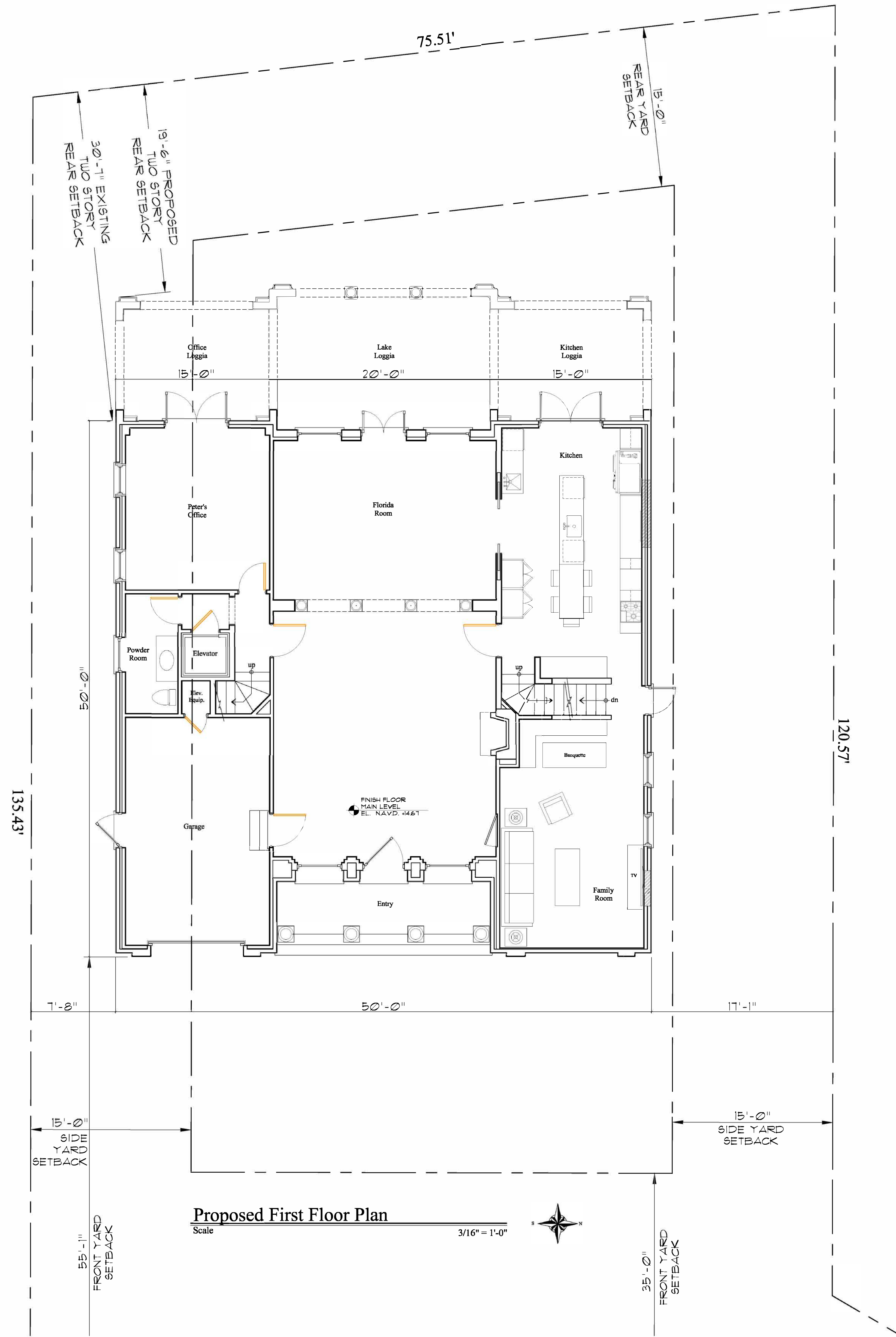
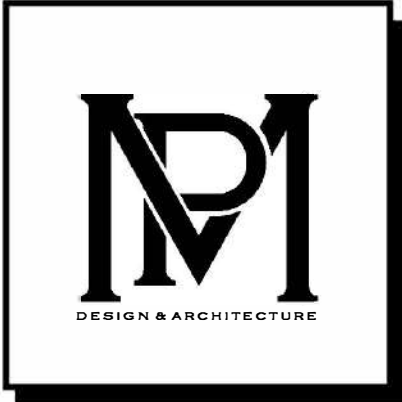




HSB-23-007
ZON-23-095



COMM NO.
2305

DATE
01/03/24

REVISIONS

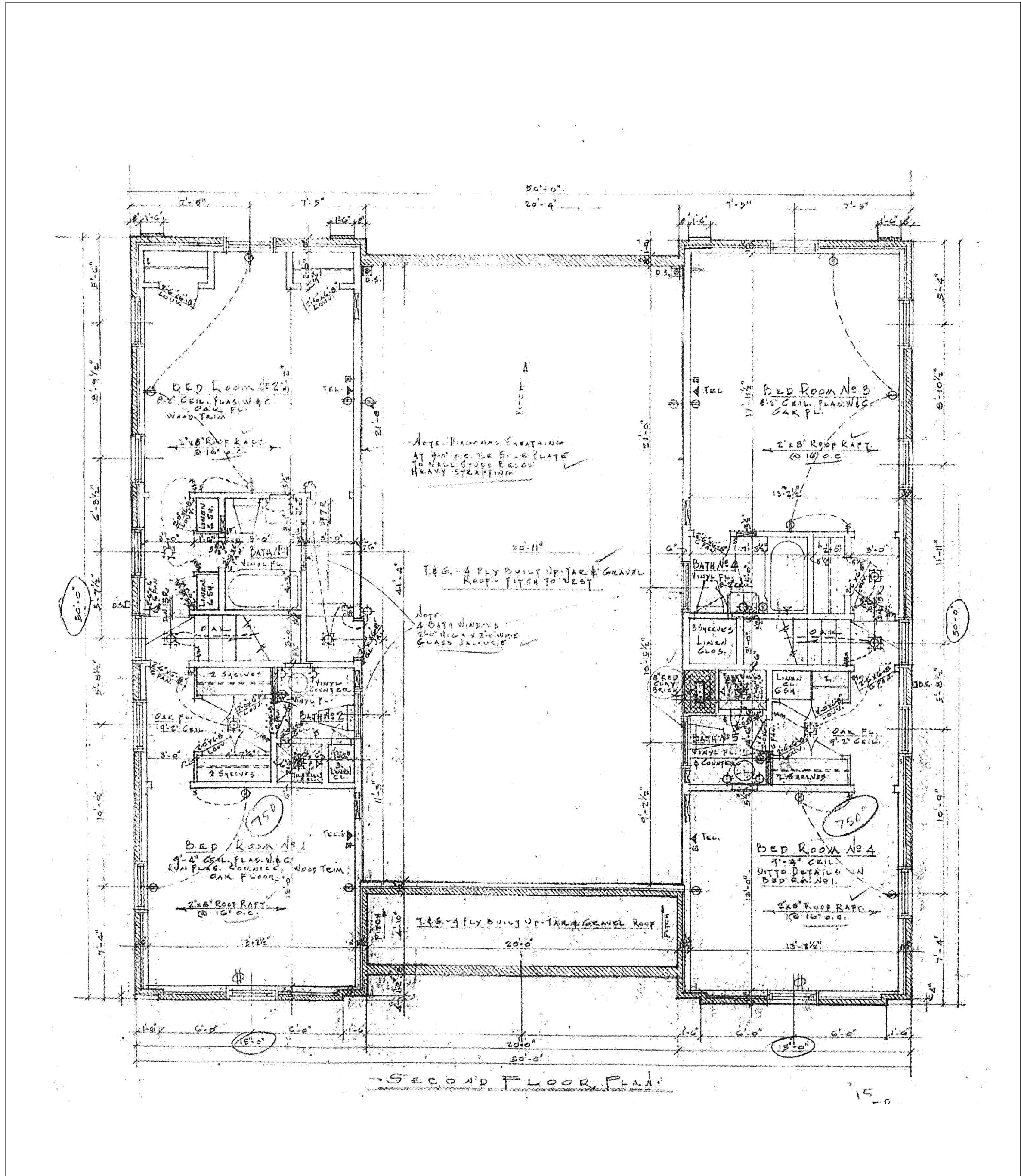
Renovations to
124 Parc Monceau

124 Parc Monceau
Palm Beach FL 33480

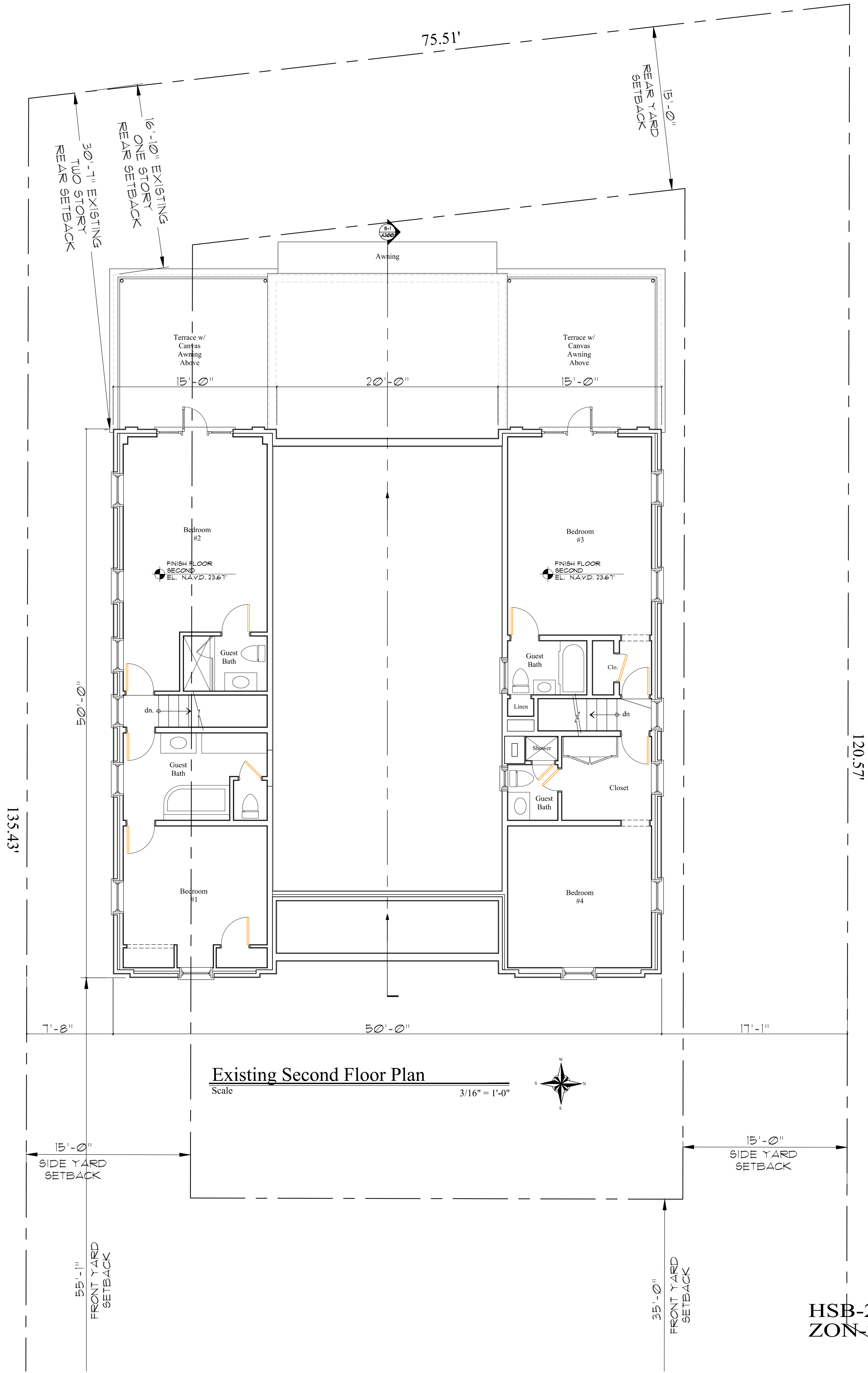


MP DESIGN &
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217 PERUVIAN AVENUE, SUITE 4
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561.833.7575
AA26001667

SHEET NO.
A105



Original Second Floor Plan
Scale 3/16" = 1'-0"



Existing Second Floor Plan
Scale 3/16" = 1'-0"



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2305

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12/04/2023

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Renovations to
124 Parc Monceau

Palm Beach FL 33480



ANGEL G. DAVILA, AIA
FLORIDA REGISTERED ARCHITECT
#AR0016639

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561.833.7575
AA260001667

SHEET NO.
A102

Wall Legend

EXISTING CMU WALL TO REMAIN - REMOVED ALL EXISTING INTERIOR FURRING AND DRYWALL

EXISTING TO BE REMOVED

EXISTING INTERIOR PARTITION TO REMAIN - REMOVED ALL EXISTING DRYWALL AND INSULATION

EXISTING FLOOR PLAN-USABLE/OPEN SPACE 2234 SQUARE FEET.

2017 FBC 6th Edition
Existing Building
Section 504, Level 2
Building Footprint 8,675 Square Feet

Applicable Codes

1. ALL DEMOLITION WORK BY CONTRACTOR SHALL FOLLOW "FLORIDA BUILDING CODE" 2011 6TH EDITION AND ALL APPLICABLE AMENDMENTS, AS ADOPTED BY THE TOWN OF PALM BEACH.

2. FLORIDA FIRE PREVENTION CODE 2014 EDITION NFPA 101 2010 EDITION.

3. NEC 2010 EDITION

Demo Key Notes

01

REMOVE EXISTING DOORS, DOOR FRAMES AND ALL RELATED ACCESSORIES (ALL DOORS TO BE KEPT ON SITE)

02

REMOVE EXISTING BUILT-IN CABINETS / CLOSET AND ALL RELATED ACCESSORIES

03

REMOVE EXISTING PLUMBING FIXTURES AND STOCKPILE - CAP ALL PLUMBING LINES AS NECESSARY BELOW FLOOR LINE

04

REMOVE EXISTING CEILING AND LIGHT FIXTURES AT THIS ROOM

06

REMOVE EXISTING GYPSUM BOARD PARTITION, STUDS, WALL FINISH, BASE AND ALL RELATED ACCESSORIES

07

REMOVE EXISTING APPLIANCES

08

EXISTING GYPSUM BOARD, FURRING AND INSULATION TO BE REMOVED AT ALL EXTERIOR WALLS - TYPICAL

09

REMOVED EXISTING MECHANICAL, PLUMBING, ELECTRICAL, CAP AS REQUIRED

10

REMOVED EXISTING LOGGIA & TERRACE. DEMO STRUCTURAL DECK, COLUMNS, RAILINGS

11

REMOVE EXISTING STAIR AND STAIR RAILING WITH ALL RELATED ACCESSORIES

12

EXISTING CANVAS AWNING & POLES TO BE REMOVED

Demolition Notes:

1. THE CONTRACTOR SHALL REMOVE ALL EXISTING CONSTRUCTION AS REQUIRED FOR THE REMODELING WORK INCLUDING BUT NOT LIMITED TO PARTITIONS, DOORS, HARDWARE, CEILING SYSTEM, ELECTRICAL, PLUMBING, FLOOR MATERIAL, ETC.

2. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS, EQUIPMENT, TREES, UTILITY LINES, ETC., WHICH ARE TO REMAIN AND REPAIR OR REPLACE WHEN NECESSARY THESE ITEMS WHEN DAMAGED BY HIM OR HIS SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.

3. MASONRY SHALL BE DEMOLISHED IN SMALL SECTIONS AND BRACING AND SHORES SHALL BE USED WHERE NECESSARY TO AVOID DAMAGE TO THE STRUCTURE.

4. EXISTING PLUMBING LINES TO BE CAPPED OFF BELOW FLOOR LEVEL. PLUMBING LINES TO BE REWORKED TO SUIT NEW PLAN PLUMBING LAYOUTS.

5. THE CONTRACTOR SHALL WALK THROUGH WITH THE OWNER OR THE OWNER'S REPRESENTATIVE AND TAG ALL ITEMS THAT WILL BE SAVED. THOSE ITEMS SHALL BE REMOVED AND STORED WHERE THE OWNER REQUESTS.

6. EXISTING FLOOR FINISHES TO BE REMOVED AND DISPOSED OR PROPERLY PATCH AND REPAIR SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

7. PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY.

8. THE CONTRACTOR SHALL PROTECT ALL EXISTING MATERIALS, FINISHES, ETC., WHICH ARE TO REMAIN, REPAIR OR REPLACE WHEN NECESSARY ANY ITEMS WHEN DAMAGED BY HIM OR HIS SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.

9. ALL REMOVED DOORS SHALL BE STOCKPILE FOR POSSIBLE RE-USE AT NEW LAYOUT

10. PROTECTION TO BE PROVIDED AT ALL PARTY WALLS TO PREVENT DUST INTRUSION

11. ALL INTERIOR PARTITIONS TO BE REMOVED AND REPLACED.

Second Floor Demolition Plan

Scale

1/4" = 1'-0"

HSB-23-007
ZON-23-095

COMM NO.
2305

DATE
12/04/23

REVISIONS

Renovations to

124 Parc Monceau

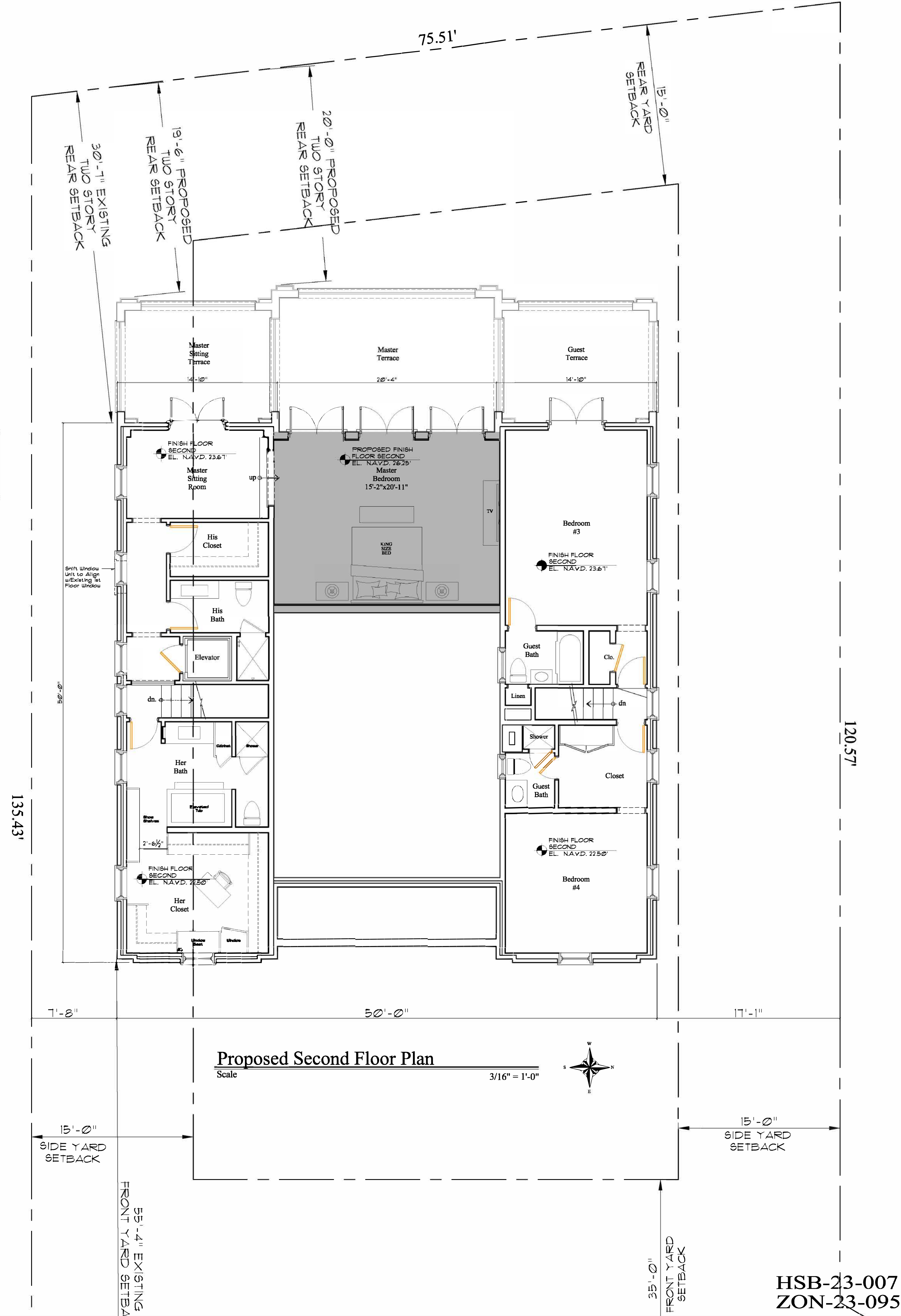
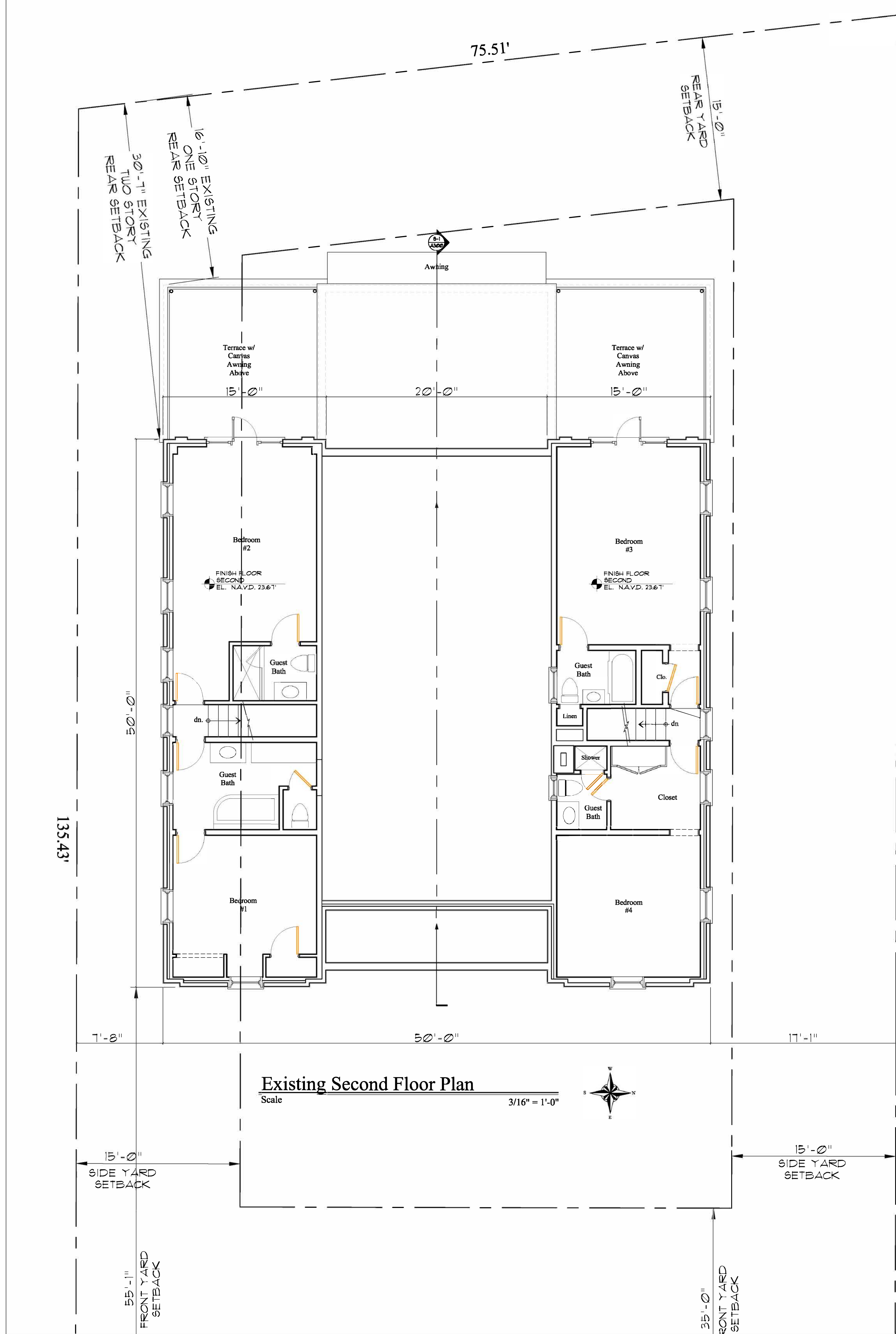
Palm Beach FL 33480

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AA26001667

SHEET NO.

D102



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2305

DATE
12/04/23

REVISIONS

Renovations to
124 Parc Monceau

Palm Beach FL 33480

124 Parc Monceau



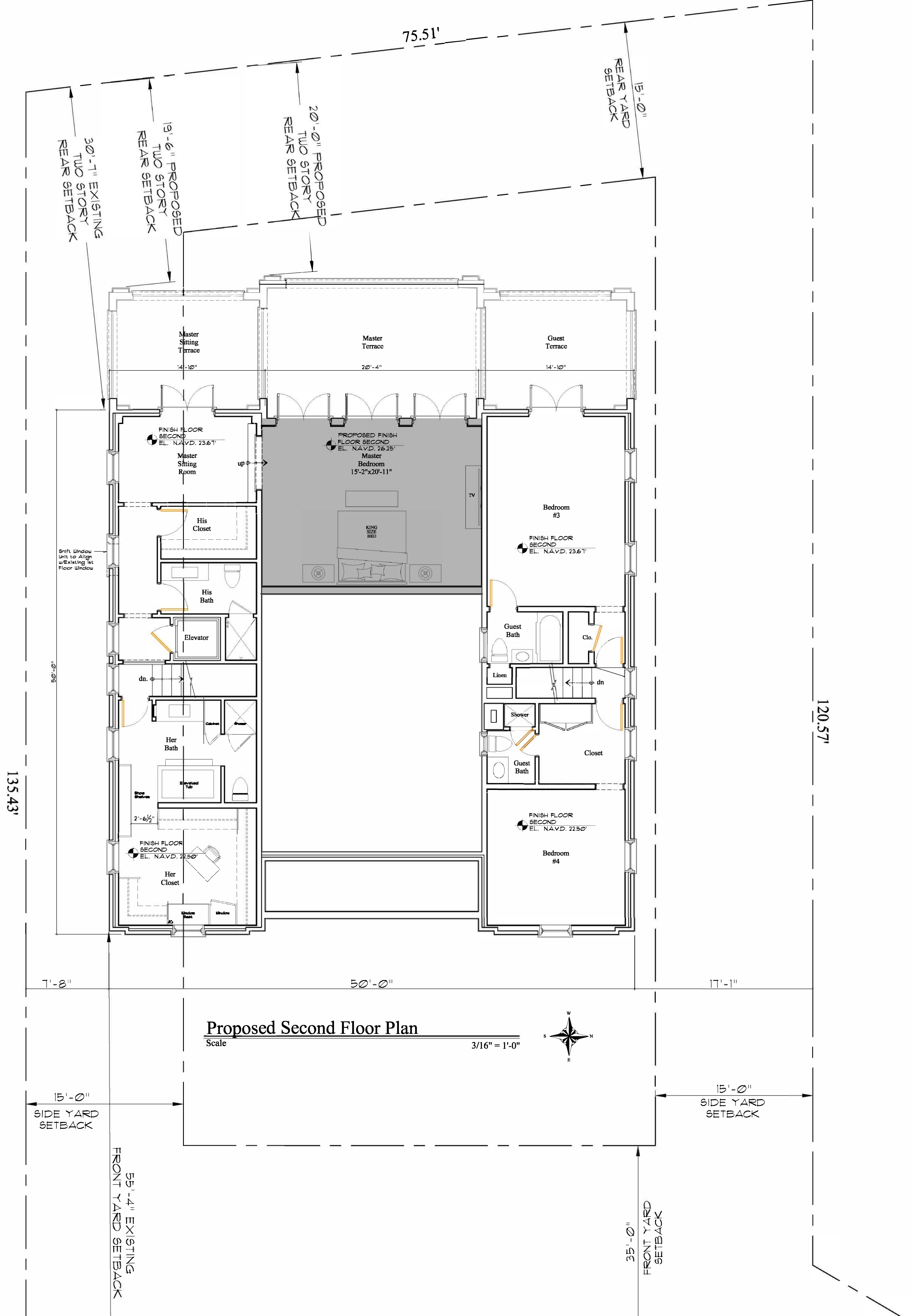
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561.833.7575
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SHEET NO.
Second Floor Plan Study

HSB-23-007
ZON-23-095

Wall Legend

AREA OF MASTER BEDROOM ADDITION (+331 SQUARE FEET) 15%



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ZON-23-095



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12/04/23

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Renovations to
124 Parc Monceau

Palm Beach FL 33480

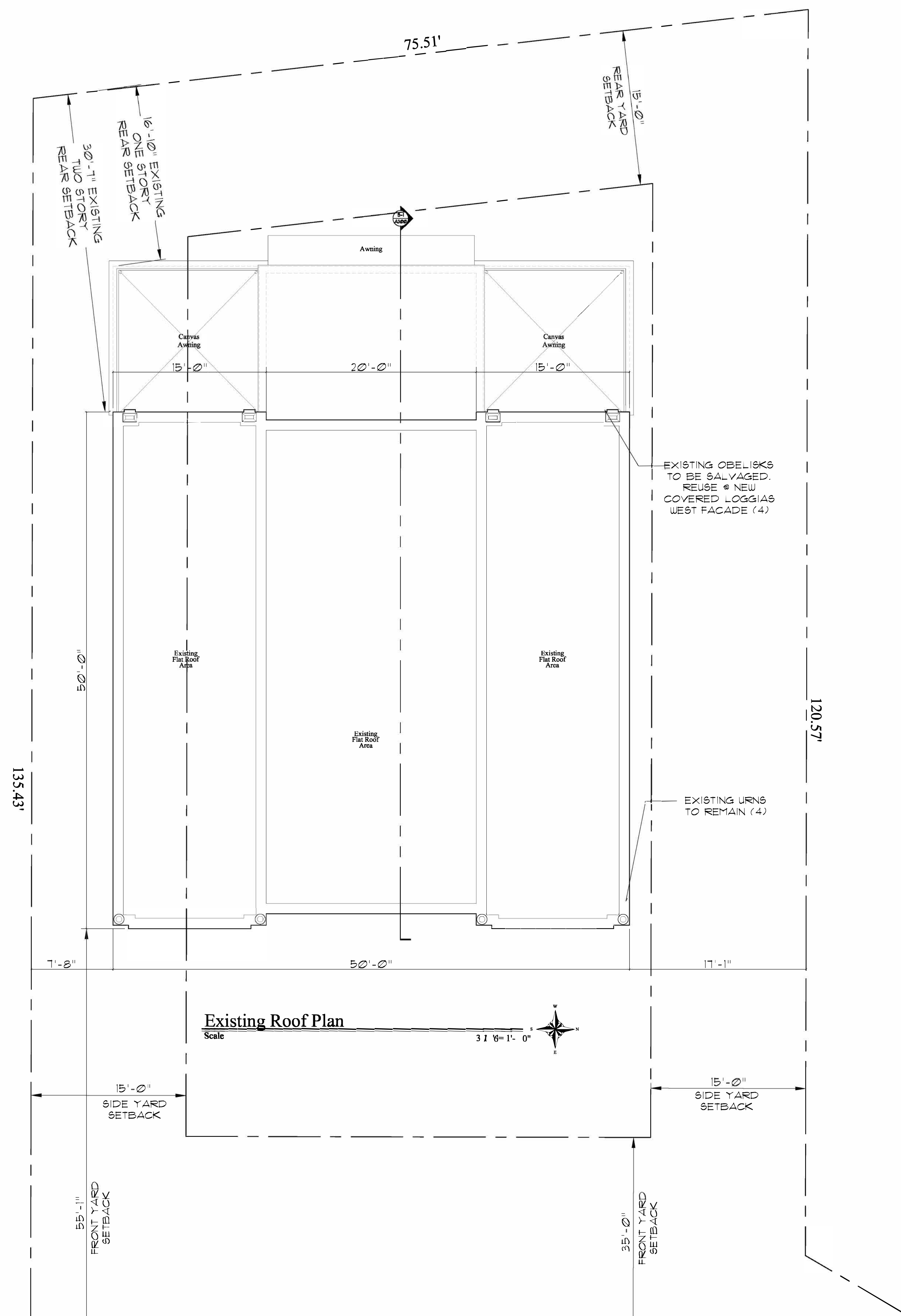
124 Parc Monceau



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SHEET NO.
A106



HSB-23-007
ZON-23-095



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DATE
12/04/2023

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124 Parc Monceau
Palm Beach FL 33480
124 Parc Monceau



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AA26001667

SHEET NO.
A103

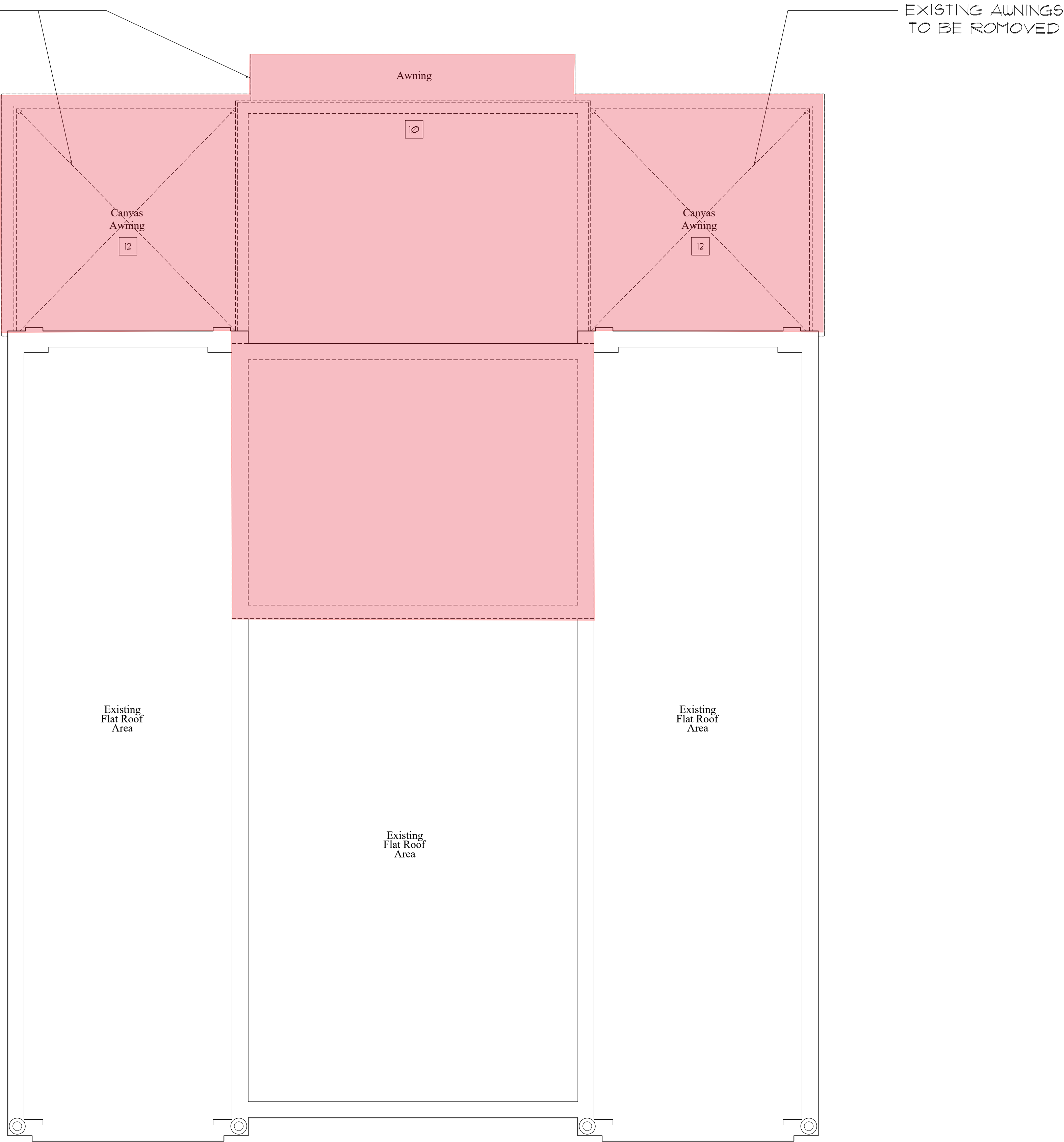
Legend	
	EXISTING TO BE REMOVED
32604 SF.	ROOF PLAN TOTAL SQUARE FOOTAGE
18517 SF.	ROOF PLAN TOTAL DEMOLITION SQUARE FOOTAGE
36.4%	

2017 FBC 6th Edition Existing Building Section 504, Level 2 Building Footprint 8,675 Square Feet

Applicable Codes
1. ALL DEMOLITION WORK BY CONTRACTOR SHALL FOLLOW "FLORIDA BUILDING CODE" 2017 6TH EDITION AND ALL APPLICABLE AMENDMENTS, AS ADOPTED BY THE TOWN OF PALM BEACH.
2. FLORIDA FIRE PREVENTION CODE 2014 EDITION NFPA 101 2010 EDITION.
3. NEC 2010 EDITION

Demo Key Notes	
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04	REMOVE EXISTING CEILING AND LIGHT FIXTURES AT THIS ROOM
06	REMOVE EXISTING GYPSUM BOARD PARTITION STUDS, WALL FINISH BASE AND ALL RELATED ACCESSORIES
07	REMOVE EXISTING APPLIANCES
08	EXISTING GYPSUM BOARD, FURRING AND INSULATION TO BE REMOVED AT ALL EXTERIOR WALLS - TYPICAL
09	REMOVED EXISTING MECHANICAL, PLUMBING, ELECTRICAL, CAP AS REQUIRED
10	REMOVED EXISTING LOGGIA & TERRACE, DEMO STRUCTURAL DECK, COLUMNS, RAILINGS
11	REMOVE EXISTING STAIR AND STAIR RAILING WITH ALL RELATED ACCESSORIES
12	EXISTING CANVAS AWNING & POLES TO BE REMOVED

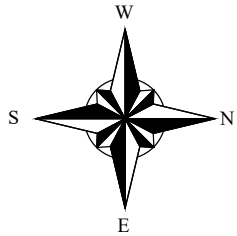
Demolition Notes:
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9. ALL REMOVED DOORS SHALL BE STOCKPILE FOR POSSIBLE RE-USE AT NEW LAYOUT
10. PROTECTION TO BE PROVIDED AT ALL PARTY WALLS TO PREVENT DUST INTRUSION
11. ALL INTERIOR PARTITIONS TO BE REMOVED AND REPLACED.



Demolition Roof Plan

Scale

1/4" = 1'-0"



HSB-23-007
ZON-23-095



COMM NO. 2305
DATE 01/03/23

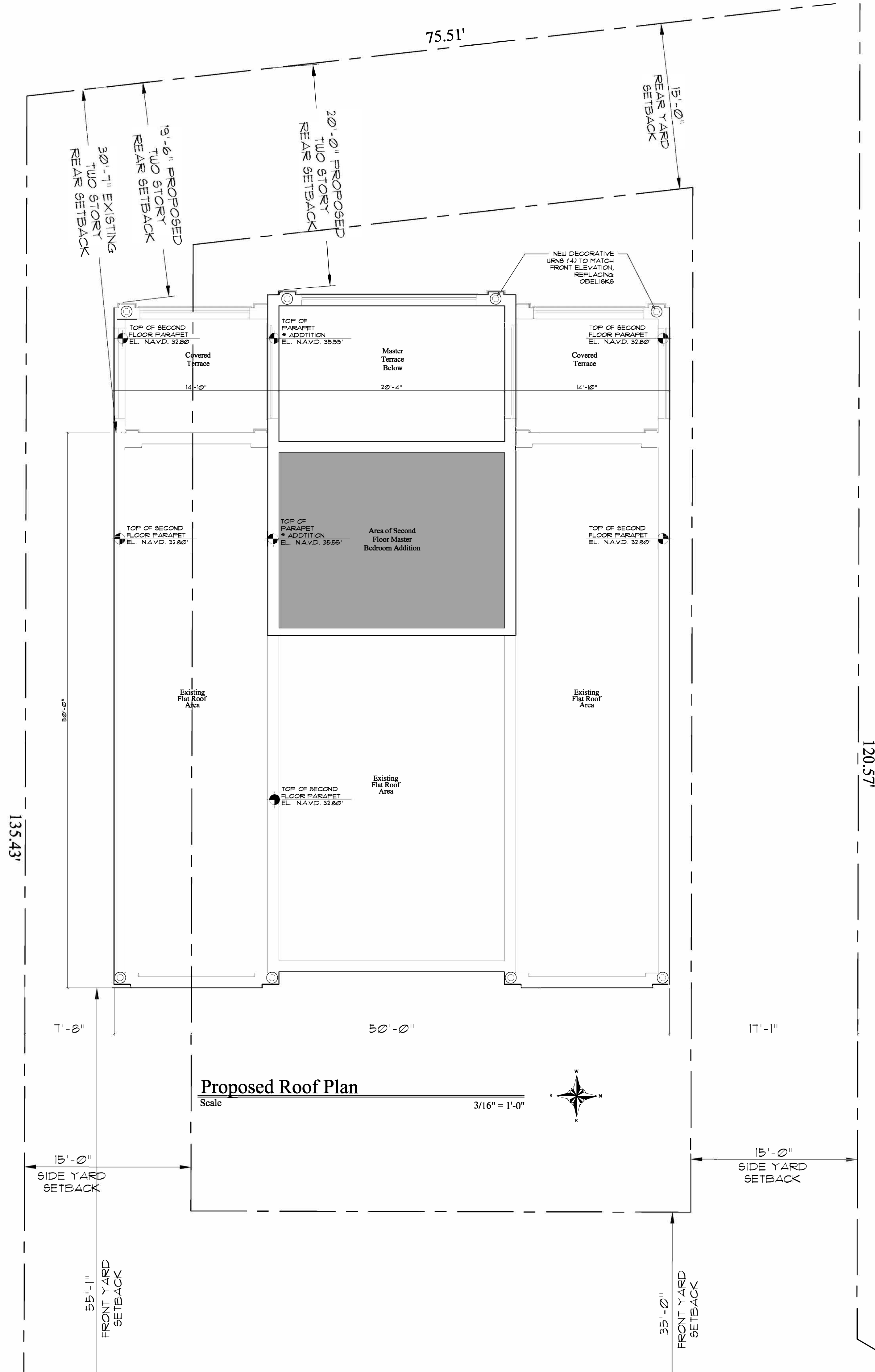
REVISIONS

Renovations to
124 Parc Monceau
Palm Beach FL 33480



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--

SHEET NO. D102



Roof Legend

[White Box]	EXISTING FOOTPRINT 2435 SQUARE FEET
[Grey Box]	AREA OF ADDITION 320 SQUARE FEET (1% ADDITIONAL)



COMM NO.
2305

DATE
12/04/2023

REVISIONS

Renovations to
124 Parc Monceau

124 Parc Monceau
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SHEET NO.
A107

HSB-23-007
ZON-23-095



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2305

DATE
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REVISIONS

Renovations to
124 Parc Monceau

Palm Beach FL 33480

124 Parc Monceau



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561.833.7575
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SHEET NO.
D200



HSB-23-007
ZON-23-095



Demolition - South Elevation

Scale

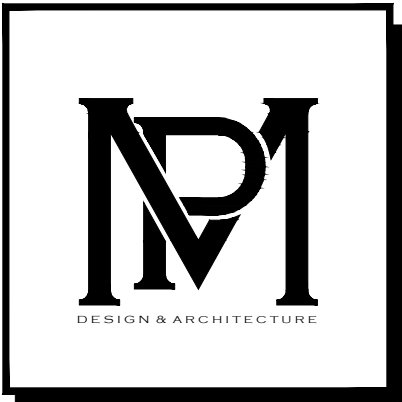
1/4" = 1'-0"



Demolition - North Elevation

Scale

1/4" = 1'-0"



COMM NO.
2305

DATE
01/03/23

REVISIONS

Renovations to
124 Parc Monceau

Palm Beach FL 33480

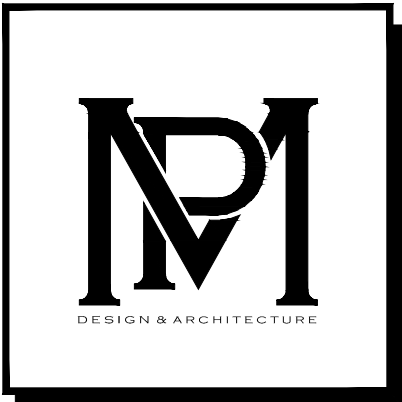
124 Parc Monceau



MP DESIGN &
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PALM BEACH, FLORIDA 33480
561.833.7575
AA26001667

SHEET NO.
D201

HSB-23-007
ZON-23-095



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2305

DATE
01/03/24

REVISIONS

Renovations to
124 Parc Monceau

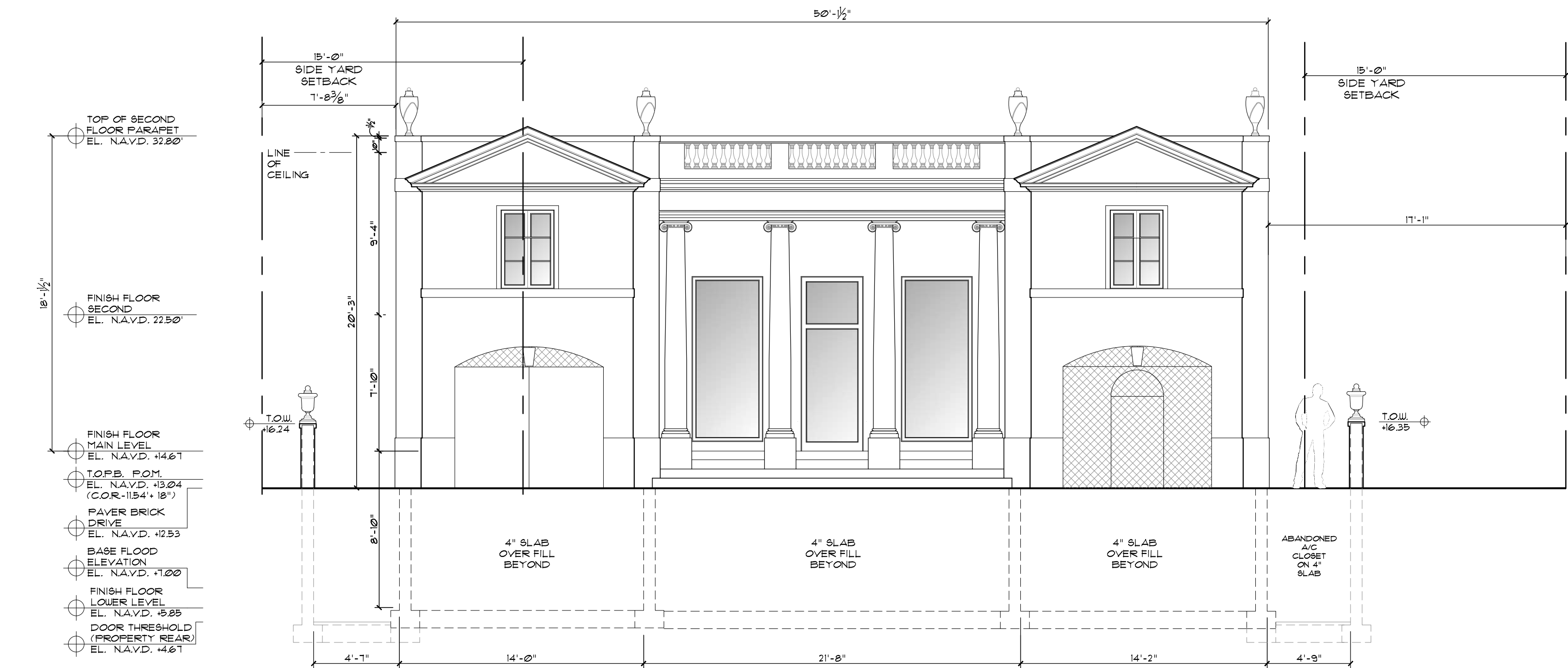
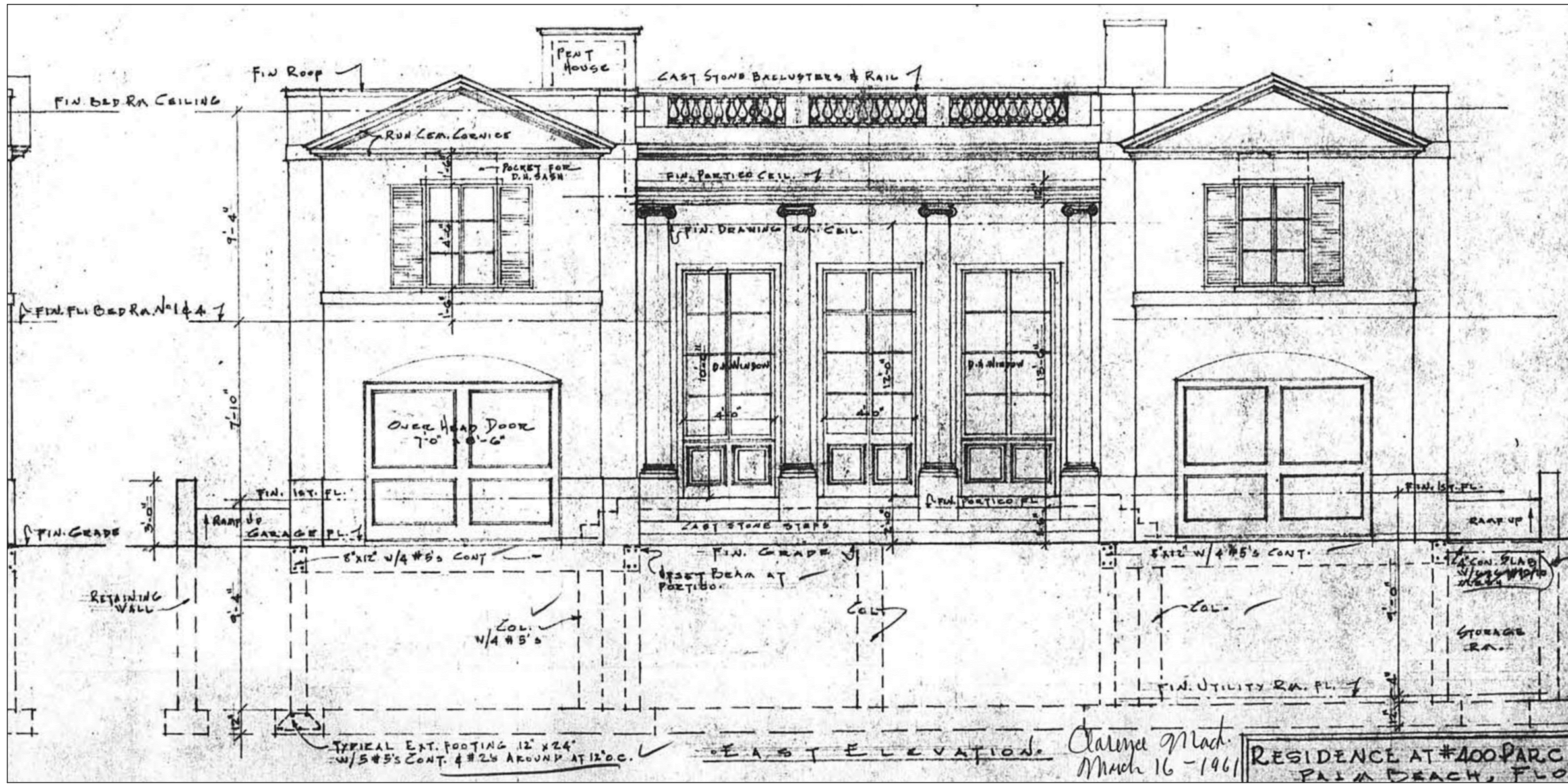
Palm Beach FL 33480

124 Parc Monceau



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SHEET NO.
**East
Elevation
Study**



Existing East Elevation

Scale

3/16" = 1'-0"

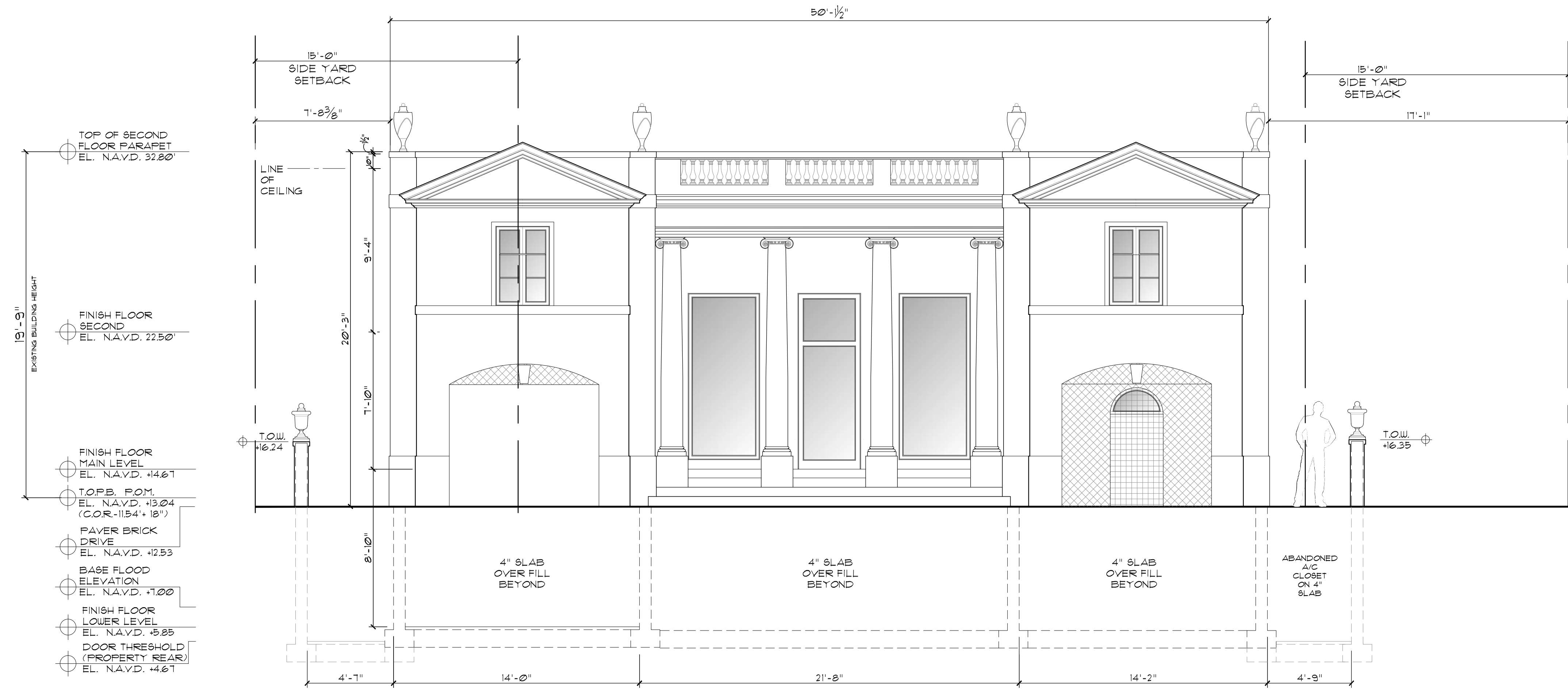


Proposed East Elevation

Scale

3/16" = 1'-0"

HSB-23-007
ZON-23-095



Existing East Elevation

Scale

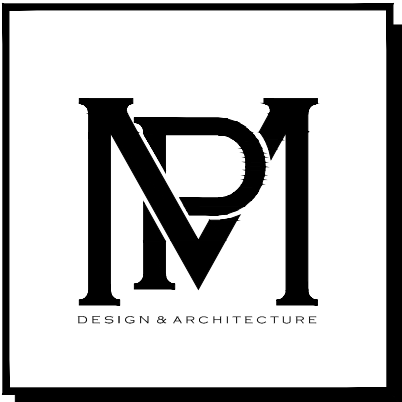
1/4" = 1'-0"



Proposed East Elevation

Scale

1/4" = 1'-0"



COMM NO.
2305

DATE
01/03/23

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Renovations to
124 Parc Monceau

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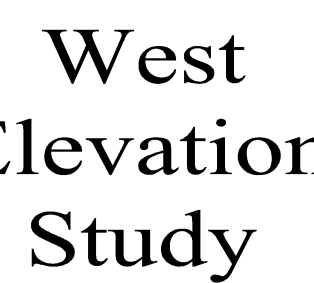
124 Parc Monceau

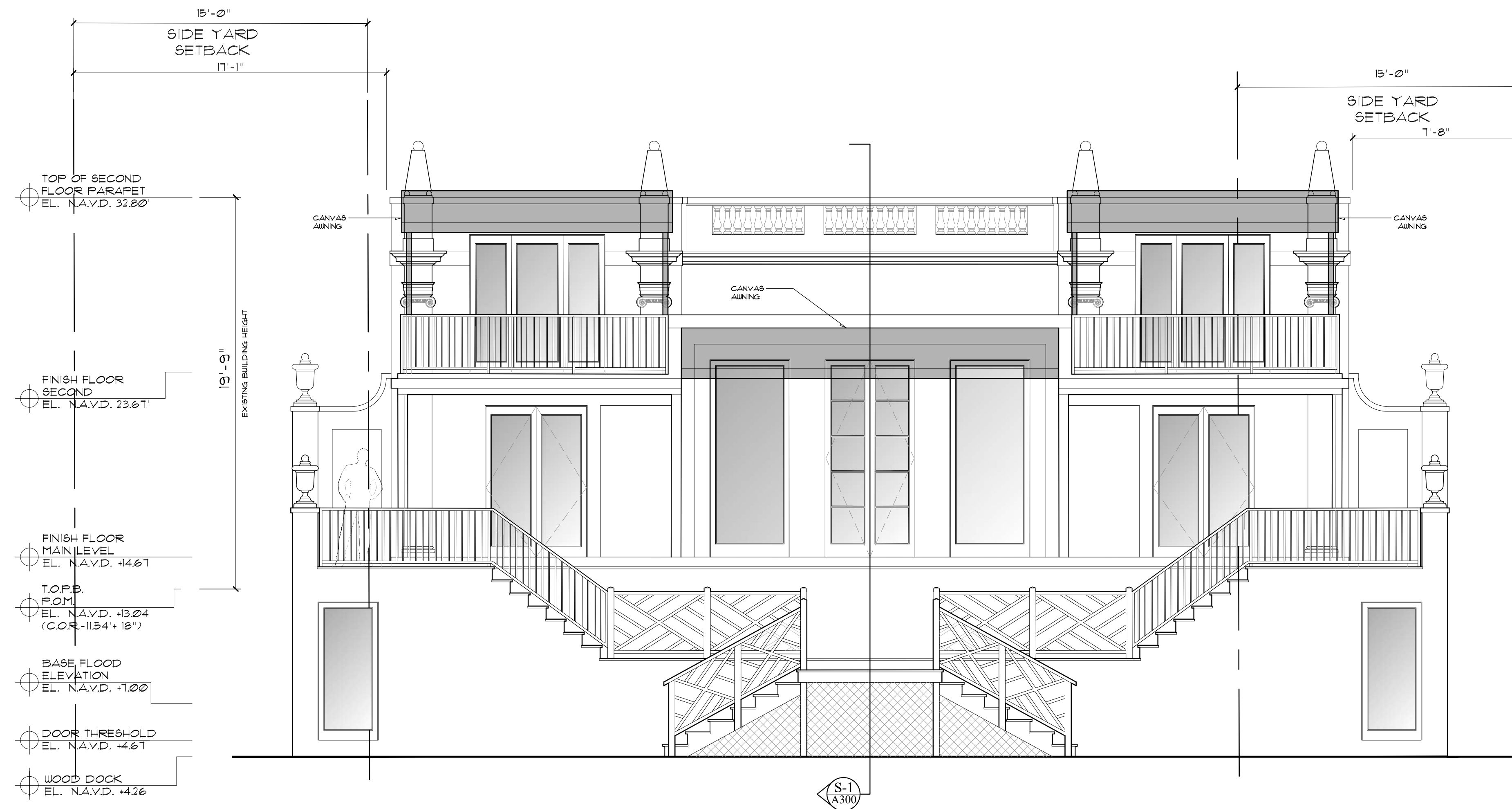


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SHEET NO.
A200

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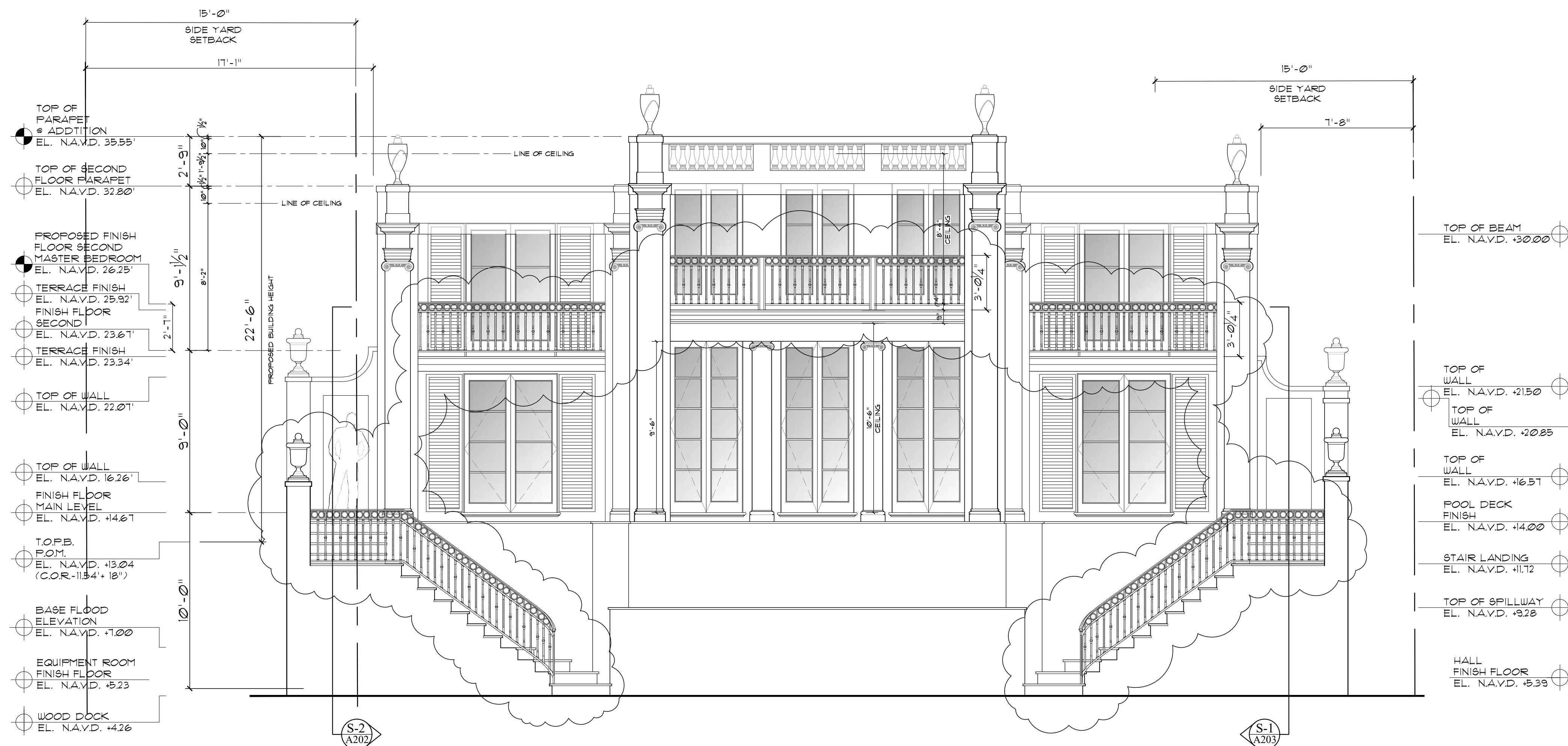
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Existing West Elevation

Scale

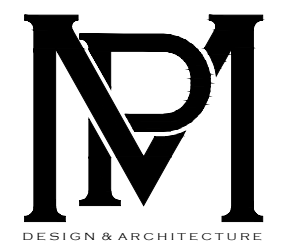
1/4" = 1'-0"



Proposed West Elevation

Scale

1/4" = 1'-0"



COMM NO.
2305

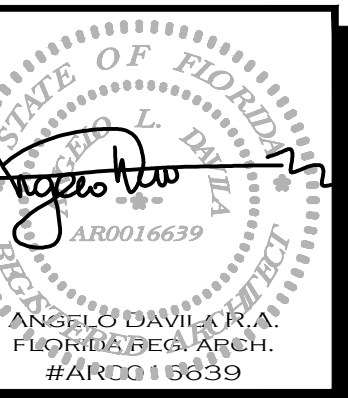
DATE
04/02/24

REVISIONS

Renovations to
124 Parc Monceau

Palm Beach FL 33480

124 Parc Monceau

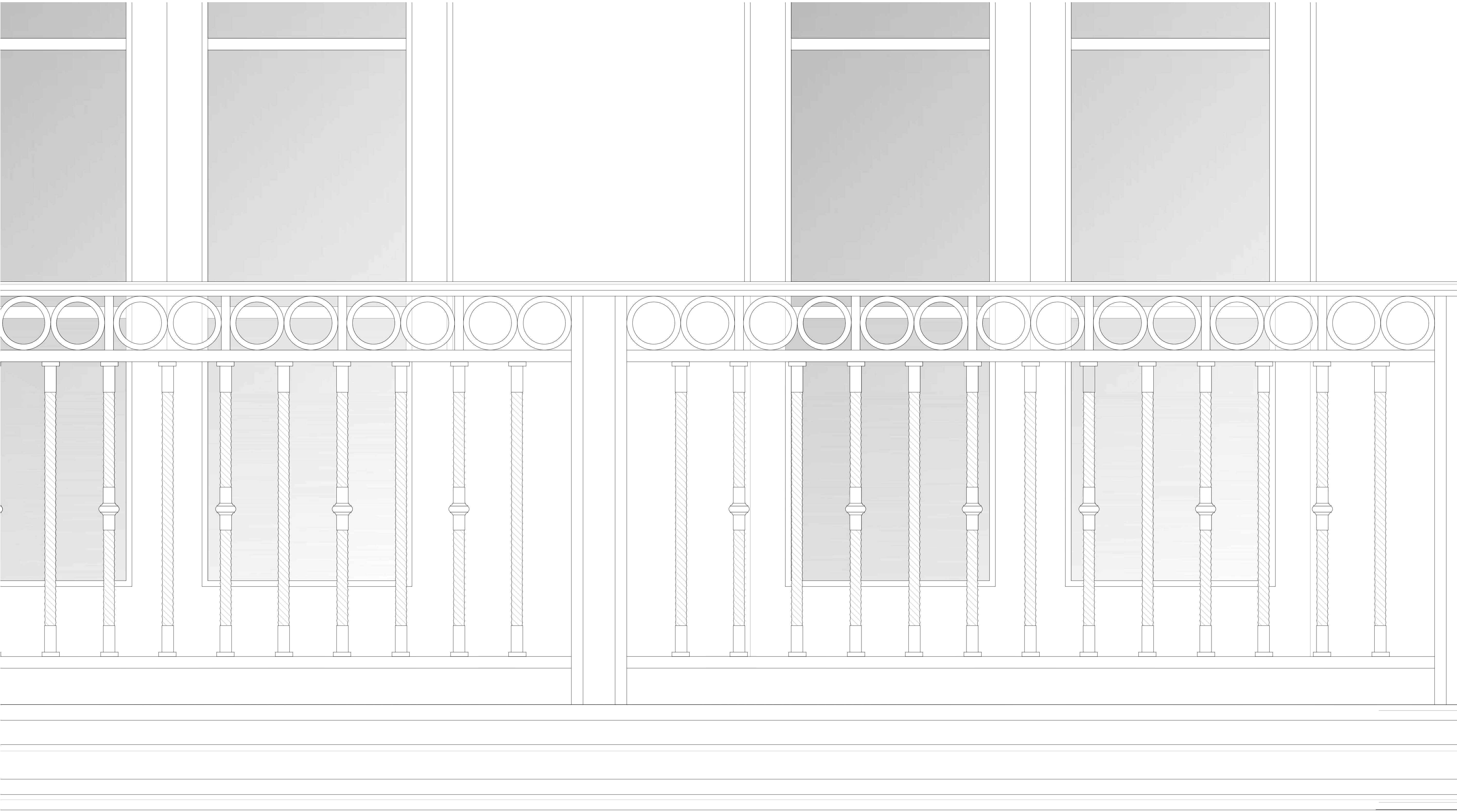


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AA26001667

SHEET NO.

A201

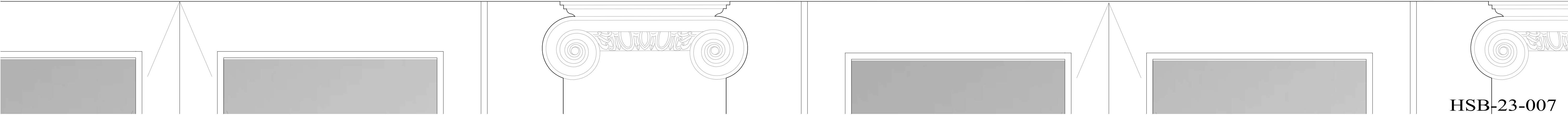
HSB-23-007
ZON-23-095



Railing Detail

Scale

3"=1'-0"



HSB-23-007
ZON-23-095



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2305
DATE
04/02/24

REVISIONS

Renovations to
124 Parc Monceau
Palm Beach FL 33480
124 Parc Monceau



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AA26001667

SHEET NO.
Railing
Study



COMM NO.
2305

DATE
12/04/2023

REVISIONS

Renovations to
124 Parc Monceau

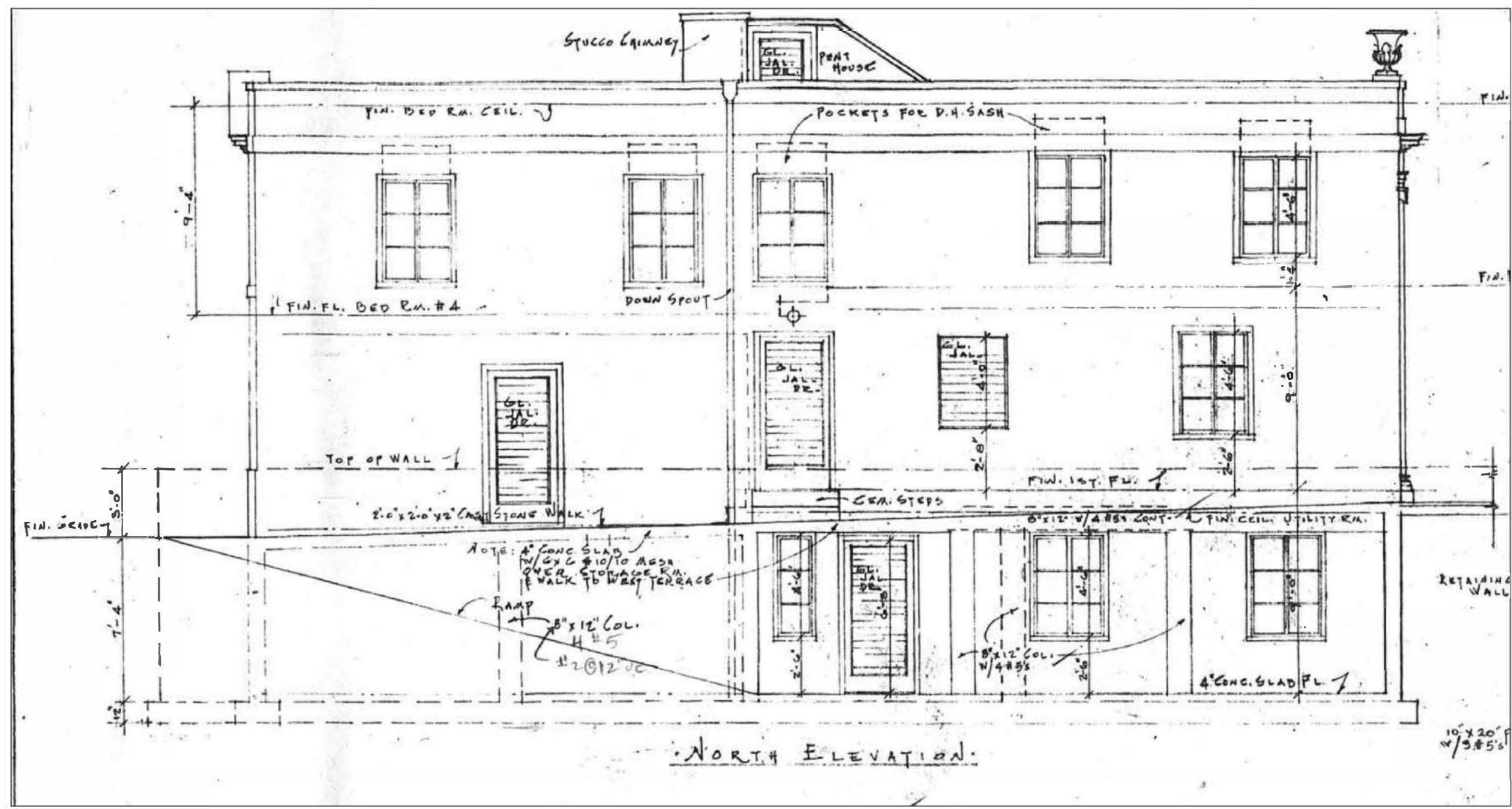
Palm Beach FL 33480

124 Parc Monceau



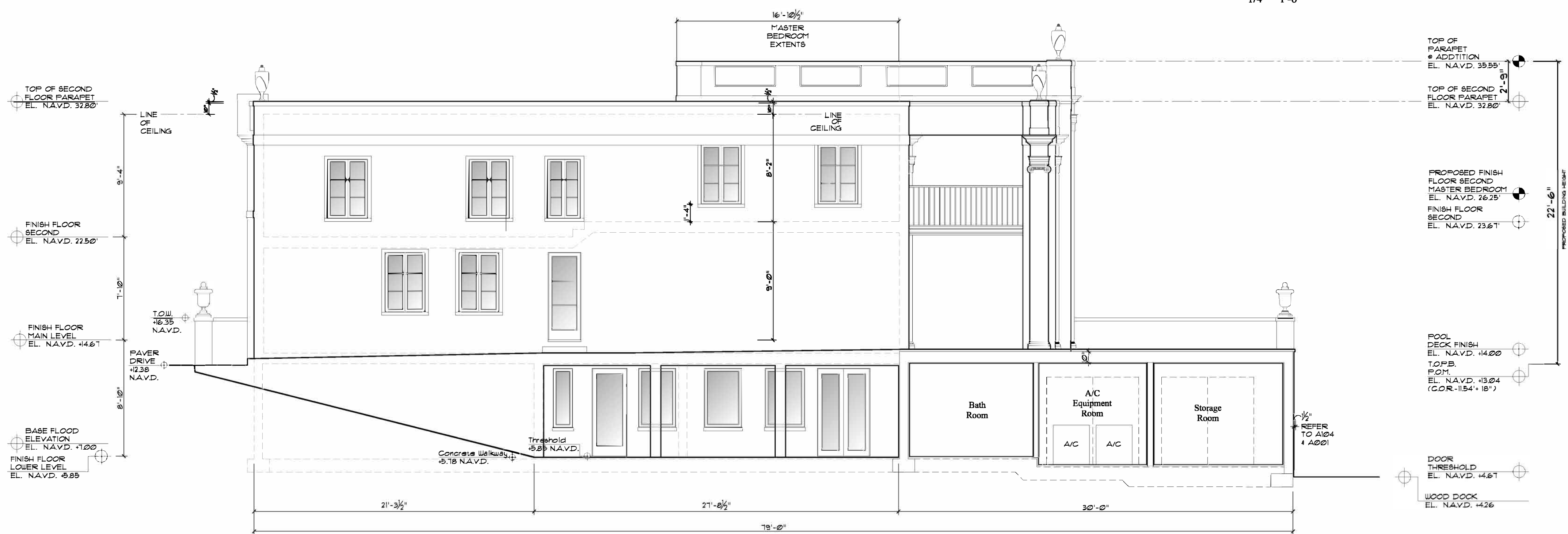
MP DESIGN & ARCHITECTURE, INC
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SHEET NO.
North Elevation Study



Existing North Elevation

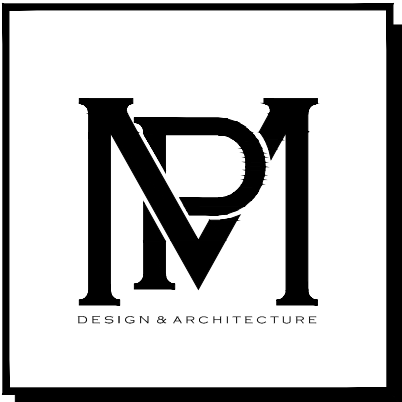
Scale



S-2 Proposed North Elevation

Scale

HSB-23-007
ZON-23-095



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2305

DATE
12/04/2023

REVISIONS

Renovations to
124 Parc Monceau

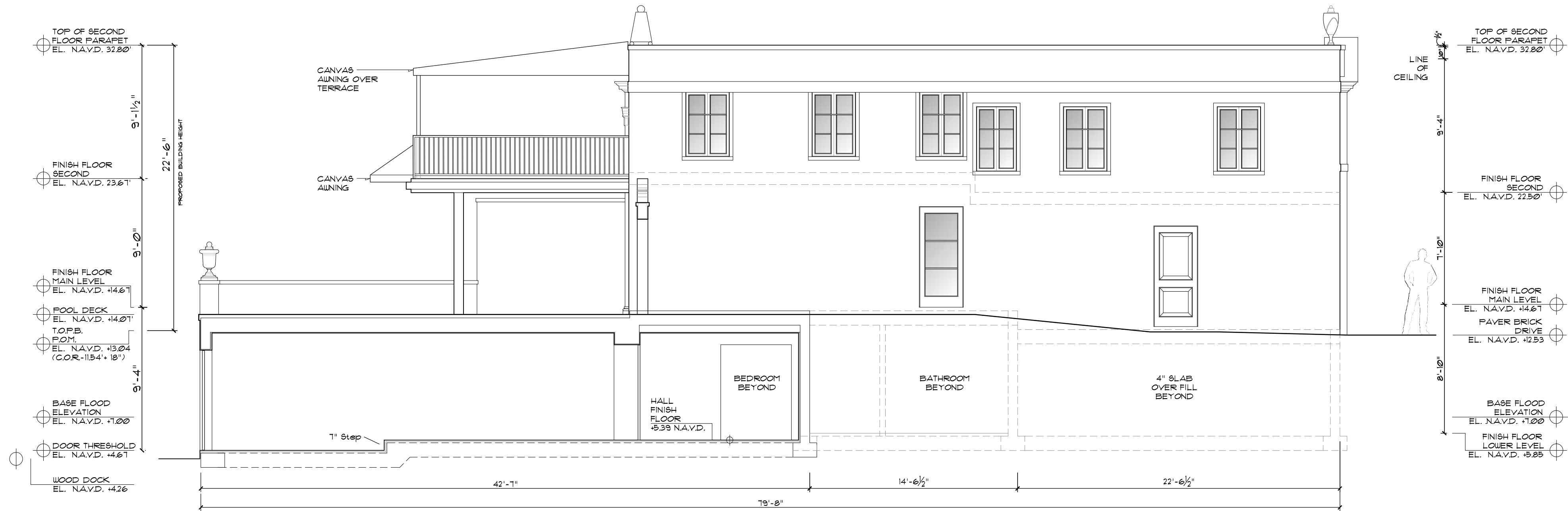
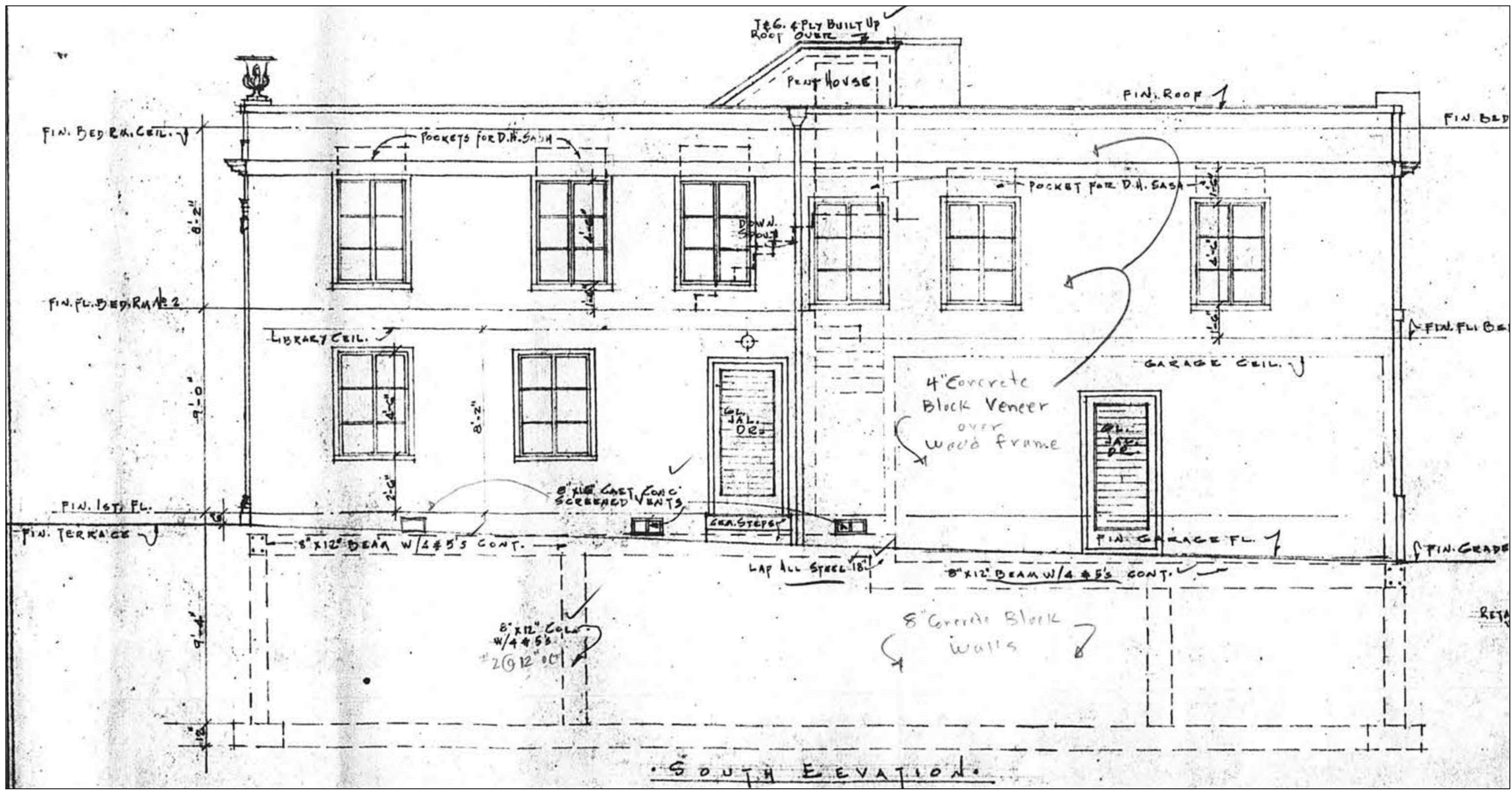
Palm Beach FL 33480

124 Parc Monceau



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PALM BEACH, FLORIDA 33480
561.833.7575
AA26001667

SHEET NO.
South Elevation Study



Existing South Elevation

Scale

3/16" = 1'-0"

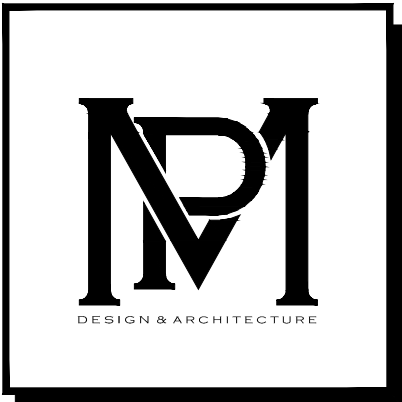
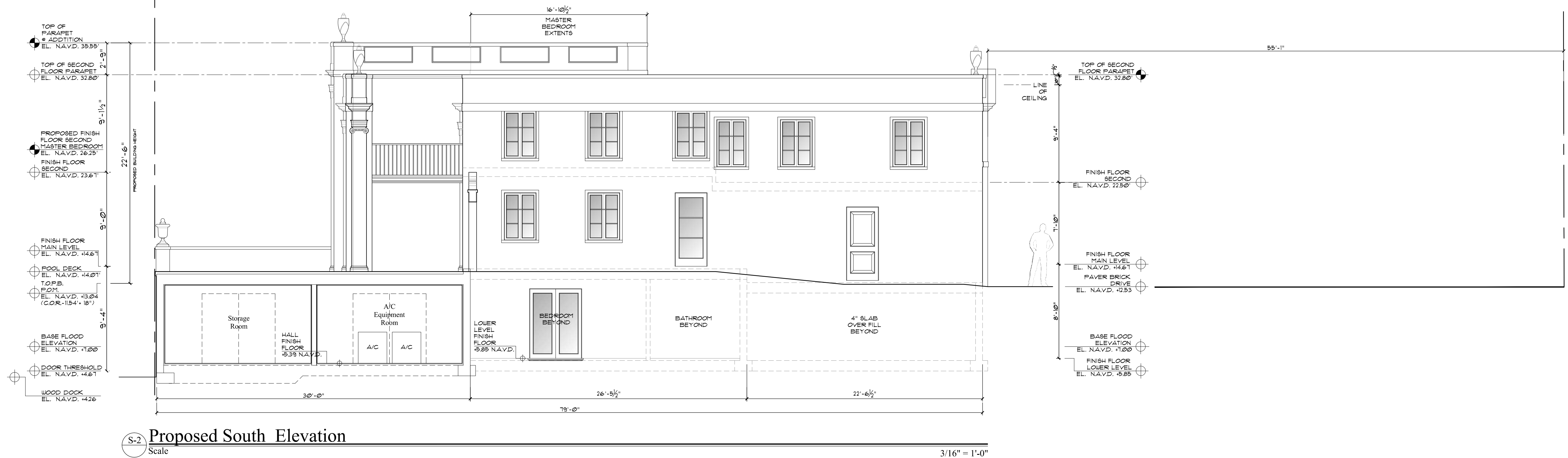
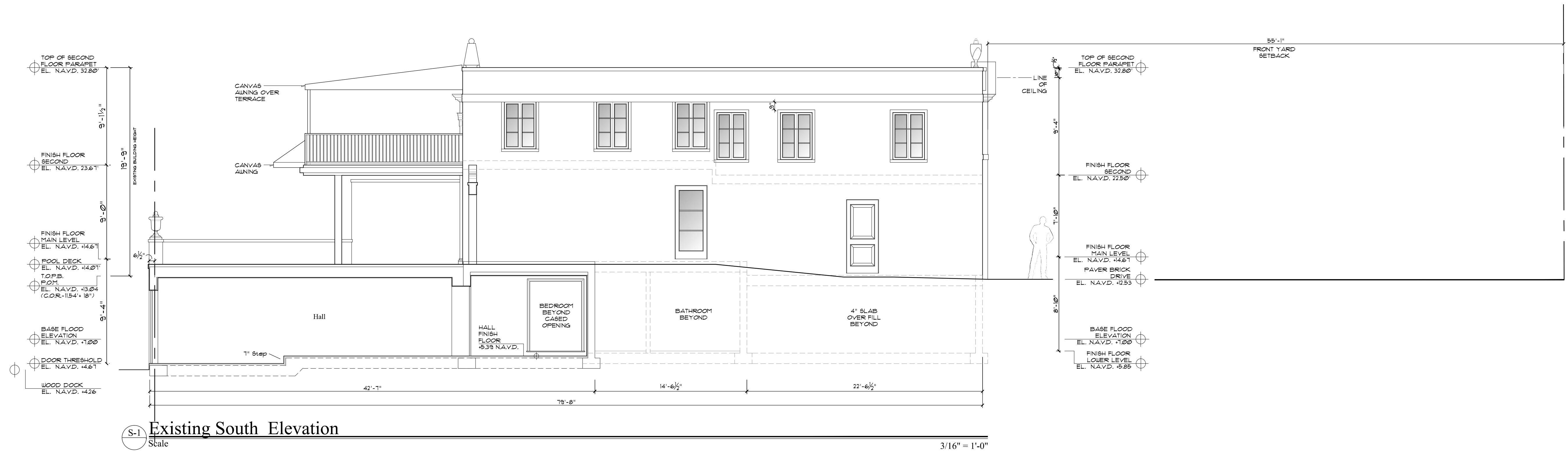


Proposed South Elevation

Scale

3/16" = 1'-0"

HSB-23-007
ZON-23-095



COMM NO.
2305

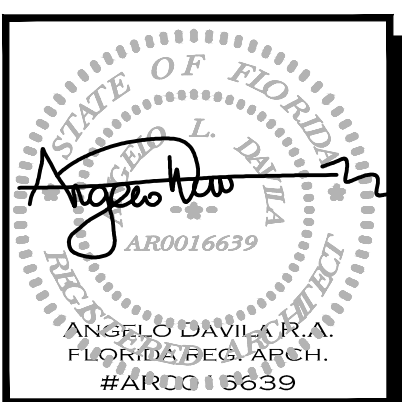
DATE
12/04/2023

REVISIONS

Renovations to
124 Parc Monceau

Palm Beach FL 33480

124 Parc Monceau



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561.833.7575
AA26001667

SHEET NO.
A203

HSB-23-007
ZON-23-095

Chantilly Lace OC-65

Benjamin Moore

Building Color

White

Windows, Doors, Trim, Railings & Details



COMM NO.

2305

DATE

12/04/23

REVISIONS

Renovations to

124 Parc Monceau

124 Parc Monceau

Palm Beach FL 33480



MP DESIGN & ARCHITECTURE, INC

217 PERUVIAN AVENUE, SUITE 4

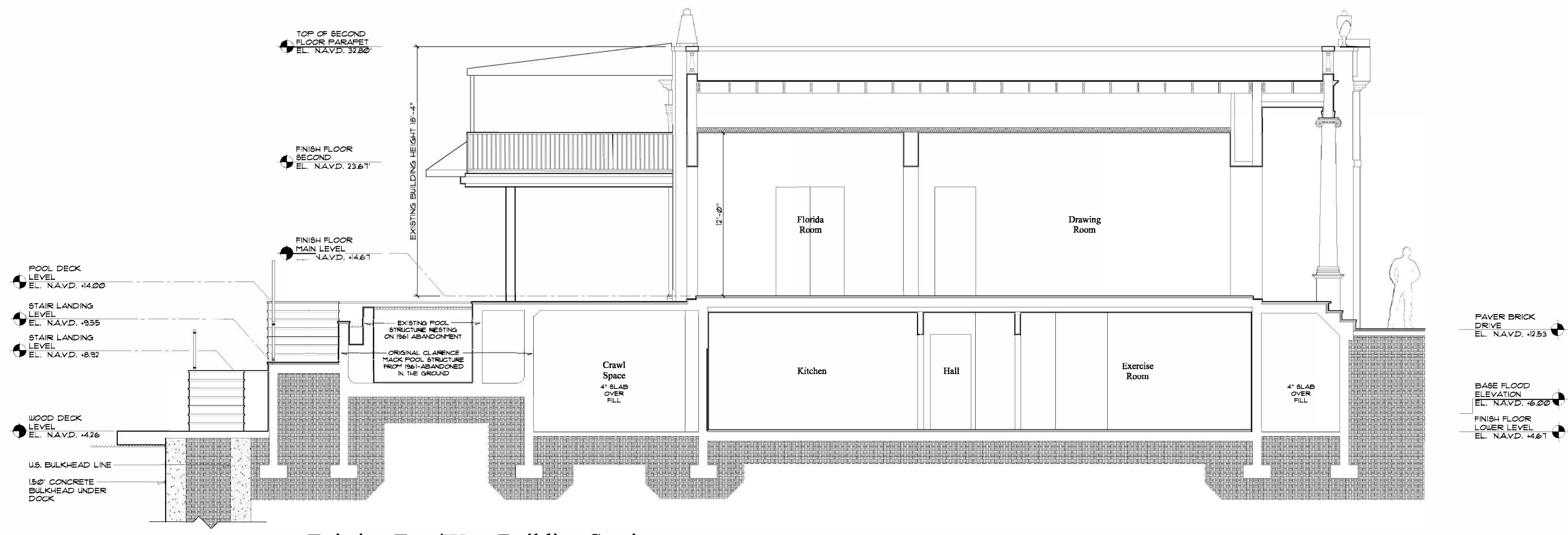
PALM BEACH, FLORIDA 33480

561.833.7575

AA26001667

SHEET NO.

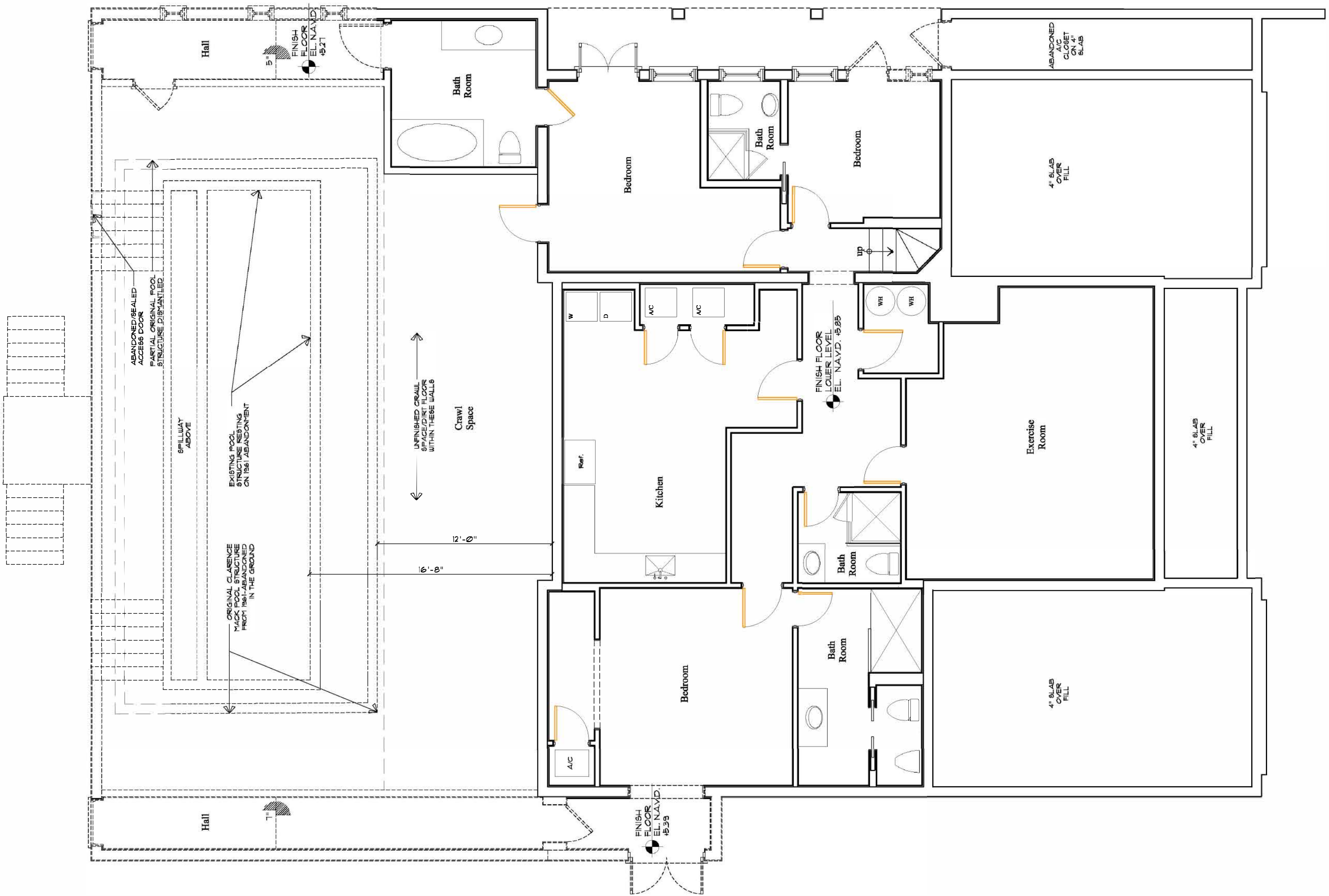
A007



S-1 Existing East/West Building Section

Scale

3/16" = 1'-0"



Lower Level Demolition Floor Plan

Scale

3/16" = 1'-0"



HSB-23-007
ZON-23-095



COMM NO.
2305

DATE
01/03/24

REVISIONS

Renovations to
124 Parc Monceau

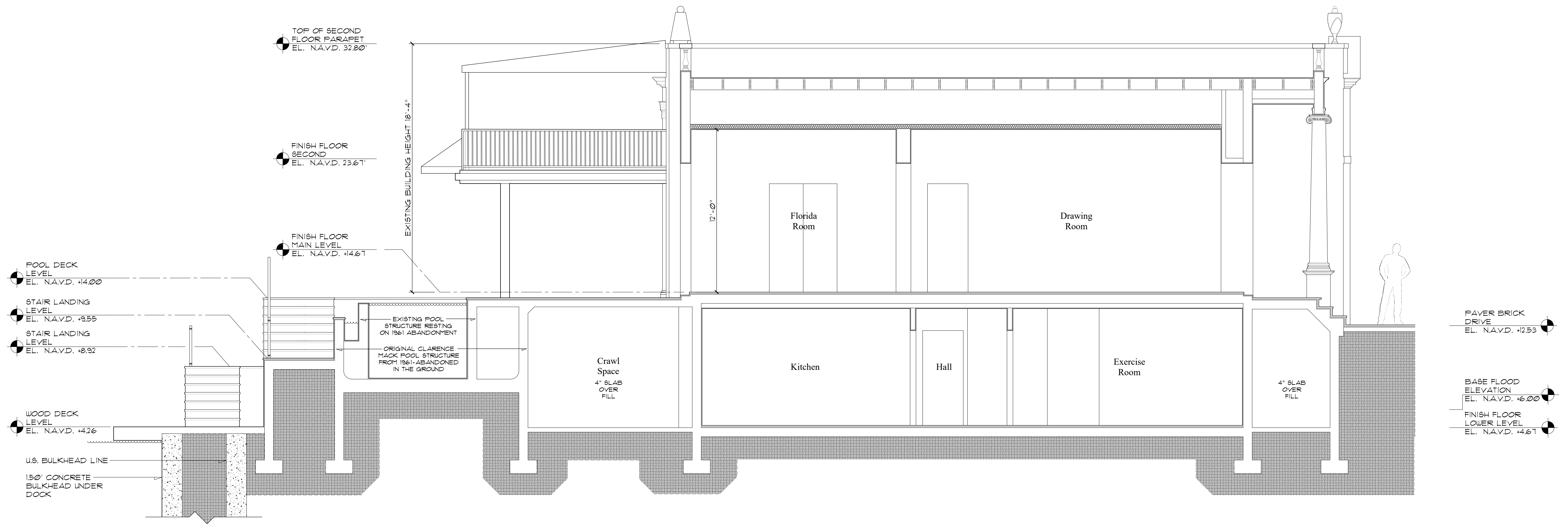
Palm Beach FL 33480

124 Parc Monceau



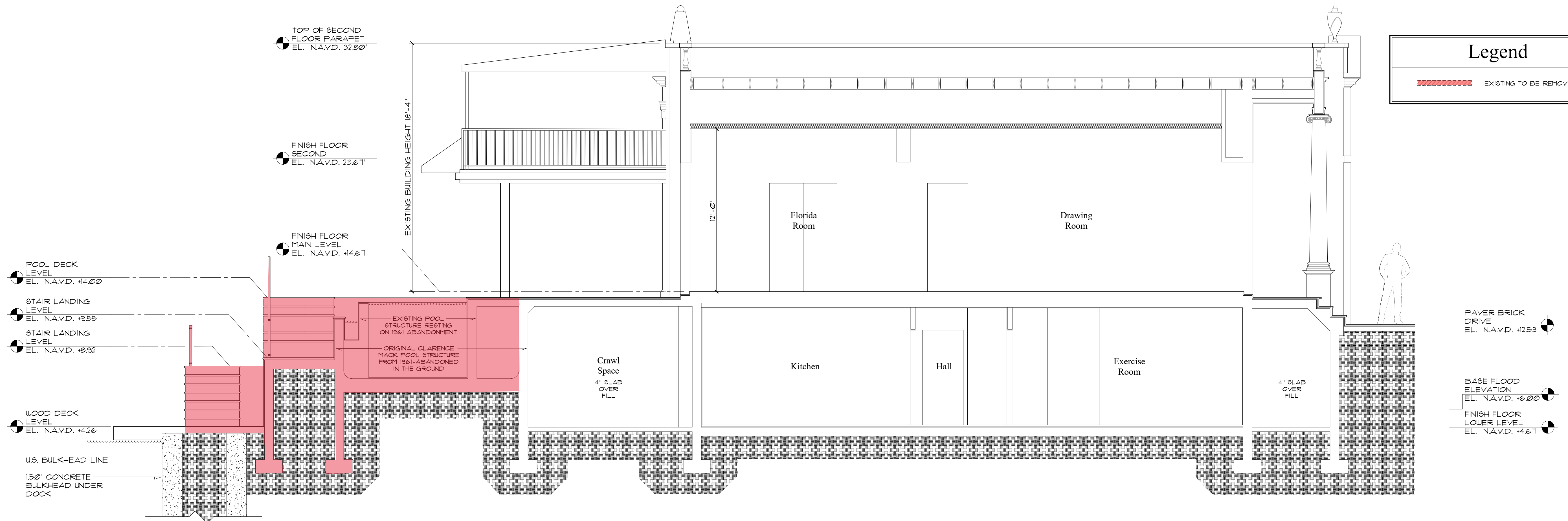
MP DESIGN &
ARCHITECTURE, INC
217 PERUVIAN AVENUE, SUITE 4
PALM BEACH, FLORIDA 33480
561.833.7575
AA26001667

SHEET NO.
Existing
Section
A300



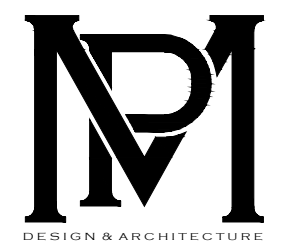
S-1 Existing East/West Building Section
Scale

1/4" = 1'-0"



S-1 Demolition East/West Building Section
Scale

1/4" = 1'-0"



COMM NO.
2305

DATE
12/04/23

REVISIONS

Renovations to
124 Parc Monceau
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SHEET NO.
Existing/
Demo
A300

HSB-23-007
ZON-23-095



COMM NO.
2305

DATE
01/03/24

REVISIONS

Renovations to
124 Parc Monceau

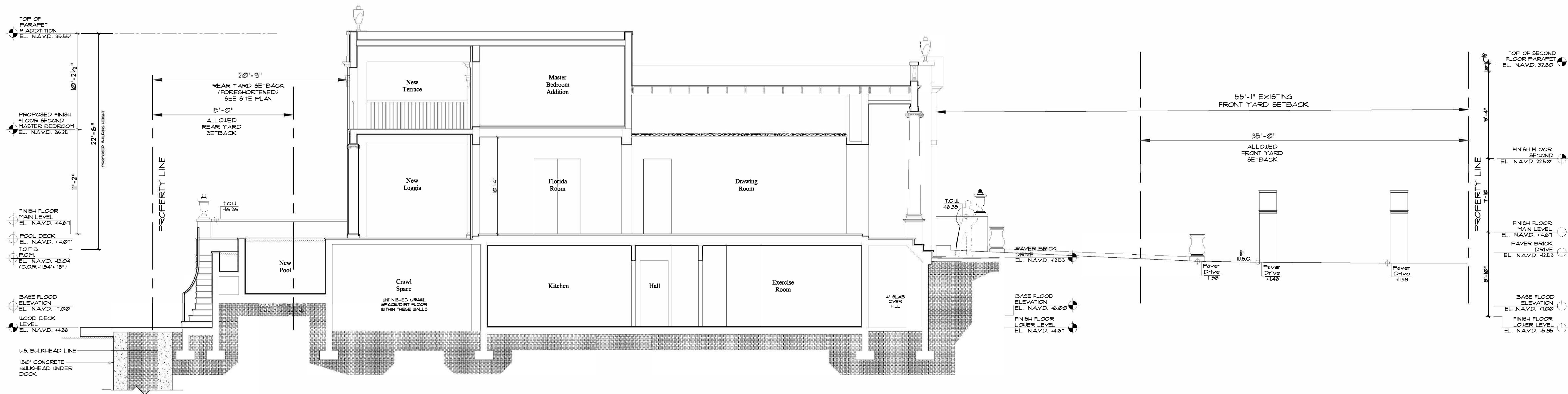
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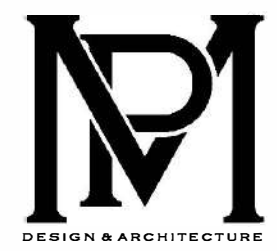
SHEET NO.
A301





8-1 Proposed South Elevation
Scale

3/16" = 1'-0"



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2305

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01/03/24

REVISIONS

Renovations to
124 Parc Monceau

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SHEET NO.

A302

HSB-23-007
ZON-23-095