

Site Address:  
336 W Australian Ave



Aerial View



## Private Residence 336 W Australian Avenue Palm Beach

F L O R I D A

Application #:  
ARC-23-0034

Final Submittal

Date of Presentation: 07.24.24

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Survey

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Scope of Work

Modified pool garden layout

Modified entry courtyard

Addition of generator

Associated landscape improvements

Relocation of pool equipment

Addition of pool heater

Addition of easter privacy wall

## Design Team/Consultants

Landscape Architects

ENVIRONMENT DESIGN GROUP

139 NORTH COUNTY ROAD SUITE 20B

PALM BEACH, FL 33480

561.832.4600

WWW.ENVIRONMENTDESIGNGROUP.COM

Civil Engineer

GRUBER CONSULTING ENGINEERS

2475 MERCER AVE

WEST PALM BEACH, FL 33401

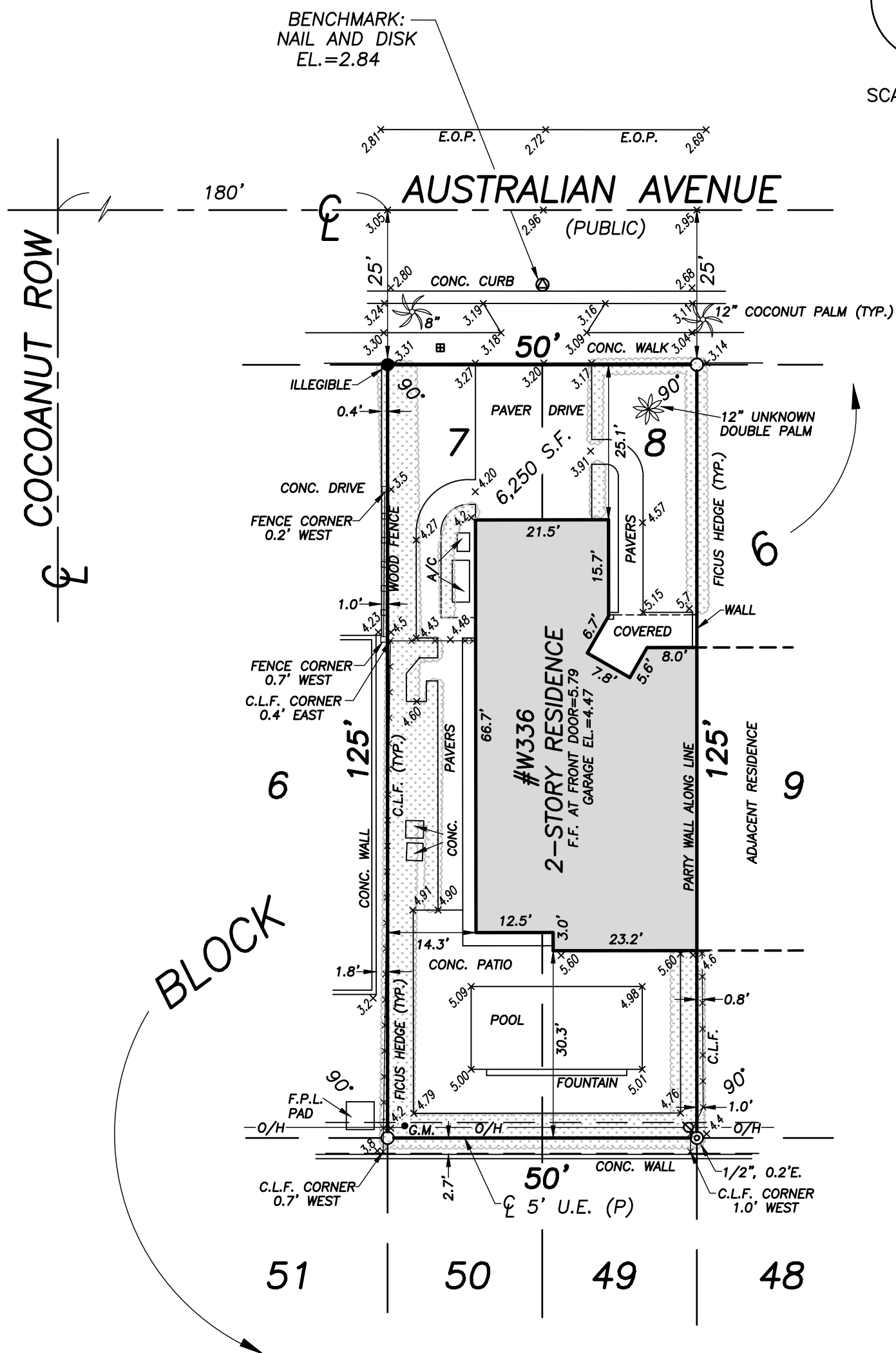
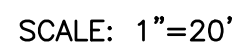
561.312.2041

## Zoning Legend

PROPERTY ADDRESS	336 AUSTRALIAN AVENUE		
ZONING DISTRICT	R-C MEDIUM DENSITY RESIDENTIAL		
LOT AREA (SQ. FT.)	6,252 S.F.		
LOT WIDTH (W) & LOT DEPTH (D) (FT.)	50' & 125'		
STRUCTURE TYPE:	SINGLE FAMILY HOME		
FEMA FLOOD ZONE DESIGNATION:	N/A		
ZERO DATUM FOR POINT OF MEAS. (NAVD)	N/A		
CROWN OF ROAD (COR) (NAVD)	N/A		
	REQ'D / PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	N/A	2,238	N/A
ENCLOSED SQUARE FOOTAGE	N/A	2,138	N/A
FRONT YARD SETBACK (FT.)	25'	25'	N/A
SIDE YARD SETBACK (1ST STORY) (FT.)	10'	10'	N/A
SIDE YARD SETBACK (2ND STORY) (FT.)	10'	10'	N/A
REAR YARD SETBACK (FT.)	15'	15'	N/A
ANGLE OF VISION (DEG.)	N/A	N/A	N/A
BUILDING HEIGHT (FT.)	N/A	N/A	N/A
OVERALL BUILDING HEIGHT (FT.)	N/A	N/A	N/A
CUBIC CONTENT RATIO (CCR) (R-B ONLY)	N/A	N/A	N/A
MAX. FILL ADDED TO SITE (FT.)	N/A	N/A	N/A
FINISHED FLOOR ELEVATION (FFE) (NAVD)	N/A	N/A	N/A
BASE FLOOD ELEVATION (FFE) (NAVD)	N/A	N/A	N/A

## Landscape Legend

Property Address:	336 W Australian Avenue	
Lot Area:	6,252 s.f.	
	Required/Allowed	Proposed
Landscape Open Space:	2,813 sF (45%)	2,273 (36.35%)
LQ to be altered	N/A	N/A
Perimeter LQ	1,406 sF	1,695 sF
Front Yard LQ	500 sF (40%)	641 (51.28%)
Native Trees	30%	83%
Native Shrubs & Vines	30%	31.82%
Native Groundcover	30%	32.35%



FIELD:	B.M.	JOB NO.:	11-1087.1	F.B.	PB126	PG.	9
OFFICE:	M.B.	DATE:	4/19/11	DWG. NO.	11-1087		
C'K'D:	C.W.	REF:	11-1087.DWG	SHEET	2	OF	2



BOUNDARY SURVEY FOR:  
MARK LOCKS

This survey is made specifically and only for the following party for the purpose of a landscape design on the surveyed property.

Mark Locks

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

336 Australian Ave,  
Palm Beach, FL 33480

LEGAL DESCRIPTION:

Lot 7 and 8, Block 6, **ROYAL PARK ADDITION TO THE TOWN OF PALM BEACH, FLORIDA**, according to the Plat thereof, on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 4, Page 1.

FLOOD ZONE:

This property is located in Flood Zone A7 (EL7), according to F.I.R.M. (Flood Insurance Rate Map) No. 120220 002 C, dated September 30, 1982.

NOTES:

1. No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NGVD-29.
3. Description furnished by client or client's agent.
4. Unless it bears the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
6. Except as shown, underground and overhead improvements are not located.
7. Underground foundations not located.
8. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
9. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
10. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
11. All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
12. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.

CERTIFICATION:

**I HEREBY ATTEST** that the survey shown hereon meets the minimum technical standards set forth by the Florida Board of Professional Surveyors and Mappers pursuant to section 472.027, Florida Statutes, and adopted in Rule 5J-17, Florida Administrative Code, effective September 1, 1981.

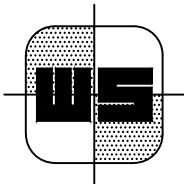
DATE OF LAST FIELD SURVEY: 4/19/2011

Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357  
Sheet 1 of 2

11-1087.001

LEGEND

A.	= ARC LENGTH	F.O.C.	= FACE OF CURB	P.O.C.	= POINT OF COMMENCEMENT	W.C.	= WITNESS CORNER
A/C	= AIR CONDITIONING	G.M.	= GAS METER	P.R.C.	= POINT OF REVERSE CURVATURE	W.M.E.	= WATER MANAGEMENT EASEMENT
A.E.	= ACCESS EASEMENT	INV.	= INVERT	P.R.M.	= PERMANENT REFERENCE MONUMENT	W.M.M.E.	= WATER MANAGEMENT MAINTENANCE EASEMENT
A.K.A.	= ALSO KNOWN AS	I.T.W.C.D.	= INDIAN TRAIL WATER CONTROL DISTRICT	PROP.	= PROPOSED	W.M.T.	= WATER MANAGEMENT TRACT
ASPH.	= ASPHALT	L.A.E.	= LIMITED ACCESS EASEMENT	P.T.	= POINT OF TANGENCY	⌚	= BASELINE
BLDG.	= BUILDING	L.B.	= LICENSE BOARD	PVM/T	= PAVEMENT	⌚	= CENTERLINE
B.M.	= BENCHMARK	L.W.D.D.	= LAKE WORTH DRAINAGE DISTRICT	(R)	= RADIAL	Δ	= CENTRAL ANGLE/DELTA
B.O.C.	= BACK OF CURB	(M)	= FIELD MEASUREMENT	R	= RADIUS	■	= CONCRETE MONUMENT FOUND (AS NOTED)
B.O.W.	= BACK OF WALK	M.H.	= MANHOLE	RGE.	= RANGE	□	= CONCRETE MONUMENT SET (LB #4569)
(C)	= CALCULATED	M.H.W.L.	= MEAN HIGH WATER LINE	R.P.B.	= ROAD PLAT BOOK	●	= ROD & CAP FOUND (AS NOTED)
CATV	= CABLE ANTENNA TELEVISION	MIN.	= MINIMUM	R/W	= RIGHT OF WAY	○	= 5/8" ROD & CAP SET (LB #4569)
C.B.	= CHORD BEARING	M.L.W.L.	= MEAN LOW WATER LINE	(S)	= SURVEY DATUM	⊙	= IRON PIPE FOUND (AS NOTED)
C.B.S.	= CONCRETE BLOCK STRUCTURE	N.V.G.D.	= NATIONAL GEODETIC VERTICAL DATUM	S.B.	= SETBACK	●	= IRON ROD FOUND (AS NOTED)
C.C.C.L.	= COASTAL CONSTRUCTION CONTROL LINE	N.P.B.C.I.D.	= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT	SEC.	= SECTION	▲	= NAIL FOUND (AS NOTED)
CH	= CHORD	N.T.S.	= NOT TO SCALE	S/D	= SUBDIVISION	●	= NAIL & DISK FOUND (AS NOTED)
C.L.F.	= CHAIN LINK FENCE	O.A.	= OVERALL	S.F.	= SQUARE FEET	⊗	= MAG NAIL & DISK SET (LB #4569)
CLR.	= CLEAR	O.D.	= OUTSIDE DIAMETER	S.F.W.M.D.	= SOUTH FLORIDA WATER MANAGEMENT DISTRICT	⌚	= PROPERTY LINE
C.M.P.	= CORRUGATED METAL PIPE	O/H	= OVERHEAD UTILITY LINE	S.I.R.W.C.D.	= SOUTH INDIAN RIVER WATER CONTROL DISTRICT	⌚	= UTILITY POLE
CONC.	= CONCRETE	O.R.B.	= OFFICIAL RECORD BOOK	S.R.	= STATE ROAD	⌚	= FIRE HYDRANT
(D)	= DESCRIPTION DATUM	O/S	= OFFSET	STA.	= STATION	⌚	= WATER METER
D.B.	= DEED BOOK	(P)	= PLAT DATUM	STY.	= STORY	⌚	= WATER VALVE
D.E.	= DRAINAGE EASEMENT	P.B.	= PLAT BOOK	S/W	= SIDEWALK	⌚	= LIGHT POLE
D.H.	= DRILL HOLE	P.B.C.	= PALM BEACH COUNTY	T.O.B.	= TOP OF BANK		
D/W	= DRIVEWAY	P.C.	= POINT OF CURVATURE	T.O.C.	= TOP OF CURB		
EL.	= ELEVATION	P.C.C.	= POINT OF COMPOUND CURVATURE	TWP.	= TOWNSHIP		
ENC.	= ENCROACHMENT	P.C.P.	= PERMANENT CONTROL POINT	TYP.	= TYPICAL		
E.O.P	= EDGE OF PAVEMENT	PG.	= PAGE	U/C	= UNDER CONSTRUCTION		
E.O.W.	= EDGE OF WATER	P.I.	= POINT OF INTERSECTION	U.E.	= UTILITY EASEMENT		
ESMT	= EASEMENT	P/O	= PART OF	U.R.	= UNRECORDED		
F.F.	= FINISH FLOOR	P.O.B.	= POINT OF BEGINNING				
FND.	= FOUND						



WALLACE

SURVEYING  
CORP. LICENSED BUSINESS # 4569

5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4551





Existing North Side



Existing Northwest Corner



Existing North Side



Existing East Side



Existing East Buffer



Existing South Buffer

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8 Palm Beach, FL 33480

Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture

Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784

Dustin@environmentdesigngroup.com

Private Residence  
336 W Australian Avenue  
Palm Beach

F L O R I D A

JOB NUMBER: # 24103.00 LA  
DRAWN BY: Alex Bugrui

DATE: 05.23.2024

SHEET L1.1

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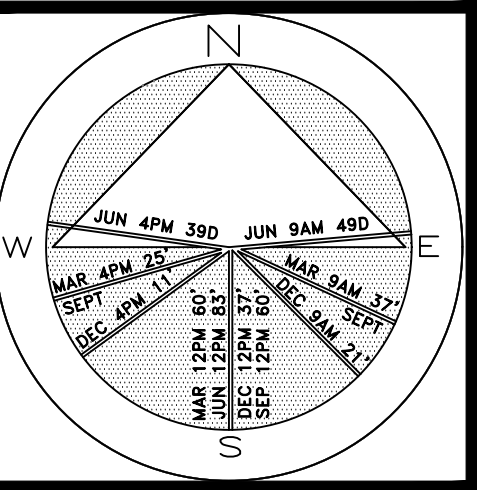
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ARC-23-0034  
ZON-24-0020  
Existing Site Photos

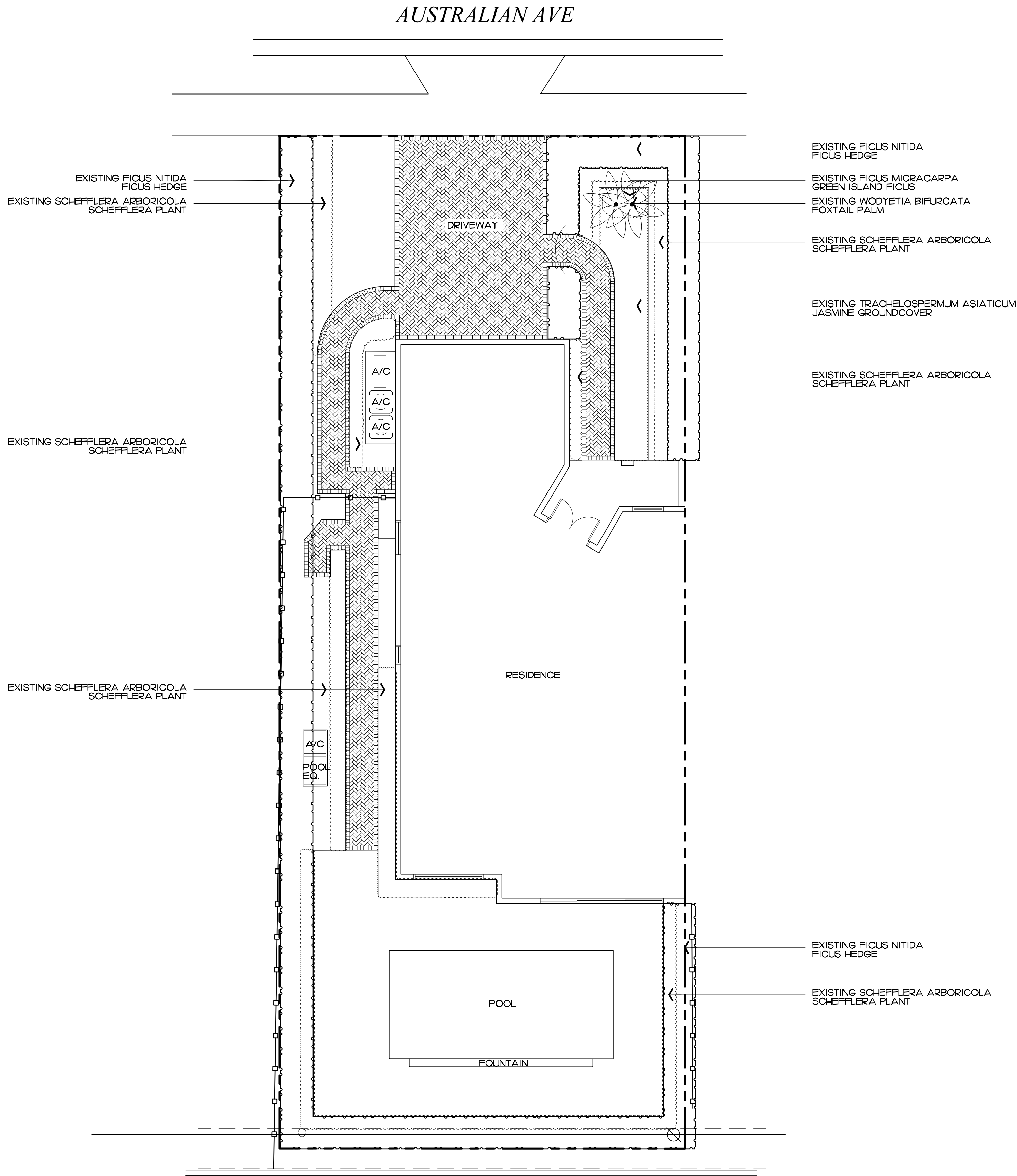
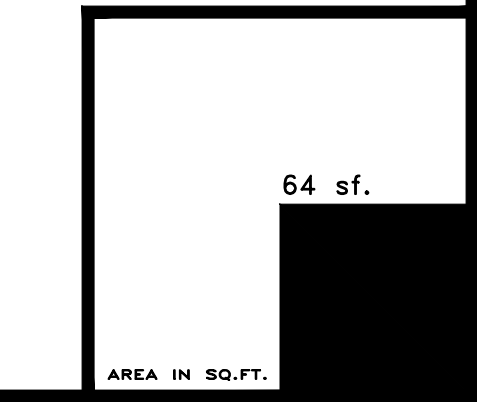


Private Residence  
336 W Australian Avenue  
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DATE: 05.23.2024

SHEET L2.0



Existing Vegetation Inventory

SCALE IN FEET 0' 8' 16' 24'

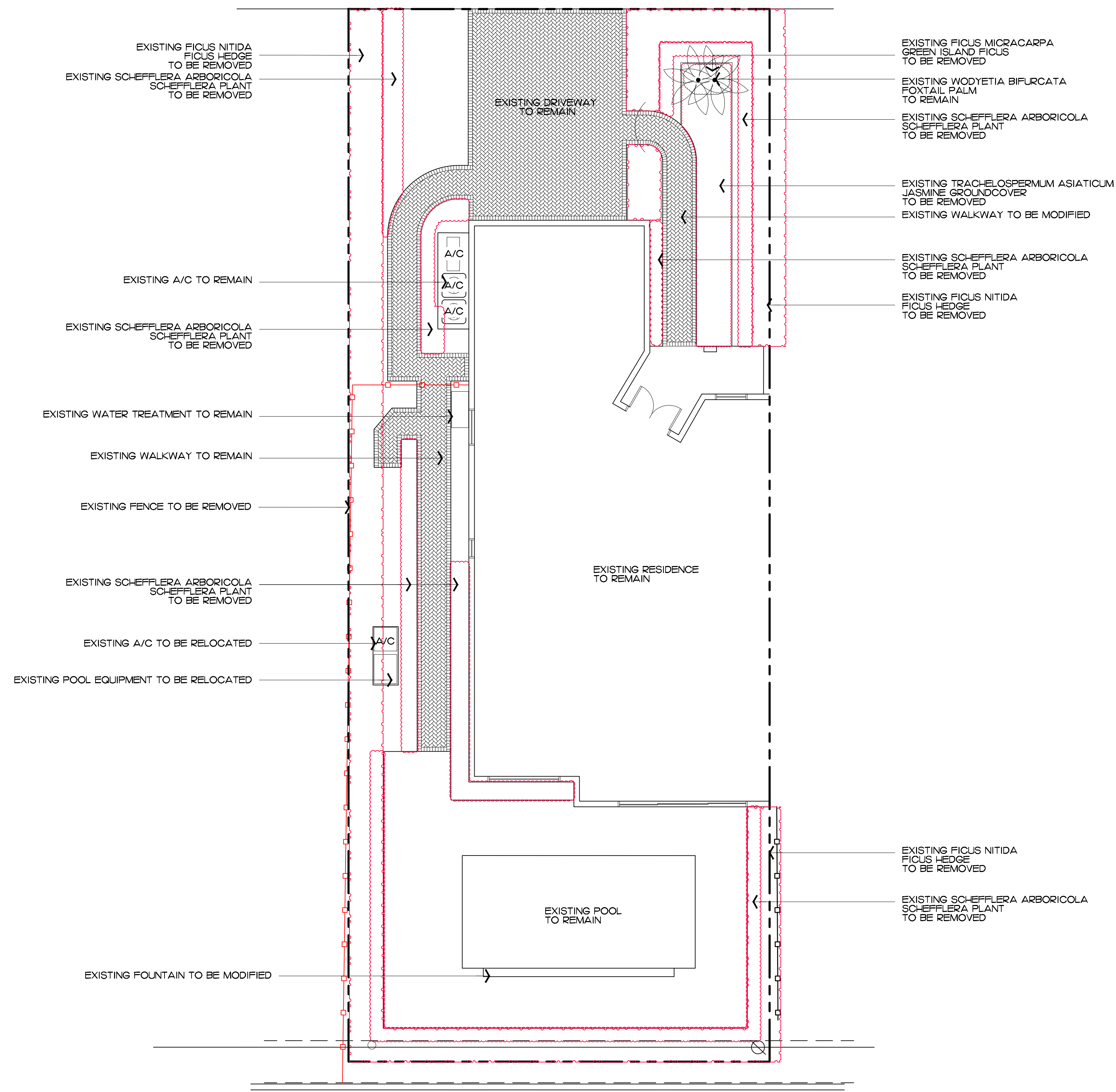
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 ENVIRONMENT  
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Phone 561.832.4600 Mobile 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

---

Dustin M. Mizell, MLA RLA #6666784  
Dustin@environmentdesigngroup.com



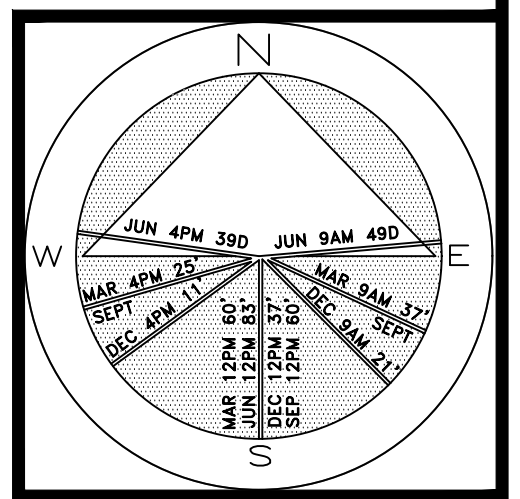












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DRAWN BY: Dustin Mizell  
DATE: 05.23.2024

DATE: 05.23.2024

SHEET L3.0

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# Demolition and Vegetation Action Plan

ARC-23-0034  
ZON-24-0020

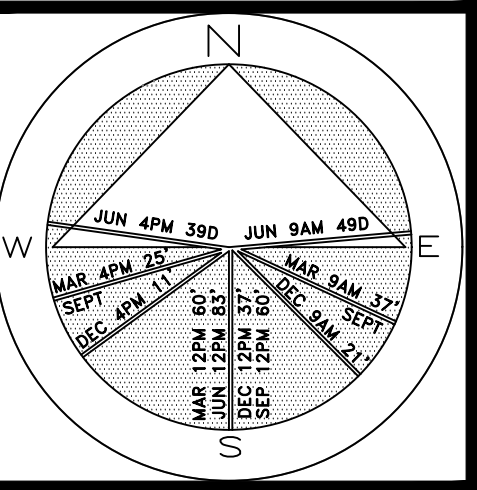
SCALE IN FEET 0' 8' 16' 24'

4 sf.

AREA IN SQ.FT.



Private Residence  
336 W Australian Avenue  
Palm Beach

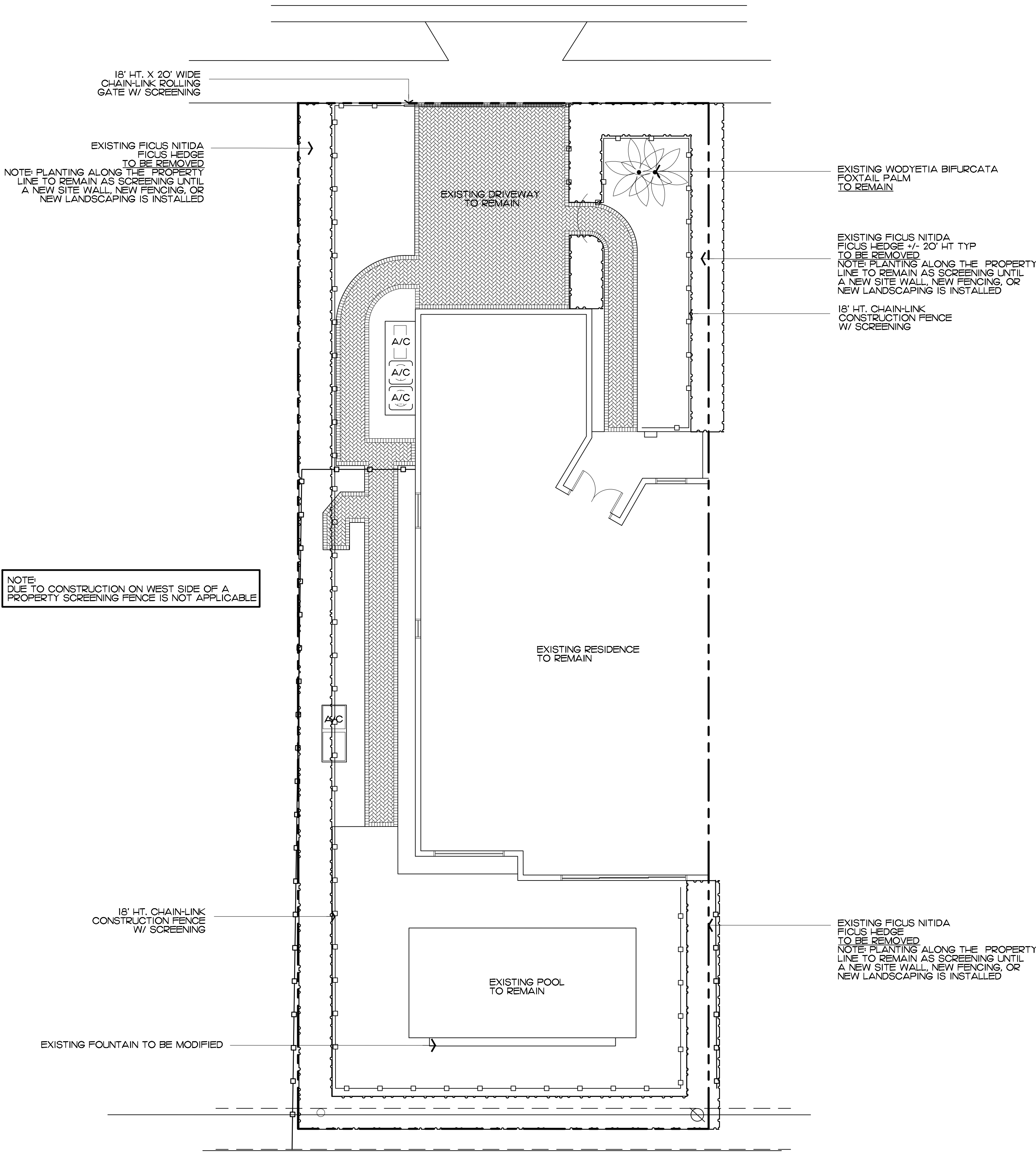


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SHEET L4.0



AUSTRALIAN AVE



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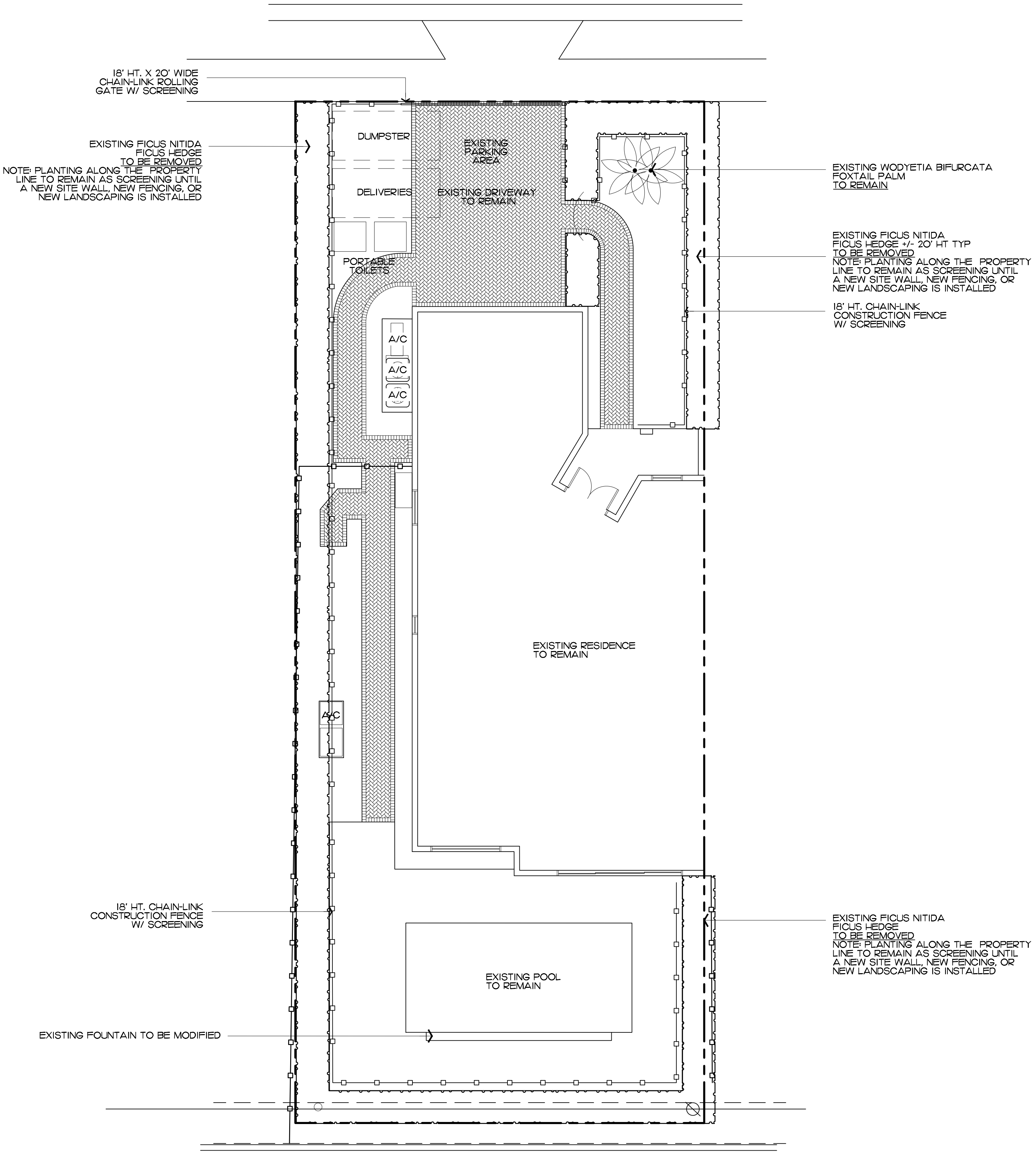
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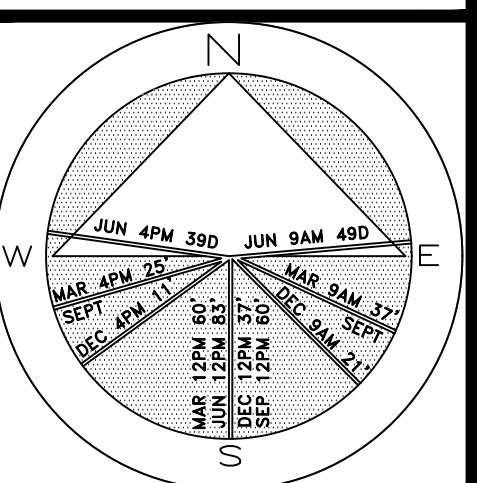
ARC-23-0034  
ZON-24-0020  
Construction Screening Plan  
SCALE IN FEET 0' 8' 16' 24'



AUSTRALIAN AVE



Private Residence  
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Palm Beach

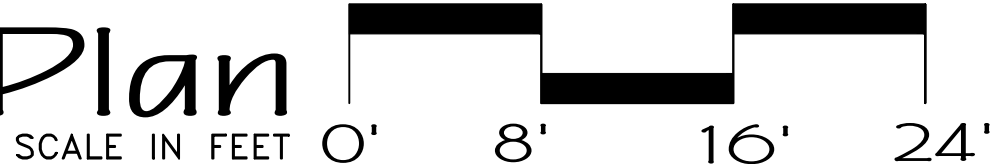


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DATE: 05.23.2024

SHEET L5.0

Construction Staging Plan

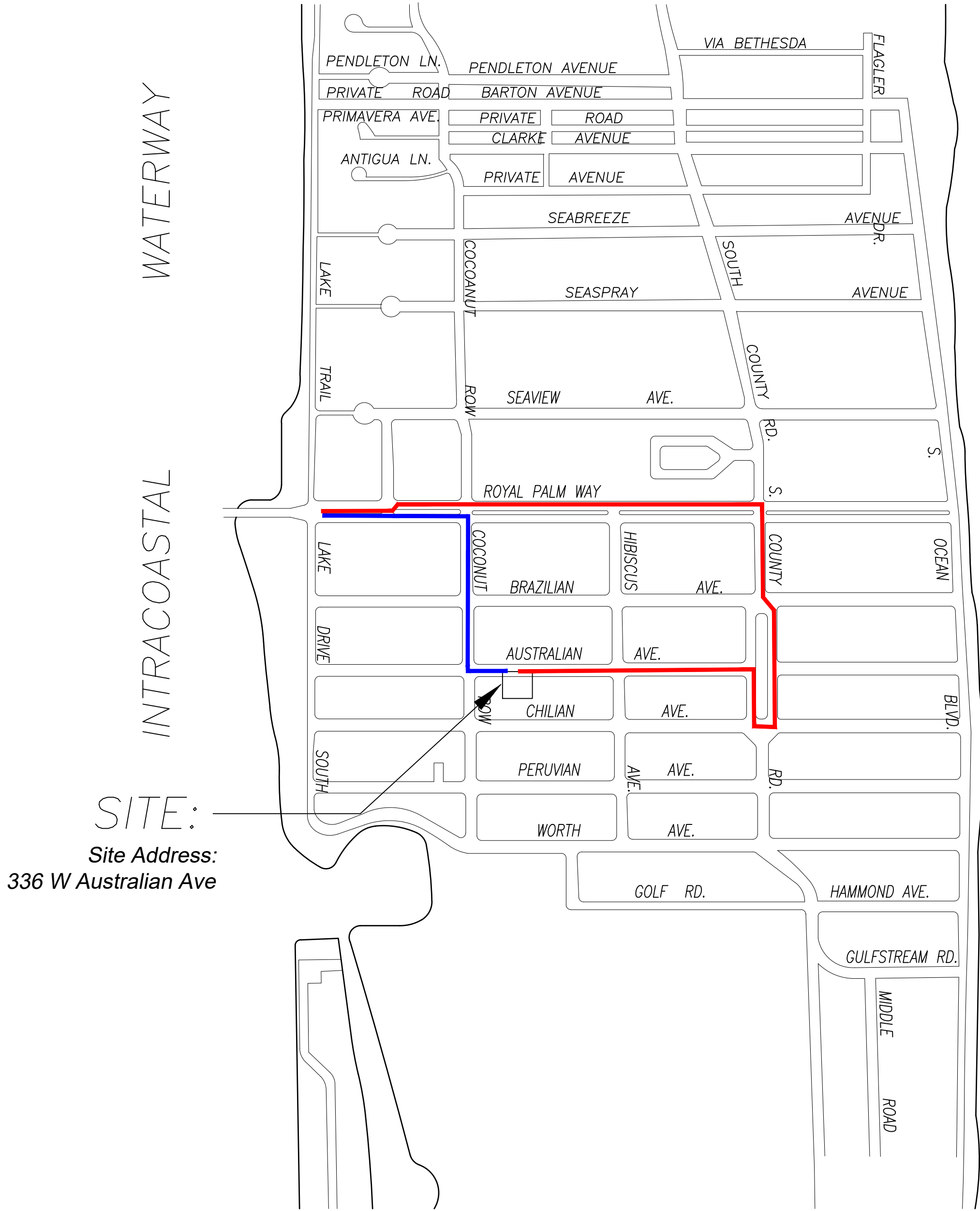
ARC-23-0034  
ZON-24-0020



64 sf.

AREA IN SQ.FT.





CONCEPTUAL CONSTRUCTION SCHEDULE		
• JUN 1TH 2024	- ARCOM MEETING	
• JUL 15TH 2024	- TOWN COUNCIL	
• OCT-NOV 2024	- SUBMIT FOR PERMIT	
• 1 MONTH -DEC 2024	- MOBILIZATION & DEMOLITION OF EXISTING STRUCTURES	
• 2 MONTHS	- SITE/BUILDING PREPARATION	
• 1.5 MONTHS	- FOUNDATION	
• 2.5 MONTHS	- BLOCK DELIVERIES & CONC. POURS	
• 2 MONTHS	- ROUGH-IN	
• 2 MONTHS	- LANDSCAPE/HARDSCAPE/GATE INSTALLATION	
• 2 MONTHS	- FINAL INSPECTIONS	
• +/-12 MONTHS	- PROPOSED TOTAL CONSTRUCTION FOLLOWING BUILDING PERMIT	

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

SCHEDULE:

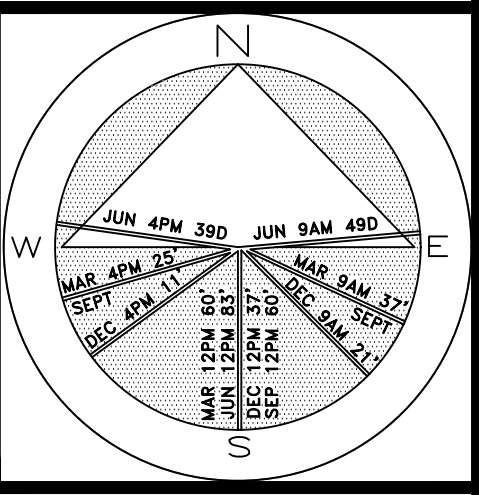
MONTH 1: DEMOLITION AND CLEANUP  
(3 - 5 DAYS)

LARGEST TRUCK ->  
10-15 DUMP TRUCKS FOR DEBRIS REMOVAL  
TRAILER FOR EXCAVATOR / DEMOLITION  
LANDSCAPE TRUCKS ->  
SOD  
IRRIGATION

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES, DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

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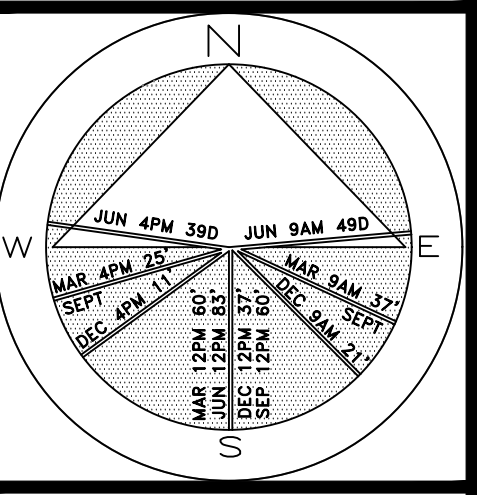


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Proposed Site Data

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE		R-C MEDIUM DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM	6,252 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45% 2,813 S.F.	26.74% 1,672 S.F.	36.35% 2,273 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 500 S.F.	54.56% 682 S.F.	51.28% 641 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE 1,406 S.F.	54.14% 1,523 S.F.	60.25% 1,695 S.F.

ARC-23-0034  
ZON-24-0020

Site Plan

SCALE IN FEET 0' 8' 16' 24'

64 sf.

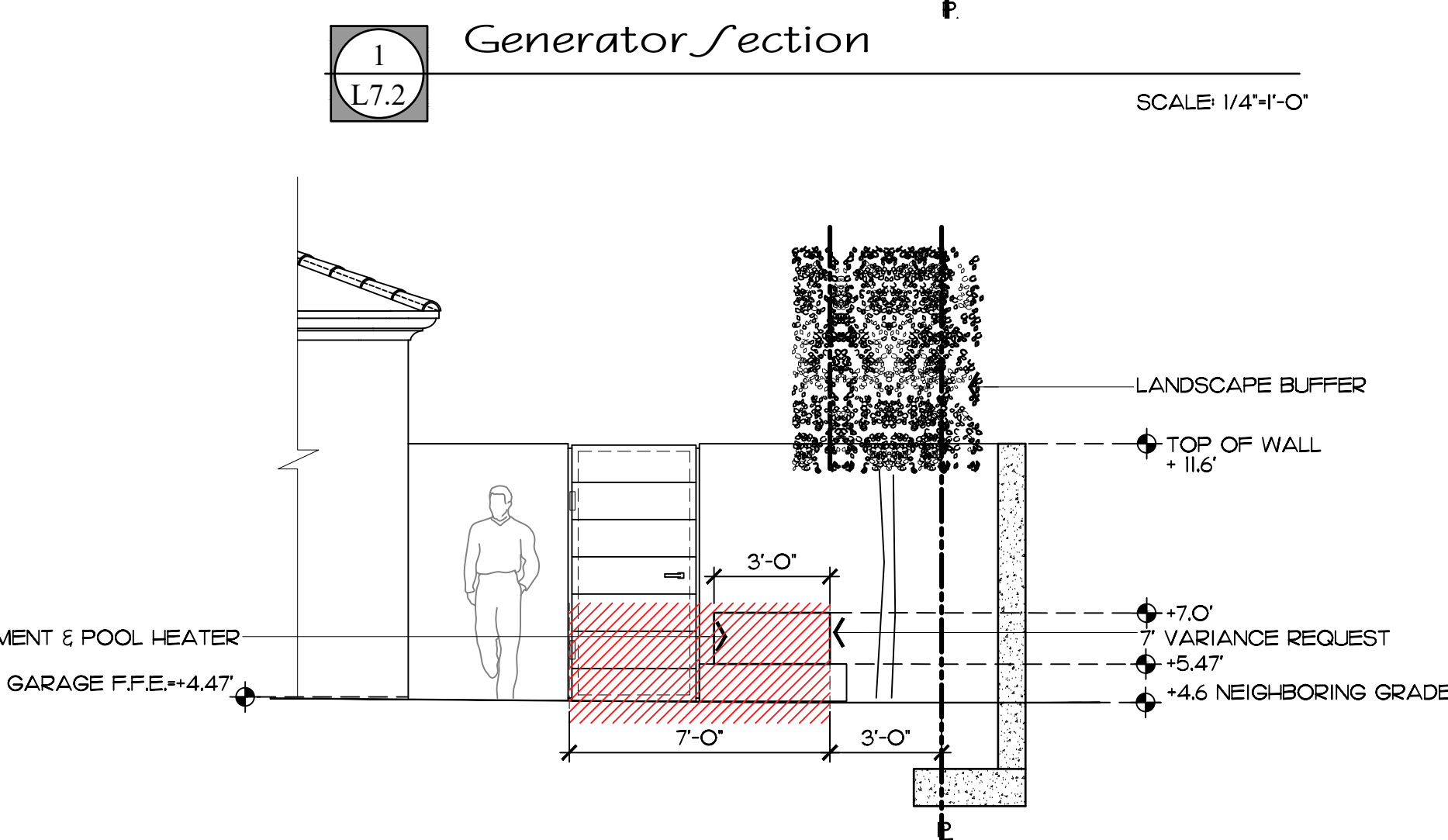
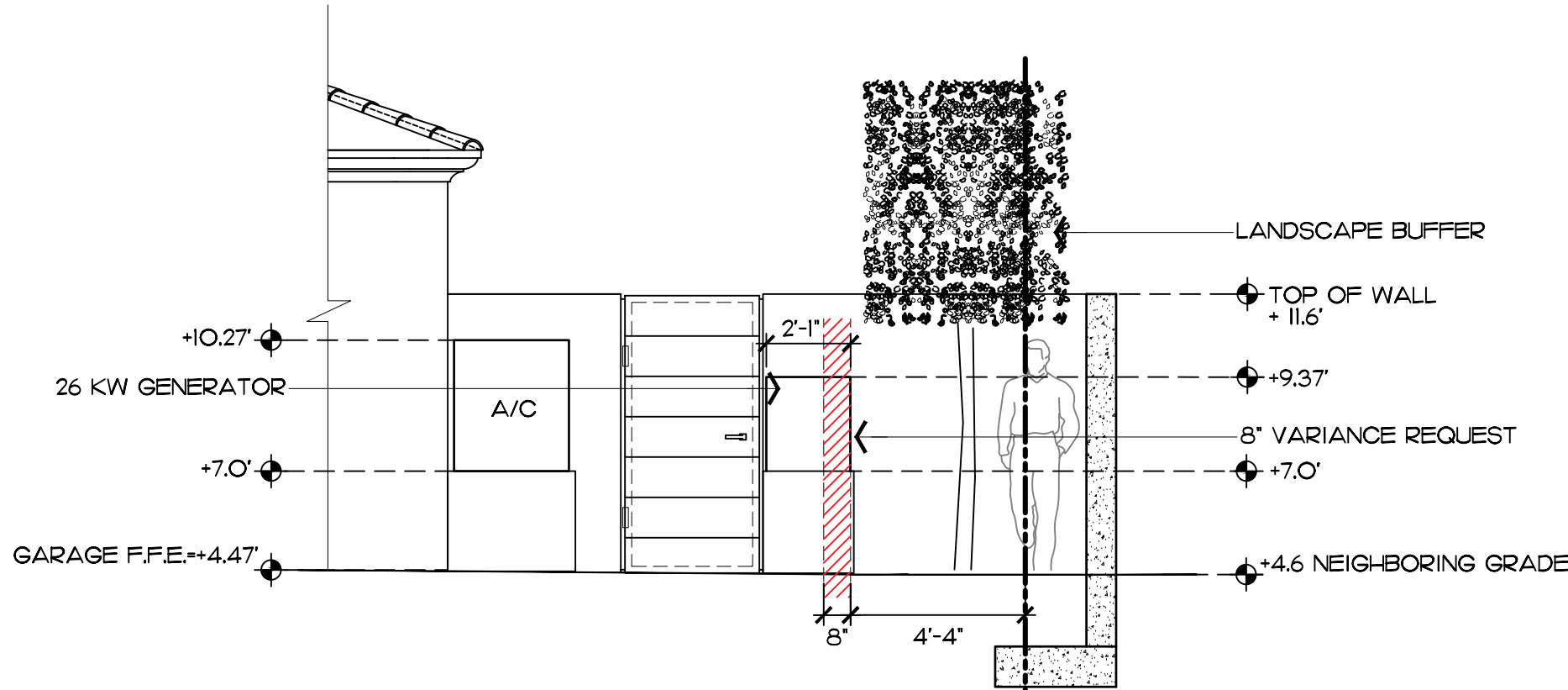
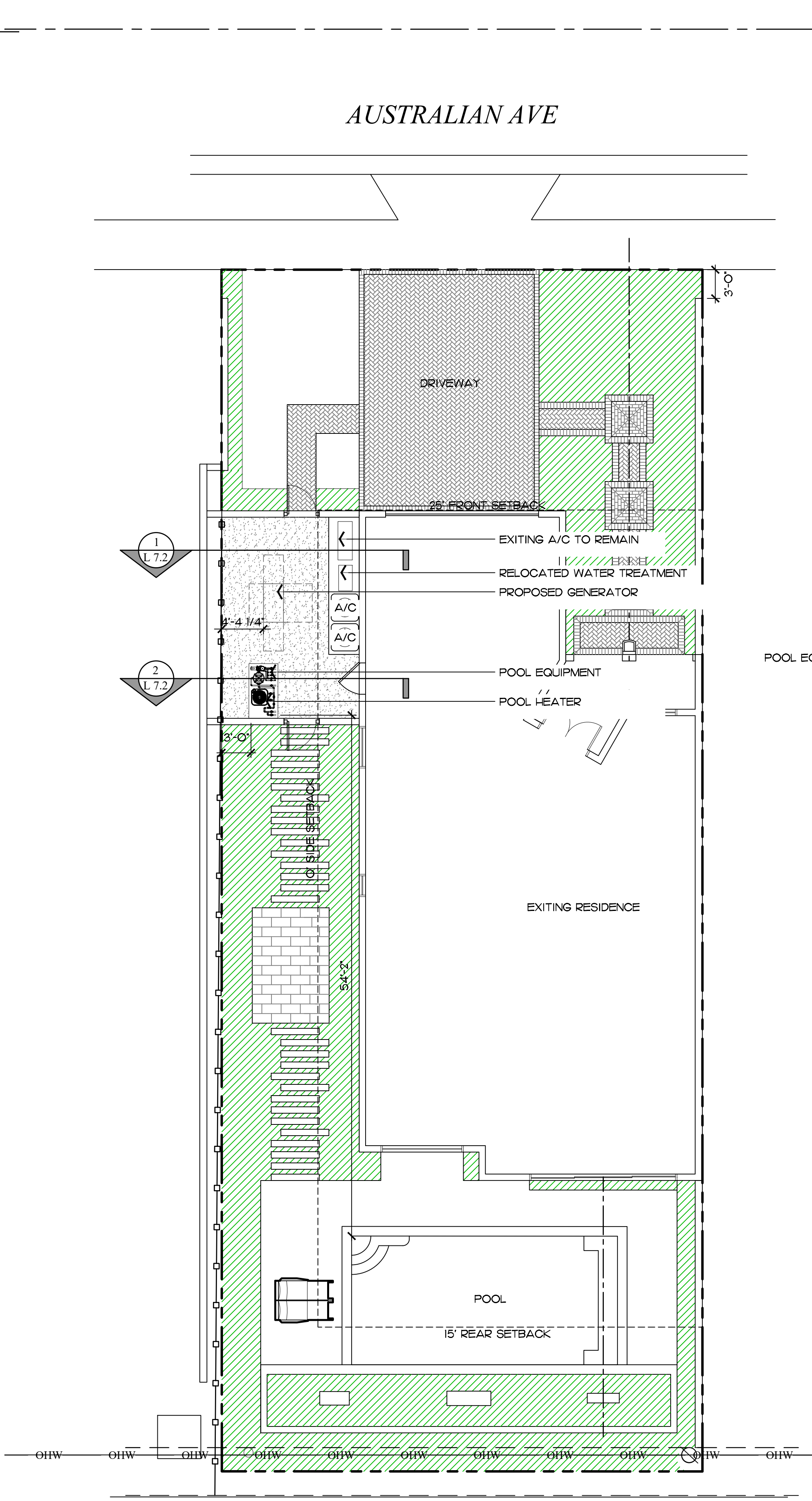
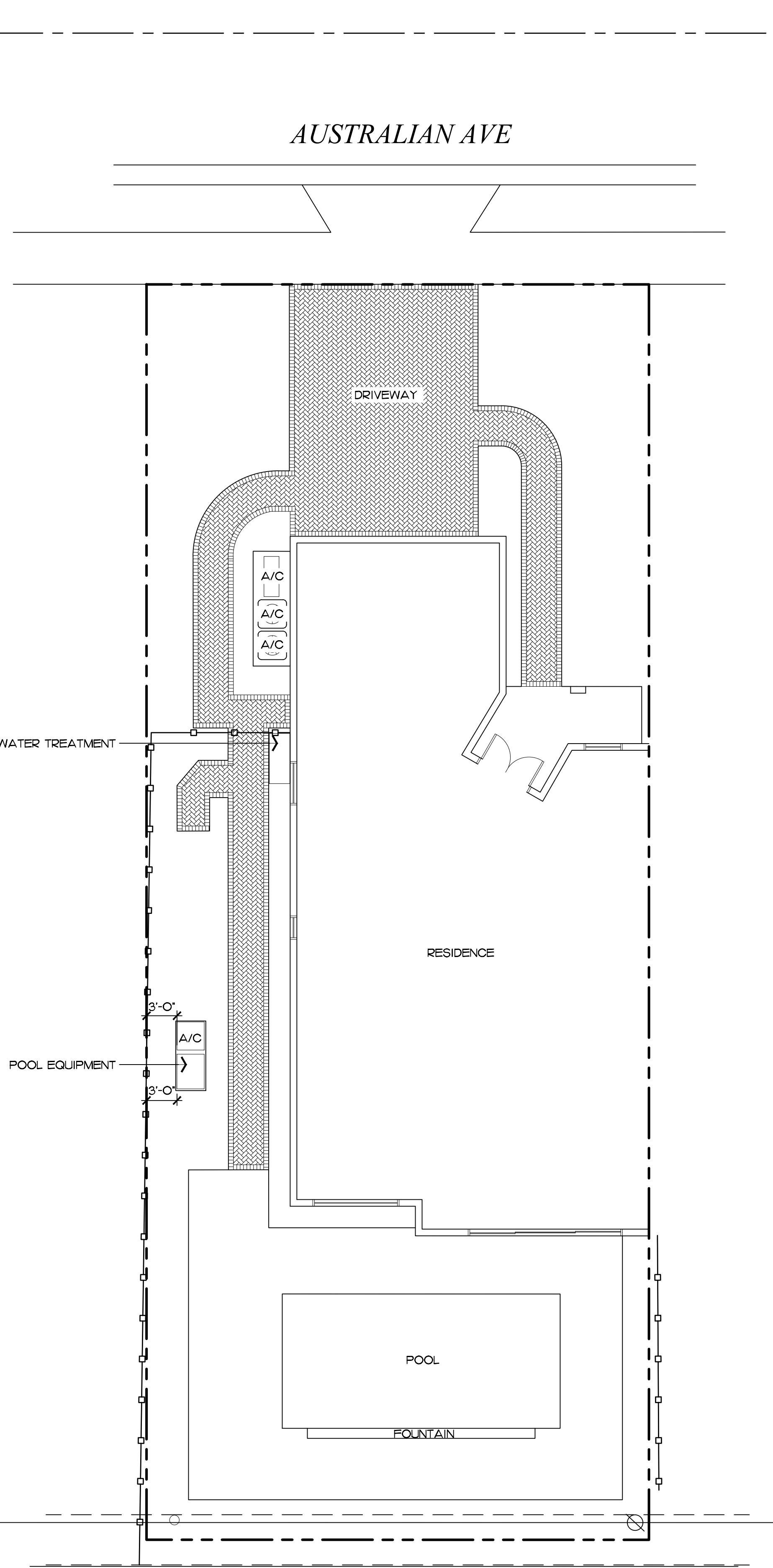
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SUNSHINE STATE ONE CALL  
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Generator specifications

EQUIPMENT VARIANCE REQUEST

	REQUIRED	PROPOSED	VARIANCE REQUESTED
POOL EQUIPMENT	5'-0"	3'-0"	2'-0"
POOL HEATER	10'-0"	3'-0"	7'-0"
GENERATOR	5'-0"	4'-4"	8"

Generator specifications

26 kW

GENERAC

GUARDIAN® SERIES

Residential Standby Generators

Air-Cooled Gas Engine

Standby Power Rating

26 kW

28 kW

1.4 ft

INCLUDES:

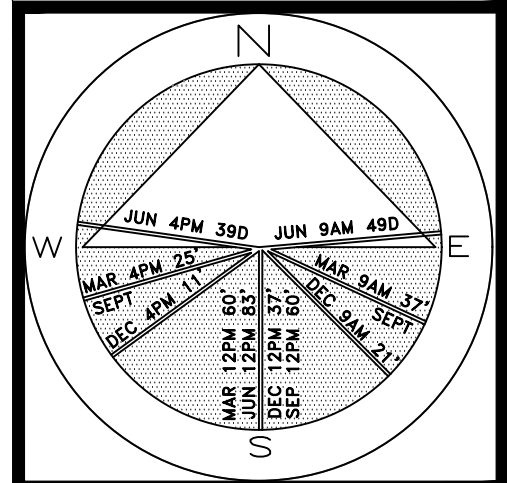
- True Power™ Sine Wave Technology
- Two-line multi-stage digital LED display™ controller (optional generator transfer switch)
- 240 amp service rated transfer switch available
- Electronic generator
- Capacity 60-AMP connectivity
- Custom status & maintenance internal LED displays
- Sound attenuated enclosure
- Parallel fuel line connector
- Natural gas or LP gas operation
- 30 year limited warranty
- Rust finish
- Listed and labeled for installation as shown on 15 ft x 48 ft (only for U.S. market)
- \*Optional transfer switch from 200A, 400A, and 600A and 120V and 240V

FEATURES

- INNOVATIVE ENGINE DESIGN & RIGOROUS TESTING are at the heart of Generac's success in providing the most reliable generator possible. Generac's 26 kW engine design offers added peace of mind and reliability for when it's needed the most. The 26 kW engine design was tested and designed to handle the rigors of extended run times, high temperatures and extreme operating conditions.
- SOUND DESIGN™ (SOUNDTECH™): Generac's innovative and proven noise-free product line that 26 kW True Power™ Generator for only quality power. This sound-attenuated enclosure of acoustic elements, equipped with frequency-based baffles, such as variable speed HVAC systems.
- TRUE POWER™: Sine Wave Technology. Using life and reliability in the synchronous with GENERAC POWER SYSTEM™, the reason for the confidence in the GENERAC product line is clear with its true sine wave output and superior fuel system compatibility.
- PROVEN TESTING: SYSTEM TESTING: Using life and reliability in the synchronous with GENERAC POWER SYSTEM™, the reason for the confidence in the GENERAC product line is clear with its true sine wave output and superior fuel system compatibility.
- WIDE AREA™ CONNECTIVITY: FREE with select Guardian Series Home standby generators. Make your life full of options with the generator that's the most where in the world using a computer, tablet, or PC. Daily access information such as the current operating status and maintenance alerts. Select our control or equipment in authorized service dealer for fast, friendly, and professional service. With Generac's 26 kW engine, you'll be able to handle the most demanding.

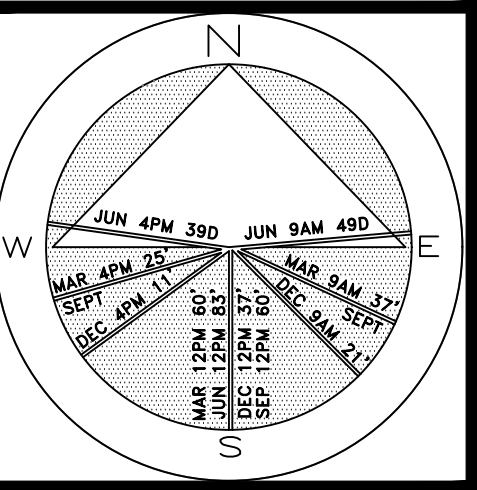
GENERAC

PROMISE





Private Residence  
336 W Australian Avenue  
Palm Beach  
F L O R I D A



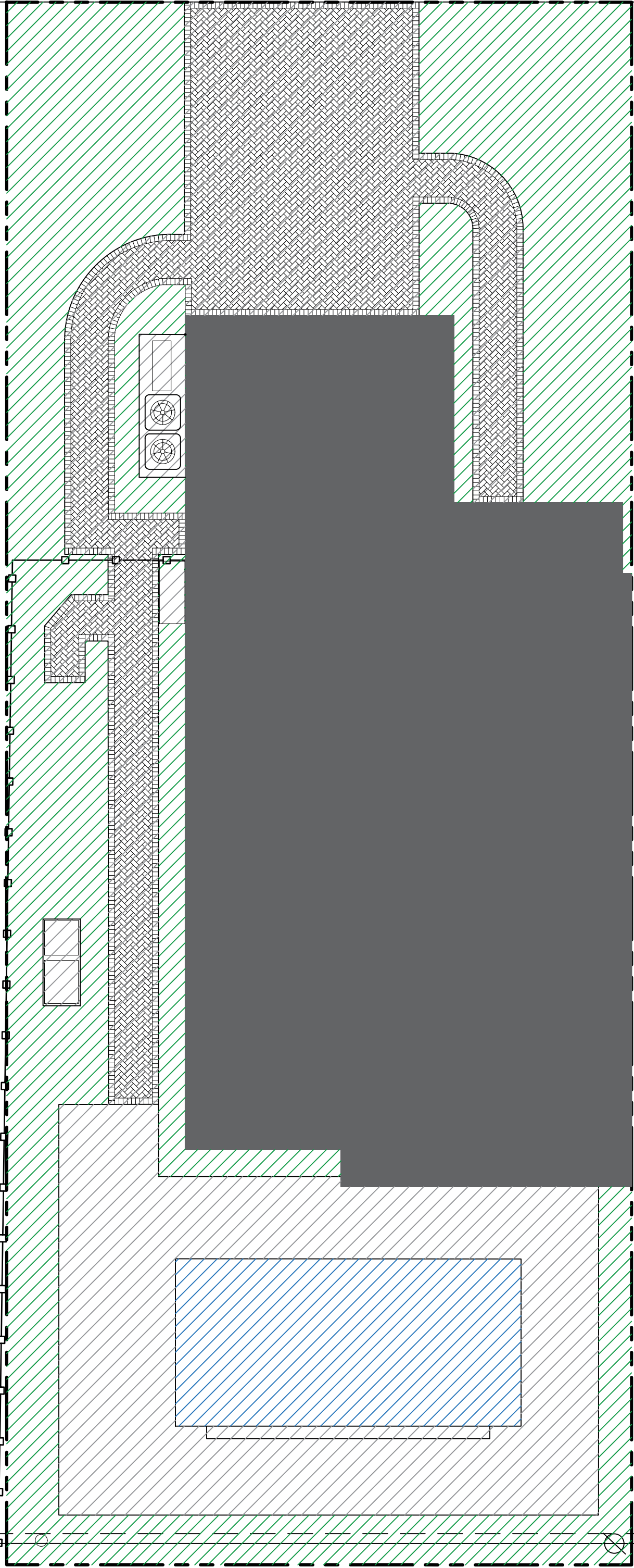
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DRAWN BY: Alex Bugrli  
DATE: 05.23.2024

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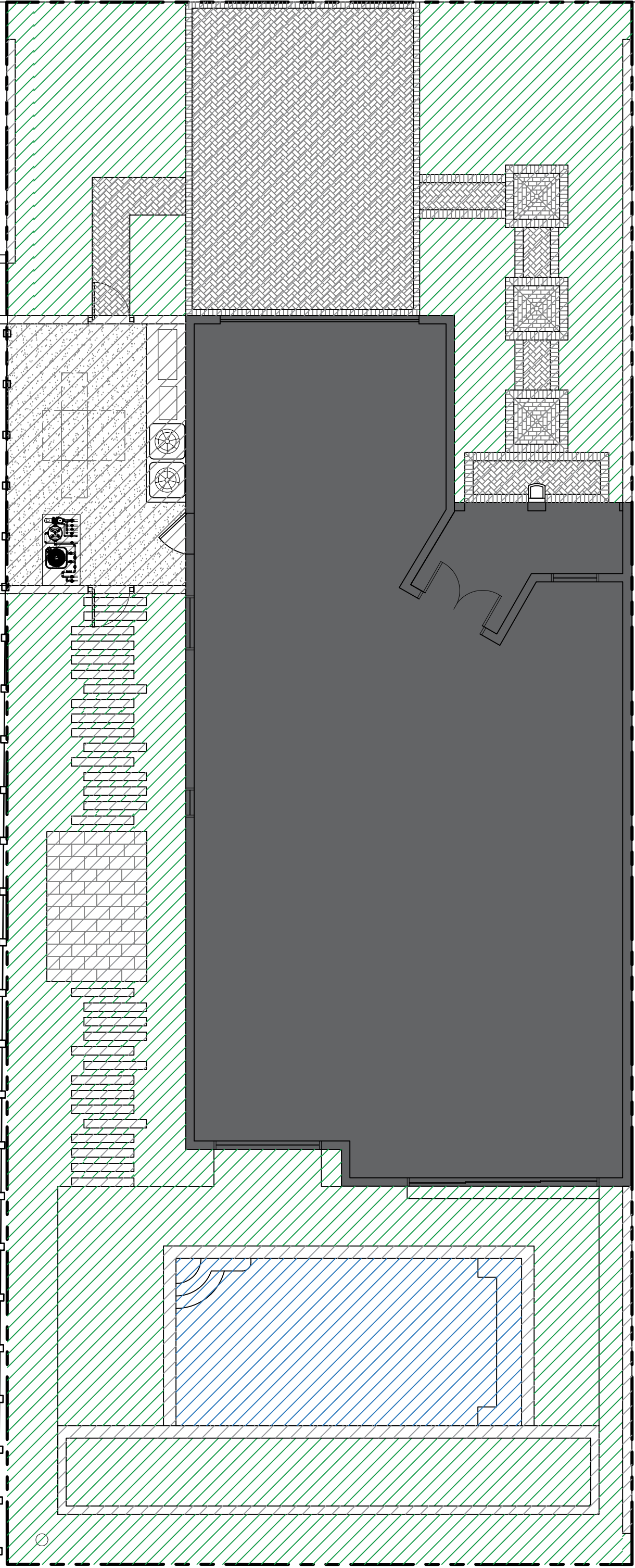


Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- IMPERVIOUS AREA (WATER)
- PERVIOUS AREA / OPEN SPACE



Existing Lot Coverage Graphic



Proposed Lot Coverage Graphic

LOT COVERAGE VARIANCE REQUEST

	REQUIRED	PROPOSED	VARIANCE REQUESTED
OPEN / PERMEABLE SPACE	45%	36.35%	8.65%

Proposed Site Data

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE		R-C MEDIUM DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		6,252 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 2,813 S.F.	26.74% 1,672 S.F.	36.35% 2,273 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 500 S.F.	54.56% 682 S.F.	51.28% 641 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE 1,406 S.F.	54.14% 1,523 S.F.	60.25% 1,695 S.F.

Site Calculation/ Open Space Diagram

SCALE IN FEET 0' 8' 16' 24'

2024  
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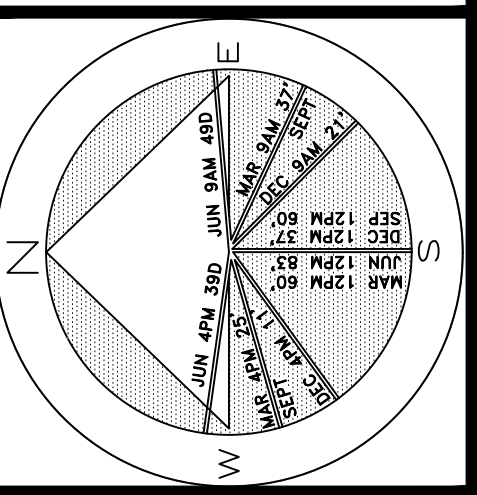
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ARC-23-0034  
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DRAWN BY: Alex Bugrui

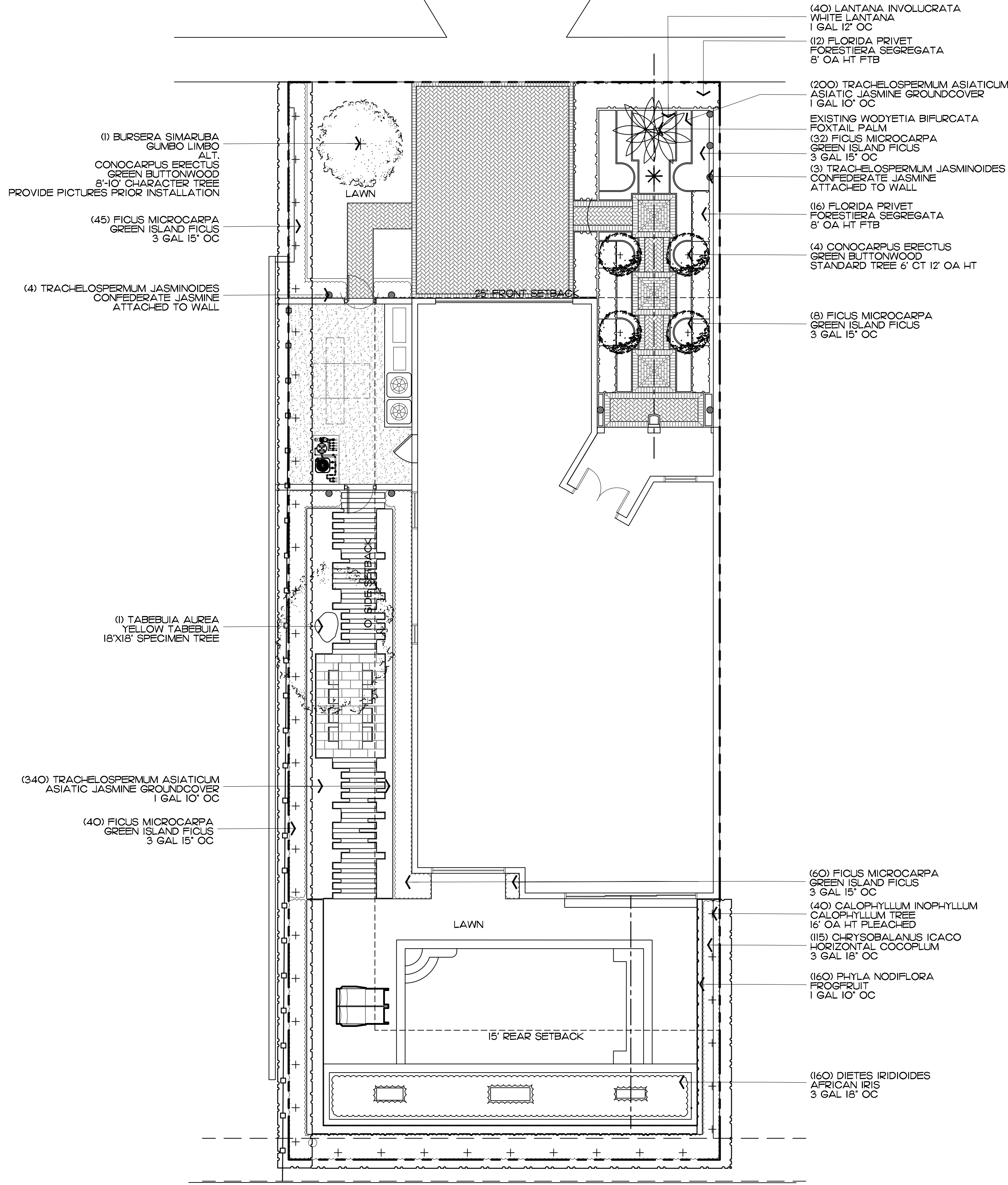
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SHEET L8.0

64 sf.

AREA IN SQ.FT.

AUSTRALIAN AVE



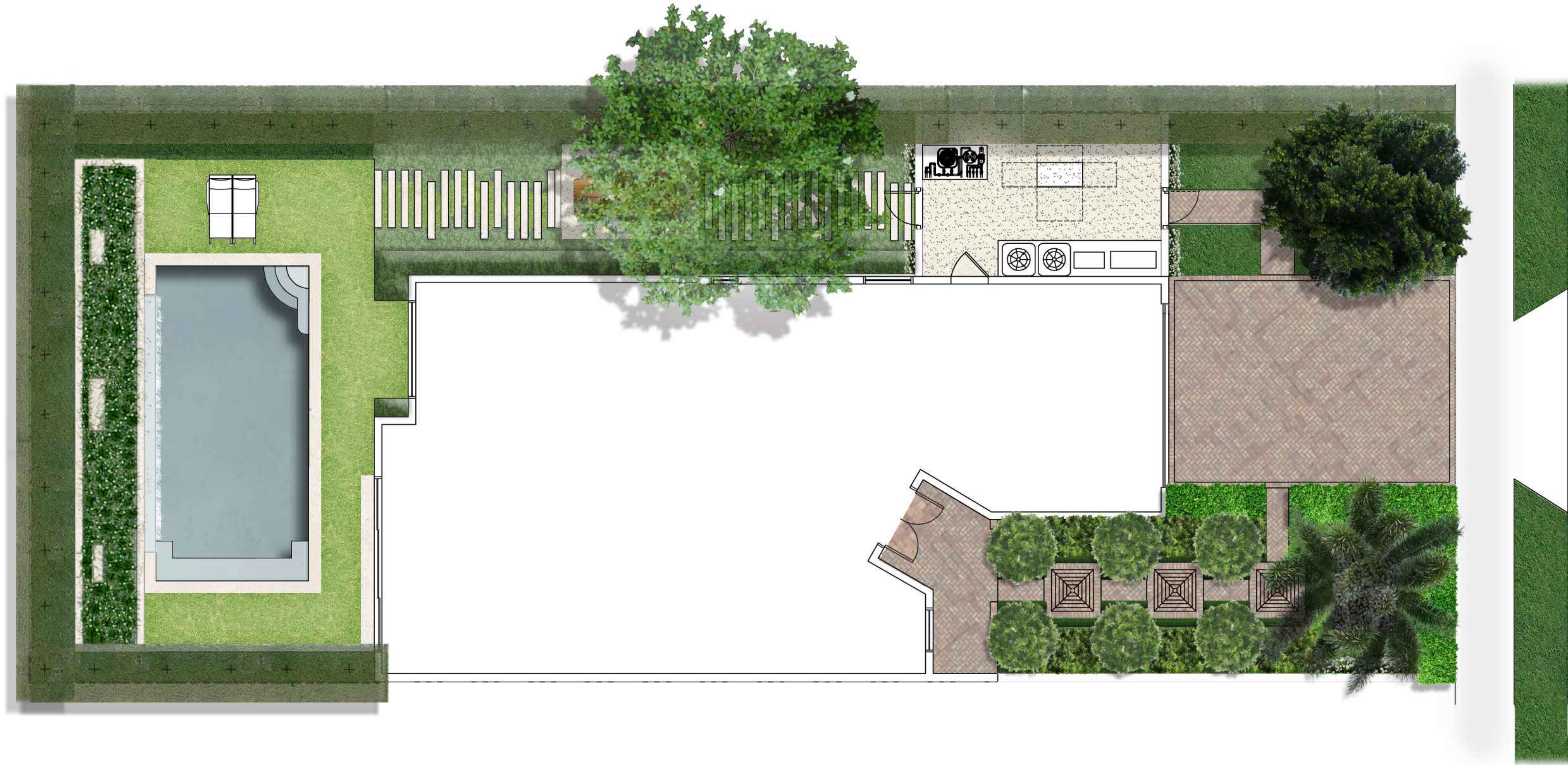
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ARC-23-0034  
ZON-24-0020  
Landscape Plan  
SCALE IN FEET 0' 4' 8' 16'





Australian ave

Private Residence  
336 W Australian Avenue  
Palm Beach

A

D

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L

F

JOB NUMBER: # 24103.00 LA  
DRAWN BY: Dustin Mizell

DATE: 05.23.2024

SHEET L9.0

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Rendered Landscape Plan

AREA IN SQ.FT.

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Trees

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	TABEBUIA AUREA YELLOW TABEBUIA TREE	1	18'X18' CHARACTER SPECIMEN TREE PROVIDE IMAGE UPON INSTALLATION	NO
	CONOCARPUS ERECTUS GREEN BUTTONWOOD	4	STANDARD TREE 6' CT 12" OA HT	YES
	BURSERA SIMARUBA ALT. CONOCARPUS ERECTUS	1	CHARACTER TREE 8'-10' OA HT	YES
TOTAL TREES:		6		
NATIVE SPECIES:		5 (83%)		

Groundcovers

SYMBOL/KEY	PLANT NAME	SF/QTY.	DESCRIPTION	NATIVE
	TRACHELOSPERMUM ASIATICUM JASMINE GOUNDCOVER	230 SF./ 540	1 GAL 10" OC	NO
	PHYLA FROG FRUIT	110 SF./ 160	1 GAL 10" OC	YES
TOTAL SF:		340 SF.		
NATIVE SPECIES SF:		110 SF. (32.35%)		

Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	CALOPHYLLUM INOPHYLLUM CALOPHYLLUM TREE	40	14'-18' OA HT	NO
	CHRYSOBALANUS ICACO HORIZONTAL COCOPLUM	115	3 GAL 18" OC	YES
	LANTANA INVOLUCRATA WHITE LANTANA	40	1 GAL 12" OC	YES
	FICUS MICROCARPA GREEN INLAND FICUS	185	3 GAL 15" OC	NO
	FLORIDA PRIVET FORESTIERA SEGREGATA	28	8' OA HT FTB	YES
	DIETES IRIDIOIDES AFRICAN IRIS	160	3 GAL 18" OC	NO
	TRACHELOSPERMUM JASMINOIDES CONFEDERATE JASMINE VINE	7	ATTACHED TO WALL	NO
TOTAL:		575		
NATIVE SPECIES:		183 (31.82%)		

ALL PLANT MATERIAL TO BE FLORIDA GRADE #1 OR GREATER

PROVIDE PICTURES OF TREES/PALMS FOR LANDSCAPE ARCHITECT'S APPROVAL

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Palm Beach

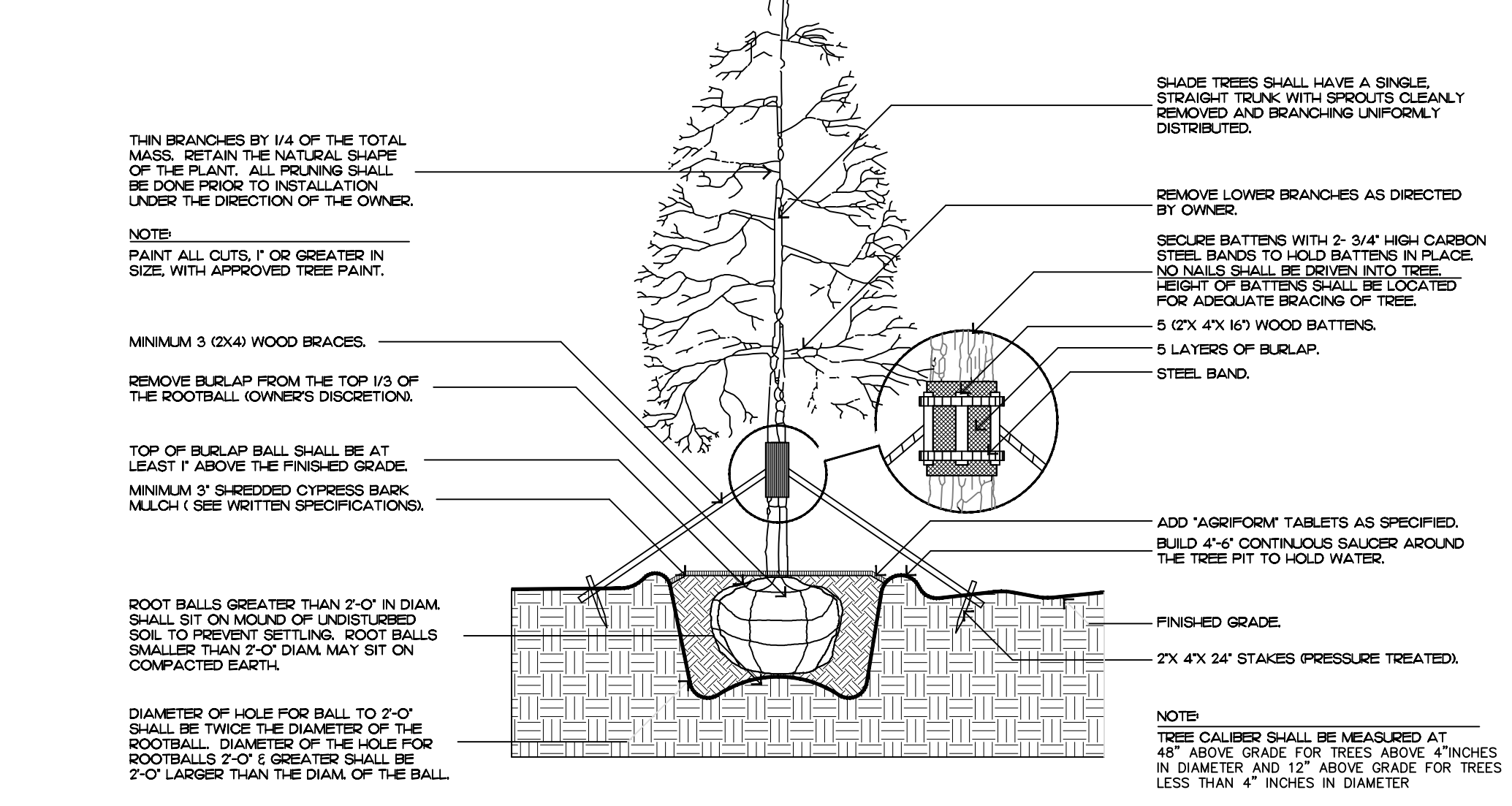


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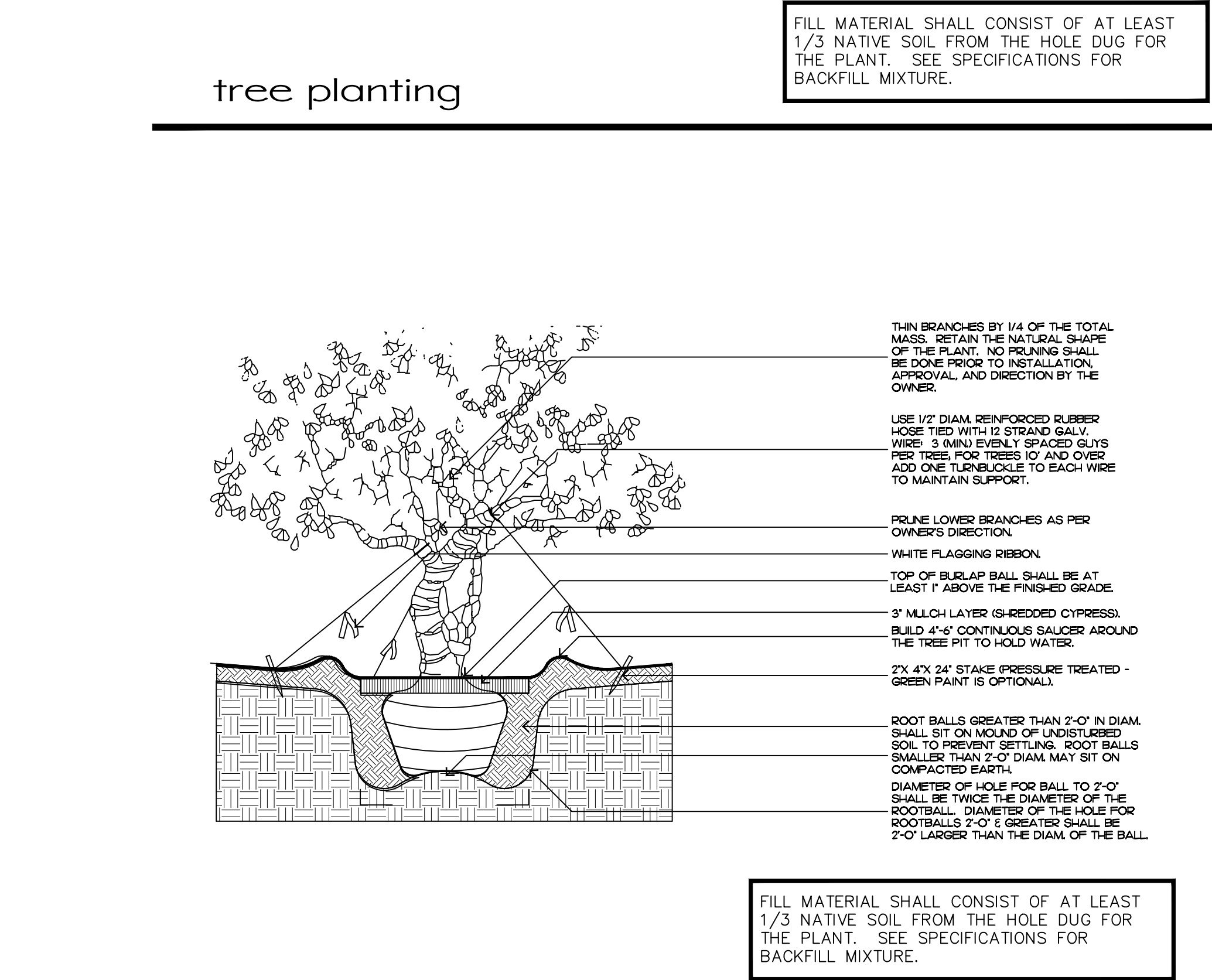
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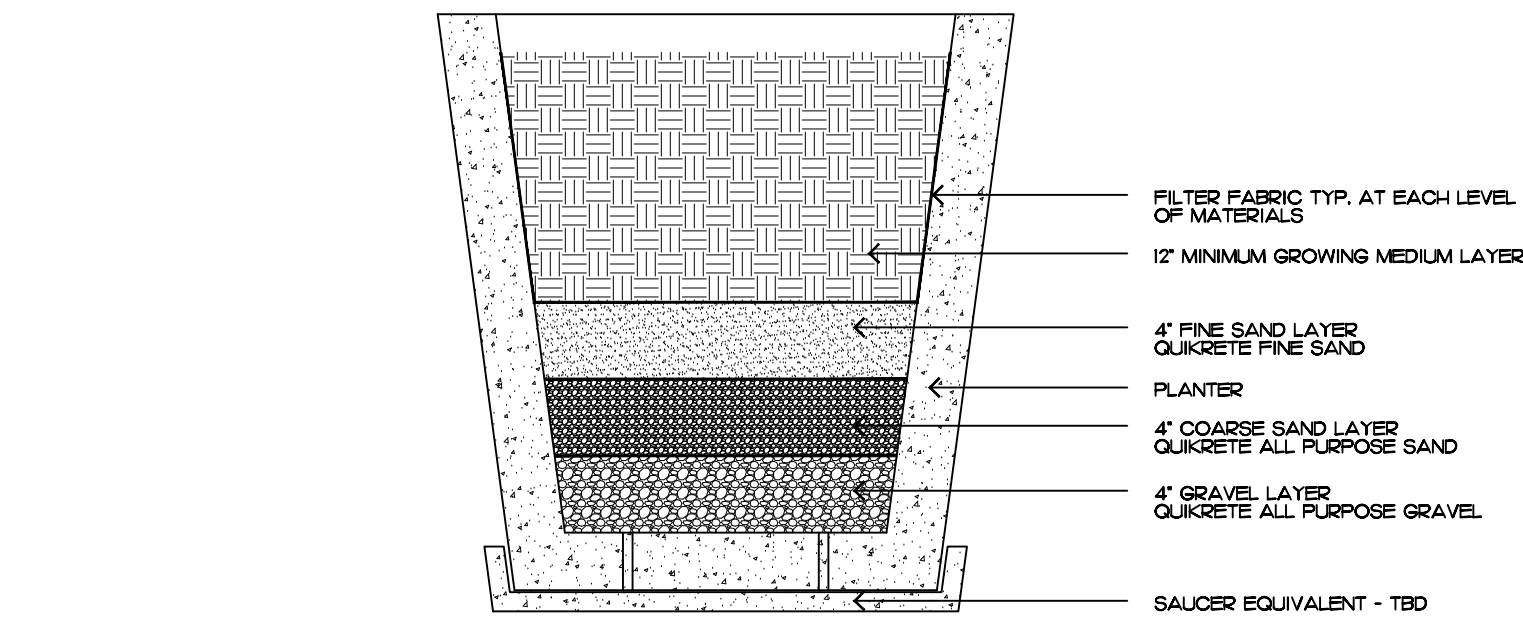




tree planting



irregular and multi-stem tree



Typical Planter Sediment Filtration Detail

**2024**

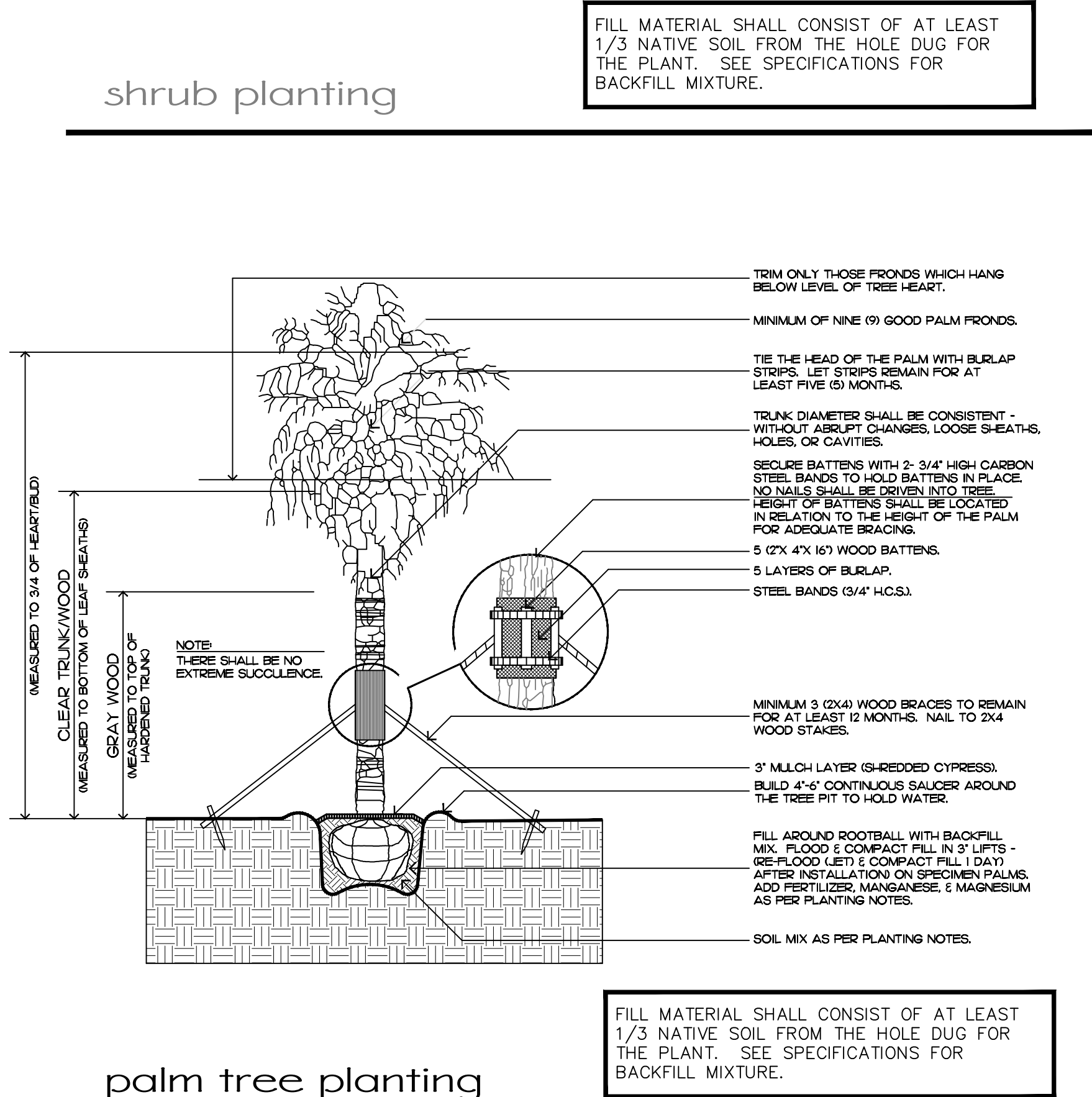
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**2024**

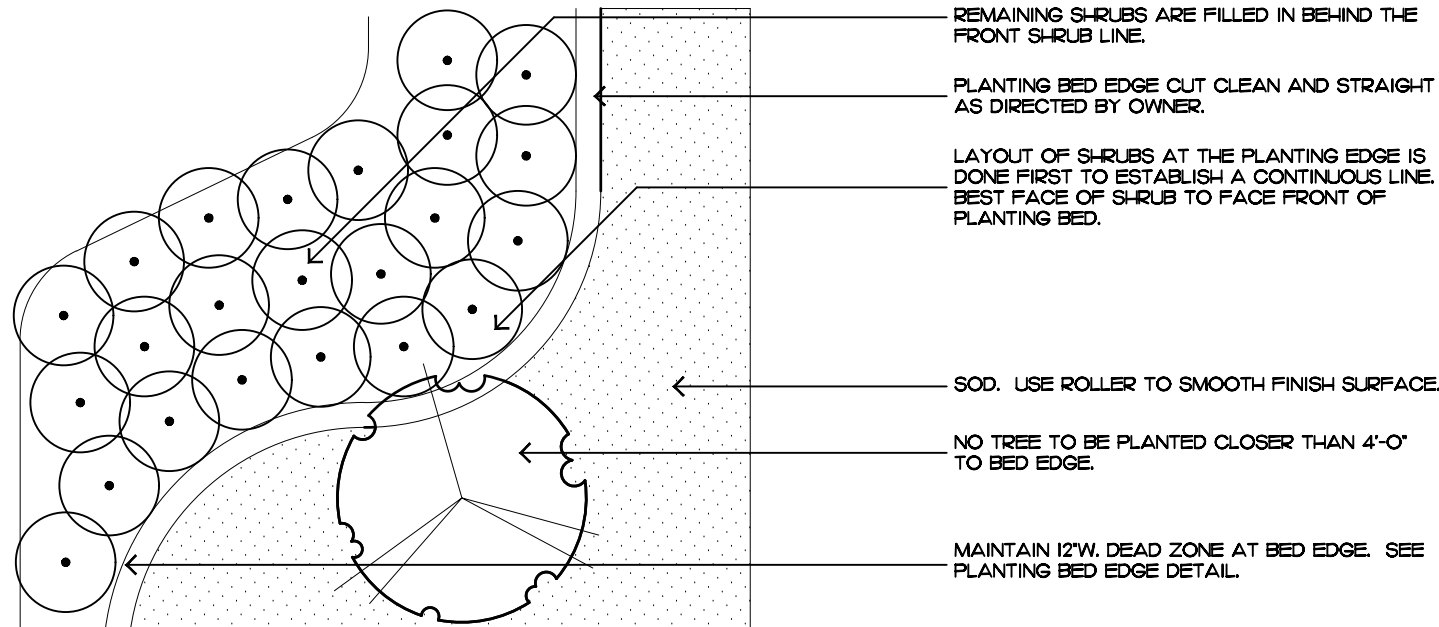
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shrub planting



palm tree planting



shrub & ground cover layout

# Planting Notes

## COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

SIX PERCENT (6%) NITROGEN  
SIX PERCENT (6%) PHOSPHOROUS  
SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1 1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 8'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIPER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIPER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

## MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

## SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

## SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

## MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD.

OVERALL HEIGHT (O.A.) SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT.

PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

## PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIMES, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERBERIS OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

## PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO "STANDARDIZED PLANT NAMES", 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II", LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN MEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEM. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

## CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

1. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBERUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

## WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, AND UNUSUAL PHENOMENA BEYOND INSTALLER'S CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

## MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ARC-23-0034  
ZON-24-0020

# Planting Details & Specifications

**ENVIRONMENT  
DESIGN  
GROUP**

130 North County Road 5420-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture  
Land Planning  
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

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336 W Australian Avenue  
Palm Beach  
FL 33480

JOB NUMBER: # 24103.00 LA  
DRAWN BY: Dustin Mizell

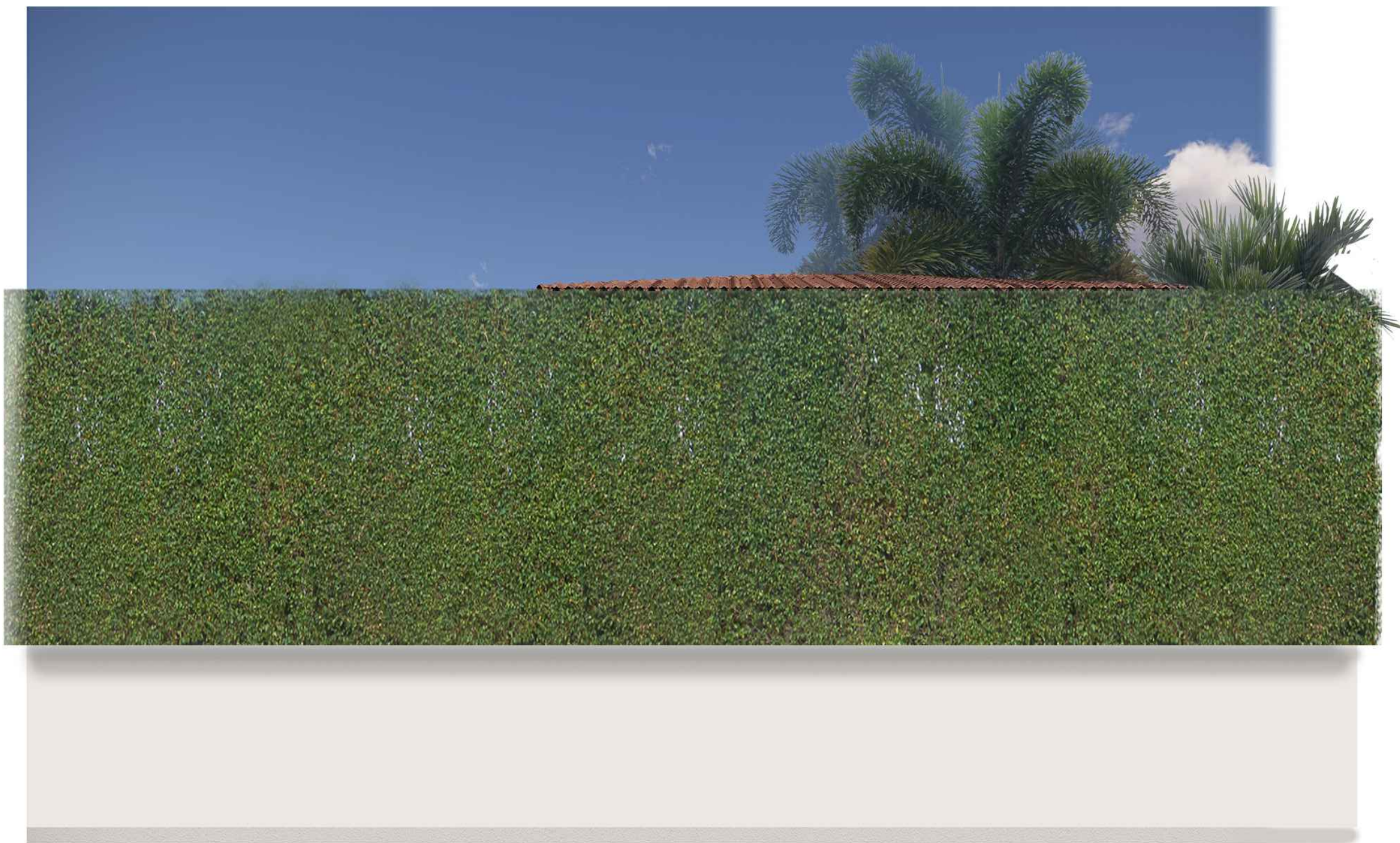
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SHEET L8.2





Front Elevation



Back / Rear Elevation

ENVIRONMENT  
DESIGN  
GROUP

139 North County Road 5420-8  
Palm Beach, FL 33480  
Phone: 561.832.4600

Palm Beach, FL 33480  
Mobile: 561.313.4424

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Land Planning  
Landscape Management

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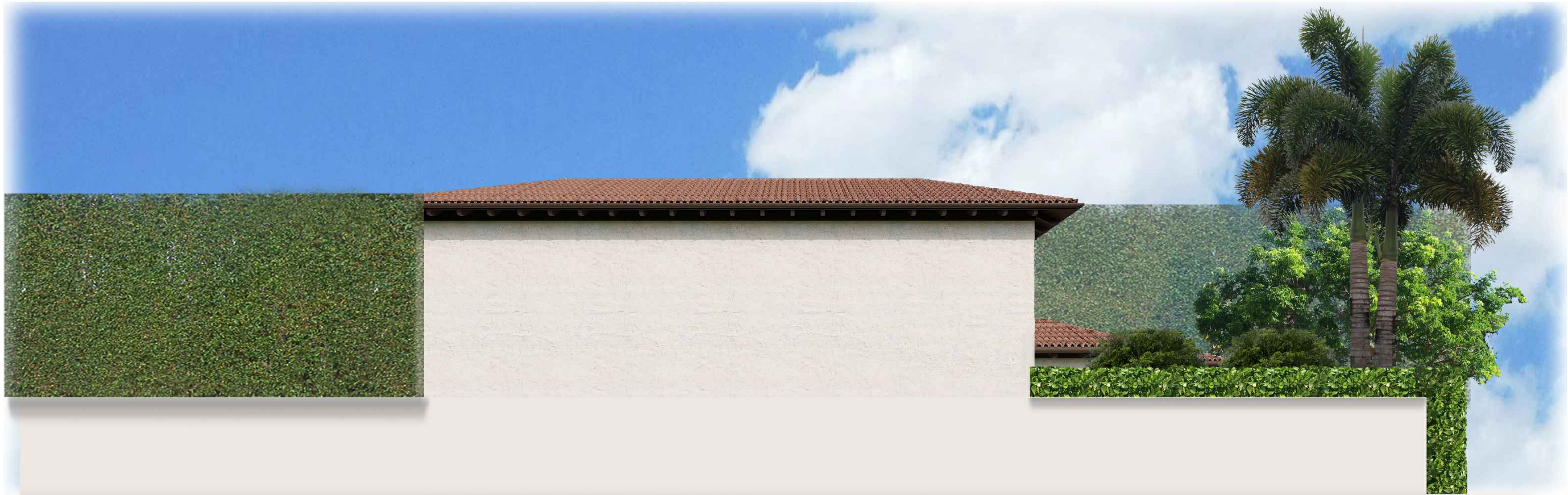
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Rendered Elevations





West Elevation

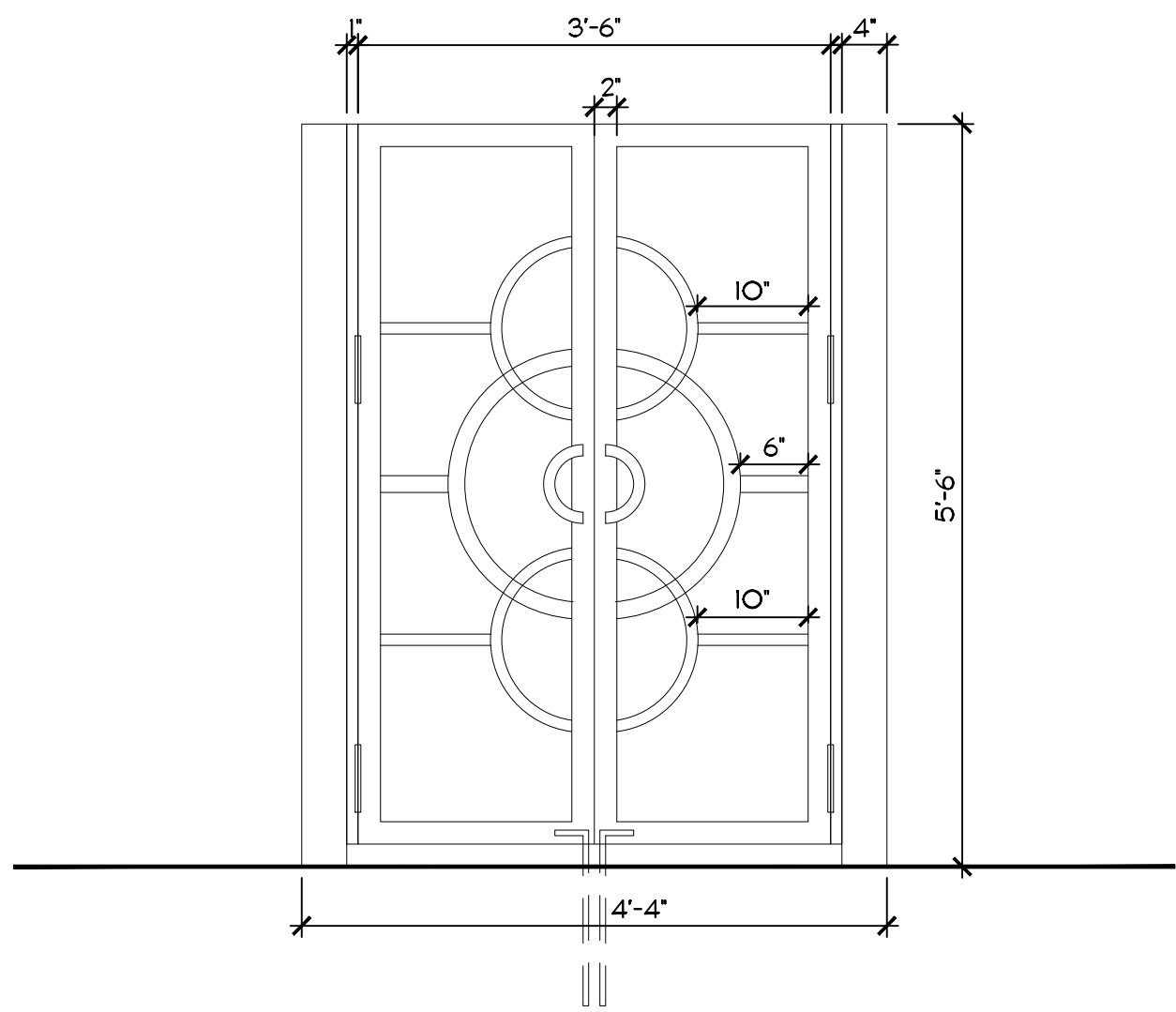


East Elevation

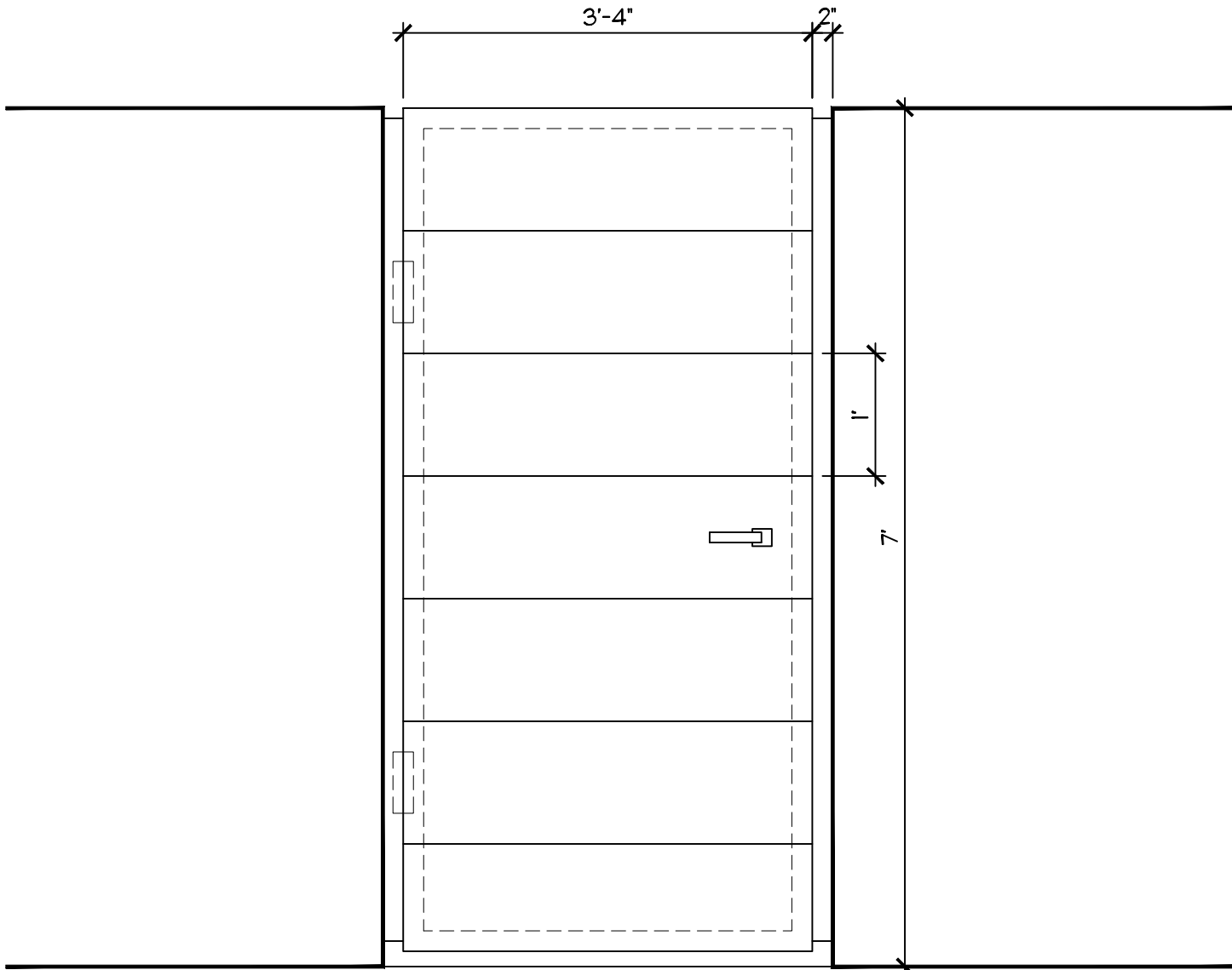




Courtyard Entry Gate



Courtyard Entry Gate Detail



Courtyard Equipment Enclosure Gate Detail



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 6,253 sq.ft.

Drainage Area Impervious Surface = 3,745 sq.ft.

Drainage Area Pervious Surface = 2,508 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ( $Q=CiA$ )

where:

$C = 1.0$  (Impervious surface)

$C = 0.2$  (pervious surface)

$i = 2$  in/hr

Impervious Surface Runoff Volume:

$1.0 \times 2$  in/hr  $\times$  3,745 sq.ft.  $\times$  1 ft./12 in. = 624 cu.ft.

Pervious Runoff Volume:

$0.2 \times 2$  in/hr  $\times$  2,508 sq.ft.  $\times$  1 ft./12 in. = 84 cu.ft.

Total Volume to be Retained = 708 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1

L = Total Length of Trench Provided = 20 ft

W = Trench Width = 18 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

H2 = Depth to Water Table = 1.70 ft

DU = Un-Saturated Trench Depth = 1.00 ft

DS = Saturated Trench Depth = 1.00 ft

V = Volume Treated = 313 cu.ft.

Exfiltration Trench #2

L = Total Length of Trench Provided = 10 ft

W = Trench Width = 8 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

H2 = Depth to Water Table = 1.70 ft

DU = Un-Saturated Trench Depth = 1.00 ft

DS = Saturated Trench Depth = 1.00 ft

V = Volume Treated = 75 cu.ft.

Exfiltration Trench #3

L = Total Length of Trench Provided = 45 ft

W = Trench Width = 6 ft

K = Hydraulic Conductivity = 0.00005 cfs/sq.ft./ft. of head

H2 = Depth to Water Table = 1.70 ft

DU = Un-Saturated Trench Depth = 1.50 ft

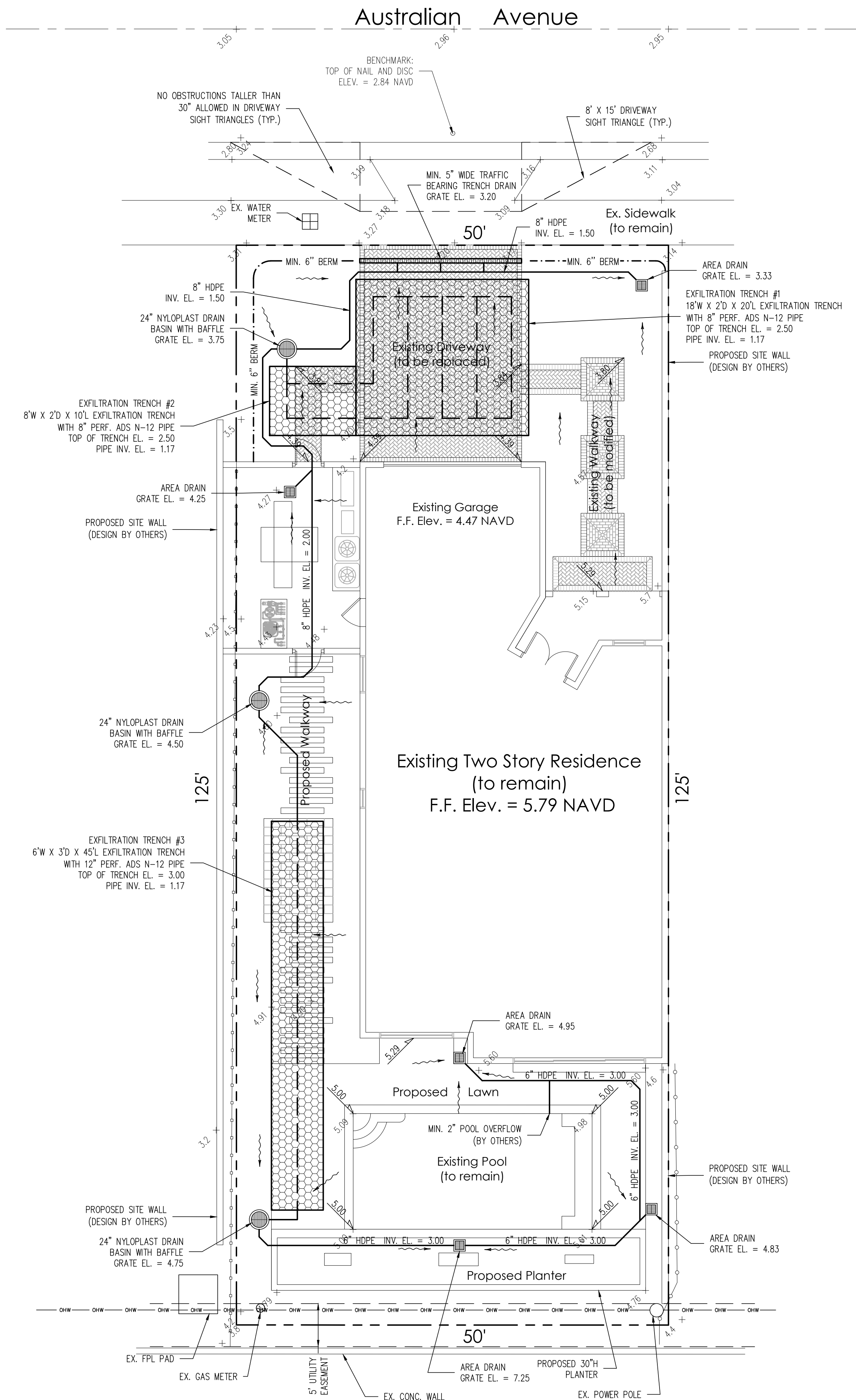
DS = Saturated Trench Depth = 1.50 ft

V = Volume Treated = 352 cu.ft.

Total Volume Retained in Exfiltration Trenches = 740 cu.ft.

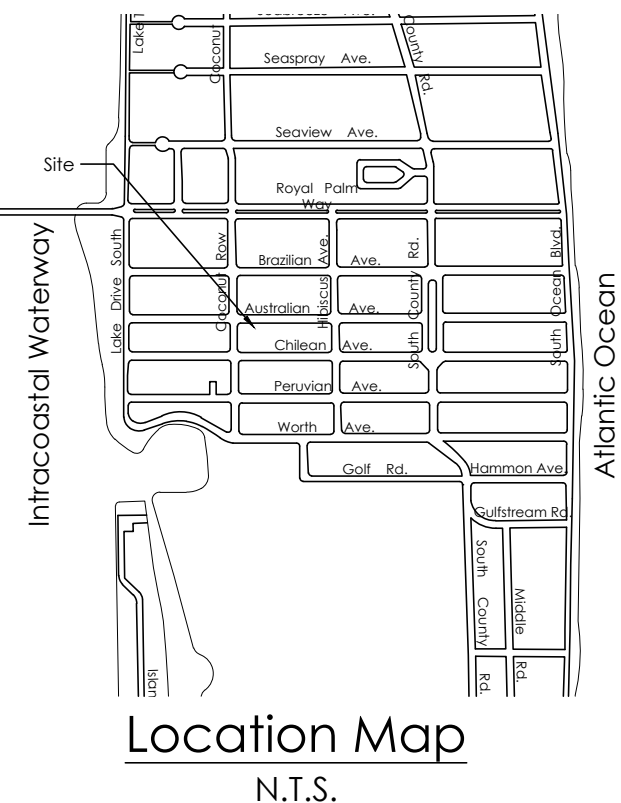
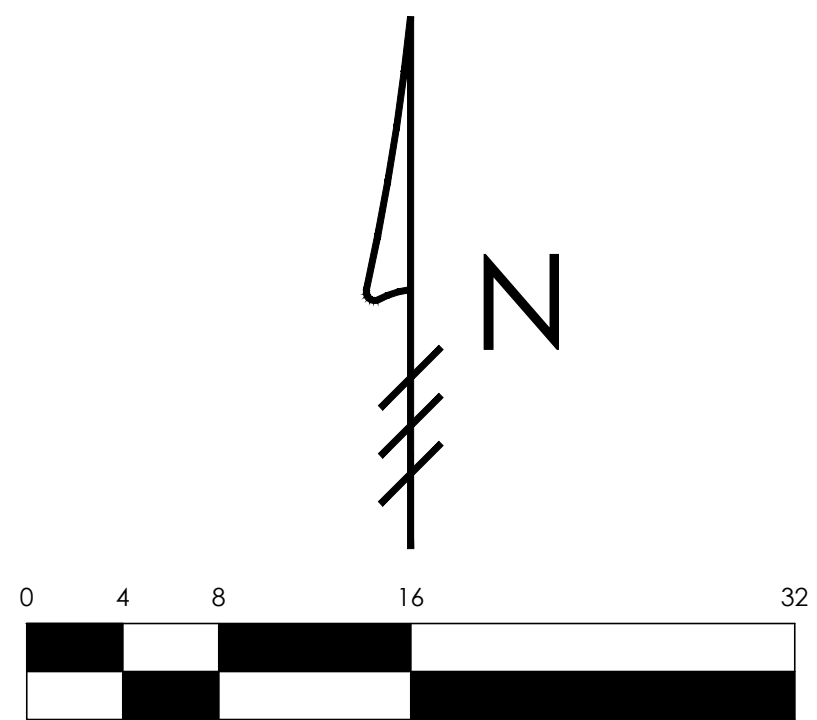
Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.
- All existing onsite storm drainage to be removed.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



**GRUBER CONSULTING ENGINEERS**

2475 Mercer Avenue, Suite 305  
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CALL 1-800-432-4770  
**SUNSHINE STATE ONE**  
**CALL OF FLORIDA, INC.**

Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

Conceptual Site Grading & Drainage Plan For:  
**PROPOSED RENOVATION**  
336W Australian Avenue  
Palm Beach, Florida

PROJECT INFORMATION:	
Project No.	2024-0043
Issue Date	05/23/2024
Scale	1/8" = 1'-0"

REVISIONS:	
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**CHAD M. GRUBER**  
FLORIDA P.E. NO. 57466

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

**SHEET NUMBER:**

**C-1**

Plan Background from Hardscape Plan by  
Environment Design Group Received 5/21/24

ARC-24-0036

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