

NO CHANGES MADE

SEASPRAY AVENUE



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

SITE PLAN
VILLA VANILLA

346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



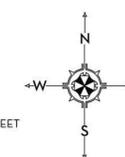
NIEVERA WILLIAMS
DESIGN

625 North Flagler Drive
Suite 502
West Palm Beach, Florida
33480
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

SP

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"



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PREVIOUSLY APPROVED
ARC - 21 - 069



PROPOSED

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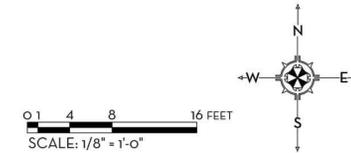


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SCALE: AS SHOWN

NORTH ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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WEST ELEVATION
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346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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SOUTH ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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EL3

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EAST ELEVATION
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



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EL4

OVERALL R-B SITE CALCULATIONS:

SITE AREA =	18,375 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,269 SQ FT	45%
EXISTING =	6,338 SQ FT	34.5%
PROPOSED =	8,489 SQ FT	45.6%

FRONT SETBACK SITE CALCULATIONS:

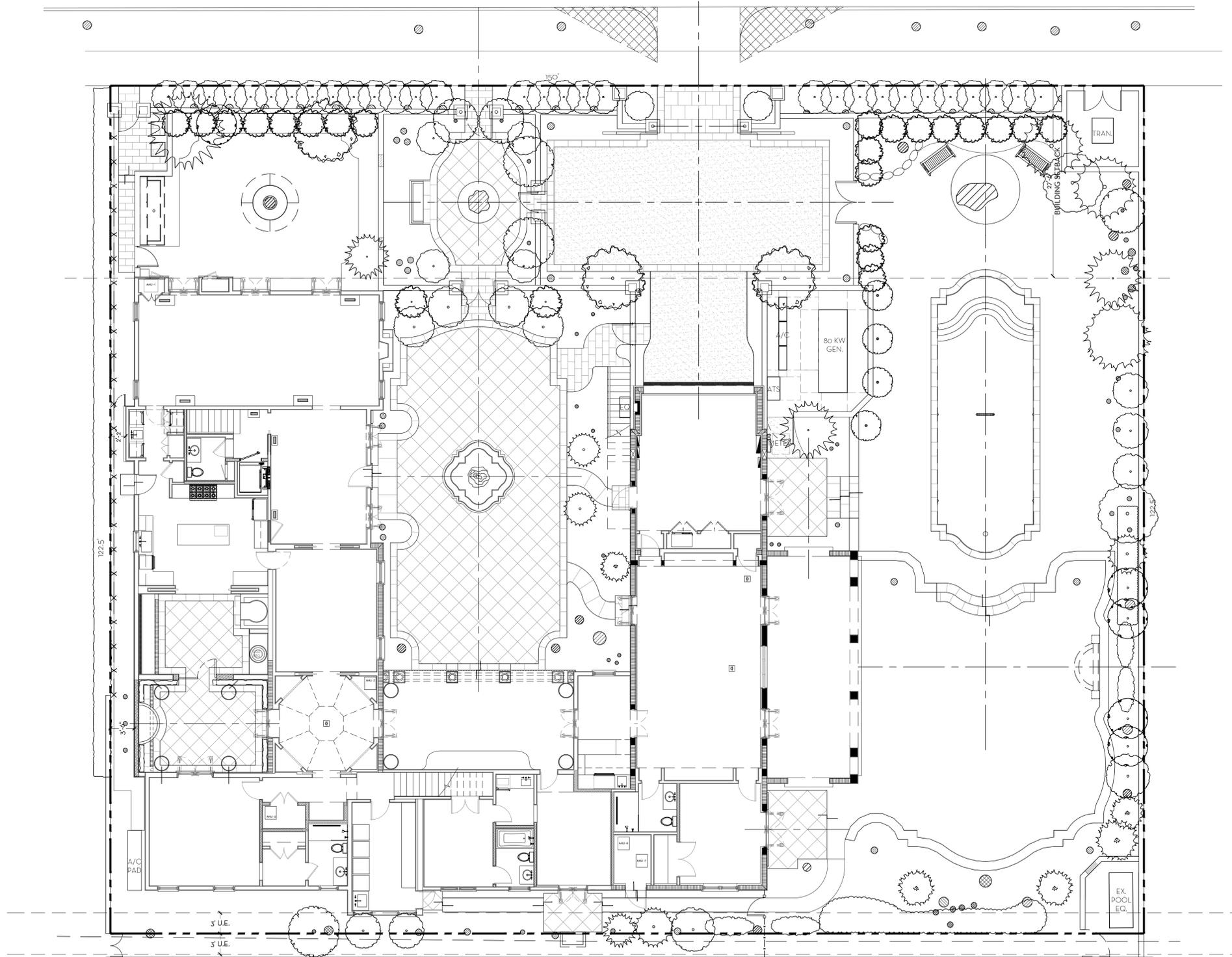
25' SETBACK AREA =	3,750 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,500 SQ FT	40%
EXISTING =	2,673 SQ FT	71.3%
PROPOSED =	2,548 SQ FT	67.9%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,050 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,269 SF) = 4,135 REQUIRED	
EXISTING =	2,840 SQ FT
PROPOSED =	3,344 SQ FT

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SEASPRAY AVENUE



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SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

MAY 24 2024
MAY 09 2024



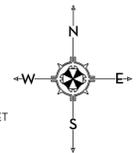
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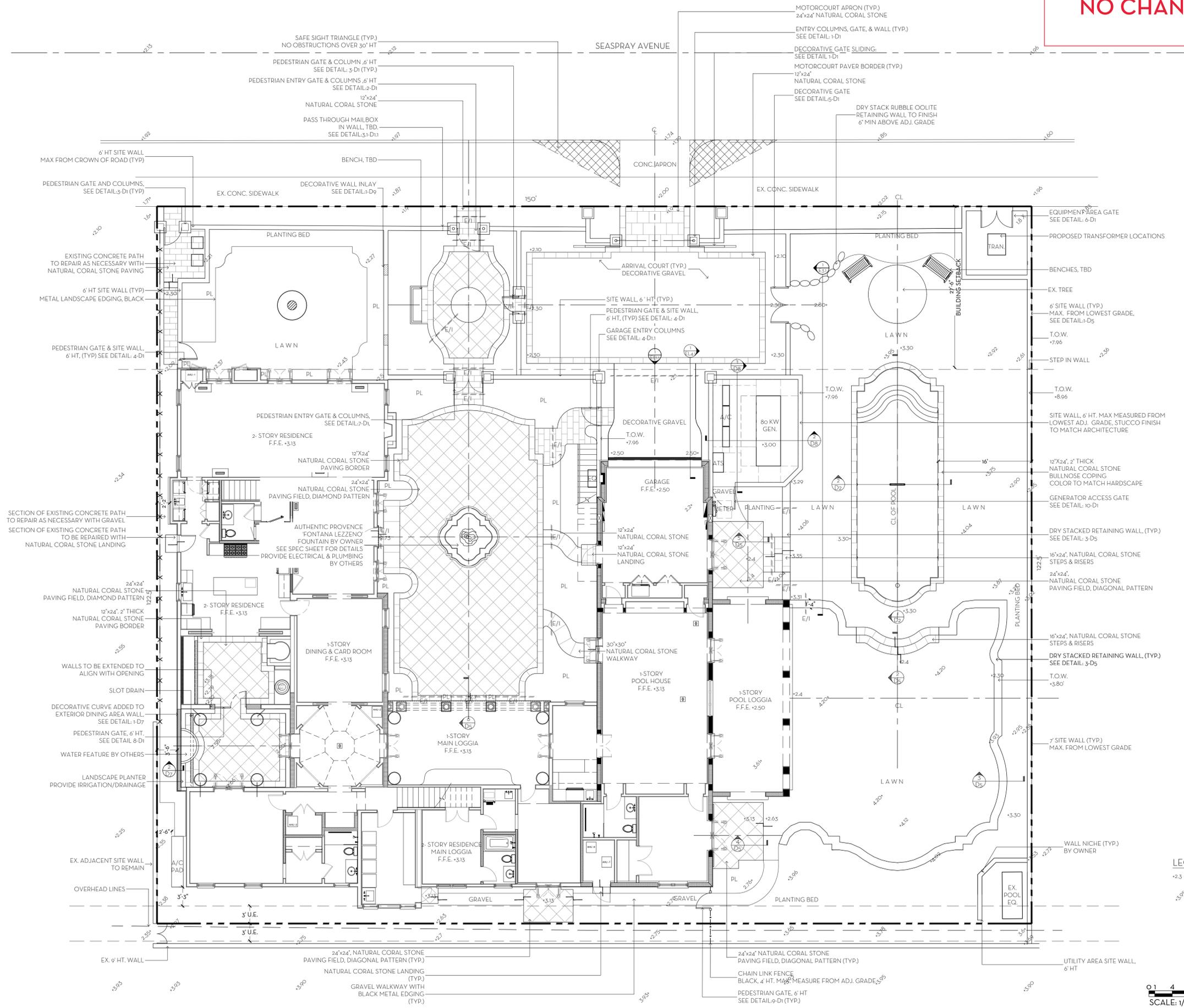
0 4 8 16 FEET
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HARDSCAPE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

JUNE 07 2024
MAY 24 2024
MAY 09 2024



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RELAXED HONED COQUINA
DOMINICAN CORAL

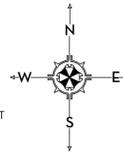
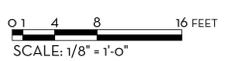
PROPOSED



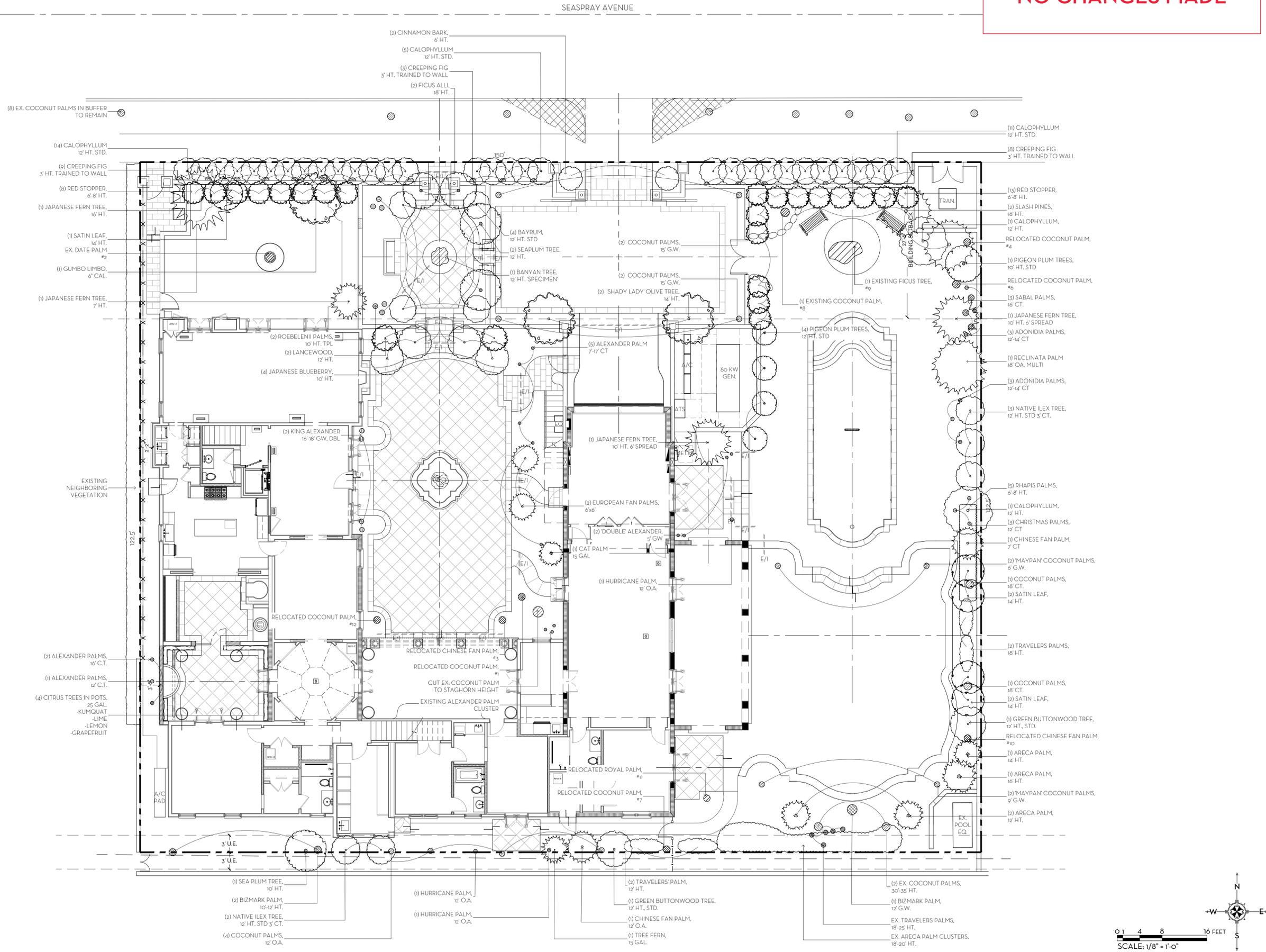
NATURAL CORAL STONE

LEGEND

- +2.3 PROPOSED GRADE ELEVATION
- +3.0 EXISTING GRADE ELEVATION



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LANDSCAPE PLAN
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346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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MAY 24 2024
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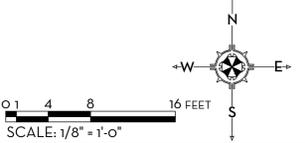


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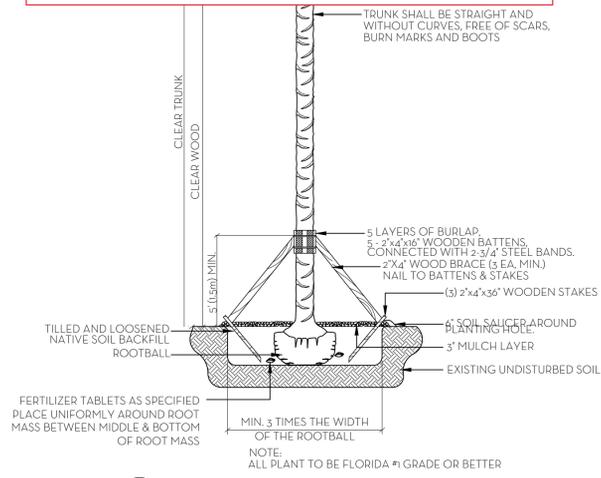
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LP1

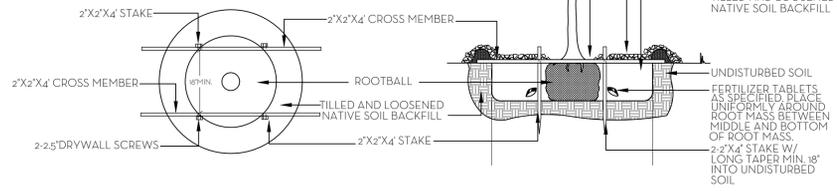


NO CHANGES MADE

- NOTES:**
1. ALL WOOD SHALL BE SPRUCE OR PINE NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRIPS &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRIPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
 6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.

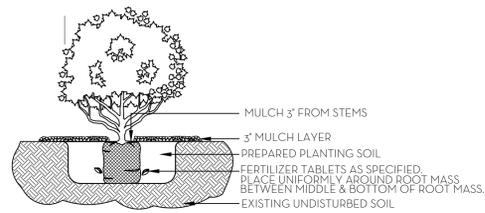


PALM PLANTING DETAIL
N.T.S.

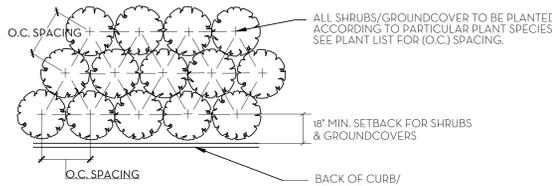


TREE PLANTING DETAIL
N.T.S.

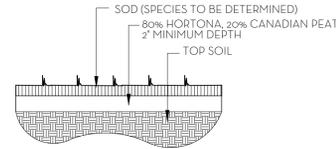
- SOD NOTES:**
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4"-5" BELOW GRADE
 2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTONA AND 20% CANADIAN PEAT, 2" MIN.
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



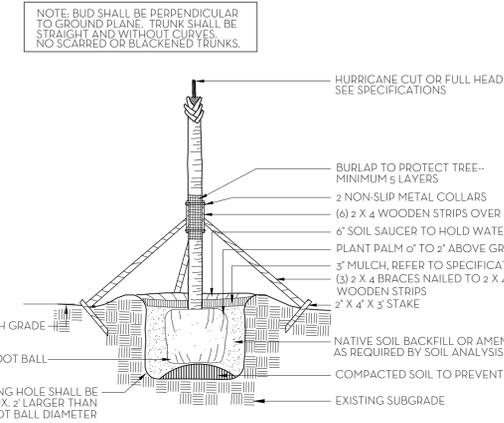
SHRUB & GROUNDCOVER PLANTING DETAIL
N.T.S.



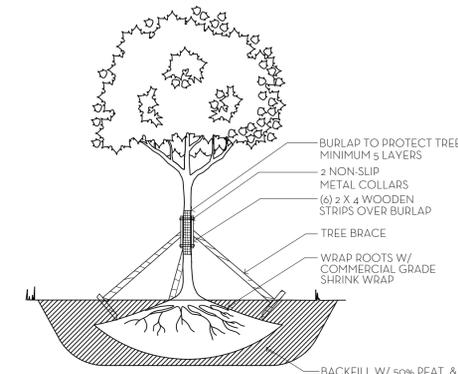
PLANT SPACING DETAIL
N.T.S.



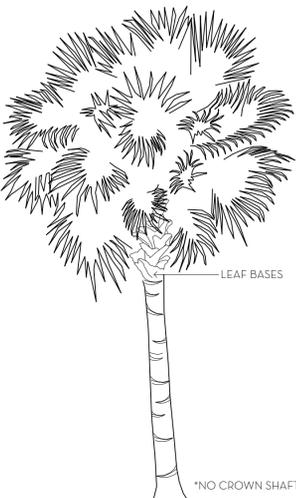
SOD PLANTING DETAIL
N.T.S.



PALM TREE PLANTING AND STAKING DETAIL
N.T.S.



TREE ROOT PRUNING DETAIL
N.T.S.



PALM SPECIFICATION DETAIL
N.T.S.

FERTILIZATION

SHRUBS AND TREES
ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN:	1 - 21 GRAM TABLET
3 GALLON CAN:	2 - 21 GRAM TABLETS
5 GALLON CAN:	3 - 21 GRAM TABLETS
7 GALLON CAN:	4 - 21 GRAM TABLETS

TREES: 3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER
PALMS: 7 - 21 GRAM TABLETS

GROUND COVER AREAS
ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

NATIVE LANDSCAPE CALCULATIONS

LANDSCAPE OPEN SPACE: (8,272 SF)
REQUIRED = 2,068 SQ FT 25%
PROPOSED = 2,808 SQ FT 33.9%

Landscape Material Schedule					
Item No.	Common Name	Botanical Name	Quantity	Native	Specification
TREES					
1	Banyan Tree	Ficus benghalensis	1		12' HT. 'SPECIMEN'
2	Bayum	Pimenta racemosa	4		12HT. STD.
3	Calophyllum	Calophyllum antillarum	42		12 HT. STD.
4	Weeping Hibiscus	Hibiscus schizopetalus	6		6'-8' HT.
5	Ficus Alii	Ficus binnendijkii 'Alii'	2		7' HT.
6	Ficus Alii	Ficus binnendijkii 'Alii'	2		18HT.
7	Gumbo Limbo	Bursera simaruba	1	490	6" CAL.
8	Green Buttonwood	Conocarpus erectus	1	390	12' HT. STD.
9	Japanese Blueberry	Eleocharis decipiens	4		10' HT.
10	Japanese Fern Tree	Athyrium niponicum	1		10' HT.
11	Japanese Fern Tree	Athyrium niponicum	1		10' HT. 6" Spread
12	Japanese Fern Tree	Athyrium niponicum	1		7' HT.
13	Native Ilex	Ilex opaca	5	290	12' HT. STD. 3' CT.
14	Pigeonplum	Coccoloba diversifolia	4	400	12HT. STD.
15	Satin Leaf	Chrysophyllum oliviforme	4		14' HT.
16	Sasplum Tree	Coccoloba diversifolia x uvifera	1		10' HT.
17	'Shady Lady' Olive Tree	Terminalia buceras	2	240	14' HT.
18	Slash Pine	Pinus elliottii	2	100	16' HT.
PALMS					
19	Adonidia	Adonidia merrillii	6		12'-14' CT.
20	Thrinax Palm	Thrinax radiata	2	630	16'-18' GW. DBL
21	Alexander Palm	Pythosperma elegans	2		5' GW. DBL
22	Alexander Palm	Pythosperma elegans	1		12' CT.
23	Alexander Palm	Pythosperma elegans	2		18' CT.
24	Alexander Palm	Pythosperma elegans	2		7'-10' CT.
25	Areca Palm	Dypsis lutescens	1		18HT.
26	Areca Palm	Dypsis lutescens	1		14 HT.
27	Areca Palm	Dypsis lutescens	2		12 HT.
28	Bismark Palm	Bismarckia nobilis	2		10'-12' HT.
29	Bismark Palm	Bismarckia nobilis	1		12' GW.
30	Cat Palm	Chamaedorea cataractarum	1		15 Gal.
31	Chinese Fan Palm	Livistona chinensis	1		7' CT.
32	Chinese Fan Palm	Livistona chinensis	1		12' O.A.
33	Christmas Palm	Veitchia merrillii	3		12' CT.
34	Coconut Palm	Cocos nucifera	4		12' O.A.
35	'Maypan' Coconut Palms	Cocos nucifera	2		6' G.W.
36	'Maypan' Coconut Palms	Cocos nucifera	2		6' G.W.
37	Coconut Palm	Cocos nucifera	2		18 CT.
38	European Fan Palm	Chamaerops humilis	2		6'x6'
39	Hurricane Palm	Dictyosperma album	3		12' O.A.
40	Roebelenii Palm	Phoenix roebelenii	2		10' HT. TDL
41	Sabal	Sabal palmetto	3	538	16' CT.
42	Traveler Palm	Revenala madagascariensis	2		18' HT.
43	Traveler Palm	Revenala madagascariensis	2		12' HT.
44	Reclinata Palm	Phoenix reclinata	1		18' O.A. MULTI
SHRUB/ACCENTS					
45	Red Stopper	Eugenia thombea	25		6'-8' HT.
46	Saw Palmetto	Serenoa repens	2		3'x3'
47	Tree Fern	Cyathea cooperi	4		3'x3'
48	Tibouchina	Tibouchina	1		5' HT.
49	Tibouchina	Tibouchina	2		3 GAL.
50	Yesterday, Today, Tomorrow	Brunfelsia calycina	3		7 GAL.
51	King Sago	Cycas revoluta	2		3'x3'
52	Philodendron 'Selloum'	Philodendron selloum 'Selloum'	1		4'x4'
53	Philodendron 'Selloum'	Philodendron selloum 'Selloum'	2		5'-4' HT.
54	Variiegated Shell Ginger	Alpinia zerumbet 'Variegata'	7		7 GAL.
55	Shell Ginger	Alpinia zerumbet	1		5'x5'
56	Copper Leaf	Acalypha	1		3'-4' HT.
57	Copper Leaf	Acalypha	1		3 GAL.
58	Tahitian Gardenia	Gardenia taitensis	3		7 GAL.
59	Bromeliad	Aechmea	10		3 GAL.
60	Sword Fern	Nephrrolepis biserrata	18	200	3 GAL.
61	Rhapis Bush	Rhapis exelsa	1	10	4' HT.
62	Gangus Primrose	Asystasia gangetica	20		1 GAL.
63	Licuala Palms	Licuala grandis	2		15 GAL.
64	Licuala Palm	Licuala grandis	4		3' HT.
65	Ti Plant	Cordyline fruticosa	4		3 GAL.
66	Giant Elephant Ear	Alocasia gigantea	1		3' HT.
67	Philodendron 'Burlie marx'	Philodendron 'Burlie marx'	4		1 GAL.
68	Philodendron 'Burlie marx'	Philodendron 'Burlie marx'	8		3 GAL.
69	Green Congo	Philodendron 'Congo'	8		3' HT.
70	Purple Crinum Lily	Crinum 'Purple'	2		7 GAL.
71	Ground Orchid	Spathoglottis	15		3 GAL.
72	Lantana Palm	Lantana lantarioides	2		3'x3'
GROUND COVER / VINES					
73	Variiegated Confederate Jasmine	Trachelospermum jasminoides 'Variegatum'	10		5' HT.
74	Podocarpus Pringlea	Podocarpus macrophyllus 'Pringlea'	180		3 GAL.
75	Carmona	Carmona microphylla	202		3 GAL.
76	Liriope	Liriope sp.	143		3 GAL.
77	Miniopa	Trachelospermum asiaticum 'Miniopa'	60		1 GAL.
78	lee Pink Oleander	Nerium oleander	2		7 GAL.
79	Annuals	Annuals	6		1 GAL.
80	Tabernaemontana Shrub	Tabernaemontana divaricata	3		3 GAL.
SOD					
81	Empire Zoysia		TBFV		
RELOCATE/EXISTING TO REMAIN					
82	Royal Palm	Roystonea regia	1		Relocated from on-site.
83	Alexander Palm Cluster	Pythosperma elegans	1		Existing to remain.
84	Traveler Palm	Revenala madagascariensis	2		18'-25' HT. Existing to remain.
85	Date Palm	Phoenix	1		Existing to remain.
86	Coconut Palm	Cocos nucifera	5		Relocated from on-site.
87	Coconut Palm	Cocos nucifera	10		To remain.
88	Coconut Palm	Cocos nucifera	2		20'-36' HT. Existing to remain.
89	Ficus Tree	Ficus altissima	1		Existing to remain.
90	Chinese Fan Palm	Livistona chinensis	2		Relocated from on-site.
91	Areca Palm Cluster	Dypsis lutescens	1		18'-20' HT. Existing to remain.

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PLANT LIST AND DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

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DESIGN

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SYMBOL	QUANTITY	CATEGORY	FIXTURE
	32	UP LIGHT	TITAN
	4	WELL LIGHT	SPJ-MW1000-P-GR
	10	PATH LIGHT	SPJ-SQ100-1
	5	DOWN LIGHT	TITAN
	5	WALL WASH LIGHT	SPJ-MWW2
	56	TOTAL	

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LANDSCAPE LIGHTING SPECIFICATIONS
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LL2

Forever Bright

SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

Electrical: Available in 9-15V, 12-15V

Labels: ETL Standard Wet Label C-ETL

Model: **SPJ-MW1000-P-GR**
Finish: PVDS

Well Light

DESCRIPTION

Model#: SPJ-MW1000-P-GR
Material: Solid Brass
Finish: PVD Satin
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Lamp:

Options:	Electrical	Lumens
FB-2W-CYL-TA16	8-15v	150
FB-3W-CYL-TA16	8-15v	200
FB-6W-CYL-TA16	12-15v	300
FB-8W-CYL-TA16	12-15v	580

Mounting: Concrete Flush Out

Wet Listed

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
SPJ-MW1000 P-GR	PVDS	3W	FLOOD	150	2700K	8-15V

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Electrical: Available in 9-15V

Labels: ETL Standard Wet Label C-ETL

Model: **SPJ-MWW2**
Finish: Matte Bronze

Wall Washer

DESCRIPTION

Model#: SPJ-MWW2
Material: Cast Brass
Finish: 9-15V
Electrical: Interchangeable - REC
Engine: 1W, 2W, 4W, 8W, 12W, 25W
Lumens:
Color Temp: 2700K
Mounting: 1/2" NPT, Niche
LED: Nichia

Wet Listed

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-MWW2	MBR	1W	85	2700K	9-15V

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Forever Bright

SPECIFICATION FEATURES

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Electrical: Available in 9-15V

Labels: ETL Standard Wet Label C-ETL

Model: **SPJ-SQ100-1**
Finish: PVD Graphite

Contemporary Path Light

DESCRIPTION

Model#: SPJ-SQ100-1
Material: Solid Brass
Finish: 9-15V
Electrical: FB-2WREC-TA-2-B-2700K
Lumens: 125
Color Temp: 2700K
Mounting: 1/2" NPT, Niche
LED: Nichia

Wet Listed

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-SQ100-1	PVDG	2W	125	2700K	9-15V

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SPECIFICATION FEATURES

Finish: Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".

Electrical: Available in 12V-15V or 120V

Labels: ETL Standard Wet Label C-ETL

Model: **Titan**

Directional Light

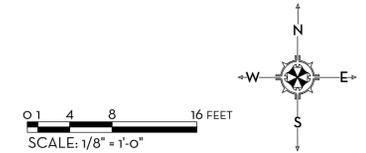
DESCRIPTION

Model#: Titan
Material: Solid Brass
Finish: Matte Bronze
Electrical: 12V-15V or 120V
Engine: FB-6W-TA16
Lumens: 300
Color Temp: 2700K
Optic: Spot, Flood, Wide Flood, Wide Angle Flood
Mounting: 1/2" NPT

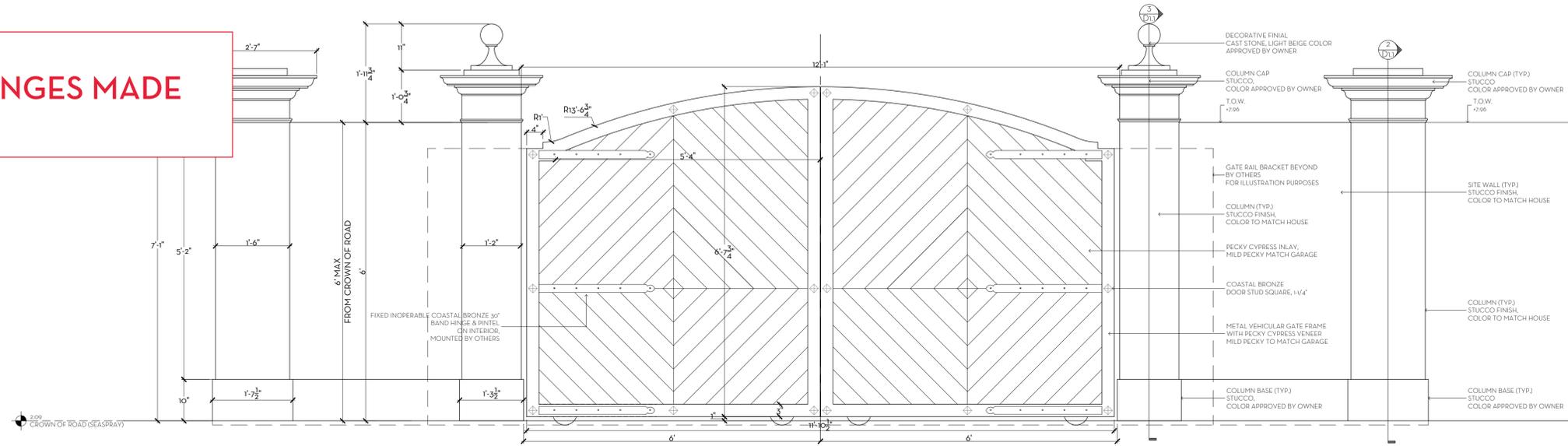
Wet Listed

Model#	Finishes	Wattage	Optics	Lumens	Color Temp.	Electrical
TITAN	MBR	6W	FLOOD	300	2700K	12V-15V

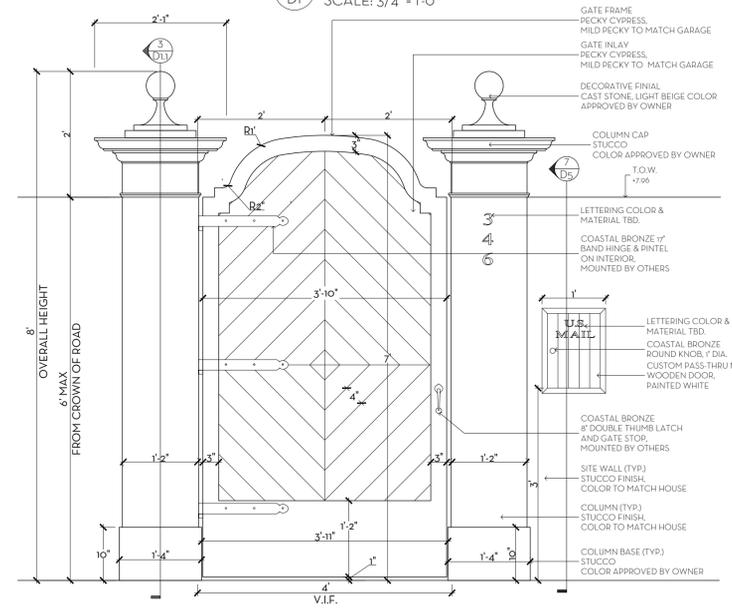
WWW.SPJLIGHTING.COM



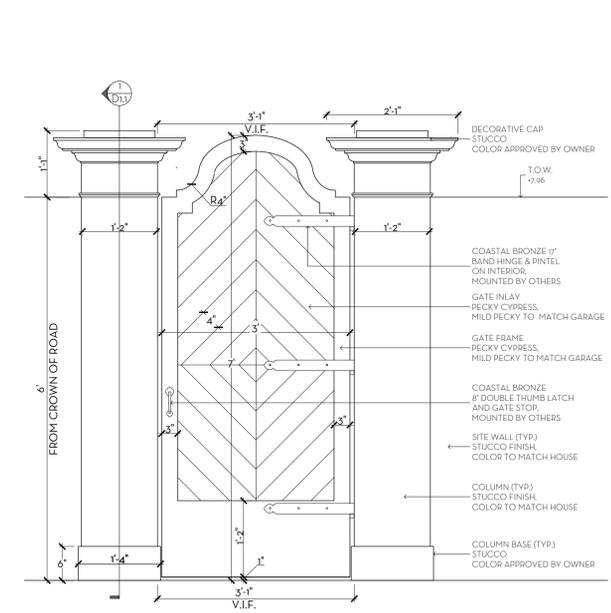
NO CHANGES MADE



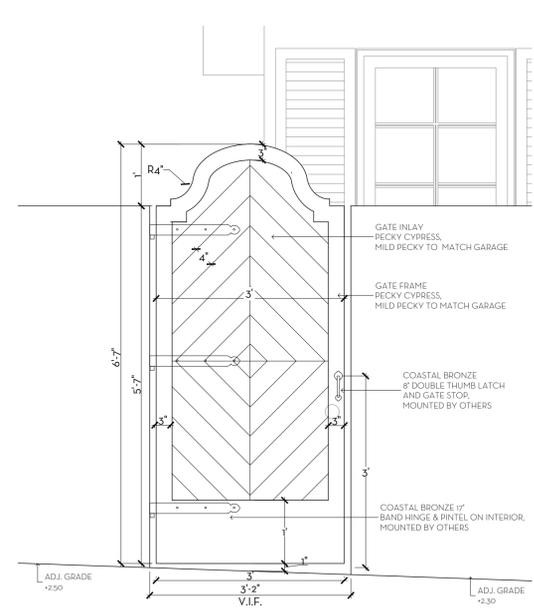
1 DRIVEWAY GATE ELEVATION
D1
SCALE: 3/4" = 1'-0"



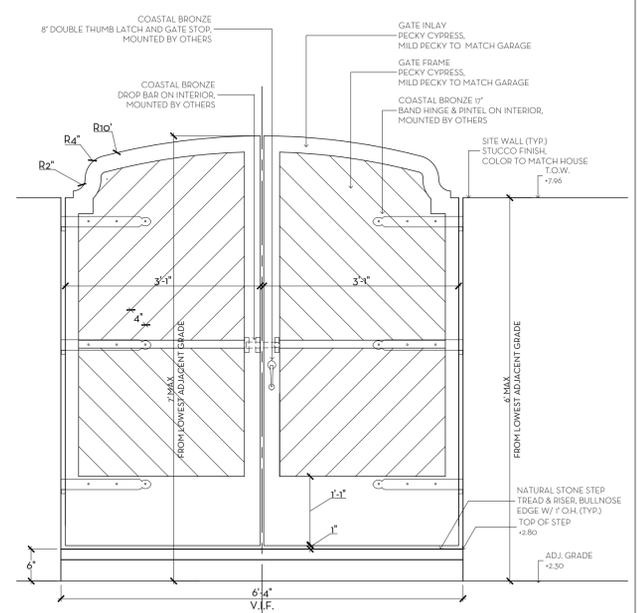
2 MAIN ENTRY COURTYARD GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



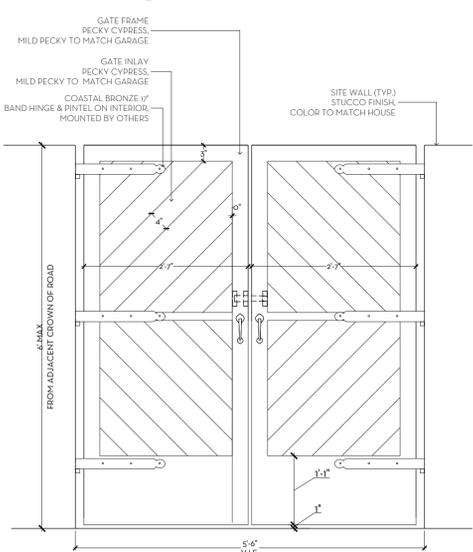
3 WEST SERVICE GATE - ELEVATION DETAIL (TYP.)
D1
SCALE: 3/4" = 1'-0"



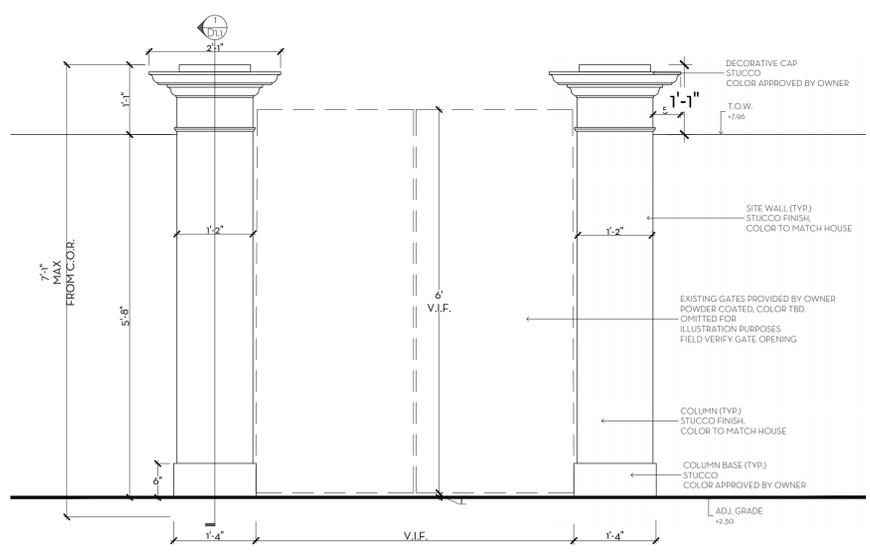
4 ENTRY COURTYARD/MOTORCOURT GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



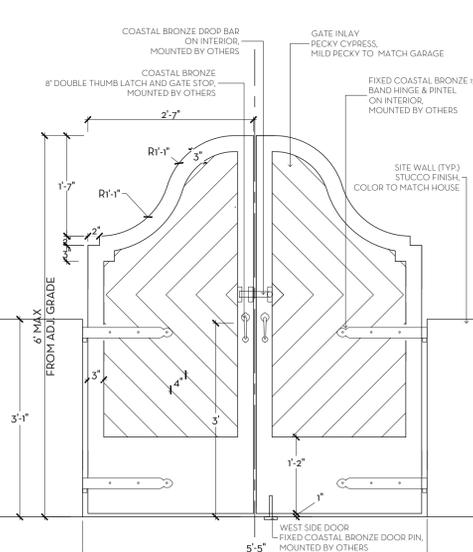
5 ENTRY COURTYARD/MOTORCOURT GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



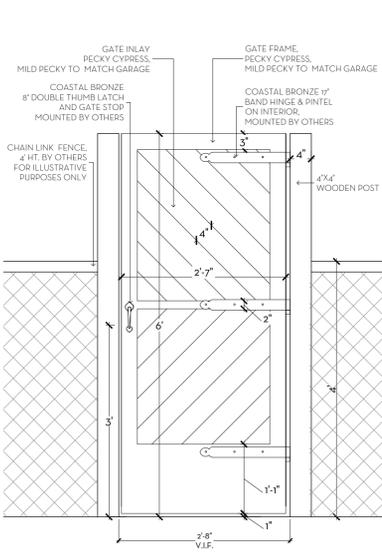
6 EQUIPMENT DOOR (DOUBLE) - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



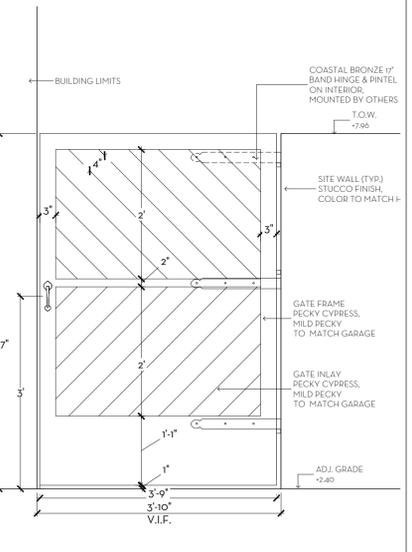
7 MAIN COURTYARD INTERIOR ENTRY PEDESTRIAN GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



8 OUTDOOR KITCHEN PEDESTRIAN GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



9 SOUTH WALKWAY GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"



10 GENERATOR ACCESS GATE - ELEVATION DETAIL
D1
SCALE: 3/4" = 1'-0"

MARIO F. NIEVERA
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Registration No.
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DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

MAY 28 2024
MAY 09 2024



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DESIGN

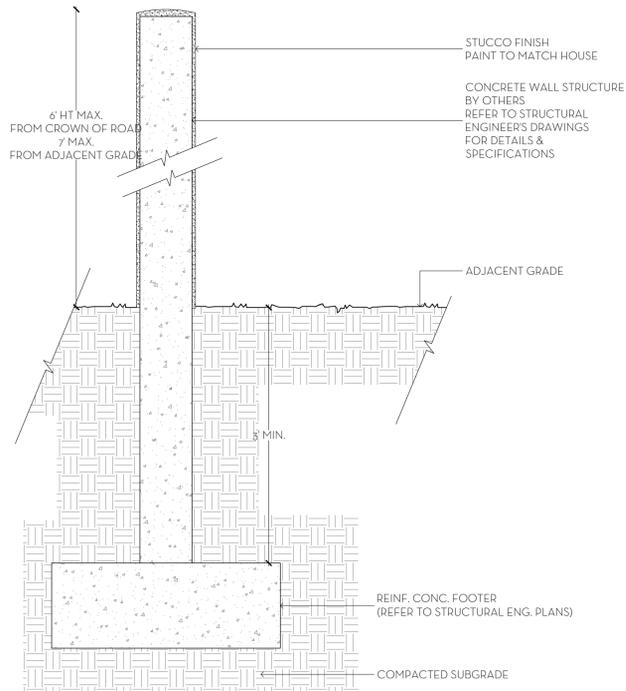
625 North Flagler Drive
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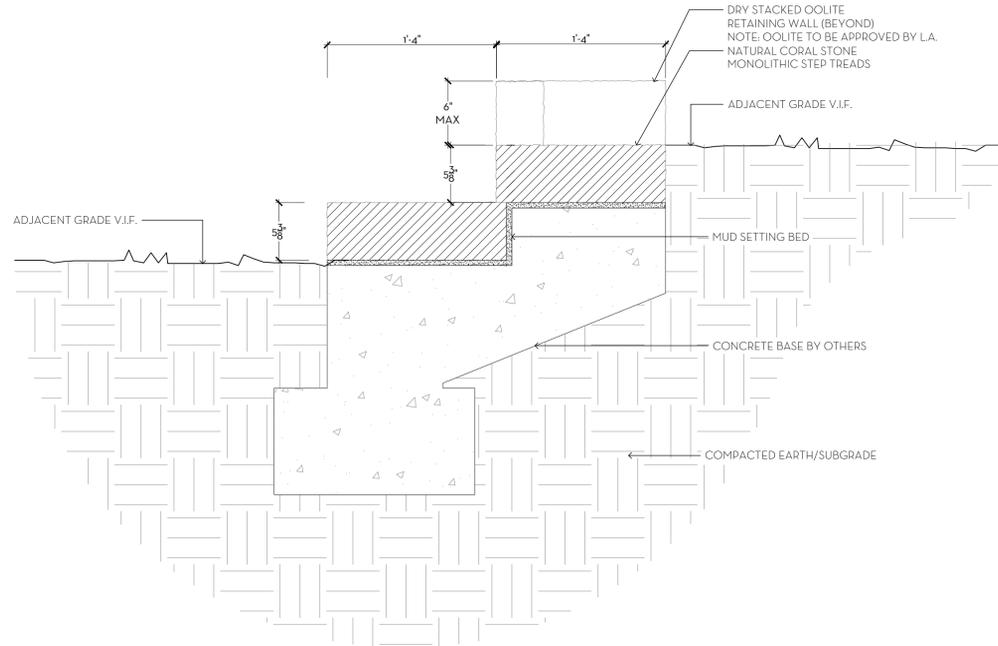
D1

SCALE: AS SHOWN

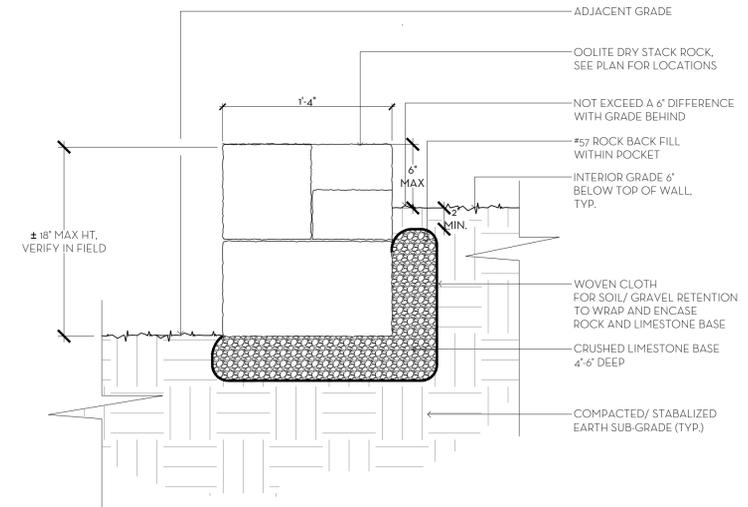
NO CHANGES MADE



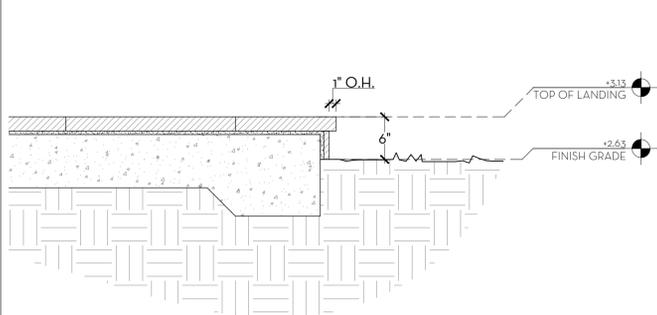
1 SITE WALL DETAIL
SCALE: 1" = 1'-0"



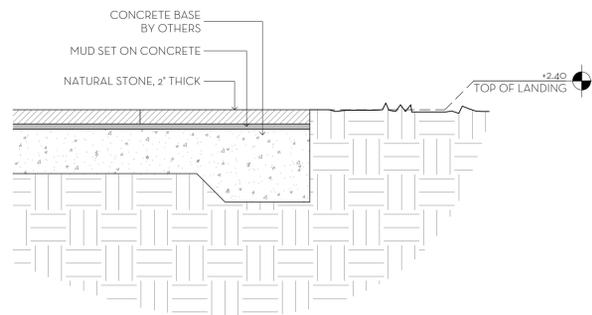
2 STEPS & RISER DETAIL (TYP.)
SCALE: 1 1/2" = 1'-0"



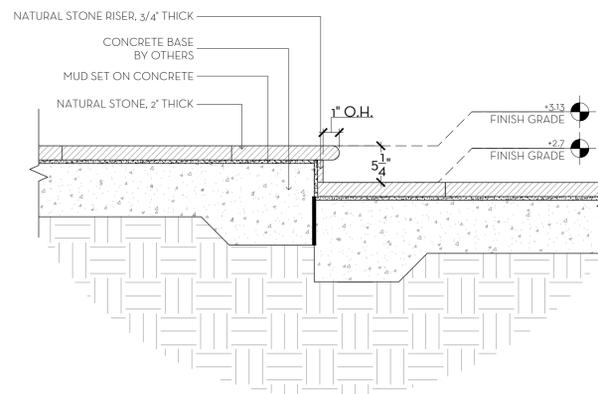
3 RETAINING WALL DETAIL (TYP.)
SCALE: 1 1/2" = 1'-0"



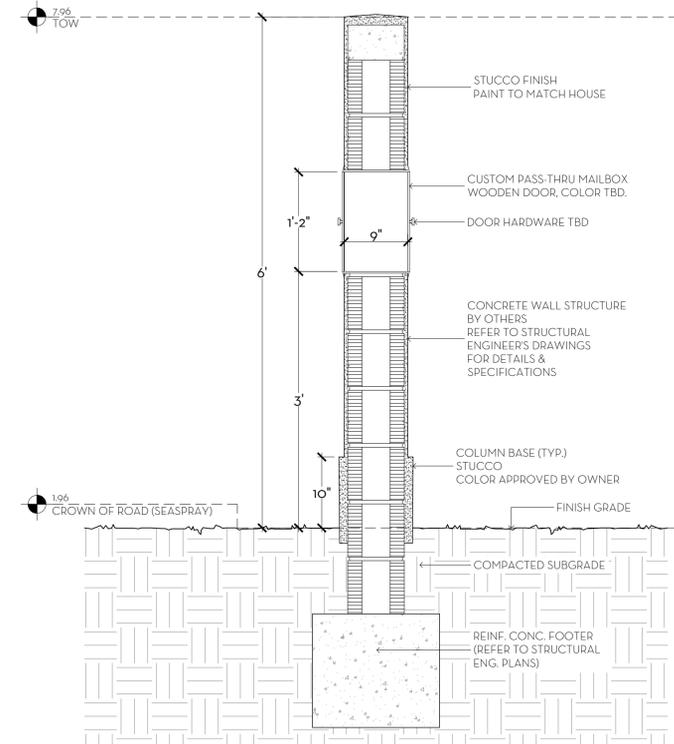
4 LANDING DETAIL (TYP.)
SCALE: 1" = 1'-0"



5 LANDING DETAIL (TYP.)
SCALE: 1" = 1'-0"



6 COVERED LOGGIA/ STEP TRANSITION SECTION DETAIL
SCALE: 1" = 1'-0"



7 WALL W/ MAILBOX- SECTION DETAIL
SCALE: 1" = 1'-0"

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CONSTRUCTION DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



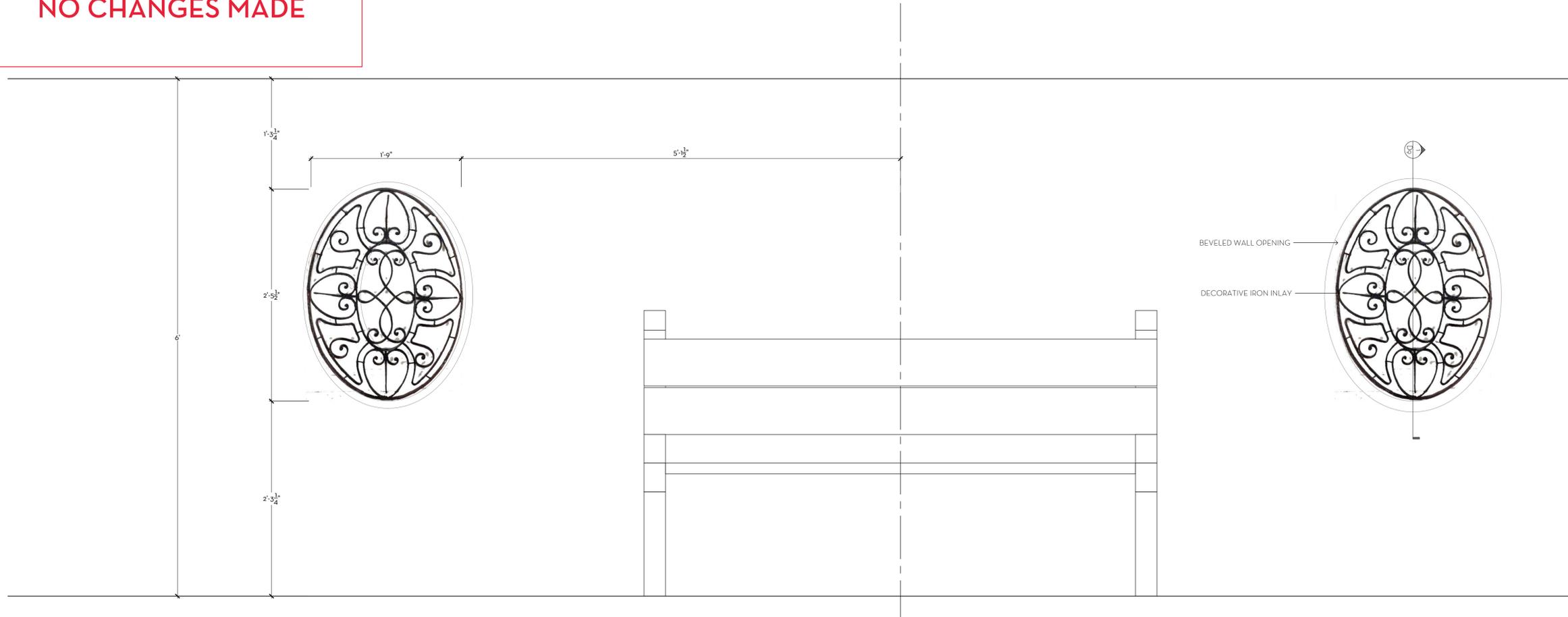
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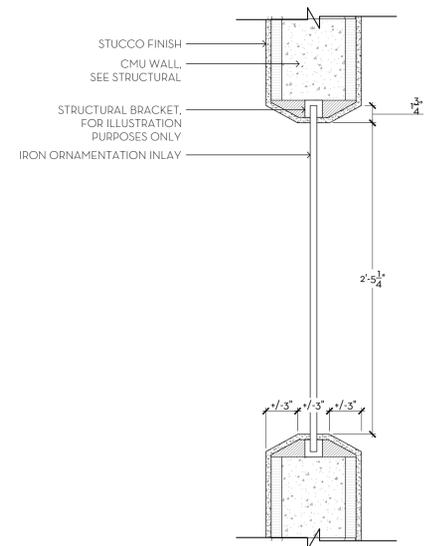
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D5

NO CHANGES MADE



1 ENTRY COURTYARD WEST WALL - ELEVATION
SCALE: 1-1/2" = 1' - 0"



2 BEVELED WALL OPENING - SECTION
SCALE: 1-1/2" = 1' - 0"

3 DECORATIVE IRON INLAY PHOTO
NTS

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DETAIL
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 28 2024
MAY 09 2024



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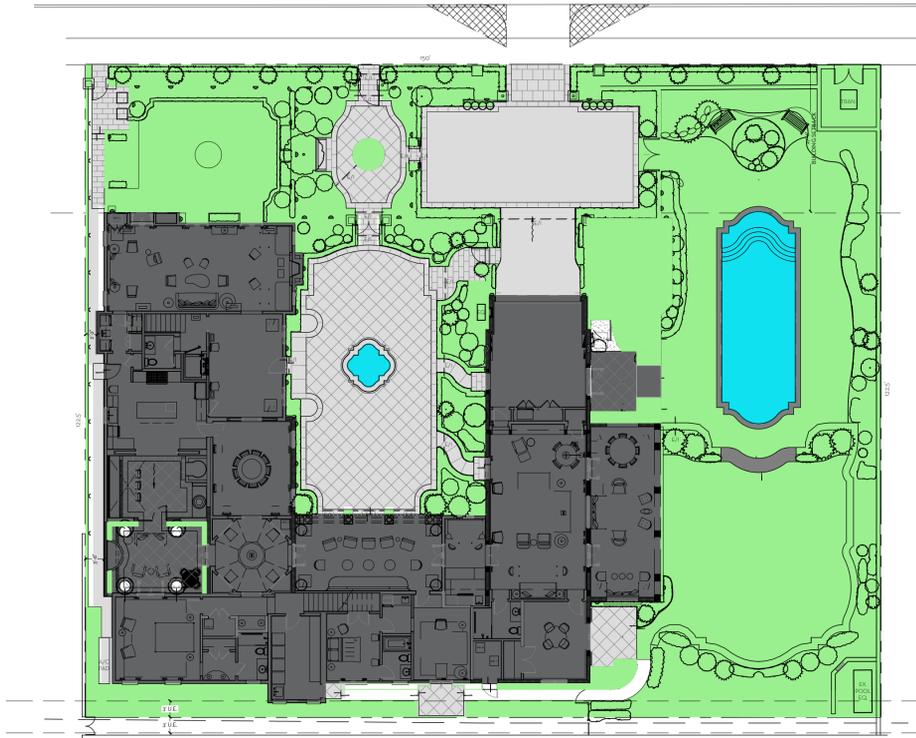
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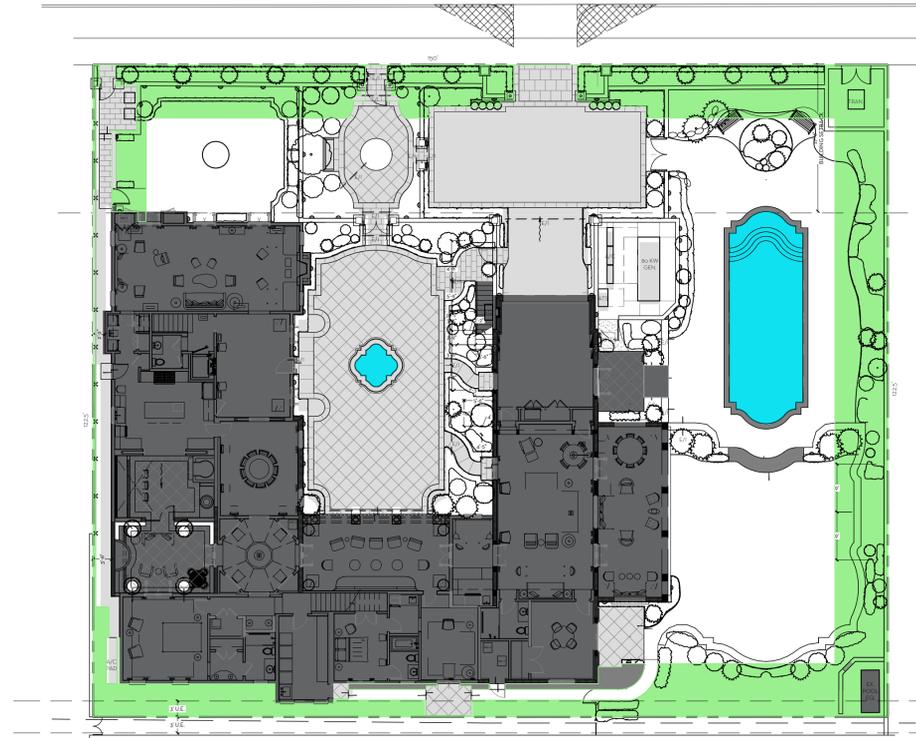
D9

NO CHANGES MADE

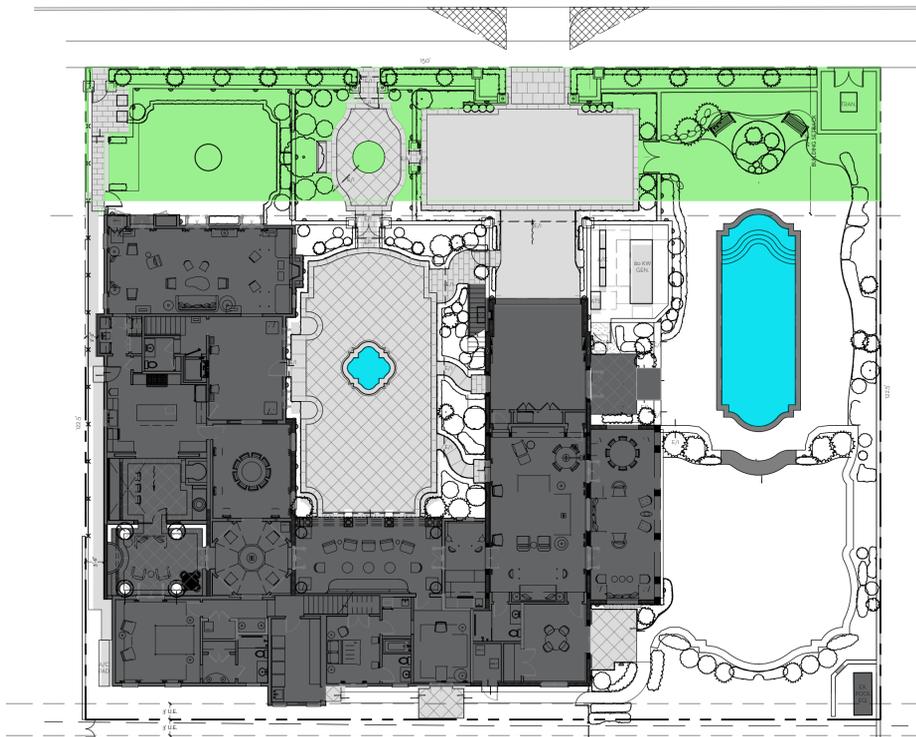
OVERALL R-B SITE CALCULATIONS:			FRONT SETBACK SITE CALCULATIONS:			10' PERIMETER SITE CALCULATIONS:		
SITE AREA +	18,375 SQ FT	100%	25' SETBACK AREA +	3,750 SQ FT	100%	PERIMETER AREA +	5,050 SQ FT	
MINIMUM LANDSCAPE:			MINIMUM LANDSCAPE:			MINIMUM LANDSCAPE:		
REQUIRED +	8,269 SQ FT	45%	REQUIRED +	1,500 SQ FT	40%	(50% OF 8,269 SF) = 4,135 REQUIRED		
EXISTING +	6,338 SQ FT	34.5%	EXISTING +	2,673 SQ FT	71.3%	EXISTING +	2,640 SQ FT	
PROPOSED +	8,489 SQ FT	45.6%	PROPOSED +	2,548 SQ FT	67.9%	PROPOSED +	3,344 SQ FT	



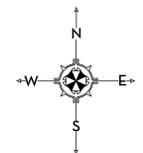
1 OS SITE OPEN SPACE
SCALE: 1/16" = 1'-0"



2 OS PERIMETER OPEN SPACE
SCALE: 1/16" = 1'-0"



3 OS FRONT YARD OPEN SPACE
SCALE: 1/16" = 1'-0"



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OPEN SPACE DIAGRAM
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

MAY 24 2024
MAY 09 2024



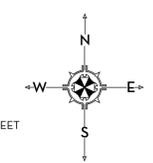
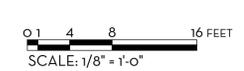
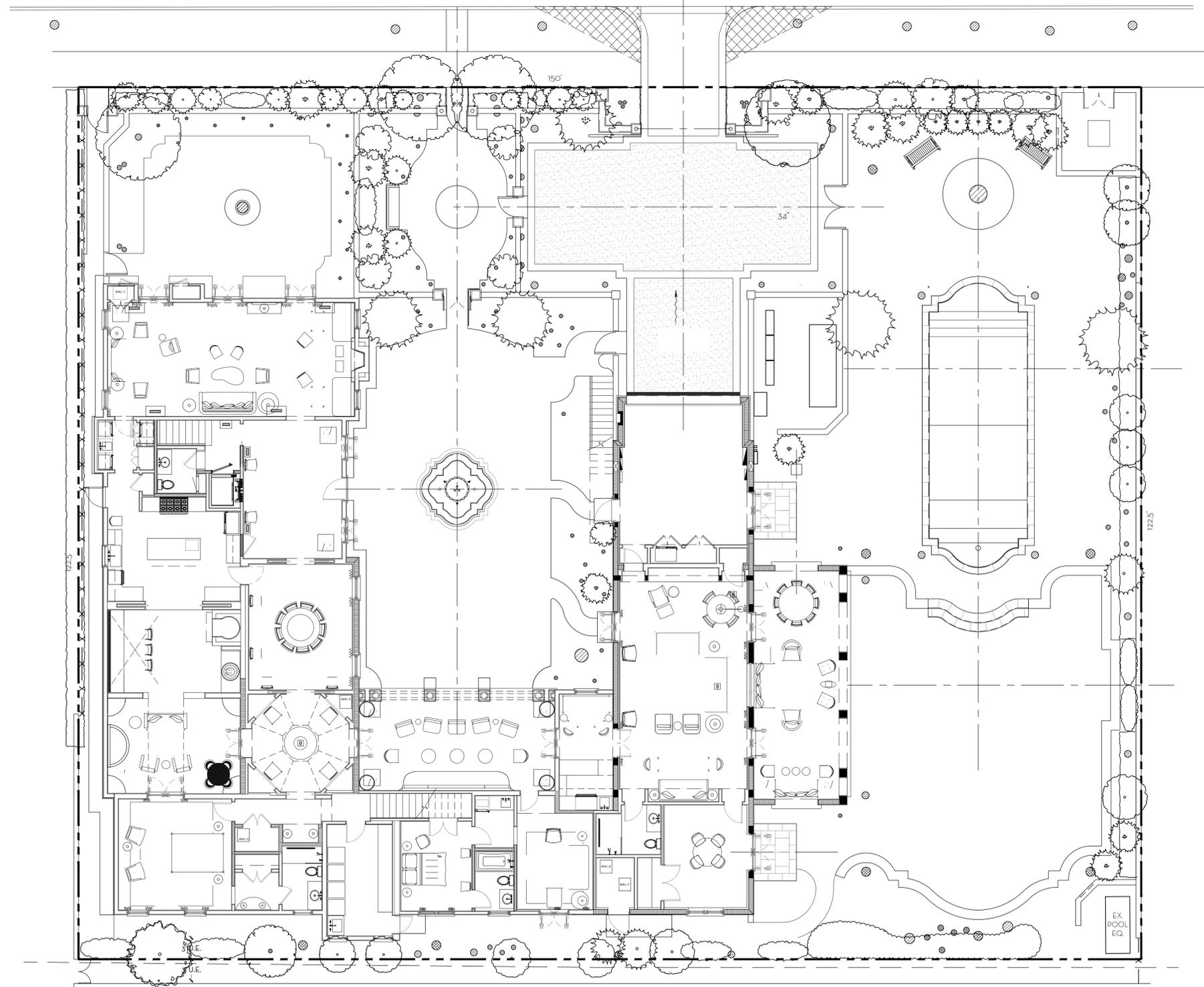
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SITE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
20 MAY 2022- REV 01
24 FEB 2022
17 JAN 2022
04 OCT 2021
27 AUG 2021
15 JUL 2020



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SP
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SCALE: 1/8" = 1'-0"

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OVERALL R-B SITE CALCULATIONS:

SITE AREA =	18,375 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,269 SQ FT	45%
EXISTING =	6,338 SQ FT	34.5%
PROPOSED =	8,272 SQ FT	45%

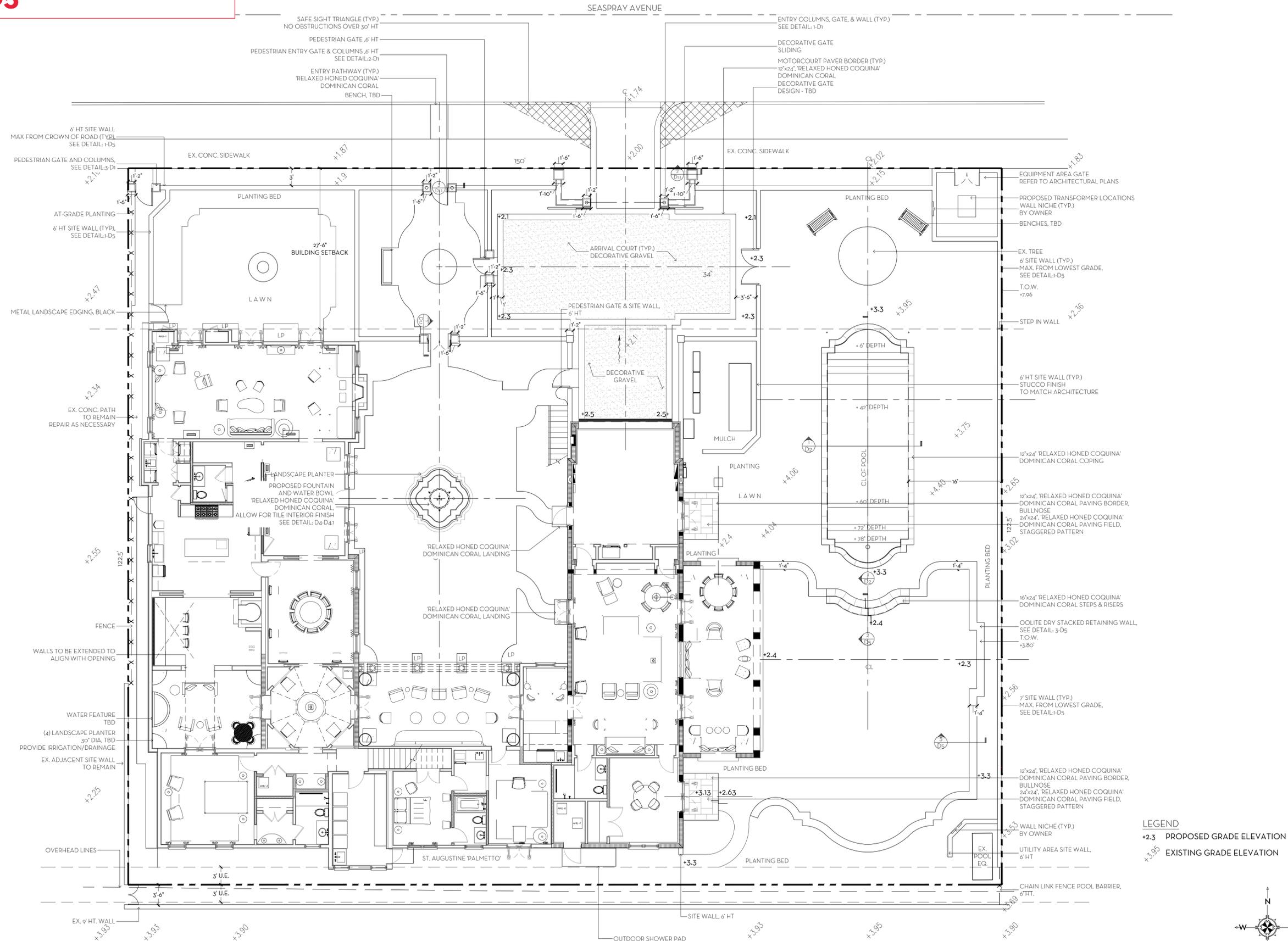
FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	3,750 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,500 SQ FT	40%
EXISTING =	2,673 SQ FT	71.3%
PROPOSED =	2,446 SQ FT	70.5%

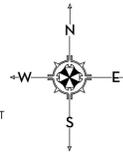
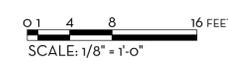
10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,050 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,269 SF) = 4,135 REQUIRED	
EXISTING =	2,840 SQ FT
PROPOSED =	3,250 SQ FT

REV. NO.	DATE	DESC.
1	05/18/22	UPDATED HARDSCAPE DESIGN & LIMITS
2	07/27/22	REVISION TO HARDSCAPE



LEGEND
+2.3 PROPOSED GRADE ELEVATION
+3.95 EXISTING GRADE ELEVATION



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HARDSCAPE PLAN
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022 - REV 02
20 MAY 2022 - REV 01
24 FEB 2022
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SCALE: 1/8" = 1'-0"

REVISION SUMMARY:		
REV. NO.	DATE	DESC.
1	05/18/22	UPDATED LANDSCAPE DESIGN MATERIALS

MARIO F. NIEVERA
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 Landscape Architect
 Registration No.
 6666856

SCALE: 1/8" = 1'-0"

LANDSCAPE PLAN
VILLA VANILLA
 346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
 20 MAY 2022- REV 01
 24 FEB 2022
 17 JAN 2022
 04 OCT 2021
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LP1
 A-22-02365

- (5) CREEPING FIG,
3 GAL. ESP. TO WAL.
- (22) LIRIOPE,
3 GAL.
- (2) GREEN BUTTWOOD,
14'-16' HT, 12' SPR, 7' CT, CHARACTER TRUNK, CREATE ARCHWAY
- (2) DIOON PALM,
4'-4" FULL
- (2) RHAPIS PALM,
15 GAL.
- (2) SHELL GINGER,
15 GAL.
- (2) ZAMIA,
4 X 4 HT.
- (1) HELICONIA,
10' HT, FULL
- (1) GIANT ELEPHANT EAR,
15 GAL.
- (5) ROJO CONGO,
3 GAL, FULL
- (8) EX. COCONUT PALM
TO REMAIN
- (1) CRINUM LILY,
15 GAL.
- (1) AWABUKI VIBURNUM,
5 HT, FTB
- (1) RHAPIS PALM,
5 HT.
- (1) FISHTAIL PALM,
12'-14' HT.
- (13) TRINAX PALM
6'-8' CT
- (1) GUMBO LIMBO
15 HT, CHARACTER TRUNK
- (2) ADONIDIA PALMS,
12 HT, DOUBLE

- (1) ARECA PALM
16 HT
- (4) CREEPING FIG,
3 GAL. ESP. TO WALL
- (2) ROBELINI PALM,
4'-6' HT, TRIPLE
- (1) SHELL GINGER
7 GAL, FULL
- (1) GUMBO LIMBO TREE
15 HT, 7 CT
- (1) RHAPIS PALM,
15 GAL
- (4) COCONUT PALM
15 GW, MATCHING
- (1) WHITE BIRD OF PARADISE,
10 HT, 5PPP
- (1) ZAMIA,
7 GAL
- (2) PHLODENDRON EVANSII,
7 GAL
- (1) CRINUM LILY,
7 GAL
- (2) TRAVELER PALM
14 OA, 5 PPP
- (1) THRINAX
7 CT
- (4) RHAPIS
15 GAL
- (4) ARECA PALMS,
12 HT
- (1) EXISTING TREE TO REMAIN

- (2) PIGEON PLUM TREES,
14 HT, STD
- (3) ADONIDIA PALMS,
12-14 CT
- (3) SABAL PALMS,
16 CT.
- (1) RECLINATA PALM
18 OA, MULTI, MATCHING
- (3) CLUSIA
8-HT, FTB
- (3) ADONIDIA PALMS,
12-14 CT
- (3) NATIVE ILEX TREE,
12 HT, STD 3 CT.

- (3) HURRICANE PALM,
12 CT
- (2) BIZMARK PALMS,
12 GW.
- (1) CHINESE FAN PALM,
7 CT
- (2) COCONUT PALMS,
18 CT.
- (3) TRAVELERS' PALMS,
18 HT.

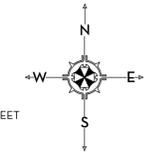
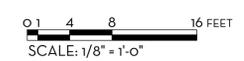
- (1) GREEN BUTTWOOD TREE,
12 HT, STD.
- (2) ARECA PALMS
RELOCATED FROM ON-SITE
- (3) BIZMARK PALMS,
12 GW.

- (2) TRAVELERS' PALMS,
18 HT.
- (1) MAHOE TREE,
6 HT.
- (1) SEA PLUM TREE,
8 HT.
- (2) BIZMARK PALMS,
11 GW.
- (2) NATIVE ILEX TREE,
12 HT, STD 3 CT.
- (4) COCONUT PALMS, 12 GW.

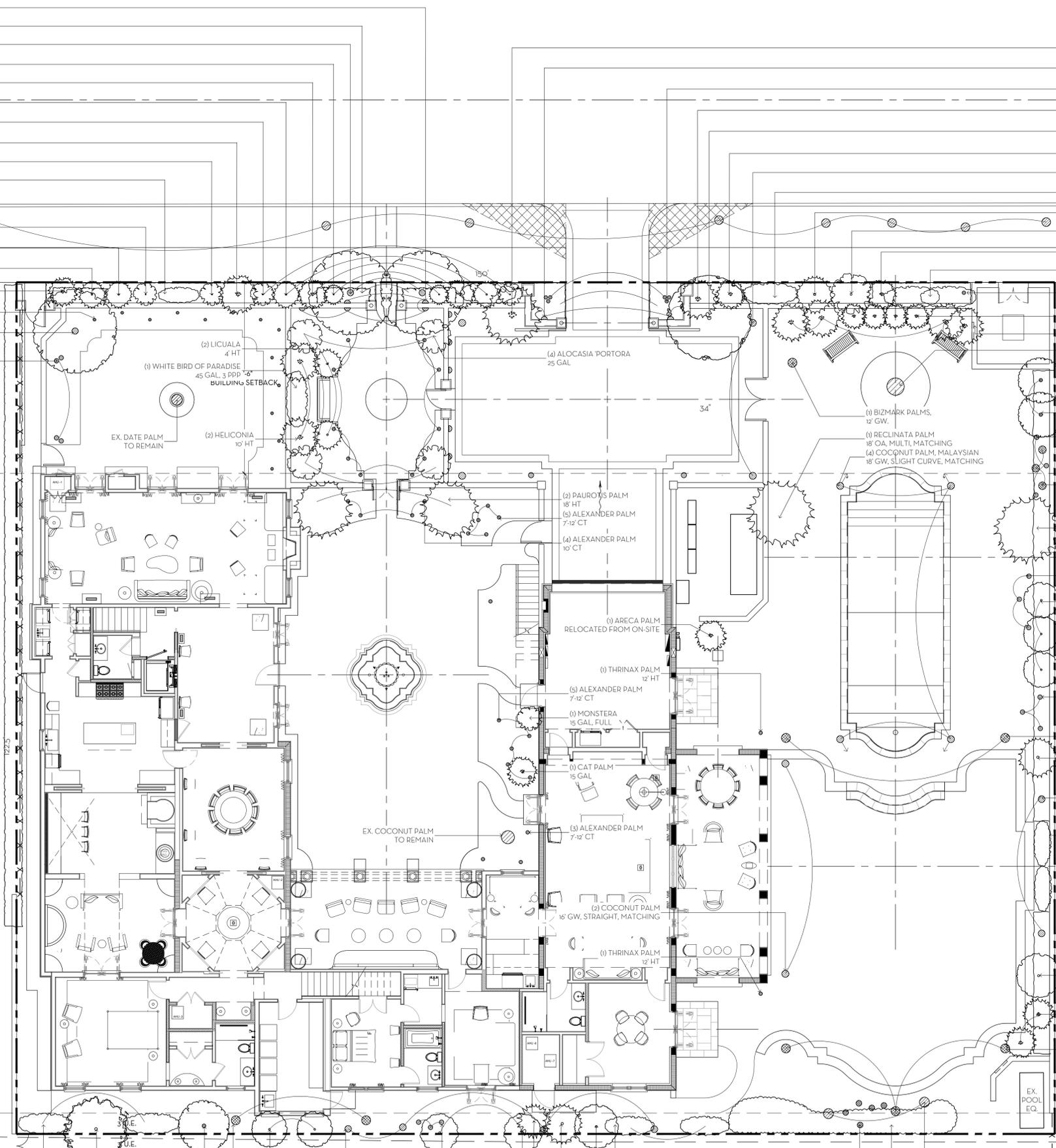
- (3) HURRICANE PALM,
6 CT
- (2) AUSTRALIAN TREE FERNS,
10 HT.
- (1) JAPANESE FERN TREE,
7 HT.

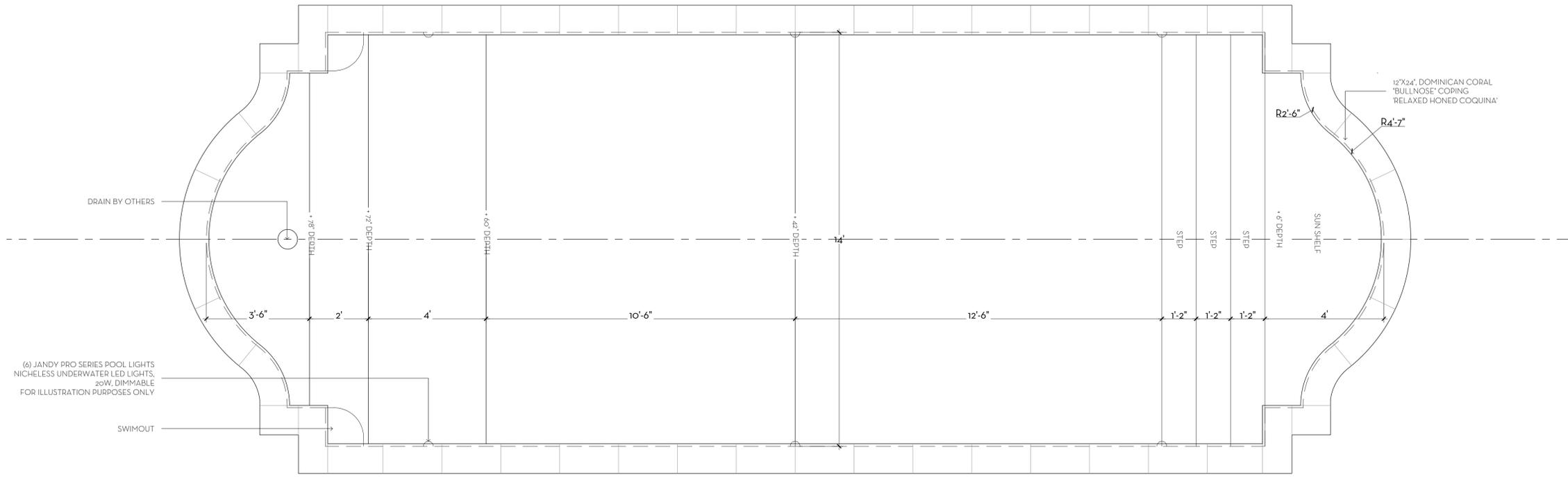
- (2) TRAVELERS' PALM,
18 HT.
- (1) GREEN BUTTWOOD TREE,
12 HT, STD.
- (1) CHINESE FAN PALM,
TBD

- (2) EX. COCONUT PALMS,
30'-35' HT.
- EX. ARECA PALM CLUSTERS,
18'-20' HT.
- EX. TRAVELERS PALMS,
18'-25' HT.

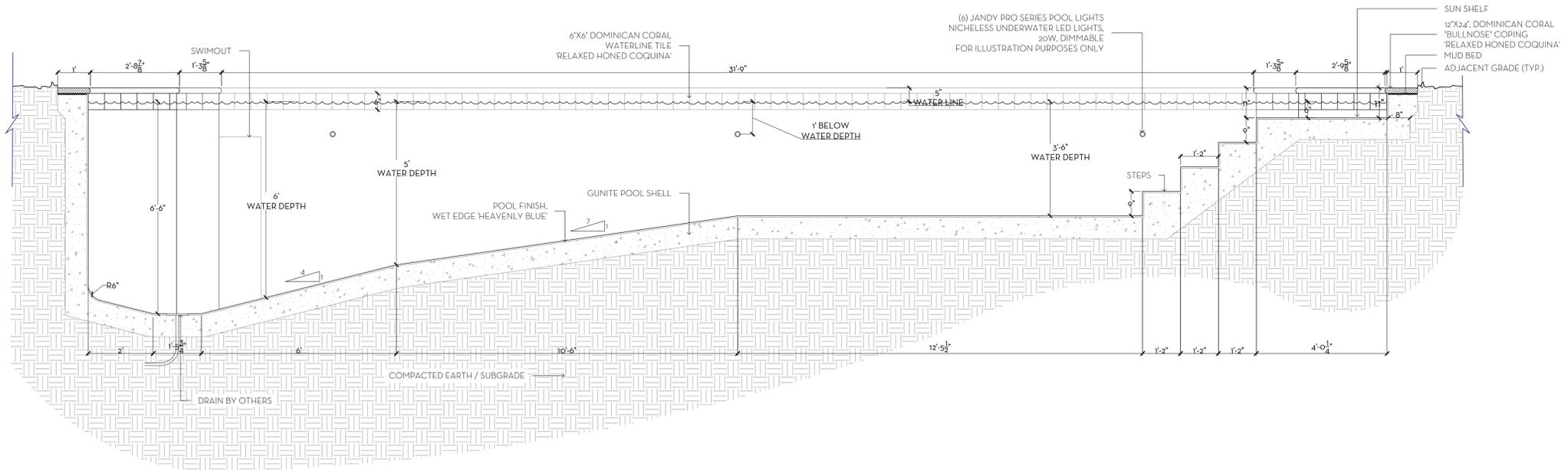


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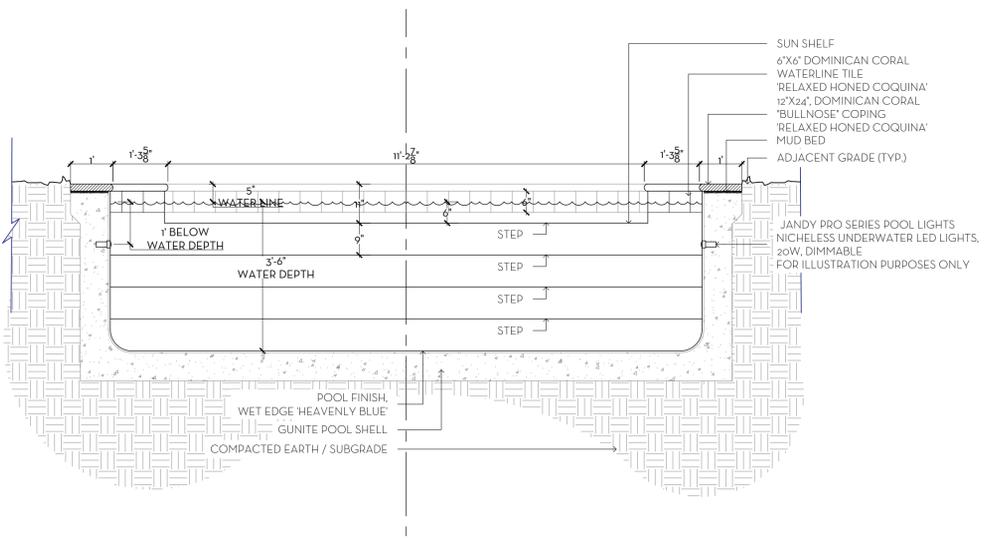




D2 POOL DETAIL- PLAN VIEW
SCALE: 1/2" = 1'-0"



1 POOL DETAIL- SECTION
SCALE: 1/2" = 1'-0"

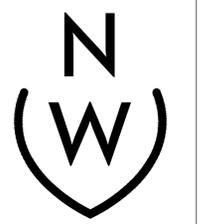


2 POOL DETAIL- SECTION
SCALE: 1/2" = 1'-0"

MARIO F. NIEVERA
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Landscape Architect
Registration No.
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CONSTRUCTION DETAILS
VILLA VANILLA
346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

21 JULY 2022- REV 02
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D2
A-22-02365

SCALE: AS SHOWN

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SCALE: AS SHOWN

CONSTRUCTION DETAILS
VILLA VANILLA
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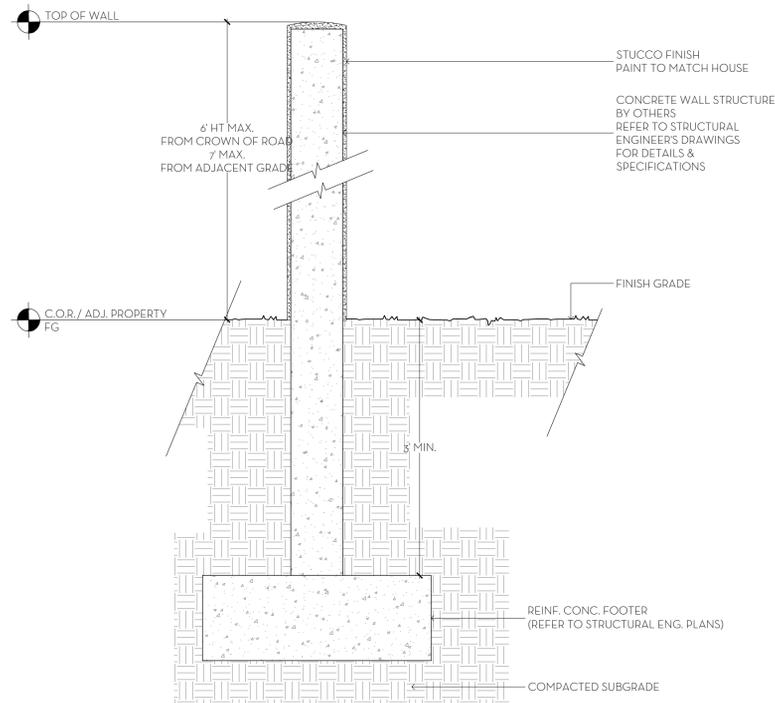


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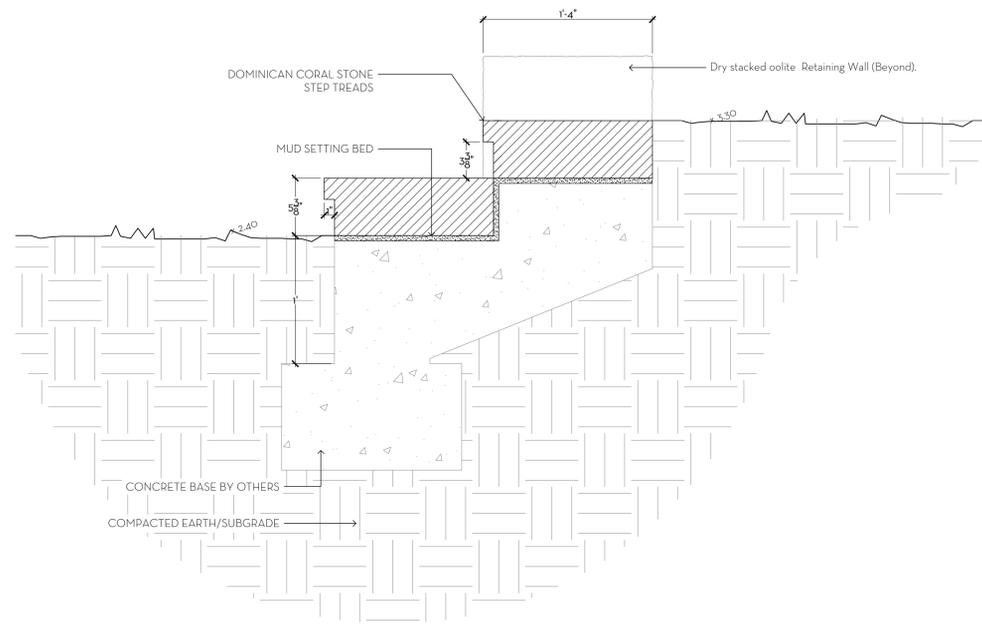
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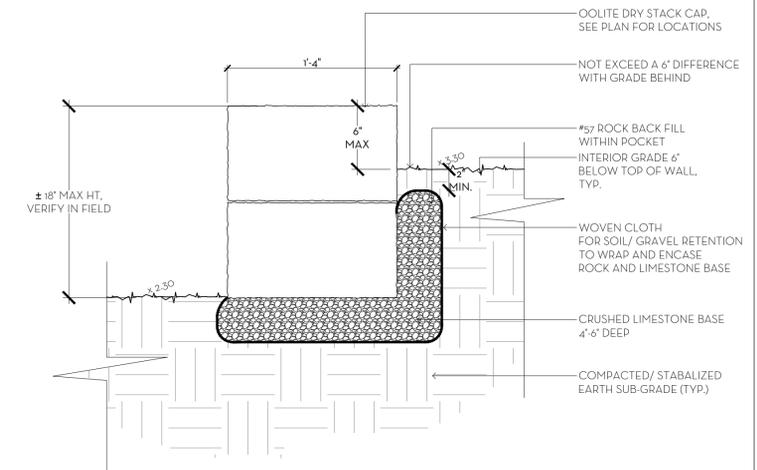
D5
A-22-02365



1 SITE WALL DETAIL
D5 SCALE: 1" = 1'-0"

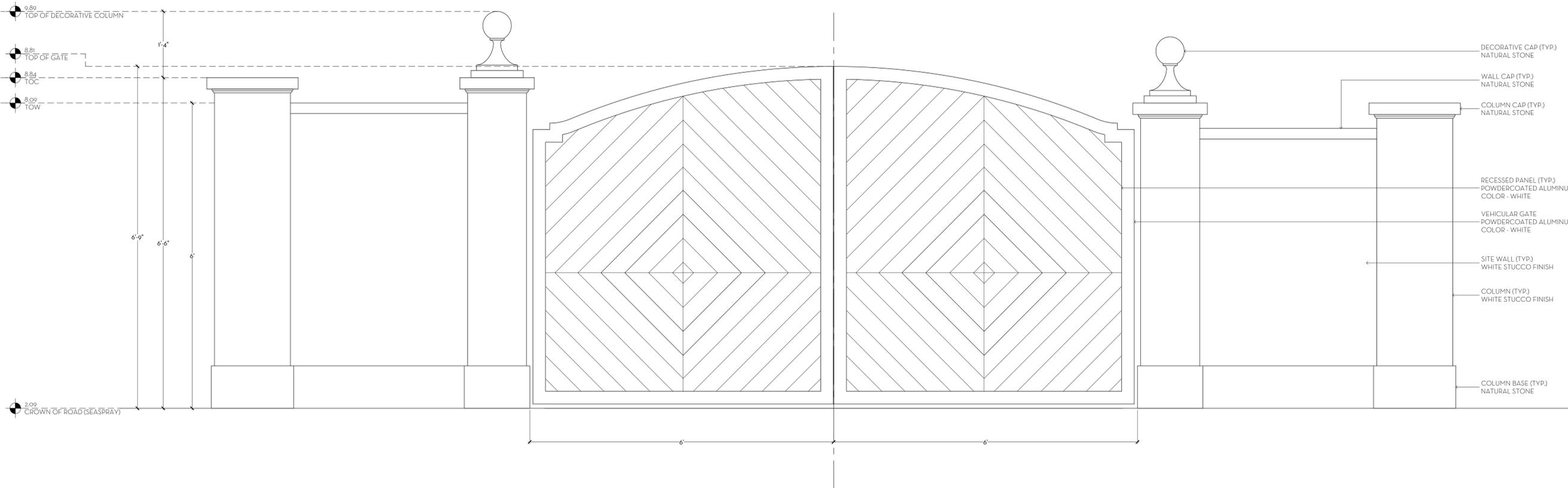


2 STEPS & RISER DETAIL
D5 SCALE: 1-1/2" = 1'-0"

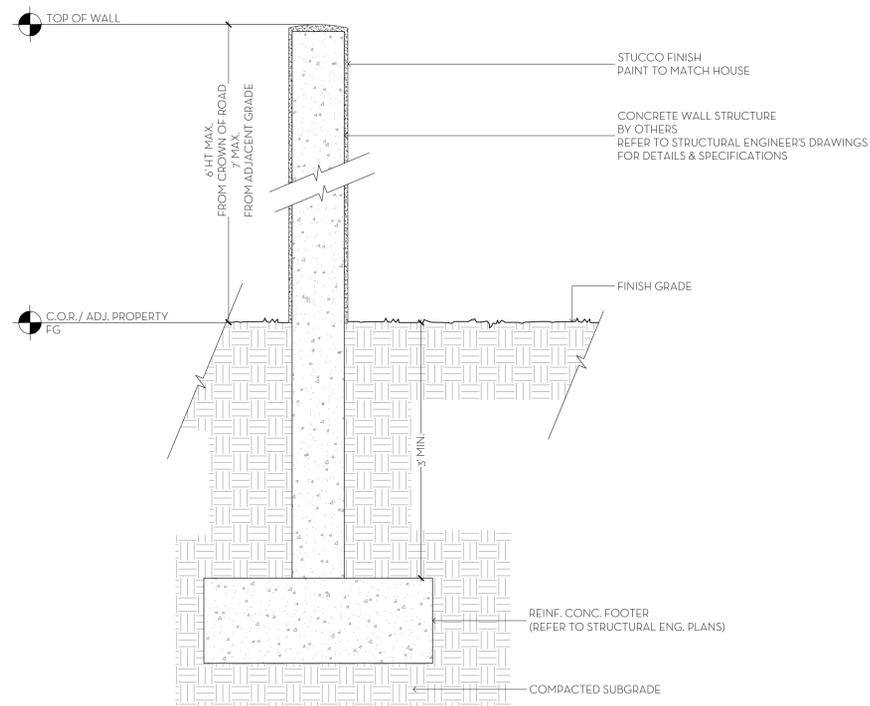


3 SITE WALL DETAIL
D5 SCALE: 1-1/2" = 1'-0"

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1 DRIVEWAY GATE ELEVATION
 D1 SCALE: 1/2" = 1'-0"



2 SITE WALL DETAIL
 D1 SCALE: 1" = 1'-0"

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 6666856

CONSTRUCTION DETAILS
VILLA VANILLA
 346 SEASPRAY AVENUE, PALM BEACH, FLORIDA

SCALE: AS SHOWN

04 OCT 2021
 27 AUG 2021
 12 AUG 2020
 15 JUL 2020



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