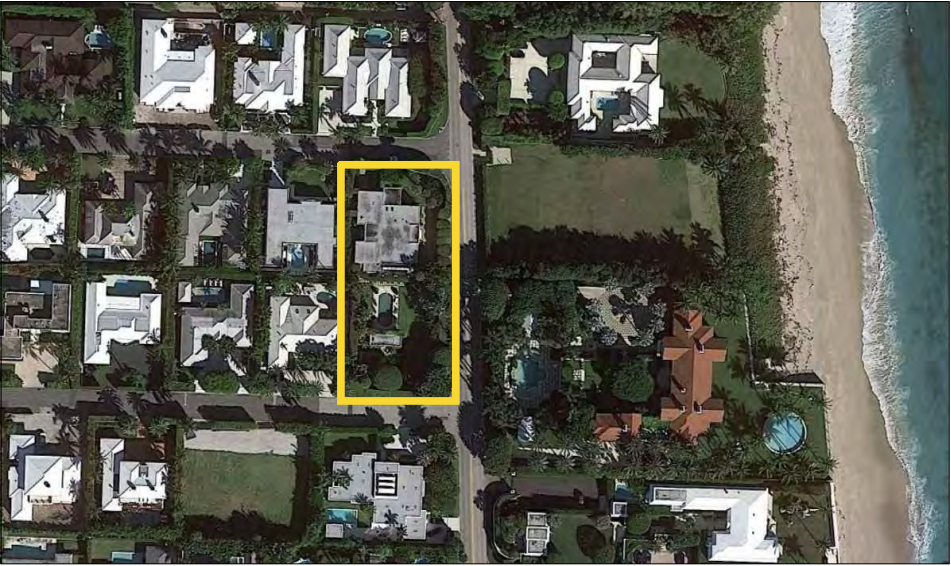


# 960 N OCEAN RESIDENCE

RECEIVED

By yfigueroa at 1:00 pm, Feb 26, 2024

960 N OCEAN BLVD - PALM BEACH - FLORIDA - 33480



LOCATION MAP

## SECOND SUBMITTAL

02/26/2024

PROJECT No.: 2023-14

DATE OF HEARING: 04/24/2024

ARCOM# ARC-24-047



PORTUONDO PEROTTI ARCHITECTS, INC.

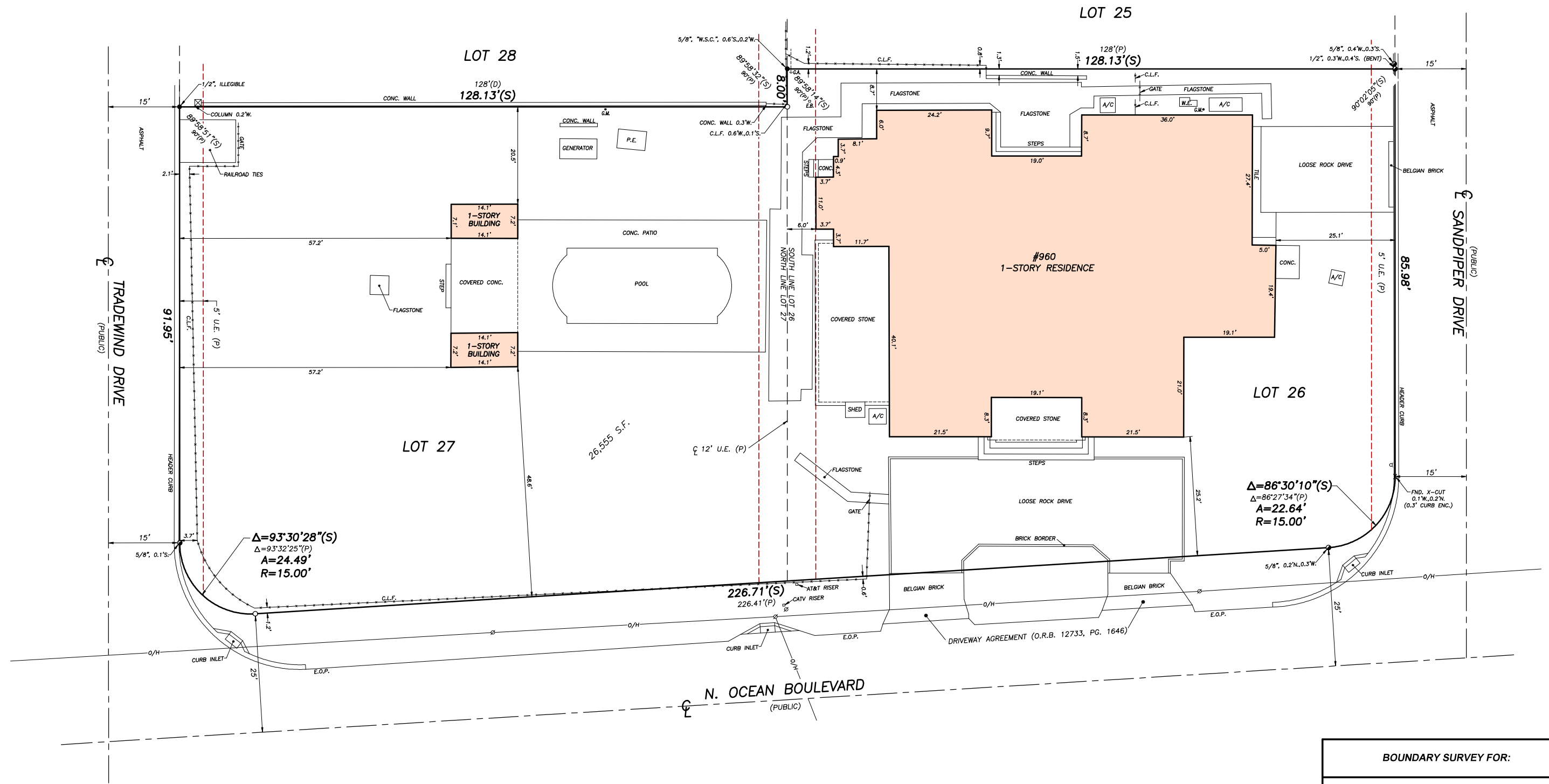
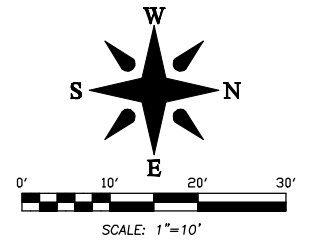
5717 S.W. 8th STREET  
MIAMI, FLORIDA 33144

PH: (305) 260 -9331

FAX: (305) 260 -9318

E-MAIL: info@PORTUONDO-PEROTTI.COM

PROJECT DIRECTORY		INDEX OF DRAWINGS				
OWNER		ARCHITECTURE		FIRST SUBMITTAL	SECOND SUBMITTAL	REV-02
1. MR. AND MRS. CARDINALE 960 N OCEAN BLVD PALM BEACH, FLORIDA. 33480	ARCHITECT	SHEET NO.	TITLE	02/08/2024	02/26/2024	
			COVER SHEET	X	X	
			SURVEY	X	X	
2. PORTUONDO PEROTTI ARCHITECTS 5717 SW 8th STREET MIAMI, FLORIDA. 33144 PHONE (305) 260-9331 FAX (305) 260 9318 LICENSE # AAC001407	LANDSCAPE ARCHITECT	A-001	SITE SETBACK DIAGRAM	X	X	
		A-001.1	UPPER LEVEL SETBACK DIAGRAM	X	X	
		A-001.2	ZONING DATA	X	X	
		A-001.3	CUBIC CONTENT DIAGRAM	X	X	
		A-001.4	EXISTING DIAGRAM	X	X	
		A-001.5	AREA DIAGRAMS	X	X	
		A-001.6	UPPER LEVEL AREA DIAGRAM	X	X	
3. LAGUARDIA DESIGN GROUP LANDSCAPE ARCHITECTURE 38 SCUTTLE HOLE ROAD WATER MILL, NEW YORK 11976 PH:(631) 726-1403	BUILDING DEPARTMENT	A-001.7	YARD SECTION DIAGRAM	X	X	
		A-001.8	CONSTRUCTION STAGING PLAN	X	X	
		A-001.9	EXISTING FLOOR PLAN		X	
		A-001.10	EXISTING FLOOR PLAN		X	
		A-001.11	VARIANCE DIAGRAM		X	
		A-002	LOCATION PLAN	X	X	
		A-002.1	NEIGHBORHOOD VICINITY ELEVATIONS	X	X	
		A-002.2	STREETSCAPE ELEVATIONS	X	X	
		A-002.3	NEIGHBORHOOD RESIDENCE PHOTOS	X	X	
		A-002.4	NEIGHBORHOOD RESIDENCE PHOTOS	X	X	
		A-002.5	SUBJECT PROPERTY EXISTING PHOTOS	X	X	
		A-002.5	VICINITY LOCATION MAP (1/4 MILE)	X	X	
		A-003	TRUCK LOGISTIC PLAN	X	X	
		A-100	EXISTING / PROPOSED SITE PLAN	X	X	
		5. TOWN OF PALM BEACH BUILDING DEPARTMENT 360 SOUTH COUNTY ROAD PALM BEACH, FL. 33480 PH: (561) 838-5400	SCOPE OF WORK	A-100.1	PROPOSED SITE PLAN	X
A-101	EXISTING / PROPOSED MAIN FLOOR PLAN			X	X	
A-101.1	PROPOSED MAIN FLOOR PLAN			X	X	
A-101.2	EXISTING / PROPOSED MAIN FLOOR PLAN CABANA			X	X	
A-101.3	PROPOSED MAIN FLOOR PLAN CABANA			X	X	
A-102	PROPOSED UPPER FLOOR PLAN CABANA			X	X	
A-103	EXISTING / PROPOSED ROOF PLAN			X	X	
A-103.1	PROPOSED ROOF PLAN			X	X	
A-103.2	EXISTING / PROPOSED ROOF PLAN CABANA			X	X	
A-103.3	PROPOSED ROOF PLAN CABANA			X	X	
A-200	EXISTING ELEVATIONS			X	X	
A-201	EXISTING / PROPOSED ELEVATIONS			X	X	
A-202	EXISTING / PROPOSED ELEVATIONS			X	X	
A-203	PROPOSED ELEVATIONS			X	X	
A-204	PROPOSED ELEVATIONS			X	X	
A-205	RENDER ELEVATIONS				X	
A-206	RENDER ELEVATIONS				X	
A-300	EXISTING / PROPOSED SECTIONS			X	X	
A-301	PROPOSED BUILDING SECTIONS			X	X	
A-302	PROPOSED BUILDING SECTIONS			X	X	
A-400	CHIMNEY DETAIL			X	X	
A-401	POOL LOUNGE ENLARGED FLOOR PLAN AND SECTION			X	X	
A-402	RAILING DETAIL				X	
A-403	PERGOLA AND LIGHT FIXTURE DETAIL				X	
A-601	DOORS SCHEDULE				X	
A-602	WINDOWS AND SHUTTERS SCHEDULE				X	
D-100	DEMO / EXISTING SITE PLAN			X	X	
D-101	DEMO / EXISTING FLOOR PLAN			X	X	
D-101.1	DEMO / EXISTING FLOOR PLAN			X	X	
D-103	DEMO / EXISTING ROOF PLAN			X	X	
D-103.1	DEMO / EXISTING ROOF PLAN	X	X			
D-200	DEMO / EXISTING ELEVATIONS	X	X			
D-201	DEMO / EXISTING ELEVATIONS	X	X			
D-202	DEMO / EXISTING ELEVATIONS	X	X			

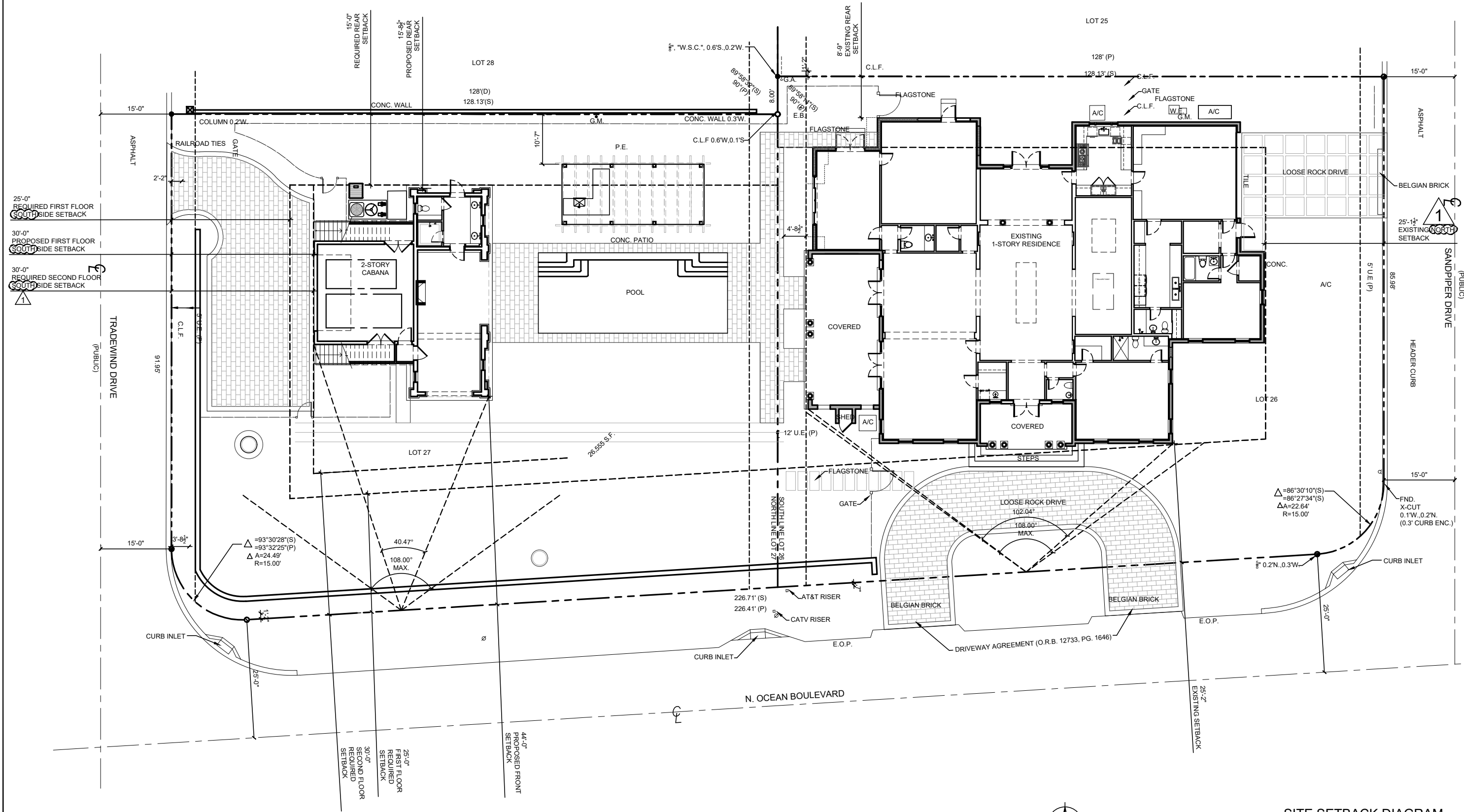


BOUNDARY SURVEY FOR:

ALAN D. BLEZNAK & KATHLEEN BLEZNAK



FIELD	B.M.	JOB NO.	10-1040	P.B.	PB349	PG.	65
OFFICE	M.B.	DATE	6/27/23	INVS. NO.	10-1040		
CHK'D	C.W.	REF.	10-1040.DWG	SHEET	2	OF	2

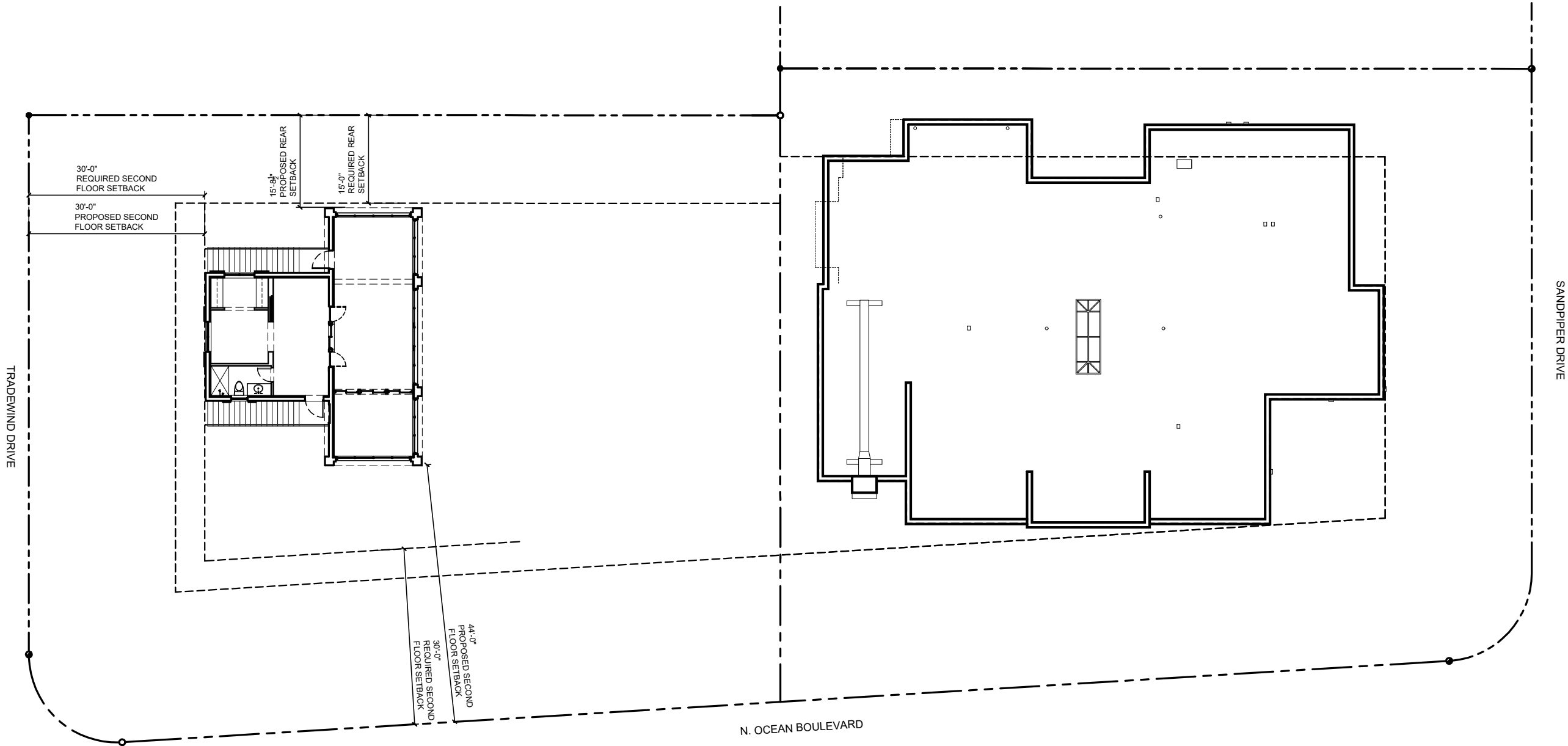


01

SCALE 1" = 20'

SITE SETBACK DIAGRAM

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS 02.08.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 255-9333 Fax: (305) 255-9818 http://www.portuondoperotti.com	
OWNER HOLLY CARDINALE	
TITLE SITE DIAGRAM SCALE 1/32" = 1'-0"	
SHEET A-001 OF 02	



01

UPPER LEVEL SETBACK DIAGRAM  
SCALE 1" = 20'

SHEET A-001.1  
OF 01

TITLE SITE GIAGRAM  
SCALE 1" = 20'-0"

OWNER HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture • Planning • Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 224-9333 Fax: (305) 220-5818  
http://www.portuondo.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024



**Town of Palm Beach**  
Planning Zoning and Building  
360 S County Rd  
Palm Beach, FL 33480  
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	960 N Ocean Blvd, Palm Beach, Florida 33480		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Lot Area (sq. ft.):	26,552 sq.ft		
4	Lot Width (W) & Depth (D) (ft.):	256.71' X 106.91' IRREGULAR		
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	SINGLE FAMILY RESIDENCE		
6	FEMA Flood Zone Designation:	AE 6.0		
7	Zero Datum for point of meas. (NAVD)	7.0 NAVD		
8	Crown of Road (COR) (NAVD)	7.0 NAVD		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	25% (6,638)	5,681	26.6% (7,047)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc)	N/A	N/A	N/A
12	*Front Yard Setback (Ft.)	25'-0"	25'-2"	44'-0"
13	* Side Yard Setback (1st Story) (Ft.)	25'-0"	25'-2"(N) / 57'-2" (S)	25'-2"(N) / 30'-0"(S)
14	* Side Yard Setback (2nd Story) (Ft.)	30'-0"	N/A	189'-2"(N) / 30'-0"(S)
15	*Rear Yard Setback (Ft.)	15'-0"	8'-9"	15'-8"
16	Angle of Vision (Deg.)	108 Deg	16.4 Deg	40 Deg
17	Building Height (Ft.)	25'-0"	15'-0"	25'-0"
18	Overall Building Height (Ft.)	25'-0"	15'-0"	21'-3"
19	Cubic Content Ratio (CCR) (R-B ONLY)	101,813.11 CF (3.83)	57,729 CF (2.17)	81,545.0 CF (3.07)
20	** Max. Fill Added to Site (Ft.)		N/A	
21	Finished Floor Elev. (FFE)(NAVD)	7.0' NAVD	N/A	7.0' NAVD
22	Base Flood Elevation (BFE)(NAVD)	N/A	6.0' NAVD	6.0' NAVD
23	Landscape Open Space (LOS) (Sq Ft and %)		N/A	
24	Perimeter LOS (Sq Ft and %)		N/A	
25	Front Yard LOS (Sq Ft and %)		N/A	
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

\* Indicate each yard area with cardinal direction  
(N,S,E,W)

\*\* Difference of Fin. Floor Elev. (FFE) and  
highest Crown of Rd (COR) divided by two. (FFE -  
COR) / 2 = Max. Fill (Sec. 134-1600)

\*\*\* Provide Native plant species info per  
category as required by Ord. 003-2023 on  
separate TOPB Landscape Legend

Enter N/A if value is not applicable.  
Enter N/C if value is not changing.

REV BF 20230626

LEGAL DESCRIPTION				
Lots 26 and 27,DODGE STATES,Palm Beach Florida, according to the Plat thereof on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida,in Plat Book 27,Page 119.				
PROPERTY ADDRESS				
960 N OCEAN BLVD , PALM BEACH FL 33480				
ZONING CLASSIFICATION				
R-B- LOW DENSITY RESIDENTIAL				
FLOOD CRITERIA				
FLOOD ZONE:		AE-6		
BASE FLOOD ELEVATION:		7.0'	NAVD	
PROPOSED MAIN LEVEL T.O. SLAB ELEVATION (P.O.M):		EXISTING		NAVD
LOT AREA				
GROSS LOT AREA =		26,552.00	SQ.FT.	
LANDSCAPE OPEN SPACE				
MINIMUM REQUIRED:		50% OF LOT AREA=	13,276.00	SQ.FT.
PROVIDED:		53.95% OF LOT AREA=	14,325.00	SQ.FT.
FRONT YARD AREA:		6,322.00 SQ. FT	45% OF FRONT YARD =	2,844.90 SQ.FT.
			78.61% PROPOSED:	4,970.00 SQ.FT.
LOT COVERAGE AREA				
PERMITTED:		25% ALLOWED:	6,638.00	SQ.FT.
EXISTING:			5,681.00	SQ.FT.
PROPOSED:			1,366.00	SQ.FT.
		TOTAL:	7,047.00	SQ.FT.
		VARIANCE OVER BY:	409.00	SQ.FT.
BUILDING SETBACKS		GROUND FLOOR		SECOND FLOOR
MAIN HOUSE		REQUIRED	EXISTING	
FRONT:		25'-0"	25'-2"	
SIDE STREET NORTH:		25'-0"	25'-2"	
SIDE STREET SOUTH:		25'-0"	134'-1"	
REAR:		15'-0"	8'-9"	
CABANA (auxiliary structure)		REQUIRED	PROPOSED	REQUIRED PROPOSED
FRONT:		25'-0"	44'-0"	30'-0" 44'-0"
SIDE STREET SOUTH:		25'-0"	30'-0"	30'-0" 30'-0"
SIDE STREET NORTH:		25'-0"	189'-2"	30'-0" 189'-2"
REAR:		15'-0"	15'-8"	15'-0" 15'-8"
BUILDING HEIGHT				
MAXIMUM OVERALL HEIGHT ALLOWED			25'-0"	
EXISTING / PROPOSED:			21'-3"	
AREA TABULATION				LOT COVERAGE
FIRST LEVEL	A/C	NON A/C	TOTAL AREA	
MAIN HOUSE EXIST.	4,968.00 SQ. FT.		4,968.00 SQ. FT.	4,968.00 SQ. FT.
GYM EXTENSION	30.00 SQ. FT.		30.00 SQ. FT.	30.00 SQ. FT.
COVERED TERRACE EXIST.		533.00 SQ. FT.	533.00 SQ. FT.	533.00 SQ. FT.
ENTRY FOYER EXIST.		180.00 SQ. FT.	180.00 SQ. FT.	180.00 SQ. FT.
MAIN LEVEL BATH	216.00 SQ. FT.		216.00 SQ. FT.	216.00 SQ. FT.
MAIN LEVEL CABANA		490 SQ. FT.	490.00 SQ. FT.	490.00 SQ. FT.
GARAGE		462.00 SQ. FT.	462.00 SQ. FT.	462.00 SQ. FT.
STORAGE		168.00 SQ. FT.	168.00 SQ. FT.	168.00 SQ. FT.
SECOND LEVEL				
CABANA UPPER LEVEL	1,166.00 SQ. FT.		1,166.00 SQ. FT.	
TOTALS	6,380.00 SQ. FT.	1,833.00 SQ. FT.	8,213.00 SQ. FT.	7,047.00 SQ. FT.

ARCOM CASE #  
ARC-24-047

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

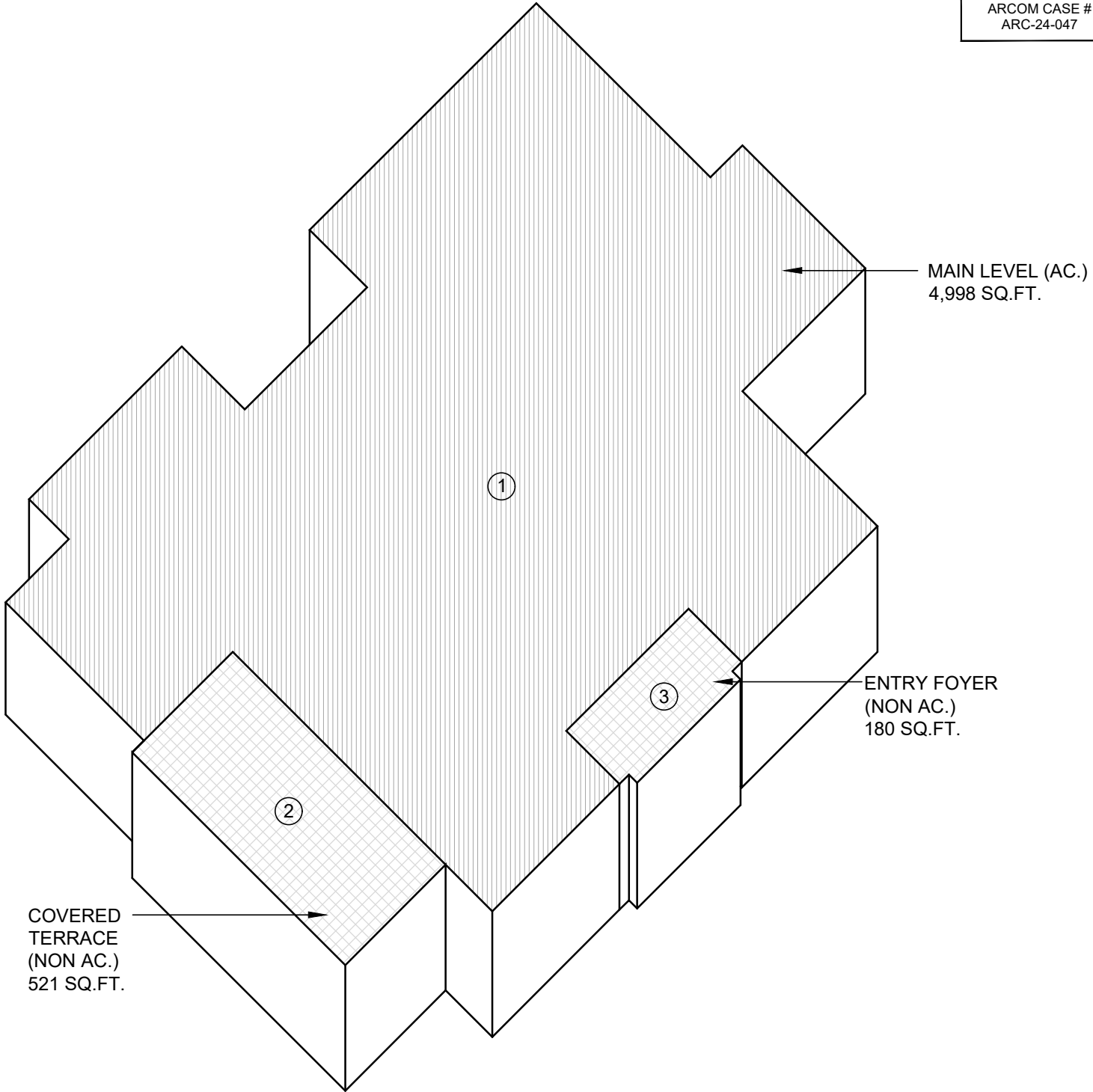
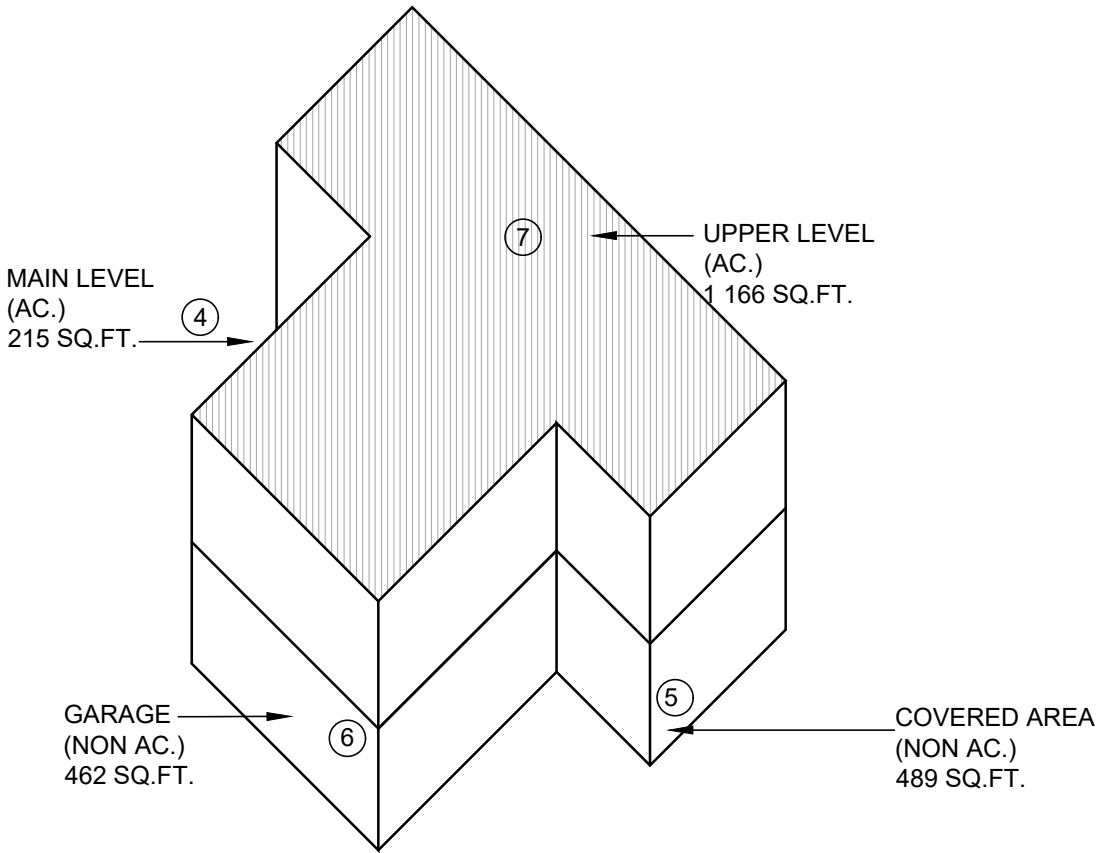
ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architects - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-9333 Fax: (305) 442-9818  
http://www.portundoperotti.com

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

TITLE  
ZONING DATA  
SHEET: A-001.2  
SCALE  
N.T.S.  
OF

THE ABOVE INFORMATION IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT A CONTRACT. THE PROJECT NUMBER SHALL BE CONTROLLED BY THE PROJECT NUMBER. THE PROJECT NUMBER SHALL BE CONTROLLED BY THE PROJECT NUMBER.



960 N OCEAN

CUBIC CONTENT CALCULATION (PER SURVEY)

ZONE	DESCRIPTION	AREA	BLDG HT. (From TOPB POM)	VOLUME	TOTAL
1	MAIN HOUSE (960 N OCEAN)	4,998.00 SF	9.50 FT	47,481.00 CF	75,831.60
2	EXIST. COVERED TERRACE (960 N OCEAN)	521.00 SF	12.00 FT	6,252.00 CF	
3	EXIST. ENTRY FOYER	180.00 SF	12.00 FT	2,160.00 CF	
4	MAIN LEVEL	215.00 SF	8.80 FT	1,892.00 CF	
5	COVERED AREA	489.00 SF	8.80 FT	4,303.20 CF	
6	GARAGE	462.00 SF	8.80 FT	4,065.60 CF	
7	UPPER LEVEL	1,166.00 SF	8.30 FT	9,677.80 CF	
				TOTAL	75,831.60

LOT AREA:		26,600.00 SF
C.C.R. (MAX):	3.83	101,984.40 CF
ADD. 5% FOR LOGGIAS*:	0.192	5,099.22 CF
TOTAL MAX VOLUME:	4.026	107,083.62 CF
TOTAL VOLUME PROPOSED:	2.851	75,831.60 CF

\*ORD. 04-2018

ARCOM CASE #  
ARC-24-047

REVISIONS  
PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-3333 Fax: (305) 442-3334  
http://www.portuondo.com

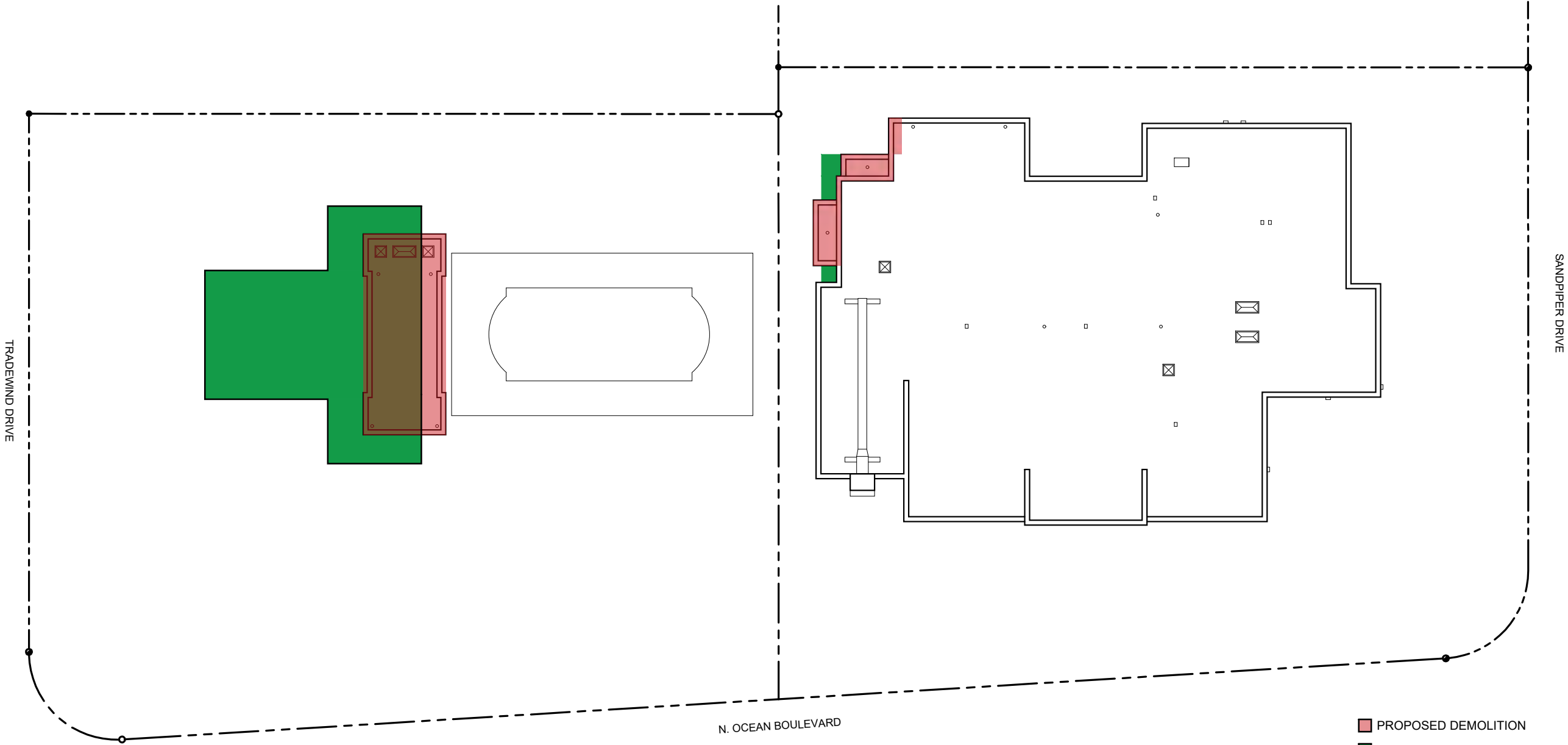
OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

TITLE  
CUBIC CONTENT DIAGRAM  
SCALE  
N.T.S.

SHEET  
A-001.3  
OF

© COPYRIGHT 2024



01

SCALE: 1" = 20'-0"

EXISTING DIAGRAM

SHEET  
A-001.4  
OF

TITLE  
EXISTING DIAGRAM  
SCALE  
N.T.S.

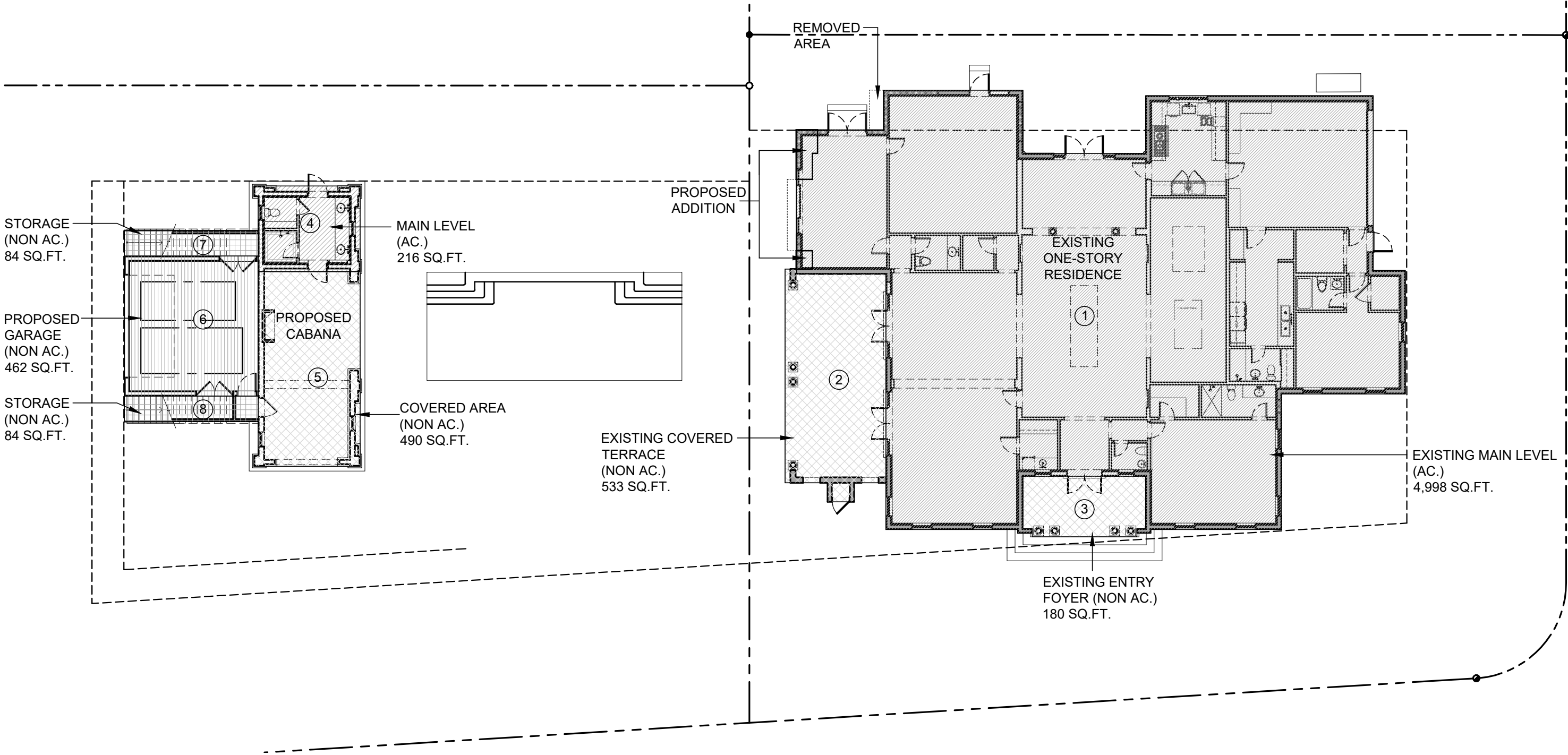
OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-9337 Fax: (305) 442-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS  
02.28.2024



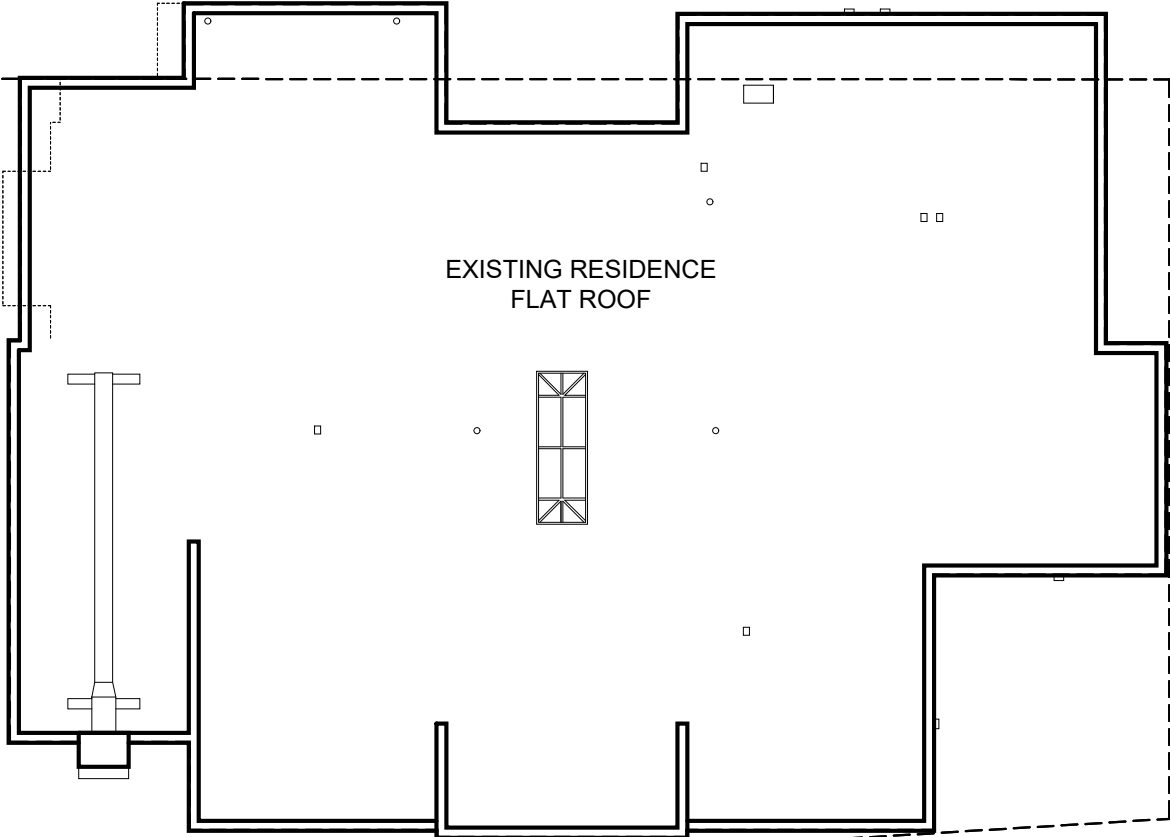
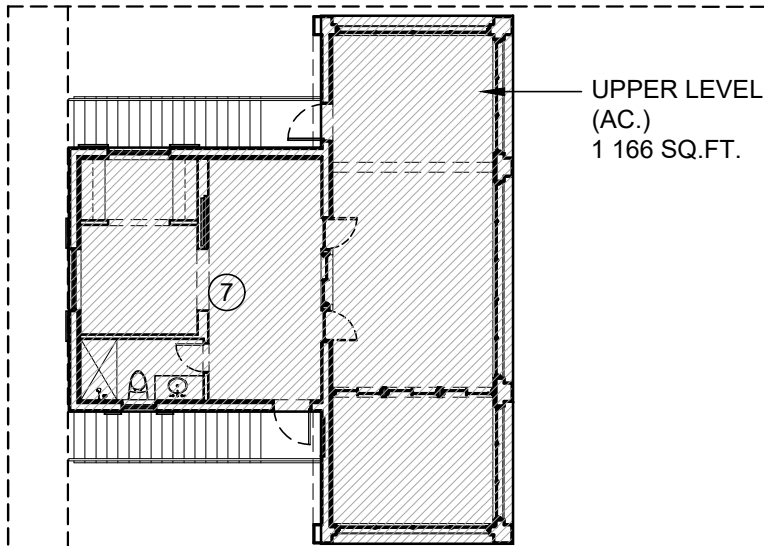
N

01

SCALE 1/16" = 1'-0"

MAIN LEVEL AREA DIAGRAM

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.26.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architecture - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 442-9333 Fax: (305) 442-9818 http://www.portundoperoiti.com			
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480			
OWNER HOLLY CARDINALE			
TITLE AREA DIAGRAM		SCALE N.T.S.	
SHEET A-001.5		OF	
© COPYRIGHT 2024			



01

SCALE 1/16" = 1'-0"

UPPER LEVEL AREA DIAGRAM

SHEET  
A-001.6  
OF

TITLE  
AREA DIAGRAM

SCALE  
1/16" = 1'-0"

OWNER  
HOLLY CARDINALE

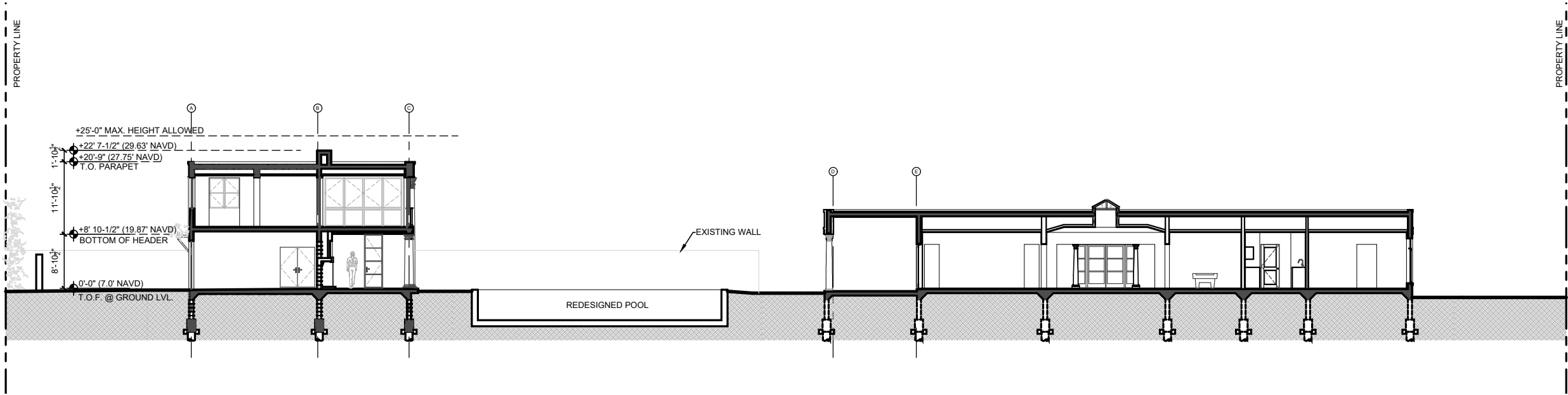
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-9333 Fax: (305) 442-9818  
http://www.portuondoperoiti.com

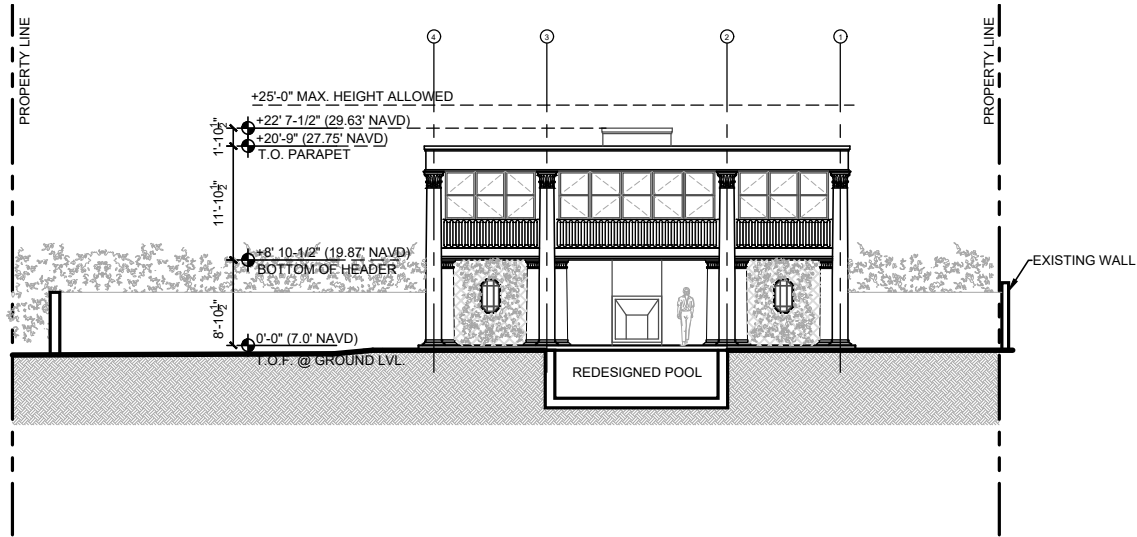
PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS

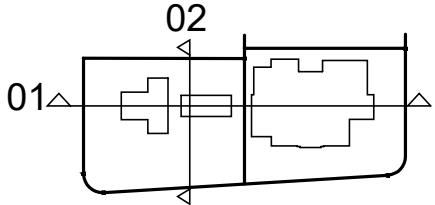
02.28.2024



01 YARD SECTION DIAGRAM  
SCALE: 1" = 20'-0"

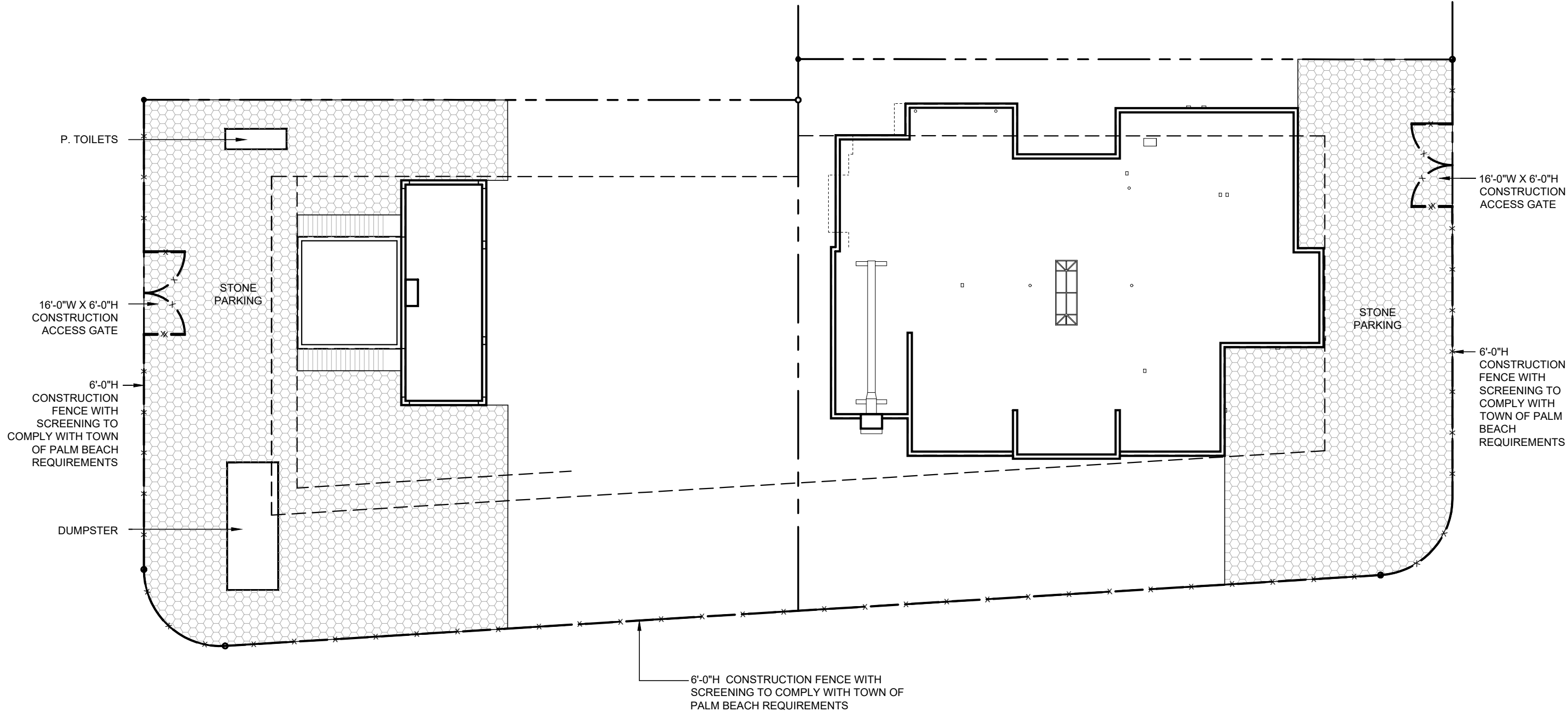


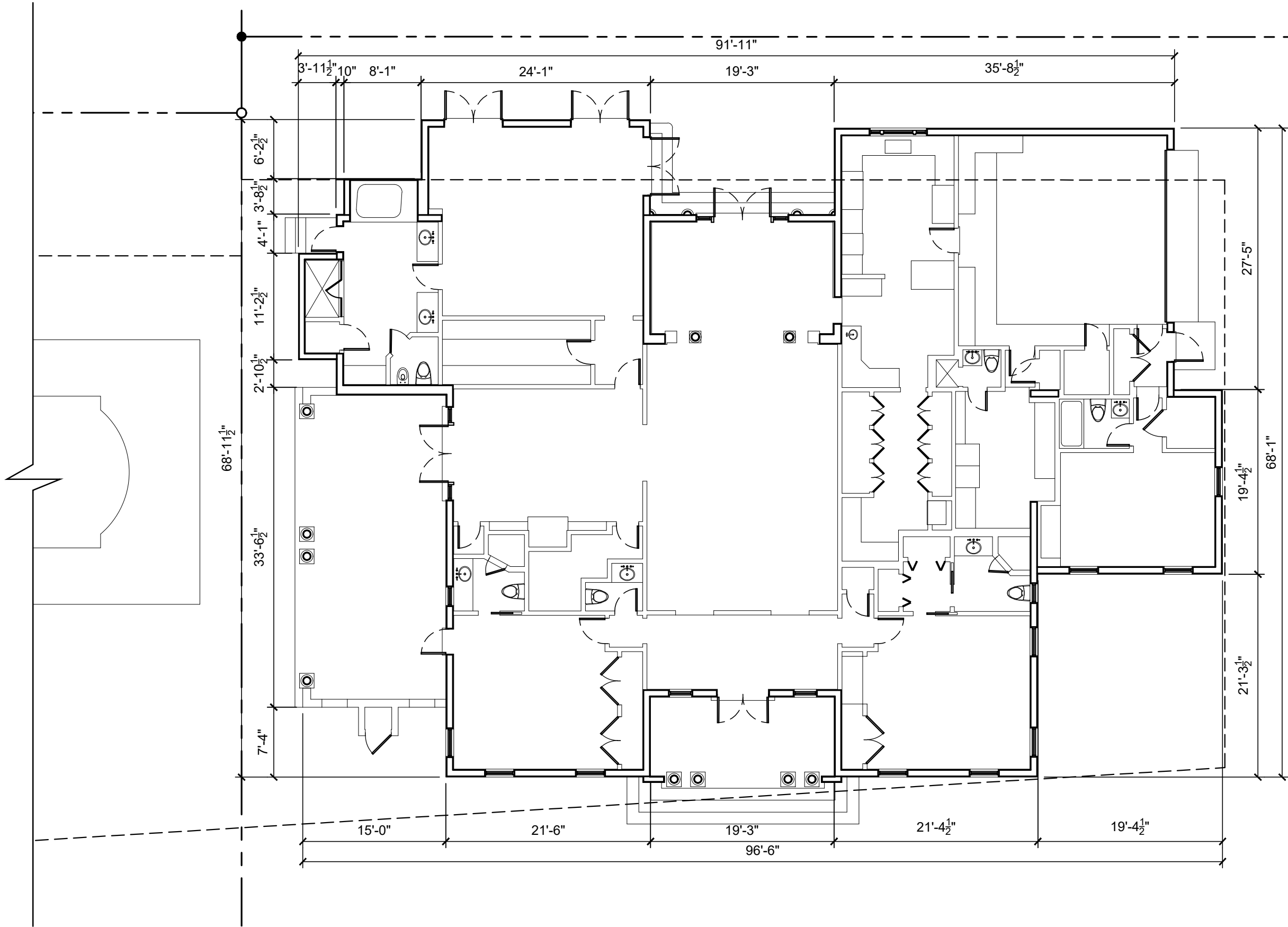
02 YARD SECTION DIAGRAM  
SCALE: 1" = 20'-0"



PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architecture - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 666-9333 Fax: (305) 666-9818 http://www.portuondoperotti.com	
OWNER HOLLY CARDINALE	
TITLE YARD SECTION DIAGRAM SCALE: 1/16" = 1'-0"	
SHEET: A-001..7 OF 7 © COPYRIGHT 2024	
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	

THE ABOVE DRAWING, TECHNIQUE, AND DISSEMINATION OF THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED TO OTHERS, OR DISSEMINATED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.





01

SCALE: 3/32" = 1'-0"

EXISTING FLOOR PLAN

SHEET A-001.9  
OF 10  
COPYRIGHT 2024

TITLE: EXISTING FLOOR PLAN  
SCALE: 3/32" = 1'-0"

OWNER:  
HOLLY CARDINALE

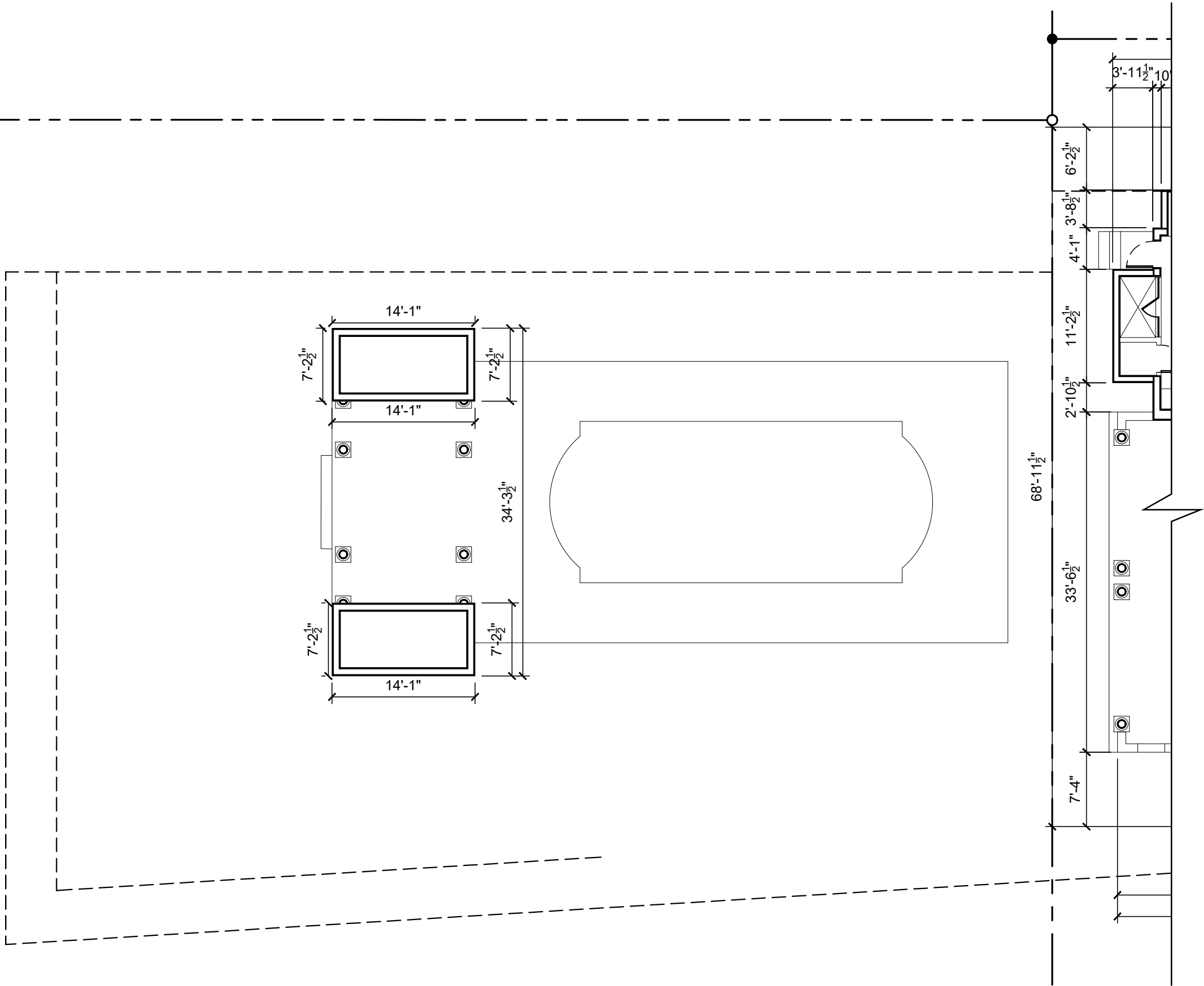
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 255-9333 Fax: (305) 255-9818  
http://www.portuondo.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.26.2024

THE ABOVE FLOOR PLAN, TECHNICAL DRAWING, AND DISCUSSION OF THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



01

SCALE: 3/32" = 1'-0"

EXISTING FLOOR PLAN

SHEET A-001.10  
OF 10  
COPYRIGHT 2024

TITLE  
EXISTING FLOOR PLAN  
SCALE 3/32" = 1'-0"

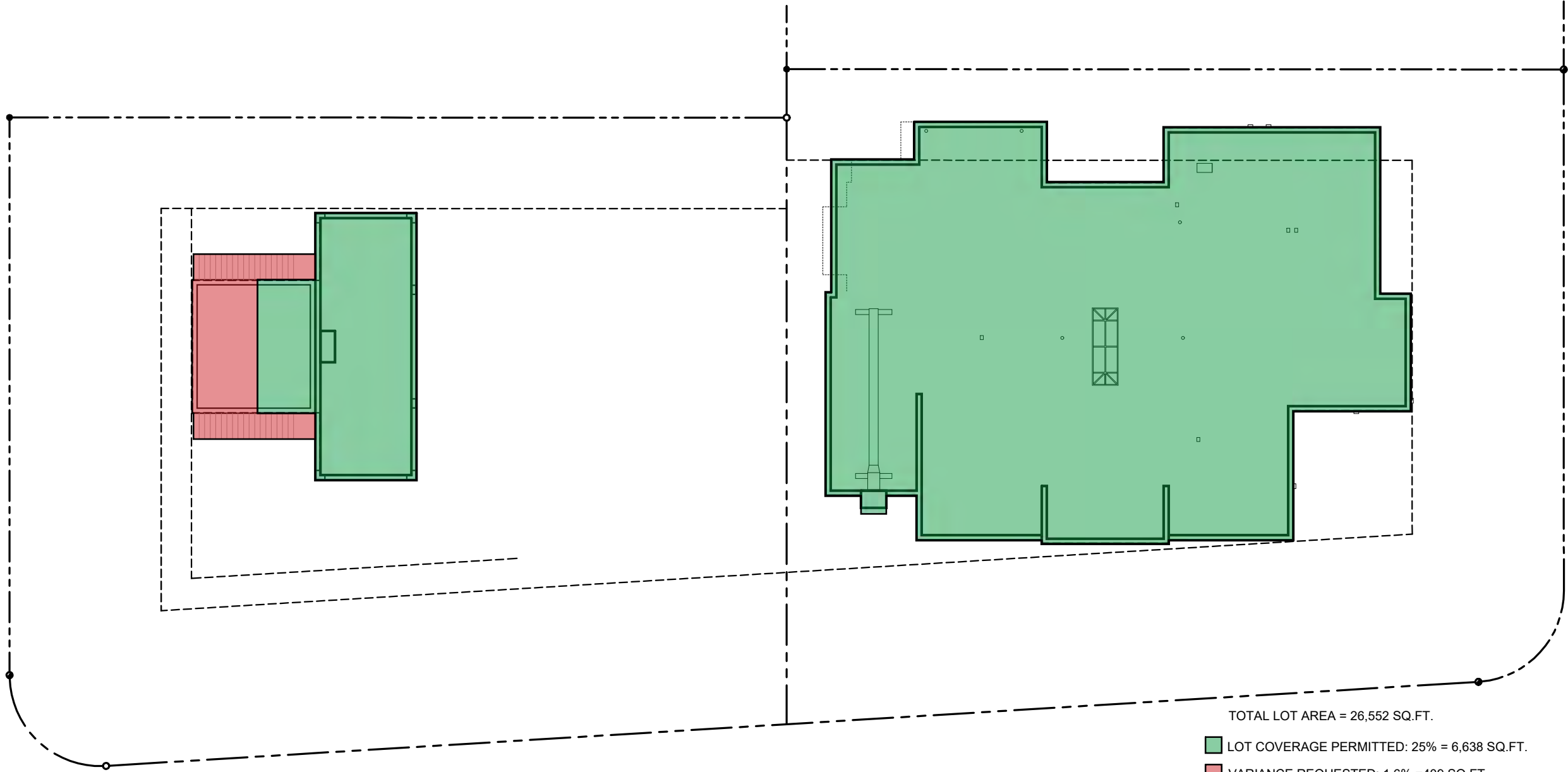
OWNER  
HOLLY CARDINALE

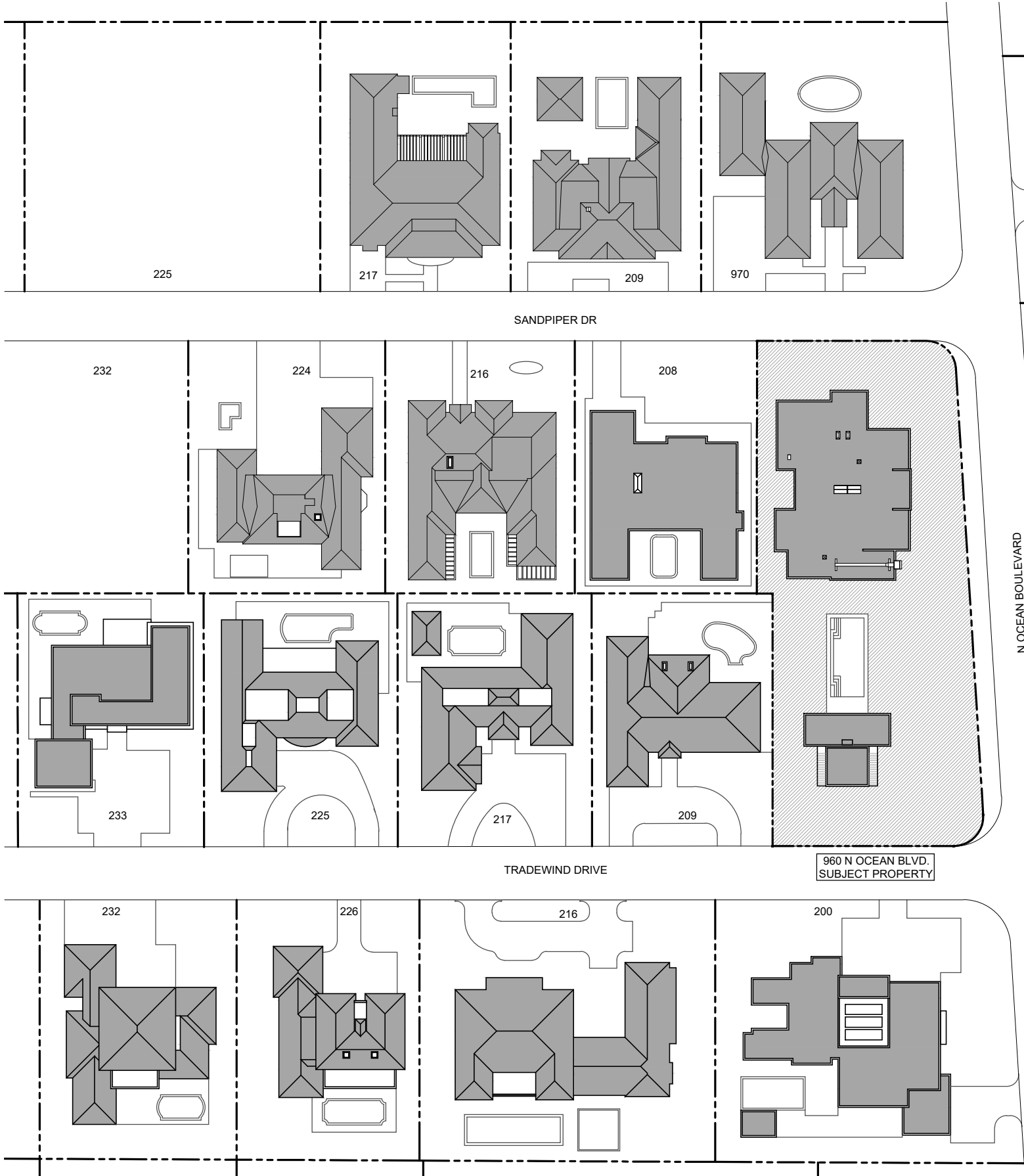
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-9333 Fax: (305) 442-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS  
02.28.2024





N OCEAN BOULEVARD



01

SCALE 1/64" = 1'-0"

LOCATION PLAN

SHEET  
A-002.0  
OF

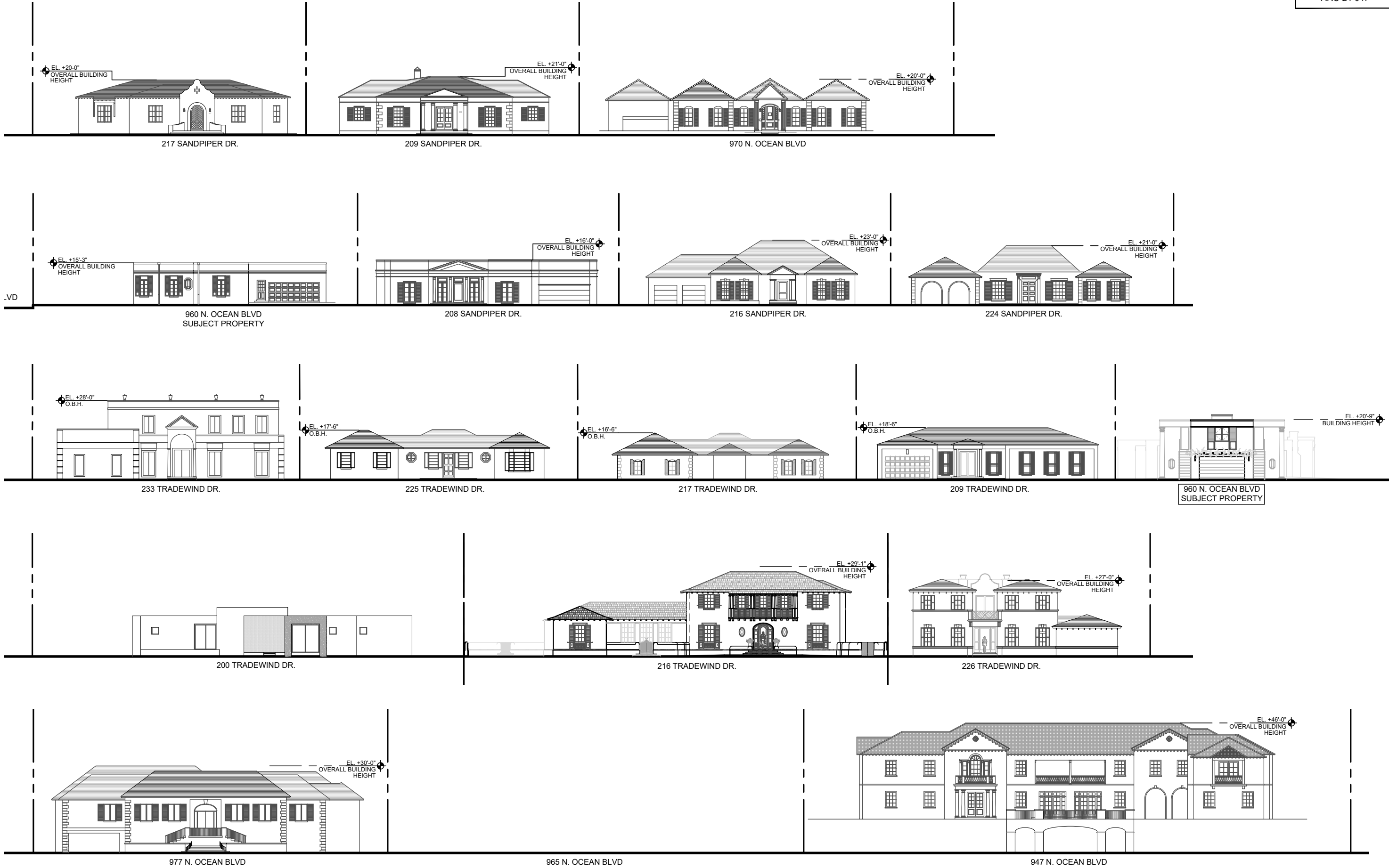
TITLE  
NEIGHBORHOOD  
VICINITY PLAN  
SCALE 1/64" = 1'-0"

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

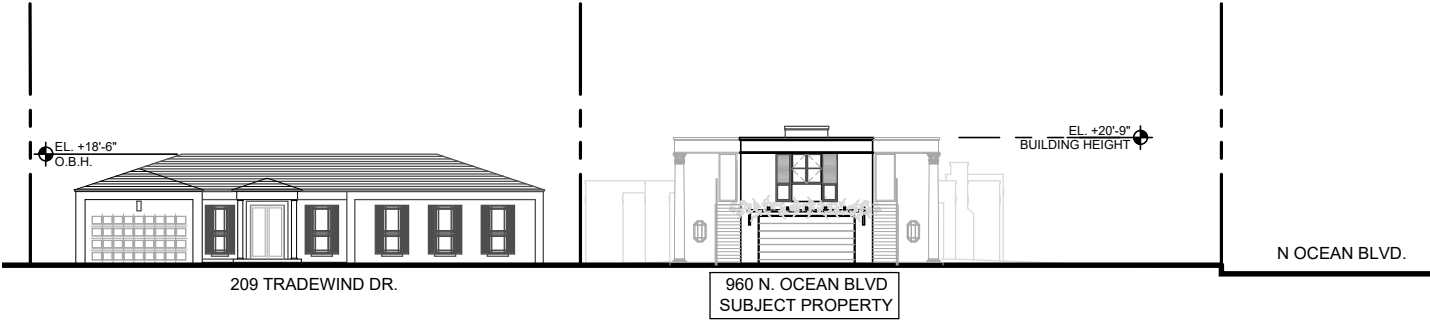
ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33154, USA  
Tel: (305) 442-9333 Fax: (305) 442-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP  
REVISIONS:  
02.28.2024



PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architecture - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 442-9333 Fax: (305) 442-9818 http://www.portuondoperotti.com	
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER HOLLY CARDINALE	
TITLE NEIGHBORHOOD VICINITY ELEVATIONS SCALE 1/32" = 1'-0"	
SHEET A-002.1 OF 02 © COPYRIGHT 2024	

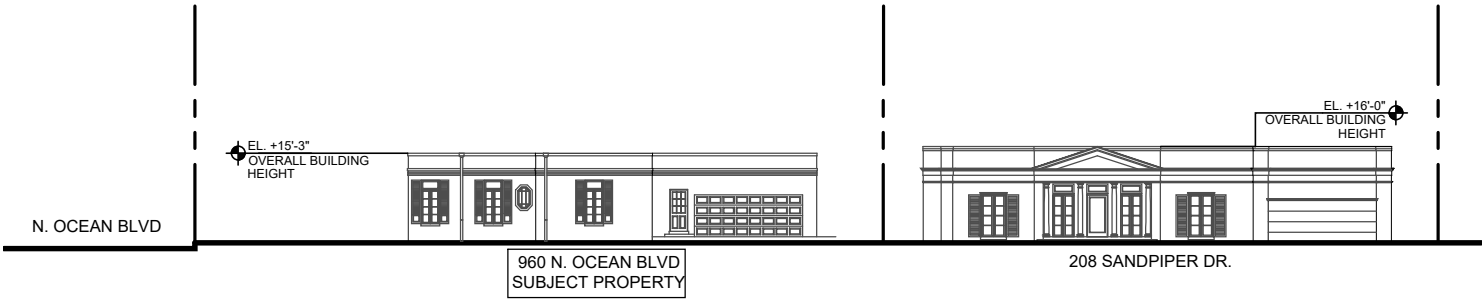
THE ABOVE DRAWING, TECHNIQUE AND ORIGINATING THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



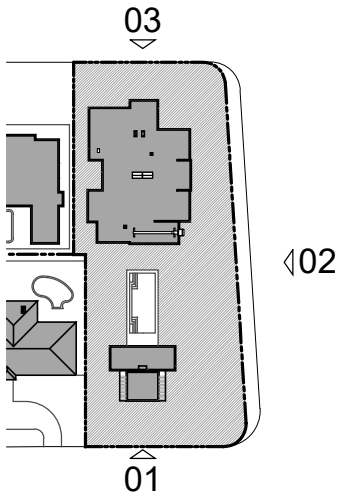
01 TRADEWIND DR STREETSCAPE ELEVATION  
SCALE 1/32" = 1'-0"



02 N OCEAN BLVD. STREETSCAPE ELEVATION  
SCALE 1/32" = 1'-0"



03 SANDPIPER DR. STREETSCAPE ELEVATION  
SCALE 1/32" = 1'-0"



PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.28.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architects - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 442-8331 Fax: (305) 442-5818 http://www.portuondoperotti.com			
OWNER HOLLY CARDINALE		960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
TITLE STREETSCAPE ELEVATIONS SCALE 1/32" = 1'-0"			
SHEET A-002.2 OF		COPYRIGHT 2023	

THE ABOVE DRAWING, TECHNIQUE AND DISCUSSIONS ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ADJACENT RESIDENCES

ARCOM CASE #  
ARC-24-047



217 SANDPIPER DR



209 SANDPIPER DR



970 N OCEAN BLVD



208 SANDPIPER DR



216 SANDPIPER DR



224 SANDPIPER DR



225 TRADEWIND DR



217 TRADEWIND DR



209 TRADEWIND DR

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 442-3333 Fax: (305) 442-3818  
http://www.portundoperotti.com

970 N OCEAN RESIDENCE  
970 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

OWNER  
HOLLY CARDINALE

TITLE  
NEIGHBORHOOD  
RESIDENCES PICTURES  
SCALE

SHEET A-002.3  
OF 3  
© COPYRIGHT 2024

THE ABOVE DRAWING, INCLUDING ALL INFORMATION, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

ADJACENT RESIDENCES

ARCOM CASE #  
ARC-24-047



200 TRADEWIND DR



216 TRADEWIND DR



226 TRADEWIND DR



977 N OCEAN BLVD



965 N OCEAN BLVD



947 N OCEAN BLVD

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.28.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 442-8333 Fax: (305) 442-8818 http://www.portuondo.com			
OWNER HOLLY CARDINALE		960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
TITLE NEIGHBORHOOD RESIDENCES PICTURES		SCALE	
SHEET A-002.4 OF		COPYRIGHT 2024	

THE ABOVE DRAWING, TECHNIQUE, AND DESIGN ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SUBJECT PROPERTY EXISTING PHOTOS

ARCOM CASE #  
ARC-24-047



VIEW 01



VIEW 02



VIEW 03



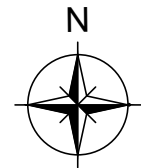
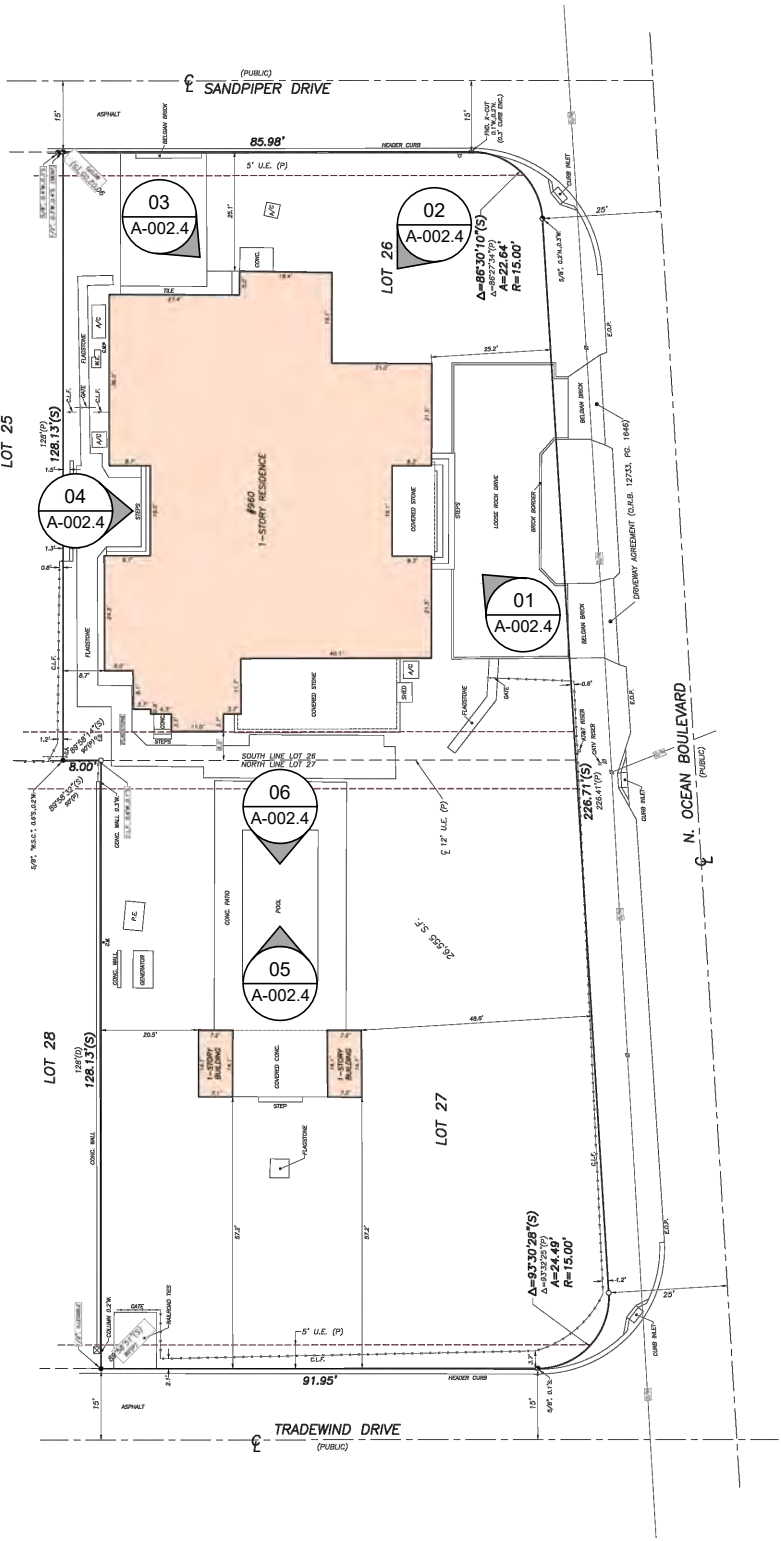
VIEW 04



VIEW 05



VIEW 06



01 SCALE: N.T.S.

SURVEY

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLG	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 442-8333 Fax: (305) 442-8818 http://www.portundoperotti.com	
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER HOLLY CARDINALE	
TITLE SUBJECT PROPERTY EXISTING PHOTOS SCALE	
SHEET A-002.5 OF 5 © COPYRIGHT 2024	



01

N.T.S.

VICINITY LOCATION MAP (1/4 MILE)

SHEET  
**A-002.6**  
OF

SCALE

TITLE VICINITY MAP

OWNER

**HOLLY CARDINALE**  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
**PORTUONDO PEROTTI ARCHITECTS INC.**  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 666-3333 Fax: (305) 666-3818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP  
REVISIONS:  
02.28.2024

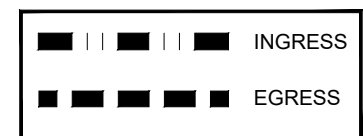


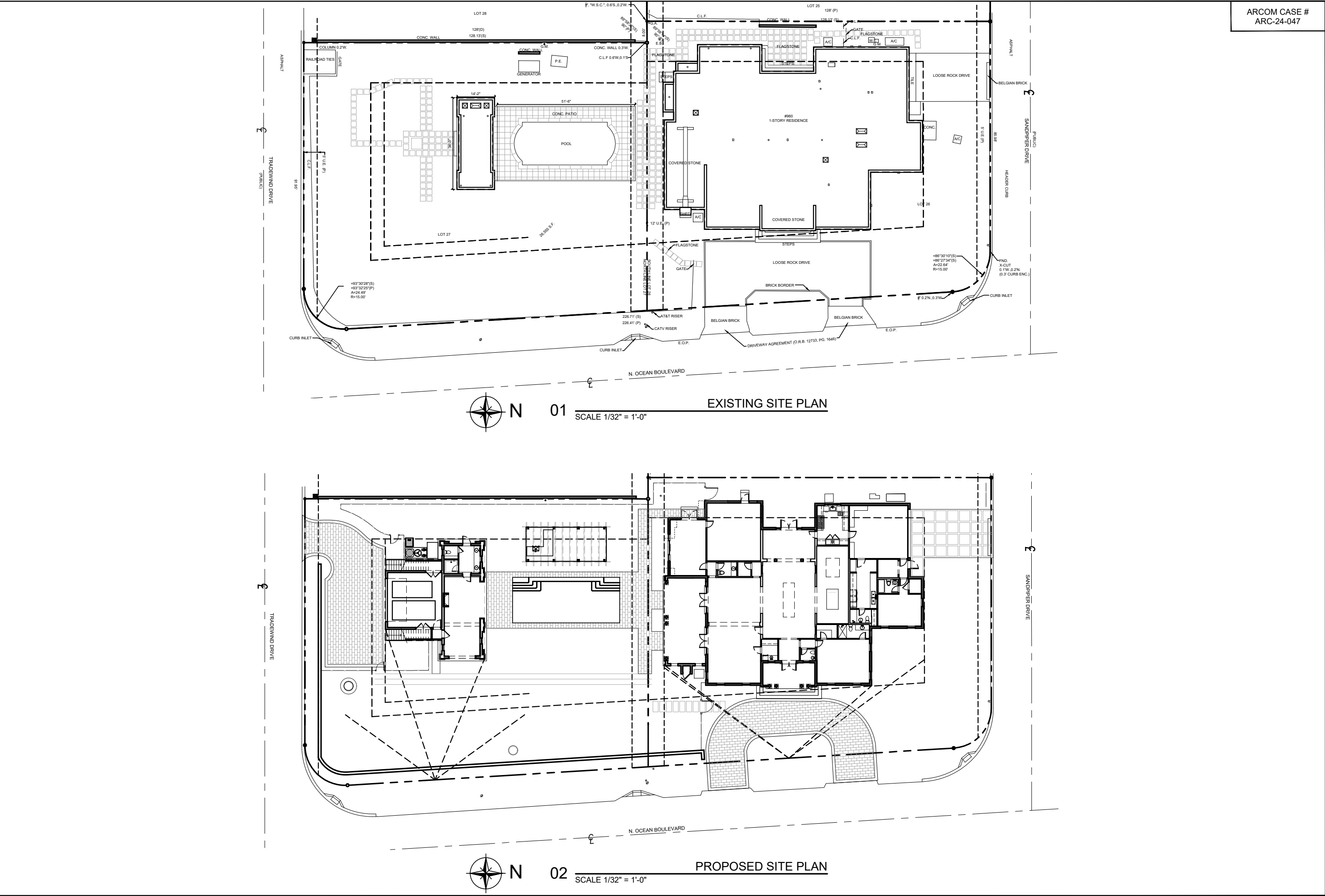
### ROUGH SCHEDULE OF CONSTRUCTION



- 01 N.T.S

## TRUCK LOGISTIC PLAN

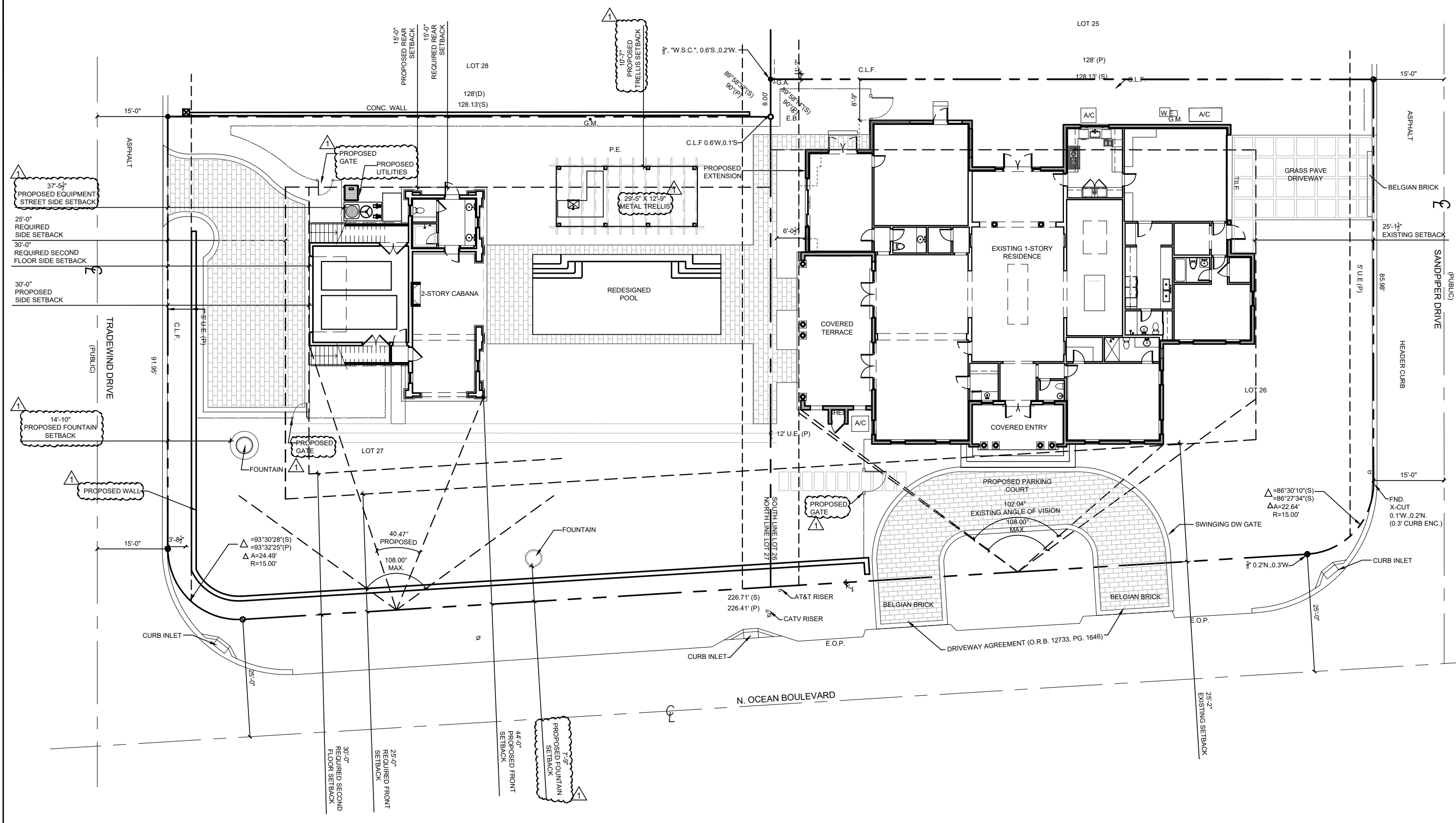




ARCOM CASE #  
ARC-24-047

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS: 02.26.2024
ARCHITECTS <b>PORTUONDO PEROTTI ARCHITECTS INC.</b> Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-9818 http://www.portundoperotti.com	
<b>960 N OCEAN RESIDENCE</b> 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER <b>HOLLY CARDINALE</b>	
TITLE: <b>PROPOSED SIDE PLAN</b> SCALE: <b>1/32" = 1'-0"</b>	
SHEET: <b>A-100</b> OF	© COPYRIGHT 2024

THE ABOVE DRAWING, TECHNICAL AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE, IN ANY MANNER, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



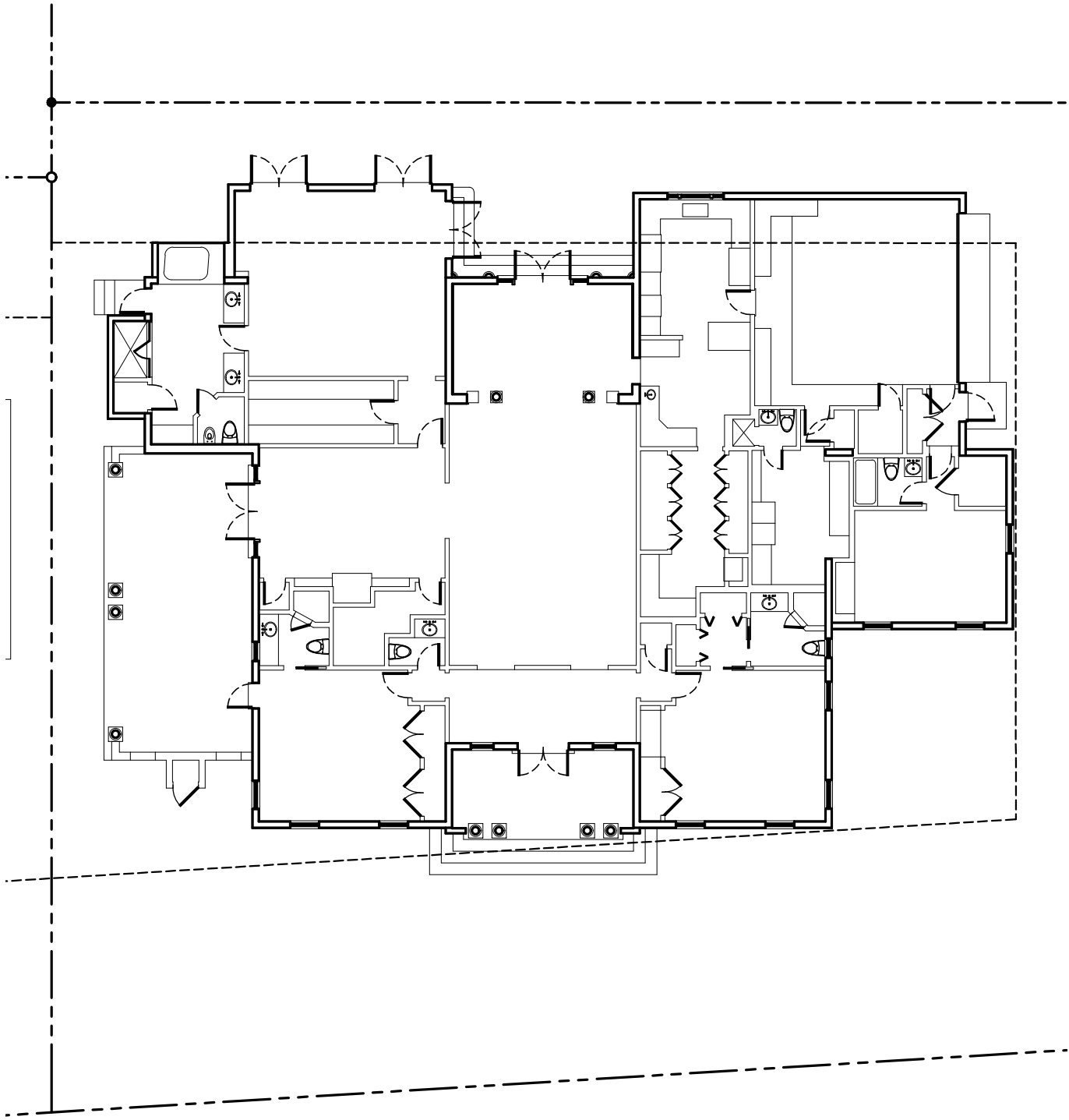
01

SCALE 1/32" = 1'-0"

PROPOSED SITE PLAN

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: J.LGP	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural Planning Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 380-9333 Fax: (305) 380-9818 http://www.portundoperotti.com	
OWNER 960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER HOLLY CARDINALE	
TITLE PROPOSED SIDE PLAN SCALE 1/32" = 1'-0"	
SHEET A-100 OF COPYRIGHT 2024	

THE ABOVE DRAWING, TECHNICAL, AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

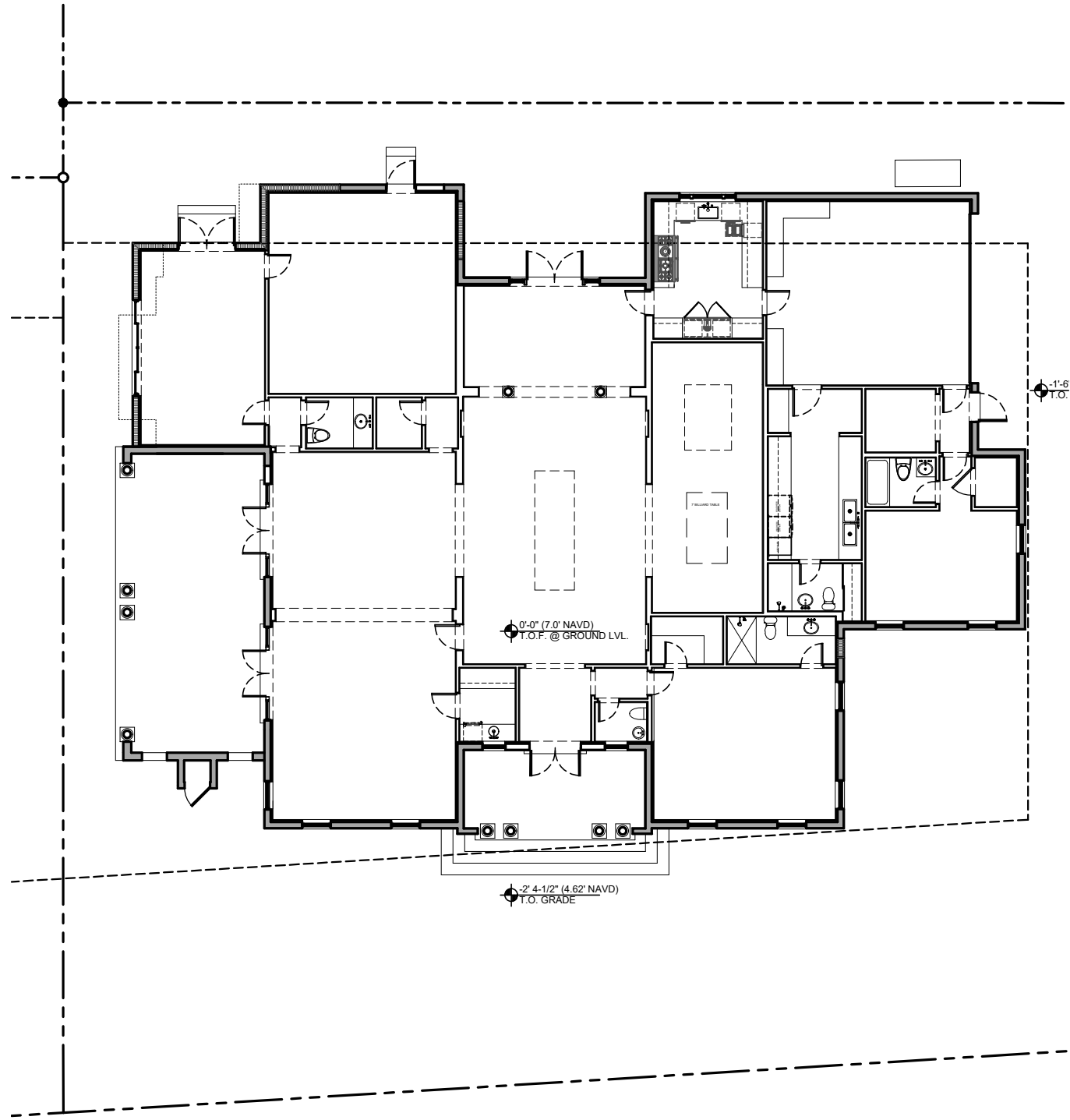


N

01

EXISTING MAIN FLOOR PLAN

SCALE: 1/16" = 1'-0"



N

02

PROPOSED MAIN FLOOR PLAN

SCALE: 1/16" = 1'-0"

SHEET  
A-101

OF

TITLE: EXISTING/PROPOSED MAIN FLOOR PLAN

SCALE: 1/16" = 1'-0"

OWNER:

HOLLY CARDINALE

960 N OCEAN RESIDENCE

960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS

PORTUONDO PEROTTI ARCHITECTS INC.

Architectural Planning Interior Design

5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 380-9333 Fax: (305) 380-9818  
http://www.portundoperotti.com

REVISIONS:

02.26.2024

PROJECT NUMBER: 2023-14

DATE: 02.08.2024

DRAWN BY: CB / KC / MP

CHECKED BY: JLGP

THIS DRAWING, IN WHOLE OR IN PART, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.





01

EXISTING MAIN FLOOR PLAN CABANA  
SCALE: 1/16" = 1'-0"



01

PROPOSED MAIN FLOOR PLAN CABANA  
SCALE: 1/16" = 1'-0"

SHEET  
A-101.2  
OF

TITLE  
EXISTING/PROPOSED MAIN FLOOR PLAN

SCALE: 1/16" = 1'-0"

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE

960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.

Architectural - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-5818  
http://www.portundoperoiti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024

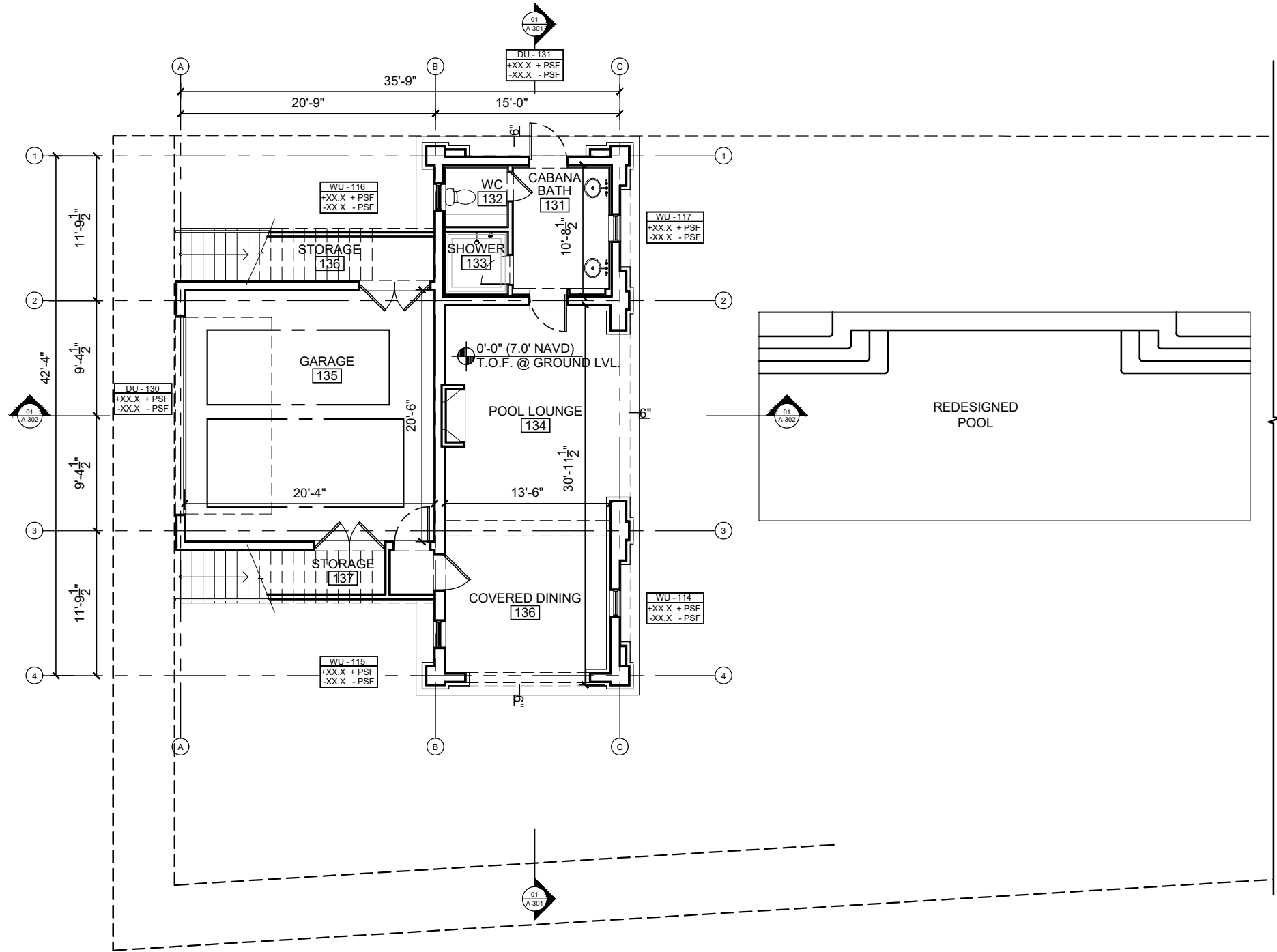
DRAWN BY: CB / KC / MP

CHECKED BY: JLGP

REVISIONS:

02.28.2024

THE ABOVE DRAWING, INCLUDING ALL NOTATIONS, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



01

PROPOSED MAIN FLOOR PLAN CABANA

SCALE: 3/32" = 1'-0"

SHEET  
A-101.3

OF

TITLE  
PROPOSED MAIN FLOOR PLAN

SCALE  
3/32" = 1'-0"

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.26.2024

01

02

03

04

05

06

07

08

09

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

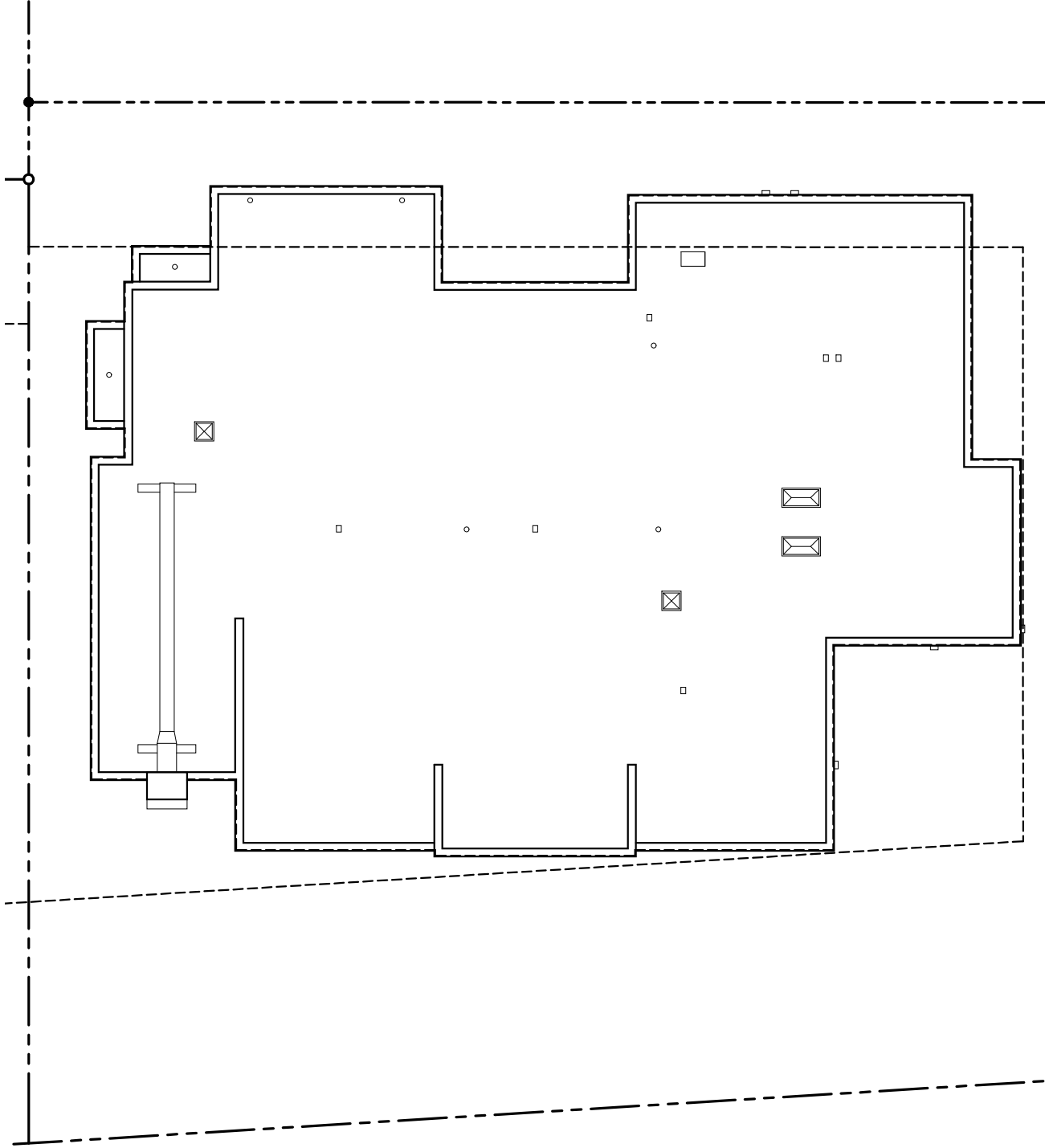
316

317

318



01 PROPOSED UPPER FLOOR PLAN (CABANA)  
SCALE: 3/32" = 1"

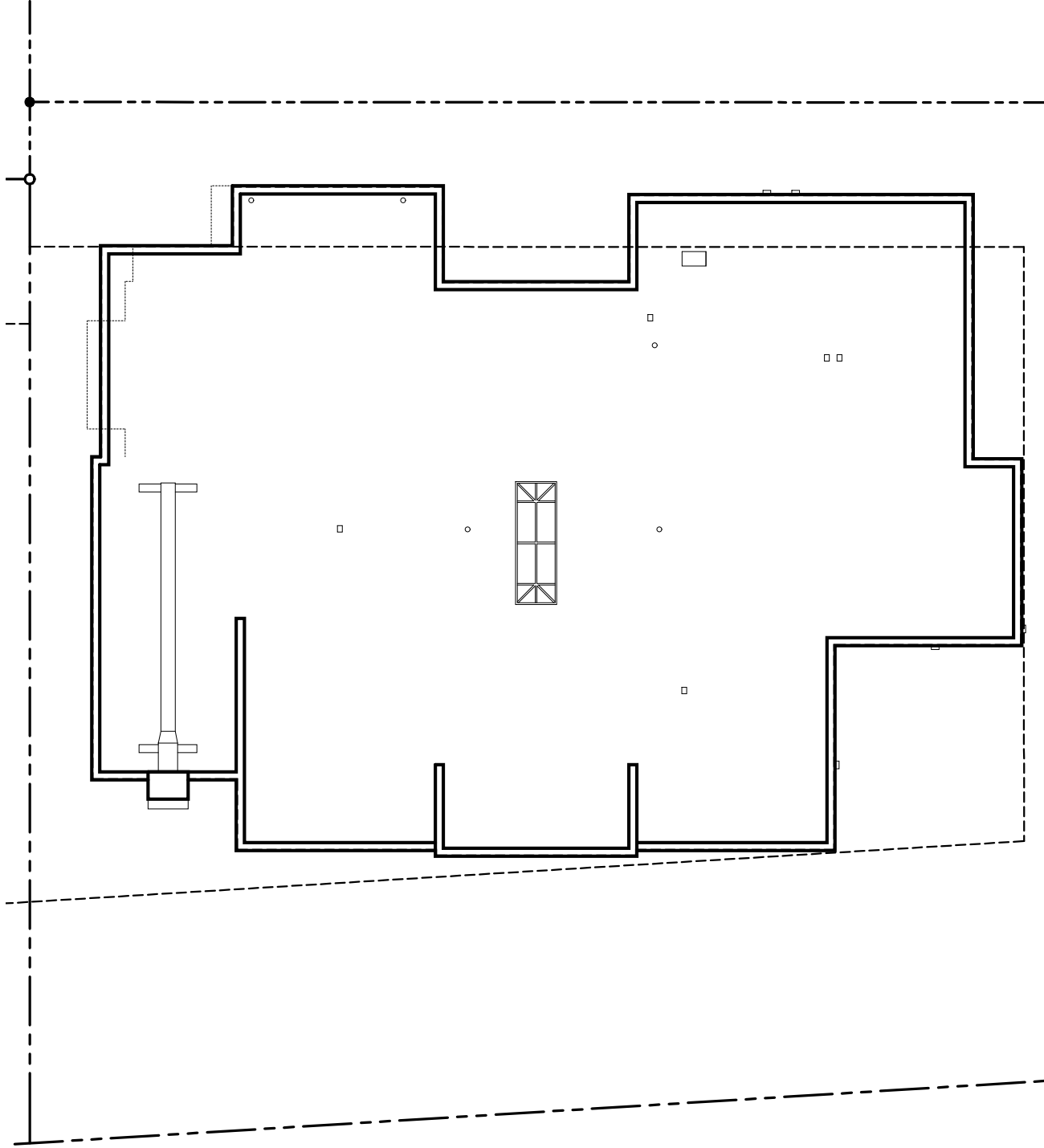


N

01

SCALE: 1/16" = 1'-0"

EXISTING ROOF PLAN



N

02

SCALE: 1/16" = 1'-0"

PROPOSED ROOF PLAN

SHEET  
A-103  
OF

TITLE  
EXISTING/PROPOSED ROOF PLAN

SCALE  
1/16" = 1'-0"

OWNER  
HOLLY CARDINALE

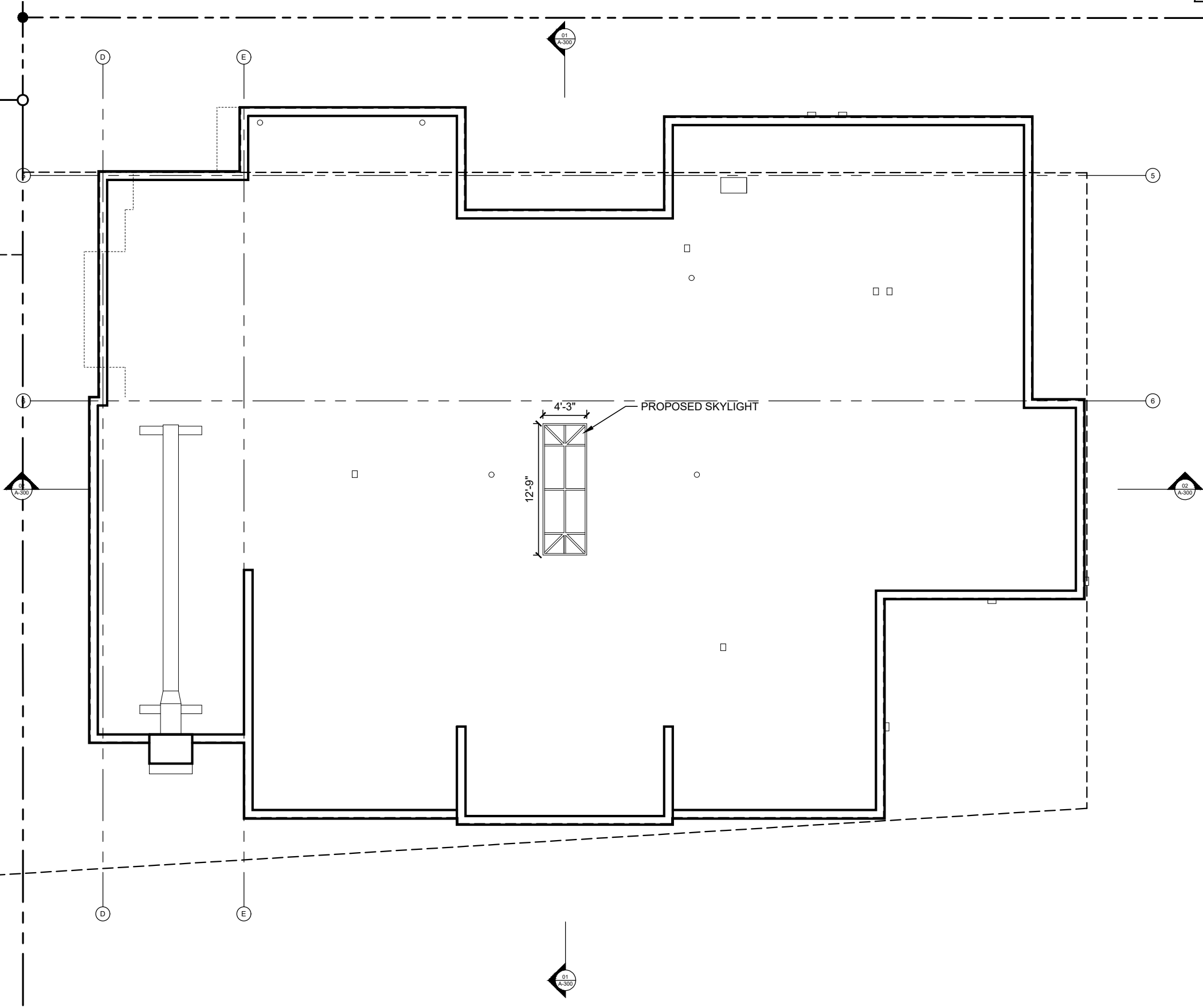
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural Planning Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portundoperoitti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

THE ABOVE DRAWING, TECHNIQUE AND DISCUSSION ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



N

01

SCALE: 3/32" = 1'-0"

PROPOSED ROOF PLAN

SHEET A-103.1

OF

© COPYRIGHT 2024

TITLE: PROPOSED ROOF PLAN

SCALE: 3/32" = 1'-0"

OWNER:  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

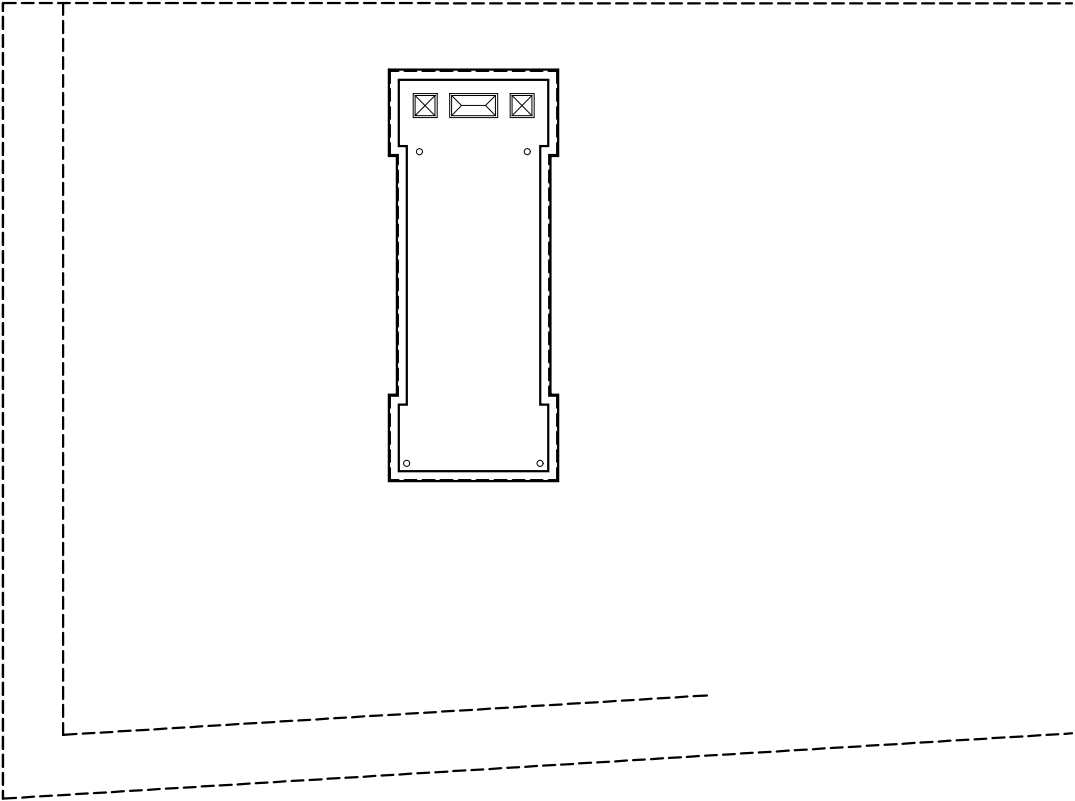
ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 290-9333 Fax: (305) 290-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:

02.28.2024

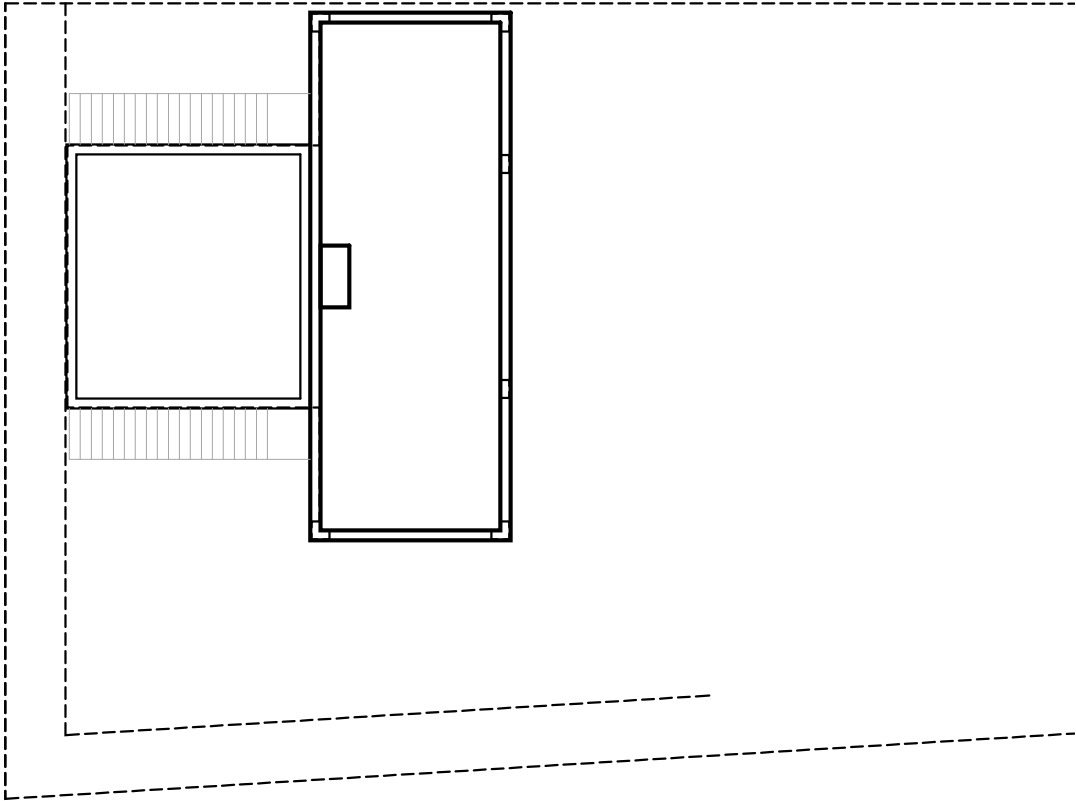
THE ABOVE DRAWING, TECHNICAL, AND/OR DESIGN IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



01

EXISTING ROOF PLAN CABANA

SCALE: 1/16" = 1'-0"



02

PROPOSED ROOF PLAN CABANA

SCALE: 1/16" = 1'-0"

SHEET  
A-103.2  
OF

TITLE  
EXISTING/PROPOSED ROOF PLAN

SCALE: 1/16" = 1'-0"

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE

960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

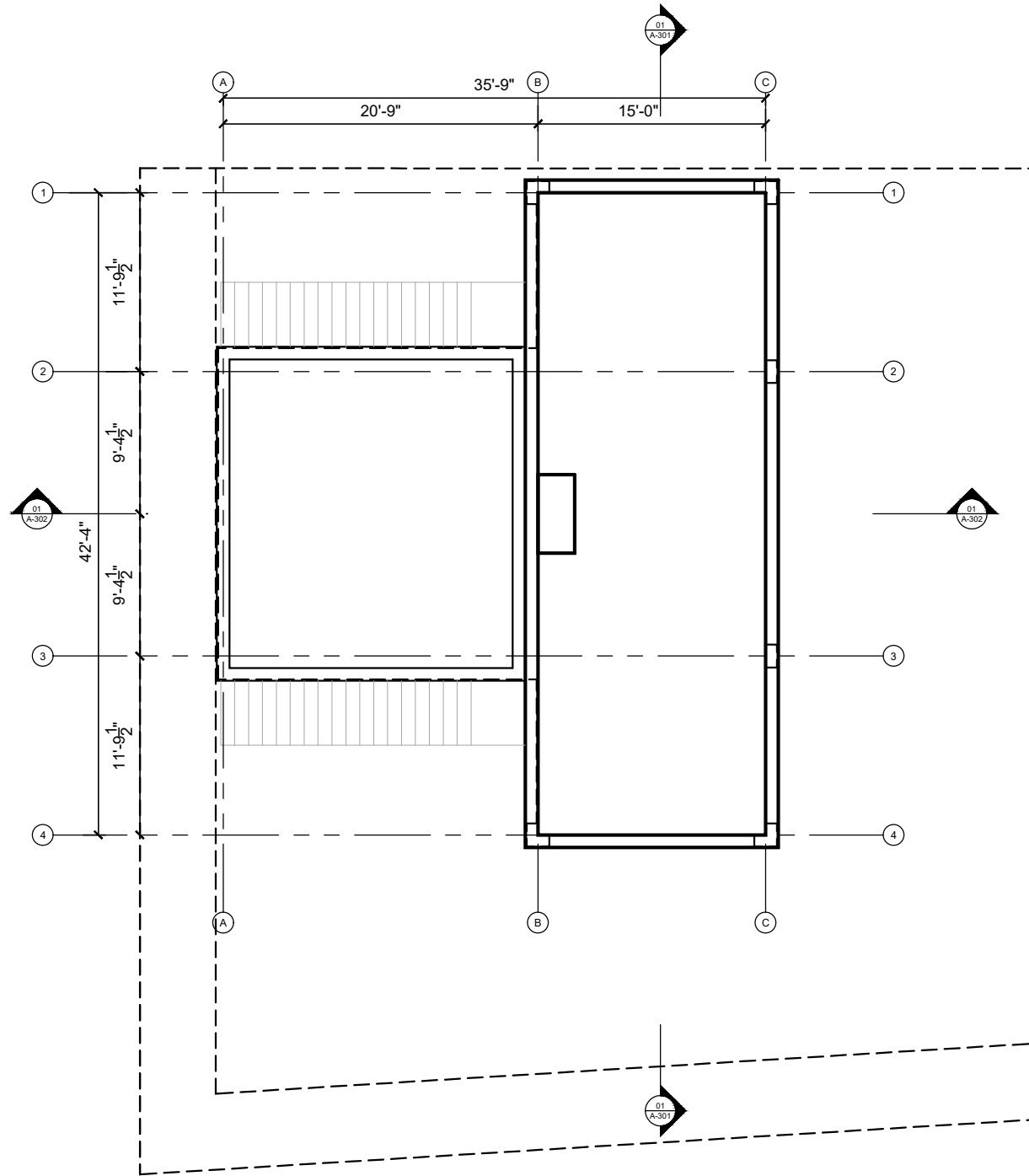
ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.

Architectural - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

ARCOM CASE #  
ARC-24-047



01

PROPOSED ROOF PLAN CABANA  
SCALE: 3/32" = 1'-0"

SHEET  
A-103.3  
OF

TITLE  
PROPOSED ROOF PLAN

SCALE  
3/32" = 1'-0"

OWNER  
HOLLY CARDINALE

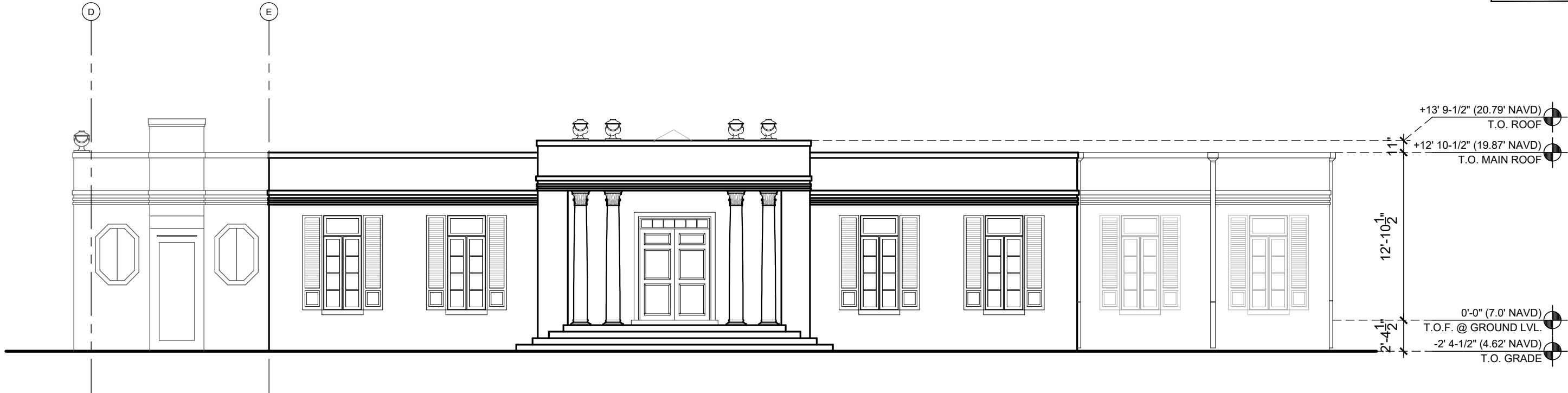
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural Planning Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

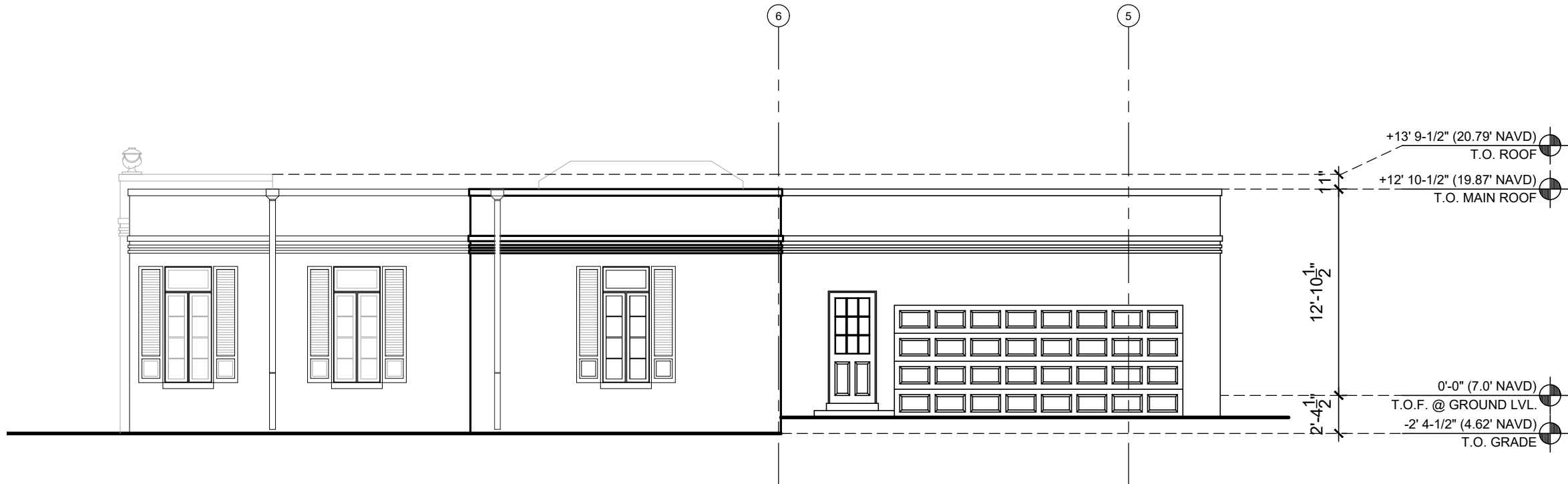
PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

THE ABOVE DRAWING, TECHNIQUE, AND DISCUSSION ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT



01 EXISTING ELEVATION (EAST)  
SCALE 1/8" = 1'-0"



02 EXISTING ELEVATION (NORTH)  
SCALE 1/8" = 1'-0"

REVISIONS	
PROJECT NUMBER: 2023-14	DATE: 02.08.2024
DRAWN BY: CB / KC / MP	CHECKED BY: JLGP
ARCHITECTS	
PORTUONDO PEROTTI ARCHITECTS INC.	
Architectural - Planning - Interior Design	
5717 S.W. 8th Street, Miami, Florida 33144, USA	
Tel: (305) 290-9333 Fax: (305) 290-9818	
http://www.portuondoperotti.com	
960 N OCEAN RESIDENCE	
960 N OCEAN BLVD	
PALM BEACH, FLORIDA 33480	
OWNER	
HOLLY CARDINALE	
TITLE	
EXISTING ELEVATIONS	
SCALE 1/8" = 1'-0"	
SHEET A-200	
OF 02	
COPYRIGHT 2024	

THESE DRAWINGS, TECHNIQUES AND CONCEPTS ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



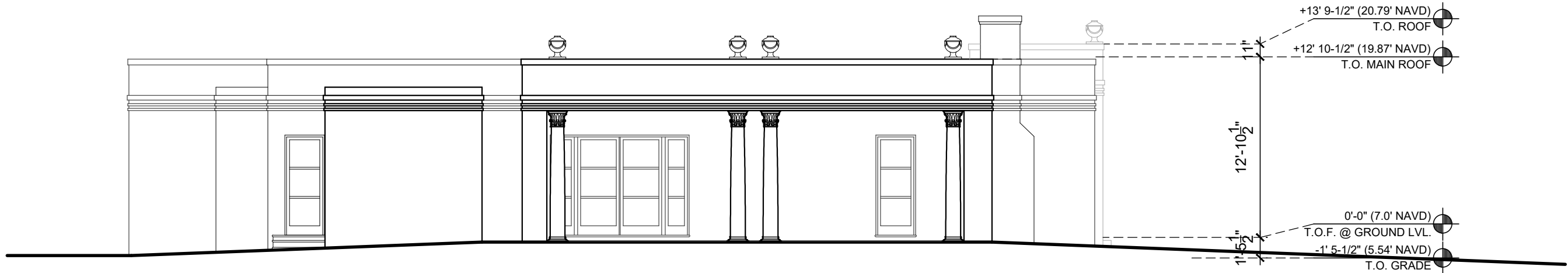
01 EXISTING ELEVATION (WEST)  
SCALE 1/8" = 1'-0"



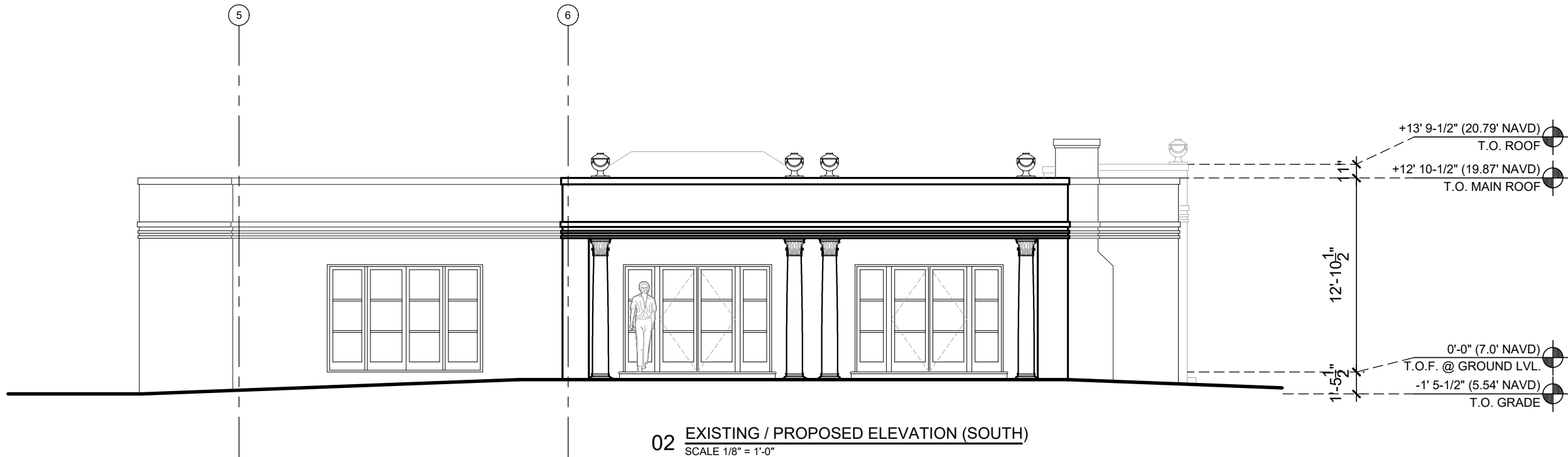
02 EXISTING / PROPOSED ELEVATION (WEST)  
SCALE 1/8" = 1'-0"

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLG	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 290-9333 Fax: (305) 290-5818 http://www.portuondoperotti.com	
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER HOLLY CARDINALE	
TITLE EXISTING/PROPOSED ELEVATIONS SCALE 1/8" = 1'-0"	
SHEET A-201 OF 2 COPYRIGHT 2024	

THE ABOVE DRAWING, TECHNIQUE, AND CONSTRUCTION ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



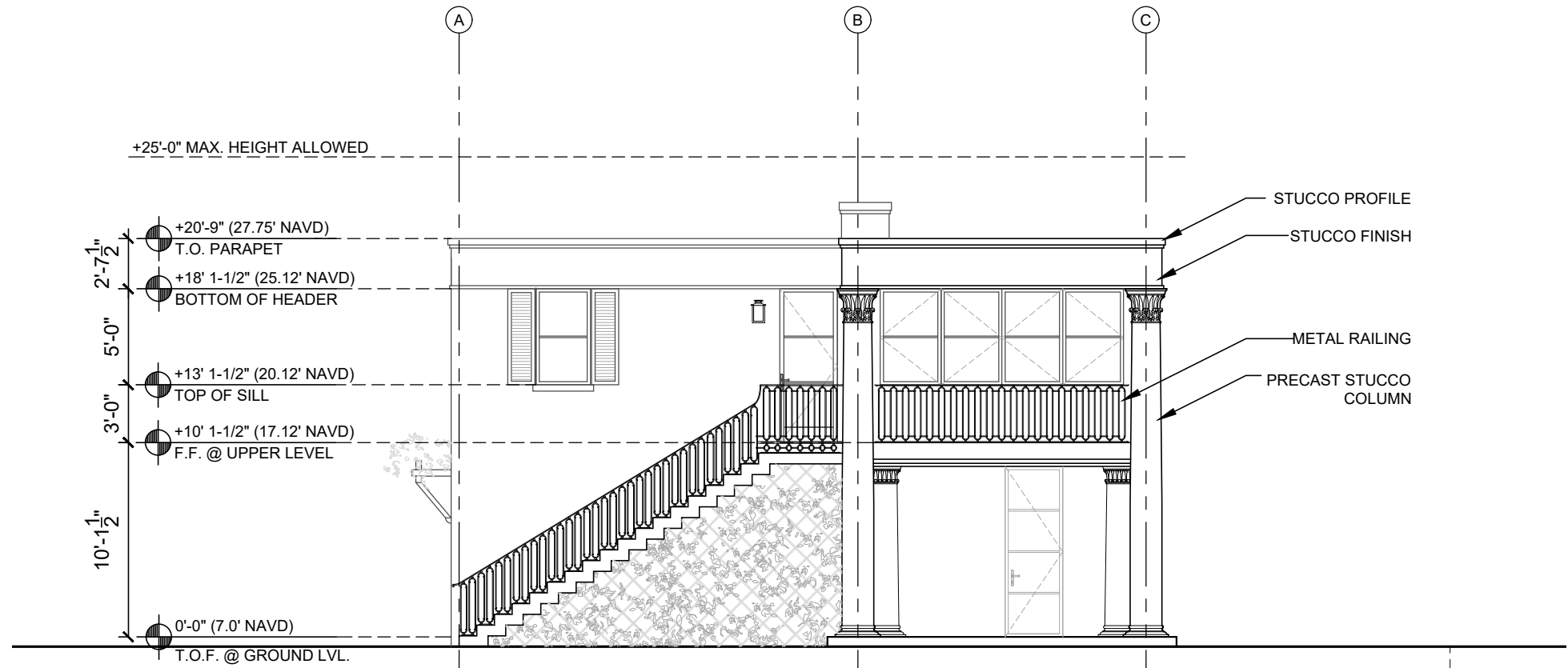
01 EXISTING ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"



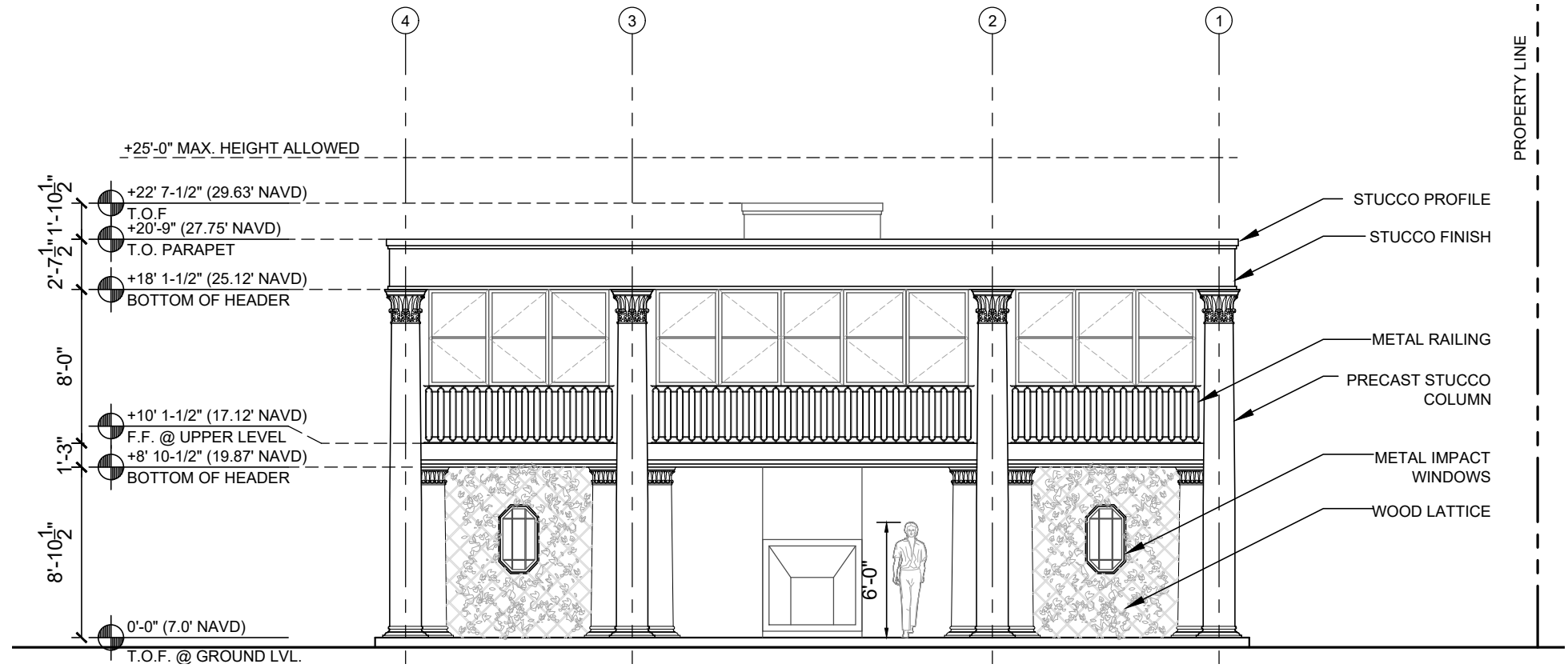
02 EXISTING / PROPOSED ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.28.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural, Planning, Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-9818 http://www.portuondoperotti.com			
OWNER HOLLY CARDINALE			
TITLE EXISTING ELEVATIONS SCALE 1/8" = 1'-0"			
SHEET A-202 OF COPYRIGHT 2024			

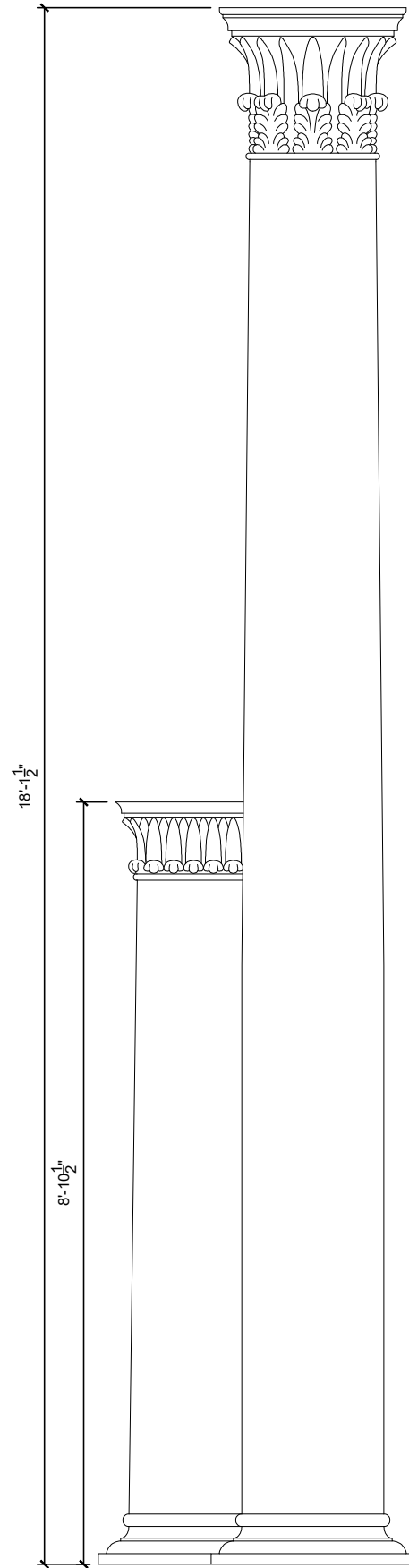
THESE DRAWINGS, TECHNIQUES, AND CONCEPTS ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



01 PROPOSED ELEVATION (EAST)  
SCALE 1/8" = 1'-0"

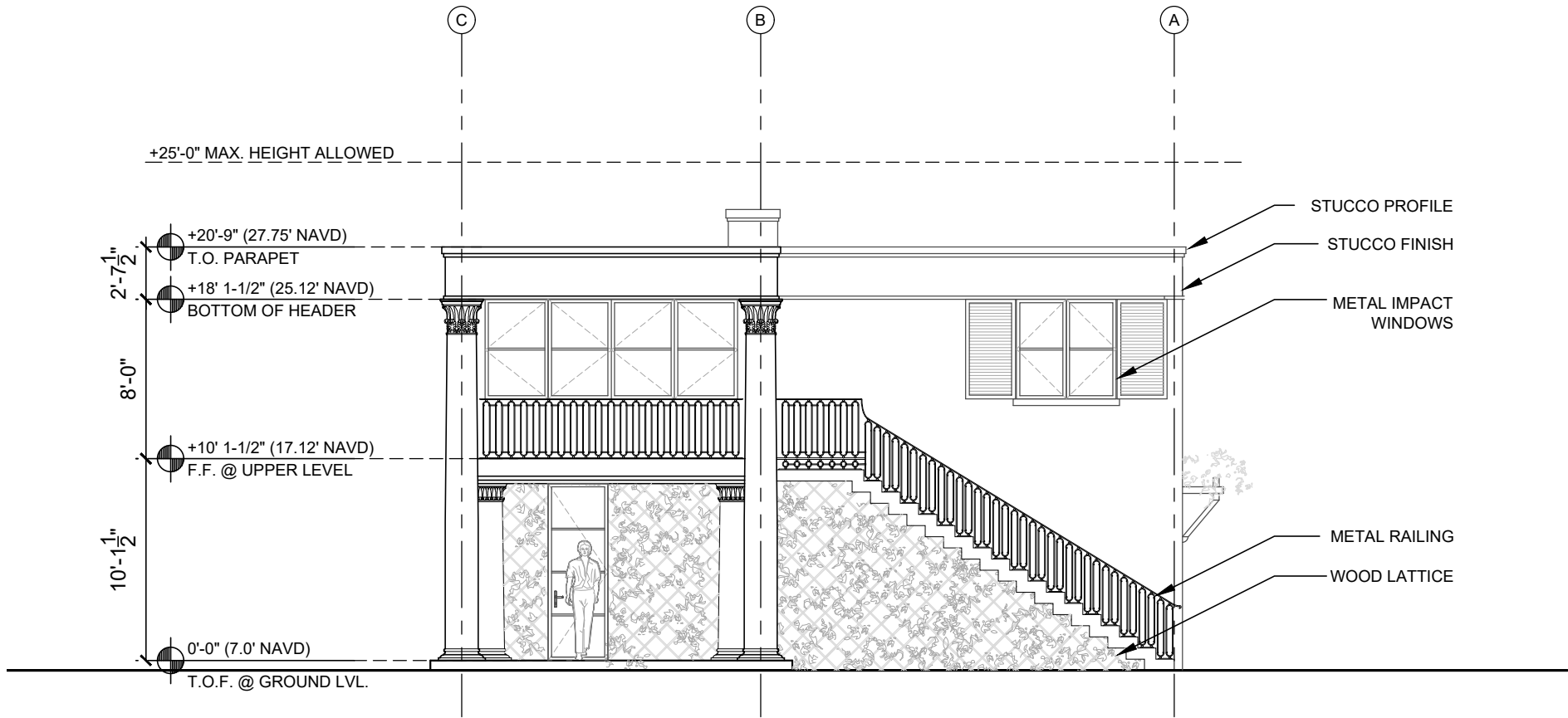


02 PROPOSED ELEVATION (NORTH)  
SCALE 1/8" = 1'-0"

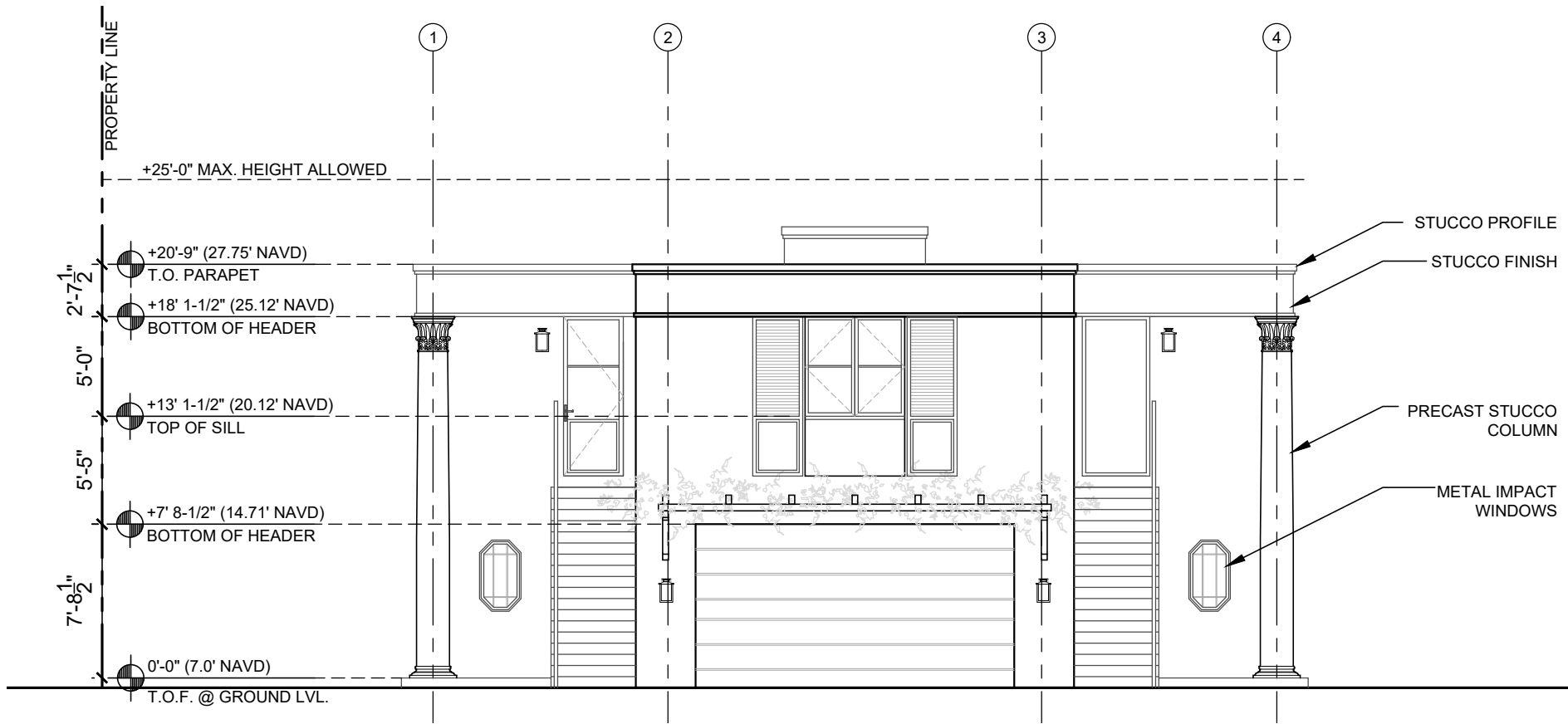


03 ENLARGED COLUMNS ELEVATION  
SCALE 1/2" = 1'-0"

ARCOM CASE # ARC-24-047	
PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-8933 Fax: (305) 280-0818 http://www.portuondoperotti.com	
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	
OWNER HOLLY CARDINALE	
TITLE PROPOSED ELEVATIONS SCALE 1/8" = 1'-0"	
SHEET A-203 OF COPYRIGHT 2024	



01 PROPOSED ELEVATION (WEST)  
SCALE 1/8" = 1'-0"



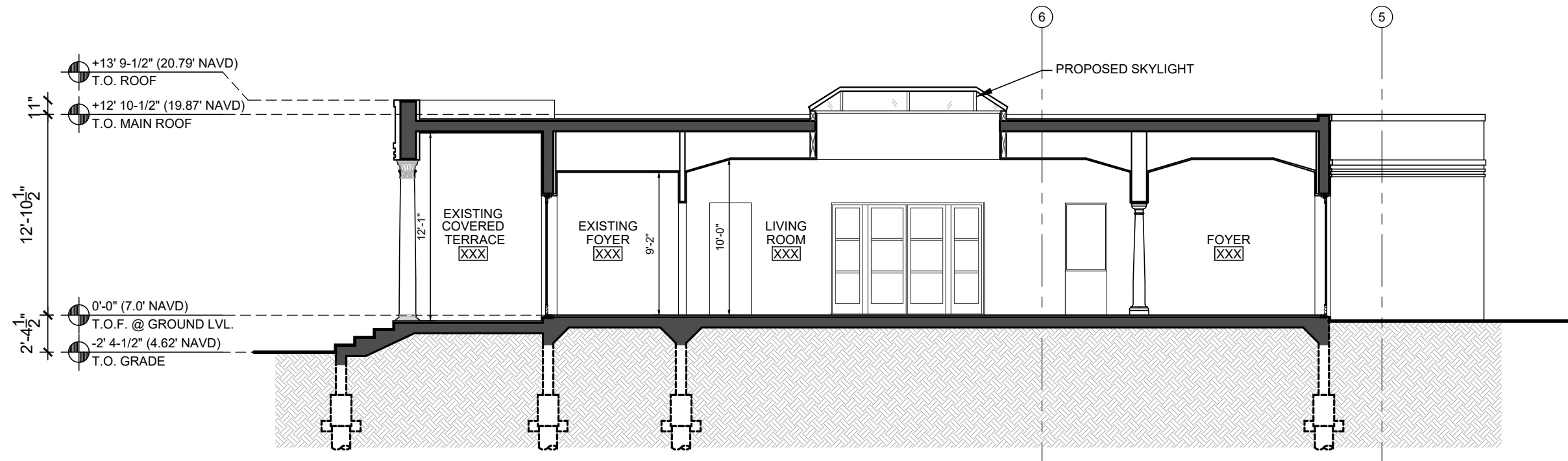
02 PROPOSED ELEVATION (SOUTH)  
SCALE 1/8" = 1'-0"

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural Planning Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-9818 http://www.portuondoperotti.com	
OWNER HOLLY CARDINALE	
TITLE PROPOSED ELEVATIONS SCALE 1/8" = 1'-0"	
SHEET A-204 OF 2	

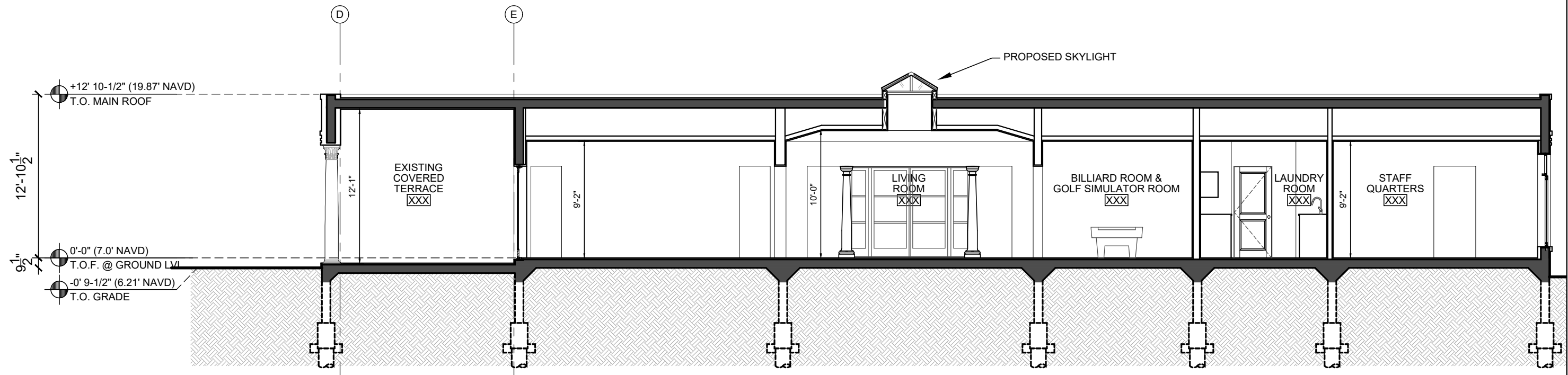
THE ABOVE DRAWING, TECHNICAL AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



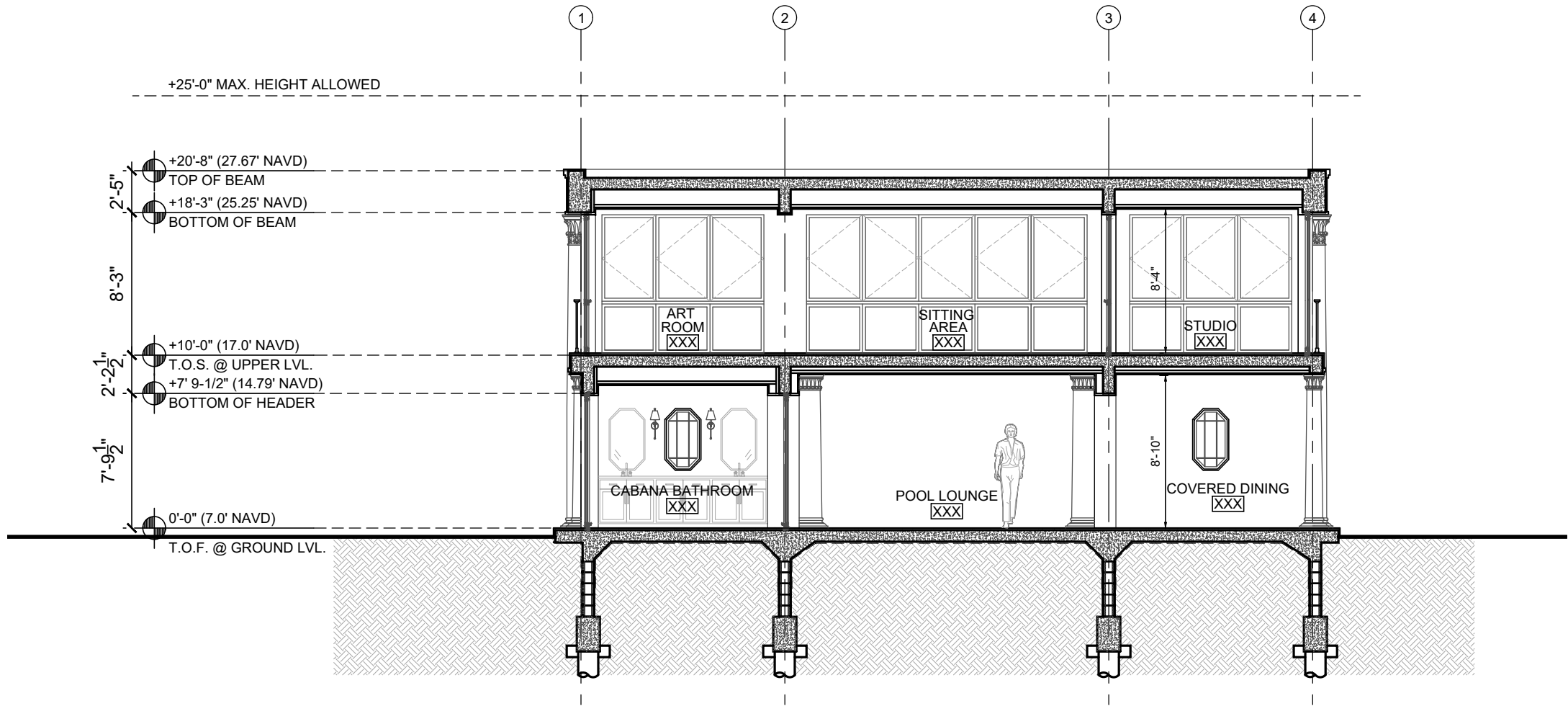




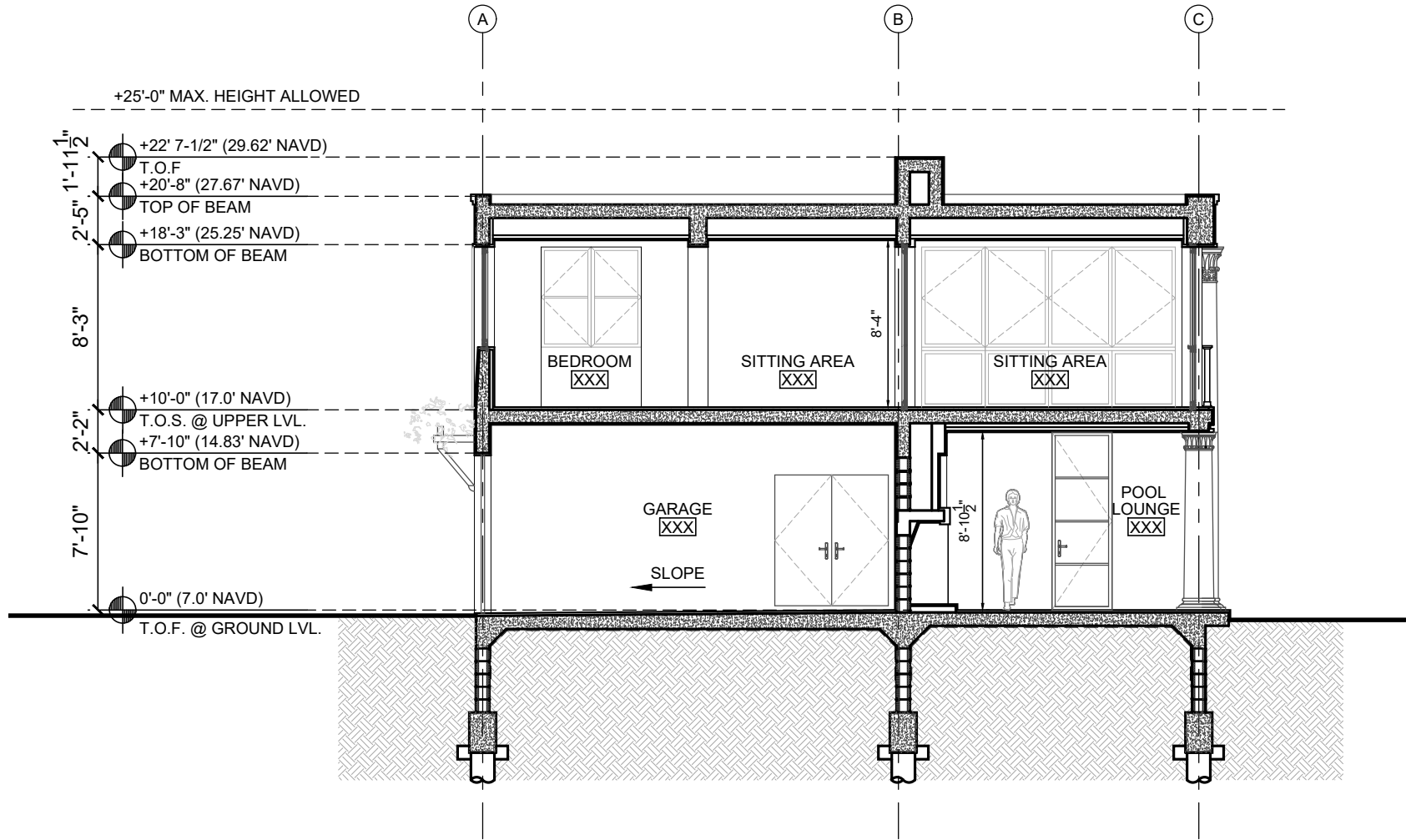
01 EXISTING / PROPOSED SECTION AA  
SCALE 1/8" = 1'-0"



02 EXISTING / PROPOSED SECTION BB  
SCALE 1/8" = 1'-0"



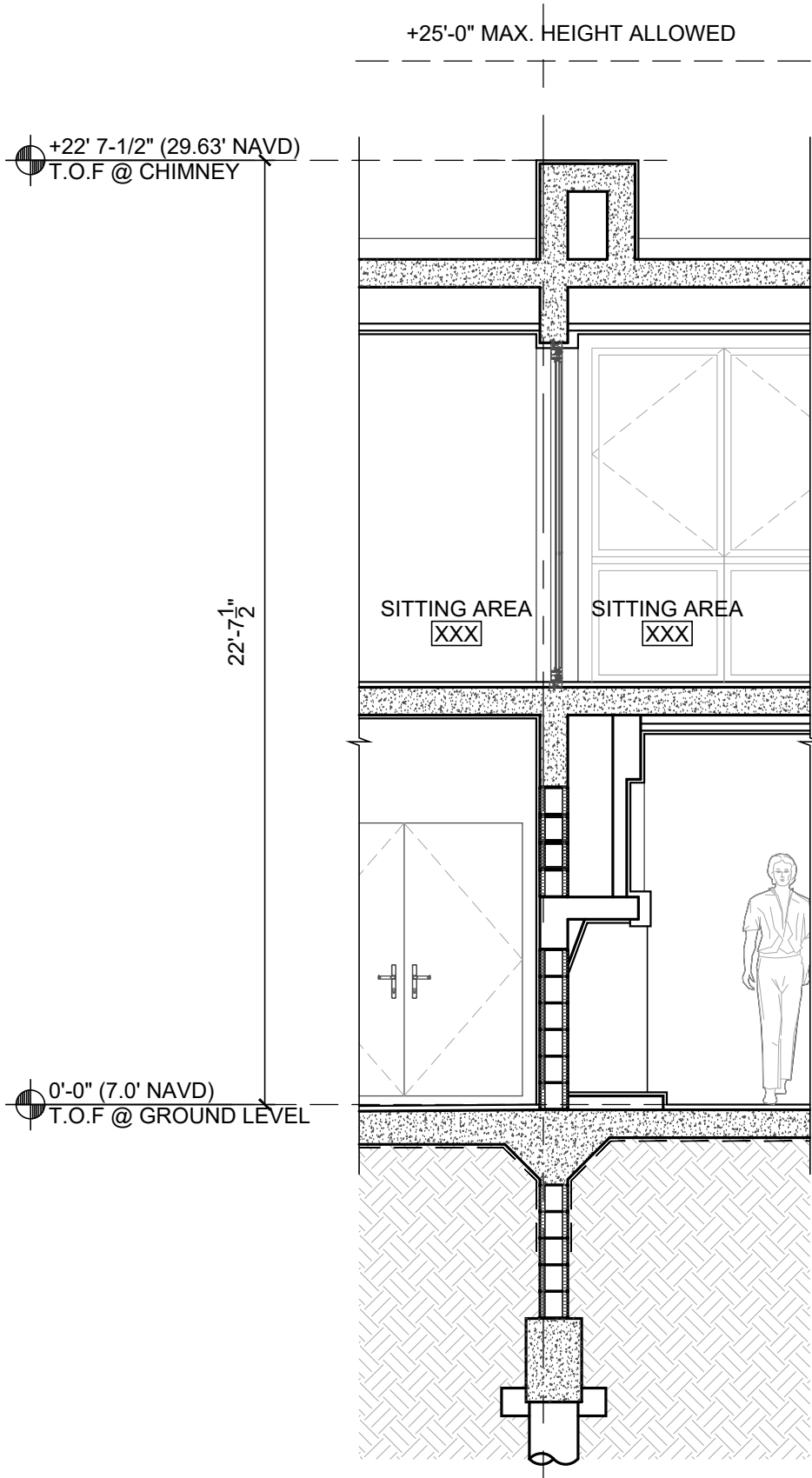
01 PROPOSED SECTION CC  
SCALE 1/8" = 1'-0"



01 PROPOSED SECTION DD  
SCALE 1/8" = 1'-0"

SHEET <b>A-302</b> OF		TITLE PROPOSED SECTIONS SCALE 1/8" = 1'-0"		OWNER <b>HOLLY CARDINALE</b>		960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480		ARCHITECTS <b>PORTUONDO PEROTTI ARCHITECTS INC.</b> Architectural Planning Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-5818 http://www.portundoperotti.com		PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS 02.28.2024	
-----------------------------	--	-----------------------------------------------------	--	---------------------------------	--	------------------------------------------------------------------------	--	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--	-------------------------------------------------------------------------------------------	--	-------------------------	--

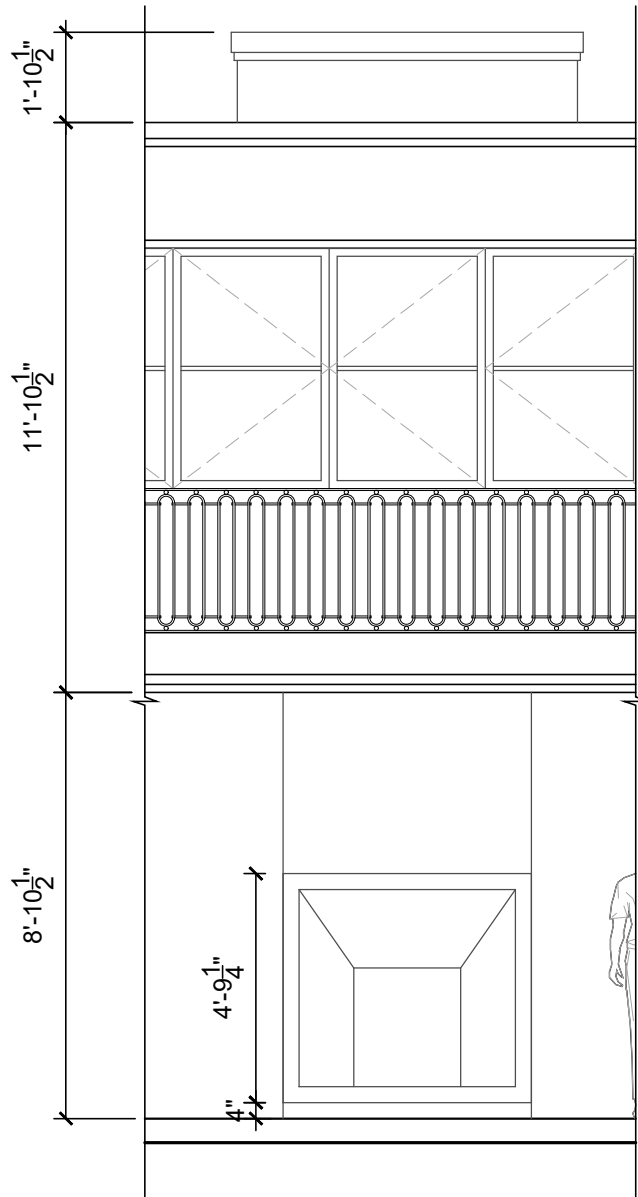
THE ABOVE DRAWING, TECHNICAL AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE, IN ANY MANNER, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



01

SCALE 1/4" = 1'-0"

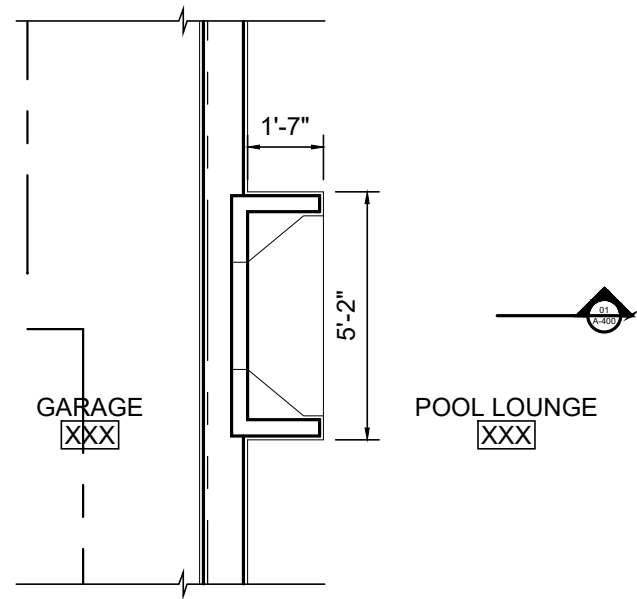
CHIMNEY SECTION DETAIL



02

SCALE 1/4" = 1'-0"

CHIMNEY ELEVATION DETAIL



03

SCALE 1/4" = 1'-0"

CHIMNEY FLOOR PLAN DETAIL

SHEET  
A-400  
OF

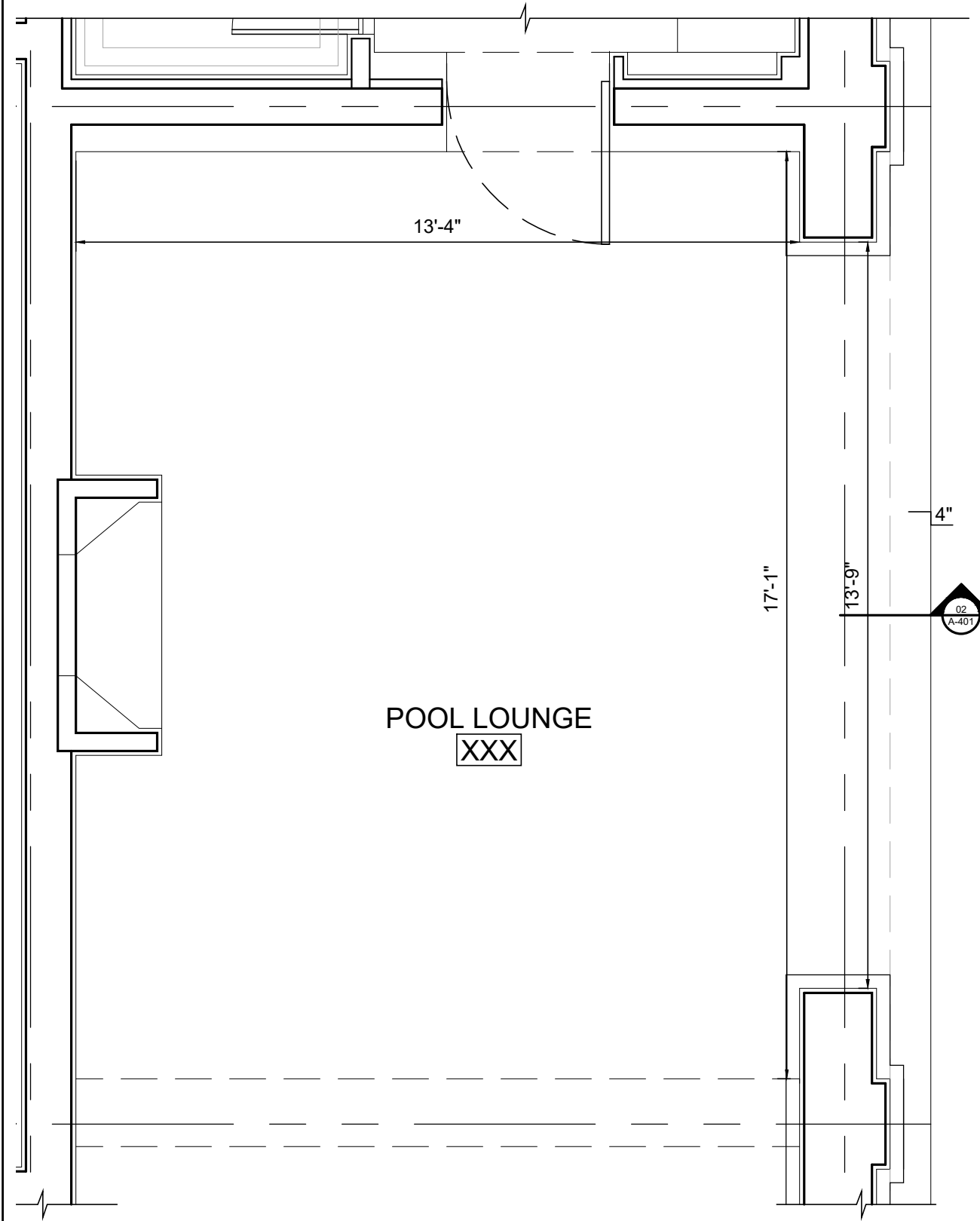
TITLE  
CHIMNEY DETAIL  
SCALE 1/4" = 1'-0"

OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural Planning Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

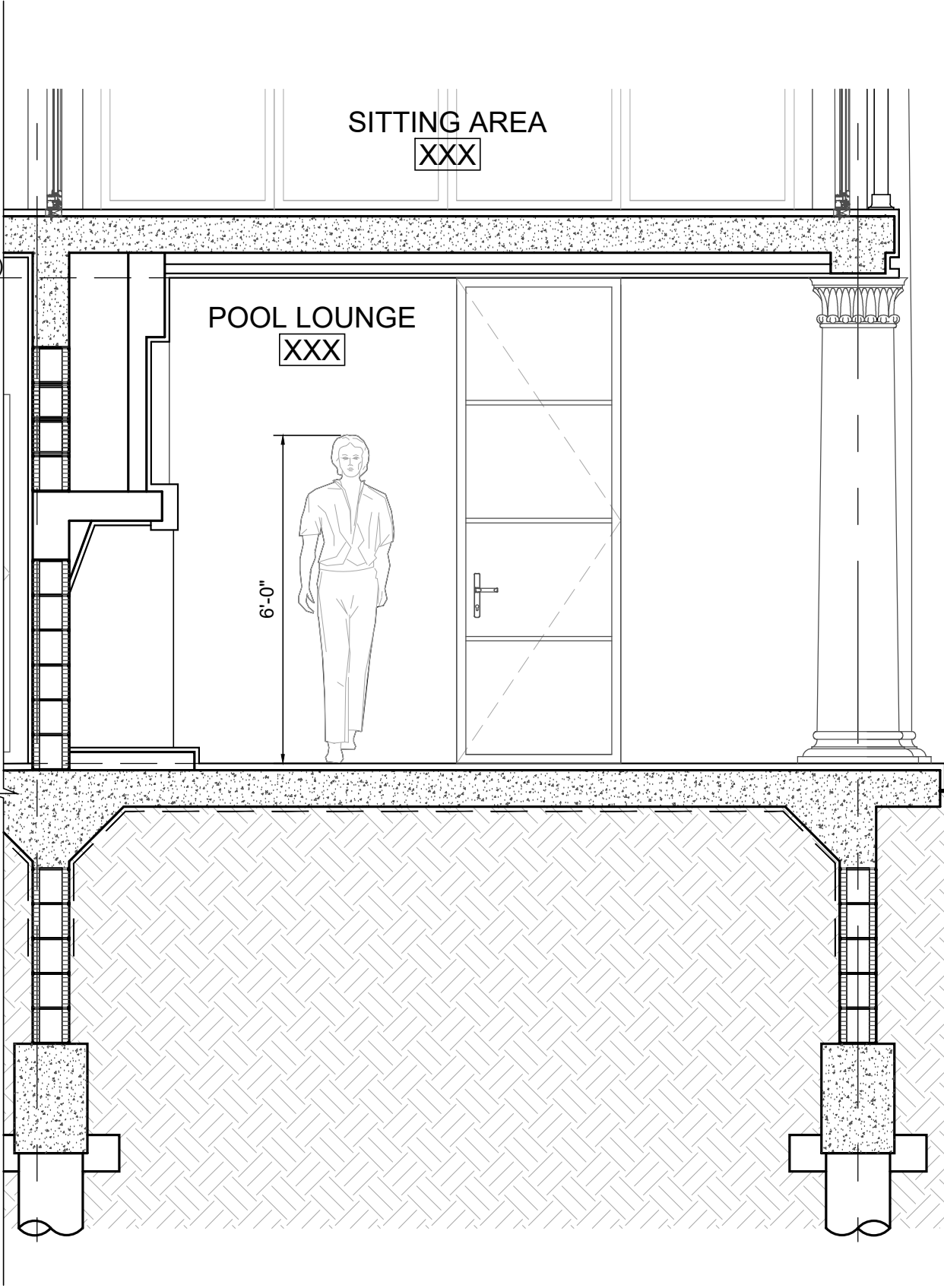
PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP  
REVISIONS:  
02.28.2024



01 POOL LOUNGE ENLARGED FLOOR PLAN  
SCALE 1/8" = 1'-0"

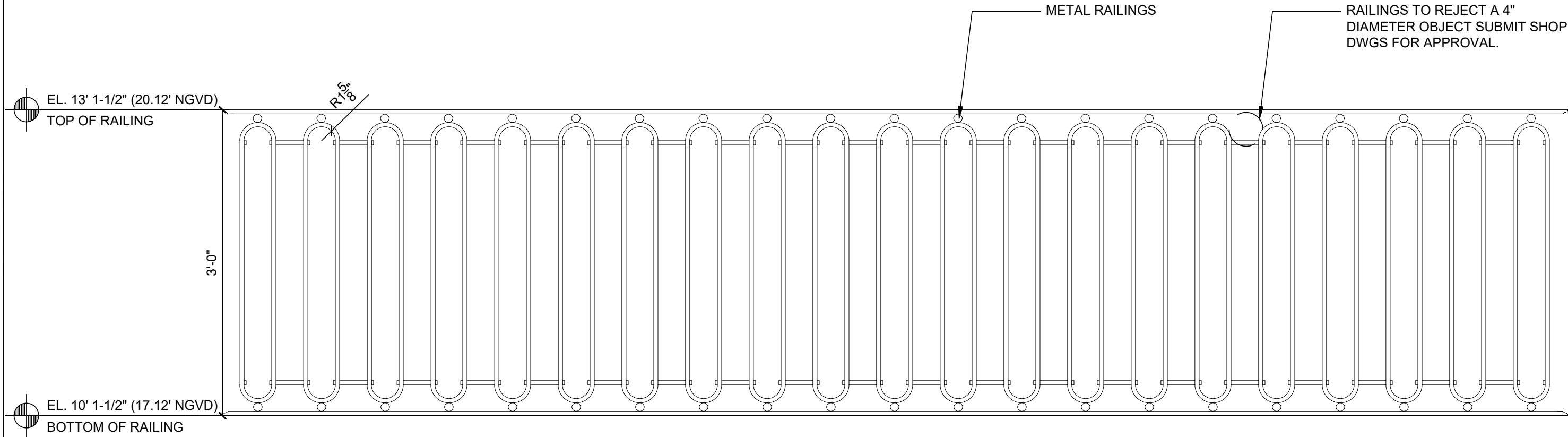
+8' 10-1/2" (15.87' NAVD)  
CEILING

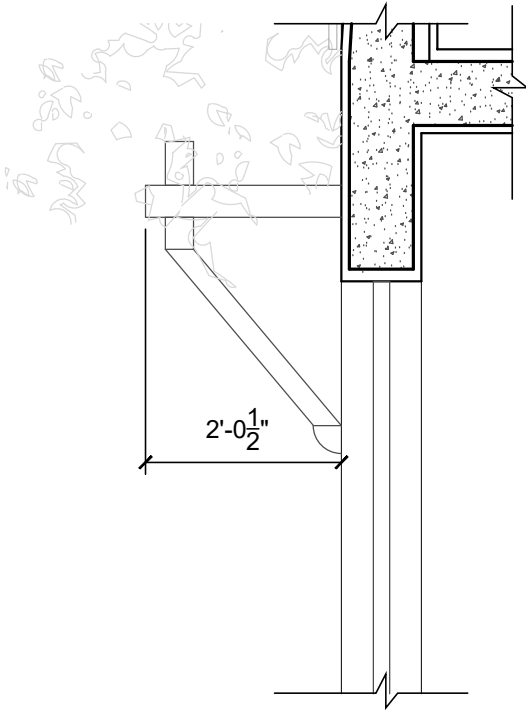
0'-0" (7.0' NAVD)  
T.O.F @GROUND LVL.



02 POOL LOUNGE ENLARGED SECTION  
SCALE 3/8" = 1'-0"

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP	REVISIONS: 02.28.2024
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-9818 http://www.portuondo.com	OWNER HOLLY CARDINALE
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480	TITLE POOL LOUNGE SHEET A-401 OF COPYRIGHT 2024
THE ABOVE DRAWING, TECHNIQUE, AND DISCUSSION ARE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.	





PROJECT NUMBER: 2023-14	REVISIONS: 02.26.2024
DATE: 02.08.2024	CB / KC / MP
DRAWN BY: JLGP	CHECKED BY: JLGP
ARCHITECTS: PORTUONDO PEROTTI ARCHITECTS INC.	5717 S.W. 8th Street, Miami, Florida 33144, USA
Architectural, Planning, Interior Design	Tel: (305) 280-9333 Fax: (305) 280-9818
www.portuondoperotti.com	
960 N OCEAN RESIDENCE	960 N OCEAN BLVD PALM BEACH, FLORIDA 33480
OWNER: HOLLY CARDINALE	
TITLE: PERGOLA AND LIGHT FIXTURE DETAIL	SCALE: AS NOTED
SHEET: A-403	OF 02
DATE: 02.08.2024	

REGENCY STYLE AT PALM BEACH:



Octagonal windows - wood shutters



Columns - tripartite division



Two-story building - flat roof



Vines in walls



Fireplace



Columns - stucco trim

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.28.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9331 Fax: (305) 280-0818 http://www.portundoperotti.com			
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480		OWNER HOLLY CARDINALE	
TITLE REGENCY STYLE SCALE N.T.S.		SHEET A-404 OF 1	
THE ABOVE DRAWING, TECHNICAL AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR OTHERWISE USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.			

REGENCY STYLE EXISTING FEATURES AT EXISTING HOUSE:



Wood shutters



Casement doors, stucco finish



Octagonal windows



Vines in walls



Coral stone steps, stucco trim



Egyptian style columns

PROJECT NUMBER: 2023-14 DATE: 02.08.2024 DRAWN BY: CB / KC / MP CHECKED BY: JLGP		REVISIONS: 02.28.2024	
ARCHITECTS PORTUONDO PEROTTI ARCHITECTS INC. Architectural - Planning - Interior Design 5717 S.W. 8th Street, Miami, Florida 33144, USA Tel: (305) 280-9333 Fax: (305) 280-0818 http://www.portuondoperotti.com			
960 N OCEAN RESIDENCE 960 N OCEAN BLVD PALM BEACH, FLORIDA 33480			
OWNER HOLLY CARDINALE			
TITLE REGENCY STYLE		SCALE N.T.S.	
SHEET A-405		OF 1	
THE ABOVE DRAWING, TECHNICAL, AND OTHERWISE, IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT			

ARCOM CASE #  
ARC-24-047

DOOR SCHEDULE

DOOR NO.	TYPE	SIZE			DOOR		FRAME		GLASS	HDW SET	DETAILS			DESIGN PRESSURES				REMARKS
		W	H	T	MATL.	FINISH	MATL.	FINISH			DOOR		TRANSOM					
											POS	NEG	POS	NEG				
MAIN LEVEL																		
101e	A	5'-4"	7'-0"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
102	B	9'-10"	7' 1-1/2"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
103	B	9'-10"	7' 1-1/2"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
104	C	10' 2-1/2"	7' 1-1/2"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
105	D	6'-0"	8'-9"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
106	E	3'-0"	8'-9"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
107e	F	9'-6"	8'-9"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
108e	G	18'-0"	7'-0"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
109e	H	3'-0"	7'-0"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
130	I	16'-0"	8' 2-1/2"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
131	J	3'-0"	8' 10-1/2"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
UPPER LEVEL																		
201	K	3'-0"	8'-0"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			
202	L	3'-0"	8'-0"		METAL	-	METAL	-	IMPACT CAT II					0.00	0.00			

DOOR TYPES

DOOR NOTES

**CATEGORY II SAFETY GLAZING REQUIREMENTS:**

**R308.4 Hazardous locations.** The following shall be considered specific hazardous locations for the purposes of glazing:

- Glazing in swinging doors except jalousies.
- Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies.

**R4410.2.3.1.3** Glazing in sliding and in swinging doors shall be safety-glazing complying with 16 CFR 1201, Safety Standard for Architectural Glazing Materials, Consumer Product Safety Commission , and as described in Sections R4410.2.3.1.3.1 through R4410.2.3.1.3.5.

**R4410.2.3.1.3.1** Doors containing glazing material not greater than 9 square feet (0.84 m2) in surface area shall be classified as Category I glazing products.

**R4410.2.3.1.3.2** Doors, bath and shower enclosures, and sliding glass doors containing glazing material greater than 9 square feet (0.84 m2) in surface area shall be classified as Category II glazing products.

**R4410.2.3.1.3.3** Category I glazing products shall be capable of withstanding a 150 foot-pound (102 Nm) impact test.

**R4410.2.3.1.3.4** Category II glazing products shall be capable of withstanding a 400 foot-pound (542 Nm) impact test.

**R4410.2.3.1.3.5** Doors shall be designed to be readily operative without contact with the glass.

**R4410.2.4.3** Glazed panels located adjacent to, or in doors, shall be of safety glazing, in accordance with the following:

- In all occupancies, any glazing material adjacent to door within 48 inches (1219 mm) of the door in the closed position and below the top of the door.

**NOTE:** REFER TO I.D. DRAWINGS FOR DESIGN OF INTERIOR DOORS.

**GLAZING NOTES:**

Exterior glazing to have 0.50 SHGC and 0.55 U-factor, typical at doors, and 0.50 SHGC and 0.55 U-factor @ transoms.

**R310.1 Emergency escape and rescue required.** Basements and every sleeping room shall have at least one operable emergency escape and rescue opening. Such opening shall open directly into a public street, public alley, yard or court. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

- Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).
- The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.

**R310.1.1 Minimum opening area.** All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).

Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).

**R310.1.2 Minimum opening height.** The minimum net clear opening height shall be 24 inches (610 mm).

**R310.1.3 Minimum opening width.** The minimum net clear opening width shall be 20 inches (508 mm).

**R310.1.4 Operational constraints.** Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.

**R4410.2.6.1.**Swinging or Sliding doors of glass without a continuous frame shall be of only fully tempered glass not less than ⅝ inch (9.5mm) in thickness.

EXTERIOR DOORS

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.28.2024

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami - Florida - 33144, USA  
Tel: (305) 380-3933 Fax: (305) 380-3818  
http://www.portuondoperotti.com


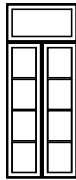
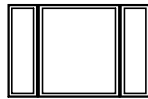
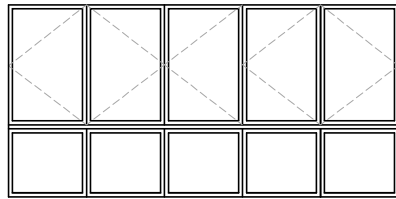
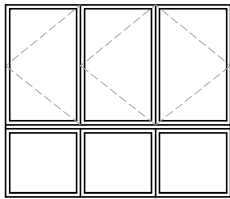
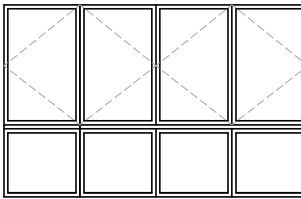

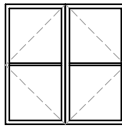


OWNER  
HOLLY CARDINALE

TITLE  
DOORS SCHEDULE  
SCALE  
1/8" = 1'-0"

SHEET  
A-601  
OF  
02/08/2024

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

THE ABOVE DRAWING, TECHNICAL SPECIFICATIONS AND SCHEDULES SHALL BE CONSIDERED TO BE PART OF THE CONTRACT DOCUMENTS. ANY DISCREPANCY SHALL BE RESOLVED BY THE ARCHITECT.

ARCOM CASE # ARC-24-047																
WINDOW SCHEDULE																
WINDOW	TYPE	SIZE		ROUGH OPENING		FRAME		GLASS	DETAILS			DESIGN PRESSURES				REMARKS
		W	H	W	H	MATERIAL	FINISH	TYPE	HEAD	JAMB	SILL	POS	NEG	POS	NEG	
MAIN LEVEL																
101e	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
102e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
103e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
104e	B	2' 10-1/2"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
105e	C	5' 10-1/2"	3'-10"			METAL	-	IMPACT CAT II				0.00	0.00			
106e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
107e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
108e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
109e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
110e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
111e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
112e	B	2'-11"	7'-3"			METAL	-	IMPACT CAT II				0.00	0.00			
113e	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
114	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
115	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
116	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
117	A	2'-1"	3'-7"			METAL	-	IMPACT CAT II				0.00	0.00			
UPPER LEVEL																
201	D	16'-3"	8'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
202	E	9' 4-1/2"	8'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
203	F	12'-8"	8'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
204	G	2'-10"	5'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
205	H	5'-0"	5'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
206	H	5'-0"	5'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
207	F	12'-8"	8'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
208	E	9' 4-1/2"	8'-0"			METAL	-	IMPACT CAT II				0.00	0.00			
SHUTTER SCHEDULE																
SHUTTER	TYPE	SIZE		FRAME		SCREEN		REMARKS								
		W	H	MATERIAL	FINISH	MATERIAL	FINISH									
UPPER LEVEL																
201	A	1'-5"	5'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
202	A	1'-5"	5'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
203	B	2'-6"	8'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
204	B	2'-6"	8'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
205	A	2'-6"	5'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
206	A	2'-6"	5'-0"	WOOD	PAINT: BENJAMIN MOORE HERB BOUQUET 640	-	-									
WINDOW TYPES																
<div><div><p>TYPE A SINGLE ALUMINUM WINDOW</p></div><div><p>TYPE B DOUBLE ALUMINUM WINDOW WITH TRANSOM</p></div><div><p>TYPE C TRIPLE ALUMINUM WINDOW</p></div><div><p>TYPE D QUINTUPLE ALUMINUM WINDOW WITH FIXED WINDOW</p></div><div><p>TYPE E TRIPLE ALUMINUM WINDOW WITH FIXED WINDOW</p></div><div><p>TYPE F QUADRUPLE ALUMINUM WINDOW WITH FIXED WINDOW</p></div><div><p>TYPE G SINGLE ALUMINUM WINDOW</p></div><div><p>TYPE H DOUBLE ALUMINUM WINDOW</p></div></div>																
WINDOW NOTES																
<p><b>GENERAL CONTRACTOR TO COORDINATE FINAL ROUGH OPENING DIMENSIONS PRIOR TO ISSUING SHOP DRAWINGS FOR REVIEW &amp; APPROVAL</b></p> <p><b>CATEGORY II SAFETY GLAZING REQUIREMENTS:</b></p> <p><b>R308.4 Hazardous locations.</b> The following shall be considered specific hazardous locations for the purposes of glazing:</p> <ol style="list-style-type: none"><li>Glazing in swinging doors except jalousies.</li><li>Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies.</li></ol> <p><b>R4410.2.3.1.3</b> Glazing in sliding and in swinging doors shall be safety-glazing complying with 16 CFR 1201, Safety Standard for Architectural Glazing Materials, Consumer Product Safety Commission , and as described in Sections R4410.2.3.1.3.1 through R4410.2.3.1.3.5.</p> <p><b>R4410.2.3.1.3.1</b> Doors containing glazing material not greater than 9 square feet (0.84 m2) in surface area shall be classified as Category I glazing products.</p> <p><b>R4410.2.3.1.3.2</b> Doors, bath and shower enclosures, and sliding glass doors containing glazing material greater than 9 square feet (0.84 m2) in surface area shall be classified as Category II glazing products.</p> <p><b>R4410.2.3.1.3.3</b> Category I glazing products shall be capable of withstanding a 150 foot-pound (102 Nm) impact test.</p> <p><b>R4410.2.3.1.3.4</b> Category II glazing products shall be capable of withstanding a 400 foot-pound (542 Nm) impact test.</p> <p><b>4410.2.3.1.3.5</b> Doors shall be designed to be readily operative without contact with the glass.</p> <p>R4410.2.4.3 Glazed panels located adjacent to, or in doors, shall be of safety glazing, in accordance with the following:</p> <ol style="list-style-type: none"><li>In all occupancies, any glazing material adjacent to door within 48 inches (1219 mm) of the door in the closed position and below the top of the door.</li></ol> <p><b>GLAZING NOTES:</b></p> <p>Exterior glazing to have 0.50 SHGC and 0.55 U-factor, typical at doors, and 0.50 SHGC and 0.55 U-factor @ transoms.</p> <p><b>R310.1 Emergency escape and rescue required.</b> Basements and every sleeping room shall have at least one operable emergency escape and rescue opening. Such opening shall open directly into a public street, public alley, yard or court. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room, but shall not be required in adjoining areas of the basement. Where emergency escape and rescue openings are provided they shall have a sill height of not more than 44 inches (1118 mm) above the floor. Where a door opening having a threshold below the adjacent ground elevation serves as an emergency escape and rescue opening and is provided with a bulkhead enclosure, the bulkhead enclosure shall comply with Section R310.3. The net clear opening dimensions required by this section shall be obtained by the normal operation of the emergency escape and rescue opening from the inside. Emergency escape and rescue openings with a finished sill height below the adjacent ground elevation shall be provided with a window well in accordance with Section R310.2. Emergency escape and rescue openings shall open directly into a public way, or to a yard or court that opens to a public way.</p> <p>Exceptions:</p> <ol style="list-style-type: none"><li>Basements used only to house mechanical equipment and not exceeding total floor area of 200 square feet (18.58 m2).</li><li>The emergency escape and rescue opening shall be permitted to open into a screen enclosure, open to the atmosphere, where a screen door is provided leading away from the residence.</li></ol> <p><b>R310.1.1 Minimum opening area.</b> All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m2).</p> <p>Exception: Grade floor openings shall have a minimum net clear opening of 5 square feet (0.465 m2).</p> <p><b>R310.1.2 Minimum opening height.</b> The minimum net clear opening height shall be 24 inches (610 mm).</p> <p><b>R310.1.3 Minimum opening width.</b> The minimum net clear opening width shall be 20 inches (508 mm).</p> <p><b>R310.1.4 Operational constraints.</b> Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys, tools or special knowledge.</p> <p><b>R4410.2.6.1.</b>Swinging or Sliding doors of glass without a continuous frame shall be of only fully tempered glass not less than ⅜ inch (9.5mm) in thickness.</p>																
OPERABLE SHUTTER TYPES																
<div><div><p>TYPE A SHUTTER</p></div><div><p>TYPE B SHUTTER</p></div></div>																

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CE / KC / MP  
CHECKED BY: JLGP

REVISIONS  
02.28.2024

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture Planning Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9331 Fax: (305) 280-9818  
http://www.portondoperotti.com

OWNER  
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

TITLE  
CHIMNEY DETAIL  
SCALE 1/4" = 1'-0"  
SHEET A-602 OF 1  
COPYRIGHT 2009

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.26.2024

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architectural Planning Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 380-9333 Fax: (305) 380-9818  
http://www.portuondoperotti.com

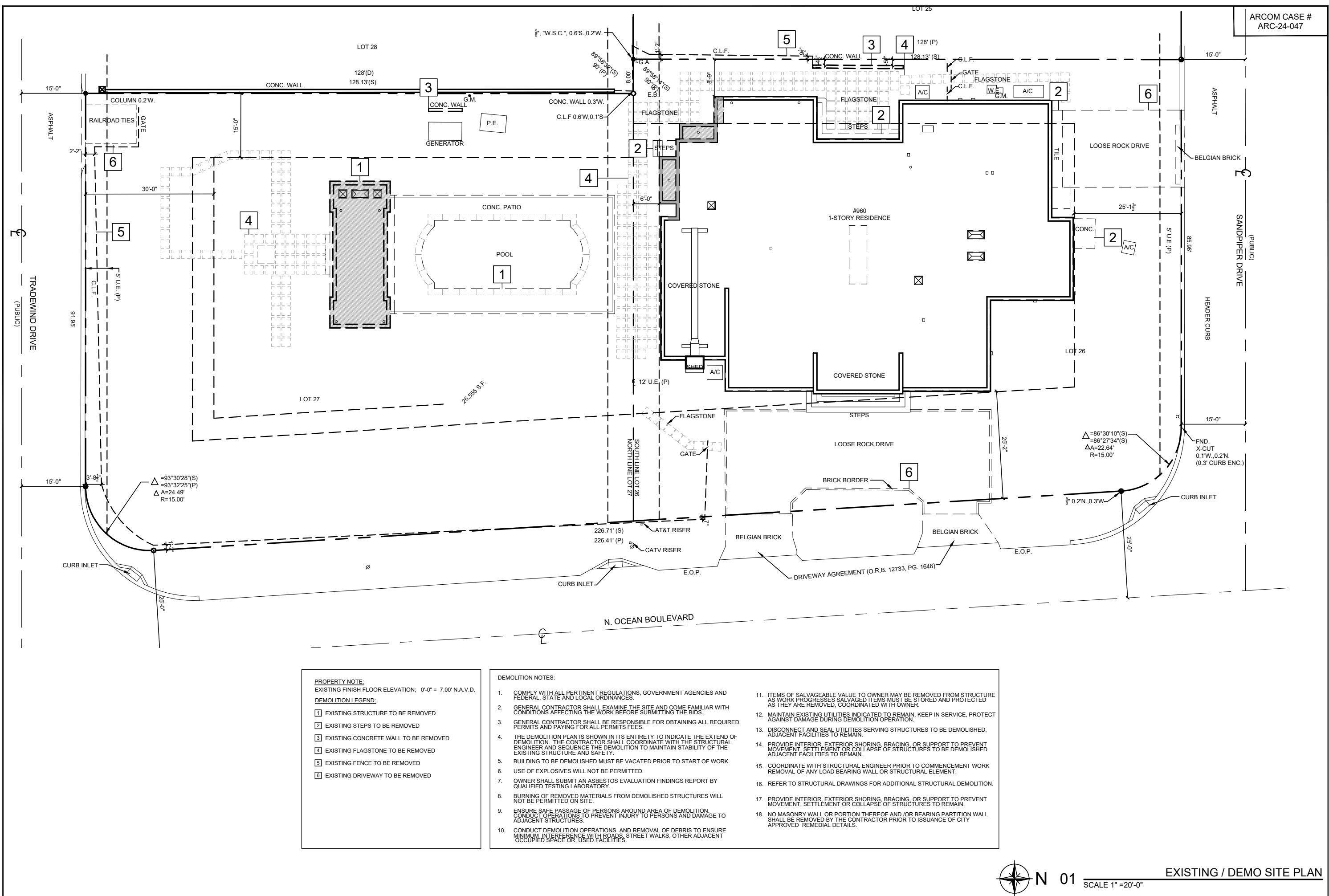
OWNER  
HOLLY CARDINALE

TITLE  
CHIMNEY DETAIL  
SCALE  
1/4" = 1'-0"

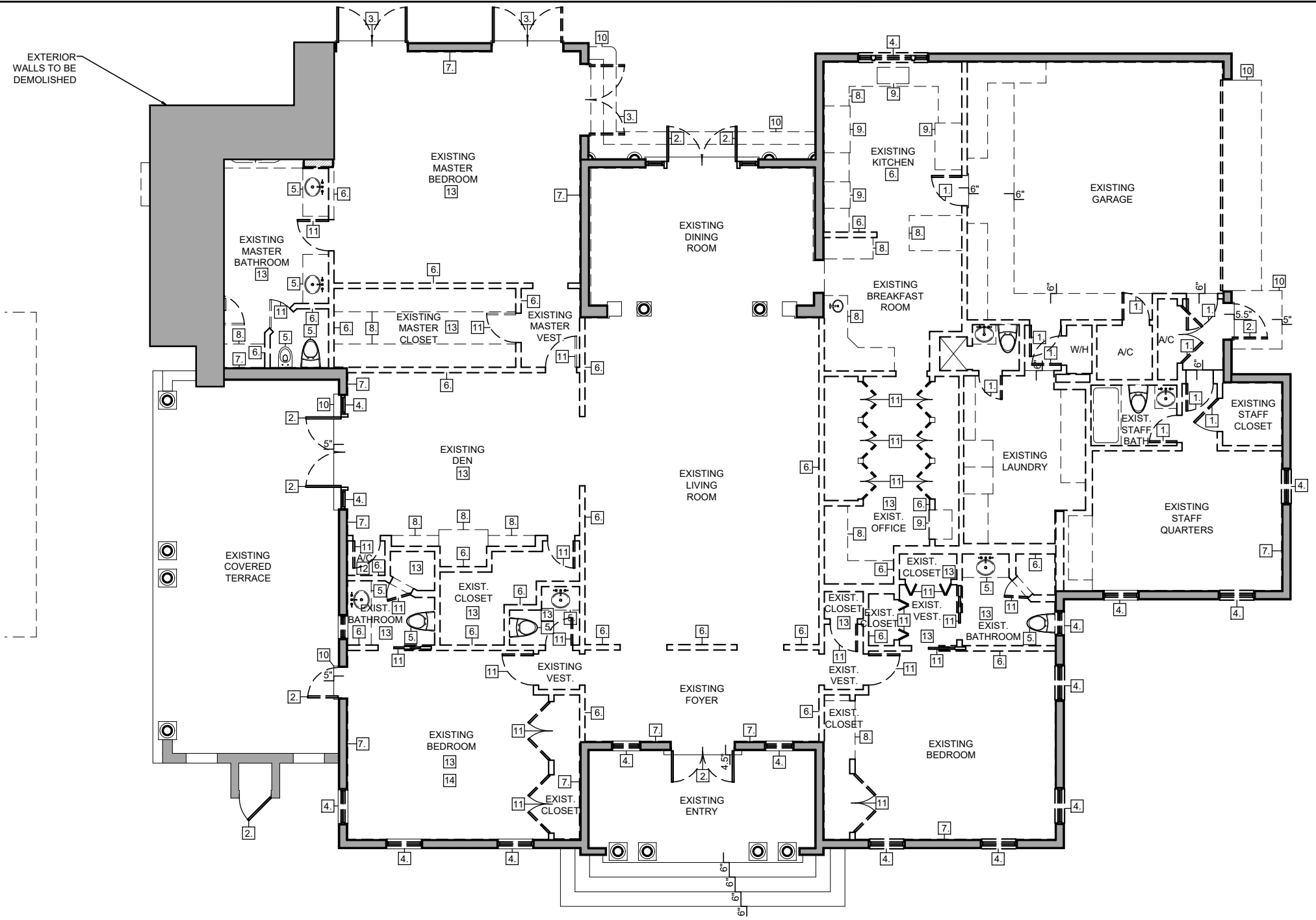
SHEET  
A-602  
OF  
0 COPYRIGHT 2024

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

THE ABOVE DRAWING, TECHNIQUE, AND ORIGINATOR SHALL BE CONSIDERED TO BE THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT



EXTERIOR  
WALLS TO BE  
DEMOLISHED



**PROPERTY NOTE:**

EXISTING FINISH FLOOR ELEVATION; 0'-0" = 7.00' N.A.V.D.

**DEMOLITION LEGEND:**

- |                                             |                                                      |
|---------------------------------------------|------------------------------------------------------|
| 1 INTERIOR DOOR TO BE REMOVED AND REPLACED. | 8 EXISTING CABINETRY TO BE REMOVED.                  |
| 2 EXTERIOR DOOR TO BE REMOVED AND REPLACED. | 9 KITCHEN FIXTURES TO BE REMOVED.                    |
| 3 EXTERIOR DOOR TO BE REMOVED.              | 10 STEPS TO BE DEMOLISHED.                           |
| 4 WINDOWS TO BE REMOVED AND REPLACED.       | 11 INTERIOR DOOR TO BE REMOVED.                      |
| 5 BATHROOM FIXTURES TO BE REMOVED.          | 12 REMOVE A/C AIR HANDLER.                           |
| 6 INTERIOR PARTITION WALL TO BE DEMOLISHED. | 13 REMOVE EXIST. CEILING AND CEILING LIGHT FIXTURES. |
| 7 INTERIOR FINISH TO BE REPLACE             | 14 REMOVE CEILING FAN.                               |
|                                             | 15 EXISTING STRUCTURE TO BE REMOVED.                 |

**DEMOLITION NOTE:**

1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
4. THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
5. BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
6. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
7. OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
8. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
9. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
10. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
11. ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
13. DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
14. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
15. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
16. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
17. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
18. NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.

- PROPOSED DEMOLITION AREA  
2% OF THE EXISTING RESIDENCE FLOOR PLAN
- ▨ PROPOSED DEMOLITION AREA  
100% OF THE EXISTING CABANA FLOOR PLAN



N 01

DEMO/EXISTING FLOOR PLAN  
SCALE 3/32" = 1'-0"

SHEET  
D-101  
OF

TITLE  
DEMO / EXISTING FLOOR PLAN

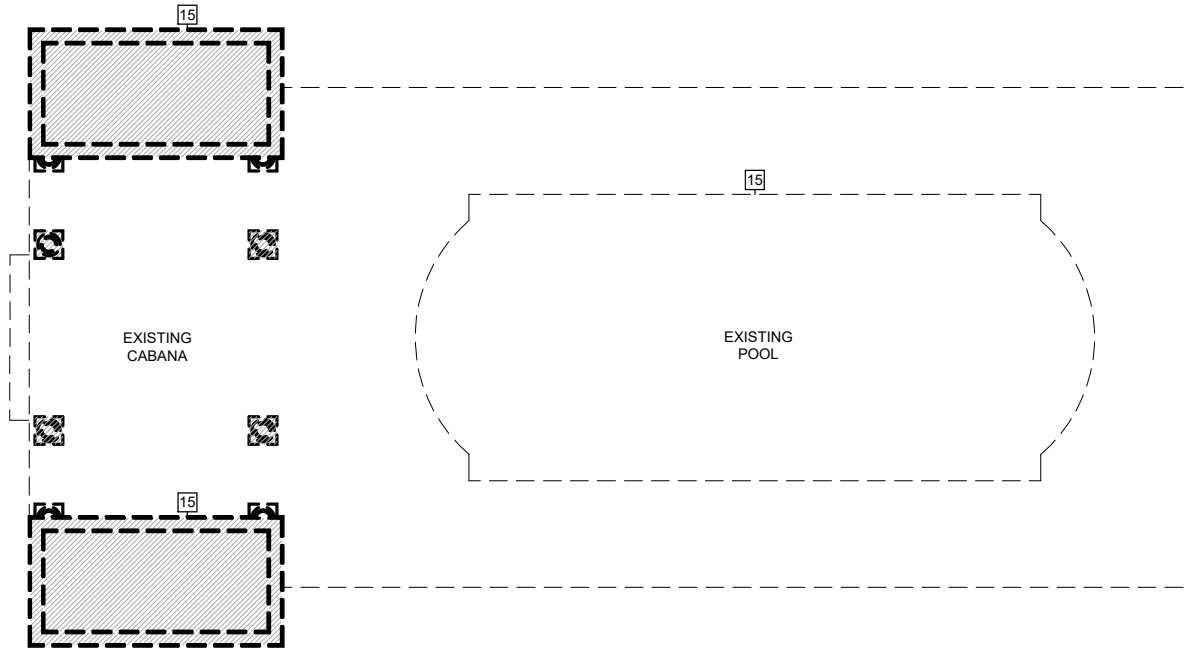
OWNER  
HOLLY CARDINALE

960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: J.LGP

REVISIONS  
02.26.2024



■ PROPOSED DEMOLITION AREA  
2% OF THE EXISTING RESIDENCE FLOOR PLAN

▨ PROPOSED DEMOLITION AREA  
100% OF THE EXISTING CABANA FLOOR PLAN

**PROPERTY NOTE:**  
EXISTING FINISH FLOOR ELEVATION; 0'-0" = 7.00' N.A.V.D.

- DEMOLITION LEGEND:**
- |                                             |                                                      |
|---------------------------------------------|------------------------------------------------------|
| 1 INTERIOR DOOR TO BE REMOVED AND REPLACED. | 8 EXISTING CABINETRY TO BE REMOVED.                  |
| 2 EXTERIOR DOOR TO BE REMOVED AND REPLACED. | 9 KITCHEN FIXTURES TO BE REMOVED.                    |
| 3 EXTERIOR DOOR TO BE REMOVED.              | 10 STEPS TO BE DEMOLISHED.                           |
| 4 WINDOWS TO BE REMOVED AND REPLACED.       | 11 INTERIOR DOOR TO BE REMOVED.                      |
| 5 BATHROOM FIXTURES TO BE REMOVED.          | 12 REMOVE A/C AIR HANDLER.                           |
| 6 INTERIOR PARTITION WALL TO BE DEMOLISHED. | 13 REMOVE EXIST. CEILING AND CEILING LIGHT FIXTURES. |
| 7 INTERIOR FINISH TO BE REPLACE             | 14 REMOVE CEILING FAN.                               |
|                                             | 15 EXISTING STRUCTURE TO BE REMOVED.                 |

- DEMOLITION NOTE:**
1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
  2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
  3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
  4. THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
  5. BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
  6. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
  7. OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
  8. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
  9. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
  10. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
  11. ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
  12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
  13. DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
  14. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
  15. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
  16. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
  17. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
  18. NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.



N 01

DEMO / EXISITING FLOOR PLAN  
SCALE 3/32" = 1'-0"

SHEET D-101.1  
OF

© COPYRIGHT 2024

TITLE DEMO / EXISTING FLOOR PLAN

SCALE 3/32" = 1'-0"

OWNER  
HOLLY CARDINALE

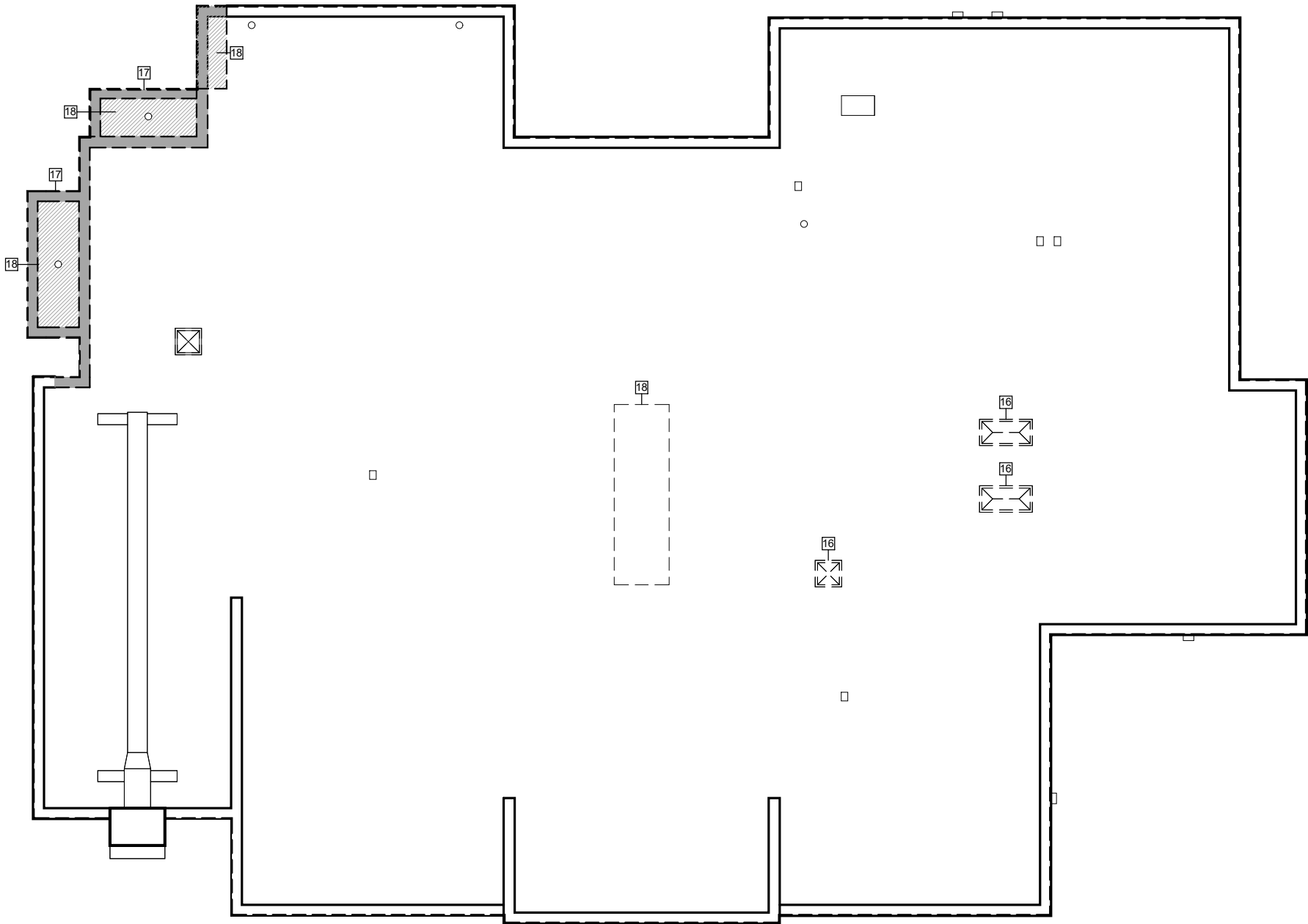
960 N OCEAN RESIDENCE

960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-0818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS:  
02.26.2024



**PROPERTY NOTE:**  
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 7.00' N.A.V.D.

**DEMOLITION LEGEND:**

18 EXISTING STRUCTURE TO BE REMOVED.

16 EXISTING SKYLIGHT TO BE REMOVED.

17 EXISTING PARAPET TO BE REMOVED.

18 EXISTING ROOF TO BE REMOVED.

PROPOSED DEMOLITION AREA  
2% OF THE EXISTING RESIDENCE ROOF

**DEMOLITION NOTES:**

- COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
- GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
- THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
- BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
- USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
- BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
- ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
- DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
- COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
- NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.



01 EXISTING / DEMO ROOF PLAN  
SCALE: 3/32" = 1"

SHEET D-103  
OF

TITLE DEMO / EXISTING ROOF PLAN

SCALE 3/32" = 1"

OWNER HOLLY CARDINALE

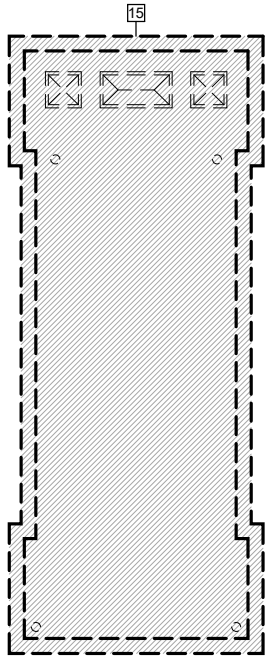
960 N OCEAN RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FLORIDA 33480

ARCHITECTS  
PORTUONDO PEROTTI ARCHITECTS INC.  
Architecture - Planning - Interior Design  
5717 S.W. 8th Street, Miami, Florida 33144, USA  
Tel: (305) 280-9333 Fax: (305) 280-9818  
http://www.portuondoperotti.com

PROJECT NUMBER: 2023-14  
DATE: 02.08.2024  
DRAWN BY: CB / KC / MP  
CHECKED BY: JLGP

REVISIONS: 02.28.2024

THIS DRAWING IS THE PROPERTY OF PORTUONDO PEROTTI ARCHITECTS, INC. NO PART HEREOF SHALL BE COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.



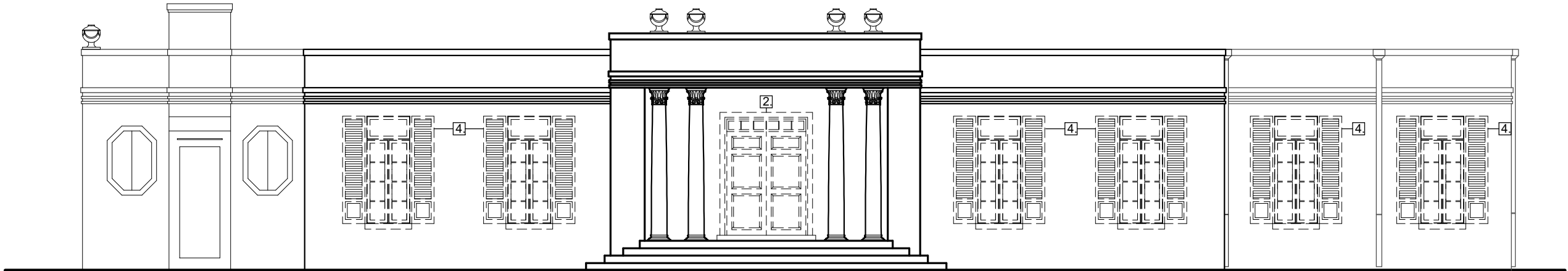
**PROPERTY NOTE:**  
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 7.00' N.A.V.D.  
**DEMOLITION LEGEND:**  
[15] EXISTING STRUCTURE TO BE REMOVED.  
[16] EXISTING SKYLIGHT TO BE REMOVED.  
[17] EXISTING PARAPET TO BE REMOVED.  
[18] EXISTING ROOF TO BE REMOVED.

[Hatched Box] PROPOSED DEMOLITION AREA  
100% OF THE EXISTING CABANA

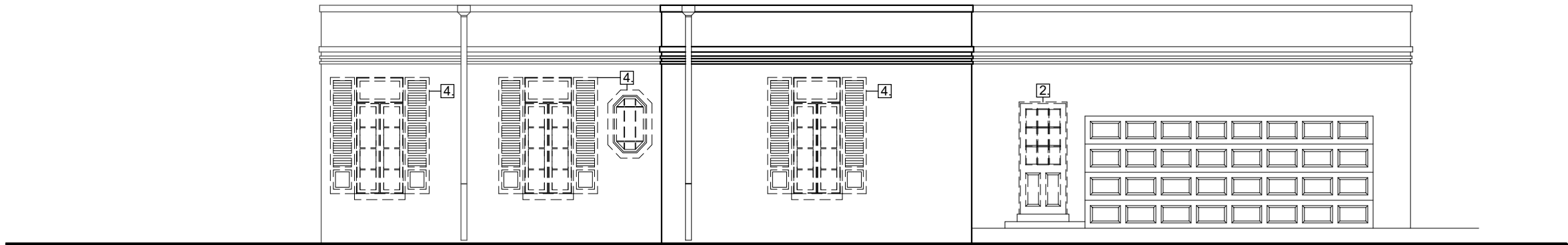
**DEMOLITION NOTES:**

- COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
- GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
- THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
- BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
- USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
- BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
- ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
- DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
- COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
- NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.





01 EXISTING / DEMO ELEVATION  
SCALE 3/32" = 1'-0"



02 EXISTING / DEMO ELEVATION  
SCALE 3/32" = 1'-0"

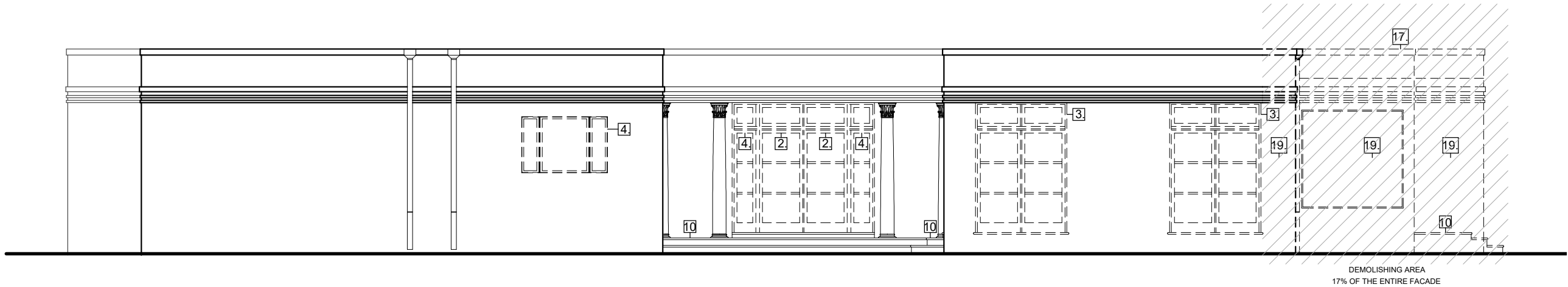
PROPERTY NOTE:  
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 7.00' N.A.V.D.

DEMOLITION LEGEND:

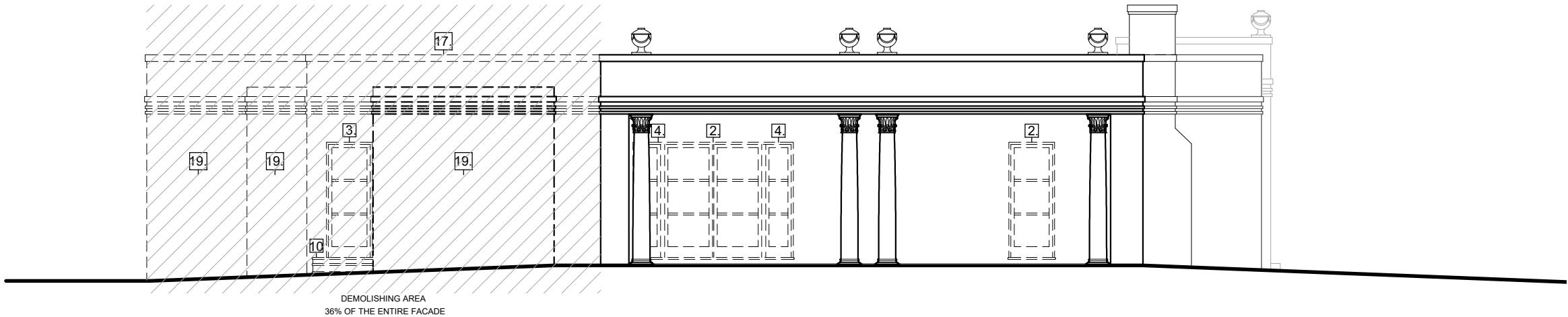
- 2 EXTERIOR DOOR TO BE REMOVED AND REPLACED.
- 3 EXTERIOR DOOR TO BE REMOVED.
- 4 WINDOWS TO BE REMOVED AND REPLACED.
- 10 STEPS TO BE DEMOLISHED.
- 15 EXISTING STRUCTURE TO BE REMOVED.
- 16 EXISTING SKYLIGHT TO BE REMOVED.
- 17 EXISTING PARAPET TO BE REMOVED.
- 18 EXISTING ROOF TO BE REMOVED.
- 19 EXISTING WALL TO BE REMOVED.

DEMOLITION NOTES:

1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
4. THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
5. BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
6. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
7. OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
8. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
9. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
10. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
11. ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED, COORDINATED WITH OWNER.
12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
13. DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
14. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
15. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
16. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
17. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
18. NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.



01 EXISTING / DEMO ELEVATION  
SCALE 3/32" = 1'-0"



02 EXISTING / DEMO ELEVATION  
SCALE 3/32" = 1'-0"

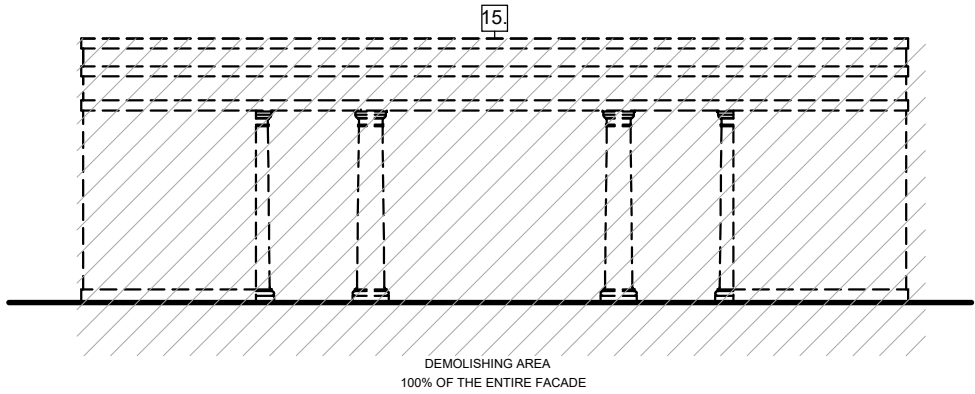
**PROPERTY NOTE:**  
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 7.00' N.A.V.D.

**DEMOLITION LEGEND:**

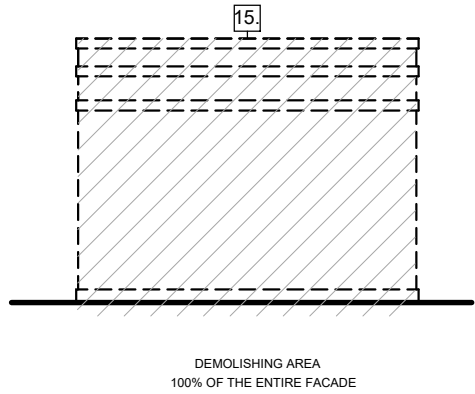
- 2 EXTERIOR DOOR TO BE REMOVED AND REPLACED.
- 3 EXTERIOR DOOR TO BE REMOVED.
- 4 WINDOWS TO BE REMOVED AND REPLACED.
- 10 STEPS TO BE DEMOLISHED.
- 19 EXISTING STRUCTURE TO BE REMOVED.
- 18 EXISTING SKYLIGHT TO BE REMOVED.
- 17 EXISTING PARAPET TO BE REMOVED.
- 18 EXISTING ROOF TO BE REMOVED.
- 19 EXISTING WALL TO BE REMOVED.

**DEMOLITION NOTES:**

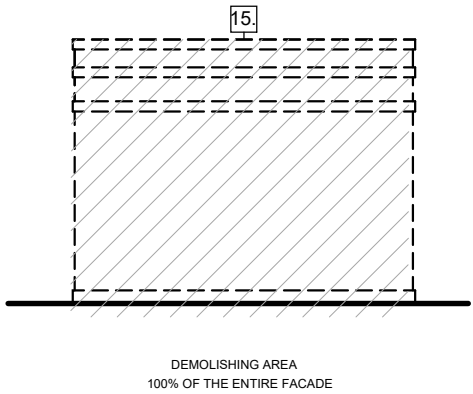
1. COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
2. GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
4. THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
5. BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
6. USE OF EXPLOSIVES WILL NOT BE PERMITTED.
7. OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
8. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
9. ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
10. CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
11. ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED. COORDINATED WITH OWNER.
12. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
13. DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
14. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
15. COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
16. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
17. PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
18. NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.



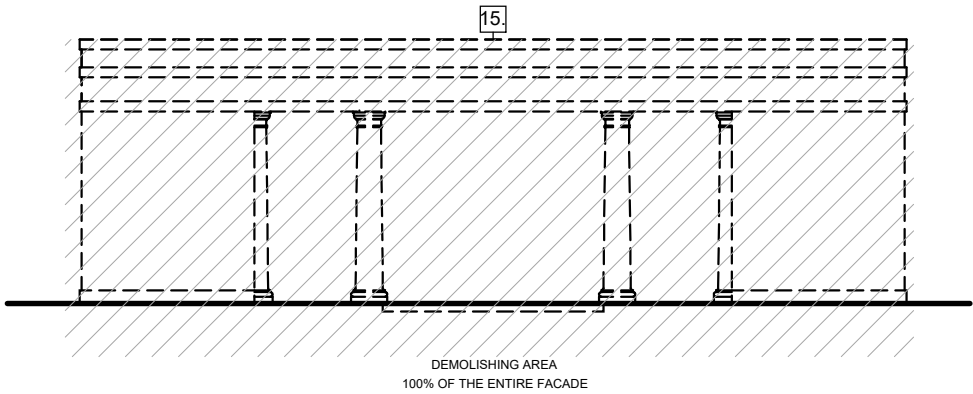
01 EXISTING / DEMO ELEVATION (CABANA)  
SCALE 1/8" = 1'-0"



02 EXISTING / DEMO ELEVATION (CABANA)  
SCALE 1/8" = 1'-0"



03 EXISTING / DEMO ELEVATION (CABANA)  
SCALE 1/8" = 1'-0"



04 EXISTING / DEMO ELEVATION (CABANA)  
SCALE 1/8" = 1'-0"

**PROPERTY NOTE:**  
EXISTING FINISH FLOOR ELEVATION: 0'-0" = 7.00' N.A.V.D.

**DEMOLITION LEGEND:**

- 2 EXTERIOR DOOR TO BE REMOVED AND REPLACED.
- 3 EXTERIOR DOOR TO BE REMOVED.
- 4 WINDOWS TO BE REMOVED AND REPLACED.
- 10 STEPS TO BE DEMOLISHED.
- 15 EXISTING STRUCTURE TO BE REMOVED.
- 16 EXISTING SKYLIGHT TO BE REMOVED.
- 17 EXISTING PARAPET TO BE REMOVED.
- 18 EXISTING ROOF TO BE REMOVED.
- 19 EXISTING WALL TO BE REMOVED.

**DEMOLITION NOTES:**

- COMPLY WITH ALL PERTINENT REGULATIONS, GOVERNMENT AGENCIES AND FEDERAL, STATE AND LOCAL ORDINANCES.
- GENERAL CONTRACTOR SHALL EXAMINE THE SITE AND COME FAMILIAR WITH CONDITIONS AFFECTING THE WORK BEFORE SUBMITTING THE BIDS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING FOR ALL PERMITS FEES.
- THE DEMOLITION PLAN IS SHOWN IN ITS ENTIRETY TO INDICATE THE EXTEND OF DEMOLITION. THE CONTRACTOR SHALL COORDINATE WITH THE STRUCTURAL ENGINEER AND SEQUENCE THE DEMOLITION TO MAINTAIN STABILITY OF THE EXISTING STRUCTURE AND SAFETY.
- BUILDING TO BE DEMOLISHED MUST BE VACATED PRIOR TO START OF WORK.
- USE OF EXPLOSIVES WILL NOT BE PERMITTED.
- OWNER SHALL SUBMIT AN ASBESTOS EVALUATION FINDINGS REPORT BY QUALIFIED TESTING LABORATORY.
- BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE.
- ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO PERSONS AND DAMAGE TO ADJACENT STRUCTURES.
- CONDUCT DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREET WALKS, OTHER ADJACENT OCCUPIED SPACE OR USED FACILITIES.
- ITEMS OF SALVAGEABLE VALUE TO OWNER MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES SALVAGED ITEMS MUST BE STORED AND PROTECTED AS THEY ARE REMOVED. COORDINATED WITH OWNER.
- MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATION.
- DISCONNECT AND SEAL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED, ADJACENT FACILITIES TO REMAIN.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED ADJACENT FACILITIES TO REMAIN.
- COORDINATE WITH STRUCTURAL ENGINEER PRIOR TO COMMENCEMENT WORK REMOVAL OF ANY LOAD BEARING WALL OR STRUCTURAL ELEMENT.
- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL STRUCTURAL DEMOLITION.
- PROVIDE INTERIOR, EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO REMAIN.
- NO MASONRY WALL OR PORTION THEREOF AND /OR BEARING PARTITION WALL SHALL BE REMOVED BY THE CONTRACTOR PRIOR TO ISSUANCE OF CITY APPROVED REMEDIAL DETAILS.

FIRST ARCOM SUBMITTAL  
CARDINALE RESIDENCE  
960 N OCEAN BLVD  
PALM BEACH, FL 33480

LANDSCAPE ARCHITECT:  
LAGUARDIA DESIGN LANDSCAPE  
ARCHITECTURE P.C.  
PO BOX 268 - 38 SCUTTLE HOLE ROAD  
WATERMILL NY, 11976  
T: (631) 726-1403  
F: (631) 726-1478

117 EAST 24TH STREET  
NEW YORK, NY 10010

3725 SOUTH DIXIE HIGHWAY  
WEST PALM BEACH, FL 33405

PROJECT TEAM:  
CHRIS LAGUARDIA - CHRIS@LAGUARDIADESIGN.COM, x101  
JUSTIN LEANZA - JUSTIN@LAGUARDIADESIGN.COM, x120

ARCHITECT:  
PORTUONDO PEROTTI ARCHITECTS, INC.  
5717 SW 8 ST, SUITE 200  
MIAMI, FL 33144  
T: 305.260.9331

GENERAL CONTRACTOR:  
THE CURY GROUP  
1475 CENTREPARK BLVD. SUITE 100  
WEST PALM BEACH, FL 33401  
T: 561.533.8888

SURVEYOR:  
WALLACE SURVEYING CO.  
5553 VILLAGE BOULEVARD  
WEST PALM BEACH, FL 33407  
T: 561.640.4551

DRAWING LIST:			
SHEET NAME:	COMMENTS:	CURRENT REVISION:	
CS COVER SHEET	GC / LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L1.1 EXISTING CONDITIONS PLAN	GC / LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L2.1 SITE PLAN	GC / LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L2.2 ELEVATIONS	GC / LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L5.1 ARCOM LANDSCAPE: OPEN SPACE	LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L5.2 ARCOM LANDSCAPE: PLANTING PLAN	LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL
L8.1 ARCOM LANDSCAPE: DETAILS	LC SCOPE	02-07-2024	FIRST ARCOM SUBMITTAL



PROJECT LOCATION - NOT TO SCALE

GENERAL CONDITIONS:

UNLESS NOTED OTHERWISE HEREIN, THE GENERAL CONDITIONS OF THE STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR SHORT FORM AGREEMENT FOR SMALL CONSTRUCTION CONTRACT AIA DOC #A107 DATED 4/87 SHALL APPLY.

CONTRACTOR SHALL OBTAIN ALL INSPECTIONS & APPROVALS AS REQUIRED, INCLUDING CERTIFICATE OF OCCUPANCY.

SUBSTITUTIONS SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY THE LANDSCAPE ARCHITECT.

THE PREMISES SHALL BE KEPT REASONABLY CLEAN AT ALL TIMES.

AT THE COMPLETION OF WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, TOOLS, RUBBISH, ETC., CLEAN ALL GLASS, AND LEAVE WORK BROOM CLEAN, UNLESS OTHERWISE SPECIFIED.

CONTRACTOR SHALL CARRY LIABILITY INSURANCE TO PROTECT CONTRACTOR, OWNER AND ARCHITECT, AS WELL AS WORKMAN'S COMPENSATION IN AMOUNTS AS REQUIRED BY LAW. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES.

THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND THE LANDSCAPE ARCHITECT AND THEIR AGENTS AND EMPLOYEES FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEYS' FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK, PROVIDED SUCH CLAIM, DAMAGE, LOSS OR EXPENSE (A) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM, AND (B) IS CAUSED IN WHOLE OR IN PART BY ANY NEGLIGENT ACT OR OMISSION OF THE CONTRACTOR, OR SUBCONTRACTOR, ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY ANY OF THEM OR ANYONE FOR WHOM ACTS OF THEM MAY BE LIABLE, REGARDLESS OF WHETHER OR NOT IT IS CAUSED IN PART BY A PARTY INDEMNIFIED HEREUNDER.

ALL WORK AND MATERIALS INCLUDING BUT NOT LIMITED TO MASONRY, SWIMMING POOL, DRAINAGE AND GRADING, ELECTRICAL, AND CARPENTRY ARE TO BE CAREFULLY SUPERVISED BY THE CONTRACTOR TO BE SURE THAT THEY ARE IN ACCORDANCE WITH THE DRAWINGS, SPECIFICATIONS, APPLICABLE CODES AND GOOD PRACTICE. DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS SHALL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY SHOP DRAWINGS WHICH MAY BE REQUIRED.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE. ANY DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTIONS NOT REPORTED ONCE WORK HAS STARTED.

OWNERSHIP OF DOCUMENTS: THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF THE SERVICE AND SHALL REMAIN THE PROPERTY OF THE LANDSCAPE ARCHITECT WHETHER OR NOT THE PROJECT FOR WHICH THEY ARE MADE IS EXECUTED. THEY ARE NOT TO BE USED ON ANY OTHER PROJECT EXCEPT BY THE WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT.

DO NOT SCALE THE DRAWINGS. IF A DIMENSION IS NEEDED THAT DOES NOT EXIST ON THE DRAWINGS CONTACT THE LANDSCAPE ARCHITECT FOR ADDITIONAL INFORMATION.

CHANGE ORDERS, DELETIONS, ADDITIONS: ANY MODIFICATIONS TO WORK OUTLINED IN THE ATTACHED DRAWING(S), OR THE ASSIGNED APPROVED CONTRACT, MUST BE APPROVED IN WRITING BEFORE EXECUTING THE WORK. THIS INCLUDES, ADDITIONS, SUBSTITUTIONS, DELETIONS OR ADJUSTMENTS TO THE SCOPE OF APPROVED WORK. ANY INVOICES FOR ADDITIONAL WORK, THAT HAS NOT BEEN APPROVED IN WRITING, SHALL BE CONSIDERED INVALID AND WILL NOT BE FUNDED.

CORRECTION OF WORK: THE CONTRACTOR SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT AND SHALL REMEDY DEFECTS TO TO FAULTY MATERIALS OR WORKMANSHIP UPON WRITTEN NOTICE FROM THE LANDSCAPE ARCHITECT FOR A PERIOD OF (90) DAYS FROM THE DATE OF COMPLETION OF THE CONTRACT.

SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE LANDSCAPE ARCHITECT AT LEAST (7) DAYS BEFORE BEGINNING WORK. THE PURPOSE OF THE CONFERENCE IS TO REVIEW ANY QUESTION THE CONTRACTOR MAY HAVE REGARDING THE WORK, ADMINISTRATIVE PROCEDURES DURING CONSTRUCTION AND PROJECT WORK SCHEDULE.

DURING INSTALLATION KEEP THE SITE FREE OF TRASH, PAVEMENTS REASONABLE CLEAN, AND WORK AREA IN AN ORDERLY CONDITION AT THE END OF EACH DAY. ONCE INSTALLATION IS COMPLETE, WASH ALL SOIL FROM PAVEMENTS AND OTHER STRUCTURES.

SPECIFICATIONS

- ALL BIDS TO REFERENCE **BID SET DATED MONTH DAY, YEAR** AND THE SPECIFICATIONS INCLUDED ON THIS PAGE.

- THE FOLLOWING SPECIFICATIONS CORRESPOND TO THE LINE ITEMS LISTED ON THE ATTACHED BID SHEET. ALL CONTRACTORS MUST COMPLETE ATTACHED BID SHEET.

A. SITE PREPARATION & REMOVALS

1. UTILITY MARK-OUT: ALL EXISTING UTILITIES TO BE MARKED OUT PRIOR TO EXCAVATION. EXISTING WELLS, ELECTRIC, TELEPHONE, CABLE, GAS, SEPTIC, DRYWELLS, ETC. TO BE IDENTIFIED. MARK-OUT TO BE MAINTAINED THROUGHOUT DURATION OF PROJECT. PROPOSED UTILITIES TO BE MARKED OUT AND REVIEWED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. ALL UTILITIES DESIGNATED AS 'TO BE DEMOLISHED' SHALL BE UNHOOKED AT SOURCE (IE: TANK, PANEL) AND PROPERLY ABATED. CERTIFICATES & INSPECTIONS, WHERE APPLICABLE, ARE RESPONSIBILITY OF THE CONTRACTOR.

2. EXISTING VEGETATION CLEARING AND REMOVAL: ALL EXISTING VEGETATION DESIGNATED AS 'TO BE REMOVED' PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN** OR AS TAGGED IN FIELD PER LANDSCAPE ARCHITECT. ALL DEBRIS AND STUMPS ARE TO BE COMPLETELY REMOVED AND DUMPED OFF SITE.

3. HARDSCAPE DEMOLITION AND REMOVAL: EXISTING STRUCTURES DESIGNATED AS 'TO BE REMOVED' PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN**. ALL DEBRIS TO BE HAULED OFF SITE IN DUMPSTER(S) PROVIDED BY CONTRACTOR. DUMPSTER AND LAYOUT AS PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN**.

4. TRANSPLANTING: ALL EXISTING TREES AND SHRUBS DESIGNATED AS 'TO BE TRANSPANTED' PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN** OR AS TAGGED IN FIELD PER LANDSCAPE ARCHITECT. TRANSPANTED MATERIAL TO BE LOCATED IN STAGING AREA AS PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN**. CONTRACTOR TO REGULARLY MONITOR THE HEALTH OF TRANSPLANTS AND IRRIGATE BY HAND AT LEAST TWICE WEEKLY OR MORE AS NECESSARY THROUGHOUT DURATION OF CONSTRUCTION. TRANSPLANTS TO BE HEELED NO LESS THAN 12" INTO EXISTING GRADE AND MULCHED WITH 3" LAYER OF SHREDDED HARDWOOD MULCH. TRANSPLANT PRICE TO INCLUDE COST OF DIGGING, PLACING OR STAGING AND PLACING MATERIAL, AS INDICATED IN TRANSPLANT SCHEDULE. PLANTS TO RECEIVE ROOT GROWTH STIMULANT FOLLOWING RELOCATION, EITHER TO STAGING AREA OR FINAL LOCATION.

5. STRIP EXISTING LAWN: EXISTING LAWN TO BE STRIPPED AND HAULED AWAY. OR, COMPOSTED INTO PILES. WINDROWS TO RECEIVE ANNUAL RYE GRASS SEED TO CONTROL WIND EROSION AND DUST.

6. STRIP TOPSOIL: EXISTING TOPSOIL WITHIN THE PROJECT LIMIT OF DISTURBANCE IS TO BE STRIPPED AND STOCKPILED INTO 6' HT. WINDROWS AT THE STAGING AREA PER **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN**. ALL EXISTING TOP-SOIL TO REMAIN ON-SITE (UNLESS OTHERWISE NOTED).

7. EXPORT FILL: EXCESS FILL TO BE REMOVED AND HAULED OFFSITE. REVIEW QUANTITIES WITH LANDSCAPE ARCHITECT PRIOR TO REMOVAL.

8. EROSION CONTROL FENCING: LAYOUT AS PER SHEET **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

9. SITE PROTECTION FENCING: LAYOUT AS PER SHEET **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

10. UTILITY UPGRADE, RELOCATION, ABATEMENT: AS PER SHEET **SHEET L3.1 - DEMO, STAGING & TRANSPLANT PLAN**, CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT WITH ACCURATE AS BUILT LOCATIONS OF ALL NEW/REVISED UTILITY LINES.

B. GRADING AND DRAINAGE

1. ROUGH GRADING: PROVIDE AND PLACE CLEAN SANDY LOAM FILL TO AREAS AS INDICATED ON **SHEET L4.1 - GRADING AND DRAINAGE PLAN**. FILL TO BE PLACED IN 12" LIFTS AND TRACK COMPACTED. ALLOWANCE SHOULD BE MADE FOR LANDSCAPE CONTRACTOR TO INSTALL 6" OF TOPSOIL (OR SOIL MIX PER LANDSCAPE ARCHITECT) TO ALL LAWN AND PLANTING AREAS AS PER **SHEET L2.1 - SITE PLAN**.

2. SUB-SOILING: UPON COMPLETION OF ROUGH GRADING AND PRIOR TO THE SPREADING OF ANY TOPSOIL, SUB-SOILING SHALL OCCUR TO A DEPTH OF 18" AT ALL PROPOSED PLANTING AND LAWN LOCATIONS SHOWN ON **SHEET L5.1 - PLANTING PLAN**. SUB-SOILING TO BE DONE WITH A CULTIVATOR HOOK TO ALLEVIATE CONSTRUCTION COMPACTION. ALL EXISTING CLAY SOILS ENCOUNTERED DURING PLANTING BED PREPARATION TO BE HAULED OFF-SITE.

3. BED PREP OF PLANTING AREAS: BEDS TO BE FILLED WITH 'HUDSON RIVER PLANTING MIX - TYPE A', AS PER EAST COAST MINES.

4. IMPORTED TOPSOIL: TOPSOIL TO BE FERTILE AND FRIABLE. TOPSOIL TO CONTAIN LESS THAN 5% TOTAL VOLUME OF THE COMBINATION OF SUBSOIL, REFUSE, ROOTS LARGER THAN 1" DIAMETER, HEAVY, STICKY OR STIFF CLAY, STONES LARGER THAN 2" IN DIAMETER, NOXIOUS SEEDS, STICKS, BRUSH, LITTER, OR ANY SUBSTANCE DELETERIOUS TO PLANT GROWTH. TOPSOIL SHALL BE SUITABLE FOR GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. IMPORTED TOPSOIL SHALL NOT CONTAIN WEED SEEDS IN QUANTITIES THAT CAUSE NOTICEABLE WEED INFESTATIONS IN FINAL PLANTING BEDS.

4. IMPORTED COMPOST: COMPOST TO BE BLENDED AND GROUND LEAF WOOD AND OTHER PLANT BASED MATERIAL, COMPOSTED FOR A MINIMUM OF 9 MONTHS AND AT TEMPERATURE SUFFICIENT TO BREAK DOWN ALL WOODY FIBERS, SEEDS AND LEAF STRUCTURES, FREE OF TOXIC MATERIAL AT EXCEEDING 12". EACH LAYER SHALL BE COMPACTED WITH NO LESS THAN TWO (2) PASSES OF A VIBRATORY PAD TAMPER WEIGHING NO LESS THAN 500 POUNDS. COMPACTION SHALL ACHIEVE A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR).

4. IMPORTED SANDY FILL: SAND TO BE CLEAN AND FREE OF TOXIC MATERIALS.

5. RESPREAD EXISTING TOPSOIL: RESPREAD EXISTING TOPSOIL PERFORM AS NEEDED AS PER SHEET **SHEET L4.1 - GRADING & DRAINAGE PLAN**.

6. CLAY REMOVAL: ALL CLAY ENCOUNTERED DURING GRADING & DRAINAGE TO BE REMOVED AND HAULED OFF-SITE.

7. PRECAST DRYWELLS: PROVIDE AND INSTALL CONCRETE DRYWELLS LOCATED AND SIZED PER **SHEET L4.1 - GRADING AND DRAINAGE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

8. PLANTING & LAWN DRAIN INLET BOX: LAYOUT AND INSTALL DRAINS @ ASSOCIATED PIPING AS PER SHEET **SHEET L4.1 - GRADING PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

9. DRIVEWAY CATCH BASINS: LAYOUT AND INSTALL DRAINS @ ASSOCIATED PIPING AS PER SHEET **SHEET L4.1 - GRADING PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

10. SAND TRENCHES IN LAWN: LAYOUT AND INSTALL WICKS AS PER SHEET **SHEET L4.1 - GRADING PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. ALL CLAY ENCOUNTERED TO BE REMOVED AND HAULED OFF-SITE.

11. SAND TRENCHES IN LAWN: LAYOUT AND INSTALL WICKS AS PER SHEET **SHEET L4.1 - GRADING PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. ALL CLAY ENCOUNTERED TO BE REMOVED AND HAULED OFF-SITE.

12. MULCH: INSTALL A 3" LAYER OF SHREDDED HARDWOOD MULCH (HAMPTON ESTATE BLACK MULCH) TO ALL NEW SHRUB LOCATIONS.

C. DRIVEWAY

1. STEEL & STOCKPILE EXISTING DRIVEWAY BASE: EXISTING DRIVEWAY CURBING TO BE REMOVED AND HAULED OFF SITE. EXISTING DRIVEWAY SUB-BASE AND GRAVEL FINISH TO BE STRIPPED AND STOCKPILED FOR USE AS BASE MATERIAL IN PROPOSED DRIVEWAY LOCATION.

2. COMPACTED MARL BASE: PLACE 6-8" OF MARL SUB-BASE MIX INTO PROPOSED DRIVEWAY LOCATION SHOWN ON **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. MARL TO BE COMPACTED WITH A VIBRATORY COMPACTOR TO 20,000 PSI. MARL TO BE FREE OF ORGANIC MATERIAL.

3. STEEL DRIVEWAY EDGES: TO BE LAID OUT PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. STEEL EDGES TO BE 'HOT ROLLED' STEEL ONLY. ROUGH WELDS TO BE GROUND SMOOTH. STEEL SHALL PITCH A MINIMUM OF 1/8" PER FOOT AWAY FROM ALL STRUCTURES TO DRAINWAY DRAINS OR SLOPES AND DEGREE CORNERS TO BE (2) WELDED JOINTS. NO BENDS AT 90 DEGREE.

4. DRIVEWAY FINISH: TO BE LAID OUT PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. ASPHALT AGGREGATE TO HAVE A 1/2" TO 3/4" TOLERANCE. ASPHALT TO BE ROLLED WITH A VIBRATORY ROLLER TO 6,000 PSI. GRAVEL FINISH SAMPLE TO BE APPROVED BY LANDSCAPE ARCHITECT.

5. PVC SLEEVES: PROVIDE AND INSTALL 6" SCHEDULE 80 PVC CONDUIT SLEEVES IN ACCORDANCE WITH **SHEET L2.1 - SITE PLAN**. SLEEVES TO BE USED FOR FUTURE LIGHTING, IRRIGATION, ETC.

6. JEEP TRACK: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

7. GRASS PAVE GEOBLOCK PAVERS: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

8. DRIVEWAY APRONS: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

D. SWIMMING POOL

1. POOL AND SPA SPECS: **SEE SHEET L7.1**

E. GENERAL HARDSCAPES (MASONRY)

GENERAL NOTES:

- NO CONCRETE WORK SHALL BE PERMITTED DURING TEMPERATURES BELOW 40 DEGREES FAHRENHEIT AND FALLING. NO CONCRETE SHALL BE PLACED ON FROZEN SURFACES. NO ADDITIVES SHALL BE PERMITTED, UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT. ALL POURED WALLS, COLUMNS AND FOOTINGS SHALL REST ON VIRGIN SOIL. NO FOOTINGS SHALL BE SET HIGHER OR LOWER THAN 30 DEGREES ANGLE FROM ANOTHER FOOTING. SOIL BEARING CAPACITY SHALL BE ASSUMED TO BE MINIMUM 3000 PSI, SUBJECT TO FIELD INSPECTION.

- ALL CONCRETE TO BE MIN. 3000 PSI @ 28 DAYS, UNLESS OTHERWISE SPECIFIED BY LANDSCAPE ARCHITECT. PROVIDE ALL NECESSARY SLEEVES AND VENTS.

- REBAR SPACING AS SHOWN ON DETAILS SHEETS. SPLICE TOLERANCE OF 20x BAR DIAMETER MINIMUM. ALL STEEL REINFORCING BARS TO BE GRADE 60 STEEL UNLESS OTHERWISE SPECIFIED, WHERE CMU BLOCKING IS SPECIFIED USE ASTM 145 WITH FULL MORTAR BEDS AND FILL ALL CORES SOLID.

- GRANULAR FILL BELOW SLAB ON GRADE.

SOIL SHALL BE SAND AND GRAVEL MIXTURE WITH NO MORE THAN 5% PASSING THE 200 MESH SIEVE, FREE OF ORGANIC OR OTHER DELETERIOUS MATERIAL. WITH A MOISTURE CONTENT BETWEEN 3% AND 6%. IT SHALL BE PLACED IN HORIZONTAL LAYERS WITH A THICKNESS PRIOR TO COMPACTION NOT EXCEEDING 12". EACH LAYER SHALL BE COMPACTED WITH NO LESS THAN TWO (2) PASSES OF A VIBRATORY PAD TAMPER WEIGHING NO LESS THAN 500 POUNDS. COMPACTION SHALL ACHIEVE A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR).

CONTRACTOR SHALL FULLY GUARANTEE FOR THE PERIOD OF **TWO YEARS** ALL MASONRY WORK. ALL WORK SHALL BE DONE A WORKMANSHIP LIKE MANNER AND IN ACCORDANCE WITH STANDARD BUILDING PRACTICES.

1. FRONT ENTRY WALKWAY: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

2. DINING TERRACE: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

3. POOL TERRACE: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

4. OUTDOOR KITCHEN: LAYOUT AND INSTALL IN ACCORDANCE WITH **SHEETS L8 & L8 - GRILL ENCLOSURE DETAILS**, PROVIDE NATURAL GAS, ELECTRICAL AND WATER SERVICE TO GRILL LOCATION. ALL WORK TO COMPLY WITH LOCAL AND NYS FIRE CODES. PROVIDE AND INSTALL UNITS PER MANUFACTURERS SPECIFICATIONS.

5. MONOLITHIC STEPS AT FLOATING TERRACE: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

6. COMPACTED GRIT PATHWAYS: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

7. STEEL EDGING: LAYOUT AS PER SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

8. CUSTOM FIRE FEATURE: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH DETAILS SHOWN ON **SHEET L8 - MASONRY DETAILS**. PROVIDE NATURAL GAS AND ELECTRICAL SERVICE TO FIRE FEATURE LOCATION. PROVIDE AND INSTALL FIRE UNIT AS PER CODE REQUIREMENTS. PROVIDE AND INSTALL REMOTE IGNITION SYSTEM PER CODE REQUIREMENT. PROVIDE AND INSTALL QUICK DISCONNECT SYSTEM. PROVIDE AND INSTALL 1/2" LIMESTONE SET IN 2" MUD LAYER AND CONCRETE SLUMP FOOTING W/ (2) #4 REBAR EMBEDDED AND TIED @ 12" SPACING.

F. GENERAL CONSTRUCTION (SITE CARPENTRY)

1. DRIVEWAY GATES: PROVIDE PRICING FOR AUTOMATIC DRIVEWAY GATES AS SHOWN ON **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**. SUPPLY ALL GATE ELECTRIC, TELE-COMMUNICATION, AND TOUCH PADS AND CONTROLS. LEAVES FROM HOUSE. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECT'S APPROVAL.

2. POOL ENCLOSURE FENCE: PROVIDE AND INSTALL PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

3. CUSTOM POOL CODE PEDESTRIAN GATE (DOUBLE GATE): CONSTRUCT POOL GATE TO NYS CODE, AS SHOWN ON SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

4. CUSTOM POOL CODE PEDESTRIAN GATE (SINGLE GATE): CONSTRUCT POOL GATE TO NYS CODE, AS SHOWN ON SHEET **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

5. 6' HT. DOUBLE SIDED SOLID FENCE: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

6. 6' HT. SOUND ATTENUATION FENCE: LAYOUT AS PER **SHEET L8 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

7. CUSTOM ARBOR: LAYOUT AS PER **SHEET L8 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

8. CUSTOM POOL EQUIPMENT ENCLOSURE: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

9. CUSTOM TRASH ENCLOSURE: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

10. ACO WALL WITH FULL CRIBBING: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

11. CUTTING GARDEN RAISED BEDS: LAYOUT AS PER **SHEET L2.1 - SITE PLAN** AND IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

G. PLANTING

GENERAL NOTES:

- ALL PLANTS TO CONFORM TO THE ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK, MOST CURRENT EDITION. PLANTS TO CARRY A **FULL TWO YEAR GUARANTEE**. WARRANTY PERIOD TO BEGIN AT TIME OF SUBSTANTIAL COMPLETION. THE DATE AT THE END OF PLANTING, PLANTING SOIL, AND IRRIGATION INSTALLATION WHERE THE LANDSCAPE ARCHITECT ACCEPTS THAT ALL WORK IN THESE SECTIONS IS COMPLETE. PLANTS TO BE WATERED TWICE PER WEEK BY HAND UNTIL AUTOMATIC IRRIGATION SYSTEM IS OPERATIONAL. LAYOUT PLANTS ABOVE GROUND FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.

IN THE CASE OF A DISCREPANCY IN PLANT QUANTITIES BETWEEN THE PLAN DRAWINGS AND THE PLANT CALLOUTS, LIST OR PLANT

SCHEDULE, THE NUMBER OF PLANTS OR SQUARE FOOTAGE OF THE PLANTING BED ACTUALLY DRAWN ON THE PLAN SHALL BE DEEMED CORRECT AND PREVAIL.

PLANT SUBSTITUTIONS FOR PLANTS NOT AVAILABLE: SUBMIT ALL REQUESTS FOR SUBSTITUTIONS OF PLANT SPECIES, OR SIZE TO THE LANDSCAPE ARCHITECT, FOR APPROVAL, PRIOR TO PURCHASING THE PROPOSED SUBSTITUTION.

1. TREES: ALL TREES TO BE PLANTED IN ACCORDANCE WITH **DETAILS #, SHEET L8**.

2. EVERGREEN TREES: ALL TREES TO BE PLANTED IN ACCORDANCE WITH **DETAILS #, SHEET L8**.

3. SHRUBS: PROVIDE AND PLANT ALL SHRUBS AS INDICATED ON **SHEET L5.1 - PLANTING PLAN**.

4. GROUNDCOVERS, GRASSES & PERENNIALS: PROVIDE AND PLANT ALL GROUNDCOVERS, GRASSES & PERENNIALS AS INDICATED ON **SHEET L5.1 - PLANTING PLAN**.

5. SOD & FINE GRADING (INCLUDE TOPSOIL): SOD ALL LAWN AREAS PER **SHEET L5.1 - PLANTING PLAN**. FROM DEUT SOD FARMS, OR EQUAL. SOD TO BE CUT INTO 2' x 5' ROLLS AND SET IN STAGGERED ROWS. PRICE TO INCLUDE IMPORTED 'HUDSON RIVER PLANTING MIX- TYPE B, AS PER EAST COAST MINES. SOD TO INCLUDE ALL FINE GRADING AS PER **SHEET L8 - SITE PLAN** TO BE PERFORMED WITH A LIGHT TRACK MACHINE. ANY LOOSE GRAVEL OR DEBRIS AT SURFACE OF TOP-SOIL TO BE REMOVED USING METAL HAND RAKES.

H. TENNIS COURT

1. RE-SURFACE COURT, INSTALL GATES & NEW NET POSTS; PATCH AND LEVEL COURT AS NEEDED TO MEET ELEVATIONS SHOWN ON **SHEET L2.1 - SITE PLAN**. INSTALL TENNIS PLAYING SURFACE IN ACCORDANCE WITH **DETAIL #, SHEET L8**. FINISH COLOR COATING SAMPLES TO BE PROVIDED FOR REVIEW AND APPROVAL BY CLIENT & LANDSCAPE ARCHITECT. PROVIDE AND INSTALL NEW CUSTOM NET POSTS AND TENNIS NET. ALL COURT TENNIS OR EQUAL. PROVIDE AND INSTALL 6" LAYER OF GRAVEL AT TENNIS COURT BORDER - SAMPLE TO BE PROVIDED TO LANDSCAPE ARCHITECT FOR APPROVAL.

2. COURT RETAINING WALL: WALL TO BE 36" HT. REINFORCED CONCRETE INSTALLED IN ACCORDANCE WITH **DETAIL #, SHEET L8**.  
\* PROVIDE OPTION FOR STONE VENEER W/:  
- 8" THICK WALL W/ #4 REBAR @ 12" O.C.B.W.  
- PENN WALL STONE VENEER  
- 2" MUD LAYER W/ S.S. MASONRY CLIPS

3. COURT PLAYING SURFACE: COURT TO BE INSTALLED IN ACCORDANCE WITH THE DETAILS & SPECIFICATIONS SHOWN ON **SHEET L10 - COURT DETAILS**. COURT PERIMETER BORDER TO BE 8" x 12" LIMESTONE SET IN 2" MUD LAYER AND CONCRETE SLUMP FOOTING W/ (2) #4 REBAR EMBEDDED AND TIED @ 12" SPACING.

4. COURT DRAIN & DRYWELLS: DEDICATED COURT DRAIN INLET TO BE SET IN CONCRETE SLUMP FOOTING IN ACCORDANCE WITH **DETAIL #, SHEET #**. INLET TO BE TIED INTO (7) 4X8 PRECAST CONCRETE DRYWELL(S), W/ TRAFFIC BEARING COVERS AND ACCESS COVER AND AS INDICATED ON PLANS. DRYWELL(S) TO BE WRAPPED W/ FILTER FABRIC AND BACKFILLED W/ CLEAN SAND.

5. COURT FENCE: FENCE TO BE 5' HT. BLACK VINYL COATED CHAIN LINK FENCE INSTALLED IN ACCORDANCE WITH **DETAIL #, SHEET L8**.

I. LANDSCAPE LIGHTING

1. PROPOSED OUTDOOR LIGHT FIXTURES TO BE LAID OUT PER **SHEET L6.1 - ELECTRICAL PLAN** AND TIED INTO HOUSE SWITCH LOCATIONS. ALL WORK TO NYS ELECTRICAL CODE AND INSTALLED BY A LICENSED ELECTRICIAN. PROVIDE UL CERTIFICATE UPON COMPLETION. BUILDER TO PROVIDE EXTERIOR PULL BOXES FOR ALL CONNECTIONS. PROVIDE ABOVE GROUND MCKUP PRIOR TO BUYING WIRES. FINAL LOCATIONS OF TRANSFORMERS & PULL BOXES TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

J. IRRIGATION

1. TAP INTO EXISTING PUBLIC WATER SOURCE/EXISTING IRRIGATION WELL/PROPOSED IRRIGATION WELL. PROVIDE DEDICATED VALVE BOX, REGULATOR & BACKWASH VALVE AND 2 HORSEPOWER VARIABLE SPEED PUMP (MIN). FINAL LOCATION OF WELLS AND VALVE BOXES TO BE APPROVED BY LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.

2. INSTALL AUTOMATIC WATERING SYSTEM FOR ENTIRE PROPERTY. **HEADS TO HAVE 50% OVERLAP IN COVERAGE AT ALL BEACHGRASS LOCATIONS**. ALL NEW TREE & SHRUB PLANTINGS TO RECEIVE 'NETA-FIM' DRIP IRRIGATION AT THE MANUFACTURER'S RECOMMENDED SPACING. DRIP LINES TO BE STAPLED DOWN WITH 9" GALVANIZED U-STAPLES AT 12" O.C. AND COVERED WITH MULCH. DECIDUOUS TREES TO BE ON DEDICATED DRIP ZONE. EVERGREEN SCREEN TREES TO BE ON DEDICATED DRIP ZONE WITH 'NETA-FIM' SPIRALED OVER ENTIRE TREE PIT AT 8" O.C. PRIVET TO BE ON DEDICATED DRIP ZONE. PROVIDE (2) PRESSURIZED HOSE BIBS IN THE SYSTEM AND A PRESSURIZED BIB AT THE POOL EQUIPMENT. PROVIDE MINIMUM 18 ZONE CLOCK WITH SURGE PROTECTION. IRRIGATION CLOCK LOCATION TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE ITEMIZED BREAKDOWN OF INDIVIDUAL COMPONENTS OF SYSTEM INCLUDING NUMBER OF HEADS AND FEET OF DRIP.

3. CONTRACTOR SHALL WARRANTY ALL IRRIGATION WORKMANSHIP AND MATERIALS FOR A PERIOD OF **TWO FULL YEARS** FOLLOWING THE ACCEPTANCE OF THE WORK. WARRANTY PERIOD TO BEGIN AT TIME OF SUBSTANTIAL COMPLETION - THE DATE AT THE END OF PLANTING, PLANTING SOIL, AND IRRIGATION INSTALLATION WHERE THE LANDSCAPE ARCHITECT ACCEPTS THAT ALL WORK IN THESE SECTIONS IS COMPLETE.

LANDSCAPE ARCHITECTURE

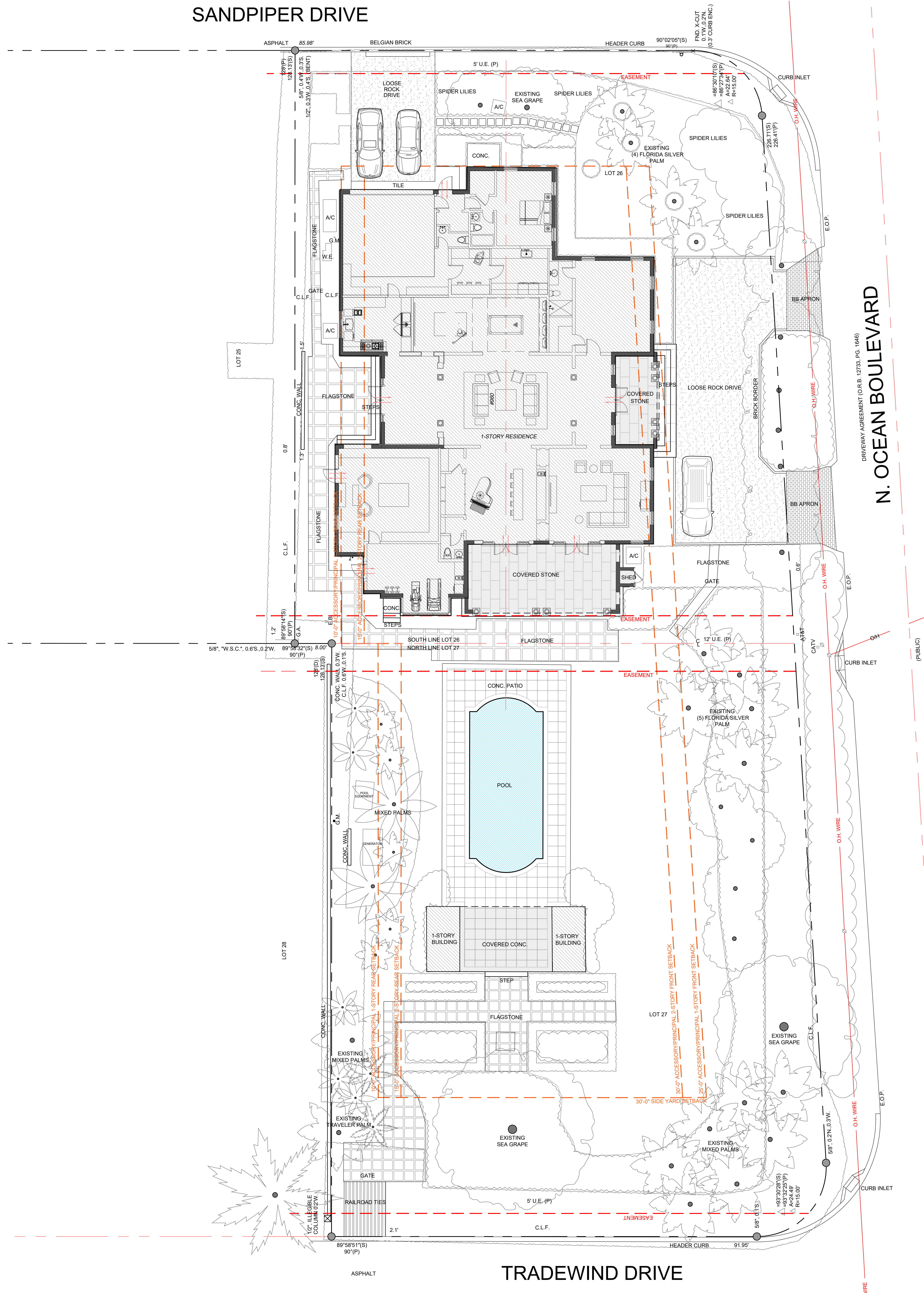


PROJECT DATA:  
BASED ON SURVEY BY:  
WALLACE SURVEYING CORP.  
JOB NO: 10-1040, DATED 06/27/23

PBCTM#: 50-43-43-10-24-000-0260

LOT AREA:

# SANDPIPER DRIVE



N. OCEAN BOULEVARD  
DRIVEWAY AGREEMENT (O.R.B. 12733, PG. 164f)

LANDSCAPE ARCHITECTURE

PROJECT DATA:  
BASED ON SURVEY BY:  
WALLACE SURVEYING CORP.  
JOB NO: 10-1040, DATED 06/27/23

PBCTMH:  
50-43-43-10-24-000-0260

LOT AREA:  
26,552 SF

ZONE:  
R-B | LOW DENSITY RESIDENTIAL  
( 50-PALM BEACH )

COVERAGE:  
SEE CHART

FLOOD ZONE:  
AE (EL. 6)

EASEMENT/OTHER:  
SEE PLAN



**CHANGE ORDERS, DELETIONS, ADDITIONS:**  
ANY MODIFICATIONS TO WORK OUTLINED IN THE ATTACHED DRAWING(S), OR THE ASSOCIATED APPROVED CONTRACT, MUST BE APPROVED IN WRITING BEFORE EXECUTING THE WORK. THIS INCLUDES, ADDITIONS, SUBSTITUTIONS, DELETIONS OR ADJUSTMENTS TO THE SCOPE OF APPROVED WORK. ANY INVOICES FOR ADDITIONAL WORK THAT HAS NOT BEEN APPROVED IN WRITING, SHALL BE CONSIDERED INVALID AND WILL NOT BE FUNDED.

PRELIMINARY  
NOT FOR CONSTRUCTION  
DATA SHOWN FOR DESIGN  
DEVELOPMENT ONLY

LaGuardia Design Landscape Architects  
38 Scuttle Hole Road  
Water Mill, NY 11976  
Phone: 631-726-1403  
Fax: 631-726-1478

These drawings & specifications are the property of LaGuardia Design Landscape Architecture P.C. & are for your use only with respect to this project. They are not to be used by the owner, contractor, sub-contractors or suppliers on other projects or for additions to this project outside the scope of the work. LaGuardia Design Landscape Architecture P.C. shall be deemed the author & retain all common law, statutory & other reserved rights, in addition to the copyrights. The design shown & described herein, including all technical drawings, are proprietary & confidential. No part of this design may be copied, exploited, in whole or in part without written authorization of LaGuardia Design Landscape Architecture P.C.  
 COPYRIGHT © 2019 ALL RIGHTS RESERVED

DRAWN BY: JL  
CHECKED BY: CL


LOCATION:  
960 N OCEAN BLVD  
PALM BEACH, FL 33480

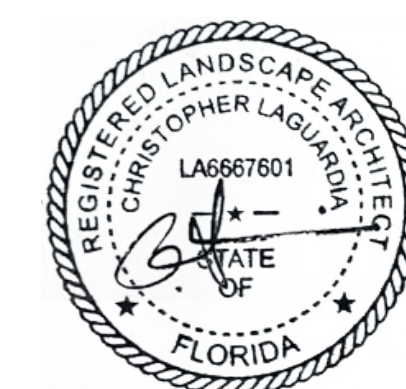
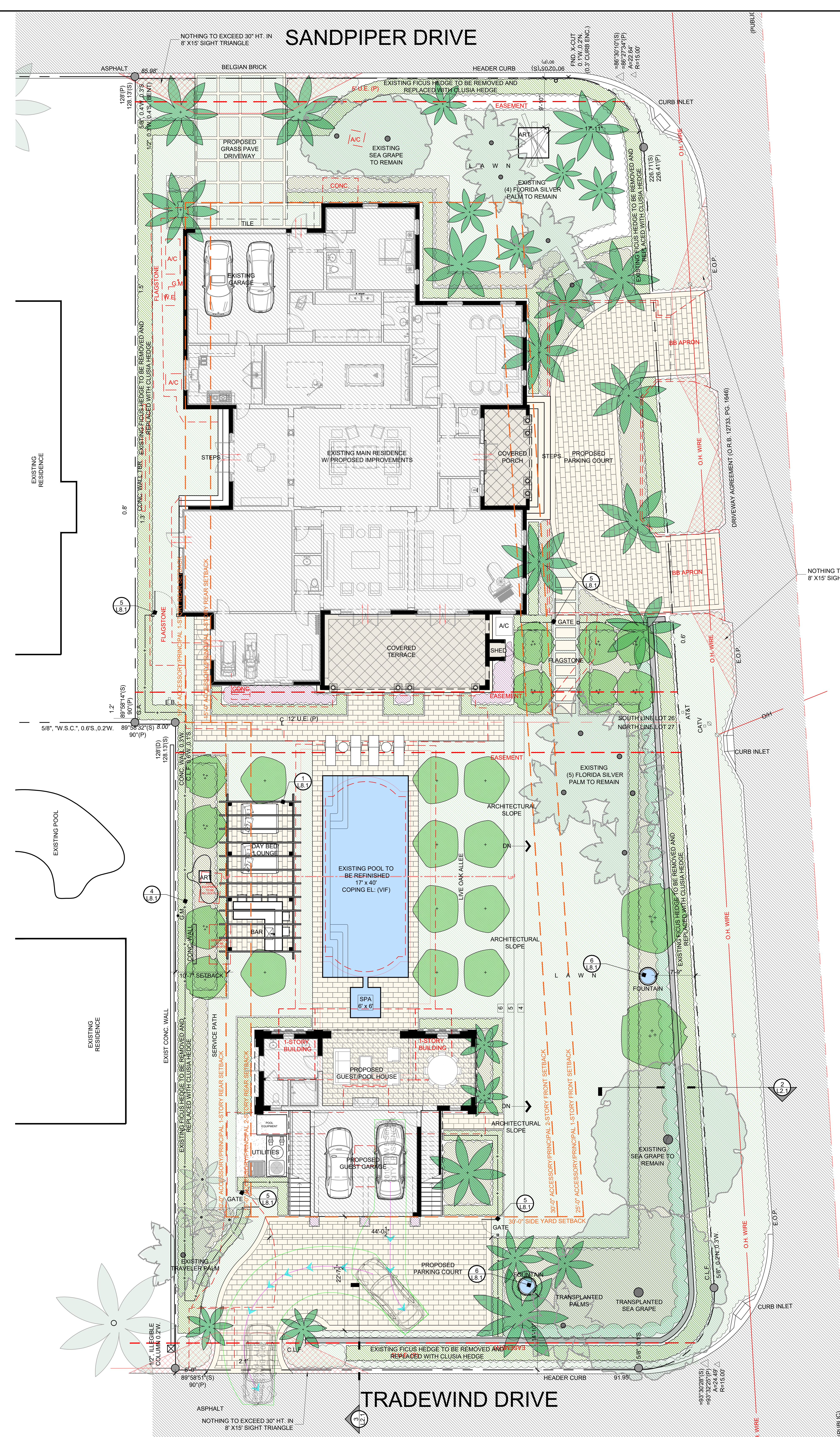
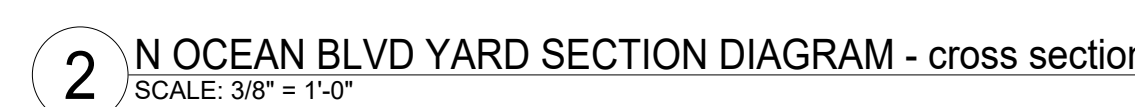
DRAWING:  
EXISTING CONDITIONS

SCALE: 1/8"=1'-0"	DATE: FEBRUARY 23, 2024
----------------------	----------------------------

ISSUED:  
- 01/26/2024 FOR REVIEW  
- 02/07/2024 FOR PERMIT  
- 02/26/2024 FOR PERMIT

SHEET NUMBER: 

L1.1 

EASEMENT/OTHER:  
SEE PLANL2.1 



1 NORTH ELEVATION - TRADEWIND DR  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION - SANDPIPER DR  
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION - N OCEAN BLVD  
SCALE: 3/16" = 1'-0"

PROJECT DATA:  
BASED ON SURVEY BY:  
WALLACE SURVEYING CORP.  
JOB NO. 10-1040, DATED 06/27/23  
  
PBCTM#:  
50-43-43-10-24-000-0260  
  
LOT AREA:  
26,552 SF  
  
ZONE:  
R-8 ( LOW DENSITY RESIDENTIAL  
( 50-PALM BEACH )  
  
COVERAGE:  
SEE CHART  
  
FLOOD ZONE:  
AE (EL. 6)  
  
EASEMENT/OTHER:  
SEE PLAN



ANY MODIFICATIONS TO WORK OUTLINED IN THE ATTACHED DRAWINGS, OR THE ASSOCIATED APPROVED CONTRACT, MUST BE APPROVED IN WRITING BEFORE EXECUTING THE WORK. THIS INCLUDES ADDITIONS, SUBSTITUTIONS, DELETIONS OR ADJUSTMENTS TO THE SCOPE OF APPROVED WORK. ANY REQUESTS FOR ADDITIONAL WORK, THAT HAS NOT BEEN APPROVED IN WRITING, SHALL BE CONSIDERED INVALID AND WILL NOT BE FUNDED.

PRELIMINARY  
NOT FOR CONSTRUCTION  
DATA SHOWN FOR DESIGN  
DEVELOPMENT ONLY

LaGuardia Design Landscape Architects  
38 Scuttle Hole Road  
Water Mill, NY 11976  
Phone 631-726-1403  
Fax 631-726-1476

These drawings & specifications are the property of LaGuardia Design Landscape Architects P.C. & are to be used only with respect to this project. They are not to be used by the owner, contractor, sub-contractor or suppliers on other projects or for additions to this project outside the scope of the work. LaGuardia Design Landscape Architects P.C. shall be deemed the author & owner of copyright, design & other reserved rights, in addition to the copyright. The design shown & described herein, including all technical drawings, will be proprietary & cannot be copied, duplicated, or commercially exploited, in whole or in part without written permission of LaGuardia Design Landscape Architects P.C. COPYRIGHT © 2019 ALL RIGHTS RESERVED

DRAWN BY: AML  
CHECKED BY: CL

PROJECT:  
CARDINALE RESIDENCE

LOCATION:  
960 N OCEAN BLVD  
PALM BEACH, FL 33480

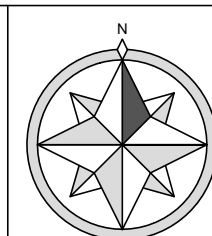
DRAWING:  
ELEVATIONS

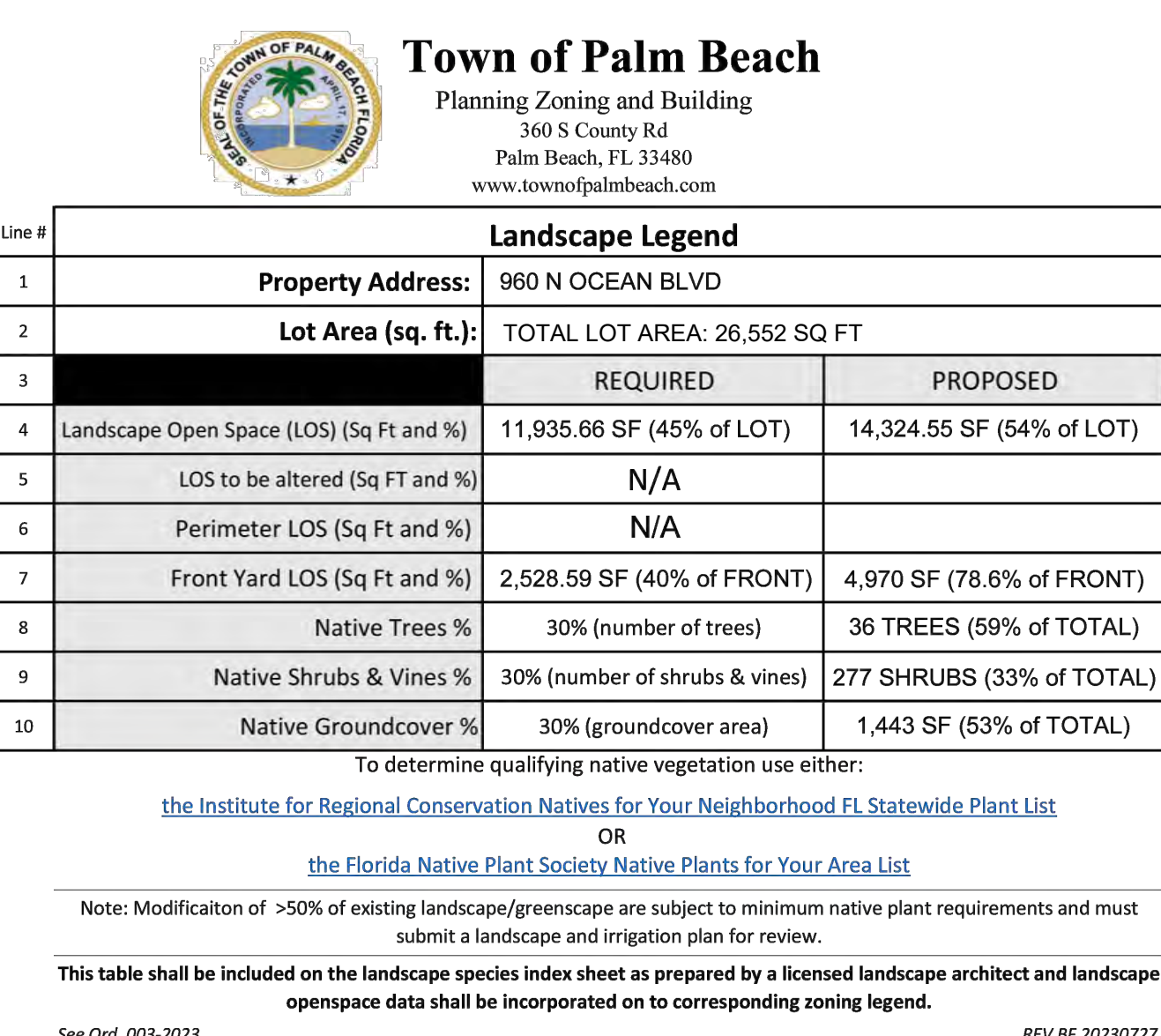
SCALE: AS SHOWN  
DATE: FEBRUARY 23, 2024

ISSUED:  
- 01/26/2024 FOR REVIEW  
- 02/07/2024 FOR PERMIT  
- 02/26/2024 FOR PERMIT

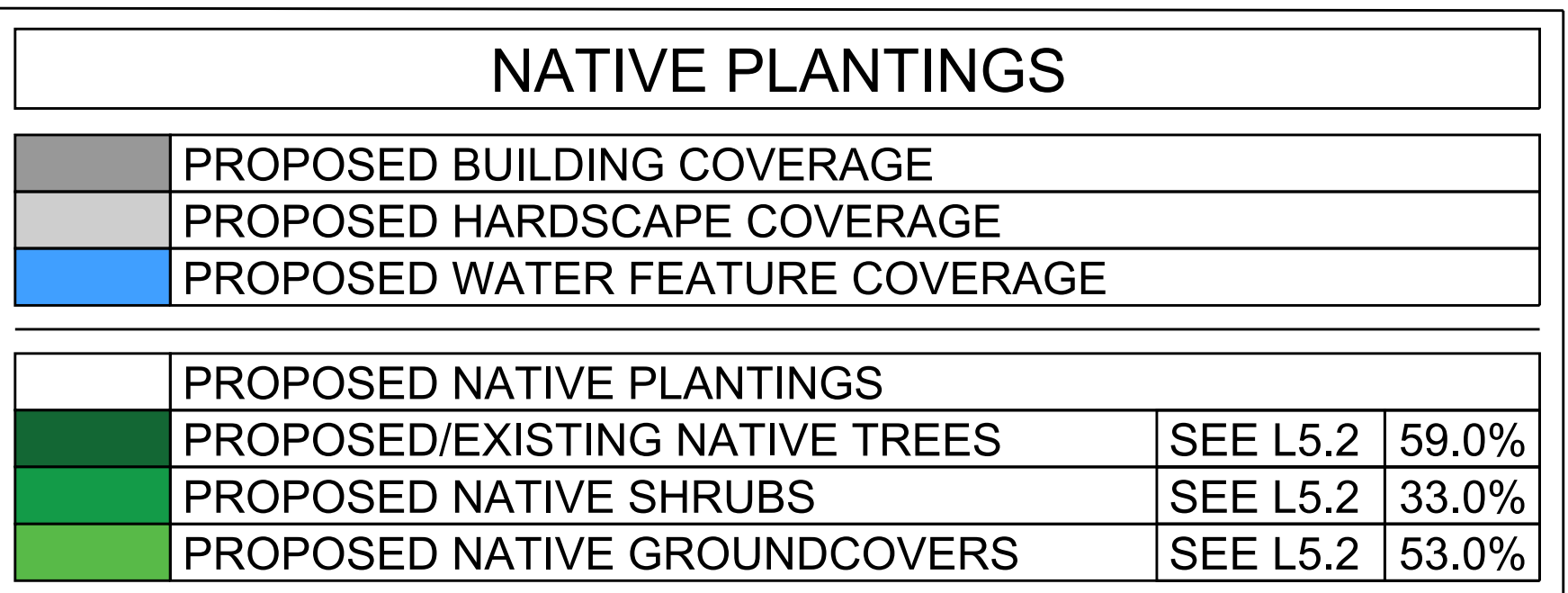
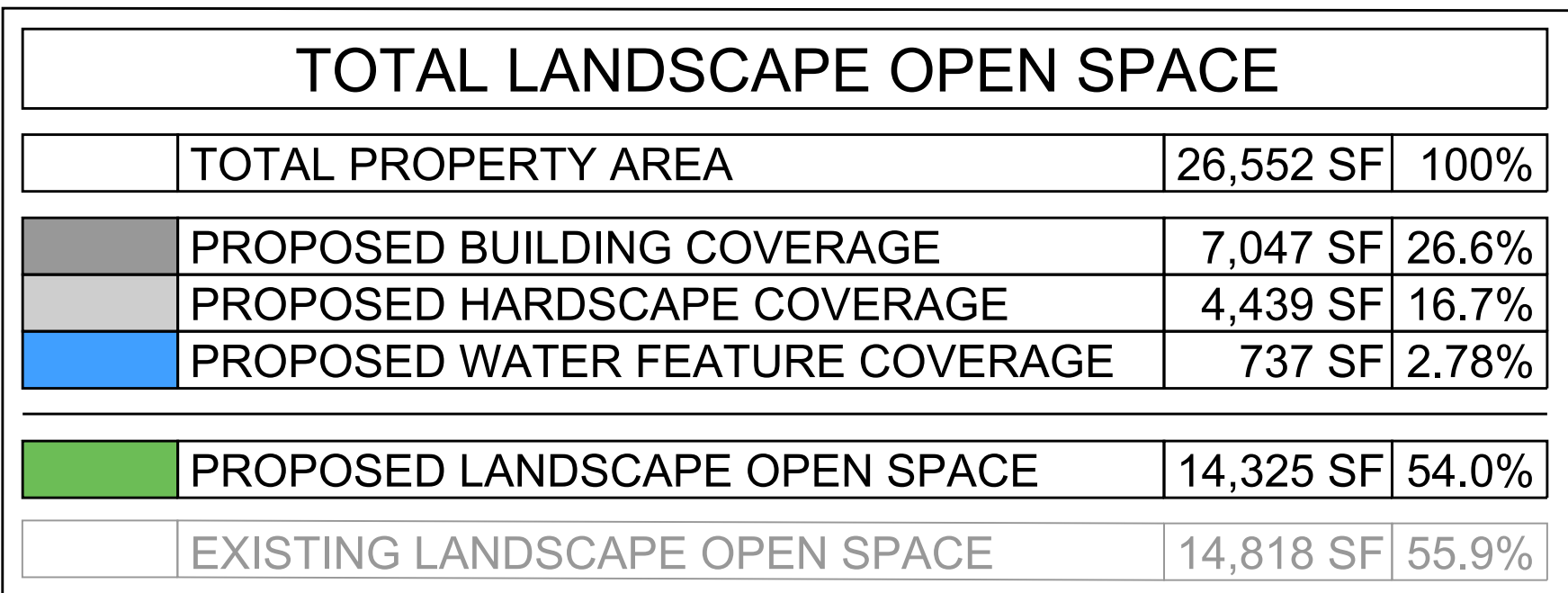
SHEET NUMBER:

L2.2





1	Landscape Legend		
2	Property Address:	960 N OCEAN BLVD	
3	Lot Area (Sq. Ft.):	TOTAL LOT AREA: 26,552 SQ FT	
4		REQUIRED	PROPOSED
5	Landscape Open Space (LOS) (Sq Ft and %)	11,935.66 SF (45% of LOT)	14,324.55 SF (54% of LOT)
6	LOS to be altered (Sq Ft and %)	N/A	
7	Perimeter LOS (Sq Ft and %)	N/A	
8	Front Yard LOS (Sq Ft and %)	2,528.59 SF (40% of FRONT)	4,970 SF (78.6% of FRONT)
9	Native Trees &	30 (number of trees)	36 TREES (59% of TOTAL)
10	Native Shrubs & Vines	30% (number of shrubs & vines)	277 SHRUBS (33% of TOTAL)
11	Native Grasses & Groundcover	30% (groundcover area)	1,443 SF (53% of TOTAL)

L5.1 5.1 5.1 

PROJECT DATA:  
BASED ON SURVEY BY:  
WALLACE SURVEYING CORP.  
JOB NO. 10-1040, DATED 06/27/23

PBCTM#: 50-43-43-10-24-000-0260

LOT AREA: 26,552 SF

ZONE: R-B I LOW DENSITY RESIDENTIAL (50-PALM BEACH)

COVERAGE: SEE CHART

FLOOD ZONE: AE (EL. 6)

EASEMENT/OTHER: SEE PLAN



ANY MODIFICATIONS TO WORK OUTLINED IN THE ATTACHED DRAWINGS, OR THE ASSOCIATED APPROVED CONTRACT, MUST BE APPROVED IN WRITING BEFORE EXECUTING THE WORK. THIS INCLUDES ADDITIONS, SUBSTITUTIONS, DELETIONS OR ADJUSTMENTS TO THE SCOPE OF APPROVED WORK. ANY INCREASES FOR ADDITIONAL WORK, THAT HAS NOT BEEN APPROVED IN WRITING, SHALL BE CONSIDERED INVALID AND WILL NOT BE FUNDED.

PRELIMINARY  
NOT FOR CONSTRUCTION  
DATA SHOWN FOR DESIGN  
DEVELOPMENT ONLY

LaGuardia Design Landscape Architects  
38 Scullie Hole Road  
Water Mill, NY 11976  
Phone: 631-726-1403  
Fax: 631-726-1478

These drawings & specifications are the property of LaGuardia Design Landscape Architects P.C. & are for use only with respect to the project. They are not to be used by the owner, contractor, sub-contractor or anyone else for any other purpose. The design shown is preliminary and is subject to change without notice. The design shown is preliminary and is subject to change without notice. The design shown is preliminary and is subject to change without notice.

DRAWN BY: JL  
CHECKED BY: CL

PROJECT: CARDINALE RESIDENCE

LOCATION: 960 N OCEAN BLVD  
PALM BEACH, FL 33480

DRAWING: PLANTING PLAN

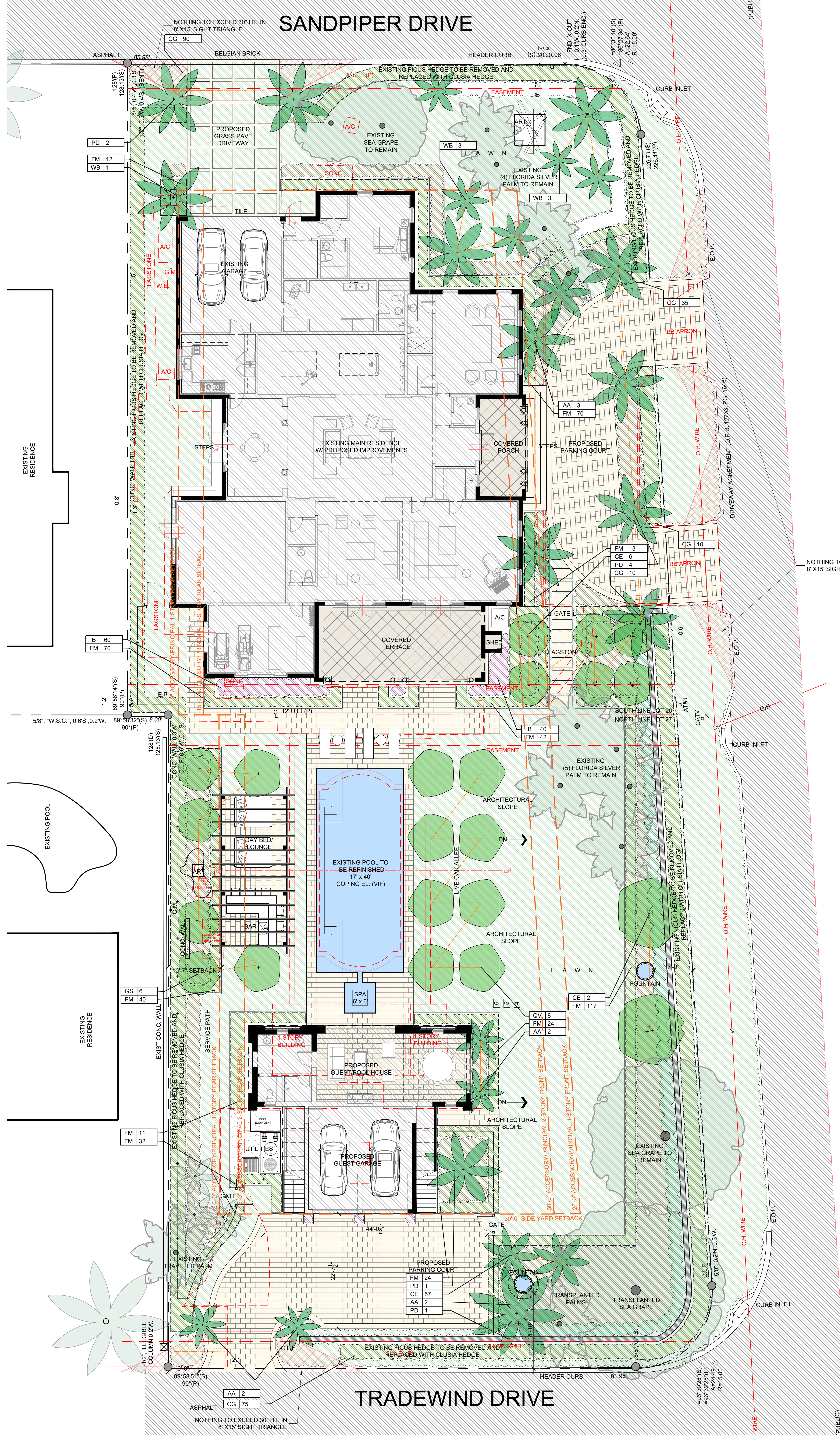
SCALE: DATE:  
3/32"=1'-0" FEBRUARY 23, 2024

ISSUED:  
- 01/26/2024 FOR REVIEW  
- 02/07/2024 FOR PERMIT  
- 02/26/2024 FOR PERMIT

SHEET NUMBER:

L5.2

## SANDPIPER DRIVE



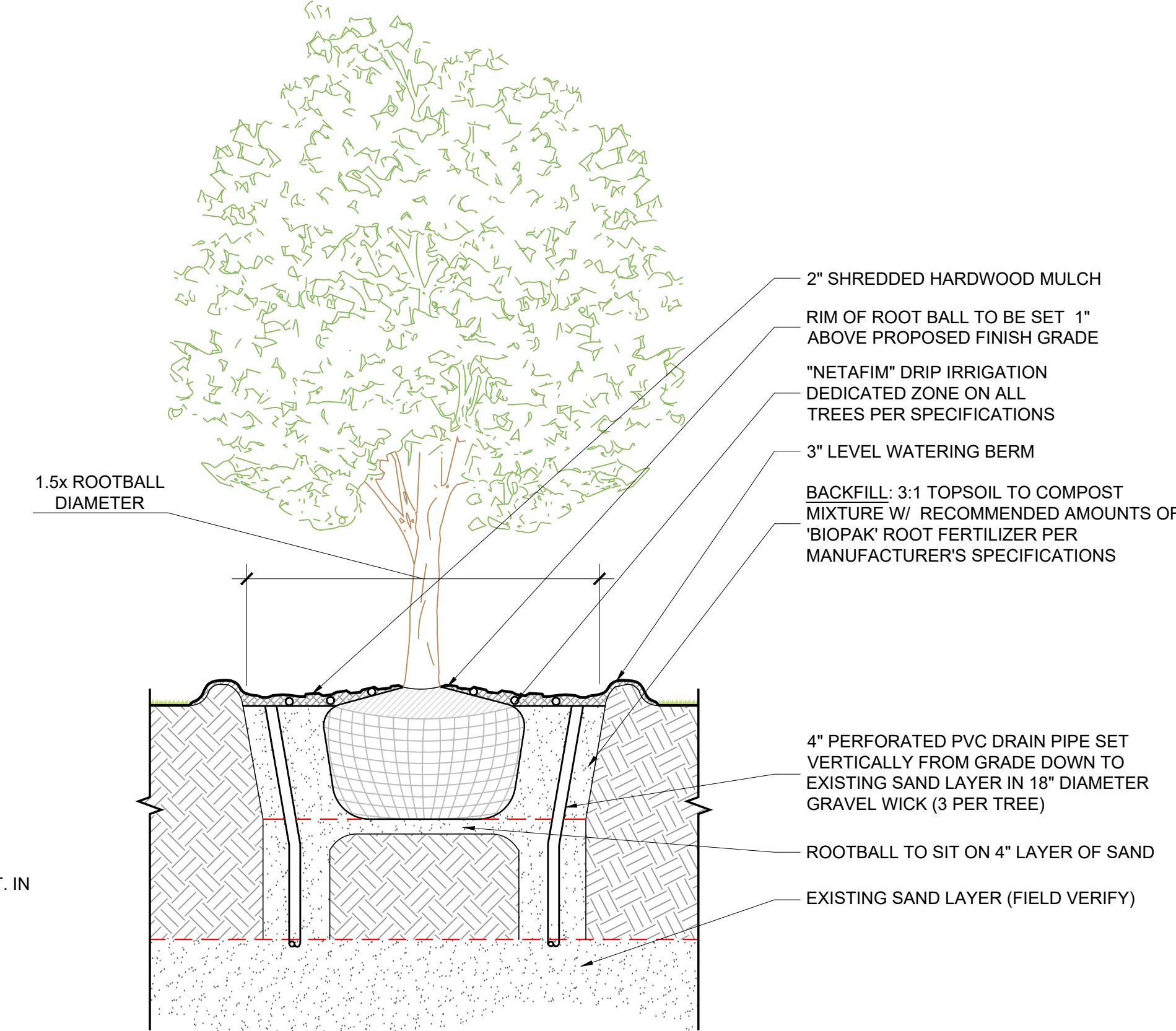
## GENERAL NOTES:

1. ALL EXISTING NATIVE AND NON-INVASIVE PLANTS WITHIN THE PROPOSED REVEGETATION AREA WILL BE INVENTORIED AND PRESERVED. ALL INVASIVE PLANT MATERIAL WITHIN THESE REVEGETATION AREAS WILL BE REMOVED BY HAND AND WILL BE REPLACED WITH NATIVE PLANT SPECIES AS INDICATED ON SHEET L4: PLANTING PLAN, DATED NOVEMBER 14, 2014.

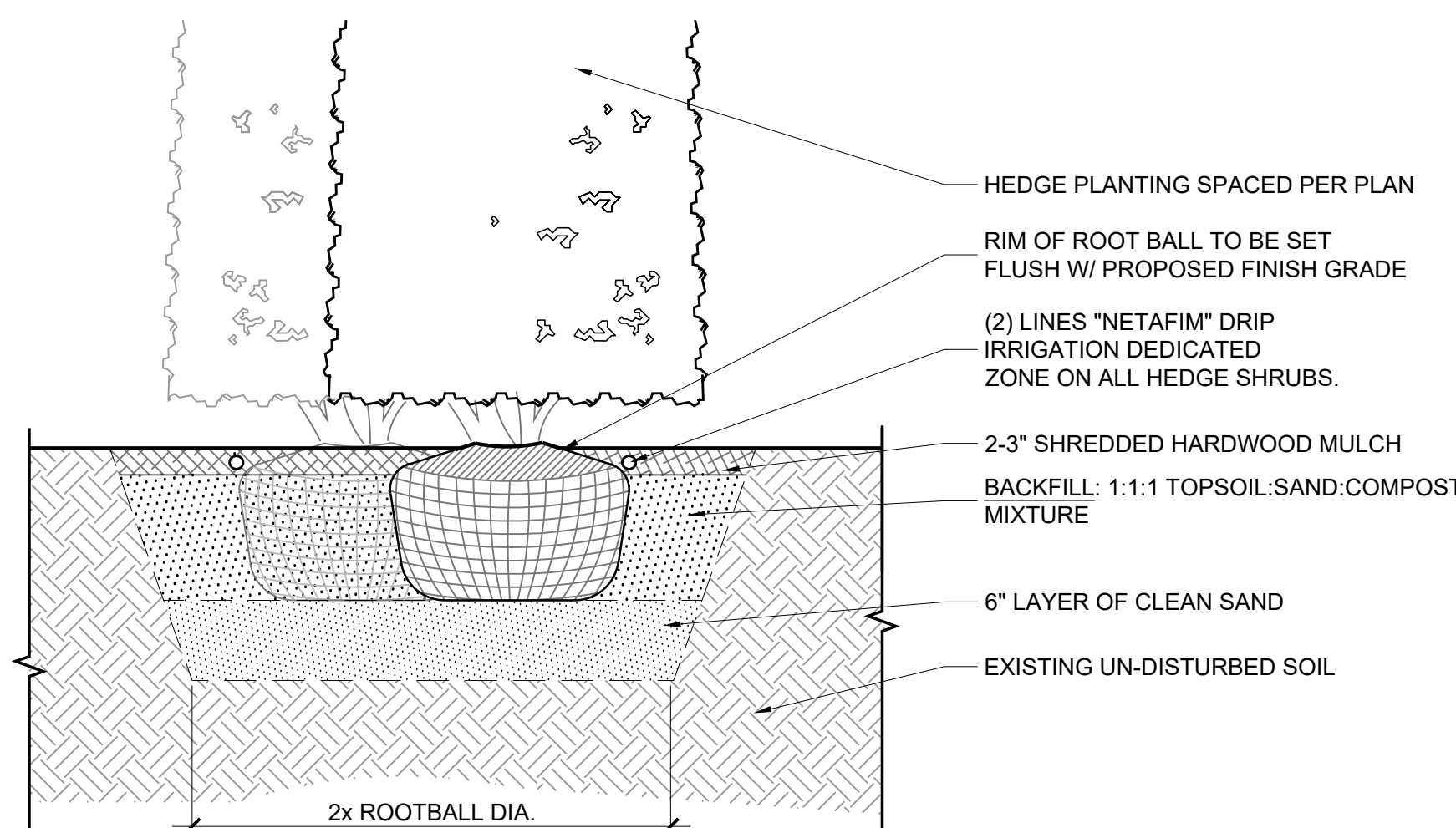
2. ALL NATIVE FESCUE LAWN AREAS WILL BE SEEDED WITH A NATIVE FESCUE SEED MIX CONSISTING OF THE FOLLOWING:

- FESCUE RUBRA: CREEPING RED FESCUE
- FESCUE LONGIFOLIA: HARD FESCUE
- FESCUE OVINA: SHEEP FESCUE

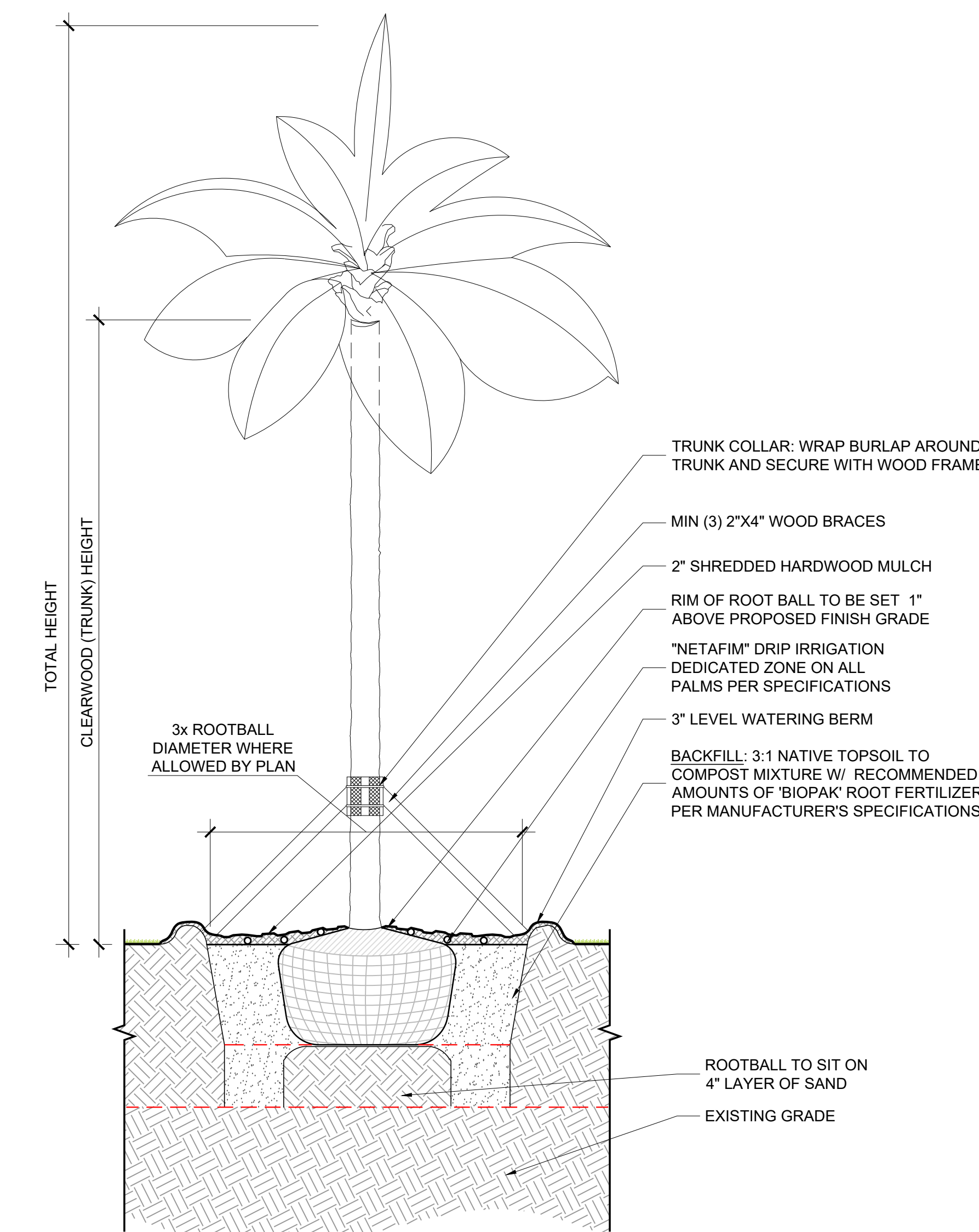
THESE NATIVE FESCUE LAWN AREAS WILL NOT BE FERTILIZED FOR ESTABLISHMENT OR ANY OTHER REASON. A DEDICATED IRRIGATION ZONE WILL BE CREATED FOR ALL NATIVE FESCUE LAWN AREAS SO THAT IRRIGATION CAN BE LIMITED TO ESTABLISHMENT.



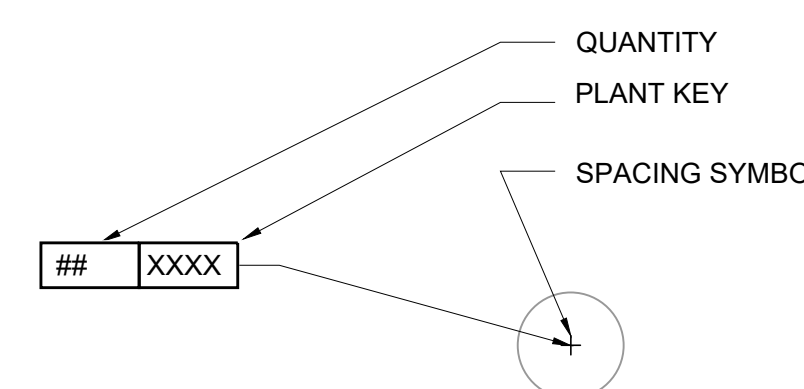
1 TREE PLANTING - detail section  
SCALE: 3/8" = 1'-0"



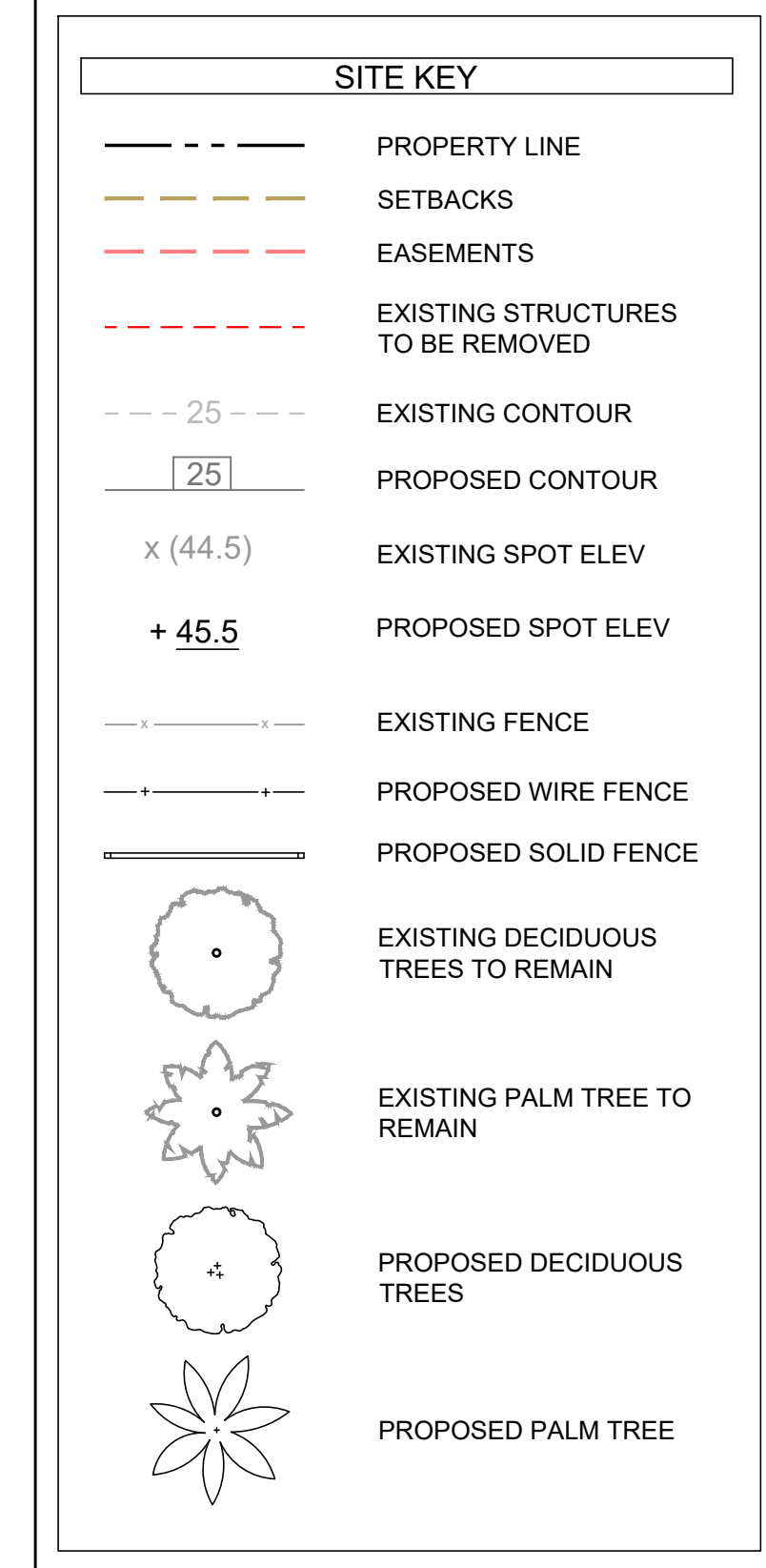
2 SHRUB / HEDGE PLANTING - detail section  
SCALE: 1" = 1'-0"

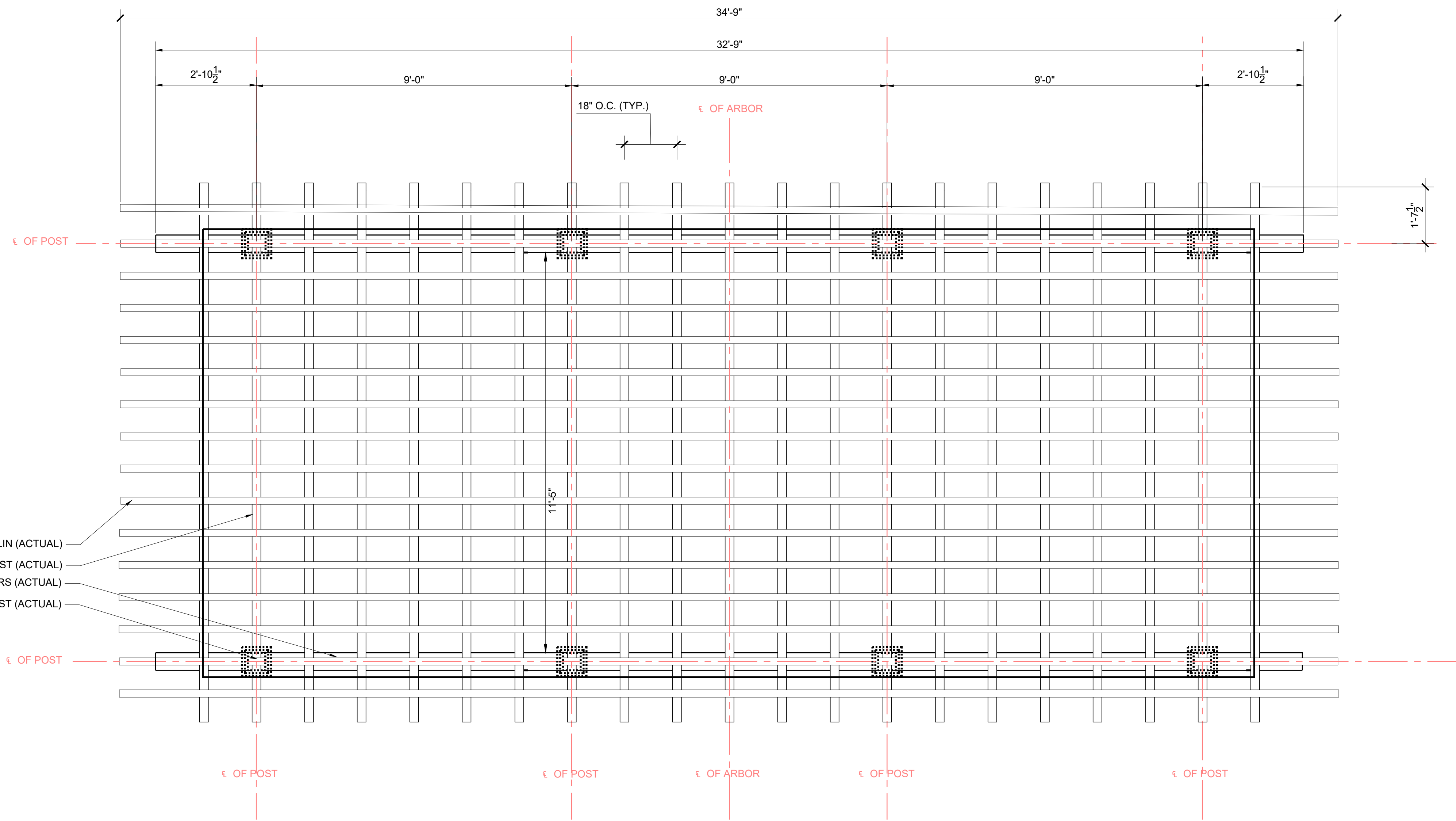


3 PALM PLANTING - detail section  
SCALE: 3/8" = 1'-0"



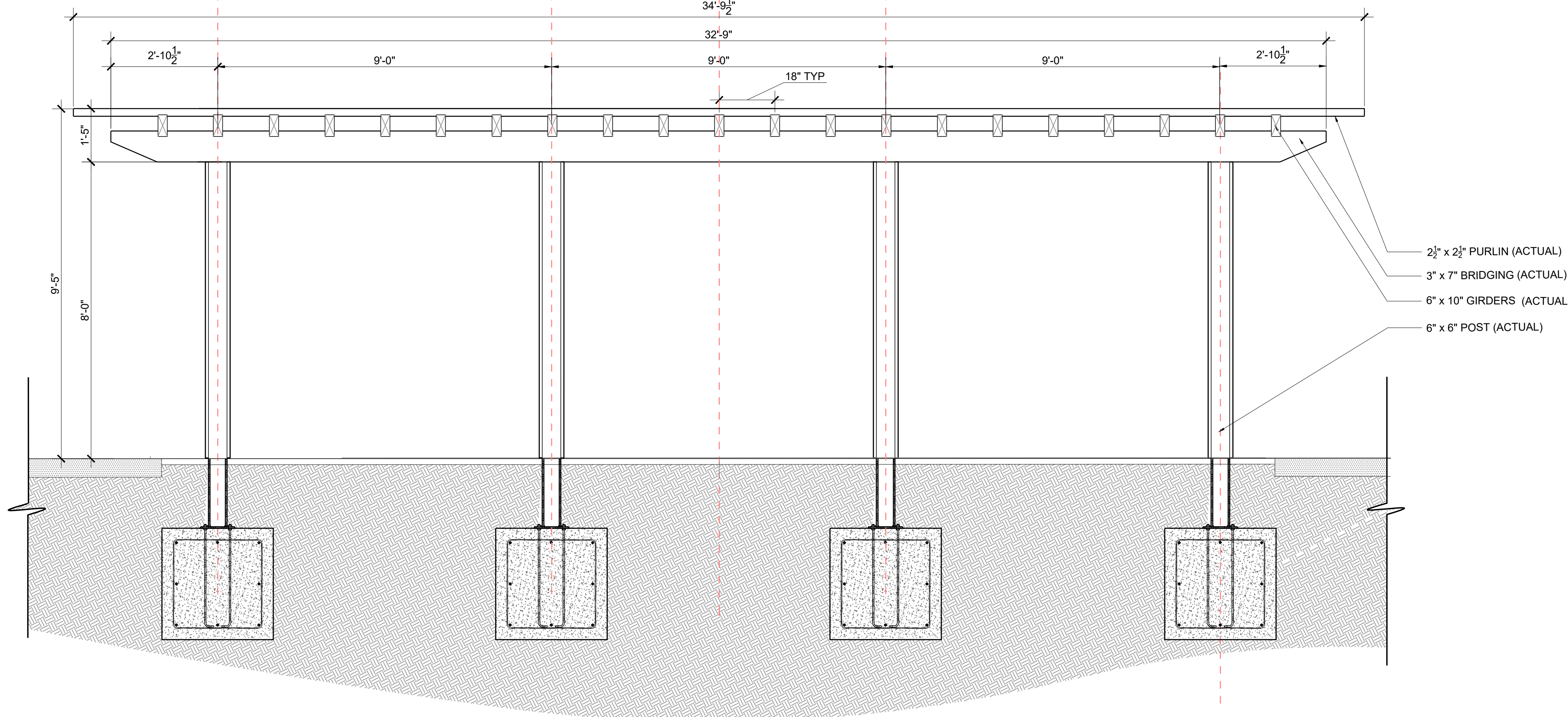
PLANT LIST									
SYMB	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE	MINIMUM FL PLANT GRADE	SPACING	NATIVE	NOTES
TREES									
CE	6	Green Buttonwood	Conocarpus erectus	4-5' CAL.	FANCY	-	-	Y	SPECIMEN TREES, LIMBED UP TO 7'
BS	2	Gumbo-limbo	Bursera simaruba	8-9' CAL.	FANCY	-	-	Y	SPECIMEN TREES
GS	6	Lignum vitae	Guaiacum sanctum	12-14' HT.	FANCY	-	-	Y	SPECIMEN TREES
QV	8	Live Oak	Quercus virginiana	8-9' CAL.	FANCY	-	-	Y	SPECIMEN TREES, LIMBED UP TO 7'
TOTAL	22							% NATIVE	59%
PALMS									
AA	9	Alexandra palm	Archontophoenix alexandrae	18' HT.	#1 OR BETTER	-	-	-	
PD	8	Date Palm	Phoenix dactylifera	14-16' HT.	FANCY	-	-	-	
WB1	4	Foxtail palm	Wodyetia bifurcata	12-14' HT.	#1 OR BETTER	-	-	-	
WB2	3	Foxtail palm	Wodyetia bifurcata	16' HT.	#1 OR BETTER	-	-	-	
TOTAL	24							% NATIVE	00%
SHRUBS / HEDGES									
CE	57	Green Buttonwood	Conocarpus erectus	4-5' HT.	#1 OR BETTER	36" O.C.	-	Y	HEAVY, HEDGE ALONG INTERIOR OF WALL
FM	455	Green Island Ficus	Ficus microcarpa 'Green Island'	5 GAL.	#1 OR BETTER	18" O.C.	-	-	
CG	220	Small Leaf Clusia	Clusia guttifera	7-8' HT.	#1 OR BETTER	36" O.C.	-	Y	REPLACE ALL EXISTING FICUS W/ CLUSIA HEDGE
TOTAL	1,918							% NATIVE	33%
GROUND COVER / PERENNIAL									
AA	42	Spineless Agave	Agave attenuata	3 GAL.	#1 OR BETTER	36" O.C.	-	-	
CI	529	Coccoloba	Chrysobalanus icao	1 GAL.	#1 OR BETTER	12" O.C.	-	Y	
CM	585	Natal Plum	Carissa macrocarpa	1 GAL.	#1 OR BETTER	12" O.C.	-	-	
HI	247	Mangrove Spiderlily	Hymenocallis latifolia	1 GAL.	#1 OR BETTER	18" O.C.	-	Y	
Sr	64	Bird of paradise	Strelitzia reginae	7 GAL.	#1 OR BETTER	36" O.C.	-	-	
TOTAL	2,722	Sq Ft						% NATIVE	53%
SOD									
		3,800	Bentgrass	Agrostis stolonifera	Sod	-	-	-	



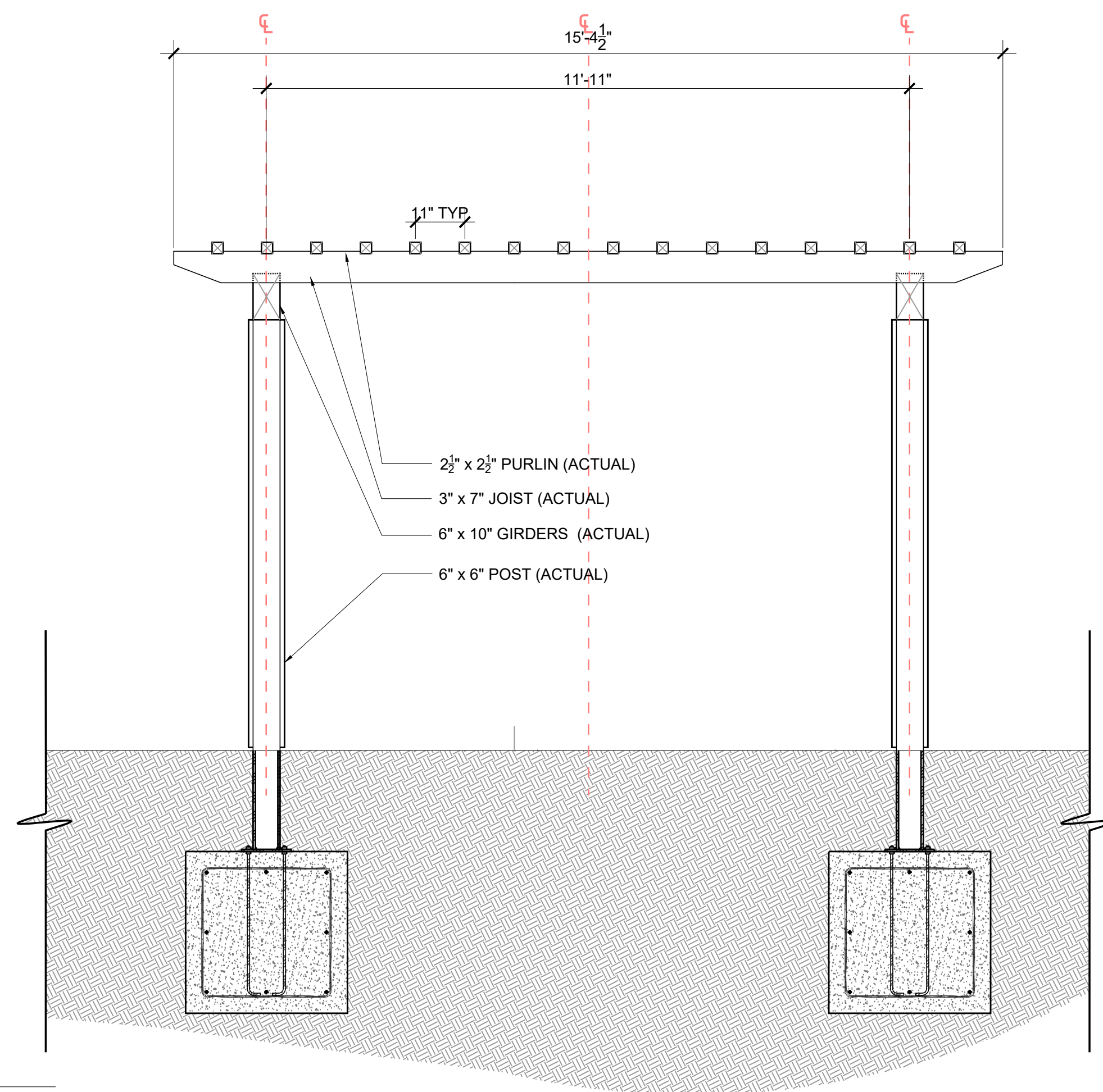


1 ARBOR PLAN  
SCALE: 1/2" = 1'-0"

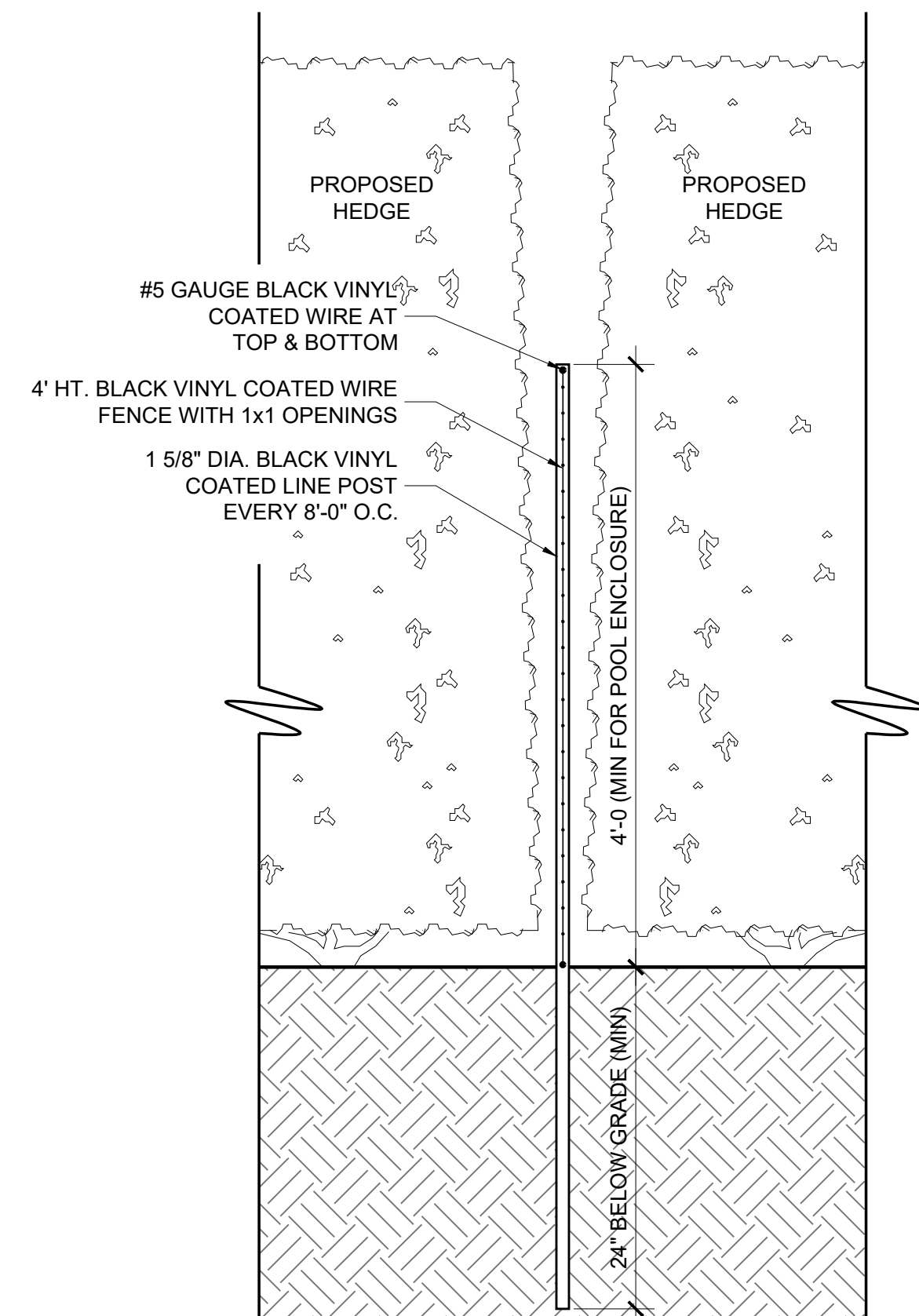
NOTES:  
1. ALL FINISHED WOOD TO BE CLEAR MAHOGANY  
2. JOINTS TO BE FASTENED WITH BRUSHED STAINLESS STEEL HEX-HEAD SCREWS, AND EXTERIOR GRADE WATERPROOF GLUE.



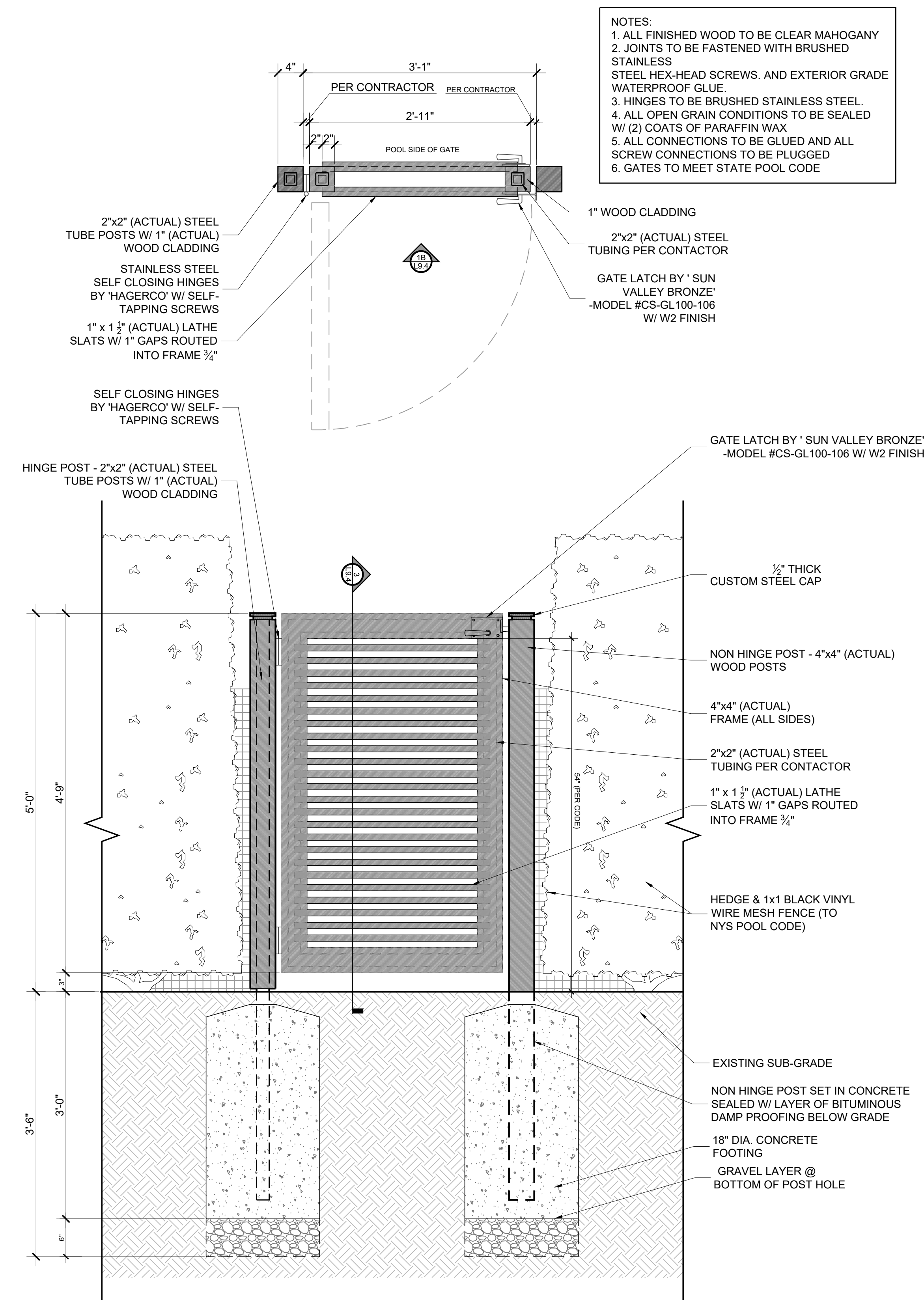
2 ARBOR EAST/WEST SECTION  
SCALE: 1/2" = 1'-0"



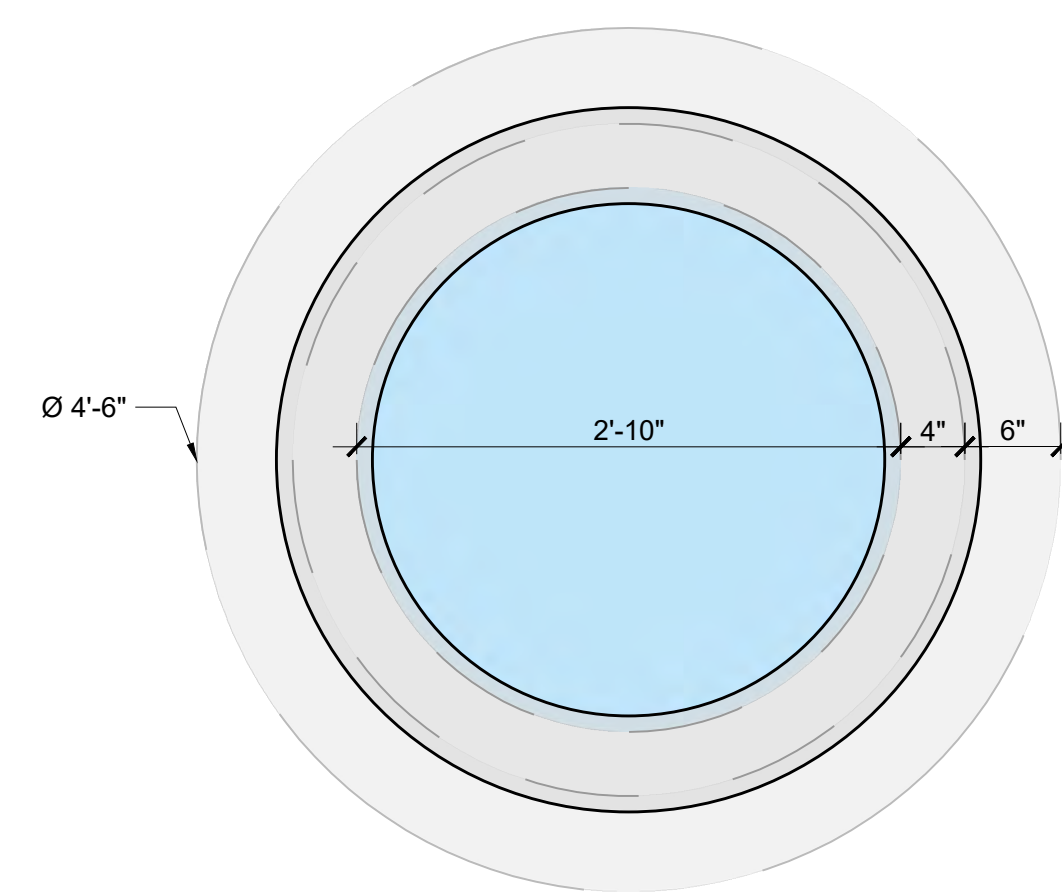
3 ARBOR NORTH/SOUTH SECTION  
SCALE: 1/2" = 1'-0"



4 POOL CODE FENCE IN HEDGE - detail section  
SCALE: 1" = 1'-0"



5 POOL CODE PEDESTRIAN GATE  
SCALE: 1" = 1'-0"



6 FOUNTAIN - detail section  
SCALE: 1" = 1'-0"

PROJECT DATA:  
BASED ON SURVEY BY:  
WALLACE SURVEYING CORP.  
JOB NO. 10-1040, DATED 06/27/23

PBCTM#: 50-43-43-10-24-000-0260

LOT AREA: 26,552 SF

ZONE: R-B (LOW DENSITY RESIDENTIAL (50-PALM BEACH))

COVERAGE: SEE CHART

FLOOD ZONE: AE (EL. 6)

EASEMENT/OTHER: SEE PLAN



ANY MODIFICATIONS TO WORK OUTLINED IN THE ATTACHED DRAWINGS, OR THE ASSOCIATED APPROVED CONTRACT, MUST BE APPROVED IN WRITING BEFORE EXECUTING THE WORK. THIS INCLUDES ADDITIONS, SUBSTITUTIONS, DELETIONS OR ADJUSTMENTS TO THE SCOPE OF APPROVED WORK. ANY MODIFICATIONS FOR ADDITIONAL WORK, THAT HAS NOT BEEN APPROVED IN WRITING, SHALL BE CONSIDERED INVALID AND WILL NOT BE FUNDED.

PRELIMINARY  
NOT FOR CONSTRUCTION  
DATA SHOWN FOR DESIGN  
DEVELOPMENT ONLY

LaGuardia Design Landscape Architects  
38 Scullie Hole Road  
Water Mill, NY 11976  
Phone 631-726-1403  
Fax 631-726-1478

These drawings & specifications are the property of LaGuardia Design Landscape Architects P.C. & are for use solely with respect to this project. They are not to be used by the owner, contractor, sub-contractors or suppliers on other projects or for additions to this project outside the scope of the work. LaGuardia Design Landscape Architects P.C. shall be deemed the author & owner of all drawings, designs & other reserved rights, in addition to the copyright. The design shown & described herein, including all technical drawings, are proprietary & cannot be copied, duplicated, or commercially exploited, in whole or in part without written permission of LaGuardia Design Landscape Architects P.C. (Copyright © 2013 AIA, Rights Reserved)

DRAWN BY: JL  
CHECKED BY: CL

PROJECT:  
CARDINALE RESIDENCE

LOCATION:  
980 N OCEAN BLVD  
PALM BEACH, FL 33480

DRAWING:  
DETAILS

SCALE: AS SHOWN  
DATE: FEBRUARY 23, 2024

ISSUED:  
- 01/26/2024 FOR REVIEW  
- 02/07/2024 FOR PERMIT  
- 02/26/2024 FOR PERMIT

SHEET NUMBER: