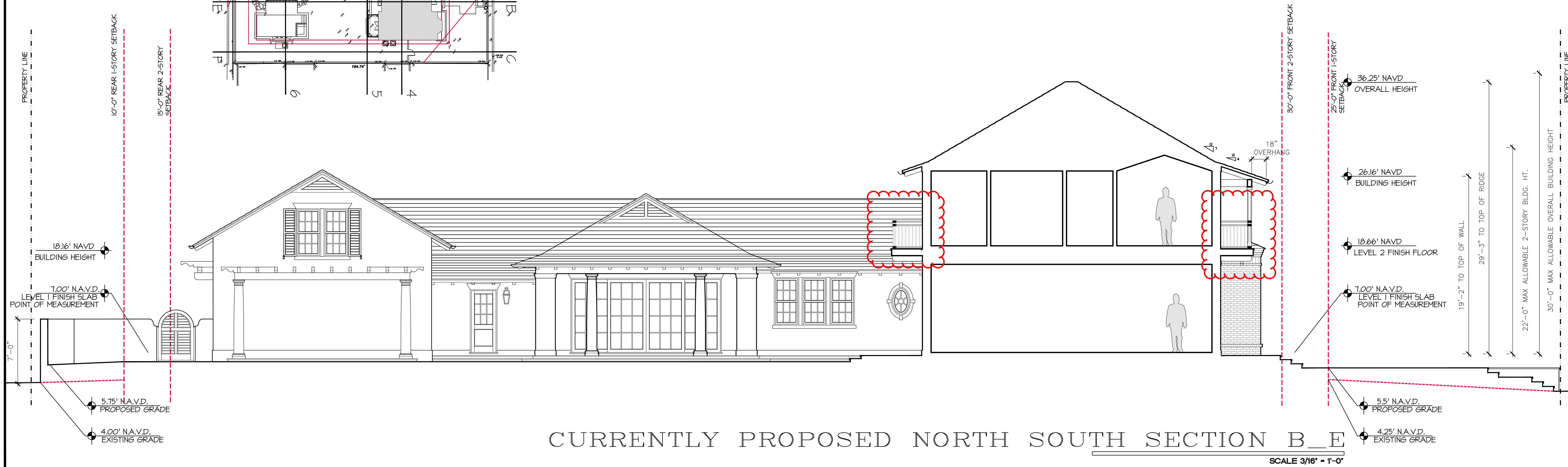
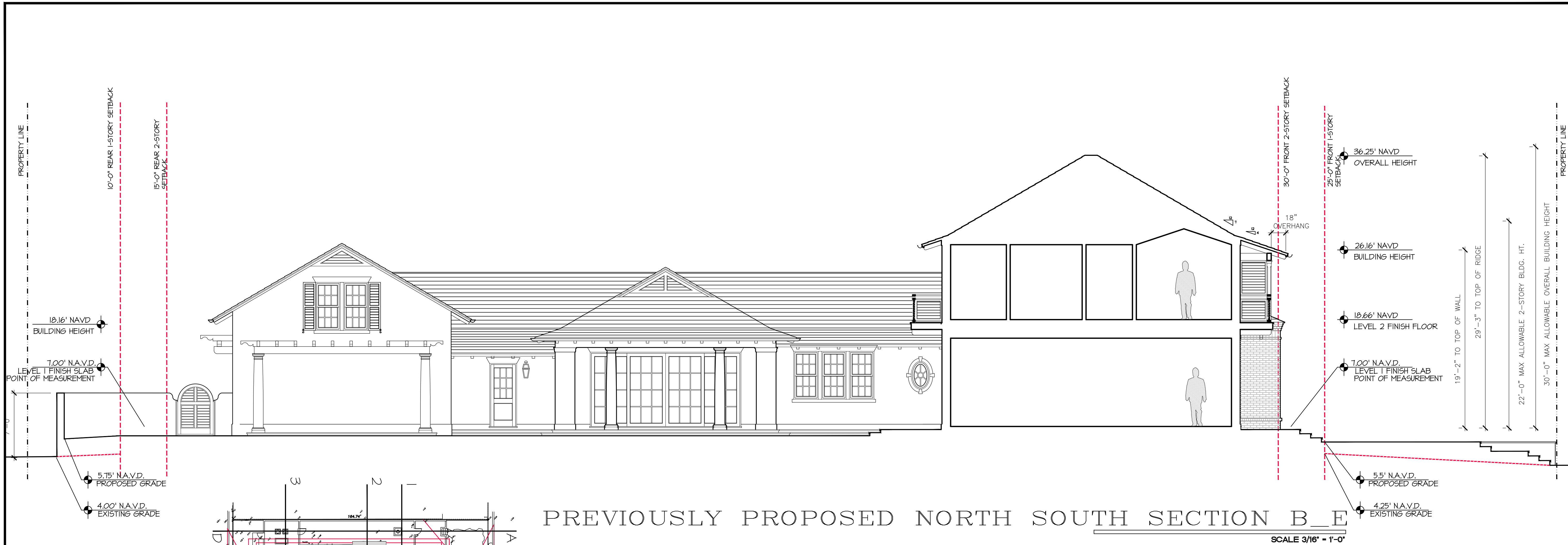




PROPOSED RESIDENCE AT:

216 VIA MARILA

PALM BEACH COUNTY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 2024.4.24

DRAWN: FM

REVISIONS:

• REV 01 10.24

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

SEAL

STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER PATTON JANSSEN

AR0014785

ROGER P. JANSSEN

AR-14785

DRAWING NO.

A2.03

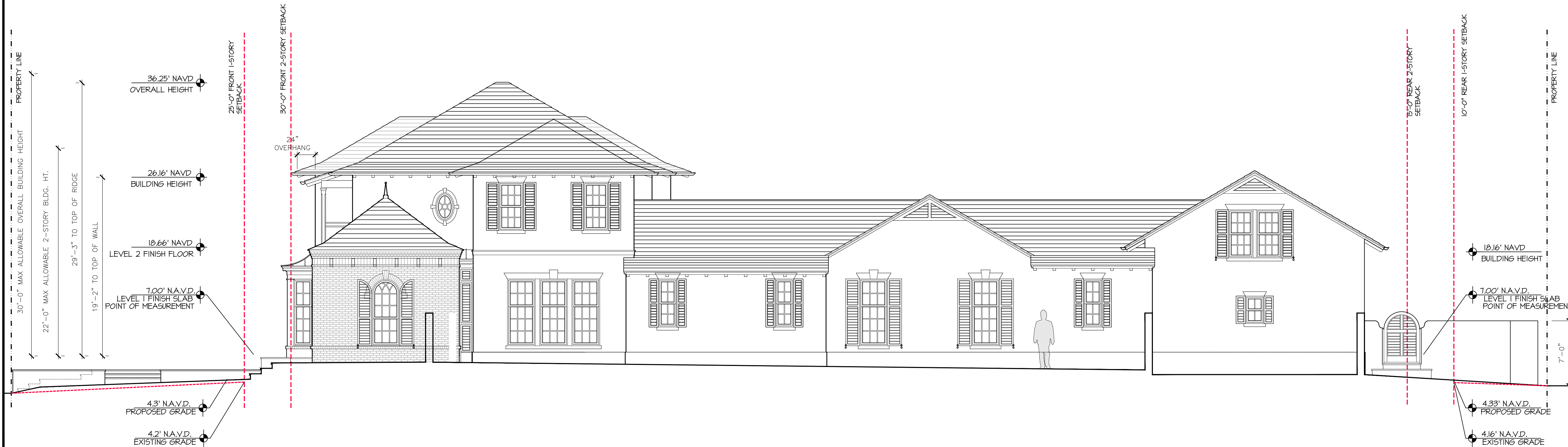
JOB NUMBER.

24-103



PREVIOUSLY PROPOSED WEST ELEVATION

SCALE 3/16" = 1'-0"



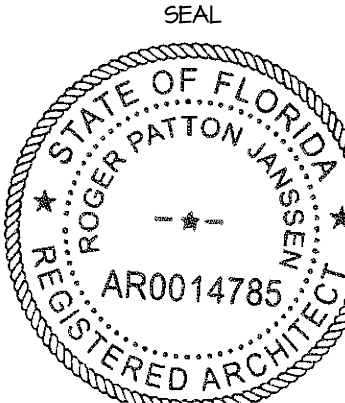
CURRENTLY PROPOSED WEST ELEVATION

SCALE 3/16" = 1'-0"

PROPOSED RESIDENCE AT:

DATE: 2024.4.24
DRAWN: FM
REVISIONS:
• REV 01 1.8.24

©COPYRIGHT 2024 DAILEY
JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.04

JOB NUMBER: 24-103

216 VIA MARILA

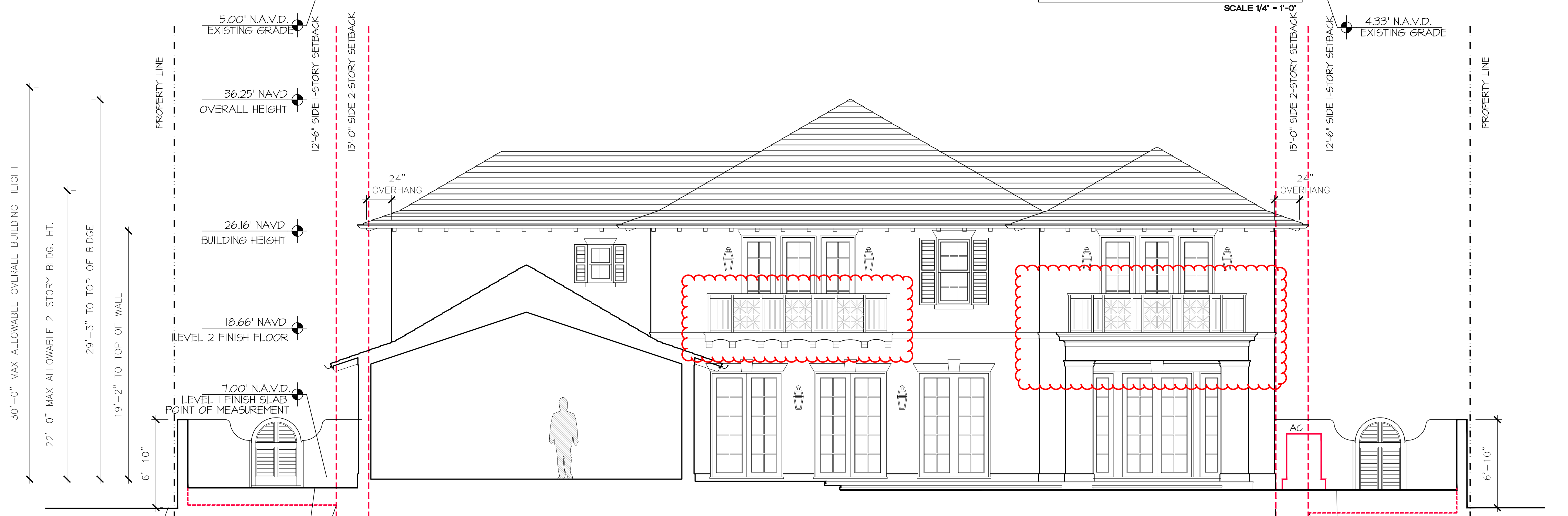
TOWN OF PALM BEACH

PALM BEACH COUNTY

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914



PREVIOUSLY PROPOSED SOUTH ELEVATION MAIN HOUSE 2-5



CURRENTLY PROPOSED SOUTH ELEVATION MAIN HOUSE 2-5

PROPOSED RESIDENCE AT:

216 VIA MARILA

PALM BEACH COUNTY

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 2024.4.24

DRAWN: FM

REVISIONS:

REV 01 1.8.24

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER PATTON JANSSEN
AR0014785

ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.05

JOB NUMBER:

24-103

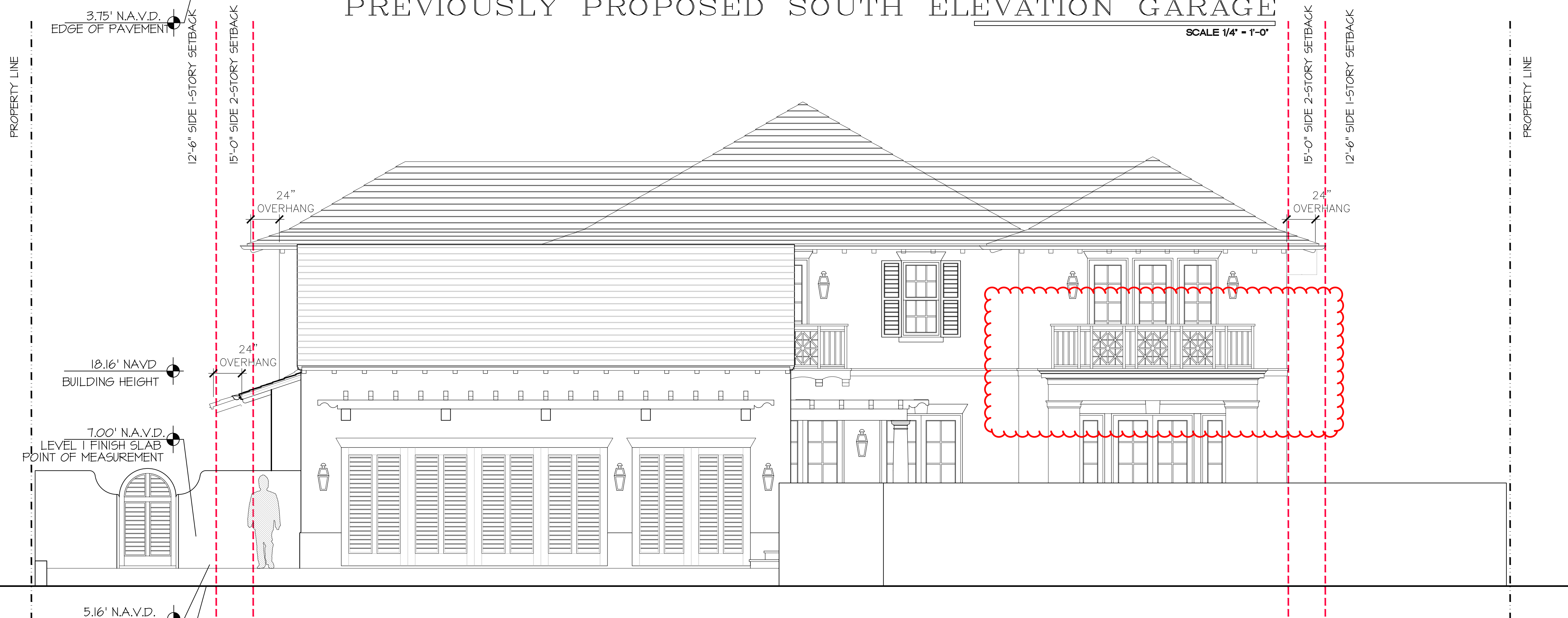
22'-0" MAX ALLOWABLE 1-STORY BLDG. HT.
11'-2" TO TOP OF WALL



PREVIOUSLY PROPOSED SOUTH ELEVATION GARAGE

SCALE 1/4" = 1'-0"

22'-0" MAX ALLOWABLE 1-STORY BLDG. HT.
11'-2" TO TOP OF WALL



CURRENTLY PROPOSED SOUTH ELEVATION GARAGE

SCALE 1/4" = 1'-0"

PROPOSED RESIDENCE AT:

216 VIA MARILA

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-833-4101, LICENSE #AA-C00174

DATE: 2024.4.24

DRAWN: FM

REVISIONS:

• REV 01 10.24

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

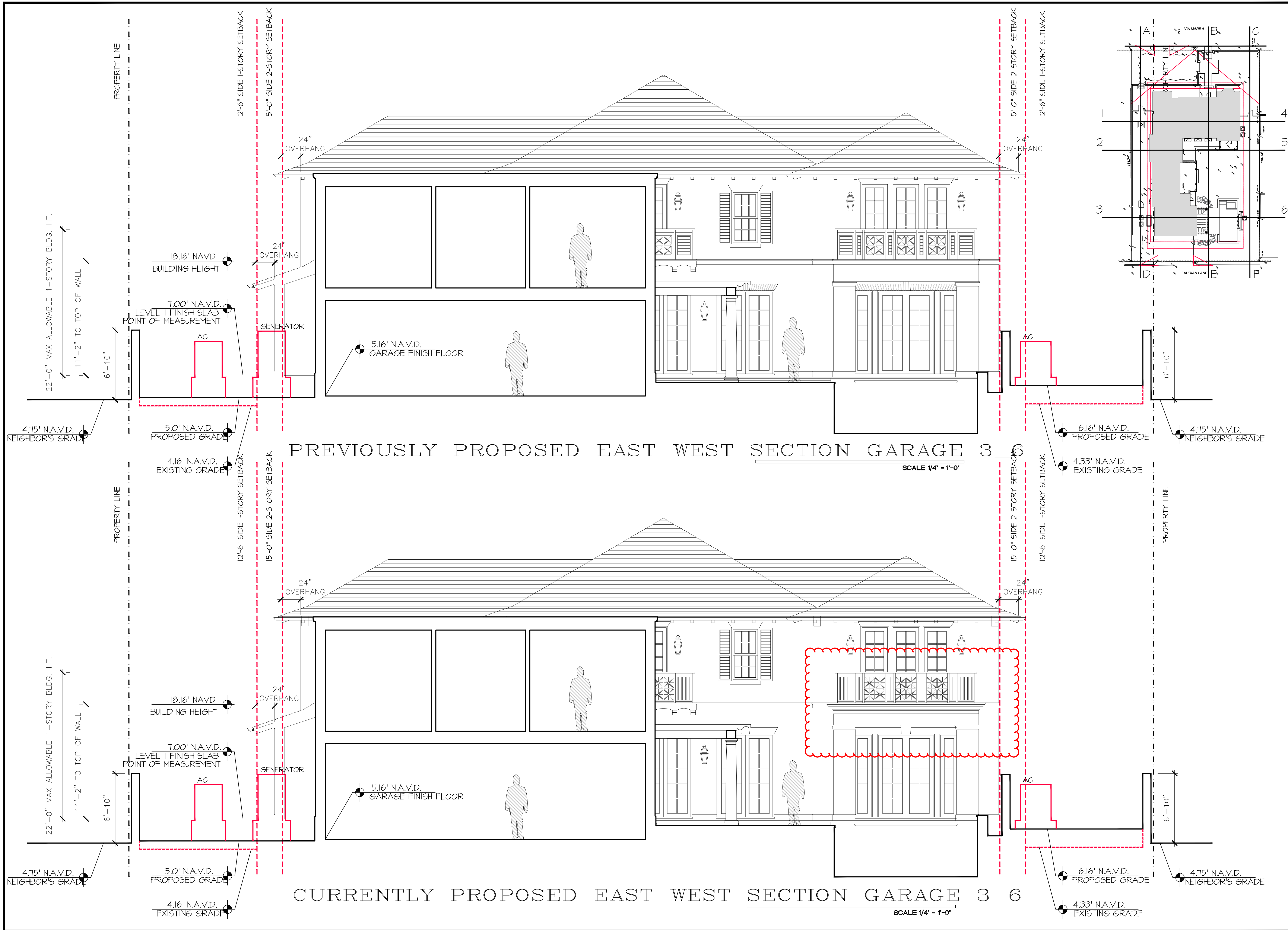


ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.06

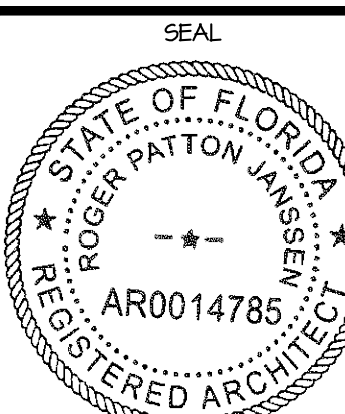
JOB NUMBER: 24-103



PROPOSED RESIDENCE AT:

DATE: 2024.4.24
DRAWN: PM
REVISIONS:
• REV 01 T.B.24

©COPYRIGHT 2024 DAILEY
JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.06

JOB NUMBER: 24-103

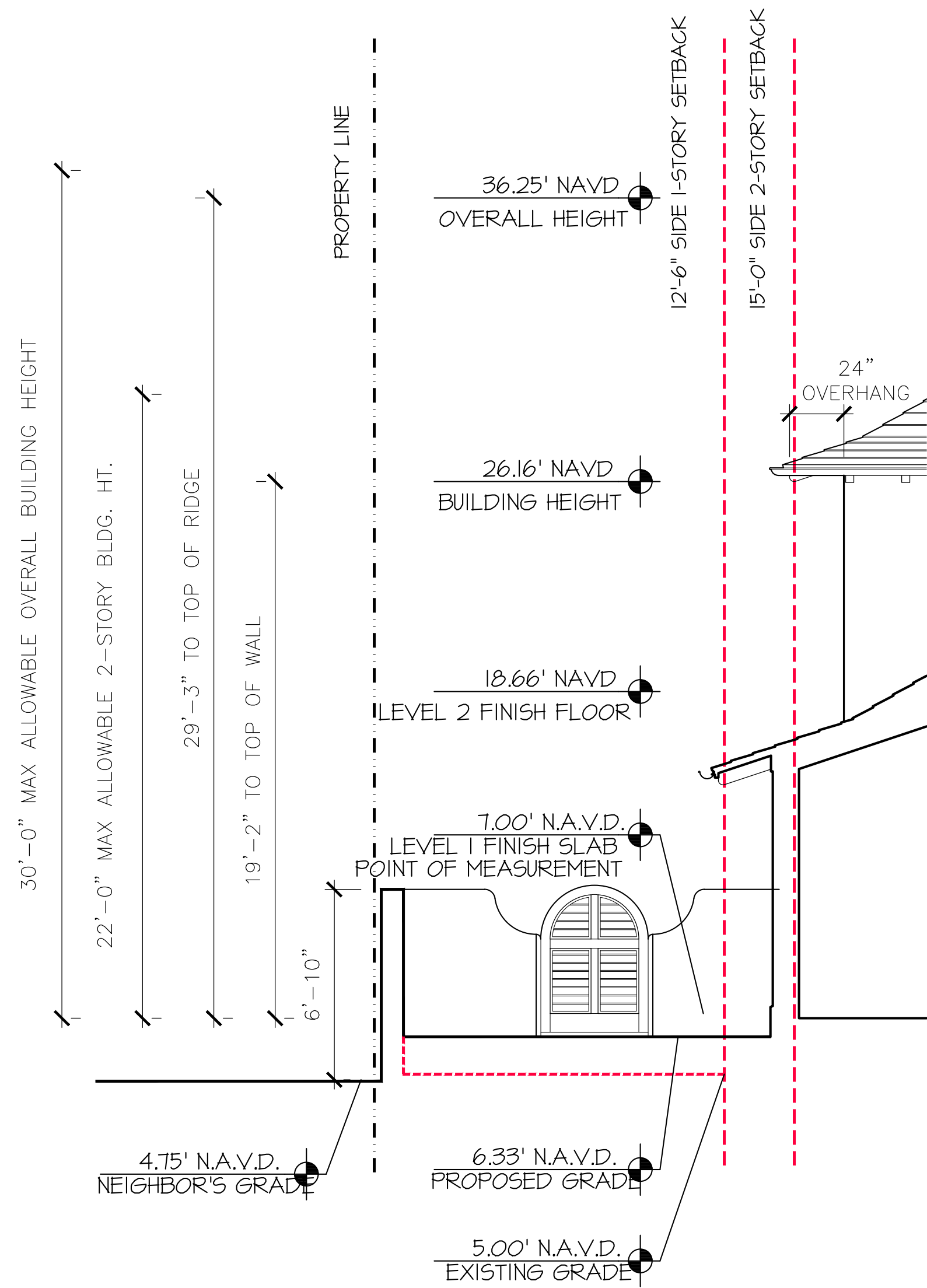
216 VIA MARILA

TOWN OF PALM BEACH

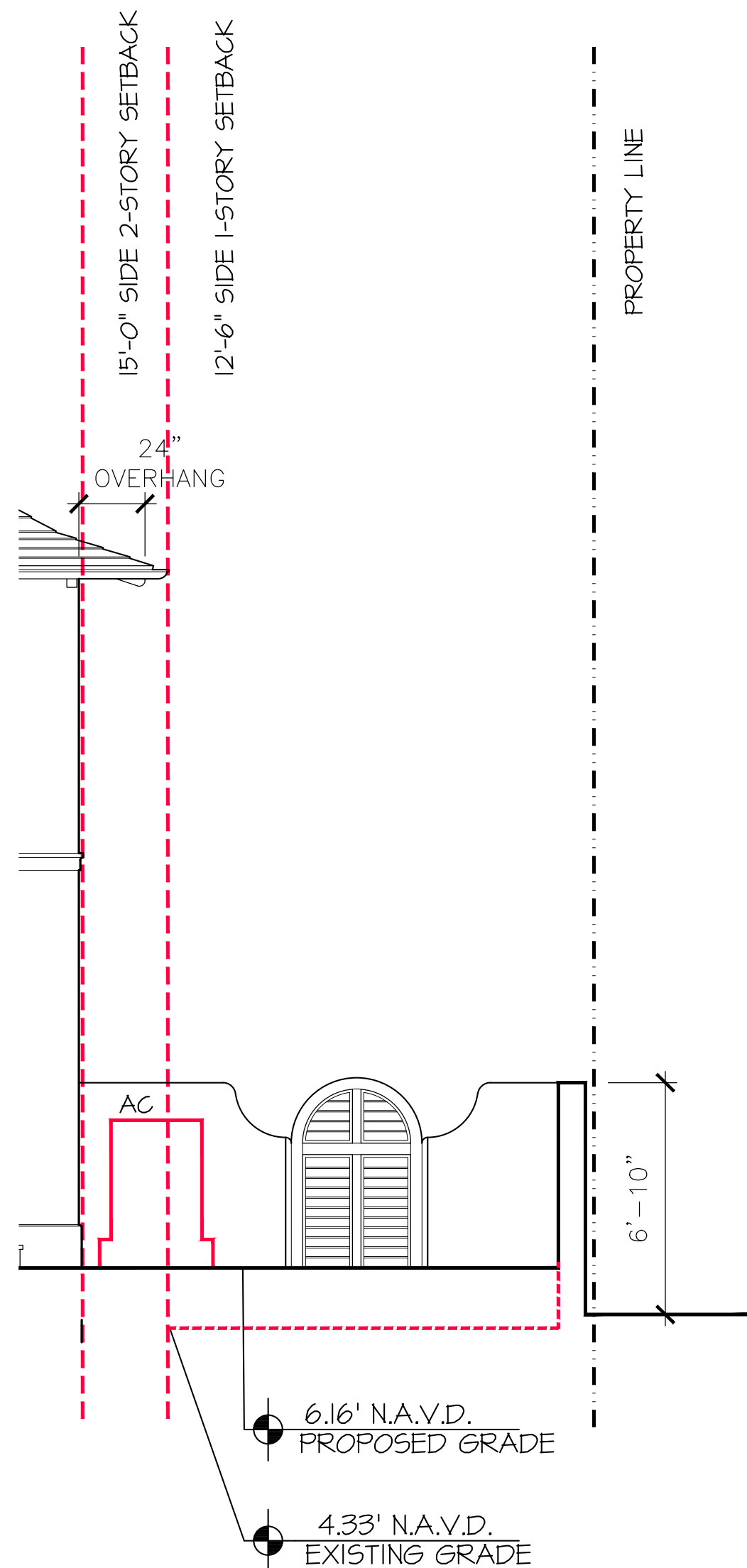
PALM BEACH COUNTY

DAILEY JANSSEN ARCHITECTS

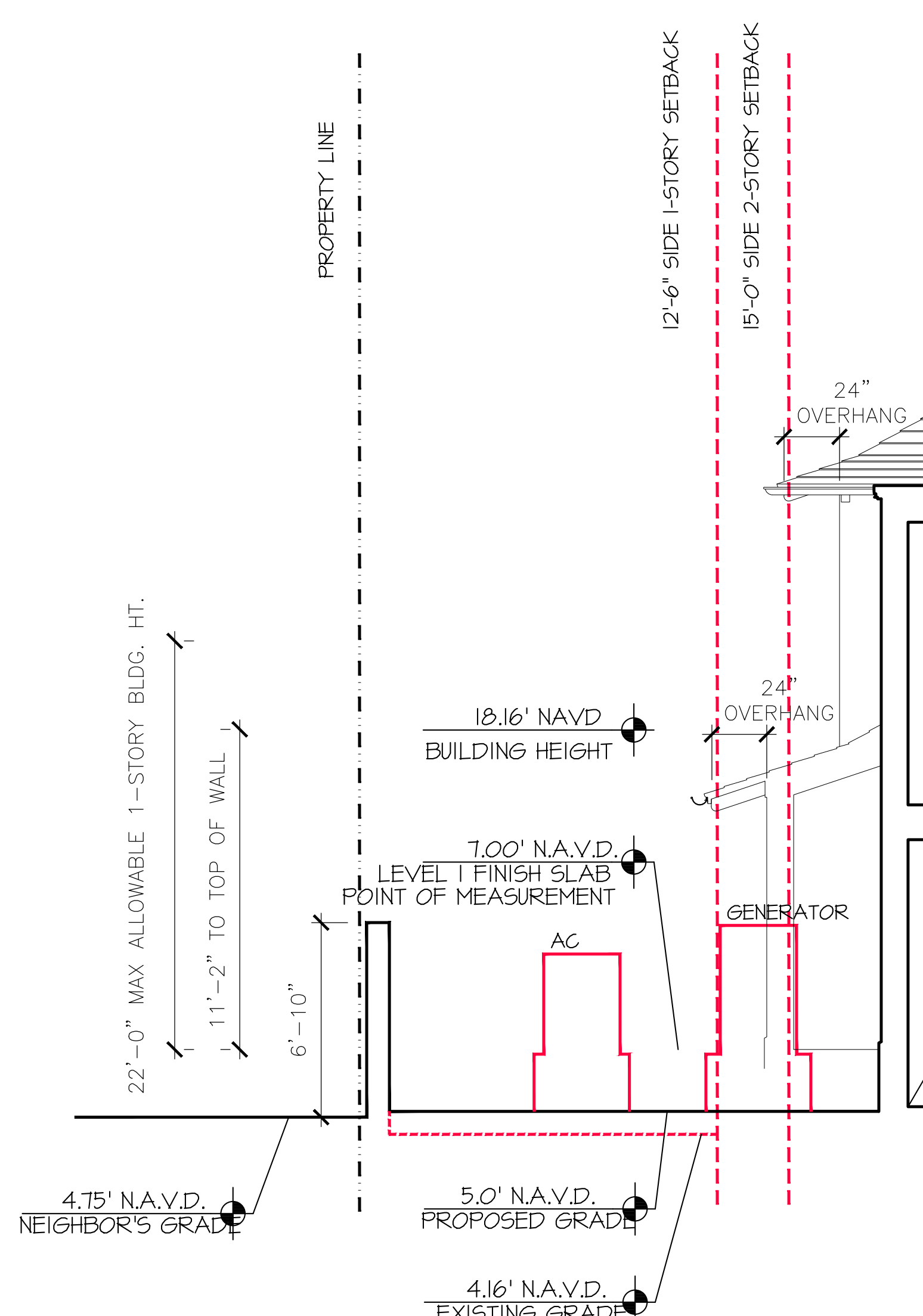
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411 TEL: 561-933-4101, LICENSE #AA-C0014



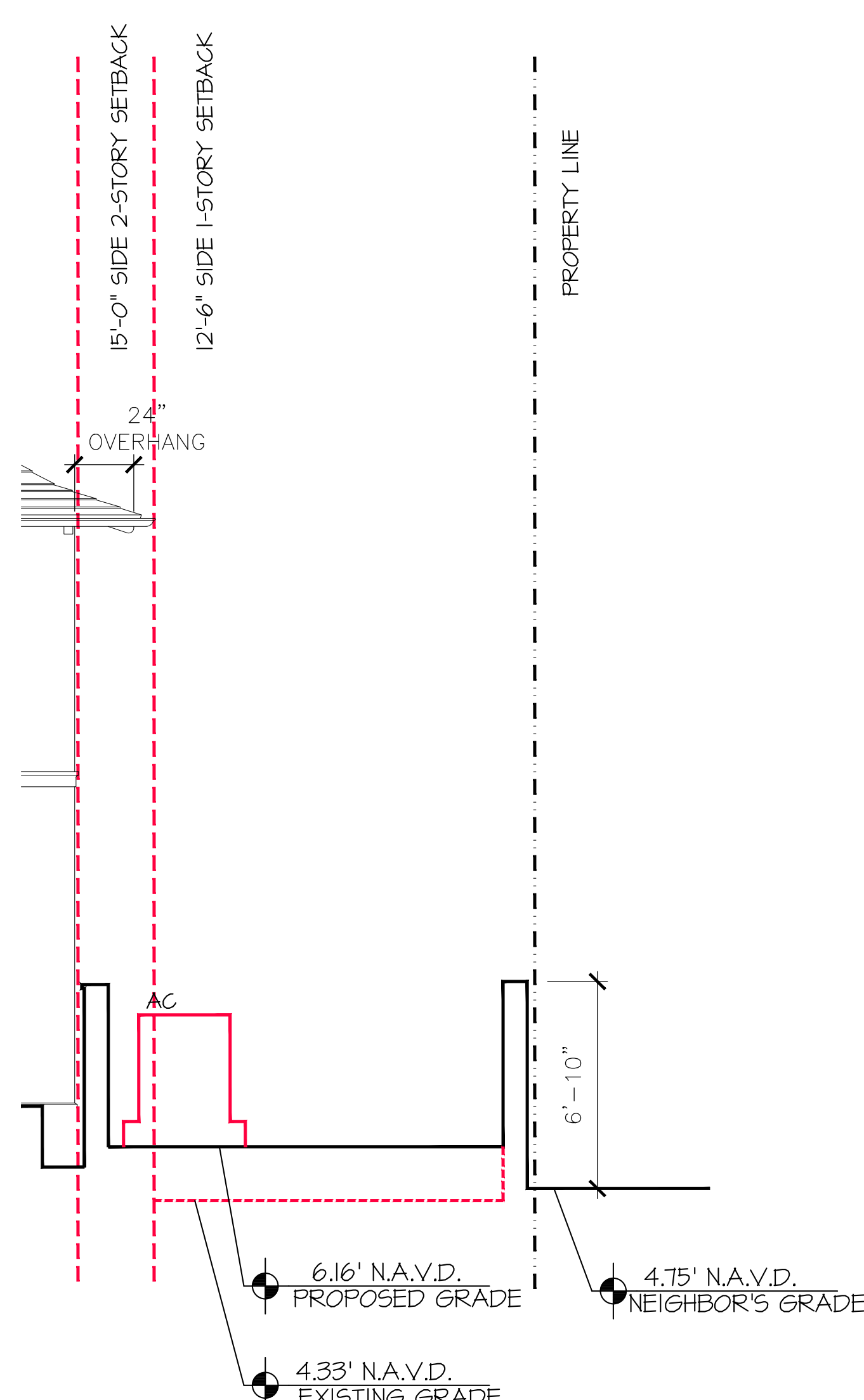
YARD SECTION 2
SCALE 1/4" = 1'-0"



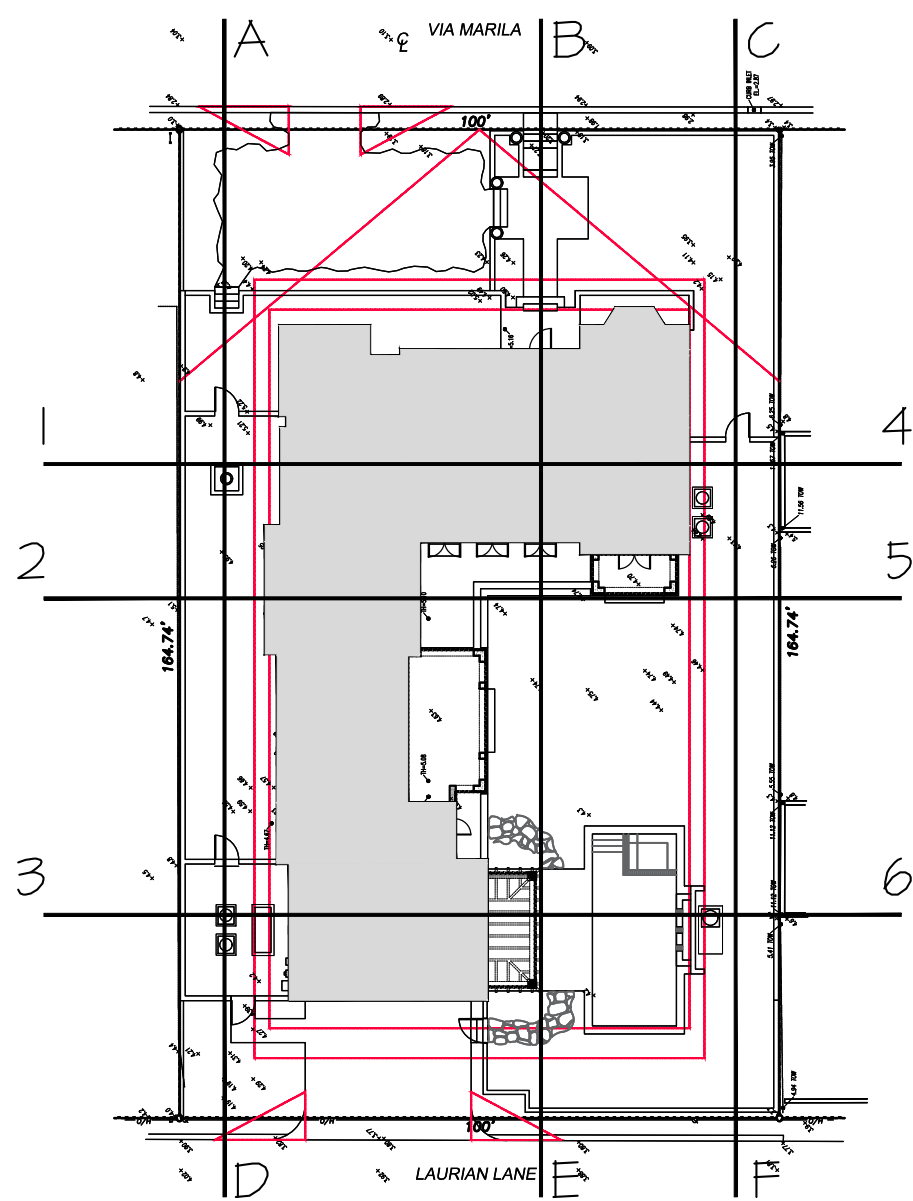
YARD SECTION 5
SCALE 1/4" = 1'-0"



YARD SECTION 3
SCALE 1/4" = 1'-0"



YARD SECTION 6
SCALE 1/4" = 1'-0"



PROPOSED RESIDENCE AT:

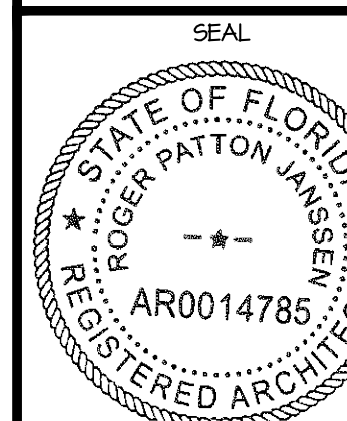
DATE: 2024.4.24

DRAWN: PM

REVISIONS:

REV 01 T.B.24

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.07

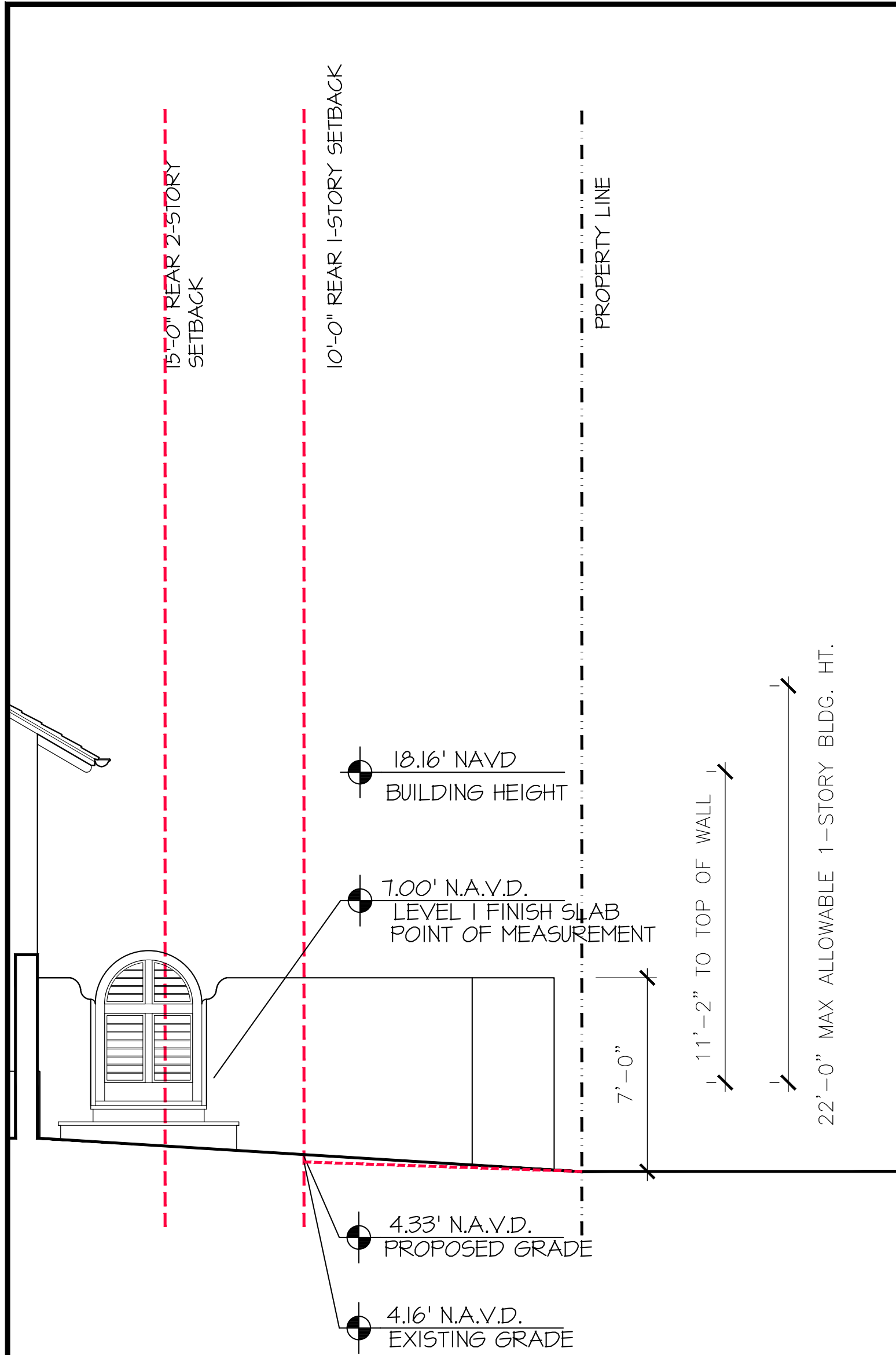
JOB NUMBER: 24-103

216 VIA MARILA

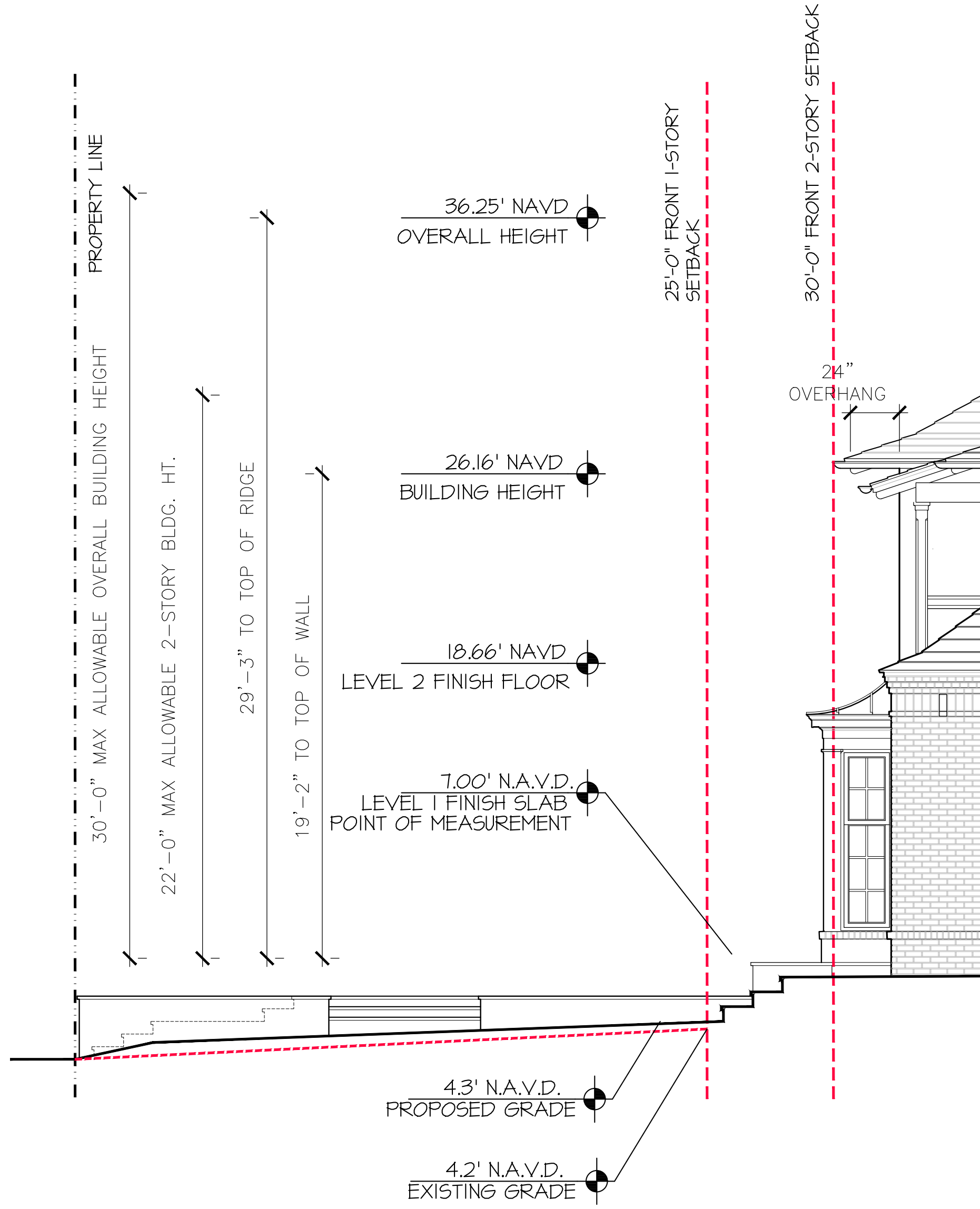
TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

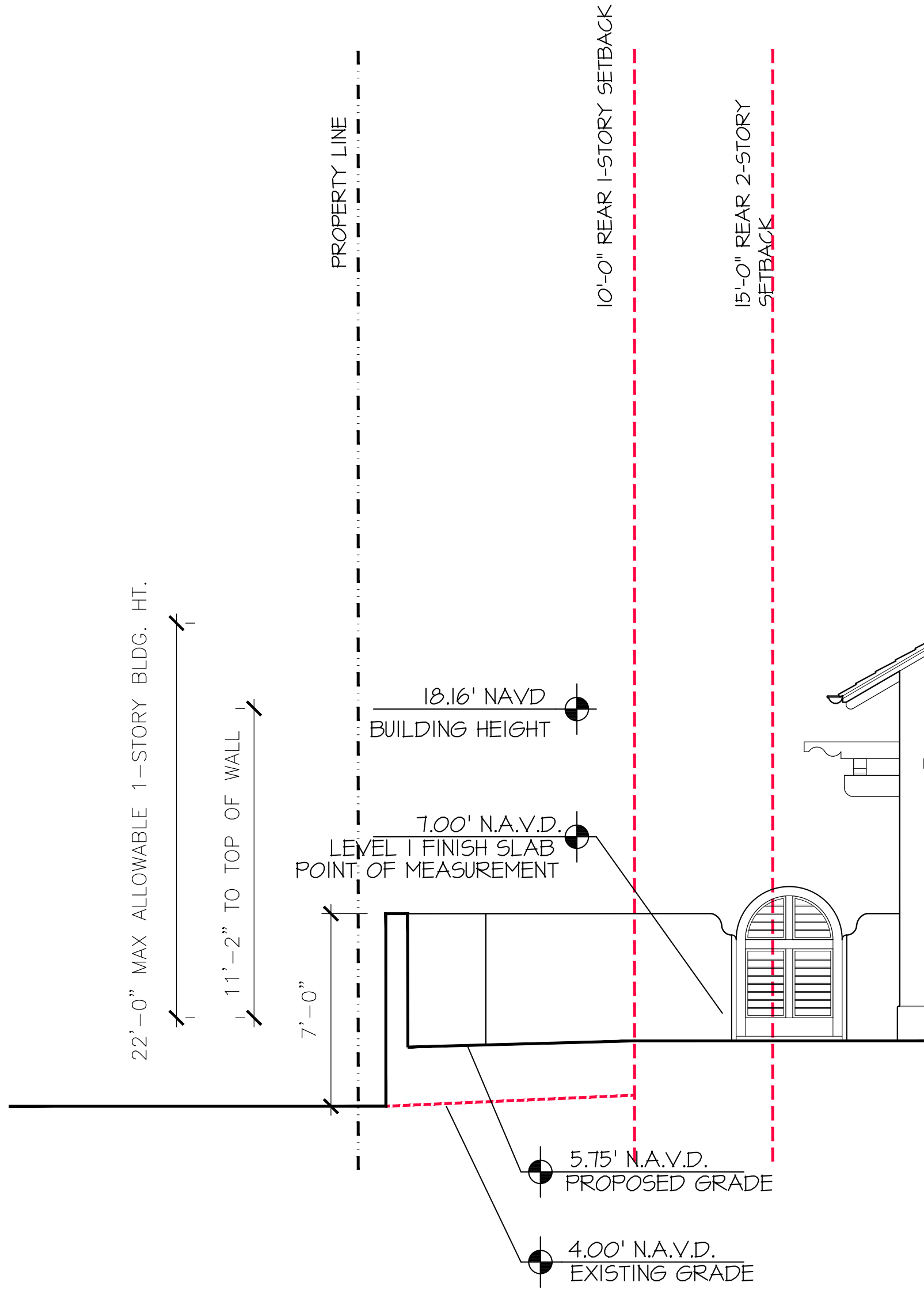
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4101, LICENSE #AA-C001914



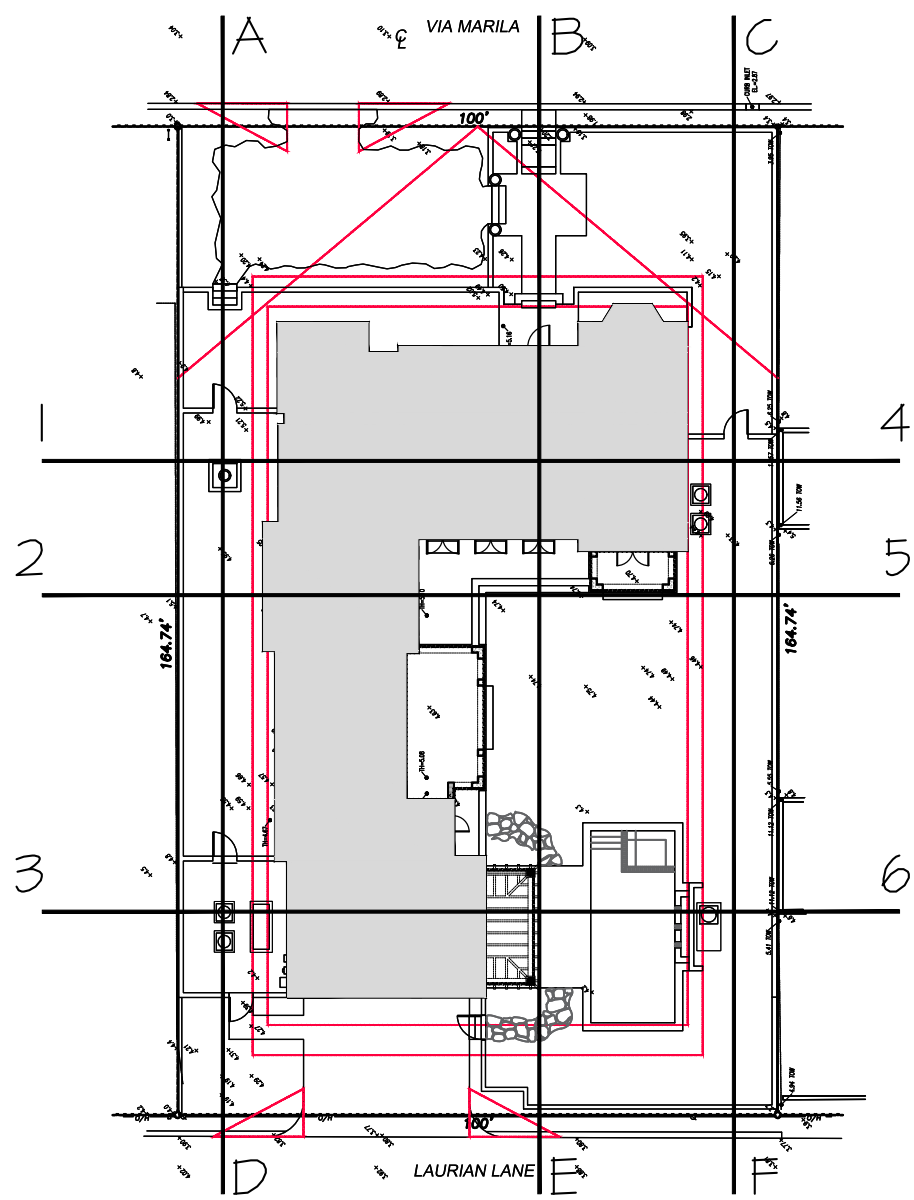
YARD SECTION D
SCALE 1/4" = 1'-0"



YARD SECTION A
SCALE 1/4" = 1'-0"



YARD SECTION E&F
SCALE 1/4" = 1'-0"



PROPOSED RESIDENCE AT:

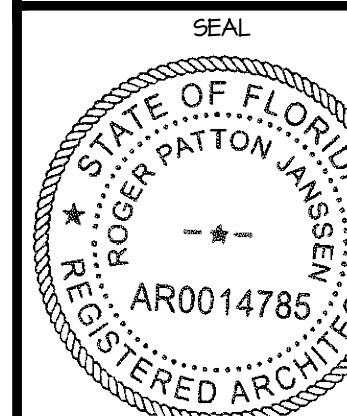
DATE: 2024.4.24

DRAWN: FM

REVISIONS:

• REV 01 T.B.24

©COPYRIGHT 2024 DAILEY
JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.

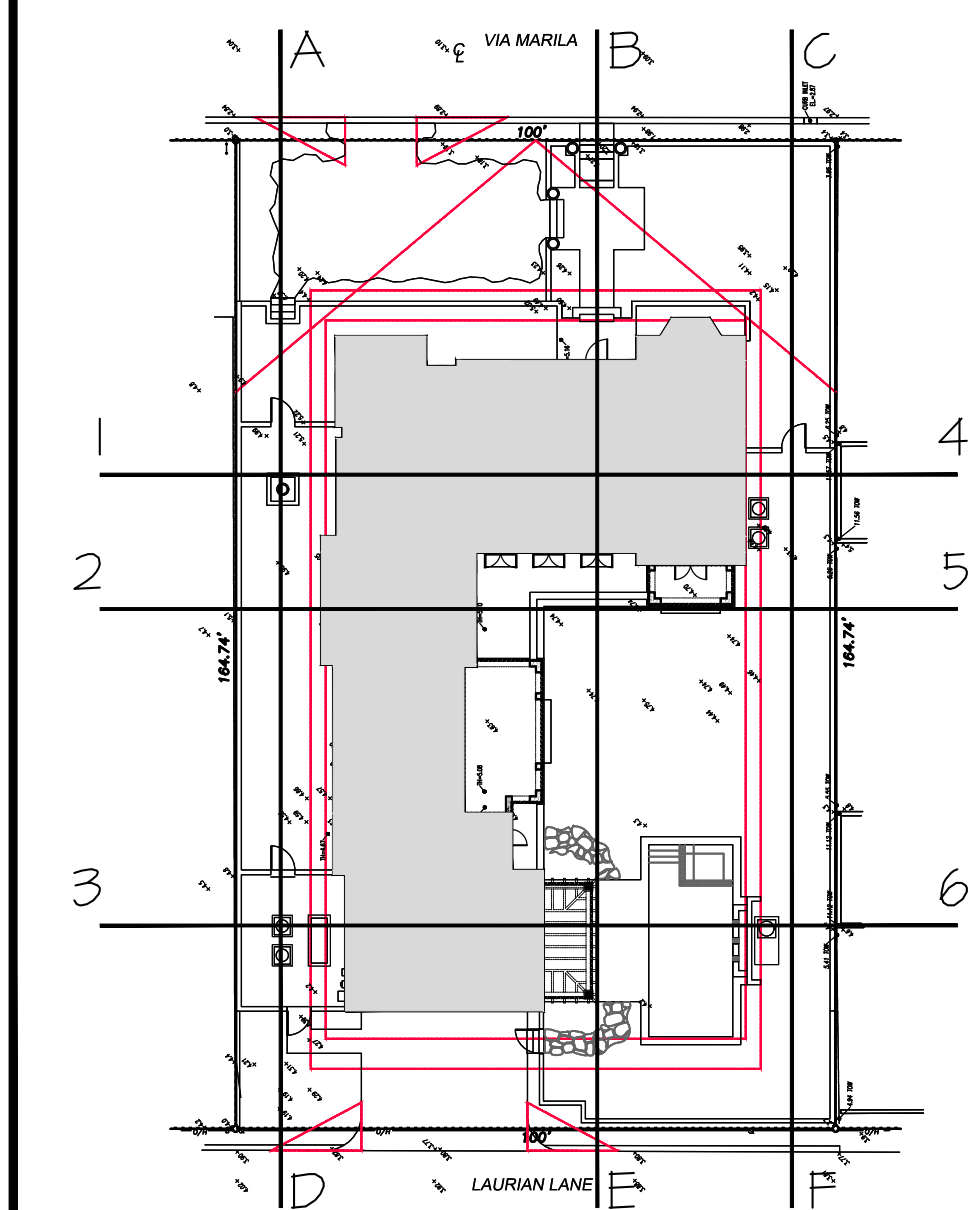
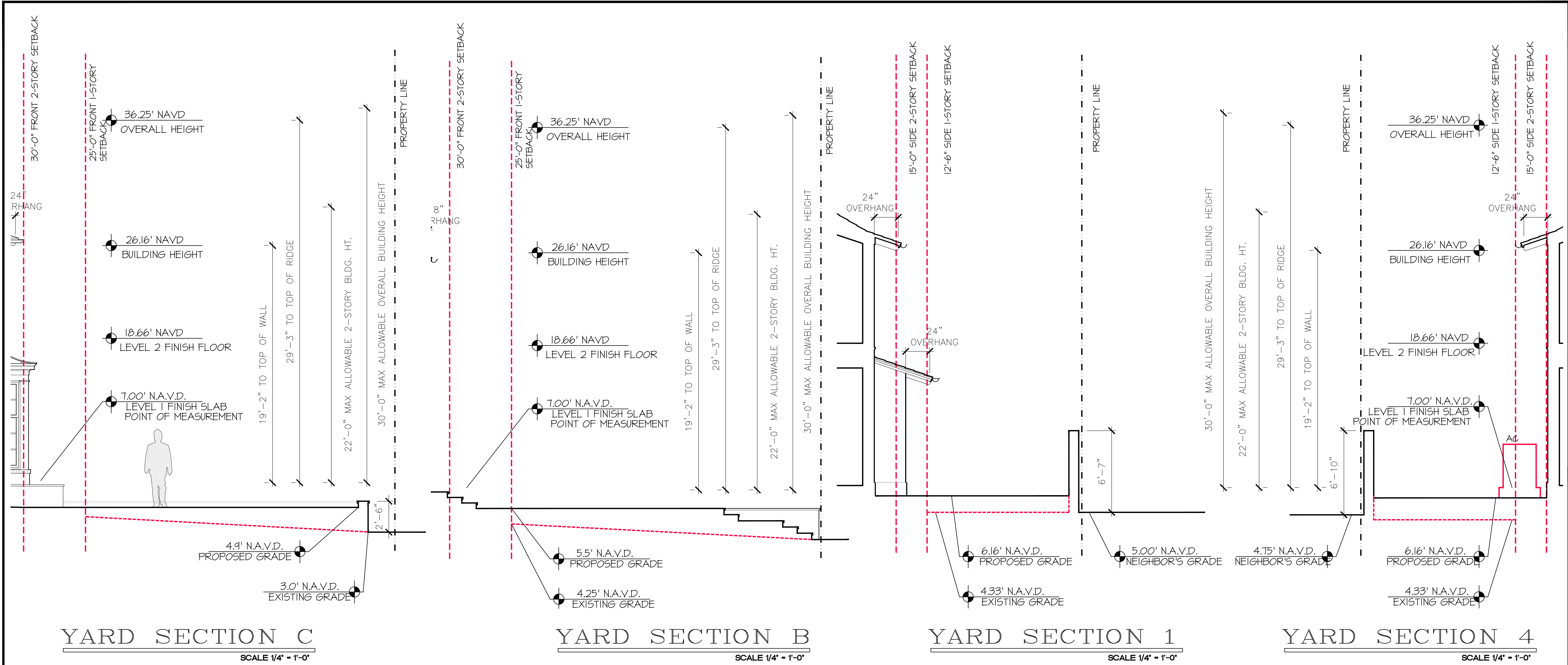


ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.08

JOB NUMBER: 24-103



PROPOSED RESIDENCE AT:

216 VIA MARILA

PALM BEACH COUNTY

TOWN OF PALM BEACH

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C00174

DATE: 2024.4.24

DRAWN: PM

REVISIONS:

REV 01 T.B.24

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

SEAL

STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER PATTON JANSSEN
AR0014785

ROGER P. JANSSEN AR-14785

DRAWING NO.

A2.09

JOB NUMBER:

24-103



COPPER STANDING SEAM



CORAL STONE ACCENTS



NATURAL CEDAR SHAKE



LIME WASHED BRICK



LIME WASHED CYPRESS EAVES

Simply White

OC-117

STUCCO

Nantucket Gray

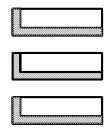
HC-111

SHUTTERS, SASHES, RAILINGS

PROPOSED RESIDENCE AT:

216 VIA MARILA

PALM BEACH COUNTY



DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-833-4101, LICENSE #AA-C00174

DATE: 2024.4.24

DRAWN: FM

REVISIONS:

• REV 01 10.24

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

•

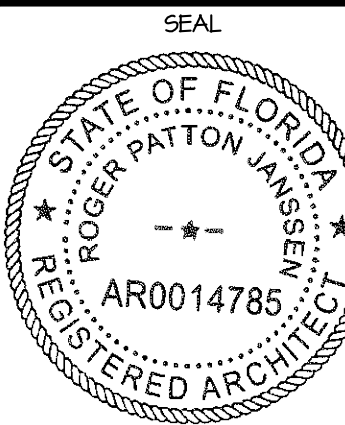
•

•

•

•

©COPYRIGHT 2024 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

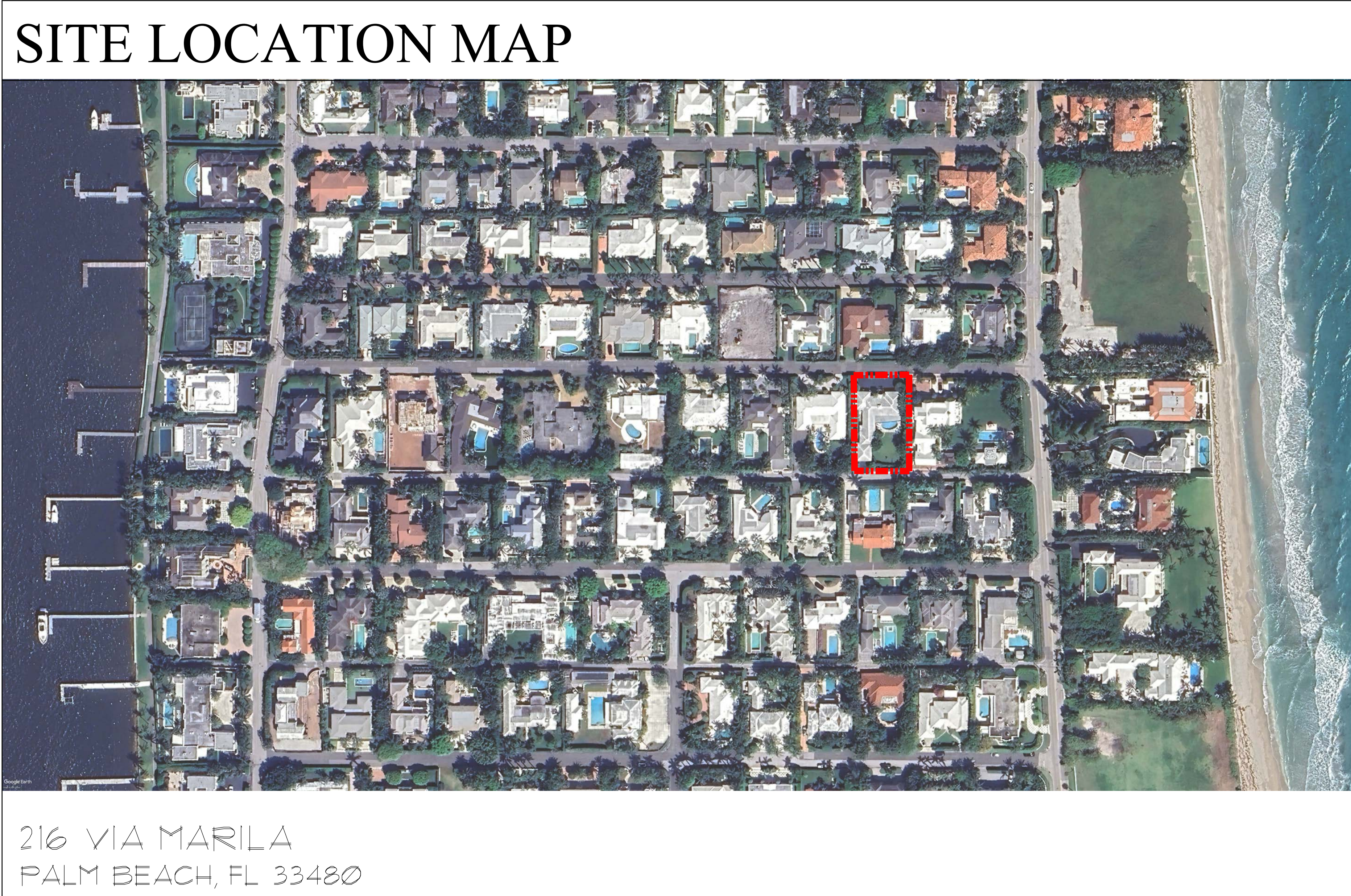
DRAWING NO.

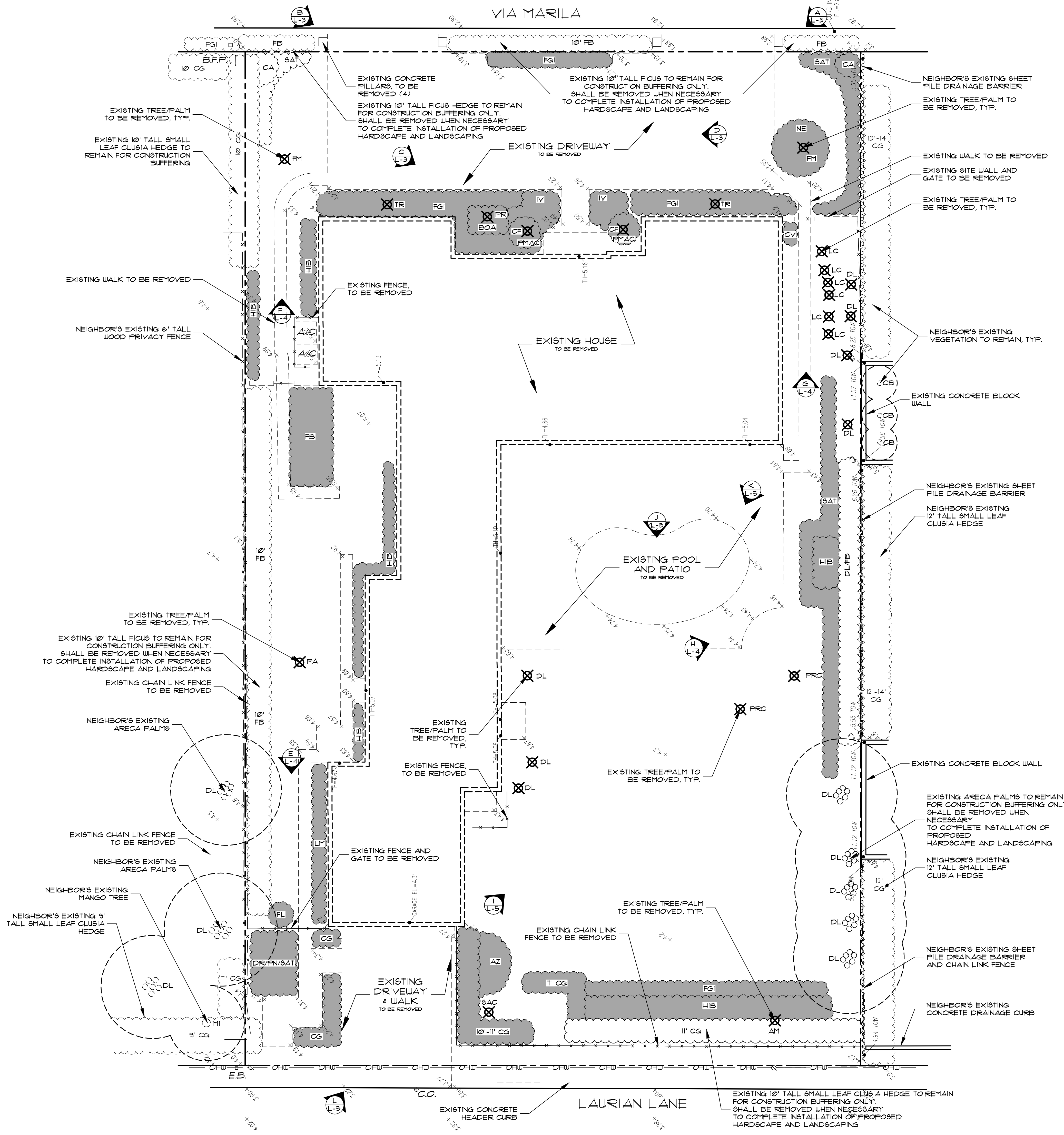
A2.10

JOB NUMBER: 24-103

216 VIA MARILA
PALM BEACH, FLORIDA
ARC-24-0013

TABLE OF CONTENTS	
LANDSCAPE / HARDSCAPE	
L-1	LANDSCAPE/HARDSCAPE COVER SHEET
L-2	EXISTING CONDITIONS AND LANDSCAPE/HARDSCAPE DEMOLITION PLAN
L-3	EXISTING SITE PHOTOGRAPHS
L-4	EXISTING SITE PHOTOGRAPHS
L-5	EXISTING SITE PHOTOGRAPHS
L-6	CONSTRUCTION SCREENING PLAN
L-7	CONSTRUCTION STAGING PLAN
L-8	TRUCK LOGISTICS PLAN
L-9	LANDSCAPE PLAN RENDERING
L-10	LANDSCAPE AND LANDSCAPE LIGHTING PLAN
L-11	PROPOSED LANDSCAPE ELEVATIONS
L-12	PROPOSED LANDSCAPE ELEVATIONS
L-13	PROPOSED LANDSCAPE ELEVATIONS
L-14	PROPOSED LANDSCAPE ELEVATIONS
L-15	PROPOSED LANDSCAPE ELEVATIONS
L-16	PLANT LIST
L-17	PLANTING DETAILS AND SPECIFICATIONS
L-18	HARDSCAPE PLAN
L-19	HARDSCAPE MATERIAL IMAGES
L-20	LANDSCAPE OPEN SPACE DIAGRAM
L-21	FLORIDA NATIVE LANDSCAPE DIAGRAM





Existing Plant Symbol Key

- Existing tree/palm to remain
- Existing tree/palm to be removed
- Existing vegetation to remain
- Existing vegetation to be removed

Existing Plant Key

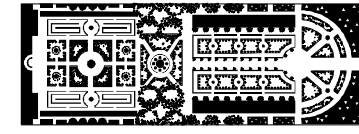
- AM = Adonidia merrillii / Christmas Palm
AZ = Alpinia zerumbet / Shell Ginger
BOA = Begonia odorata 'Alba' / White Angel Wing Begonia
CA = Crinum asiaticum / Crinum Lily
CB = Calophyllum brasiliense / Brazilian Beautyleaf
CF = Cyrtomium falcatum / Holly Fern
CG = Clusia guttifera / Small Leaf Clusia
CV = Codiaeum variegatum / Croton
DL = Dypsis lutescens / Areca Palm
DR = Dracaena speciosa / Dracaena
FB = Ficus benjamina / Weeping Fig
FGI = Ficus 'Green Island' / Green Island Ficus
FL = Ficus lyrata / Fiddle Leaf Fig
FM = Ficus microcarpa / Cuban Laurel
HIB = Hibiscus / Hibiscus shrub
IV = Ilex vomitoria 'Stokes Dwarf'
LC = Livistona chinensis / Chinese Fan Palm
LM = Liriope muscari / Liriope
MI = Mangifera indica / Mango
NE = Nephrolepis exaltata / Boston Fern
PA = Persea americana / Avocado
FMAC = Ptychosperma macarthurii / Macarthur Palm
FN = Psychotria nervosa / Wild Coffee
FR = Phoenix roebelenii / Pygmy Date Palm
FRC = Phoenix reclinata / Senegal Date Palm
SAC = Schefflera actinophylla / Umbrella Tree
SAT = Schefflera arboricola 'Trinette' / Variegated Dwarf Scheff
TR = Tririx radiata / Florida Thatch Palm

Existing Plant Removal List

SYM	QTY	NAME
AM	1	Adonidia merrillii / Christmas Palm
DL	12	Dypsis lutescens / Areca Palm
FM	2	Ficus microcarpa / Cuban Laurel
LC	6	Livistona chinensis / Chinese Fan Palm
PA	1	Persea americana / Avocado
FMAC	2	Ptychosperma macarthurii / Macarthur Palm
FR	1	Phoenix roebelenii / Pygmy Date Palm
FRC	2	Phoenix reclinata / Senegal Date Palm
SAC	1	Schefflera actinophylla / Umbrella Tree
TR	2	Tririx radiata / Florida Thatch Palm

Note:

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

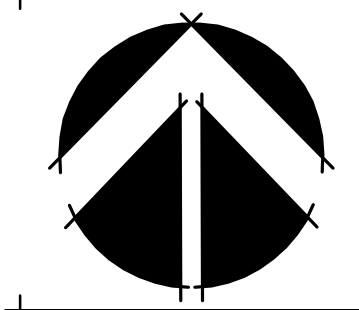
CUSTOM RESIDENCE

216 VIA MARILA
PALM BEACH, FLORIDA

EXISTING CONDITIONS AND LANDSCAPE/HARDSCAPE DEMOLITION PLAN

DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO.: 24-030
SCALE: 1/8"=1'-0"
FILENAME: 216 V1 03

REVISIONS:
4/12/24 First Submittal
4/23/24 Second Submittal
5/29/24 Per staff comments
7/8/24 Per staff comments



SHEET:
L-2

ARC: 24-0013



A
L-3

EXISTING VIEW FROM VIA MARILA



B
L-3

EXISTING VIEW FROM VIA MARILA



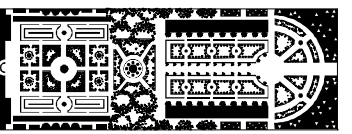
C
L-3

EXISTING RESIDENCE



D
L-3

EXISTING DRIVEWAY - INTERIOR VIEW



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO: 24-030
SCALE: N/A
FILENAME: 216 V11 09

REVISIONS:
4/12/24 First Submittal
4/29/24 Second Submittal
5/29/24 Per staff comments
7/8/24 Per staff comments



SHEET:
L-3

ARC: 24-0013



E EXISTING WEST SIDE YARD
L-4



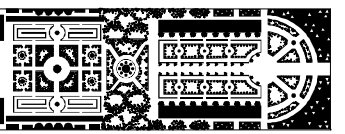
F EXISTING WEST SIDE YARD
L-4



G EXISTING EAST SIDE YARD
L-4



H EXISTING EAST SIDE YARD
L-4



PARKER • YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 3/19/24
DRAWN BY: SJW/ML
JOB NO: 24-030
SCALE: N/A
FILENAME: 216 V11 09

REVISIONS:
4/12/24 First Submittal
4/29/24 Second Submittal
5/29/24 Per staff comments
7/8/24 Per staff comments



SHEET:

L - 4

ARC: 24-0013



I
L-5

EXISTING REAR YARD



J
L-5

EXISTING REAR YARD



K
L-5

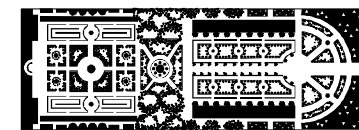
EXISTING REAR YARD



L
L-5

EXISTING REAR DRIVEWAY - VIEW FROM LAURIAN LANE

ARC: 24-0013



PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

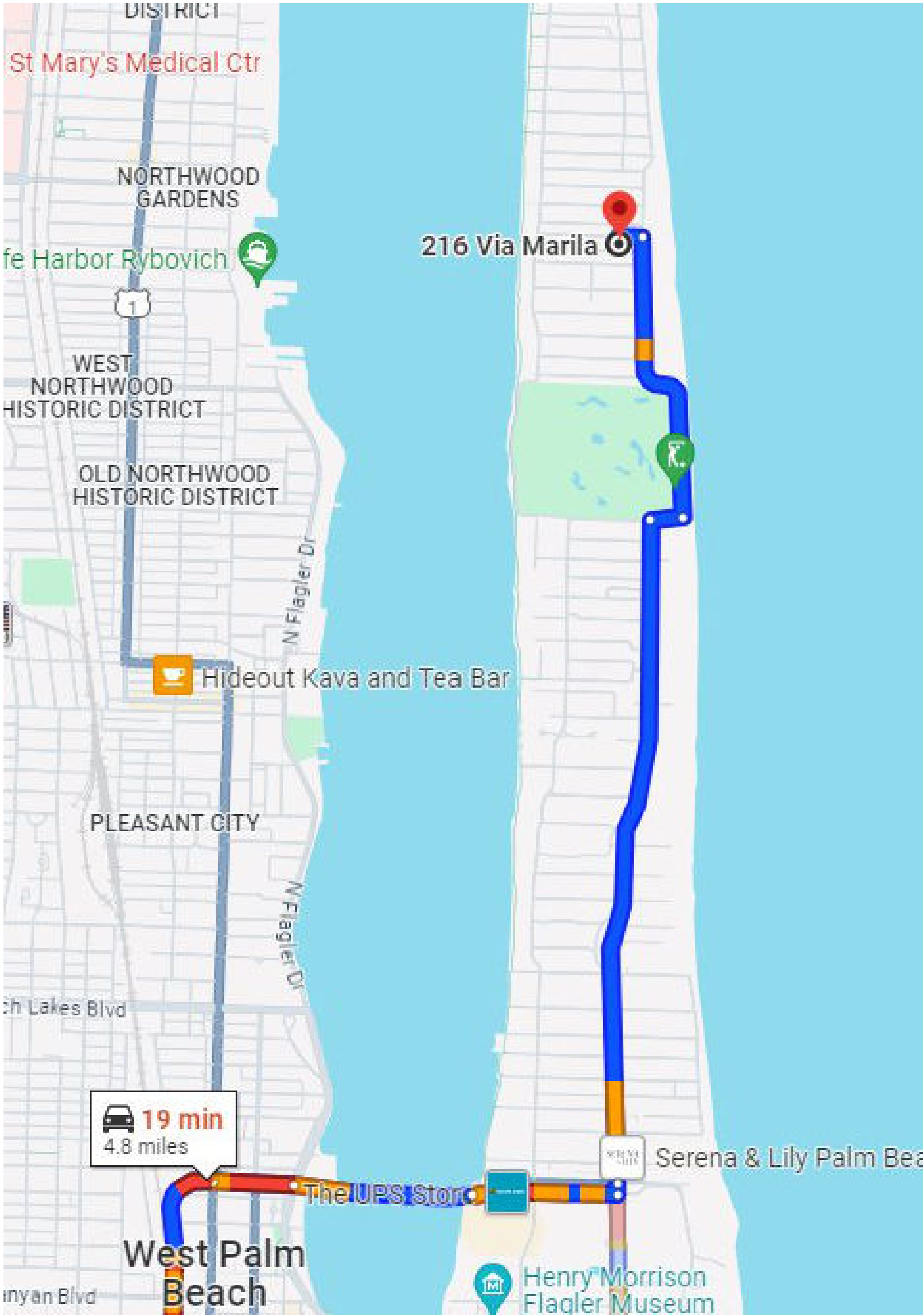
CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO: 24-030
SCALE: N/A
FILENAME: 216 V11 09

REVISIONS:
4/1/24 First Submittal
4/29/24 Second Submittal
5/29/24 Per staff comments
7/8/24 Per staff comments



SHEET:
L-5

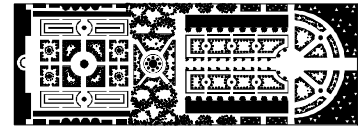


PRELIMINARY CONSTRUCTION SCHEDULE

ARCHITECTURAL COMMISSION MEETING	JUNE 26, 2024
PERMIT DRAWING PREPARATION AND PERMIT REVIEW	JULY 2024 - DECEMBER 2024
DEMOLITION OF EXISTING STRUCTURES AND LANDSCAPING	1 MONTH - COMMENCE FEBRUARY 2024
MOBILIZATION AND SITE PREPARATION	1 MONTH
FOUNDATION AND MECHANICAL ROUGH-IN	2 MONTHS
MASONRY INSTALLATION	1 MONTH
SET ROOF TRUSSES	1 MONTH
DOOR AND WINDOW INSTALLATION	1 MONTH
INTERIOR FRAMING	1½ MONTHS
MECHANICAL, ELECTRICAL AND PLUMBING ROUGH-IN	2 MONTHS
DRY WALL, TRIM, PAINT	3½ MONTHS
INSTALL FINISHES AND FIXTURES	6 MONTHS
LANDSCAPE AND HARDSCAPE INSTALLATION	2 MONTHS
PUNCH LIST AND FINAL INSPECTIONS	2 MONTHS
CLOSE-OUT	JANUARY 2025

Truck Logistics

- A. Roadways: Deliveries and workers will access Palm Beach by heading east on Quadrille Boulevard over the Flagler Memorial Bridge. Then head north on North County Road until it turns into North Ocean Blvd and continue north. Turn west onto Via Marila. The subject property is on the South side of the road.
- B. Maximum truck length = 30'
- C. Estimated number of deliveries generated by this project = 200



PARKER-YANNETTE
design group, inc.

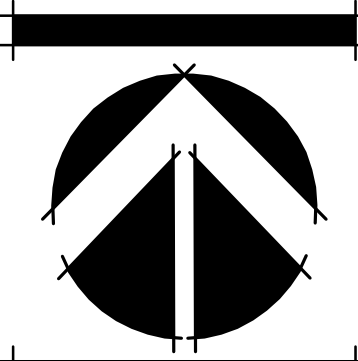
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
TRUCK LOGISTICS PLAN

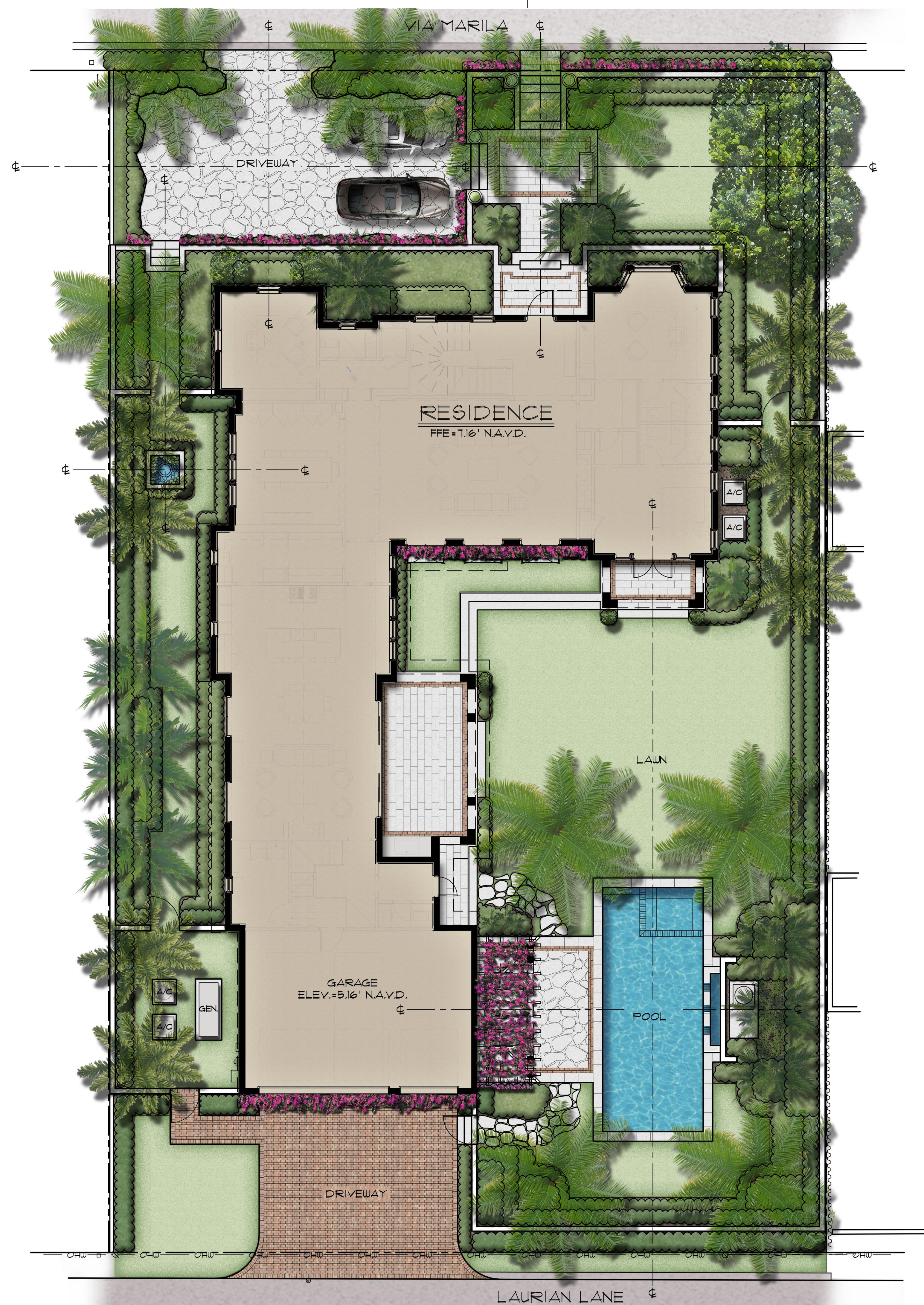
DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO.: 24-030
SCALE: 1/8"=1'-0"
FILENAME: 216 V11.DWG

REVISIONS:
4.11.24 First Submittal
4.29.24 Second Submittal
5.09.24 Per staff comments
7.02.24 Per staff comments



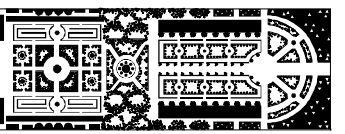
SHEET:
L-8

ARC: 24-0013



PREVIOUSLY PROPOSED

ARC: 24-0013



PARKER-YANNETTE
design group, inc.

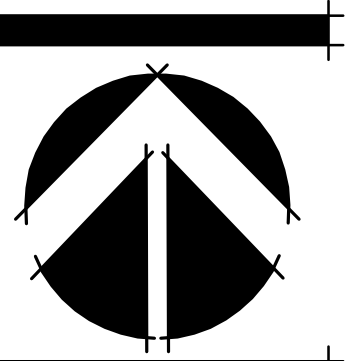
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

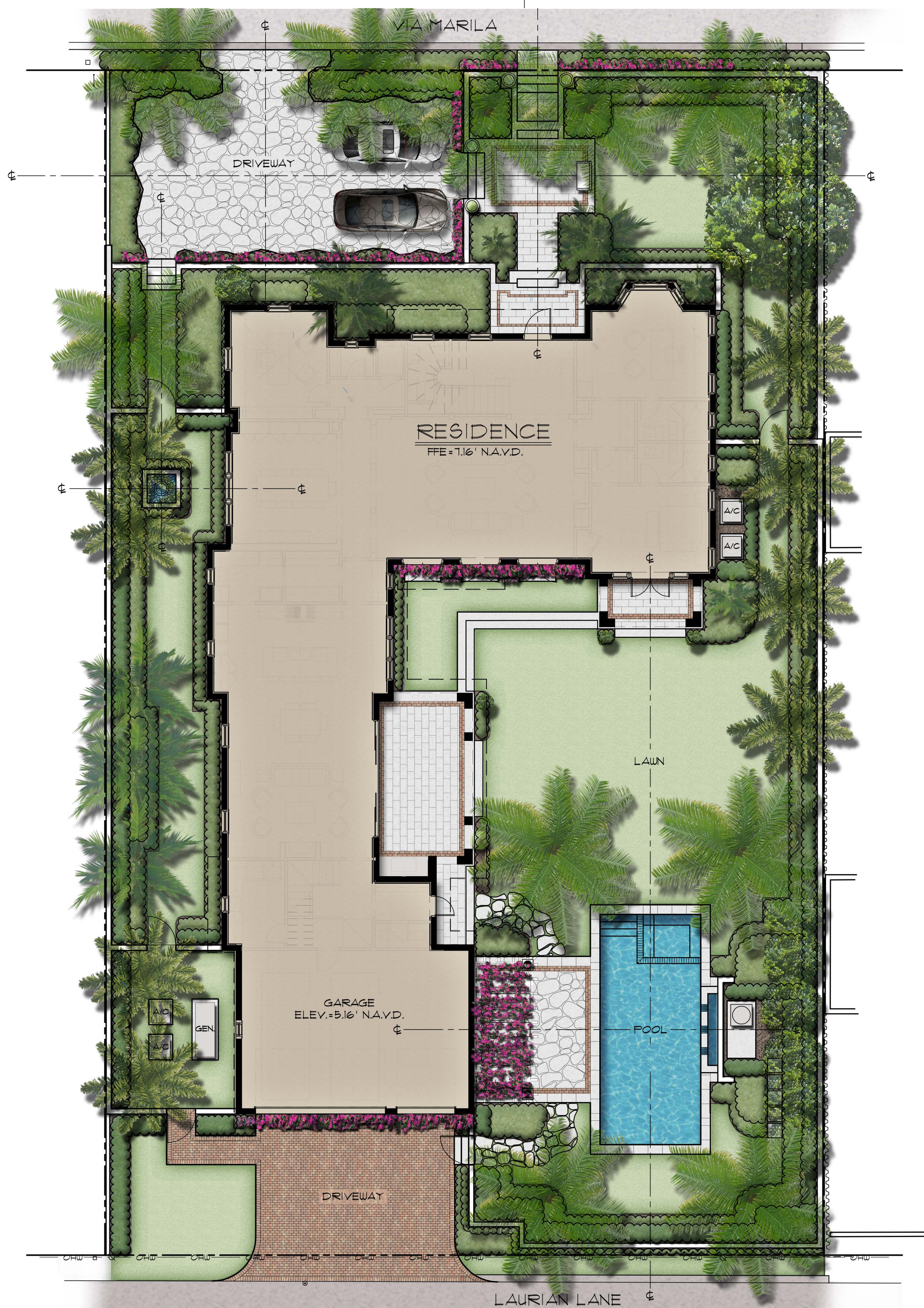
CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
LANDSCAPE PLAN RENDER

DATE: 3/19/24
DRAWN BY: SJW/ML
JOB NO: 24-030
SCALE: 1/8"=1'-0"
FILENAME: 216 V11 09

REVISIONS:
4.11.24 First Submittal
4.29.24 Second Submittal
5.09.24 Per staff comments
7.02.24 Per staff comments

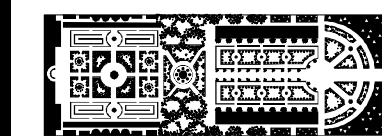


SHEET:
1-9



CURRENTLY PROPOSED

ARC: 24-0013



PARKER-YANNETTE
design group, inc.

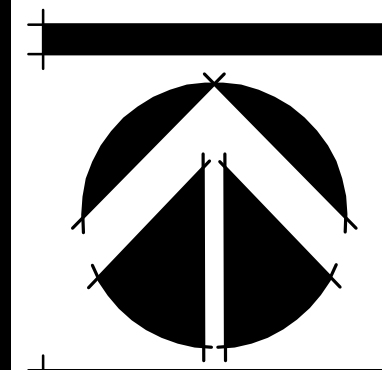
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

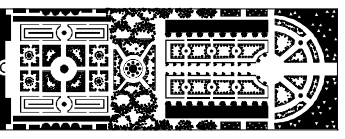
CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
LANDSCAPE PLAN RENDER

DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO: 24-030
SCALE: 1/8"=1'-0"
FILENAME: 216 V11 09

REVISIONS:
4.11.24 First Submittal
4.29.24 Second Submittal
5.09.24 Per staff comments
7.02.24 Per staff comments



SHEET:
1-9



PARKER-YANNETTE
design group, inc.

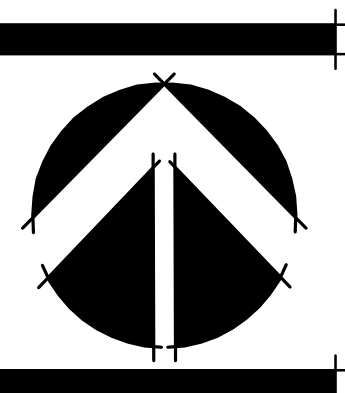
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

CUSTOM RESIDENCE
216 VIA MARILA
PALM BEACH, FLORIDA
LANDSCAPE AND LANDSCAPE LIGHTING PLAN

DATE: 3/18/24
DRAWN BY: SJW/ML
JOB NO.: 24-030
SCALE: 1/8"=1'-0"
FILENAME: 216 V1 01

REVISIONS:
4/12/24 First Submittal
4/23/24 Second Submittal
5/29/24 Per staff comments

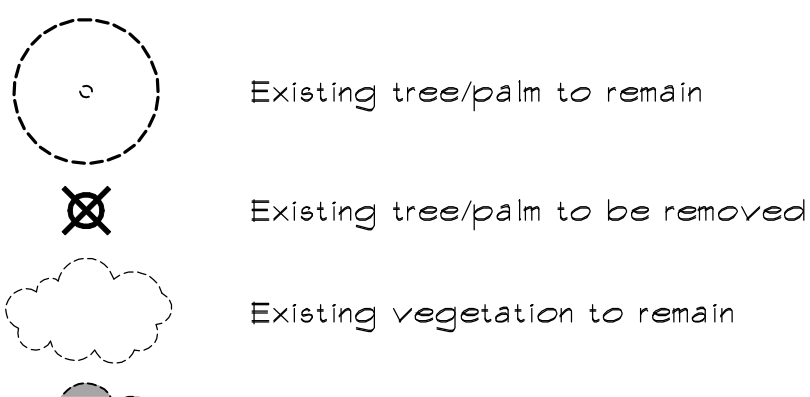


MAY 9, 2024

SHEET:

L-10

Existing Plant Symbol Key



Existing Plant Key

AM = Adonidia merillii / Christmas Palm
AZ = Alpinia zerumbet / Shell Ginger
BOA = Begonia odorata 'Alba' / White Angel Wing Begonia
CA = Crinum asiaticum / Crinum Lily
CB = Calophyllum brasiliense / Brazilian Beautyleaf
CF = Cyrtomium falcatum / Holly Fern
CG = Clusia guttifera / Small Leaf Clusia
CV = Codiaeum variegatum / Croton
DL = Dypsis lutescens / Areca Palm
DR = Dracaena speciosa / Dracaena
FB = Ficus benjamina / Weeping Fig
FGI = Ficus 'Green Island' / Green Island Ficus
FL = Ficus lyrata / Fiddle Leaf Fig
FM = Ficus microcarpa / Cuban Laurel
HIB = Hibiscus / Hibiscus shrub
IV = Ilex vomitoria 'Stokes Dwarf'
LC = Livistona chinensis / Chinese Fan Palm
LM = Liriope muscari / Liriope
MI = Mangifera indica / Mango
NE = Nephrolepis exaltata / Boston Fern
PA = Persea americana / Avocado
PMAC = Ptychosperma macarthurii / Macarthur Palm
FN = Psychotria nervosa / Wild Coffee
PR = Phoenix roebelenii / Pygmy Date Palm
FRC = Phoenix reclinata / Senegal Date Palm
SAC = Schefflera actinophylla / Umbrella Tree
SAT = Schefflera arboricola 'Trinette' / Variegated Dwarf Scheff
TR = Tririx radiata / Florida Thatch Palm

Landscape Lighting Specifications

SYM	QTY	SPECIFICATION
A	24	CAST BRASS ACCENT LIGHT; WAC 5011-21BBR 12V 8W LED, 60" WIDE FLOOD
B	5	CAST BRASS ACCENT LIGHT; WAC 5011-21BBR 12V 4W LED, 40" WIDE FLOOD
C	4	CAST BRASS WELL LIGHT; WAC 5031-21BBR 12V 8W LED, 60" WIDE FLOOD
D	10	CAST BRASS PATH LIGHT; WAC 6041-21BBR 12V 6.5 W LED, TIKI PATH LIGHT

LANDSCAPE LIGHTING DATA:

TOTAL LOT AREA = 16,474 SQ. FT. (0.378 ACRES)

TOTAL LIGHT FIXTURES = 43

TOTAL FIXTURES PER ACRE: 114 (150 MAX.)

TOTAL WATTS PROPOSED (LED) = 309 WATTS

TOTAL WATTS PER ACRE (LED) = 811 WATTS/ACRE (5,000 WATTS/ACRE MAX.)

TOTAL WATTS PROPOSED (HALOGEN / INCANDESCENT EQUIVALENT) = 1,405 WATTS

TOTAL WATTS PER ACRE (HALOGEN / INCANDESCENT EQUIVALENT) = 3,711 WATTS/ACRE (5,000 WATTS/ACRE MAX.)

LANDSCAPE LIGHTING NOTES:

- MOUNT ALL ABOVE GROUND FIXTURES ON M6000-STAKE.
- INSTALL ALL LOW VOLTAGE WIRING IN CONDUIT MINIMUM 12" BELOW GRADE.
- ALL FIXTURES SHALL BE 6'-0" MINIMUM FROM SWIMMING POOL, OR OTHER BODY OF WATER.
- ALL FIXTURES WITHIN 10'-0" OF POOL SHALL HAVE A TRANSFORMER BASE AND GFCI PROTECTION.
- NO FIXTURE SHALL EXCEED 80 WATTS.
- NO LIGHT BULB OR FIXTURE SHALL BE VISIBLE FROM OUTSIDE OF THE PROPERTY.
- NO MORE THAN 1/2 FOOT-CANDLE OF LIGHT SHALL BE REFLECTED OFF OF THE PROPERTY.



ARC: 24-0013

PREVIOUSLY PROPOSED

