

389 South Lake Drive

Proposed Exterior Renovations

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Project Team

CLIENT: Three Eighty-Nine Corp Lessee
389 South Lake Drive
Palm Beach, Florida 33480

ARCHITECT: David Miller - David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401

ATTORNEY: James C. Gavigan, Jr. Partner - Shutts & Bowen LLP
525 Okeechobee Blvd. Suite 1100
West Palm Beach, Florida 33401

PLANNER: Roger Ramdeen Land Use Planner - Shutts & Bowen LLP
525 Okeechobee Blvd. Suite 1100
West Palm Beach, Florida 33401

SCOPE OF WORK:
389 S. Lake Drive Condominium is currently in the process of a full exterior renovation including structural repairs and reconstruction. The required renovations include full removal of the existing concrete screen walls, waterproofing repairs, stucco repairs, structural repairs, and reconstruction of existing components. The proposed building improvements include new stucco and paint finishes, deletion of the concrete screen walls, enhancement of the window openings with new stucco surrounds and sills, new decorative stucco between windows, and associated improvements. There are no proposed site improvements.

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FINAL SUBMITTAL
APRIL 24, 2024

David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
(561) 833-0164 (561) 833-0165 fax
dma@davidmillerarchitect.com

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CS-1

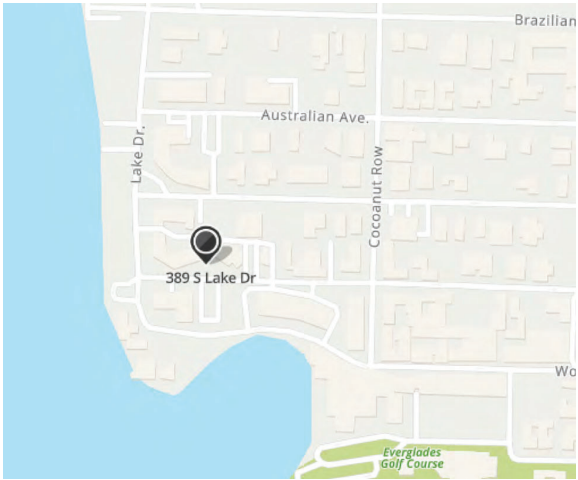
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AERIAL VIEW - FROM SOUTH WEST



LOCATION PLAN - AERIAL VIEW
N.T.S.



VICINITY LOCATION MAP



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Project Location

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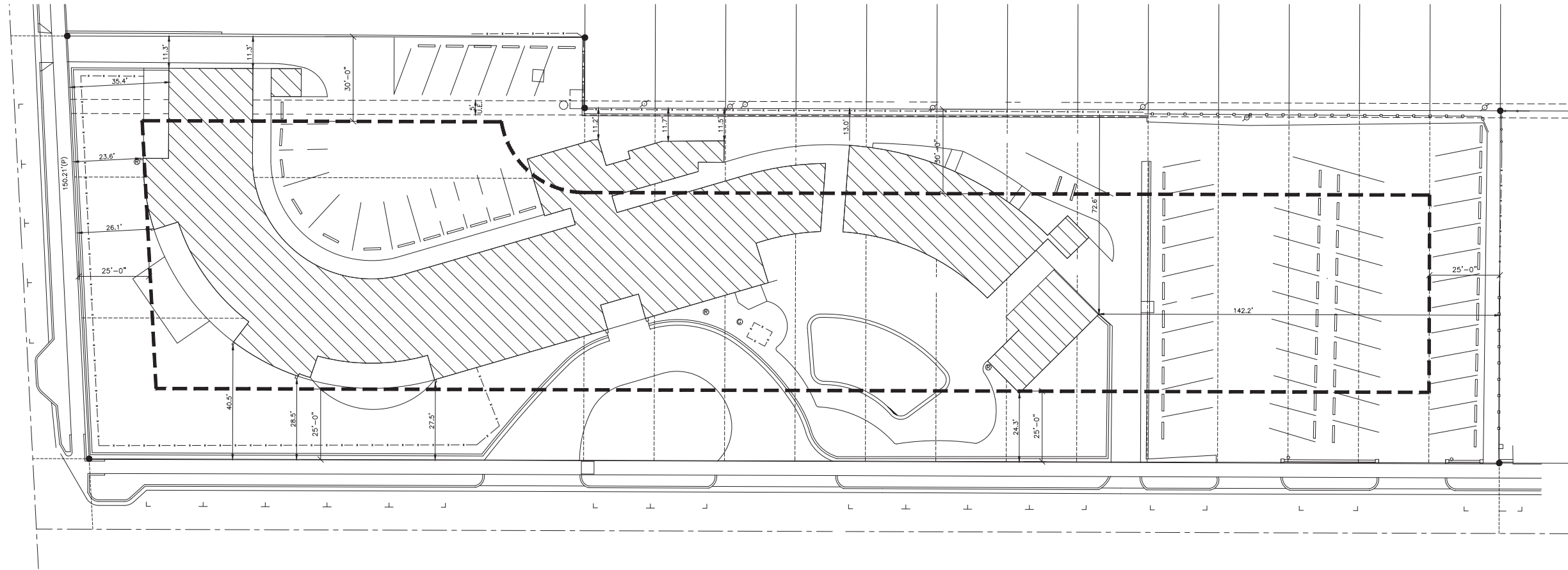
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L-1

389 South Lake Drive

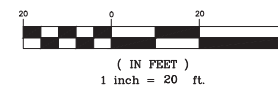
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


OVERALL SITE PLAN
1" = 20'



GRAPHIC SCALE





Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33409
www.townofpalmbeach.com

Zoning Legend			
Line #			
1	Property Address:	389 South Lake Drive	
2	Zoning District:	R-D(2) (Heavy Density Residential)	
3	Structure Type:	Condominium	
4		Required/Allowed	Existing
5	Lot Size (sq ft)	40,000 SF min	67,572 s.f.
6	Lot Depth	200'	500.25'
7	Lot Width	150'	125'
8	Lot Coverage (Sq Ft and %)	40%	
9	Enclosed Square Footage (Basement, 1st Fl., 2nd Fl., Accessory Structures, etc.)		N/A
10	Cubic Content Ratio (CCR) (R-B ONLY)		N/A
11	*Front Yard Setback (Ft.)	25'	24.7'/25.0'
12	* Side Yard Setback (1st Story) (Ft.)	30'	142.2'
13	* Side Yard Setback (2nd Story) (Ft.)	N/A	N/A
14	*Rear Yard Setback (Ft.)	30'	11.3', 11.2'
15	Angle of Vision (Deg.)		N/A
16	Building Height (Ft.)		N/C
17	Overall Building Height (Ft.)		N/C
18	Crown of Road (COR) (NAVD)		N/A
19	Max. Amount of Fill Added to Site (Ft.)		N/A
20	Finished Floor Elev. (FFE)(NAVD)		N/C
21	Zero Datum for point of meas. (NAVD)		N/C
22	FEMA Flood Zone Designation		N/C
23	Base Flood Elevation (BFE)(NAVD)	AE	N/C
24	Landscape Open Space (LOS) (Sq Ft and %)		N/C
25	Perimeter LOS (Sq Ft and %)		N/C
26	Front Yard LOS (Sq Ft and %)		N/C
27	* **Active Plant Species %	Please refer to separate landscape legend.	
<p>* Indicate each yard area with cardinal direction (N,S,E,W)</p> <p>** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table</p>			

If value is not applicable, enter N/A

If value is not changing, enter N/C

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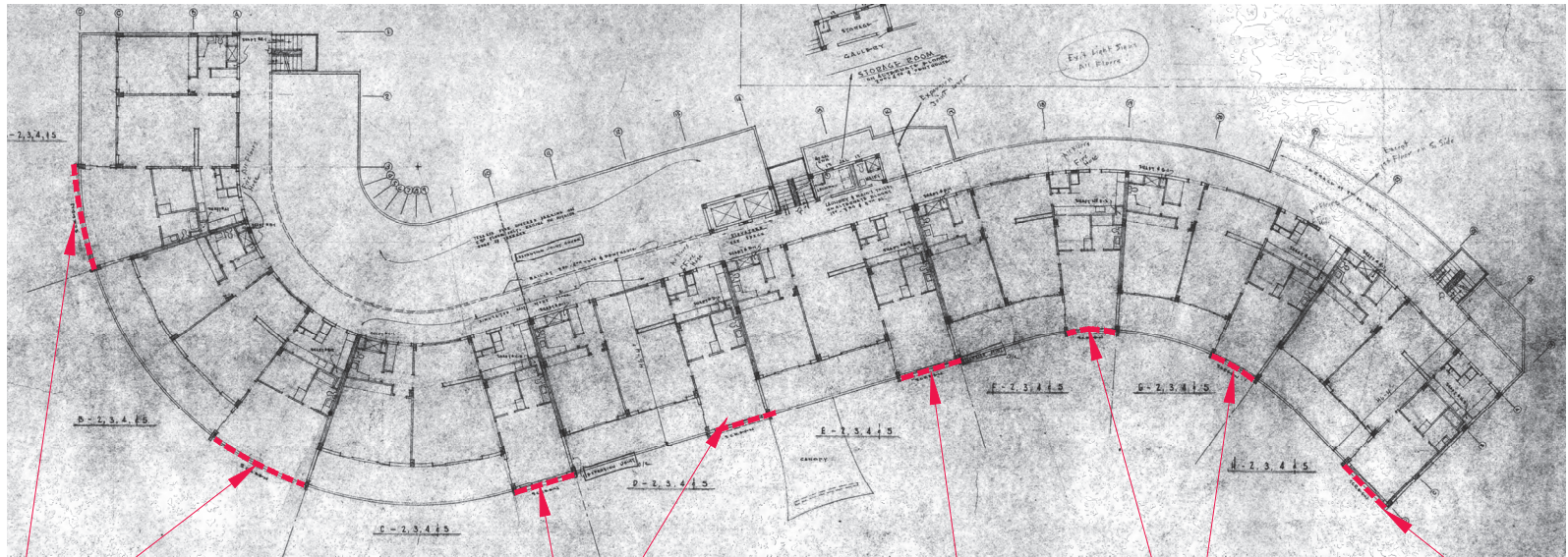
SP-1

David Miller and Associates, P.A.
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West Palm Beach, Florida 33401
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dma@davidmillerarchitect.com

389 South Lake Drive

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PLAN OF TYPICAL FLOOR - ORIGINAL CDs

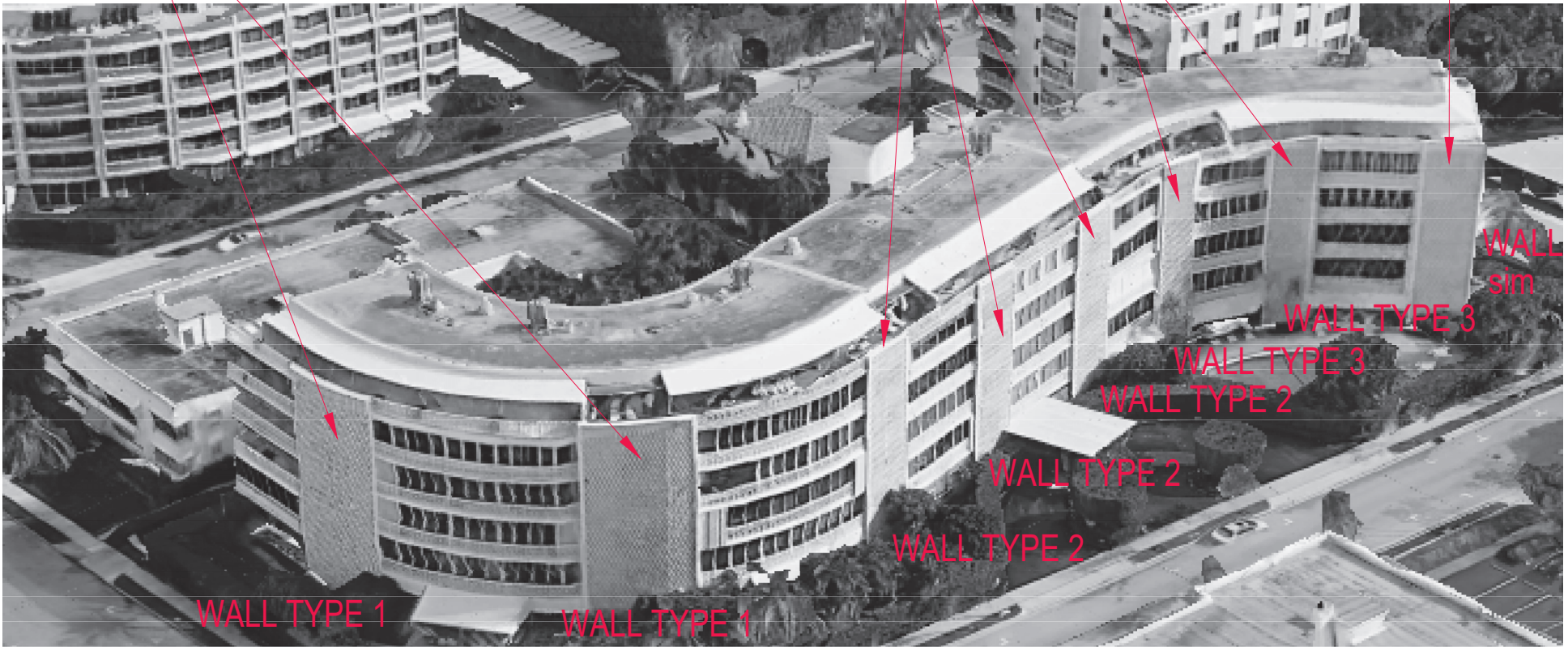


WALL TYPE 1

WALL TYPE 2

WALL TYPE 3

WALL TYPE 2
sim



WALL TYPE 1

WALL TYPE 1

WALL TYPE 2

WALL TYPE 2

WALL TYPE 2
WALL TYPE 3

WALL TYPE 3

WALL TYPE 2
sim

AERIAL VIEW OF PREVIOUS CONDITIONS - FROM SW

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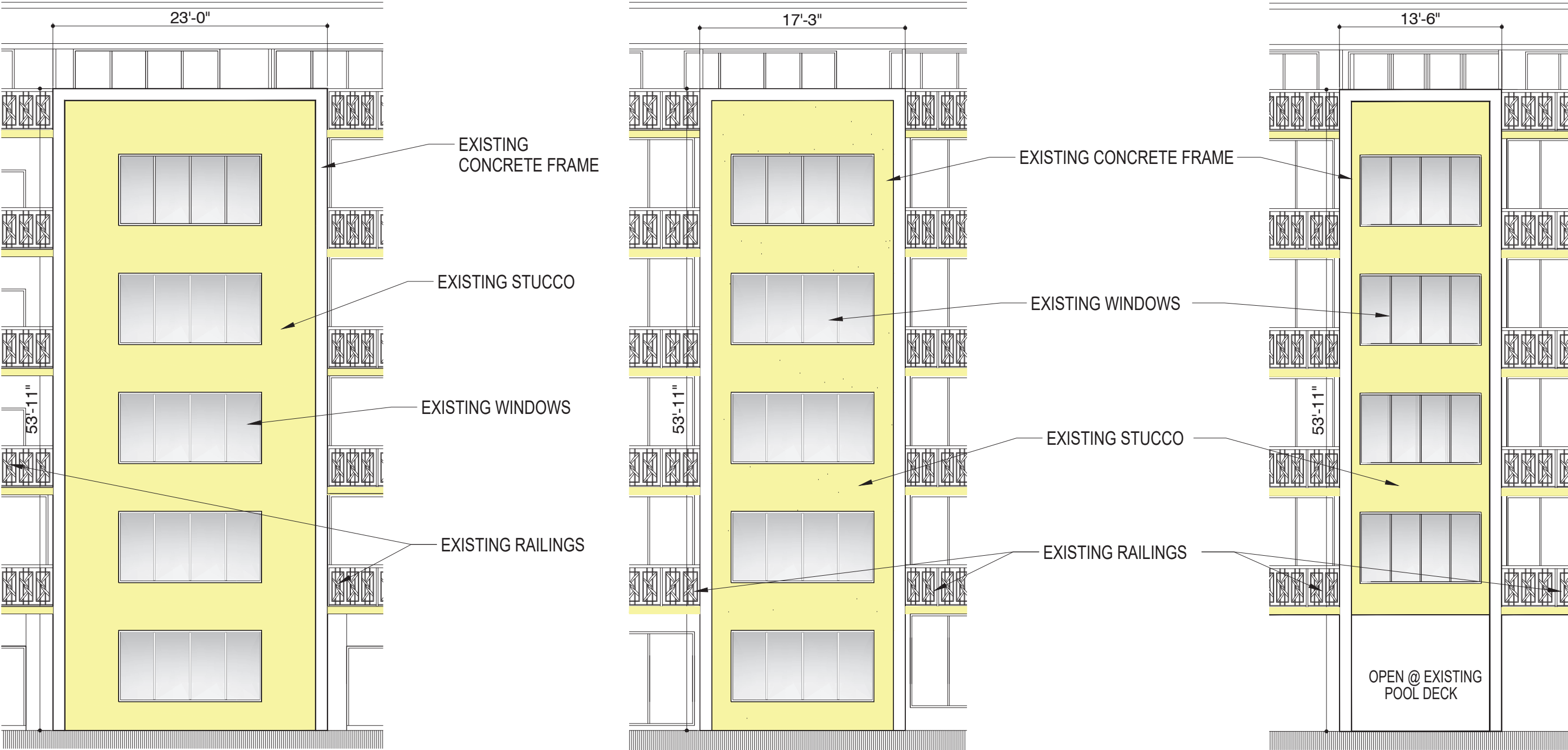
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PC-1

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WALL TYPE 1 - 23'-0" WIDE
@ WEST & SOUTH WEST
FACADE

WALL TYPE 2 - 17'-3" WIDE
@ SOUTH FACADE

WALL TYPE 3 - 13'-6" WIDE
@ SOUTH FACADE

EXISTING CONDITIONS - WALL TYPES 1, 2, & 3

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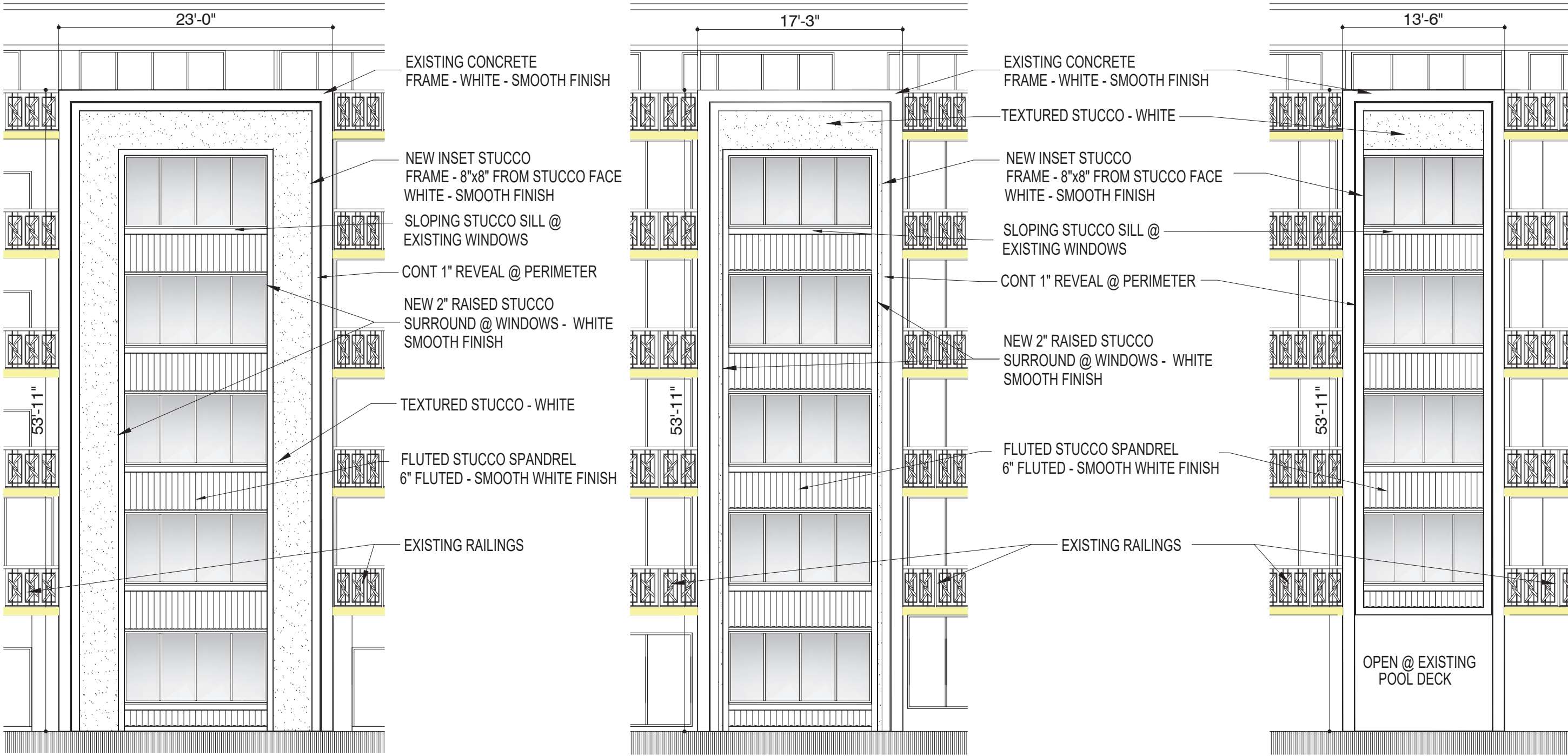
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@ WEST & SOUTH WEST
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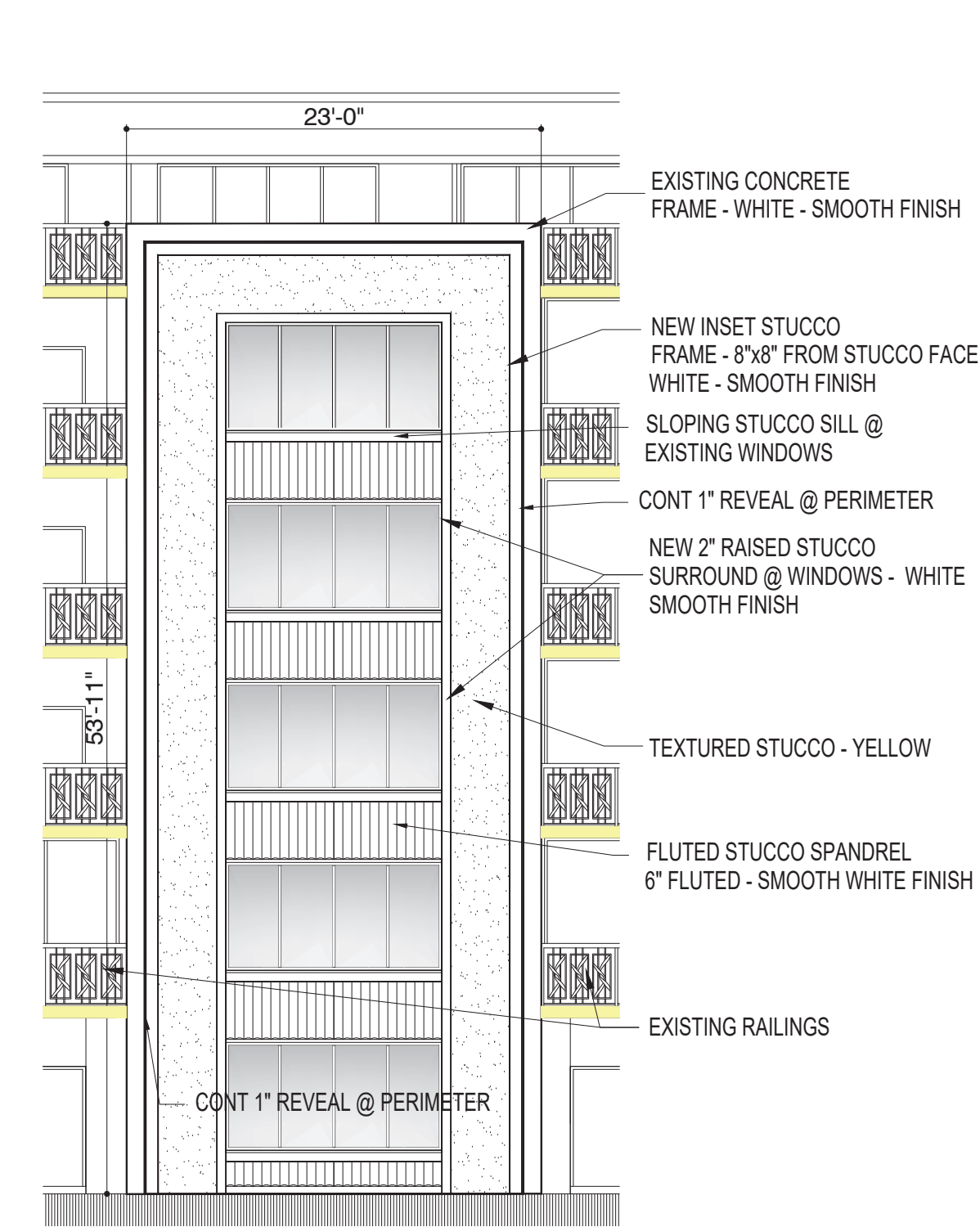
PROPOSED DETAILED ELEVATIONS - WALL TYPES 1, 2, & 3

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West Palm Beach, Florida 33401
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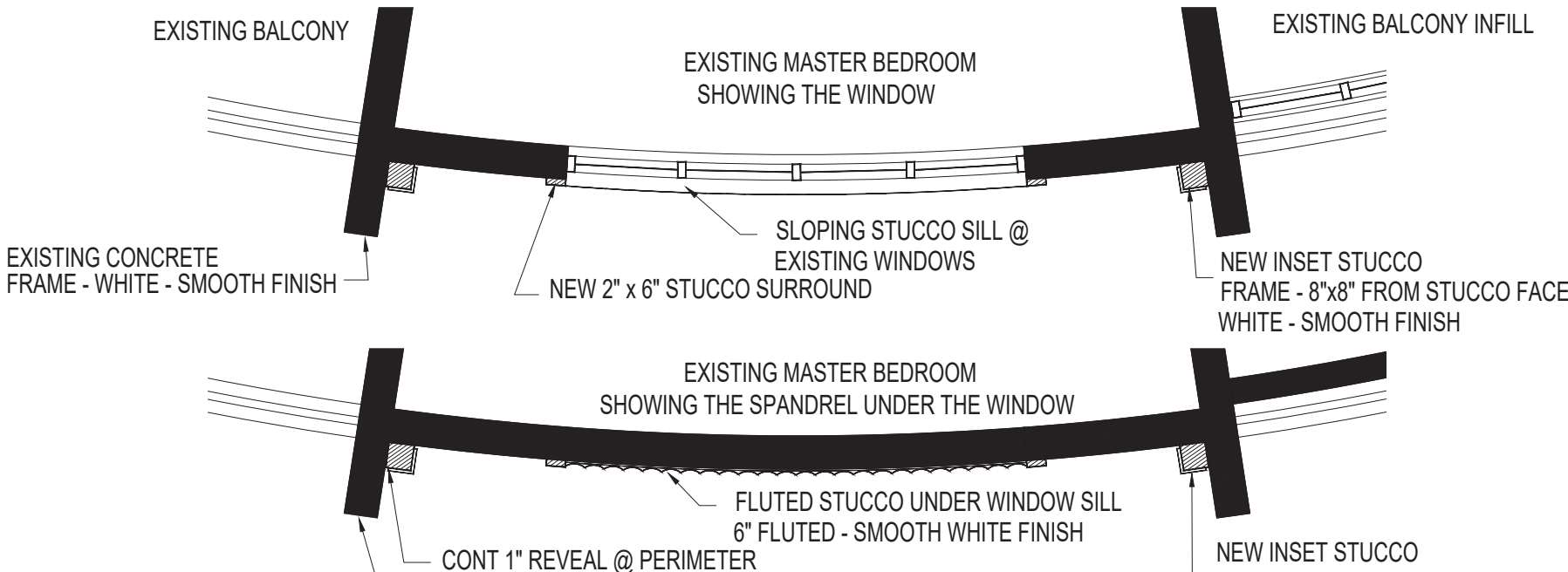
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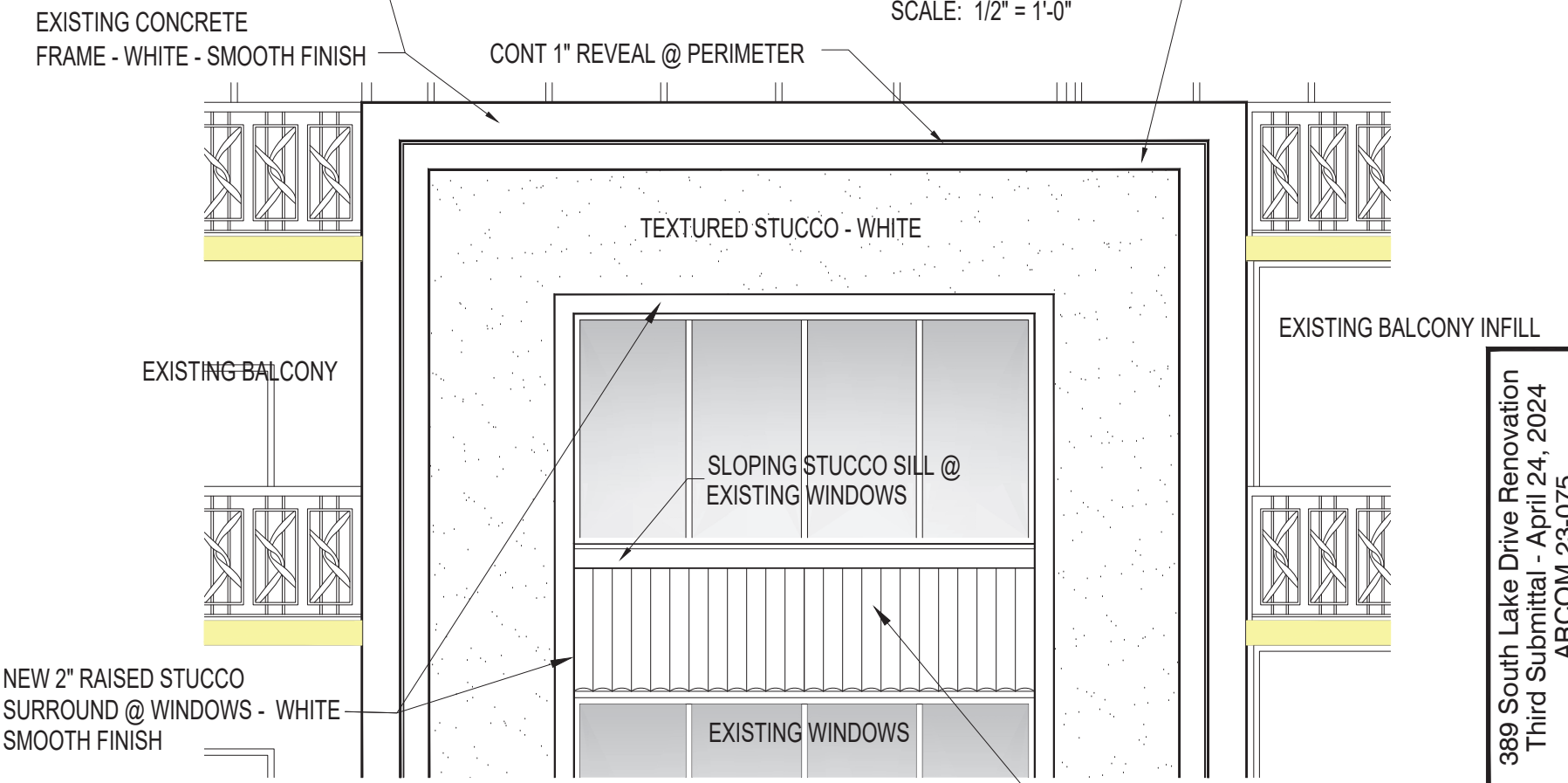
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WALL TYPE I - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



PLAN DETAILS - WALL TYPE I
SCALE: 1/2" = 1'-0"



ELEVATION DETAIL - WALL TYPE I
SCALE: 1/2" = 1'-0"

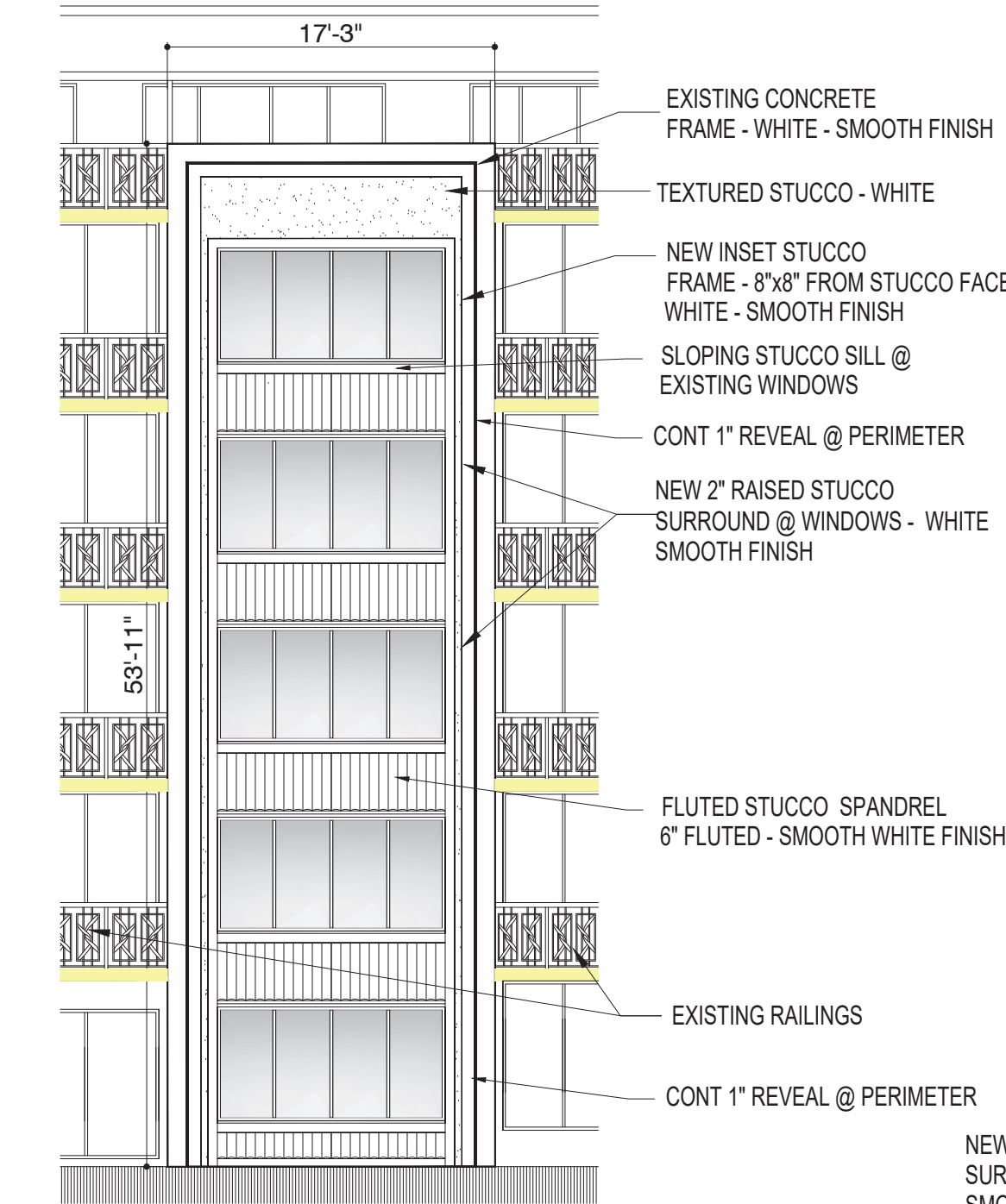
WALL TYPE I - PROPOSED PLAN & DETAILED ELEVATIONS

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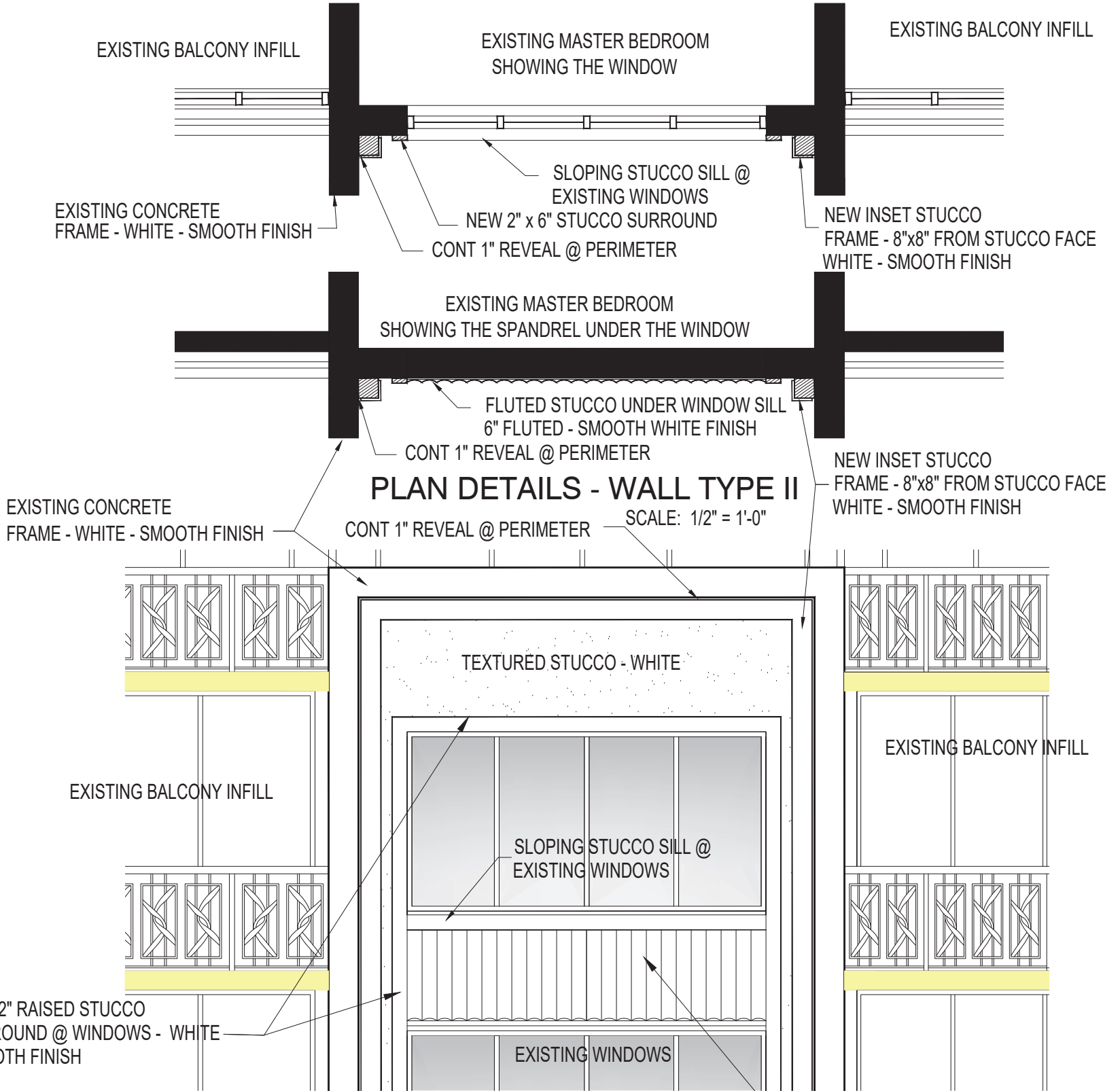
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WALL TYPE II - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION DETAIL - WALL TYPE II
SCALE: 1/2" = 1'-0"

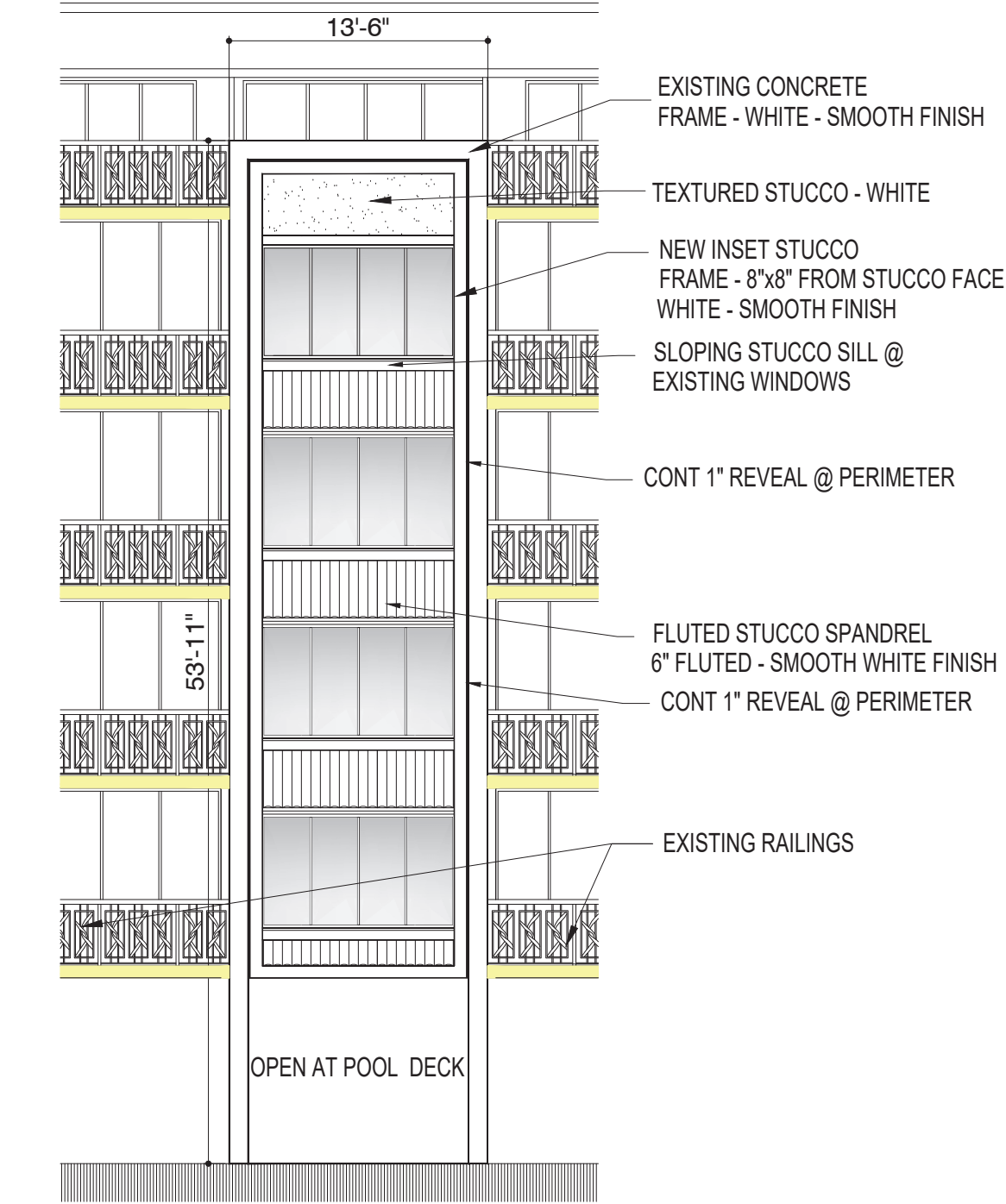
WALL TYPE II - PROPOSED PLAN & DETAILED ELEVATIONS

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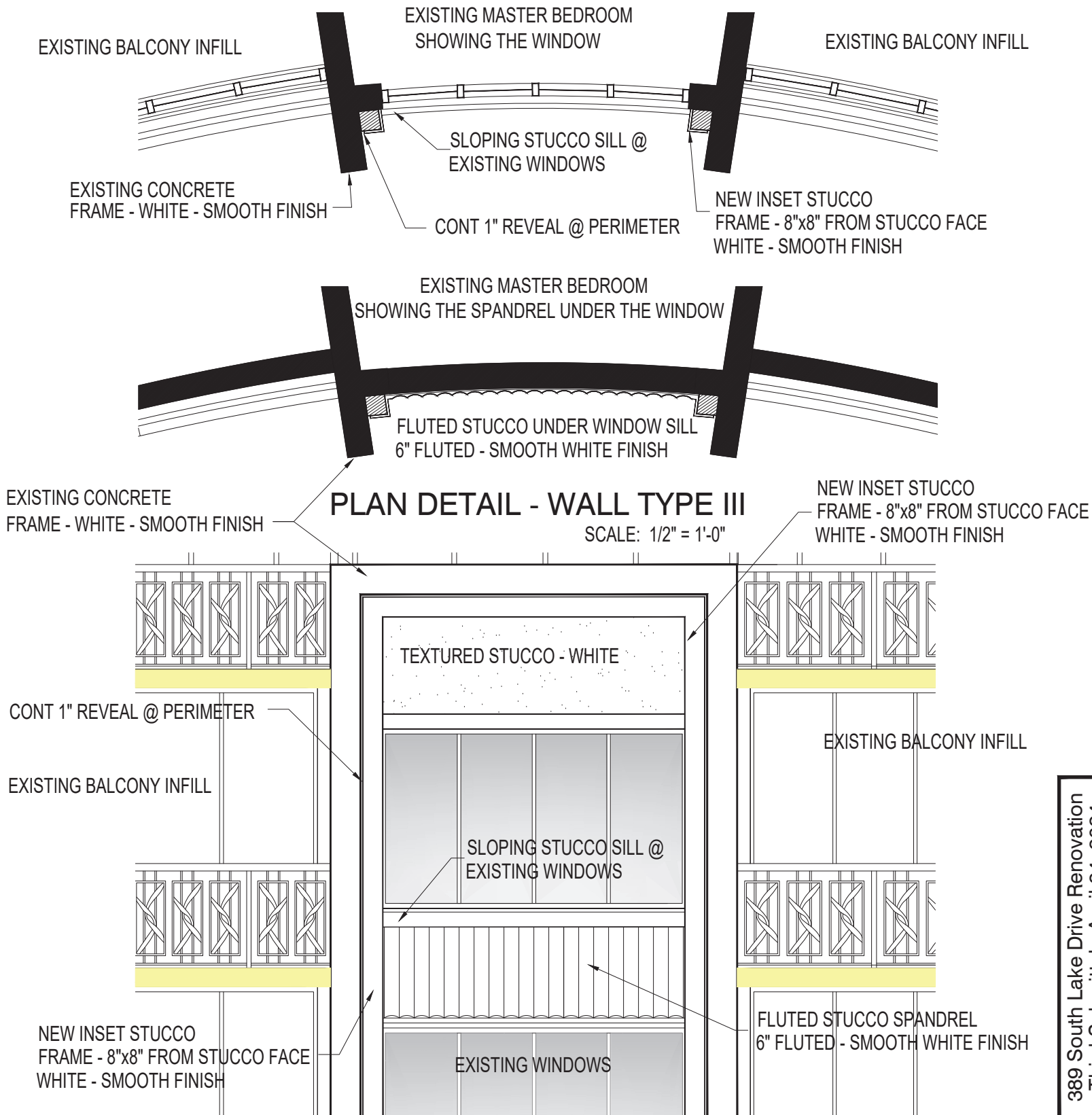
David Miller and Associates, P.A.
319 Clematis Street Suite 802
West Palm Beach, Florida 33401
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WALL TYPE III - PROPOSED ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION DETAIL - WALL TYPE III
SCALE: 1/2" = 1'-0"

WALL TYPE III - PROPOSED PLAN & DETAILED ELEVATIONS

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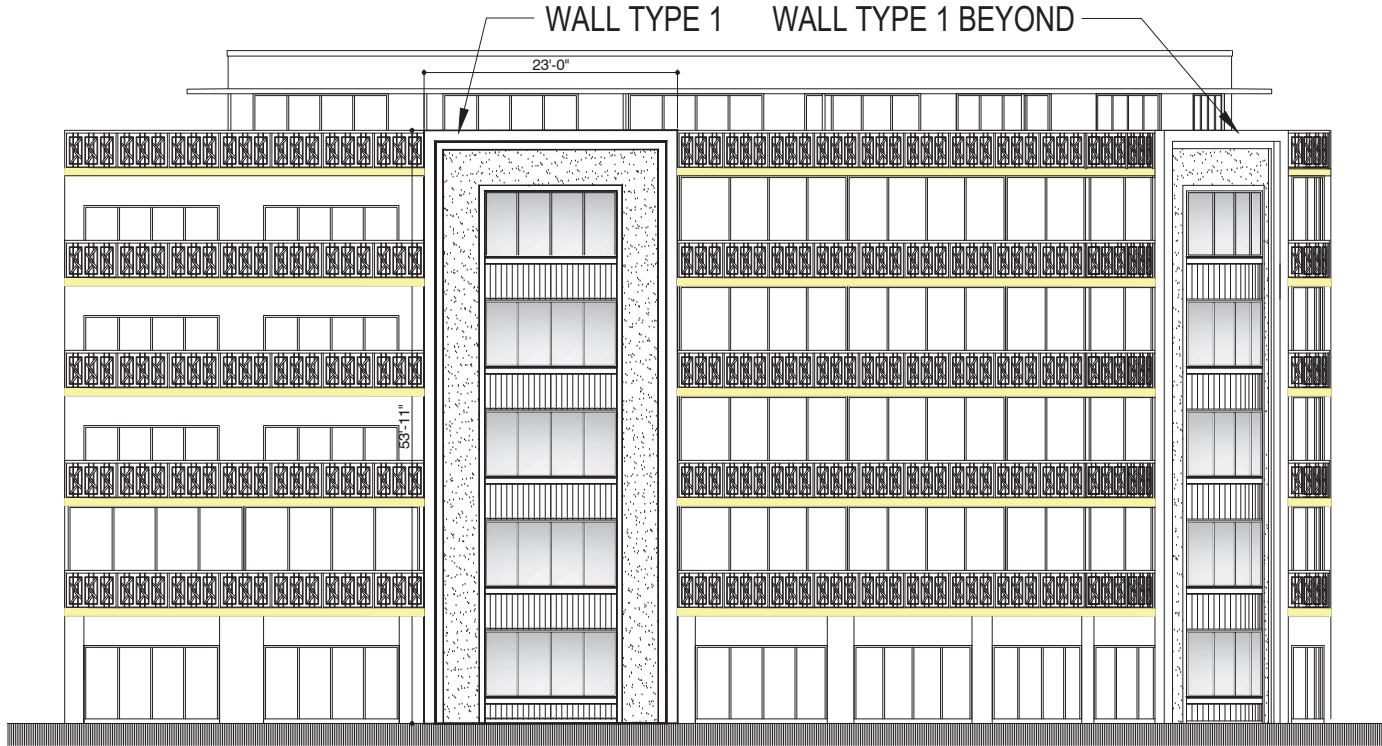
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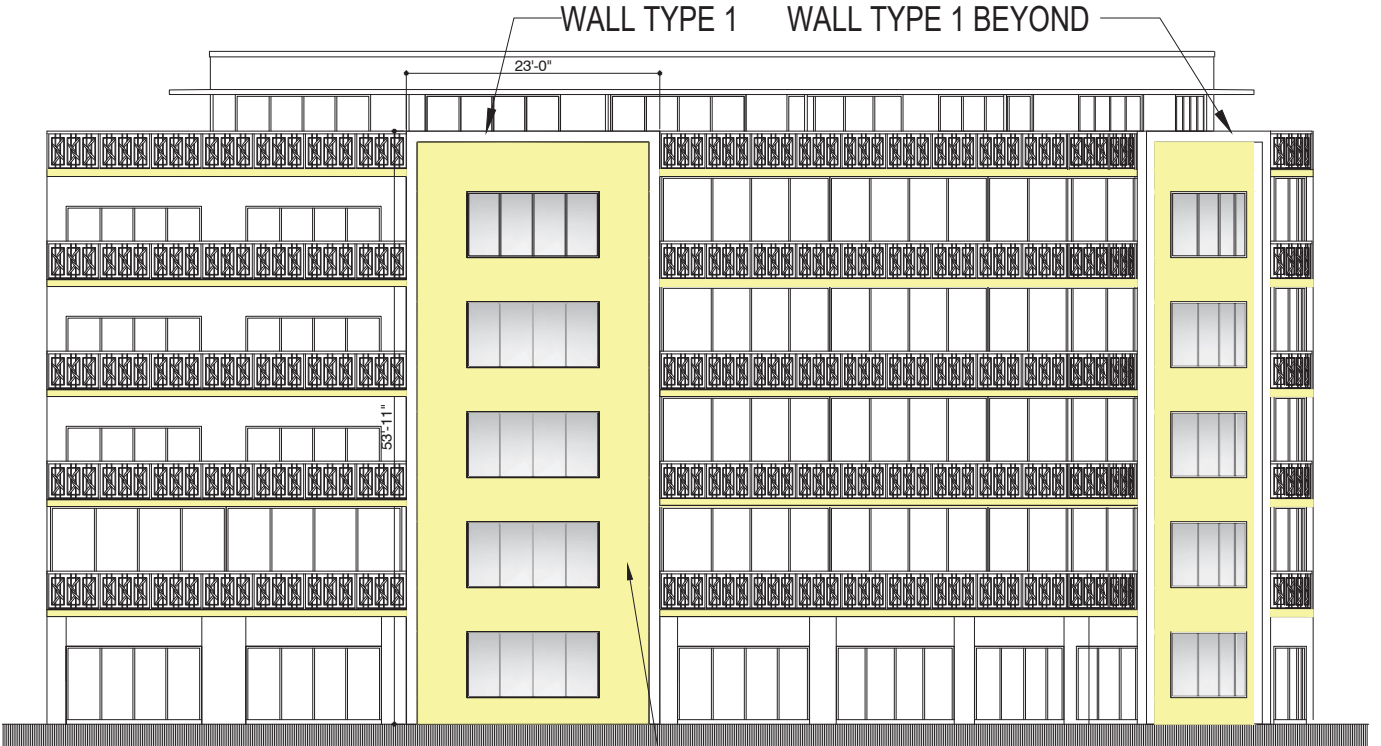
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PROPOSED WEST ELEVATION



EXISTING WEST ELEVATION

EXISTING & PROPOSED EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

NOTE: THESE VIEWS ARE OBLIQUE - THE BUILDING IS S-SHAPED.

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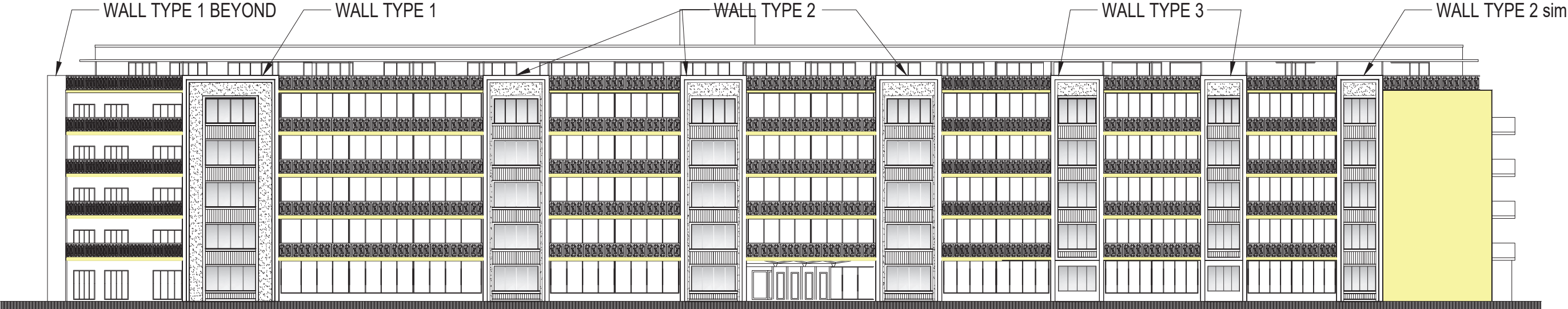
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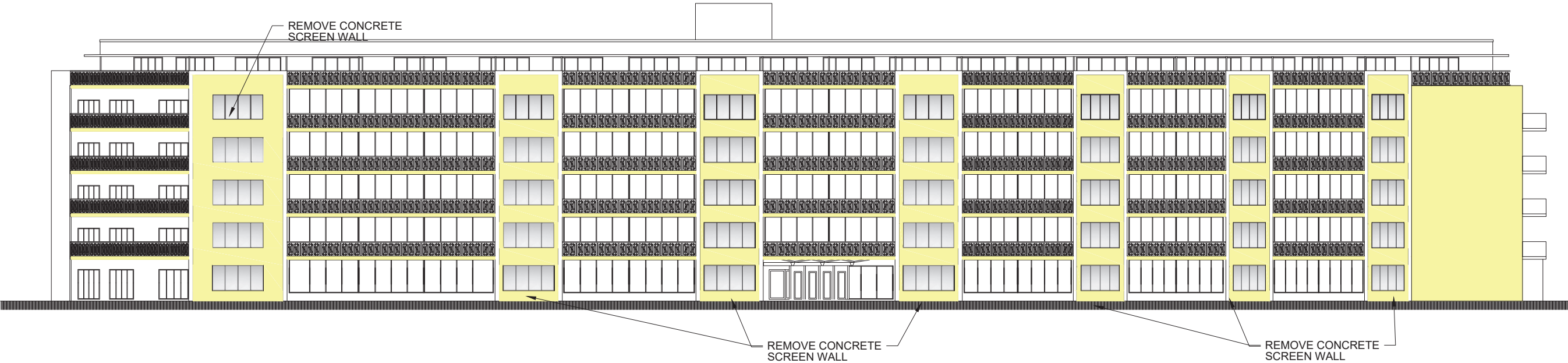
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PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION

PROPOSED & EXISTING EXTERIOR ELEVATIONS
VIEWS FROM PERUVIAN AVENUE

SCALE: 3/32" = 1'-0"

NOTE: THESE VIEWS ARE OBLIQUE - THE BUILDING IS S-SHAPED.

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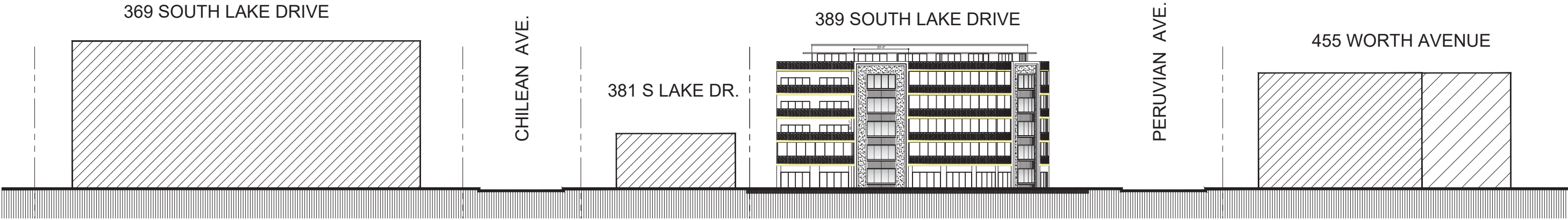
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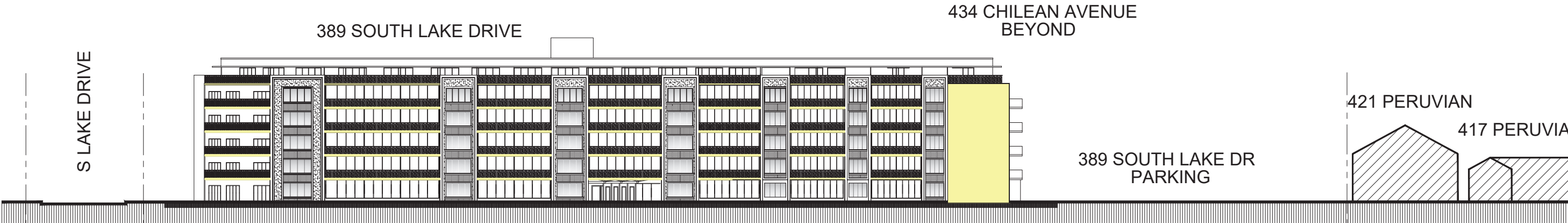
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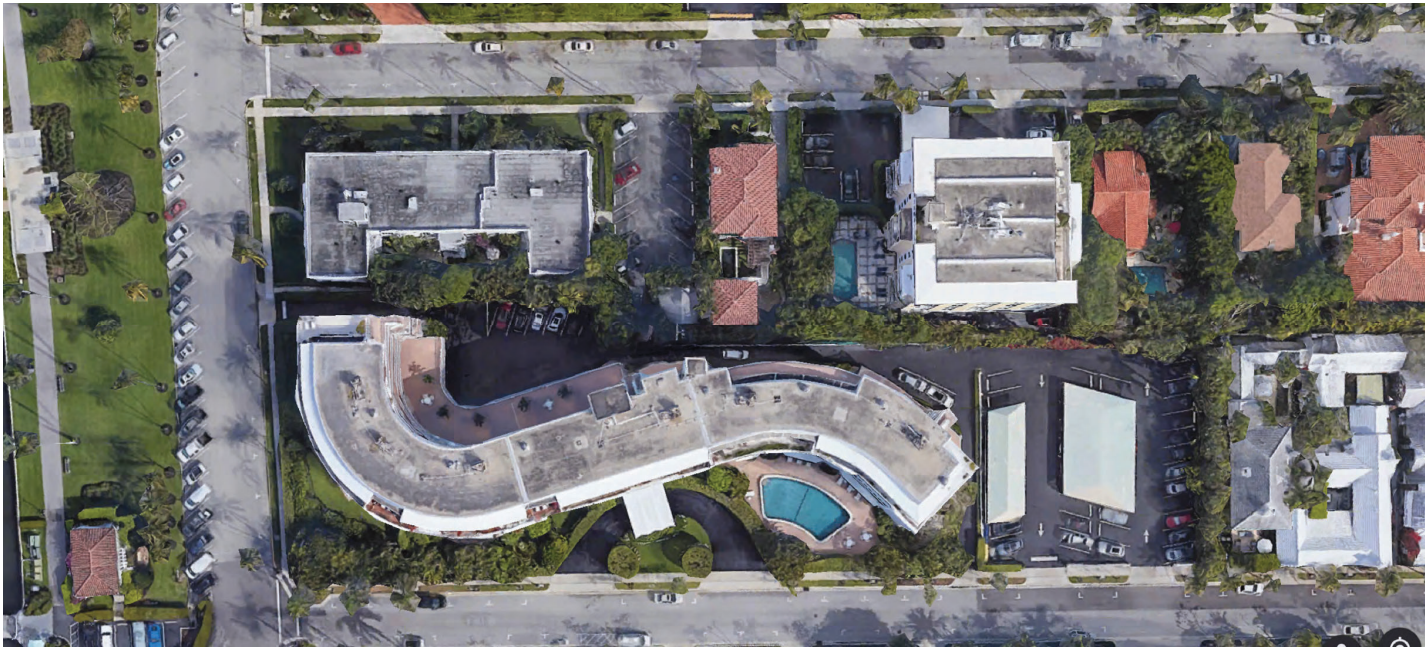
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STREETSCAPE VIEW FROM SOUTH LAKE DRIVE



STREETSCAPE VIEW FROM PERUVIAN AVENUE



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STREETSCAPE
ELEVATIONS

David Miller and Associates, P.A.
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EXISTING VIEW



PROPOSED VIEW

WALL TYPE I SHOWN

EXISTING & PROPOSED VIEWS FROM SOUTH LAKE DRIVE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPE I SHOWN

DETAILED VIEWS FROM SOUTH LAKE DRIVE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPE II SHOWN

DETAILED VIEWS FROM PERUVIAN AVENUE
ADJACENT TO PORTE COCHERE

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389 South Lake Drive
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EXISTING VIEW



PROPOSED VIEW

WALL TYPES II & III SHOWN

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EXISTING & PROPOSED VIEWS FROM PERUVIAN AVENUE

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EXISTING VIEW



PROPOSED VIEW

WALL TYPES II & III SHOWN

DETAILED VIEWS FROM PERUVIAN AVENUE

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