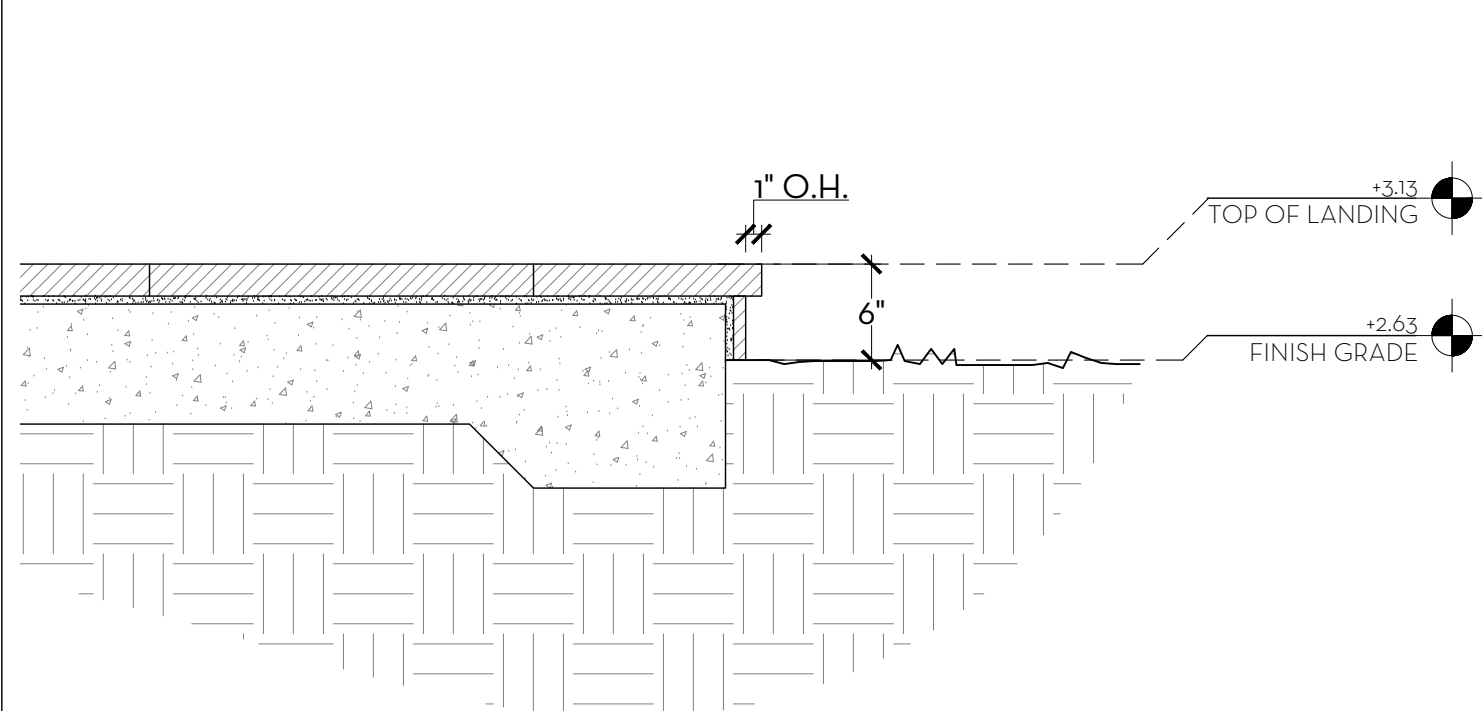
1 SITE WALL DETAIL
D5 SCALE: 1" = 1'-0"



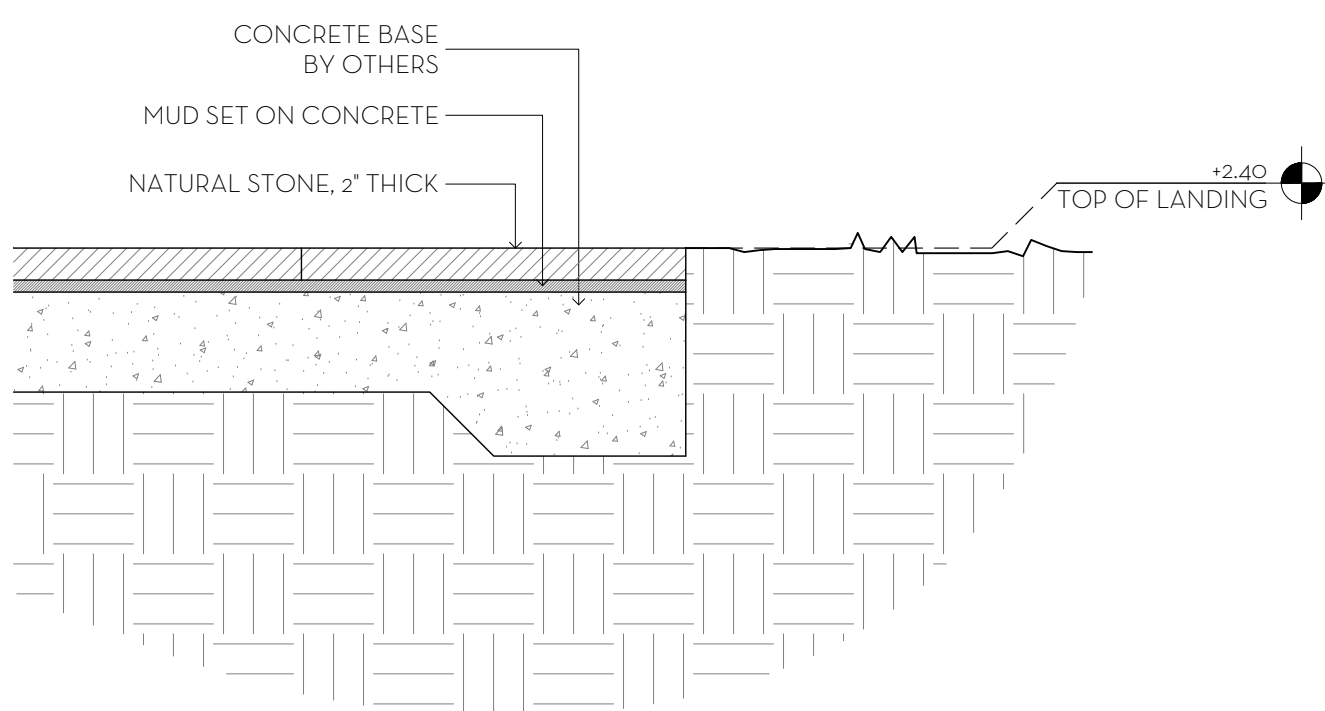
2 STEPS & RISER DETAIL (TYP.)
D5 SCALE: 1-1/2" = 1'-0"



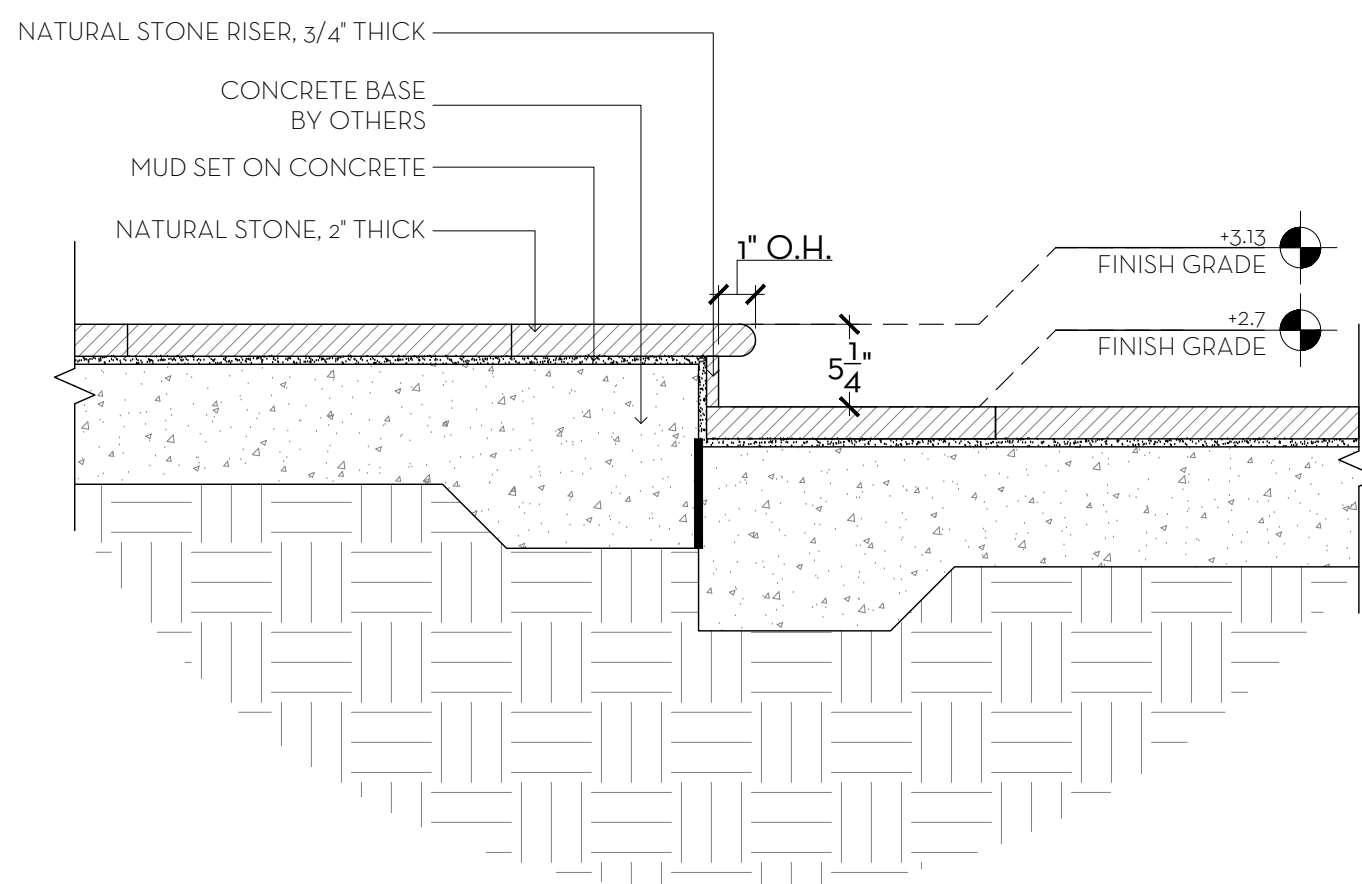
3 RETAINING WALL DETAIL (TYP.)
D5 SCALE: 1-1/2" = 1'-0"



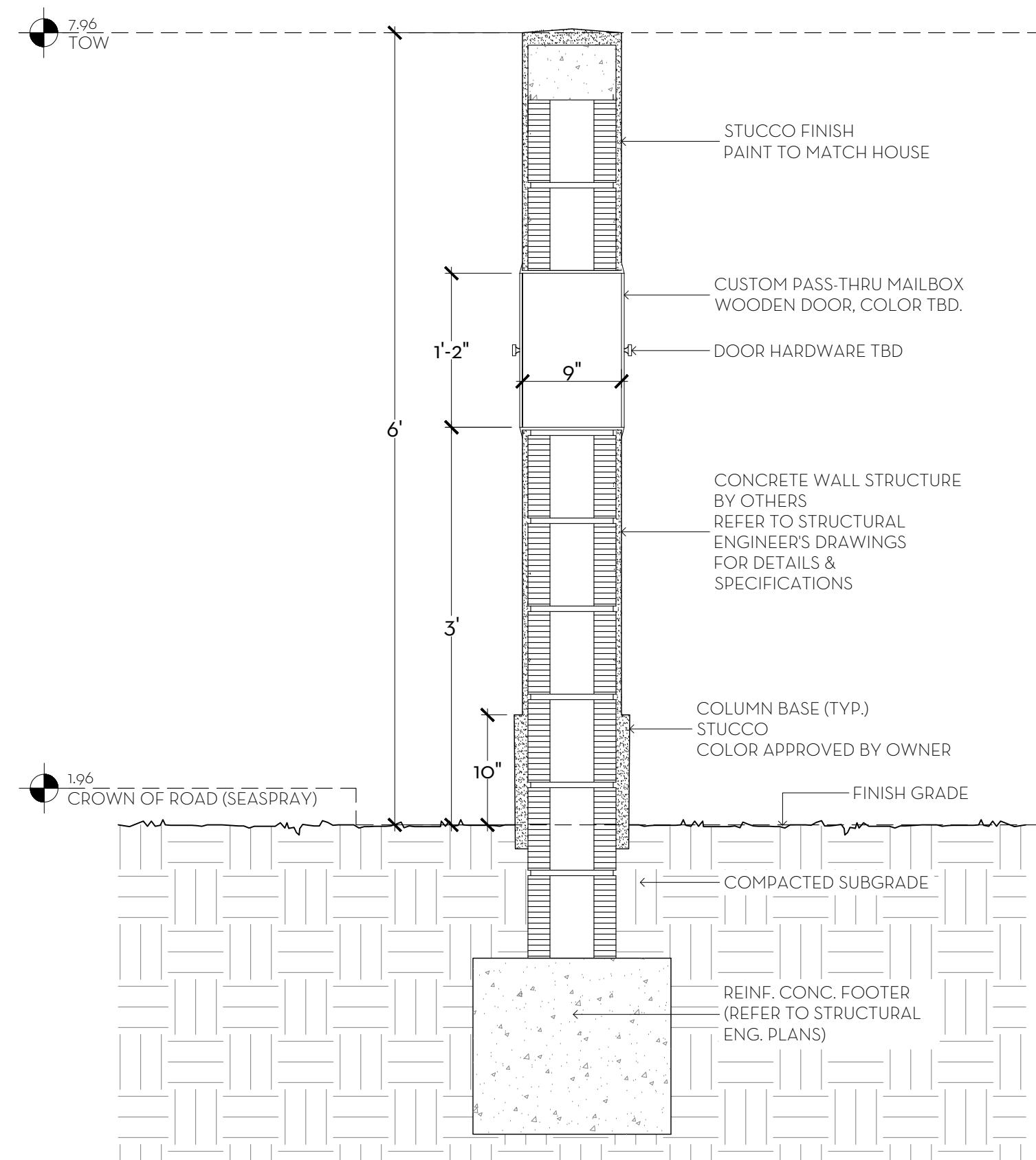
4 LANDING DETAIL (TYP.)
D5 SCALE: 1" = 1'-0"



5 LANDING DETAIL (TYP.)
D5 SCALE: 1" = 1'-0"



6 COVERED LOGGIA/ STEP TRANSITION SECTION DETAIL
D5 SCALE: 1" = 1'-0"



7 WALL W/ MAILBOX- SECTION DETAIL
D5 SCALE: 1" = 1'-0"

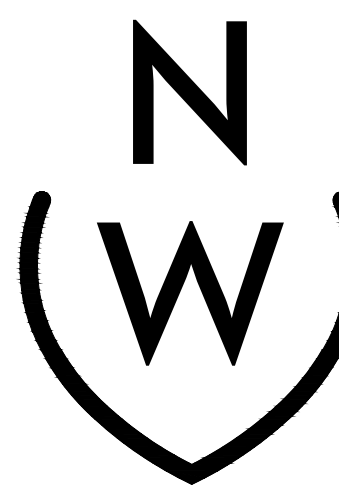
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

CONSTRUCTION DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



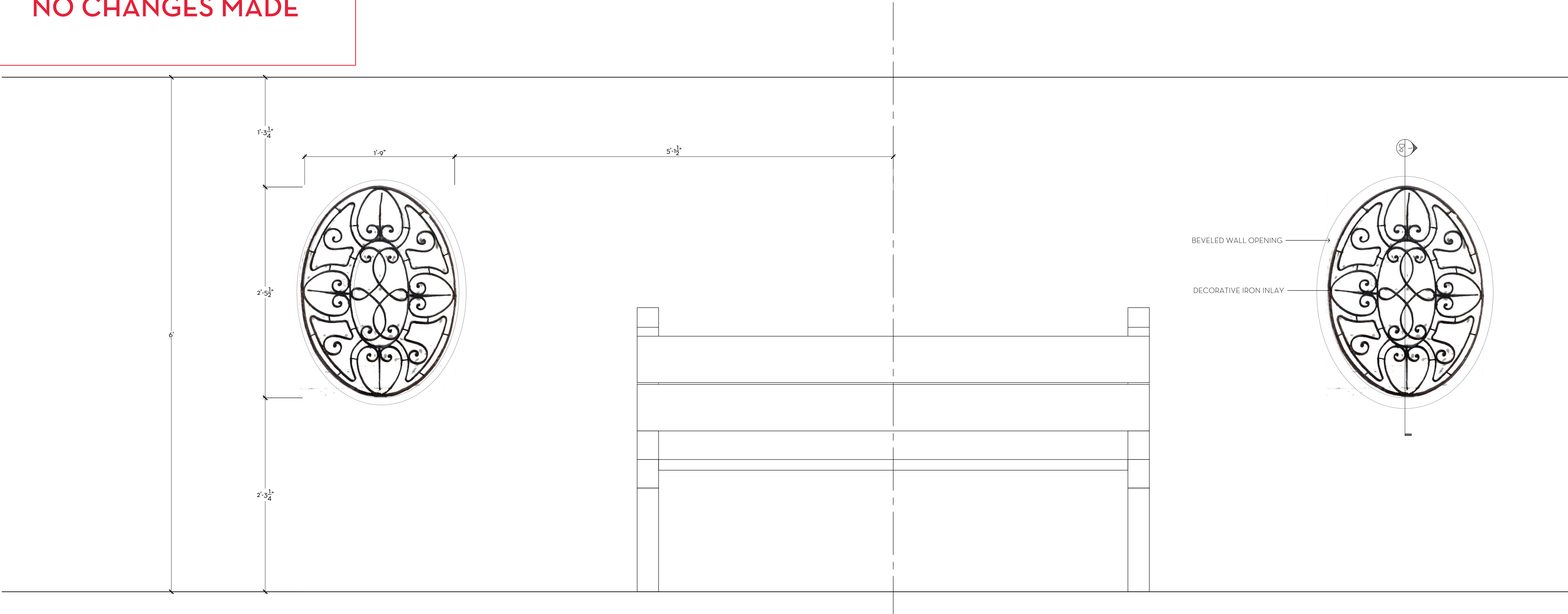
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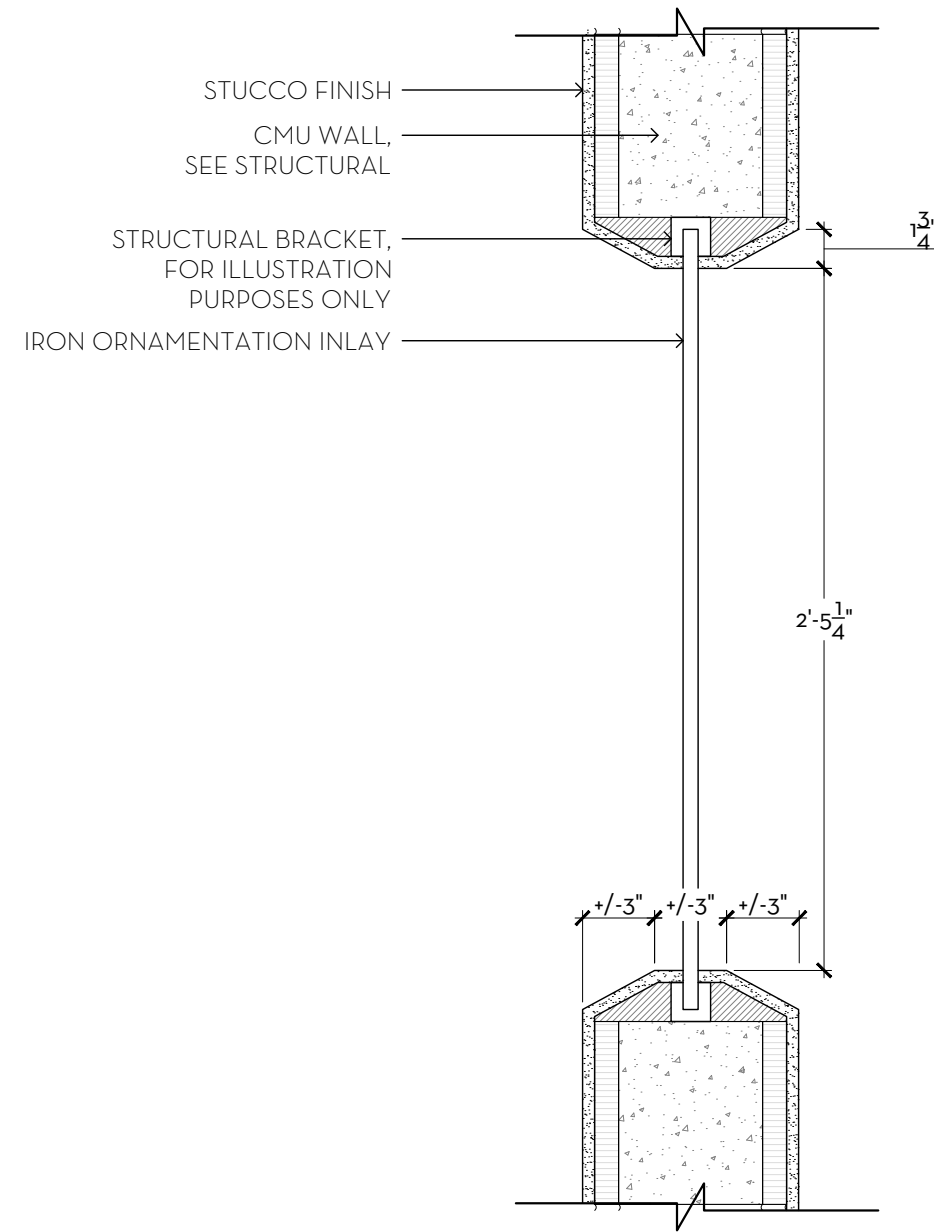
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D5

NO CHANGES MADE



1 ENTRY COURTYARD WEST WALL - ELEVATION
SCALE: 1/1/2" = 1' - 0"



2 BEVELED WALL OPENING - SECTION
SCALE: 1/1/2" = 1' - 0"

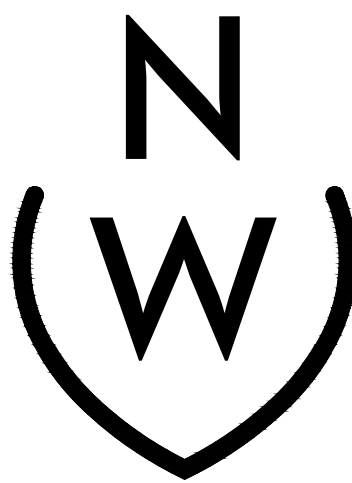
3 DECORATIVE IRON INLAY PHOTO
NTS

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Registration No.
6666856

DETAIL
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



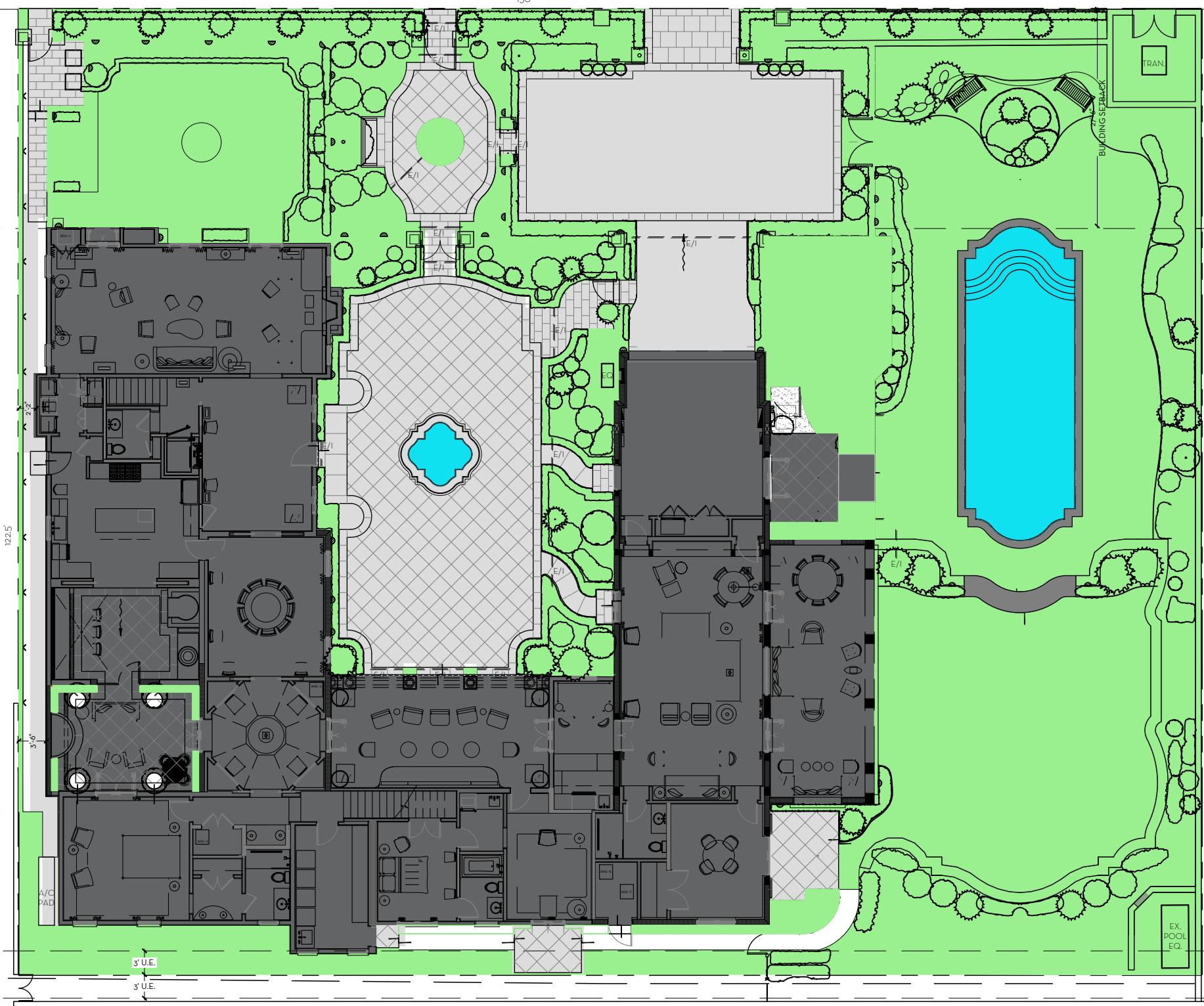
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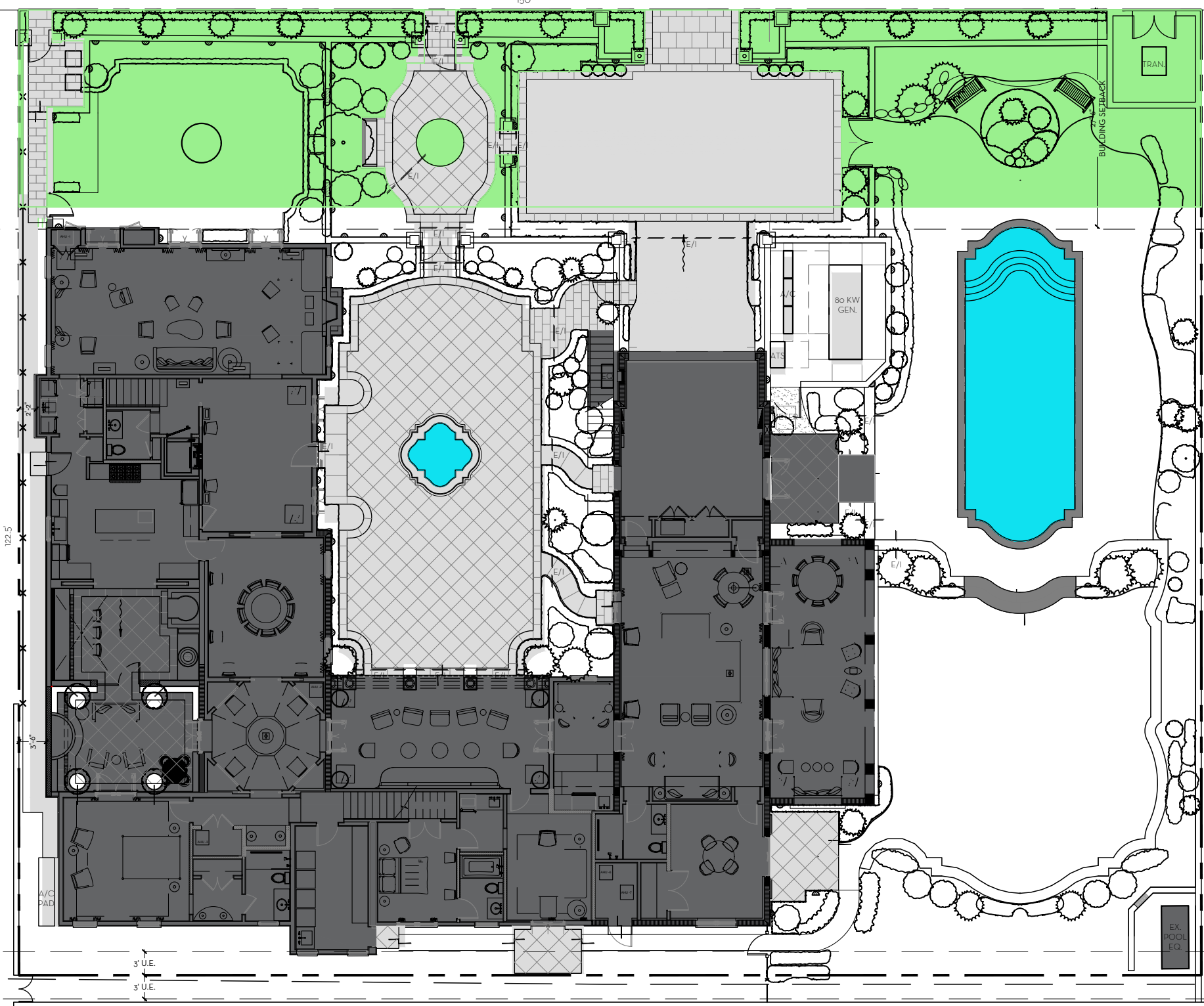
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D9

NO CHANGES MADE

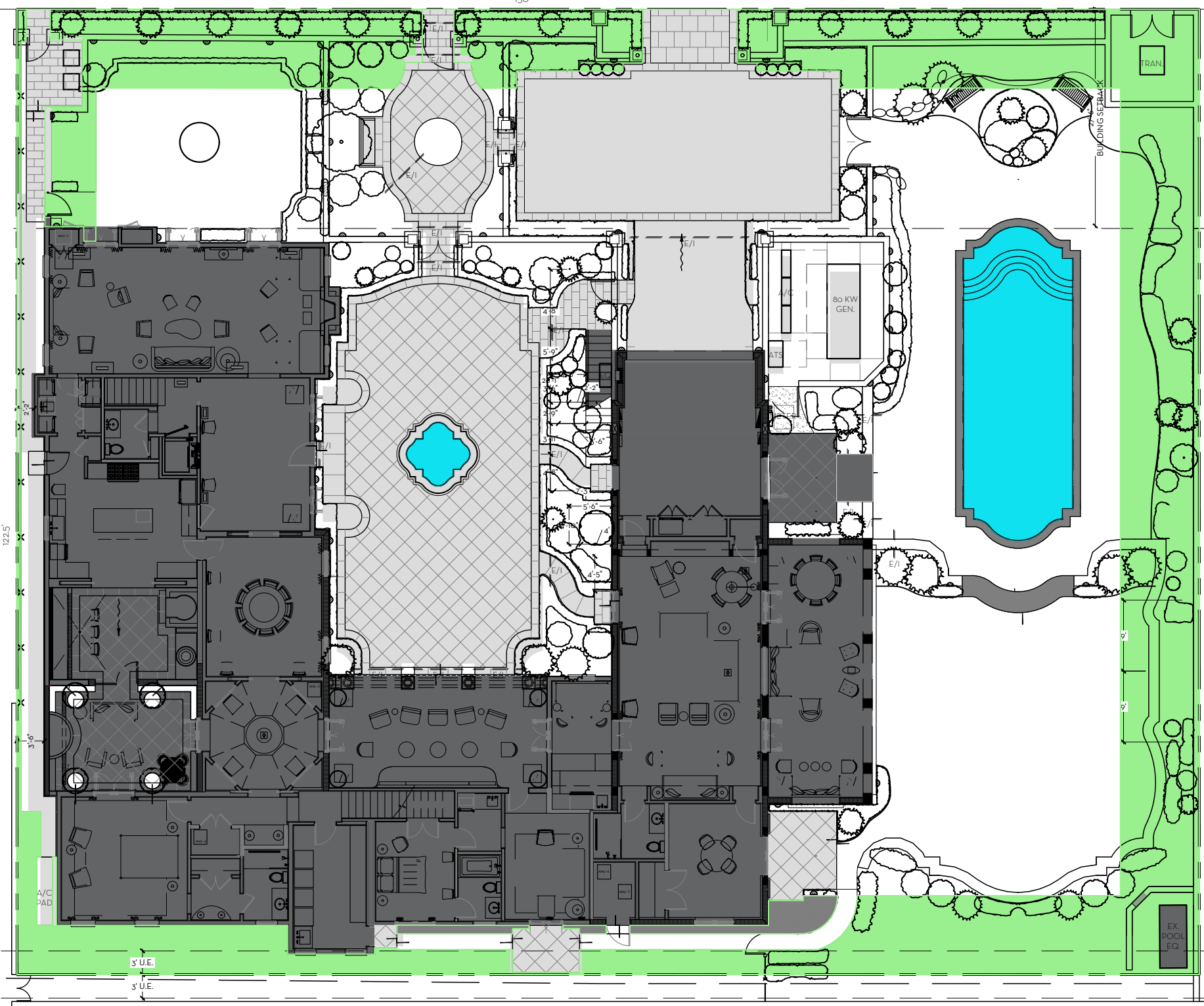


1 SITE OPEN SPACE
SCALE: 1/16" = 1'-0"



3 FRONT YARD OPEN SPACE
SCALE: 1/16" = 1'-0"

OVERALL R-B SITE CALCULATIONS:				FRONT SETBACK SITE CALCULATIONS:				10' PERIMETER SITE CALCULATIONS:			
SITE AREA =	18,375	SQ FT	100%	25' SETBACK AREA =	3,750	SQ FT	100%	PERIMETER AREA =	5,050	SQ FT	
MINIMUM LANDSCAPE:				MINIMUM LANDSCAPE:				MINIMUM LANDSCAPE:			
REQUIRED =	8,269	SQ FT	45%	REQUIRED =	1,500	SQ FT	40%	(50% OF 8,269 SF) = 4,135 REQUIRED			
EXISTING =	6,338	SQ FT	34.5%	EXISTING =	2,673	SQ FT	71.3%	EXISTING =	2,840	SQ FT	
PROPOSED =	8,489	SQ FT	45.6%	PROPOSED =	2,548	SQ FT	67.9%	PROPOSED =	3,344	SQ FT	



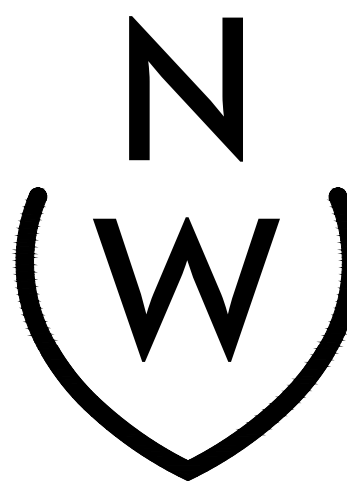
2 PERIMETER OPEN SPACE
SCALE: 1/16" = 1'-0"

MARIO F. NIEVERA

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6666856

OPEN SPACE DIAGRAM
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN



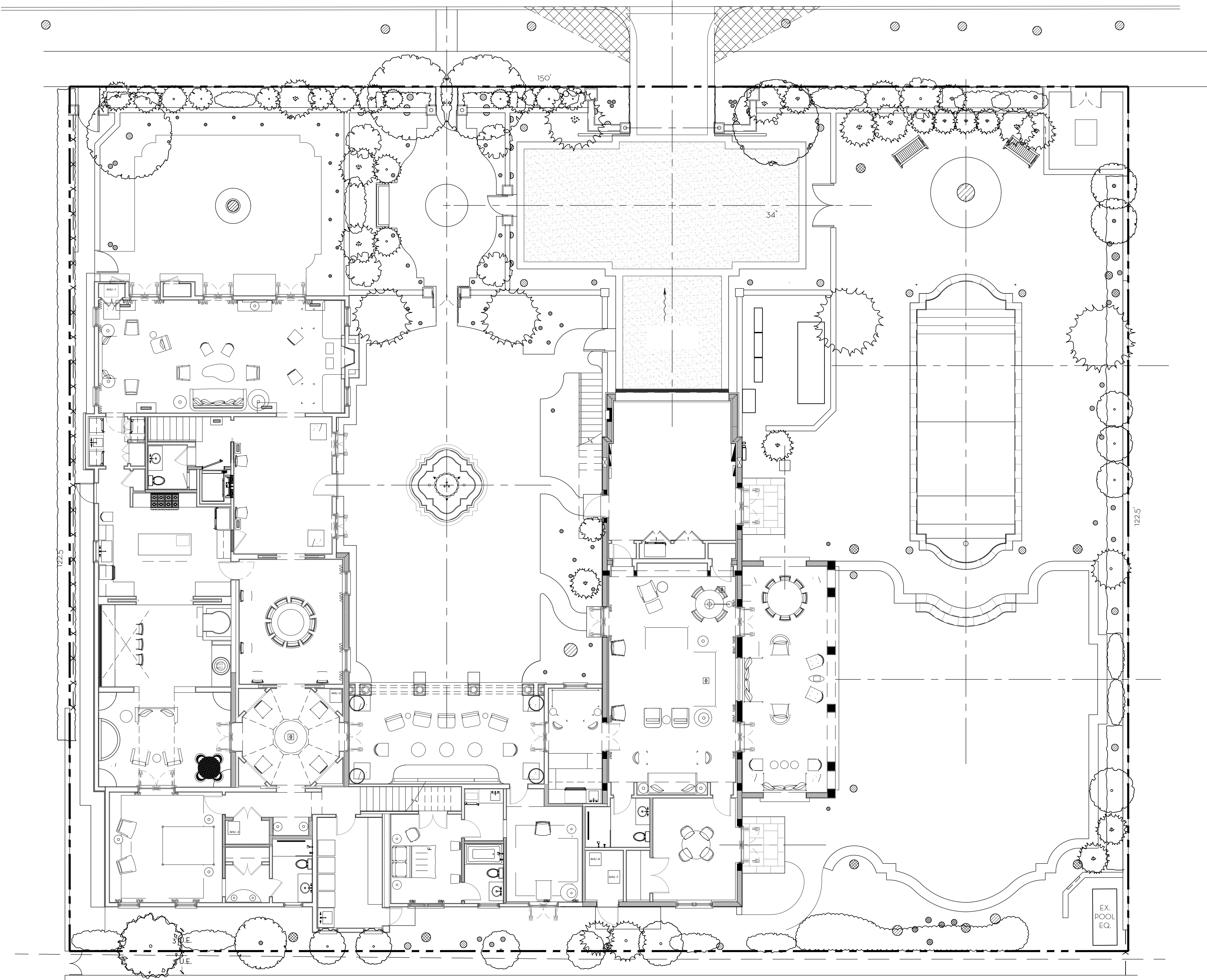
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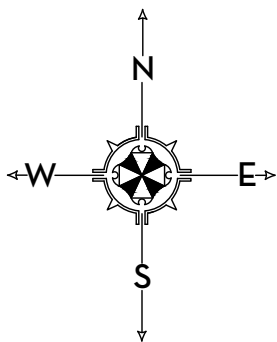
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OS

PREVIOUSLY APPROVED
A-22-02365



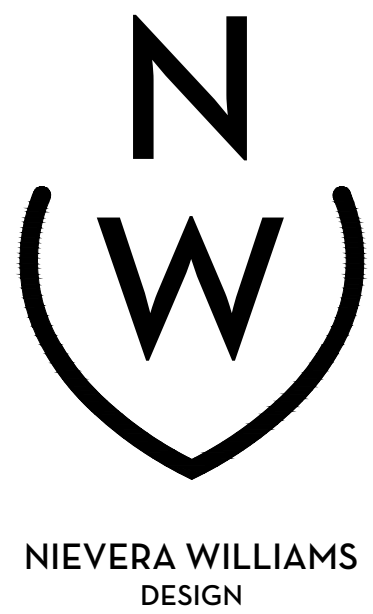
0 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA
State of Florida
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Registration No.
6666856

SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
20 MAY 2022- REV 01
24 FEB 2022
17 JAN 2022
04 OCT 2021
27 AUG 2020
15 JUL 2020



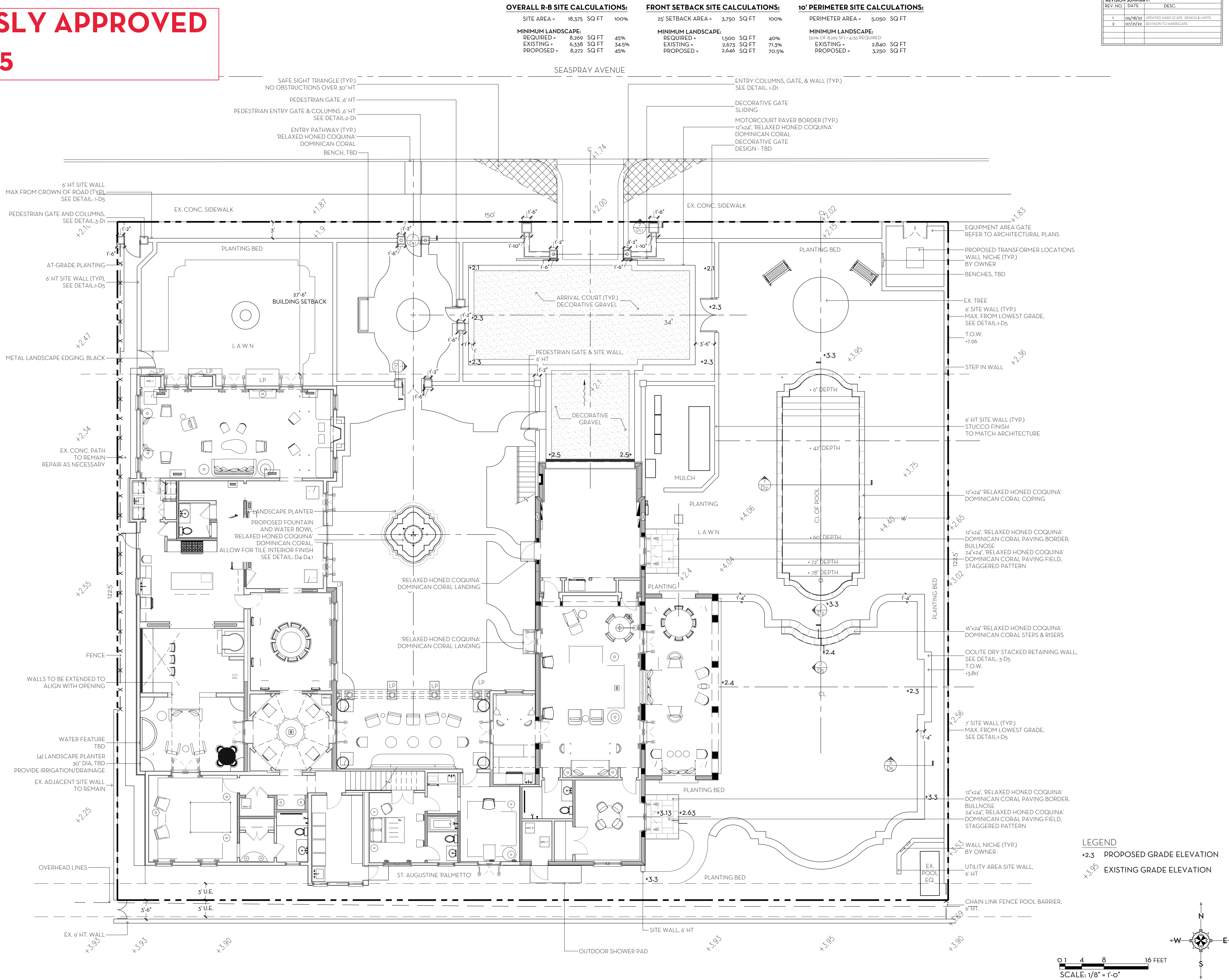
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A-22-02365

SCALE: 1/8" = 1'-0"

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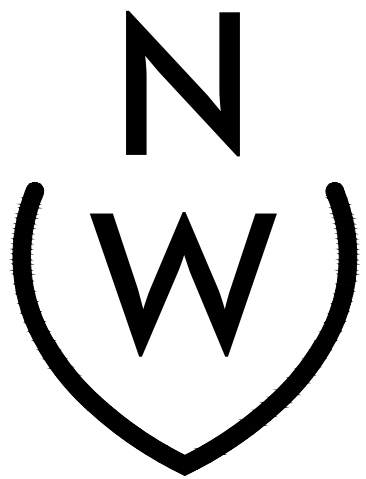


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State of Florida
Landscape Architect
Registration No. 6666856

HARDSCAPE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
20 MAY 2022- REV 01
24 FEB 2022
17 JAN 2022
04 OCT 2021
27 AUG 2021
15 JUL 2020



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DESIGN

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- (5) CREEPING FIG,
3 GAL. ESP. TO WAL.
(22) LIRIOPE,
3 GAL.
(2) GREEN BUTTWOOD,
14'-16' HT, 12' SPR, 7' CT, CHARACTER TRUNK, CREATE ARCHWAY
(2) DIODON PALM,
4'-4' FULL
(2) RHAPIS PALM,
15 GAL.
(2) SHELL GINGER,
15 GAL.
(2) ZAMIA,
4' X 4' HT.
(1) HELICONIA,
10' HT, FULL
(1) GIANT ELEPHANT EAR,
15 GAL.
(5) ROJO CONGO,
3 GAL, FULL
(8) EX. COCONUT PALM
TO REMAIN
(1) CRINUM LILY,
15 GAL.
(1) AWABUKI VIBURNUM,
5 HT, FTB
(1) RHAPIS PALM,
5 HT.
(1) FISHTAIL PALM,
12'-14' HT.
(13) TRINAX PALM
6'-8' CT
(1) GUMBO LIMBO
15 HT, CHARACTER TRUNK
(2) ADONIDIA PALMS,
12 HT, DOUBLE

- (2) LICUALA
4 HT
(1) WHITE BIRD OF PARADISE
45 GAL, 3 PPP
BUILDING SETBACK
EX. DATE PALM
TO REMAIN
(2) HELICONIA
10' HT

- (4) ALOCASIA 'PORTORA
25 GAL

- (2) PAURO'S PALM
18 HT
(5) ALEXANDER PALM
7'-12' CT
(4) ALEXANDER PALM
10 CT

- (1) ARECA PALM
RELOCATED FROM ON-SITE

- (1) THRINAX PALM
12 HT

- (5) ALEXANDER PALM
7'-12' CT

- (1) MONSTERA
15 GAL, FULL

- (1) CAT PALM
15 GAL

- (3) ALEXANDER PALM
7'-12' CT

- (2) COCONUT PALM
16 GW, STRAIGHT, MATCHING

- (1) THRINAX PALM
12 HT

- (2) TRAVELERS' PALMS,
18 HT.
(1) MAHOE TREE,
6 HT.
(1) SEA PLUM TREE,
8 HT.
(2) BIZMARK PALMS,
11 GW.
(2) NATIVE ILEX TREE,
12 HT, STD 3' CT.
(4) COCONUT PALMS, 12' G.W.

- (3) HURRICANE PALM,
6 CT
(2) AUSTRALIAN TREE FERNS,
10' HT.
(1) JAPANESE FERN TREE,
7 HT.

- (2) TRAVELERS' PALM,
18 HT.
(1) GREEN BUTTWOOD TREE,
18'-20' HT, STD.
(1) CHINESE FAN PALM,
TBD

- (2) EX. COCONUT PALMS,
30'-35' HT.
EX. ARECA PALM CLUSTERS,
18'-20' HT.
EX. TRAVELERS PALMS,
18'-25' HT.

- (1) ARECA PALM
16 HT
(4) CREEPING FIG,
3 GAL. ESP. TO WALL
(2) ROBBLINI PALM,
4'-6' HT, TRIPLE
(1) SHELL GINGER
7 GAL, FULL
(1) GUMBO LIMBO TREE
15 HT, 7 CT
(1) RHAPIS PALM,
15 GAL.
(4) COCONUT PALM
15 GW, MATCHING
(1) WHITE BIRD OF PARADISE,
10 HT, 5PPP
(1) ZAMIA,
7 GAL
(2) PHILODENDRON EVANSII,
7 GAL
(1) CRINUM LILY,
7 GAL
(2) TRAVELER PALM
14 OA, 3 PPP
(1) THRINAX
7 CT
(4) RHAPIS
15 GAL
(4) ARECA PALMS,
12 HT
(1) EXISTING TREE TO REMAIN

- (2) PIGEON PLUM TREES,
14 HT, STD
(3) ADONIDIA PALMS,
12-14 CT

- (3) SABAL PALMS,
16 CT.

- (1) RECLINATA PALM
18 OA, MULTI, MATCHING

- (35) CLUSIA
8-11 HT, FTB

- (3) ADONIDIA PALMS,
12-14 CT

- (3) NATIVE ILEX TREE,
12 HT, STD 3' CT.

- (3) HURRICANE PALM,
12 CT

- (2) BIZMARK PALMS,
12 GW.

- (1) CHINESE FAN PALM,
7 CT

- (2) COCONUT PALMS,
18 CT.

- (2) TRAVELERS' PALMS,
18 HT.

- (1) GREEN BUTTWOOD TREE,
12 HT, STD.

- (2) ARECA PALMS
RELOCATED FROM ON-SITE

- (3) BIZMARK PALMS,
12 GW.

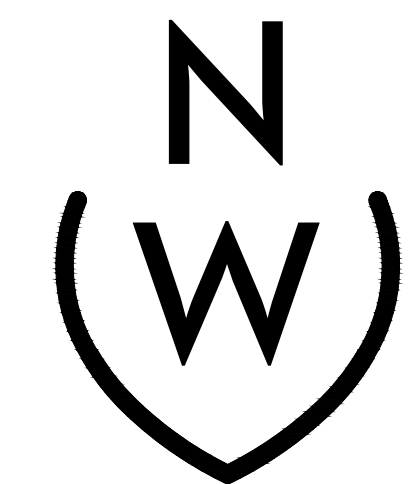
REVISION SUMMARY:		
REV. NO.	DATE	DESC.
1	05/18/22	UPDATED LANDSCAPE DESIGN & MATERIALS

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
20 MAY 2022- REV 01
24 FEB 2022
17 JAN 2022
04 OCT 2021
27 AUG 2020
15 JUL 2020



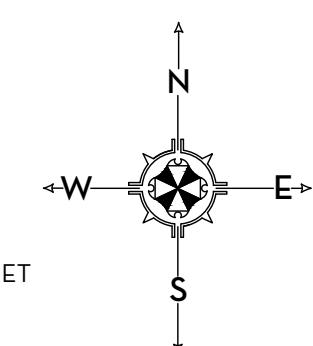
NIEVERA WILLIAMS
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LP1
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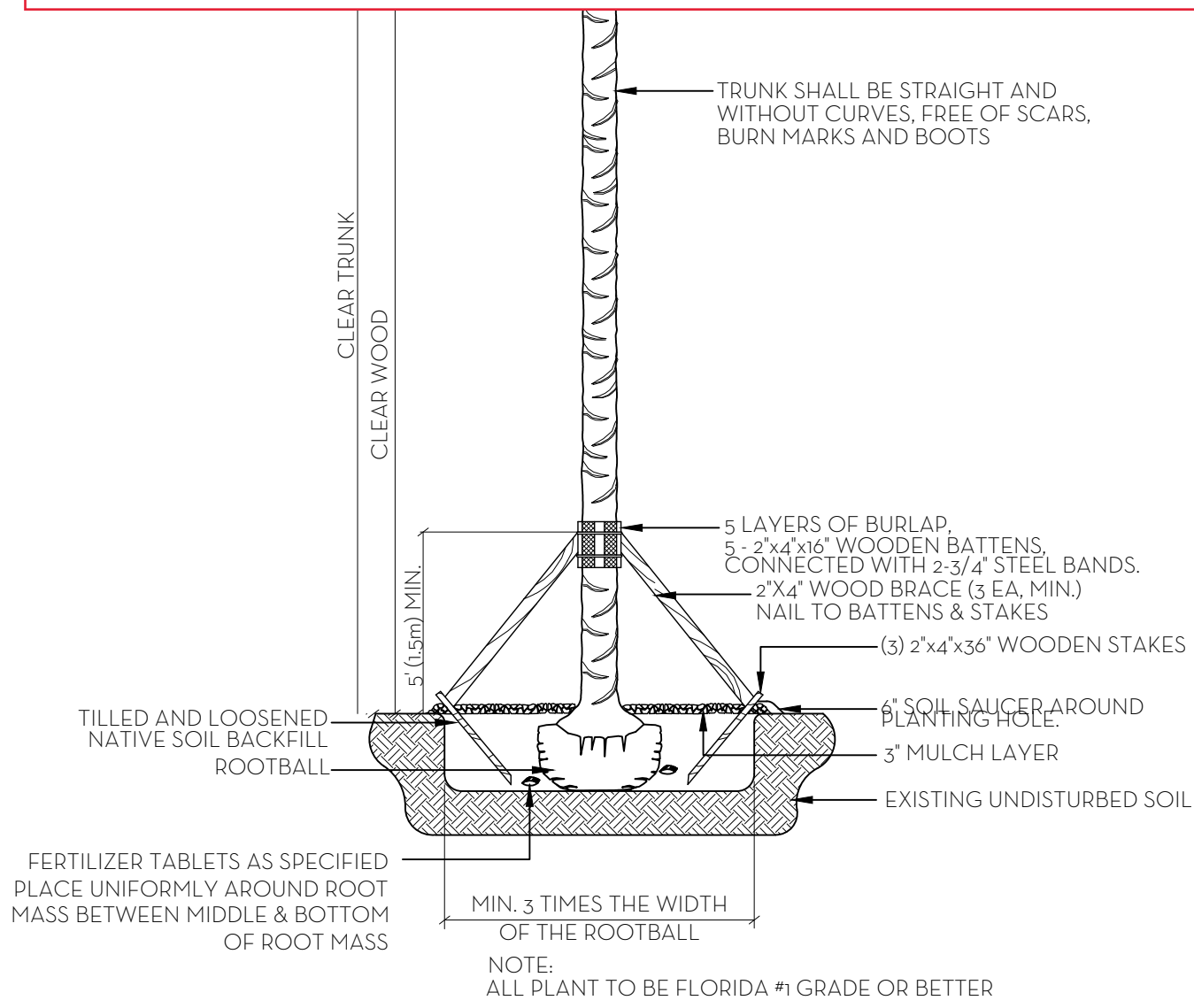
0 4 8 16 FEET
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SCALE: 1/8" = 1'-0"

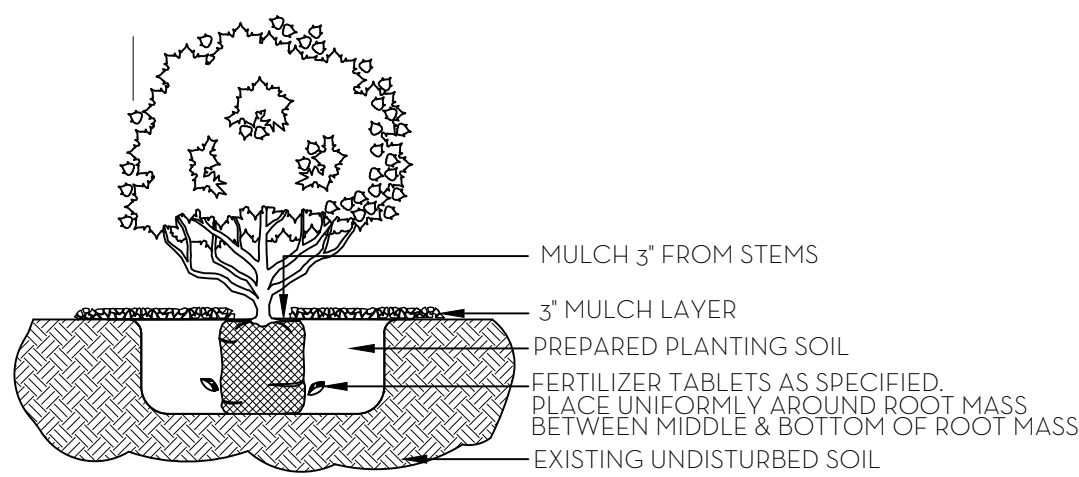
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PALM PLANTING DETAIL

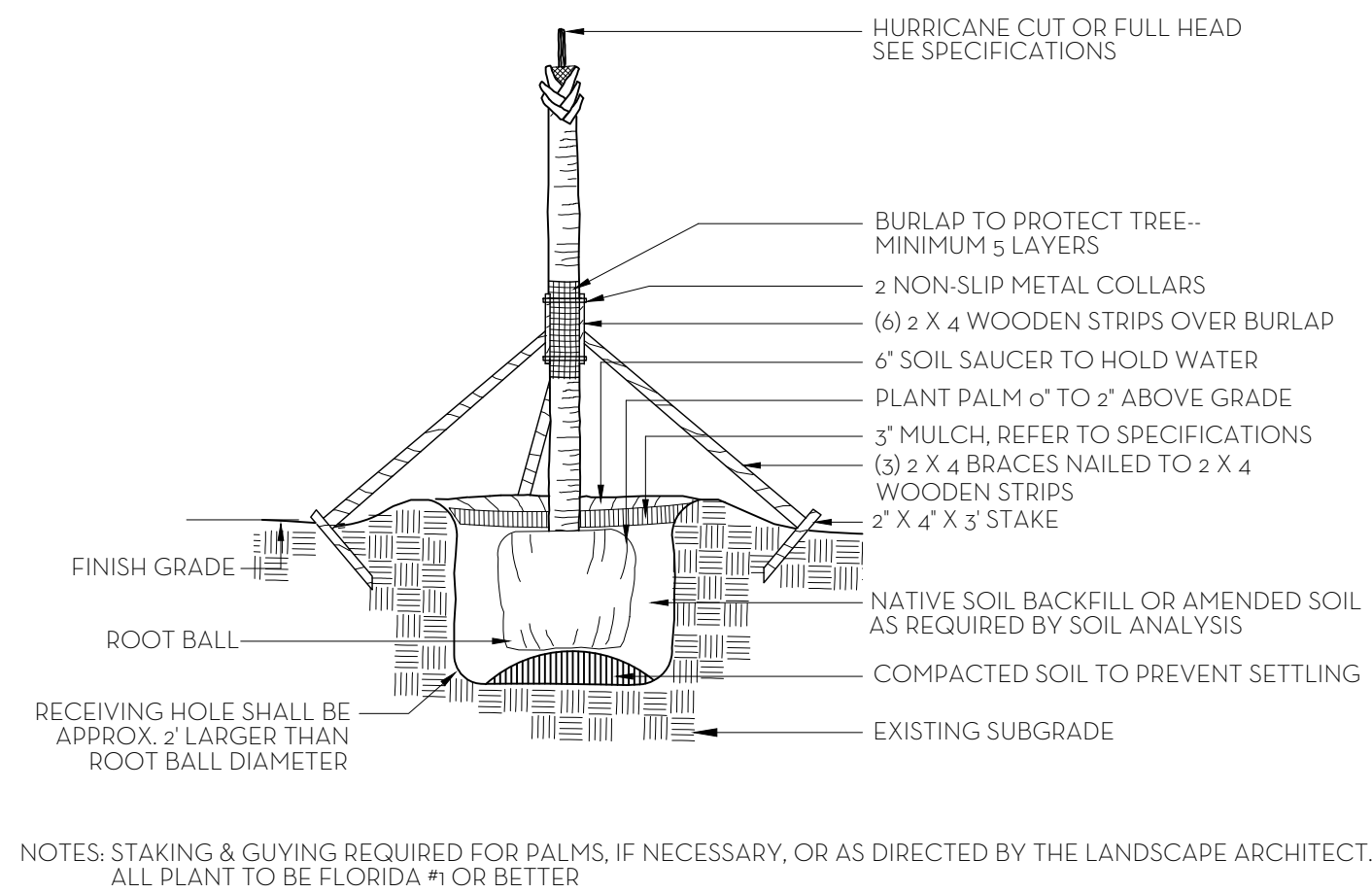
N.T.S.



SHRUB & GROUNDCOVER PLANTING DETAIL

N.T.S.

NOTE: BUD SHALL BE PERPENDICULAR TO GROUND PLANE. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES. NO SCARRED OR BLACKENED TRUNKS.



PALM TREE PLANTING AND STAKING DETAIL

N.T.S.

FERTILIZATION

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN:	1 - 21 GRAM TABLET
3 GALLON CAN:	2 - 21 GRAM TABLETS
5 GALLON CAN:	3 - 21 GRAM TABLETS
7 GALLON CAN:	4 - 21 GRAM TABLETS

TREES:

3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER
--

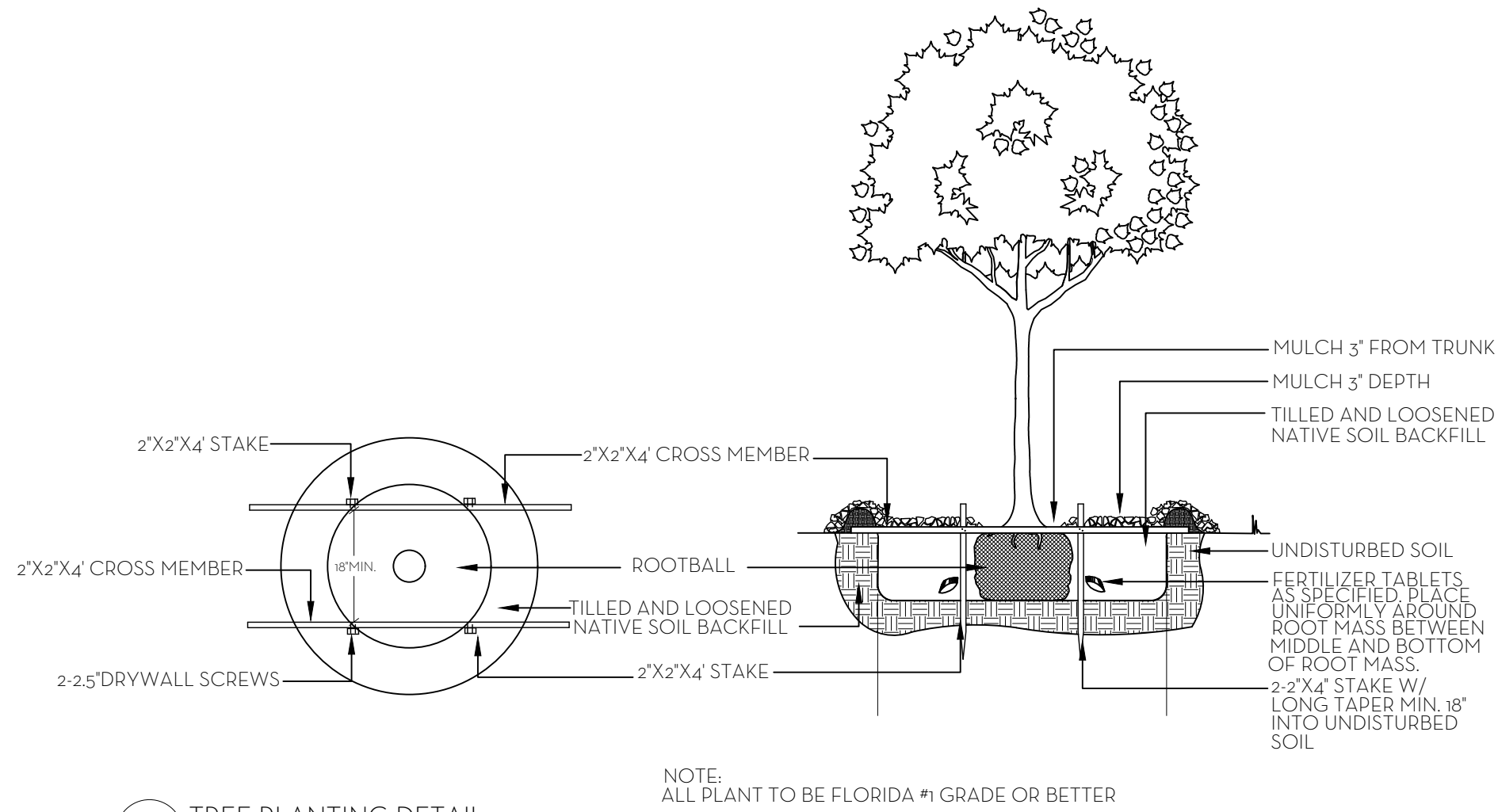
PALMS:

7 - 21 GRAM TABLETS

GROUND COVER AREAS

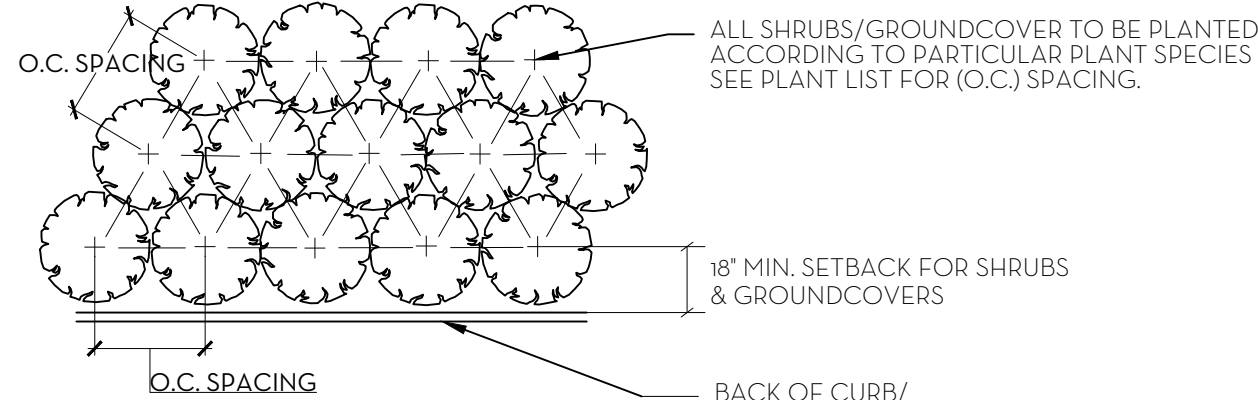
ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

- NOTES:
1. ALL WOOD SHALL BE SPRUCE OR PINE NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
 6. TOP OF ROOTBALL TO BE SET 2' BELOW FINISH SURROUNDING FINISH GRADE.



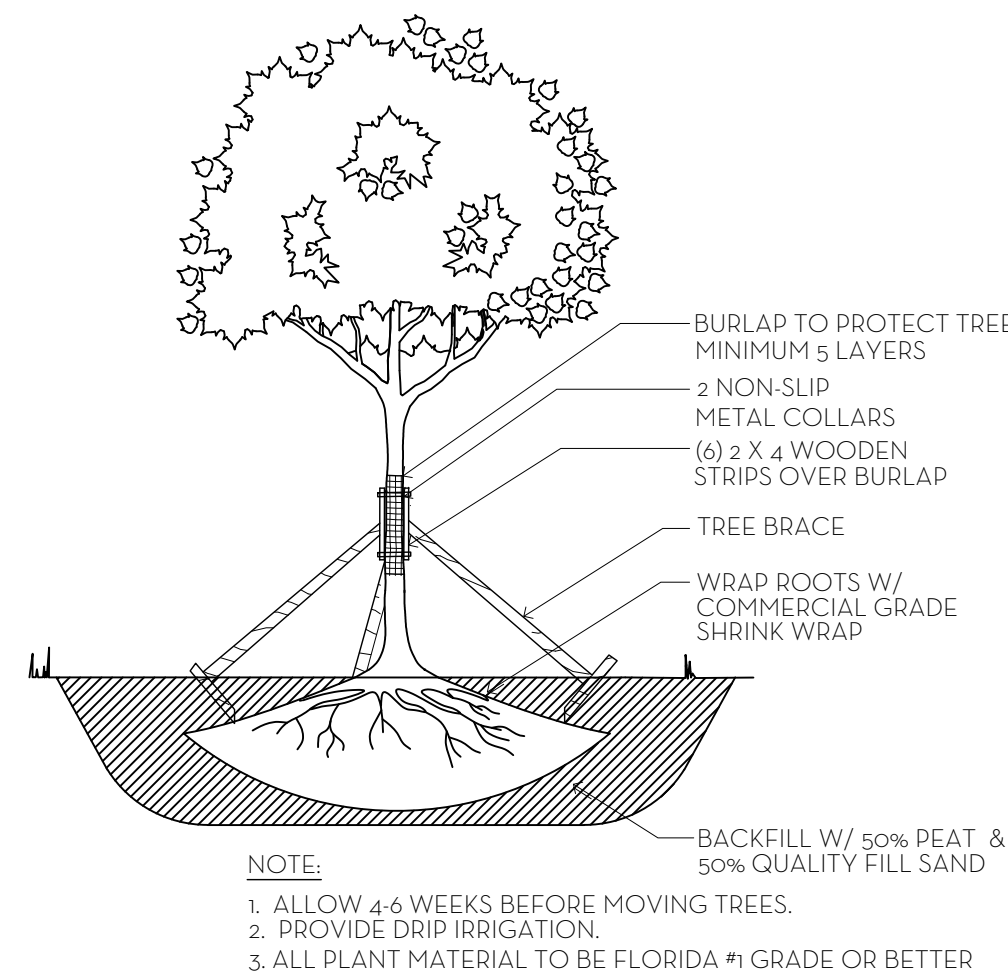
TREE PLANTING DETAIL

N.T.S.



PLANT SPACING DETAIL

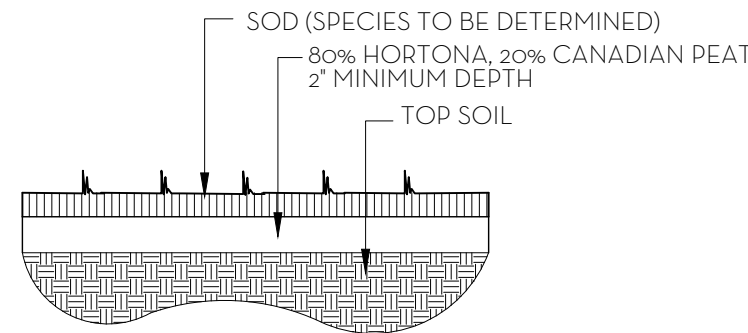
N.T.S.



TREE ROOT PRUNING DETAIL

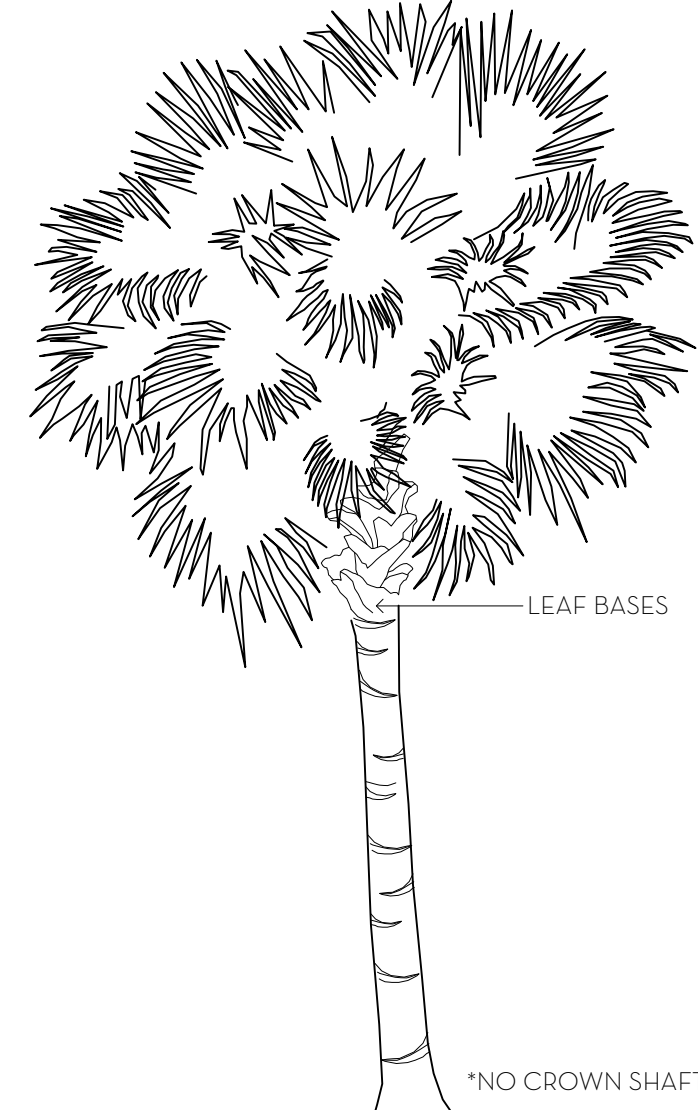
N.T.S.

- SOD NOTES:
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE
 2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2" MIN.
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



SOD PLANTING DETAIL

N.T.S.



PALM SPECIFICATION DETAIL

N.T.S.

<div><div><div>NW</div><div>NIEVERA WILLIAMS DESIGN</div></div><div>Villa Vanilla</div><div>346 Seaspray</div><div>07.28.2022</div></div>				
Landscape Material Schedule				
Item No.	Common Name	Botanical Name	Quantity	Native Specification
TREES				
1	Australian tree fern	Cyathea cooperi	2	10' HT.
2	Green Buttonwood	Conocarpus erectus	2	226 14'-16' HT, 12' SPR, 7' CT, Character tunk, Create Archway.
3	Green Buttonwood	Conocarpus erectus	2	490 12' HT. STD.
4	Gumbo Limbo	Bursera simaruba	2	510 15' HT, 12' SPR., Character Trunk.
5	Japanese Fern Tree	Athyrium niponicum	1	7' HT.
6	Mahoe	Hibiscus tiliaceus	1	6' HT.
7	Native Banyan	Ficus benghalensis	1	113 15' ht, 12' SPR, Character Trunk
8	Native Ilex	Ilex opaca	5	250 12' HT. STD. 3' CT.
9	Pigeonplum	Coccoloba diversifolia	2	630 14' HT. STD.
10	Seaplum Tree	Coccoloba diversifolia x uvifera	1	28 8' HT.
PALMS				
11	Adonidia	Adonidia	6	12'-14' CT.
12	Adonidia	Adonidia	2	12' HT. DOUBLE
13	Alexander Palm	Ptychosperma elegans	10	7' CT.
14	Alexander Palm	Ptychosperma elegans	13	7'-12' CT.
15	Alexander Palm	Ptychosperma elegans	4	10' CT.
16	Areca Palm	Dypsis lutescens	1	16' HT.
17	Areca Palm	Dypsis lutescens	4	12' HT.
18	Bizmark Palm	Bismarckia nobilis	2	11' GW.
19	Bizmark Palm	Bismarckia nobilis	6	12' GW.
20	Cat Palm	Chamaedorea cataractarum	1	15 Gal.
21	Chinese Fan Palm	Livistona chinensis		TBD.
22	Chinese Fan Palm	Livistona chinensis	1	7' CT.
23	Coconut Palm	Cocos nucifera	4	15' GW. Matching.
24	Coconut Palm	Cocos nucifera	2	18' CT.
25	Coconut Palm	Cocos nucifera	4	12' GW
26	Coconut Palm	Cocos nucifera	2	16' GW. Straight, Matching.
27	Coconut Palm	Cocos nucifera	4	Malaysian, 18' GW, Slight Curve, Matching
28	Dioon Palm	Dioon	2	4' x4'. Full.
29	Fishtail Palm	Caryota mitis	1	12'-14' HT.
30	Hurricane Palm	Diclyosperma album	3	12' CT.
31	Hurricane Palm	Diclyosperma album	3	6' CT.
32	Licuala	Licuala grandis.	2	4' HT.
33	Paurotis Palm	Acoelorrhaphe wrightii	2	230 18' HT.
34	Reclinata Palm	Phoenix reclinata	2	18' OA. Multi, Matching.
35	Rhapis Palm	Rhapis excelsa	1	5' HT.
36	Rhapis Palm	Rhapis excelsa	7	15 Gal.
37	Robellini	Phoenix roebelenii	2	4'-6' HT. Triple.
38	Sabal	Sabal palmetto	3	528 16' CT.
39	Thrinax Palm	Thrinax radiata	1	28 7' CT.
40	Thrinax Palm	Thrinax radiata	13	364 6'-8' CT.
41	Thrinax Palm	Thrinax radiata	2	156 16' HT. Straight, matching.
42	Thrinax Palm	Thrinax radiata	2	100 12' HT.
43	Traveler Plam	Revenala madagascariensis	2	14' OA. 3 PPP.
44	Traveler Plam	Revenala madagascariensis	6	18' HT.
SHRUB/ACCENTS				
45	Alocasia Portora	Alocasia Portora	4	25 Gal.
46	Awabuki	Viburnum odoratissimum awabuki	1	5' HT. FTB.
47	Clusia	Clusia guttifera	35	8' HT. FTB.
48	Crinum Lily	Crinum asiaticum	1	7 Gal.
49	Crinum Lily	Crinum asiaticum	1	15 Gal.
50	Giant Elephant Ear	Alocasia gigantea	1	15 Gal.
51	Heliconia	Heliconia	3	10' HT. Full.
52	Monstera	Monstera deliciosa	1	15 Gal. Full.
53	Philodendron Evansii	Philodendron Evansii	2	7 Gal.
54	Rojo Congo	Philodendron tatei 'Congo Rojo'	5	3 Gal.
55	Shell Ginger	Alpinia zerumbet	1	7 Gal. Full.
56	Shell Ginger	Alpinia zerumbet	2	15 Gal.
57	White Bird of Paradise	Strelitzia nicolai	1	10' HT. 3 PPP.
58	White Bird of Paradise	Strelitzia nicolai	1	45 Gal. 3 PPP.
59	Zamia	Zamia furfuracea	1	38 7 Gal.
60	Zamia	Zamia furfuracea	2	25 4'x4' HT.
GROUND COVER / VINES				
61	Creeping Fig	Ficus pumilla	9	3 GAL. Esp. to wall.
62	Liriope	Liriope	22	3 Gal.
SOD				
63	Empire Zoysia		TBFV	
RELOCATE/EXISTING TO REMAIN				
64	Traveler Palm	Revenala madagascariensis		18'-25' HT. Existing to remain.
65	Date Palm	Phoenix spp	1	Existing to remain.
66	Coconut Palm	Cocos nucifera	4	Relocated from on-site.
67	Coconut Palm	Cocos nucifera	1	To remain.
68	Coconut Palm	Cocos nucifera	3	30'-35' HT. Existing to remain.
69	Coconut Palm	Cocos nucifera	8	Existing to remain.
70	Areca Palm	Dypsis lutescens	3	Relocated from on-site.
71	Areca Palm Cluster	Dypsis lutescens		18'-20' HT. Existing to remain.
NATIVE LANDSCAPE CALCULATIONS				
LANDSCAPE OPEN SPACE: (8,272 SF)				
REQUIRED = 2,068 SQ FT 25%				
PROPOSED = 3,716 SQ FT 44.9%				

MARIO F. NIEVERA

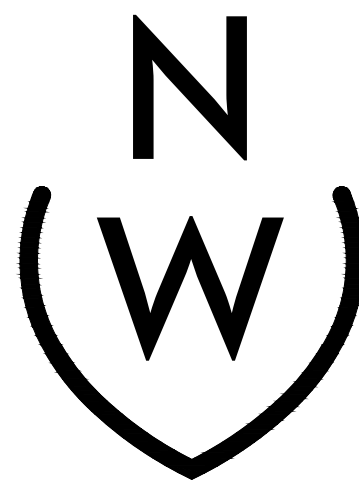
State of Florida
Landscape Architect
Registration No.
6666856

PLANT LIST AND DETAILS

VILLA VANILLA

346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
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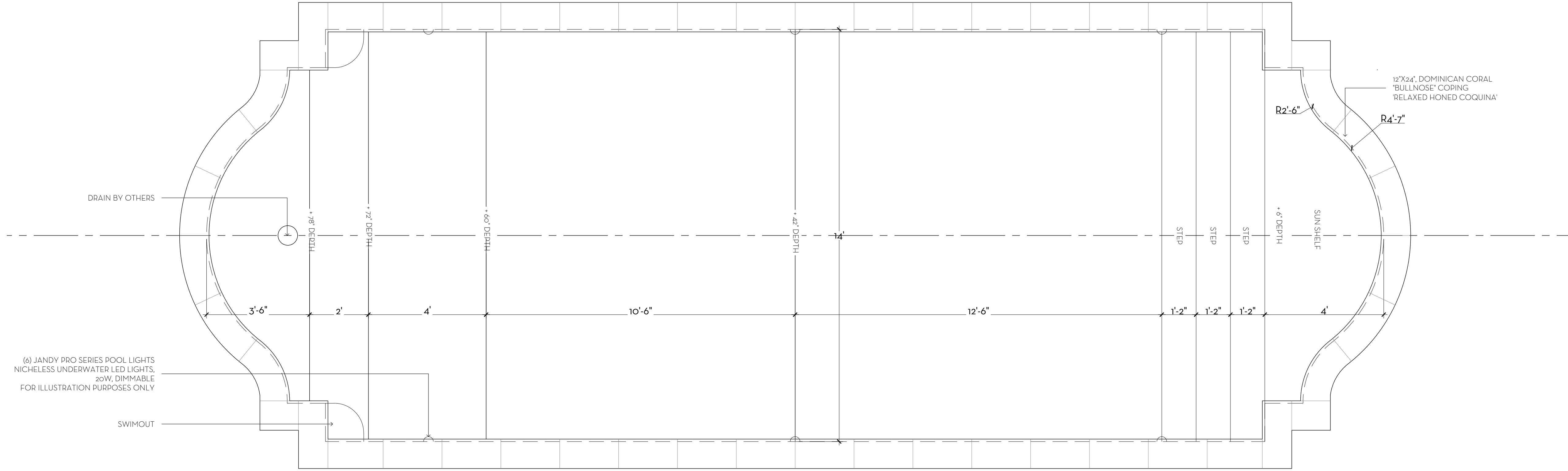
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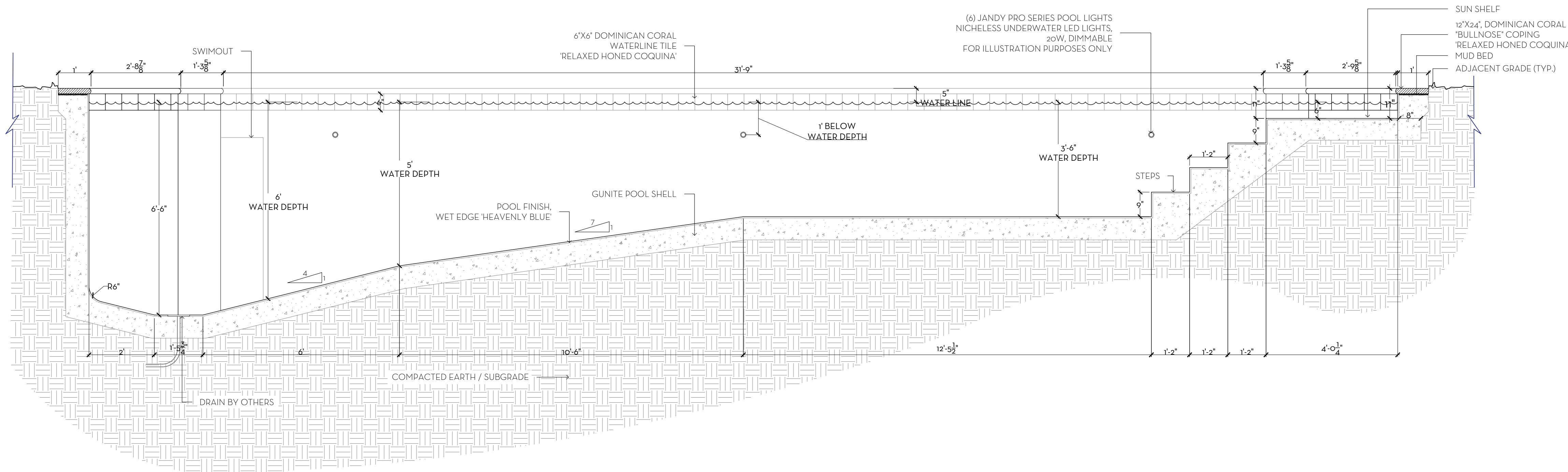
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LP2

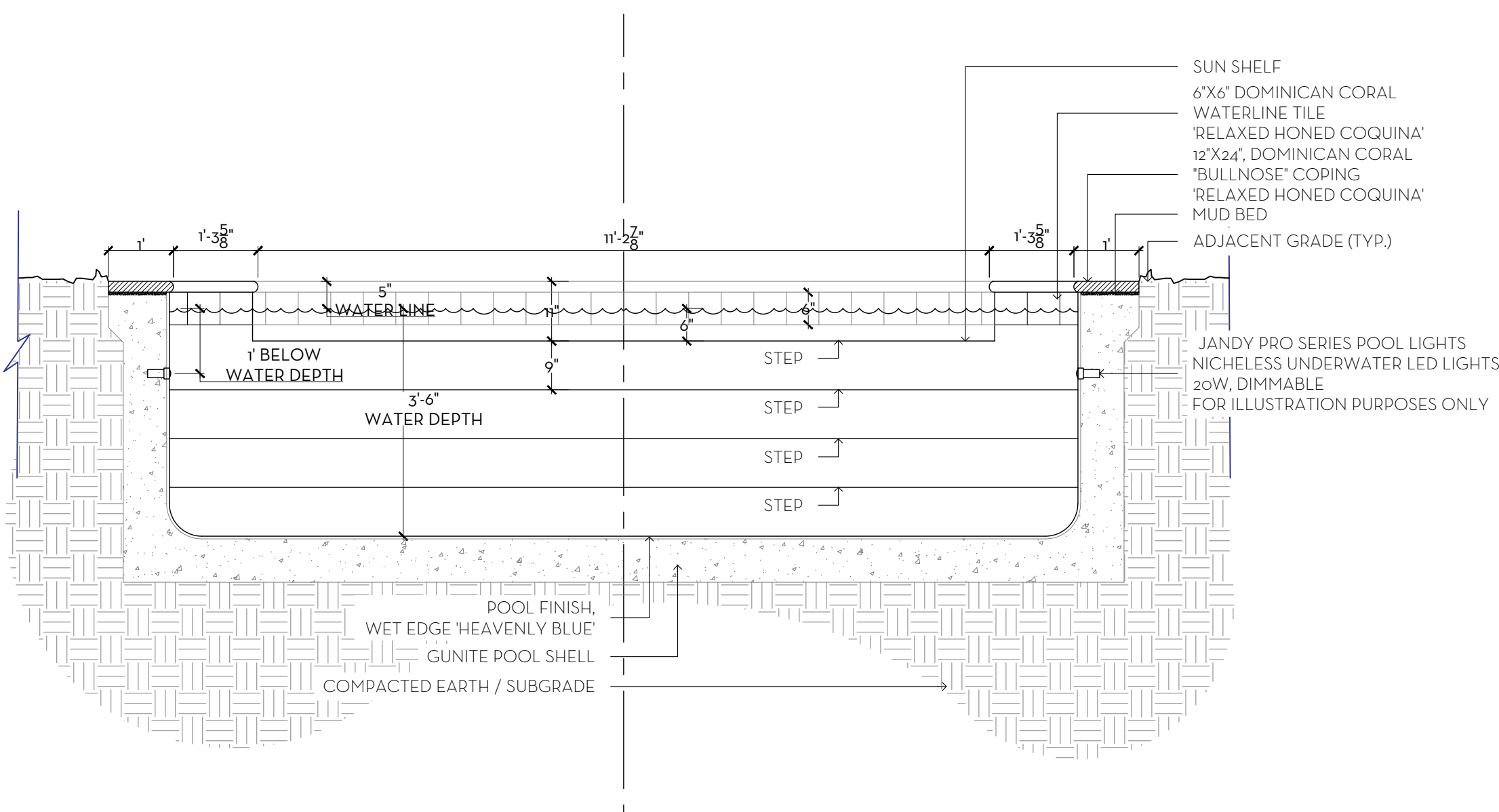
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1 POOL DETAIL - PLAN VIEW
D2 SCALE: 1/2" = 1'-0"



1 POOL DETAIL - SECTION
D2 SCALE: 1/2" = 1'-0"



2 POOL DETAIL - SECTION
D2 SCALE: 1/2" = 1'-0"

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CONSTRUCTION DETAILS
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346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

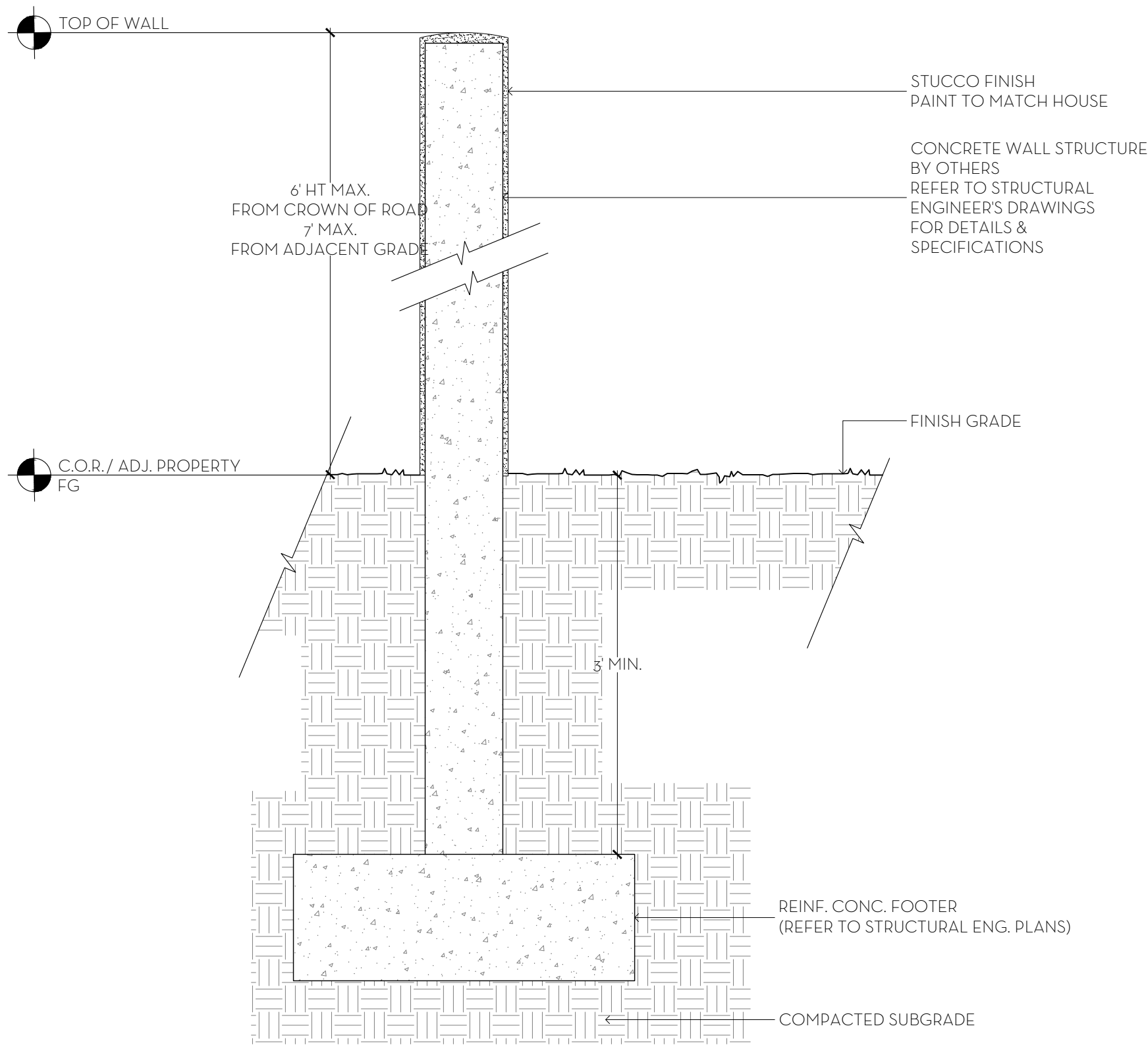
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NW
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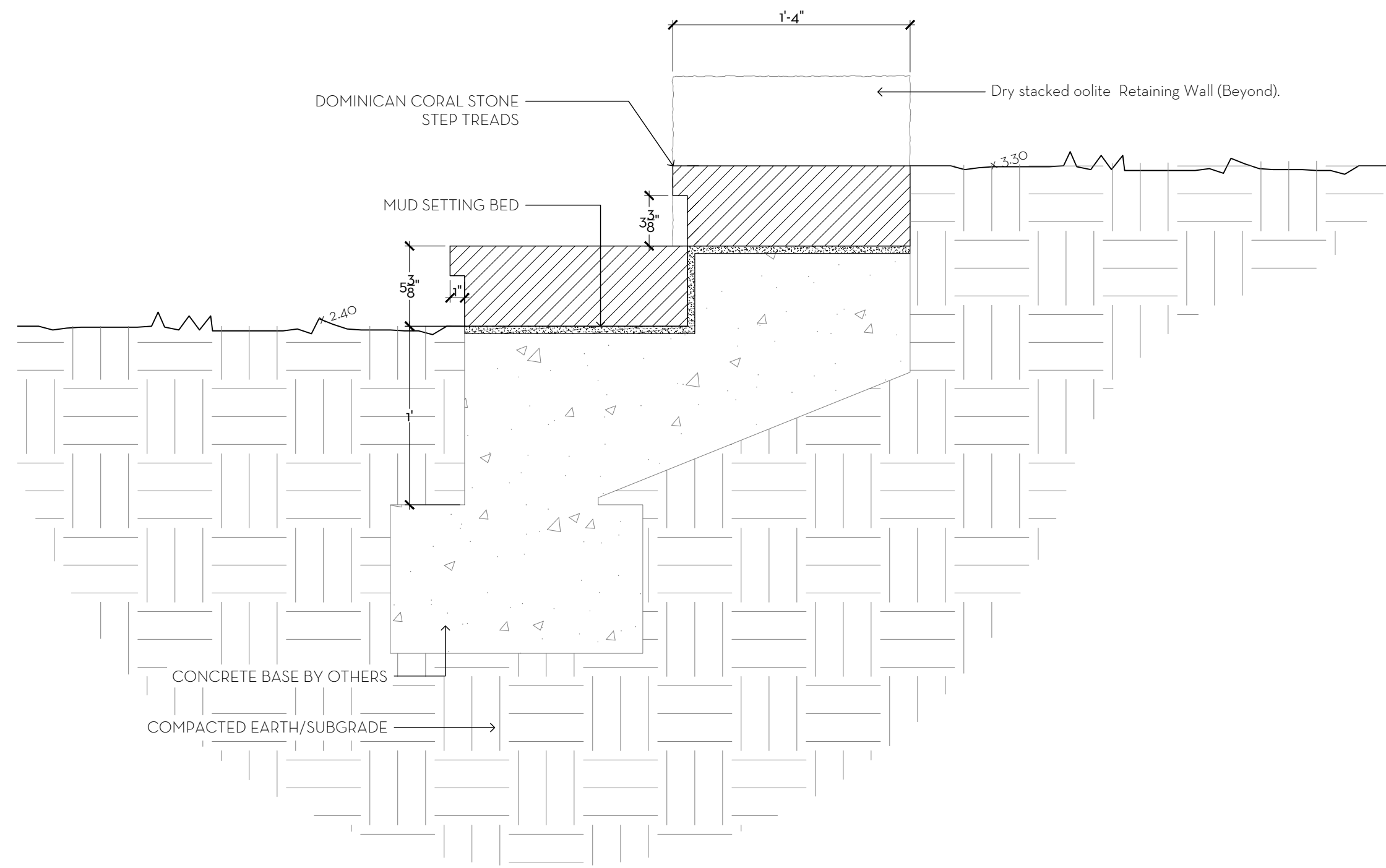
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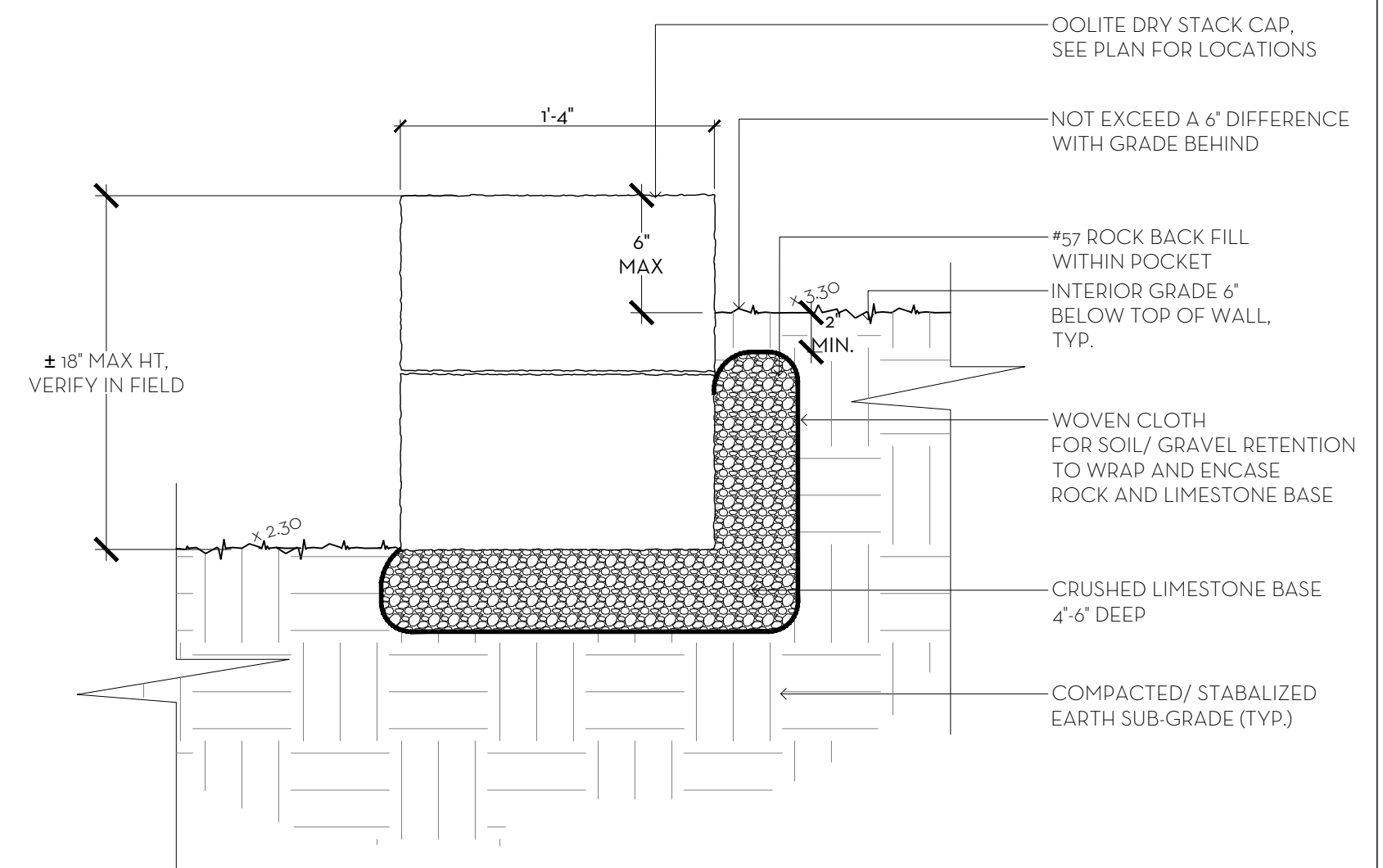
D2
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1 SITE WALL DETAIL
D5 SCALE: 1" = 1'-0"



2 STEPS & RISER DETAIL
D5 SCALE: 1-1/2" = 1'-0"



3 SITE WALL DETAIL
D5 SCALE: 1-1/2" = 1'-0"

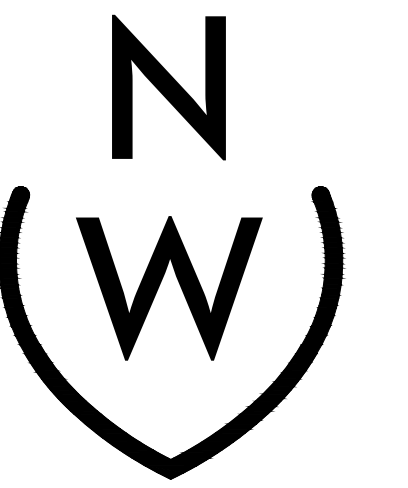
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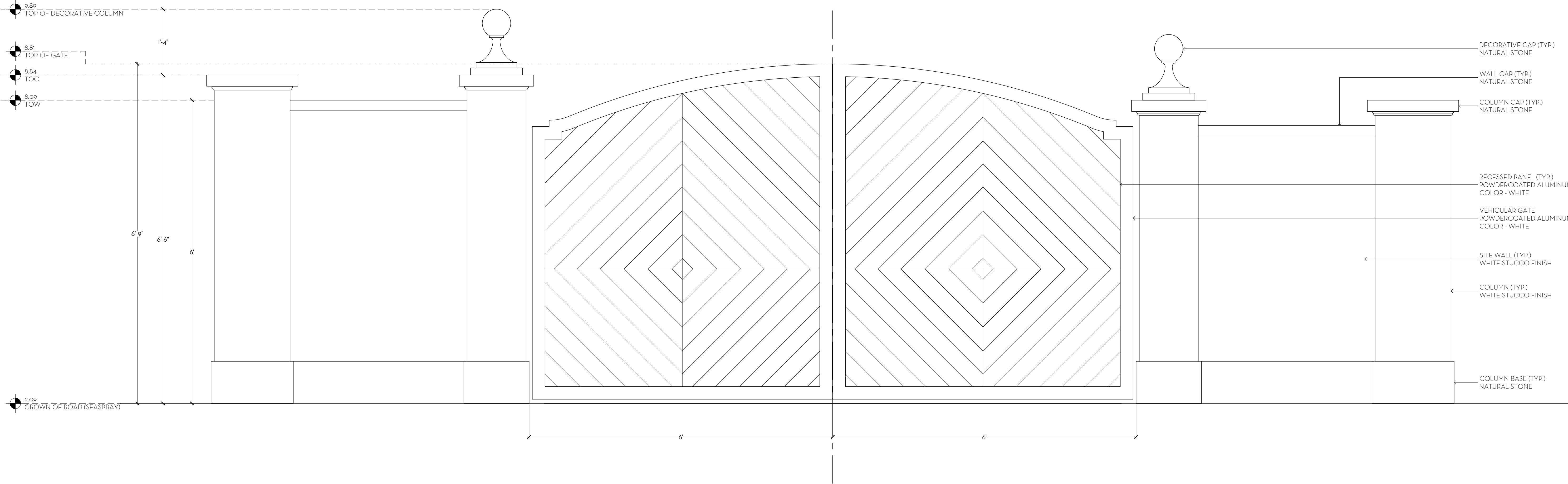


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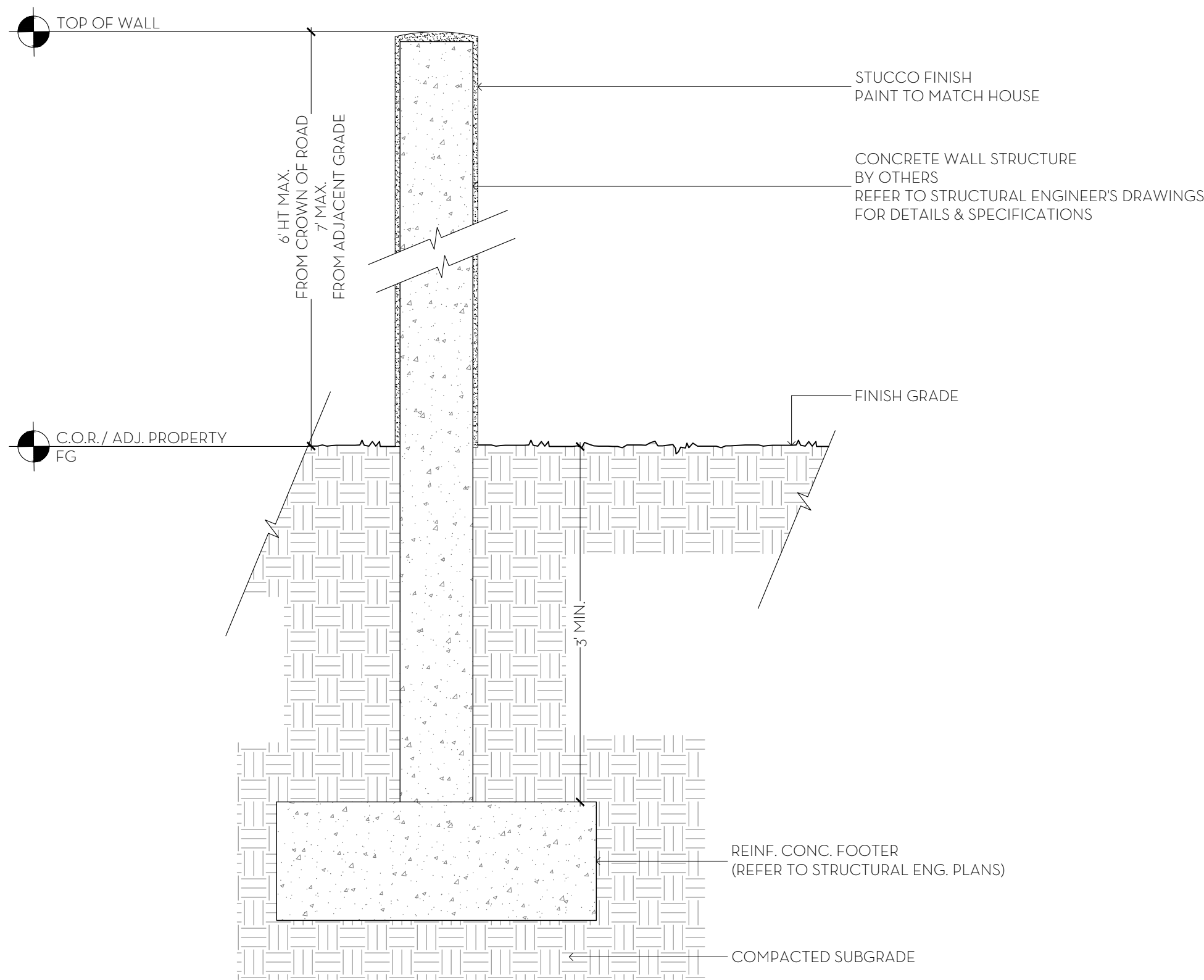
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1 DRIVEWAY GATE ELEVATION
SCALE: 1/2" = 1'-0"



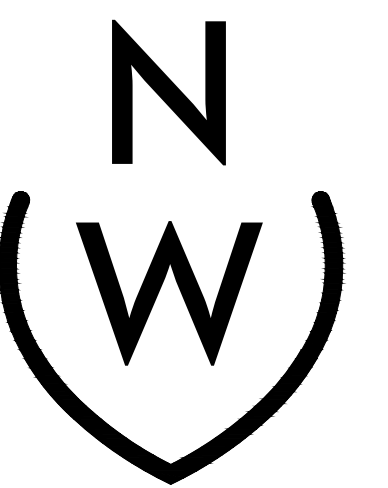
2 SITE WALL DETAIL
SCALE: 1" = 1'-0"

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ARC-21-069

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CONSTRUCTION DETAILS
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D1
ARC-21-069

SCALE: AS SHOWN