

Zoning Legend

PROPERTY ADDRESS	576 ISLAND DRIVE		
ZONING DISTRICT	R-B LOW DENSITY RESIDENTIAL		
LOT AREA (SQ. FT.)	16,056 S.F.		
LOT WIDTH (W) & LOT DEPTH (D) (FT.)	100.01' (W) X 163.71' (D)		
STRUCTURE TYPE:	SINGLE FAMILY HOME		
FEMA FLOOD ZONE DESIGNATION:	FLOOD ZONE AE (EL 6)		
ZERO DATUM FOR POINT OF MEAS. (NAVD)	N/A		
CROWN OF ROAD (COR) (NAVD)	3.41		
	REQ'D / PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	30%	N/A	N/A
ENCLOSED SQUARE FOOTAGE	N/A	N/A	N/A
FRONT YARD SETBACK (FT.)	25'	26.9'	N/A
SIDE YARD SETBACK (1ST STORY) (FT.)	12.5'	9.9'	N/A
SIDE YARD SETBACK (2ND STORY) (FT.)	15'	9.9'	N/A
REAR YARD SETBACK (FT.)	25'	46.2'	N/A
ANGLE OF VISION (DEG.)	100	N/A	N/A
BUILDING HEIGHT (FT.)	22	N/A	N/A
OVERALL BUILDING HEIGHT (FT.)	N/A	N/A	N/A
CUBIC CONTENT RATIO (CCR) (R-B ONLY)	3.9	N/A	N/A
MAX. FILL ADDED TO SITE (FT.)	N/A	N/A	N/A
FINISHED FLOOR ELEVATION (FFE) (NAVD)	N/A	7.62	N/A
BASE FLOOD ELEVATION (FFE) (NAVD)	N/A	N/A	N/A

Landscape Legend

	REQ'D / PERMITTED	PROPOSED
LANDSCAPE OPEN SPACE (LOS) (SQ. FT. AND %)	45% MINIMUM 7,225.2 S.F.	42.3% 6,798 S.F.
LOS TO BE ALTERED (SQ. FT. AND %)	N/A	7% 550 S.F.
PERIMETER LOS (SQ. FT. AND %)	50% 2,395 S.F.	76.5% 3,666 S.F.
FRONT YARD LOS (SQ. FT. AND %)	40% MIN. 998 S.F.	64.4% 1,607 S.F.
NATIVE TREES %	30%	N/A
NATIVE SHRUBS & VINES %	30%	35%
NATIVE GROUNDCOVER %	30%	N/A



Private Residence
576 Island Drive
Town of Palm Beach
Second Submittal: 04/01/24
ARC-24-067
Projected Meeting Date: 05/29/2024

Sheet Index

- Coversheet
Survey
L1.0 Existing Site Photos
L2.0 Existing Vegetation Inventory & Action Plan
L2.1 Demolition Plan
L3.0 Construction Screening & Staging Plan
L4.0 Truck Logistics Plan
L5.0 Site Plan
L5.1 Open Space Calculations
L6.0 Hardscape Plan
L6.1 Hardscape Elevations
L7.0 Planting Plan
L7.1 Rendered Site Plan
L8.0 Site Elevations
L8.1 Site Elevations
L8.2 Site Elevations

Scope of Work

- * New pool deck Hardscape
- * Modified courtyard
- * New Grill
- * New water feature
- * New landscape material
- * Change in site data
- * Relocated A/C Unit

Design Team/Consultants

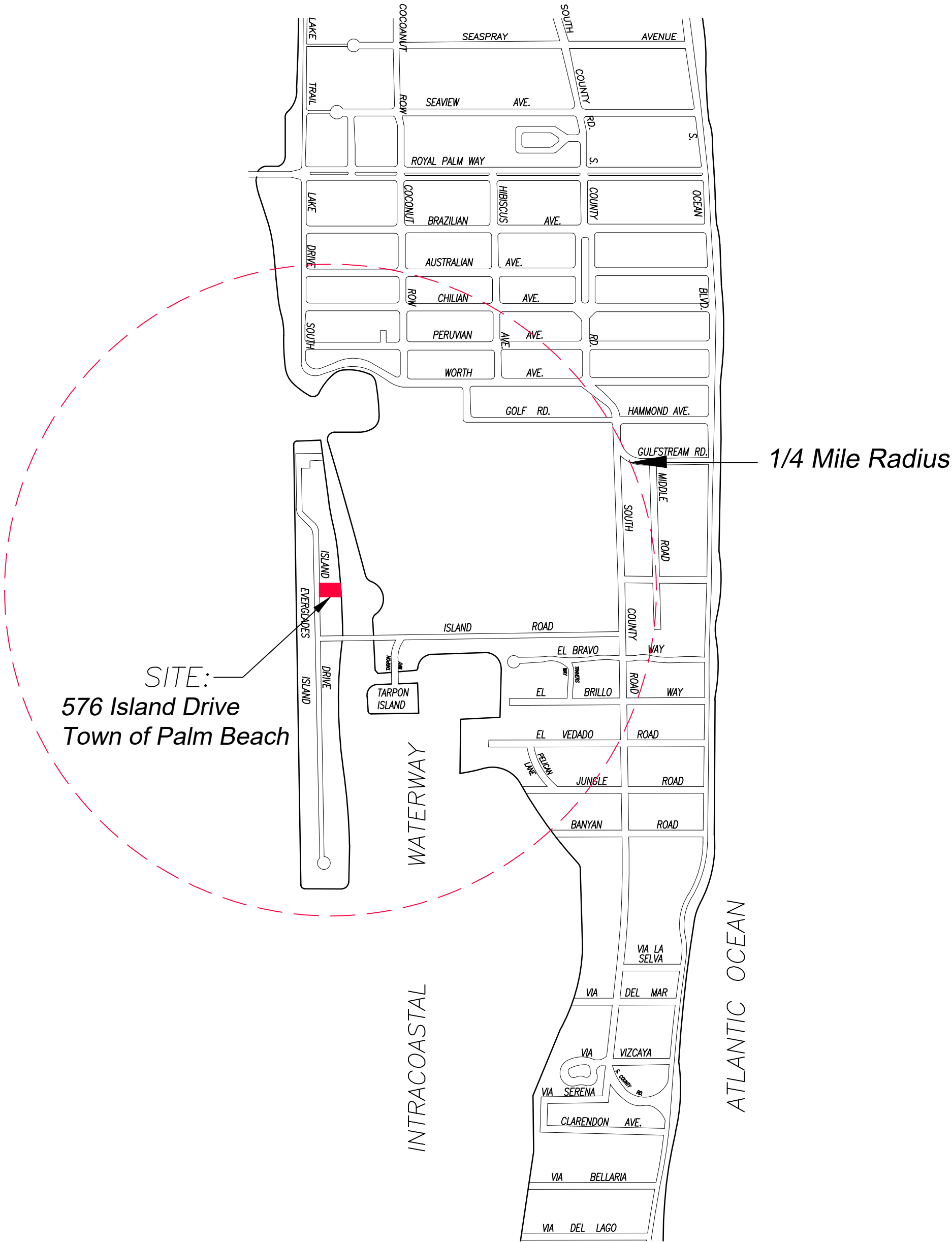
Landscape Architects
ENVIRONMENT DESIGN GROUP
139 NORTH COUNTY ROAD SUITE 20B
PALM BEACH, FL 33480
561.832.4600
WWW.ENVIRONMENTDESIGNGROUP.COM

RECEIVED

By yfigueroa at 7:26 am, Apr 16, 2024



Aerial View of Property



Vicinity/Location Map

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
B.F.P. = BACKFLOW PREVENTER
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
F.O.C. = FACE OF CURB
I.C.V. = IRRIGATION CONTROL VALVE
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C.P. = PERMANENT CONTROL POINT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R/W = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH. = THRESHOLD ELEVATION
T.O.C. = TOP OF COLUMN
T.O.W. = TOP OF WALL ELEVATION
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
B. = BASELINE
C. = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
□ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = #5 ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
○ = IRON ROD FOUND (AS NOTED)
▲ = PARKER-KALON NAIL FOUND
▲ = PARKER-KALON NAIL & DISK FOUND (AS NOTED)
▲ = PARKER-KALON NAIL & DISK SET (LB #4569)
● = PROPERTY LINE
○ = UTILITY POLE
○ = FIRE HYDRANT
○ = WATER METER
○ = WATER VALVE
○ = LIGHT POLE
○ = PINE TREE
○ = SABAL PALM

BENCHMARK:
MAG NAIL AND DISK
EL.=3.09

DRIVEWAY AGGREGMENT
(O.R.B. 7559, PG. 1468)

BENCHMARK:
MAG NAIL AND DISK
EL.=2.79

ISLAND DRIVE
(PUBLIC)

ISLAND ROAD

EAST SHORELINE OF LONE CABBAGE ISLAND CIRCA 1926

42

N89°05'00"W 156.58'

#576
2-STORY RESIDENCE

44
15,976 S.F.

46

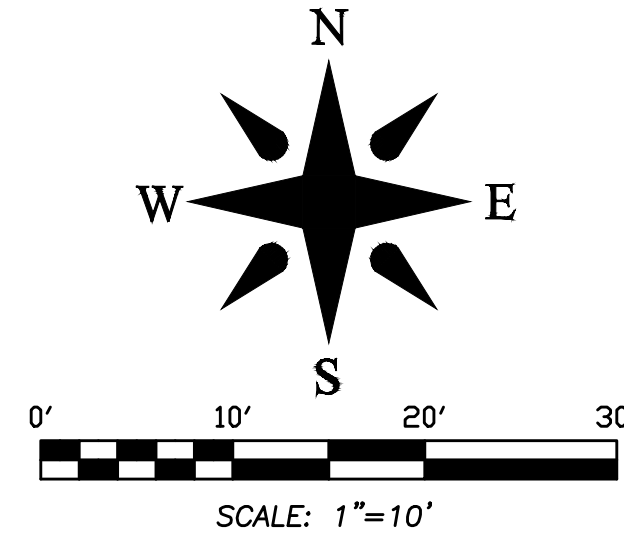
N89°05'00"W 163.71'

FLOOD ZONE:

This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0583F, dated 10/05/2017.

NOTES:

- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1043067, issued by Old Republic National Title Insurance Company, dated March 12, 2021. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.



LAKE WORTH LAGOON

ATLANTIC OCEAN

SITE

VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR:
576 ISLAND DRIVE, LLC,
A FLORIDA LIMITED LIABILITY COMPANY

This survey is made specifically and only for the following party for the purpose of discovery on the surveyed property.

576 Island Drive, LLC, a Florida limited liability company
Fryd Mortgage, LLC, a Florida limited liability company ISAOA/ATIMA
Old Republic National Title Insurance Company
Jones Foster P.A.
Kochman & Ziska PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
576 Island Drive
Palm Beach, FL 33480

LEGAL DESCRIPTION:
Lot 44, as shown on Plat No. 3 EVERGLADES ISLAND DEVELOPMENT on file and of record in the office of the Clerk of the Circuit Court in and for Palm Beach County, Florida in Plat Book 23, Page 120.

TITLE COMMITMENT REVIEW						
CLIENT: 576 Island Drive LLC, a Florida limited liability company		COMMITMENT NO. : 1043067	DATE: March 12, 2021			
REVIEWED BY: Craig Wallace		JOB NO. : 96-1095.5				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-4	N/A	Standard Exceptions				•
5	ORB 31522 PG 859	Any lien or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement recorded June 24, 2020. (FOR INFORMATIONAL PURPOSES ONLY. This exception may be removed upon compliance with the related requirement set forth in 5-I.) All matters contained on the Plat of Everglades Island Development Plat No. 3				•
6	PB 23 PG 120	Agreement with the Town of Palm Beach regarding Sundek driveway in road right-of-way.	•			
7	ORB 7559 PG 1488	Riparian and littoral rights are not insured.	•			
8	N/A	The right of the United States Government, in the interest of navigation and commerce, to regulate any portion of the Land that was formerly submerged by navigable waters. (Entire lot is filed)	•			
9	N/A	Any portion of the Land lying waterward of the mean high water line of Lake Worth, and lands accreted thereto.	•			
10	N/A	All matters contained on the Plat of Lone Cabbage Island Development, as affected by Change of Name of Subdivision to Everglades Island, and on the Plat of Revised Plat Showing Island Road Development. (As to Access).				•
11	PB 18 PG 31 DB 581 PG 251 PB 18 PG 35					
12	N/A	Commitment exception #3 is hereby deleted in its entirety.				

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 03/16/2021

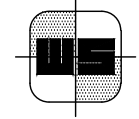


Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

REVISIONS
07/21/20 SURVEY AND TIE-IN UPDATE WITH SPOT ELEVATIONS B.M./M.B. 96-1095.2 PB297/32
10/20/20 TIE-IN GENERATOR PAD J.C./S.W. 96-1095.4 PB300/34
03/16/21 SURVEY AND TIE-IN UPDATE, JPC/W 96-1095.5

BOUNDARY SURVEY FOR:

576 ISLAND DRIVE, LLC,
A FLORIDA LIMITED LIABILITY COMPANY



WALLACE SURVEYING
CORP. LICENSED BUSINESS # 4089
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4051

FIELD: J.P.	JOB NO.: 96-1095.1	F.B.: PB138 PG. 24
OFFICE: M.B.	DATE: 4/26/12	DWG. NO.: 96-1095-1
C'D: C.W.	REF: 96-1095-1.DWG	SHEET 1 OF 1



Aerial View of Property



Front of the Property



Existing Driveway



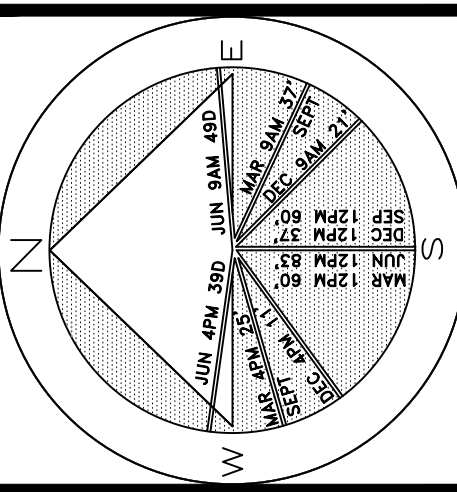
Existing Courtyard



Existing Pool Deck & Loggia

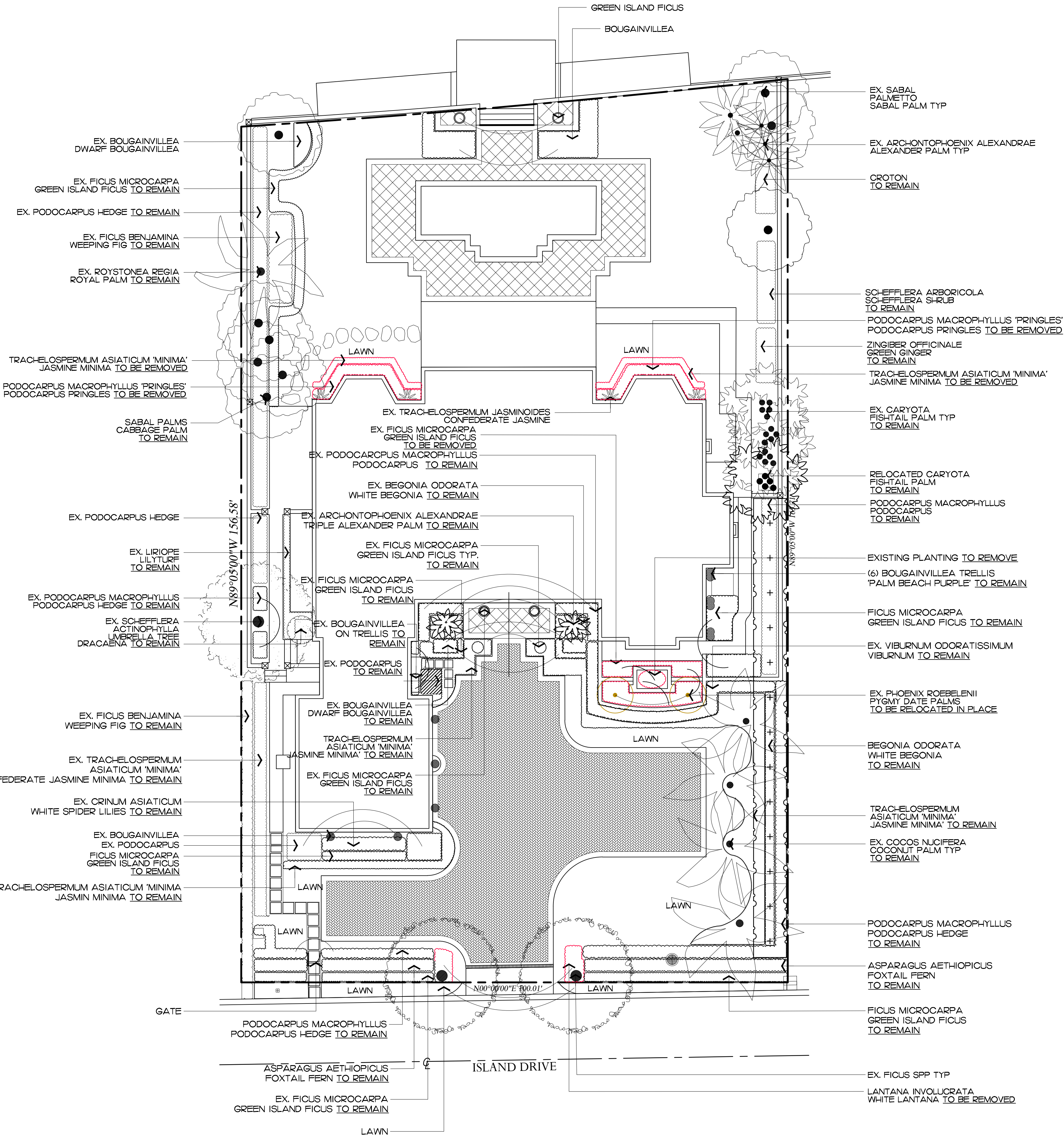


Private Residence
576 Island Drive
Palm Beach



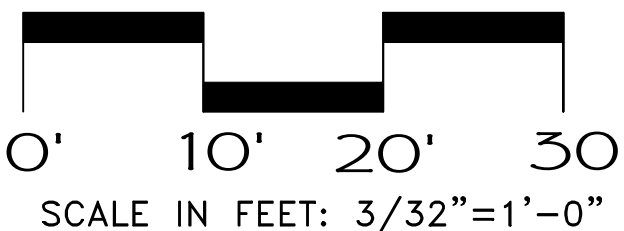
JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L2.0



Existing Vegetation Inventory & Action Plan

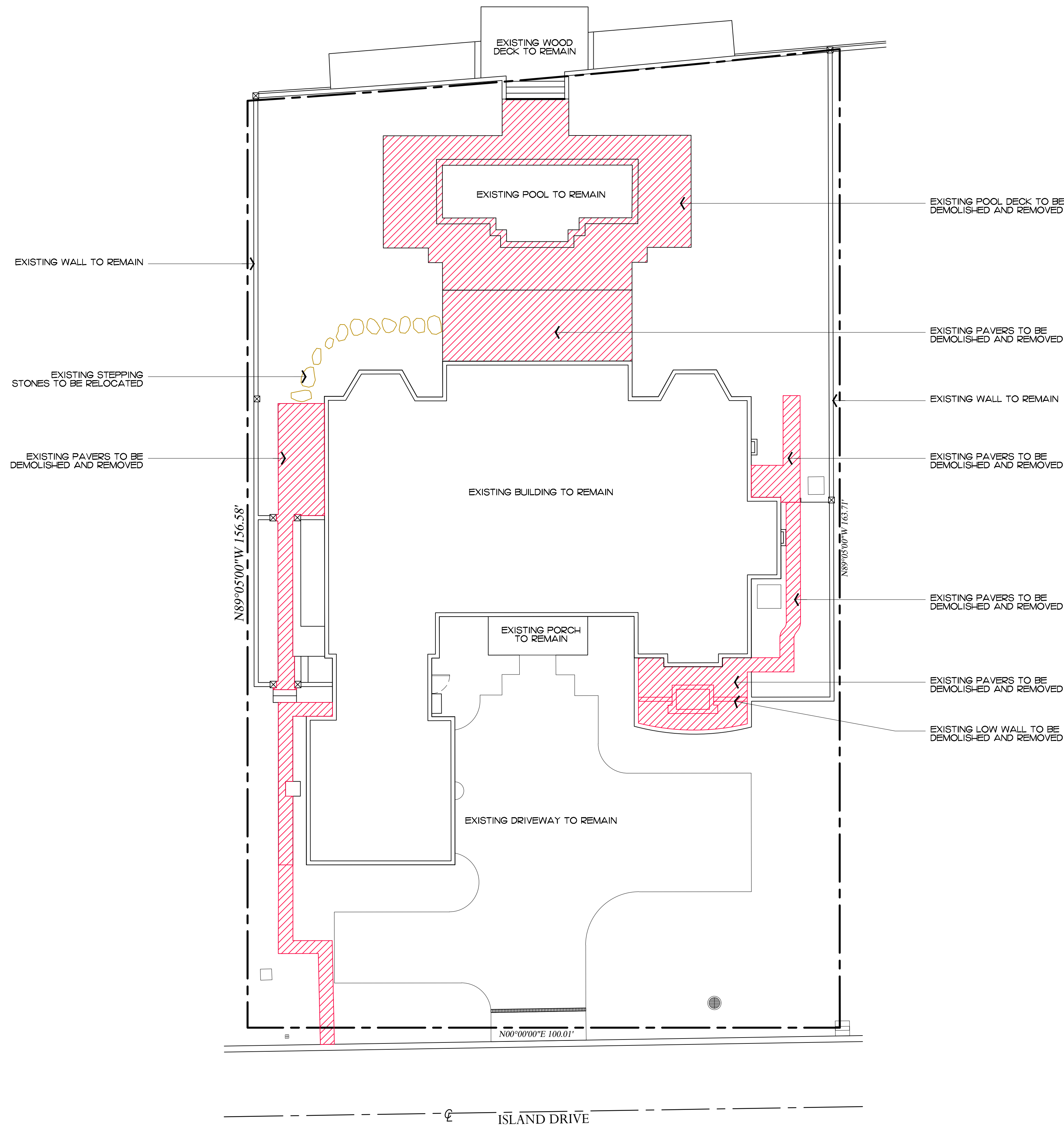
ARC-24-067



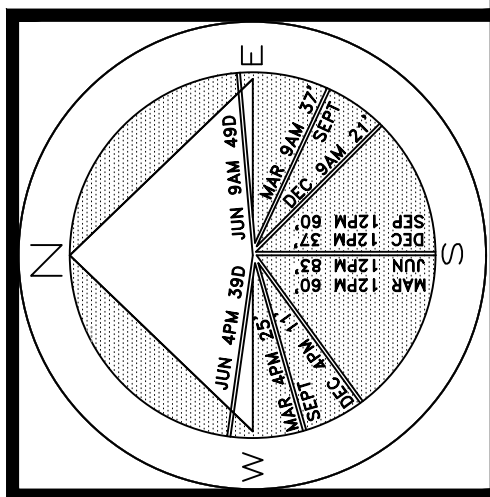
COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.



Private Residence
576 Island Drive
Palm Beach



JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L2.1

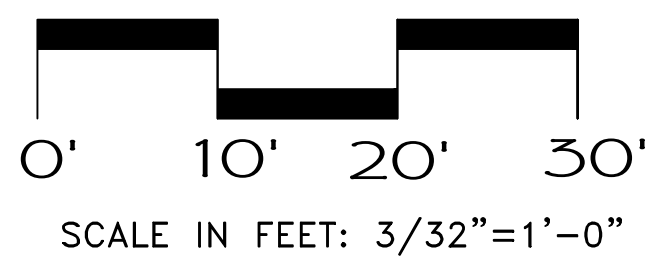
COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

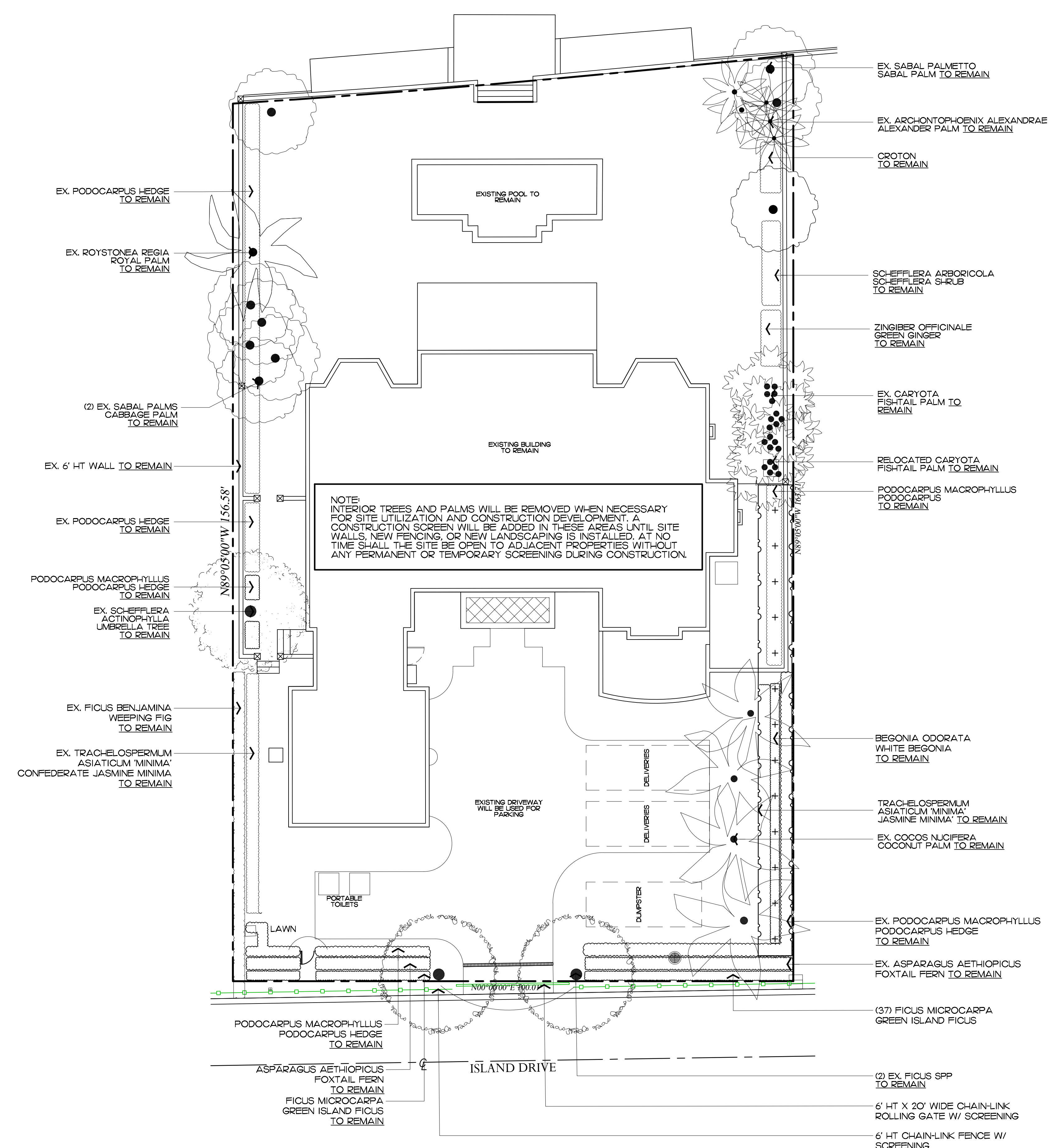
DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

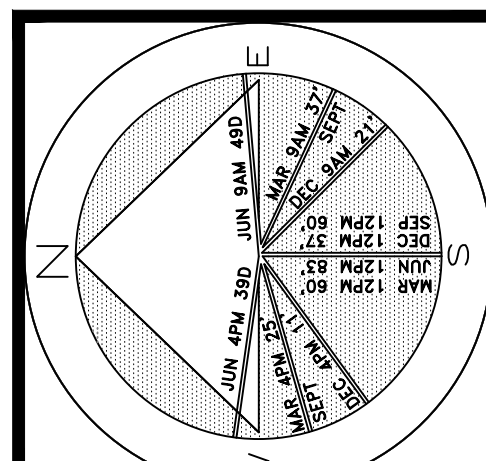
Demolition Plan

ARC-24-067





Private Residence
576 Island Drive
Palm Beach



JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L3.0

2024
COPYRIGHT: The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2024
DISCLAIMER: Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from, acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

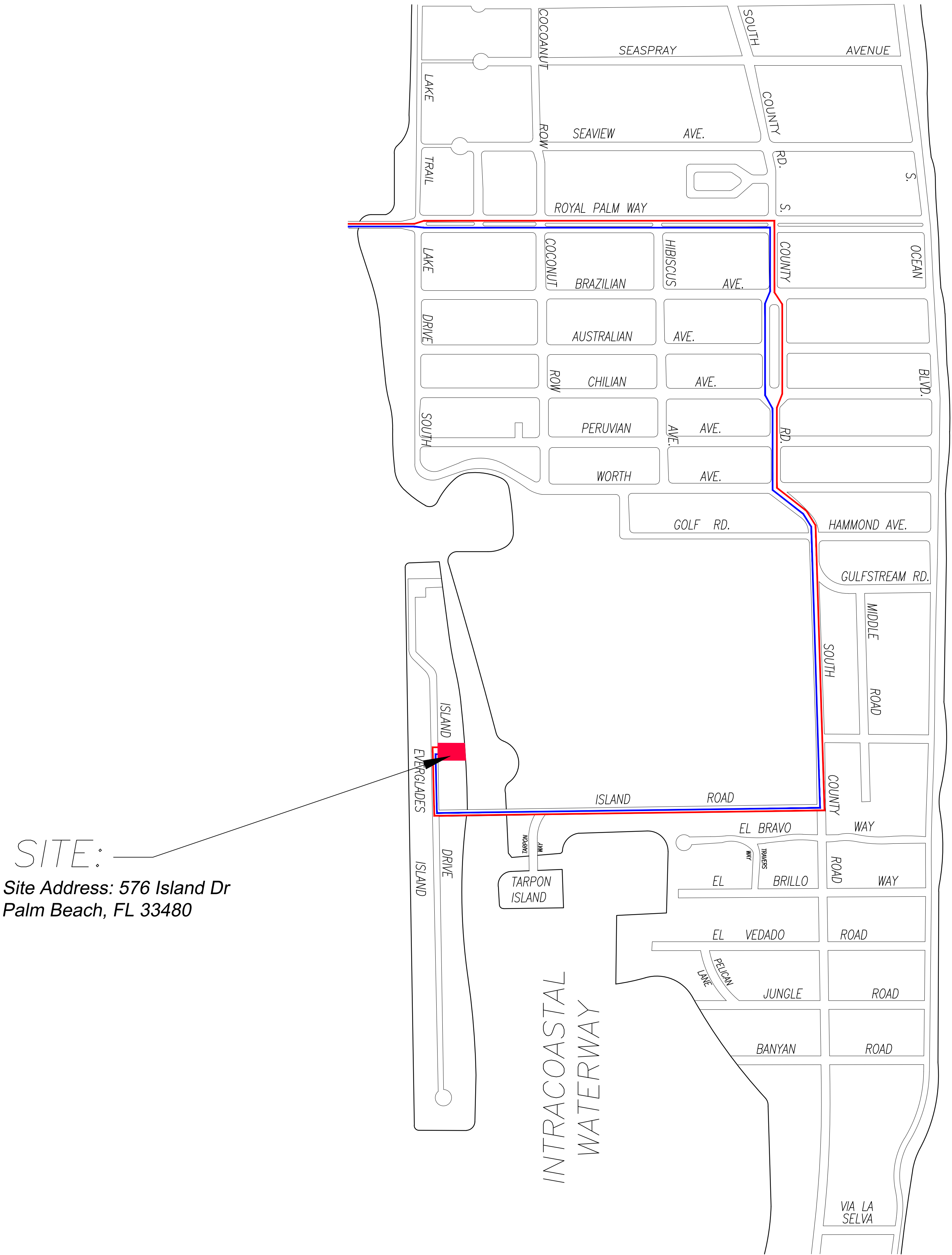
Construction Screening & Staging Plan

SCALE IN FEET 0' 8' 16' 24'

ARC-24-067

64 sq.

AREA IN SQ.FT.



SITE: ———
Site Address: 576 Island Dr
Palm Beach, FL 33480

1 PROPOSED TRUCK INGRESS / EGRESS ROUTES MAP

CONCEPTUAL CONSTRUCTION SCHEDULE:

MONTH 1:	DEMOLITION
MONTH 2-4	HARDSCAPE INSTALLATION
MONTH 5	LANDSCAPE INSTALLATION
MONTH 6	FINAL CERTIFICATIONS / PERMITS

TRUCK SIZES
2-5 DUMP TRUCKS (18 FT LENGTH) FOR DEBRIS REMOVAL
TRAILER (25 FT LENGTH) FOR EXCAVATOR / DEMOLITION
LANDSCAPE TRUCKS (20 FT LENGTH)
FLAT BED TRUCKS (40 FT LENGTH) FOR PAVERS/STONES, TREES/PALMS DELIVERIES

NOTE: SEE SEPARATE "CONSTRUCTION STAGING PLAN" SHEET FOR
INFORMATION ON LOCATIONS FOR PARKING, MATERIAL STORAGE, DELIVERIES,
DUMPSTER, PORTABLE TOILETS, TIRE CLEANING AREA, SILT FENCE, ETC.

- PROPOSED INGRESS TRUCK ROUTE
- PROPOSED EGRESS TRUCK ROUTE

NOTE:

ALL DELIVERIES AND OFFLOADING OF PAVERS, STONES, TREES, AND
PALMS WILL REQUIRE SEPARATE ROW & MOT PERMITS.
SUBCONTRACTORS TO FILE FOR EACH PERMIT ACCORDING TO THEIR
CORRESPONDING PHASE OF WORK WITHIN ESTIMATED CONSTRUCTION
SCHEDULE. ALL OTHER WORK TO BE PERFORMED ON SITE IN
CONJUNCTION WITH PROPOSED CONSTRUCTION STAGING AND
SCREENING PLAN. (ONSITE ACTIVITIES / NOT ROW)

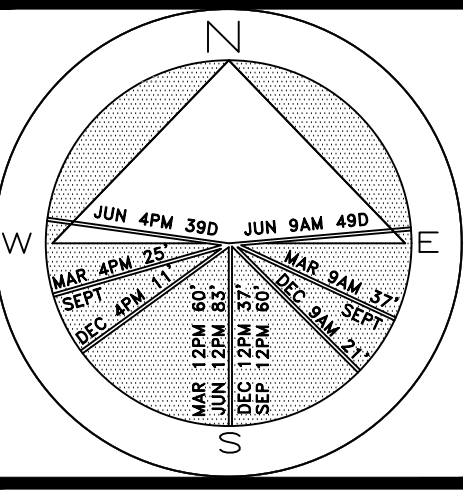
ENVIRONMENT
DESIGN
GROUP

139 North County Road 5920-8 Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, MIA, PLA #6666784
Dustin@environmentdesigngroup.com

Private Residence
576 Island Drive
Palm Beach



JOB NUMBER: # 24017.00 LA
DRAWN BY: /Ean Twomey
DATE: 03.01.24

SHEET L4.0

COPYRIGHT:
The following drawings are instruments of
service to the Landscape Architect. They
are not products of design. All ideas,
designs, arrangements and plans indicated
or represented by this/these drawings are
owned by and the property of the designer,
and were created, evolved and developed
for use on and in connection with this
project. None of such ideas, designs,
arrangements or plans shall be used by
or disclosed to any person, firm or
corporation without the written permission
of the Landscape Architect.

DISCLAIMER:
Construction, as the term is generally
understood, and that ENVIRONMENT DESIGN
GROUP does not provide landscape architectural
services during construction, including on-site
monitoring, site visits, shop drawing review,
design clarification, etc., the client agrees to
indemnify and hold harmless ENVIRONMENT
DESIGN GROUP from any liability arising from,
acts or omissions in the performance of said
services during construction by the client, and
his/her agents, employees, or subcontractors.

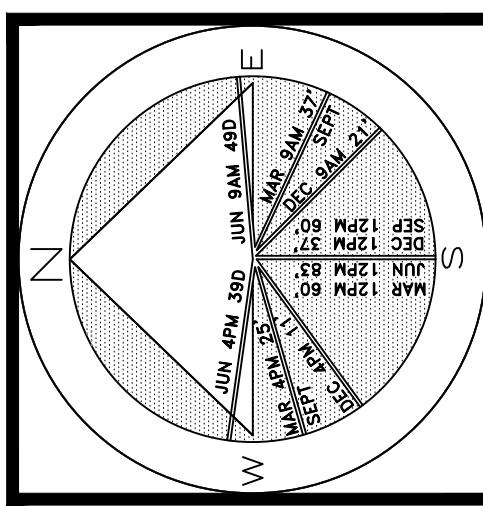
2024

2024

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ARC-24-067
Truck Logistics Plan
SCALE: NOT TO SCALE

Private Residence
576 Island Drive
Palm Beach

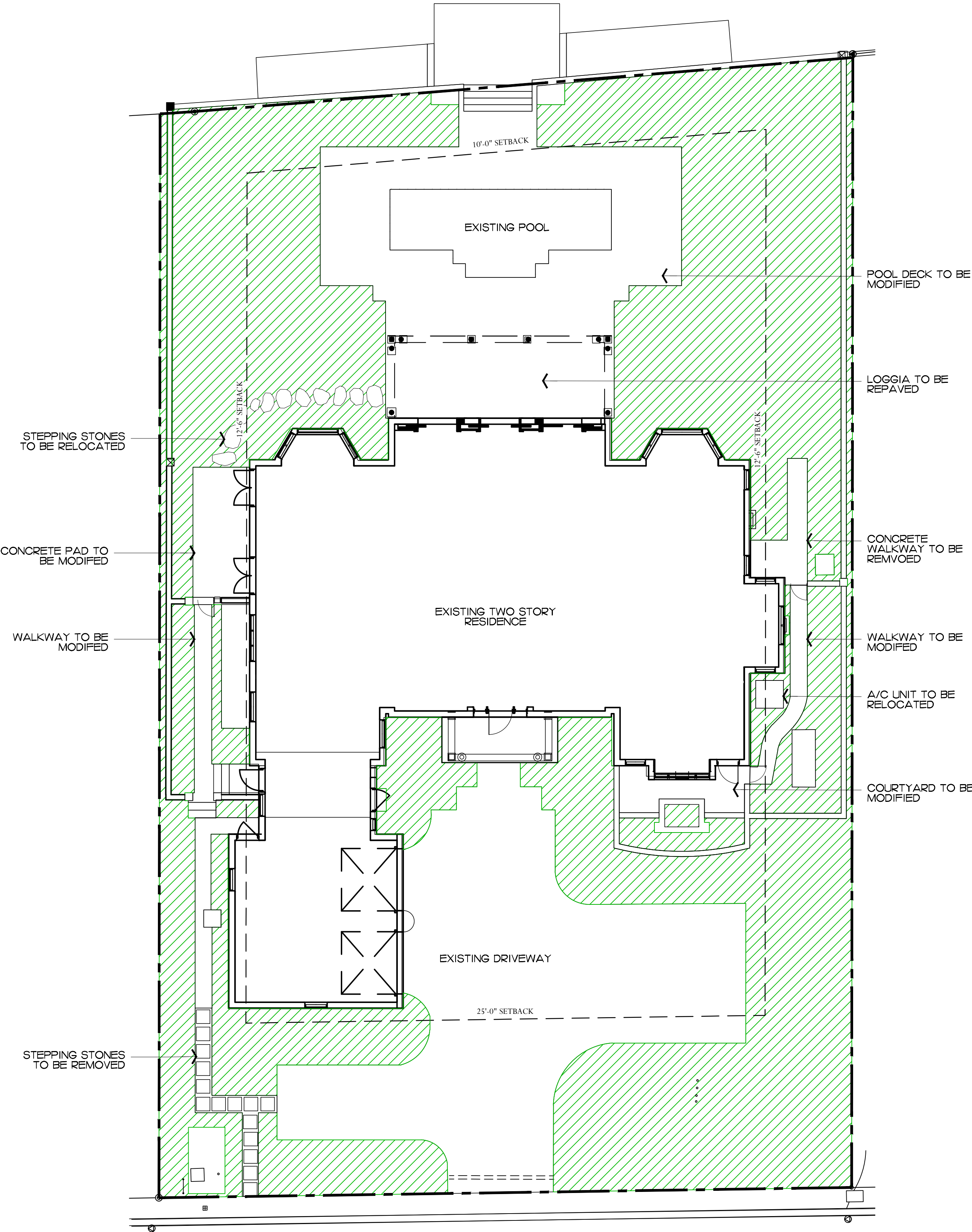


JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

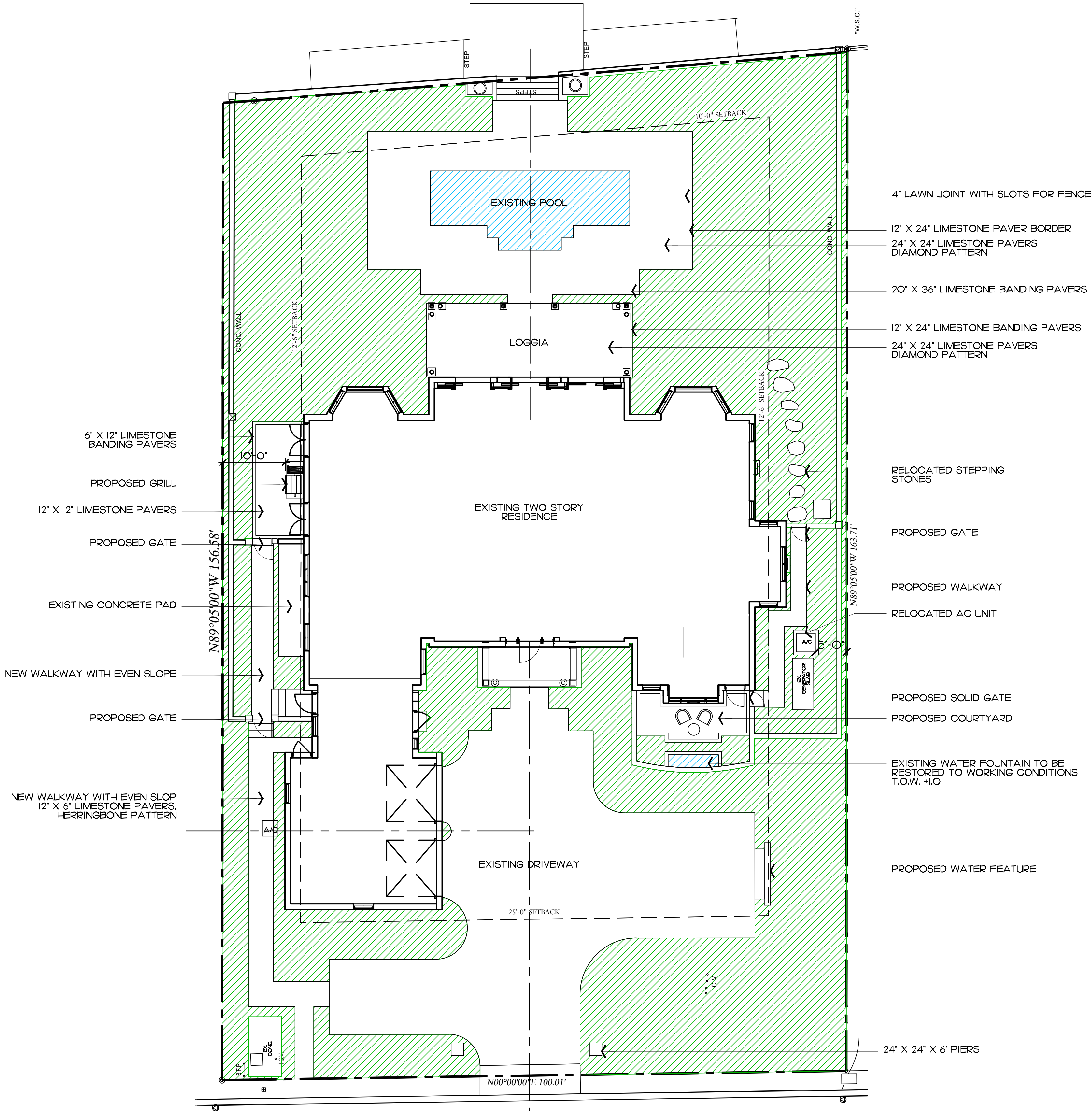
SHEET L5.0

64 sf.

LAKE WORTH LAGOON



Existing Site Plan



Proposed Site Plan

ARC-24-067

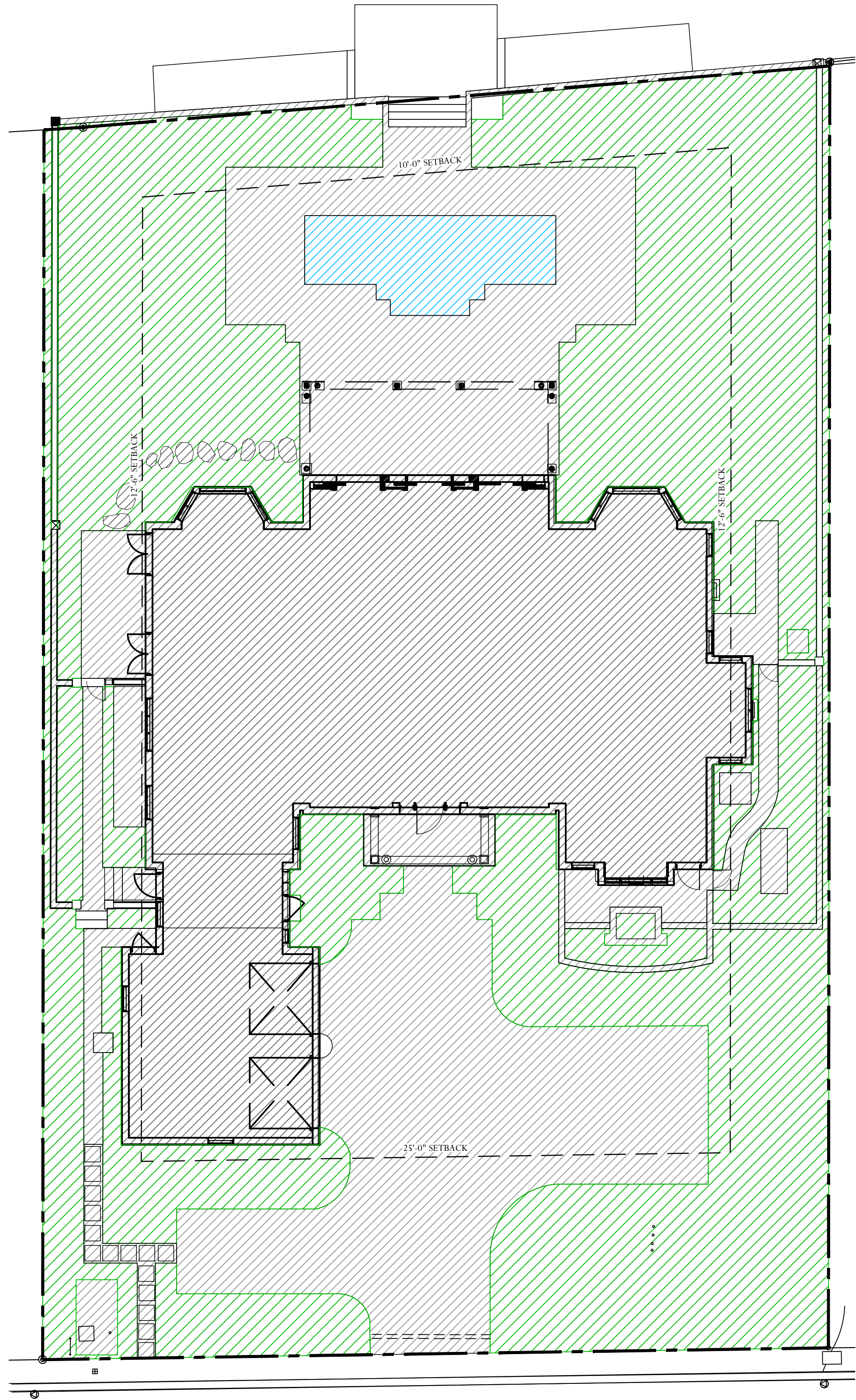
Site Plan

SCALE IN FEET 0' 10' 20' 30'

2024
COPYRIGHT: The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2024
DISCLAIMER: Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.



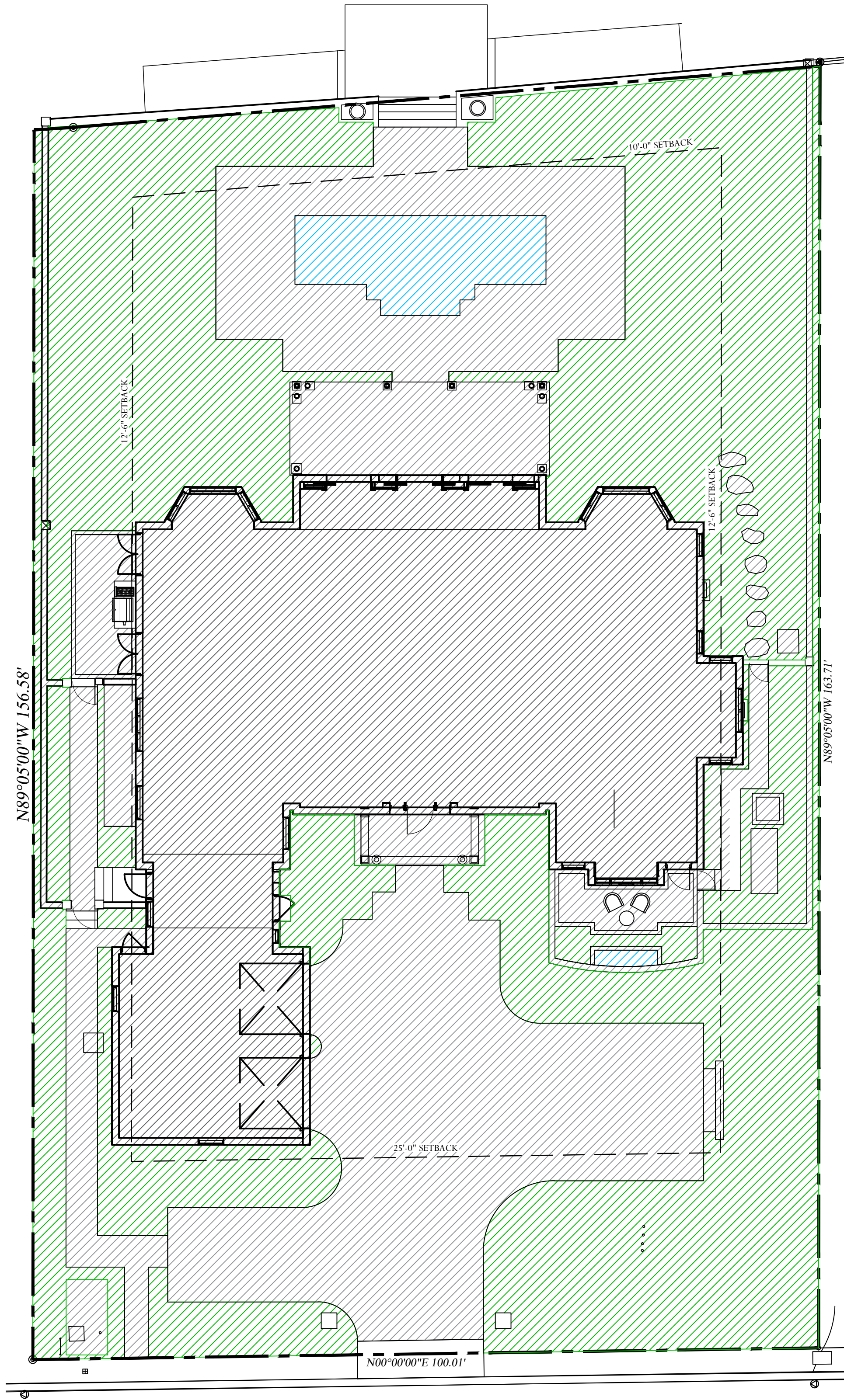
Legend

IMPERVIOUS AREA (HOUSE/STRUCTURE)

IMPERVIOUS AREA (HARDSCAPE)

PERVIOUS AREA / OPEN SPACE

WATER FEATURE



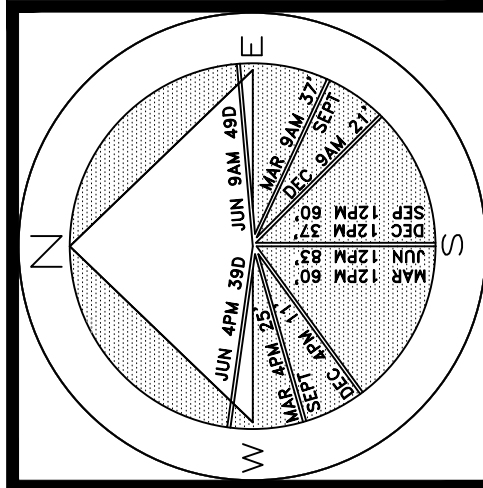
Private Residence
576 Island Drive
Palm Beach

ENVIRONMENT
DESIGN
GROUP

139 North County Road 570-B Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784
dustin@environmentdesigngroup.com



JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

Existing Lot Coverage Graphic

Proposed Lot Coverage Graphic

Site Requirements

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
LOT ZONE	RB - LOW DENSITY RESIDENTIAL	RB - LOW DENSITY RESIDENTIAL	RB - LOW DENSITY RESIDENTIAL
LOT AREA	10,000 S.F. MINIMUM	16,056 S.F.	16,056 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 45% 7,200 S.F.	41.9% 6,737 S.F.	42.3% 6,798 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 998 S.F.	64.6% 1,615 S.F.	64.4% 1,607 S.F.

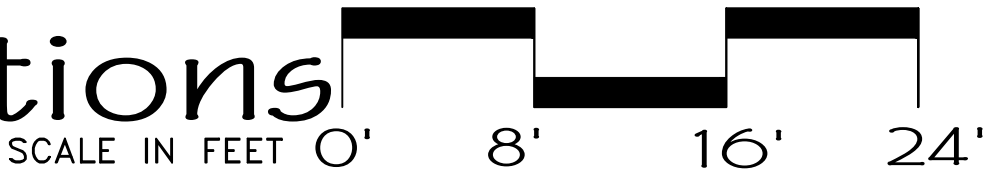
COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

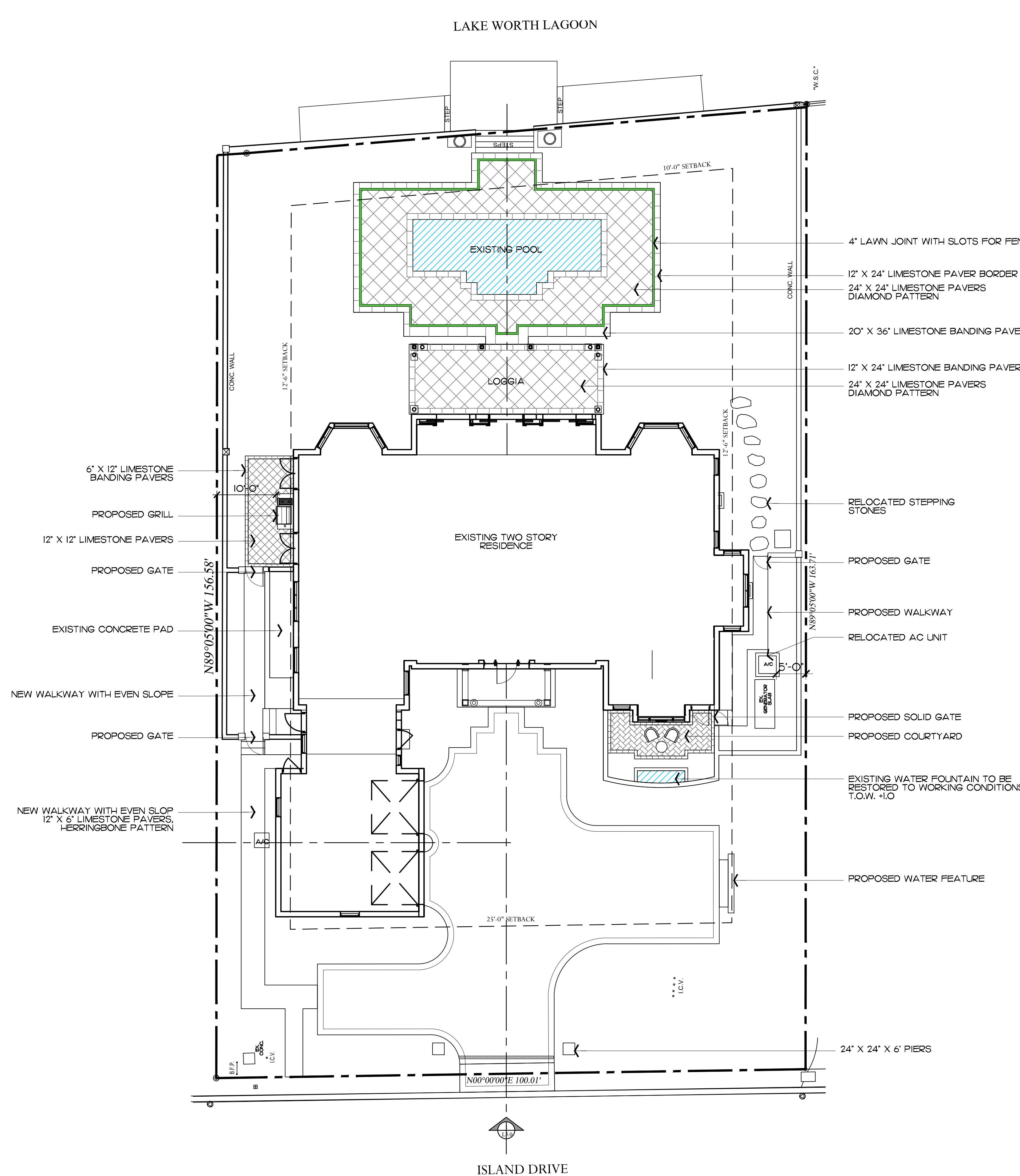
ARC-24-067

Open Space Calculations



SHEET L5.1

64 sf.



Hardscape Material



White Limestone

- POOL DECK & COPING
- WALKWAY PAVING



Chicago Brick

- COURTYARD FIELD & BANDING

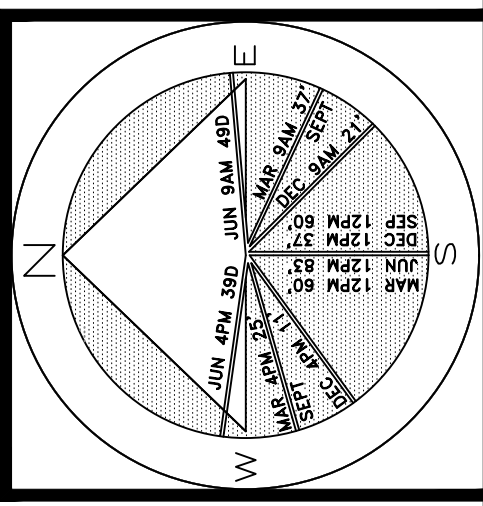
ENVIRONMENT
DESIGN
GROUP

139 North County Road 570-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. RLA #6666784
Dustin@environmentdesigngroup.com

Private Residence
576 Island Drive
Palm Beach



JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

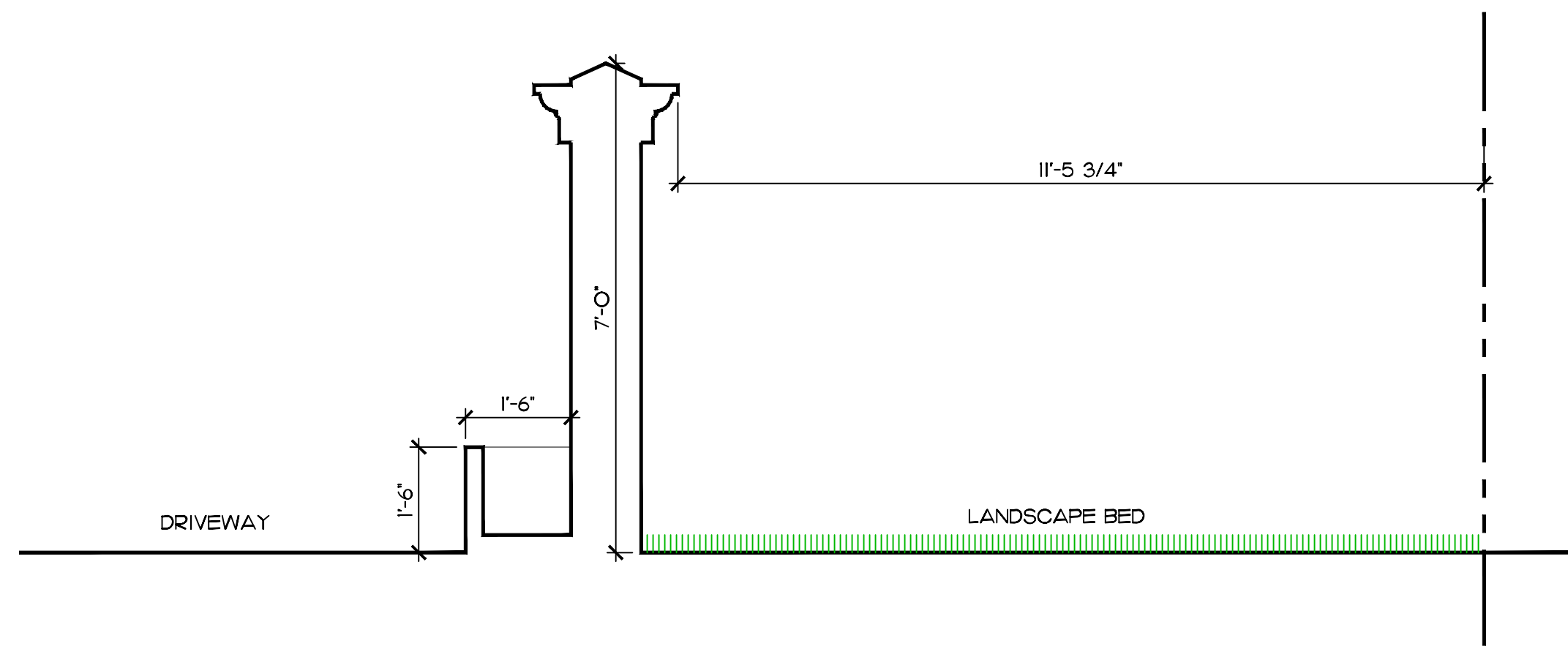
COPYRIGHT: 2024

The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

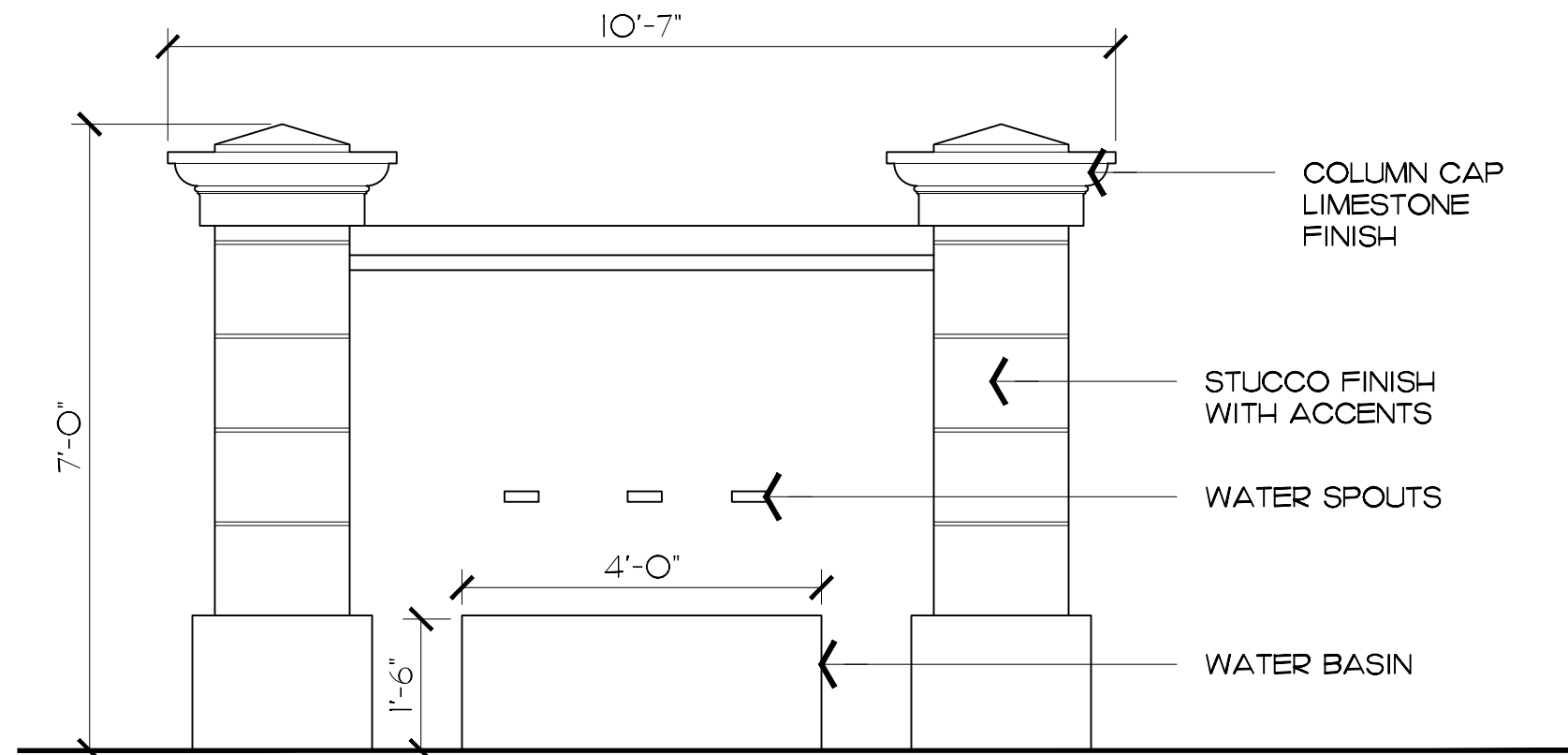
DISCLAIMER: 2024

Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

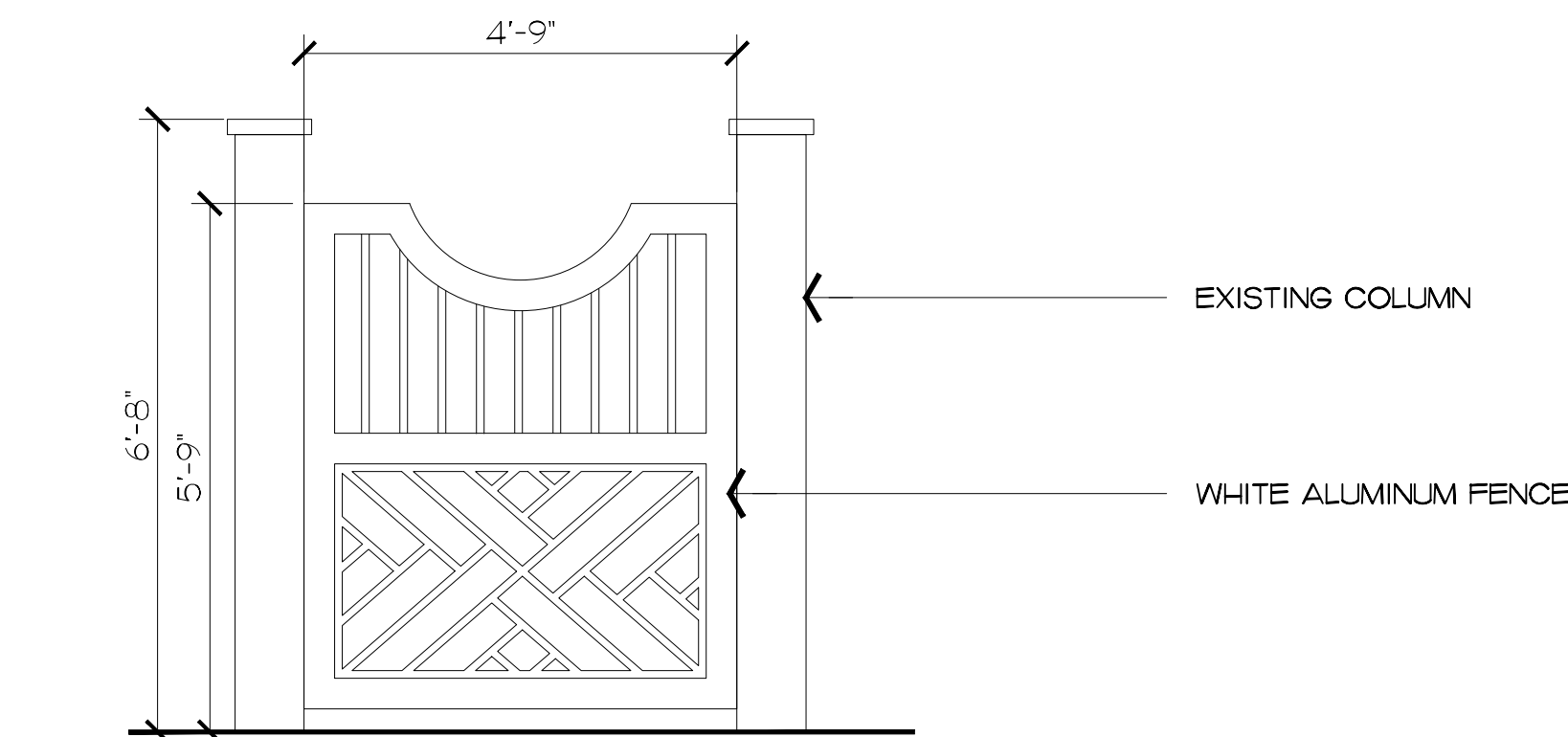
48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.



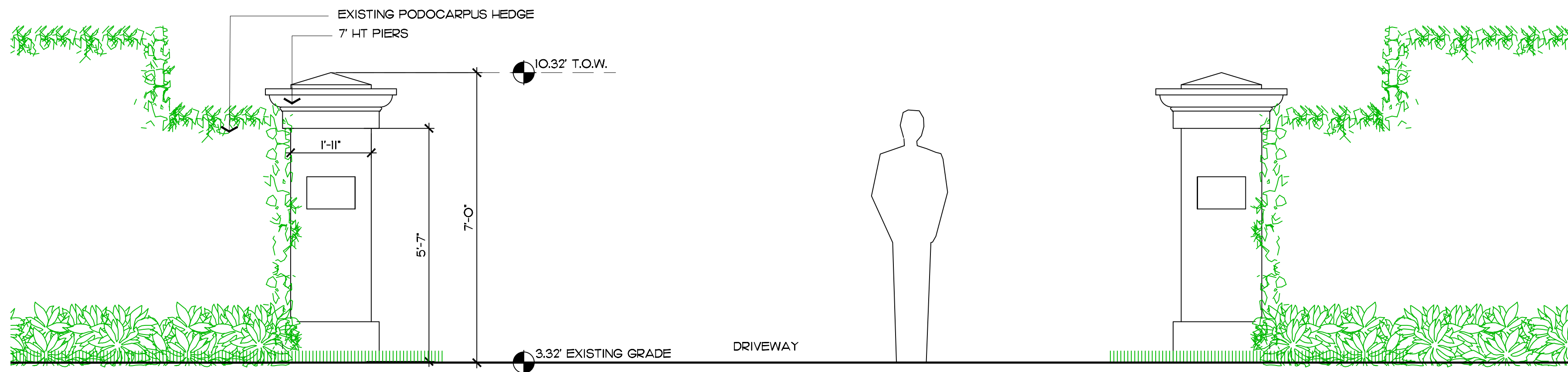
1 Water Feature Section
L7.0 SCALE: 1/2" = 1'-0"



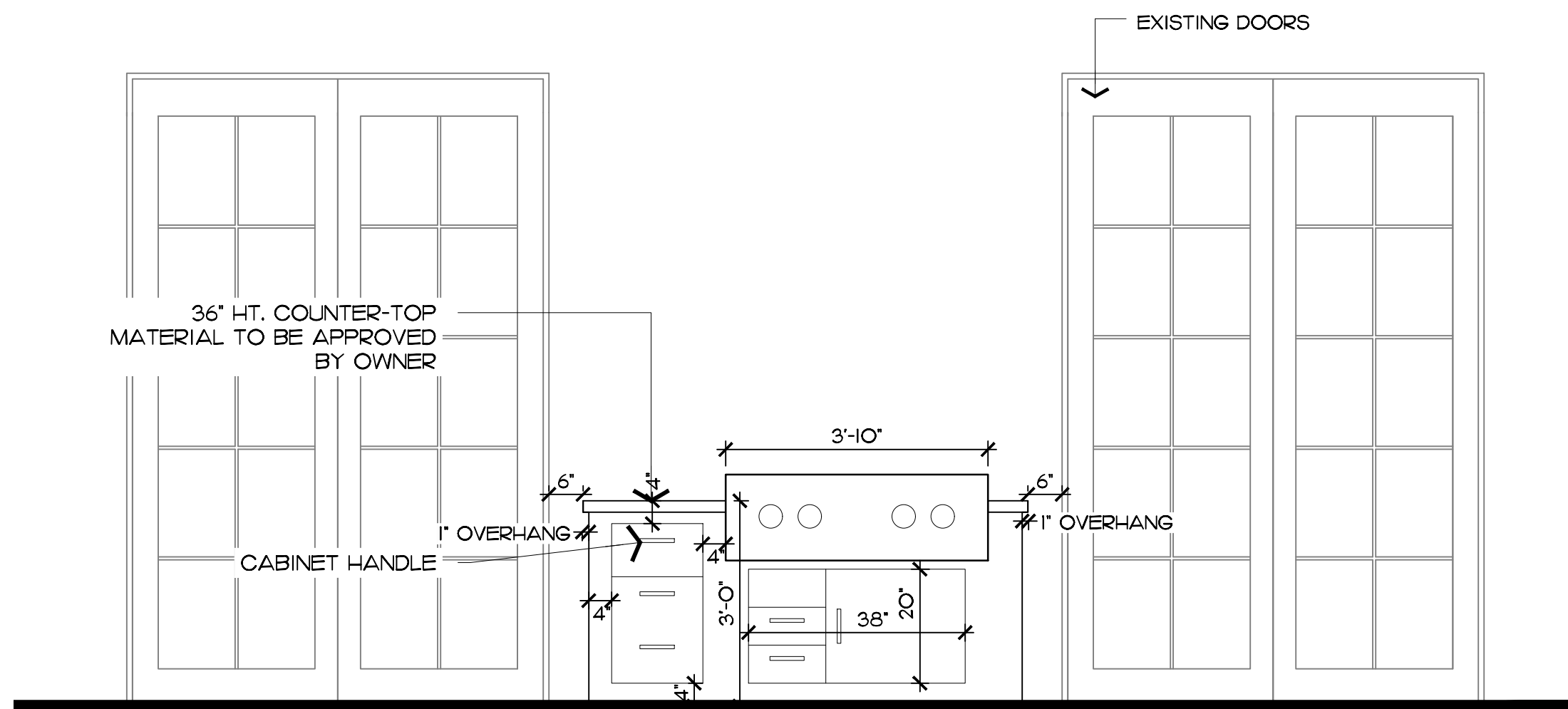
2 Water Feature Elevation
L5.0 SCALE: 1/2" = 1'-0"



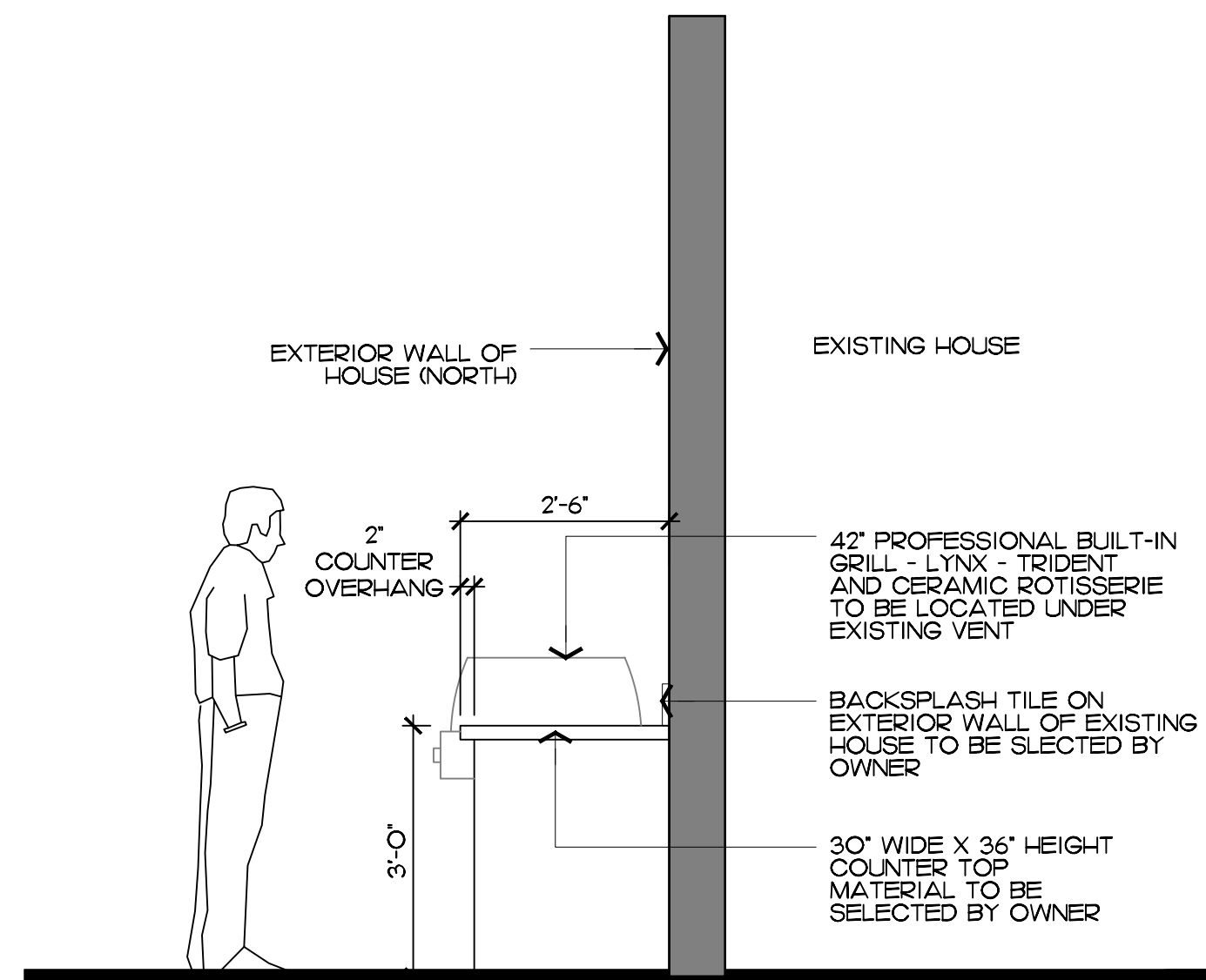
3 Gate Elevation
L7.0 SCALE: 1/2" = 1'-0"



4 Front Piers Elevation
L7.0 SCALE: 1/2" = 1'-0"



5 Grill Elevation
L7.0 SCALE: 1/2" = 1'-0"



6 Grill Side Elevation
L7.0 SCALE: 1/2" = 1'-0"

Private Residence
576 Island Drive
Palm Beach

JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L6.1

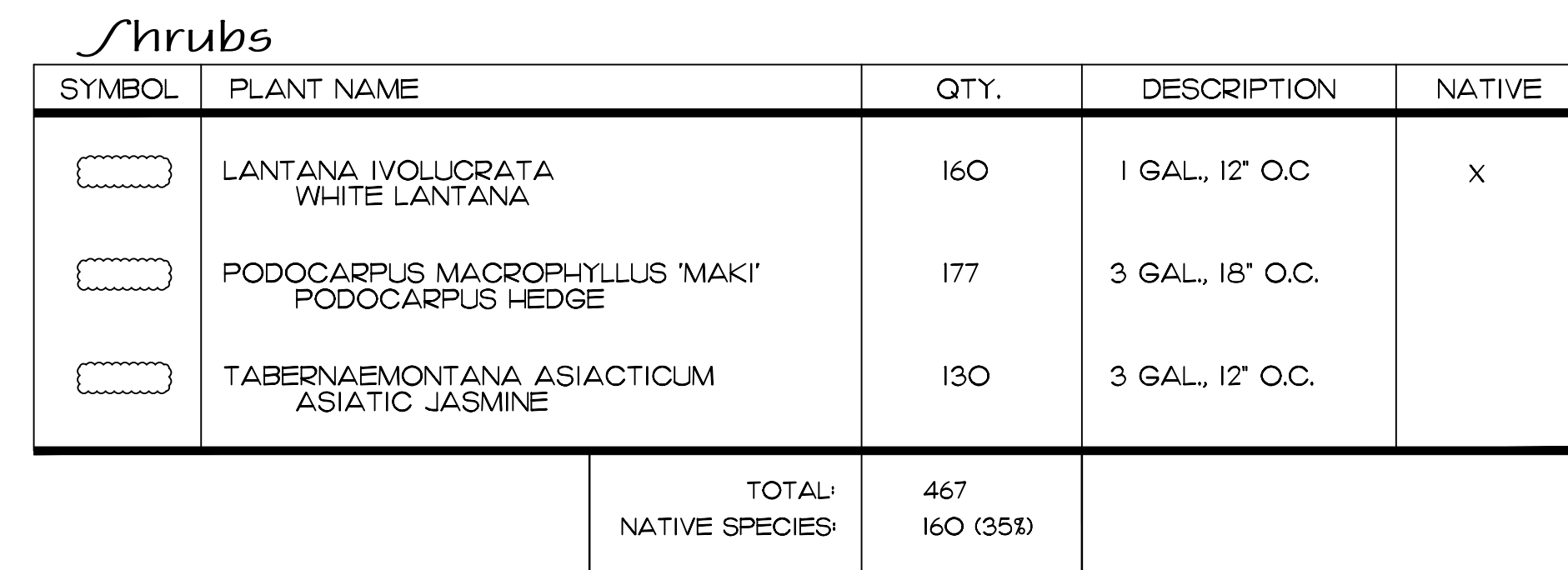
2024
COPYRIGHT: The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

2024
DISCLAIMER: Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ARC-24-067
Elevations
SCALE IN FEET 0' 10' 20' 30'

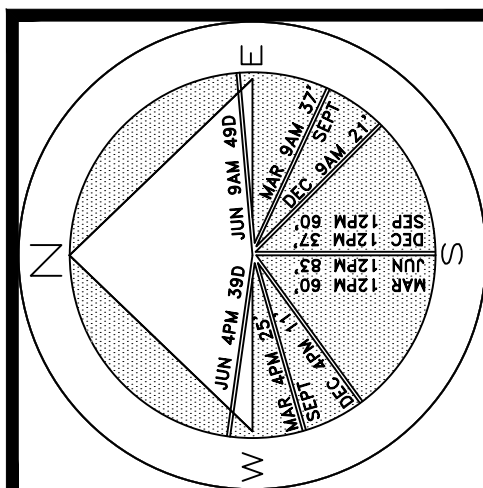
64 sf.



48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

Planting Plan

Private Residence
576 Island Drive
Palm Beach



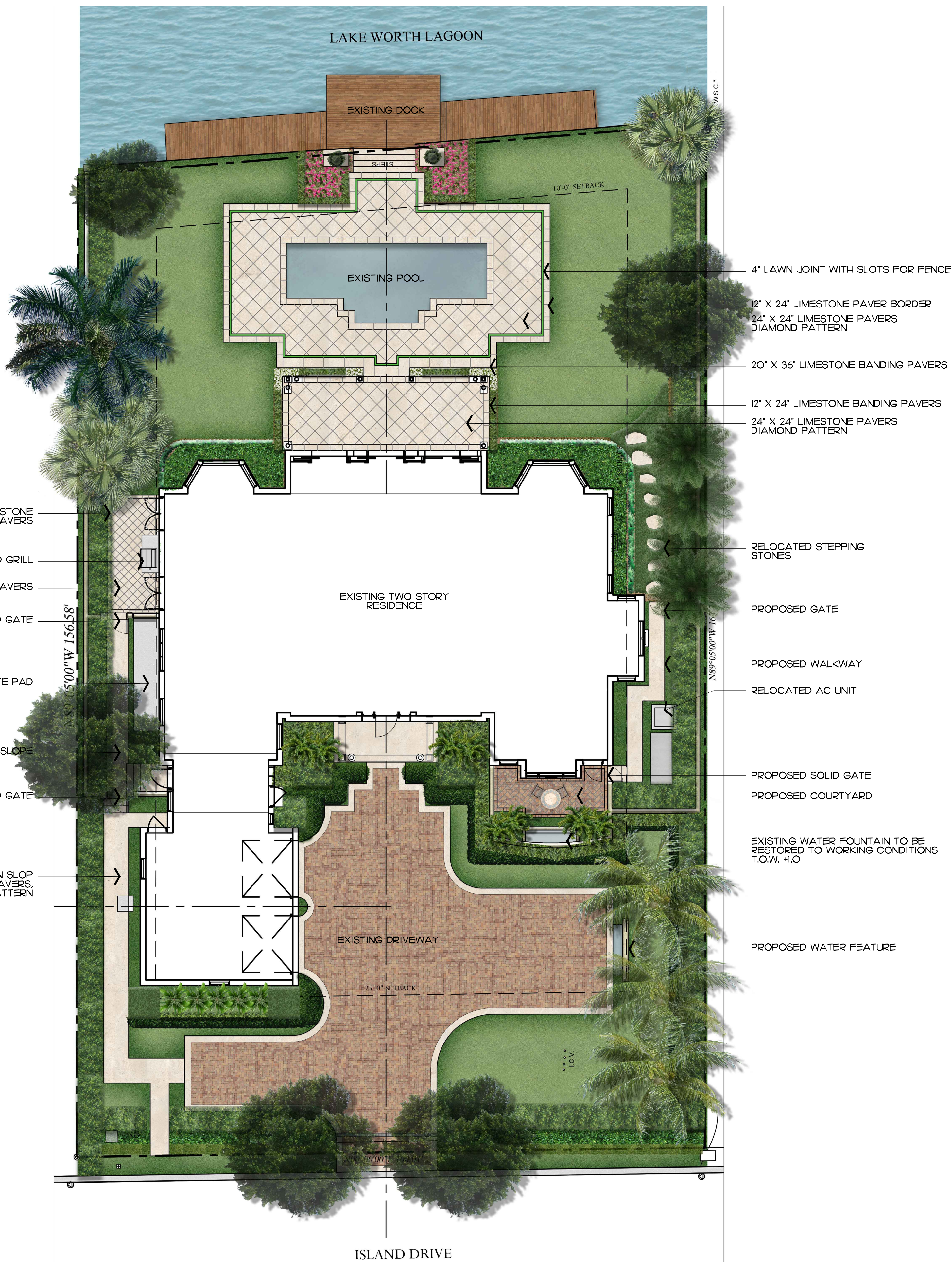
JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L7.1

COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.



Rendered Site Plan

SCALE IN FEET 0' 10' 20' 30'

ARC-24-067



Existing Conditions



Front / West Elevation

Private Residence
576 Island Drive
Palm Beach

JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L8.0

ARC-24-067

Site Elevations

COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc. The client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

**ENVIRONMENT
DESIGN
GROUP**
139 North County Road 570-8 Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

64 sf.



Existing Conditions



Back / East Elevation

Private Residence
576 Island Drive
Palm Beach

JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

SHEET L8.1

ARC-24-067

Site Elevations

COPYRIGHT: 2024
The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024
Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

**ENVIRONMENT
DESIGN
GROUP**
139 North County Road S#20-B Palm Beach, FL 33480
Phone: 561.832.4600 Mobile: 561.313.4424
Landscape Architecture
Land Planning
Landscape Management
Dustin M. Mizell, M.L.A. #6666784
Dustin@environmentdesigngroup.com



Side / North Elevation



Side / South Elevation

ENVIRONMENT
DESIGN
GROUP

139 North County Road 570-8 Palm Beach, FL 33480
Phone 561.832.4600 Mobile 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. R.L.A. #6666784
Dustin@environmentdesigngroup.com

Private Residence
576 Island Drive
Palm Beach

A
D
I
R
O
L
F

JOB NUMBER: # 24017.00 LA
DRAWN BY: Valeria Quintanilla
DATE: 04.15.2024

COPYRIGHT: 2024

The following drawings are instruments of service to the Landscape Architect. They are not products of design. All ideas, designs, arrangements and plans indicated or represented by this/these drawings are owned by and the property of the designer, and were created, evolved and developed for use on and in connection with this project. None of such ideas, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation without the written permission of the Landscape Architect.

DISCLAIMER: 2024

Construction, as the term is generally understood, and that ENVIRONMENT DESIGN GROUP does not provide landscape architectural services during construction, including on-site monitoring, site visits, shop drawing review, design clarification, etc., the client agrees to indemnify and hold harmless ENVIRONMENT DESIGN GROUP from any liability arising from acts or omissions in the performance of said services during construction by the client, and his/her agents, employees, or subcontractors.

48 HOURS BEFORE DIGGING
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.

ARC-24-067

Site Elevations

SHEET L8.2

64 sf.