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By yfigueroa at 12:43 pm, Mar 06, 2024

FINAL SUBMITTAL

ARC-24-030

202 OSCEOLA WAY

GENERAL CONTRACTOR (APPLICANT):

ELLEN ANDEL, ELLEN ANDEL CUSTOM HOMES
471 NORTH JUNO LANE
JUNO BEACH, FLORIDA 33408
(561) 846-0808

ARCHITECT:

HAROLD SMITH, SMITH AND MOORE ARCHITECTS
1500 S OUTH OLIVE AVENUE
WEST PALM BEACH, FLORIDA 33401
(561) 835-1888

SCOPE OF WORK: INSTALL NEW PANEL GARAGE DOORS IN LIEU OF LOUVER GARAGE DOORS PREVIOUSLY APPROVED BY ARCOM.

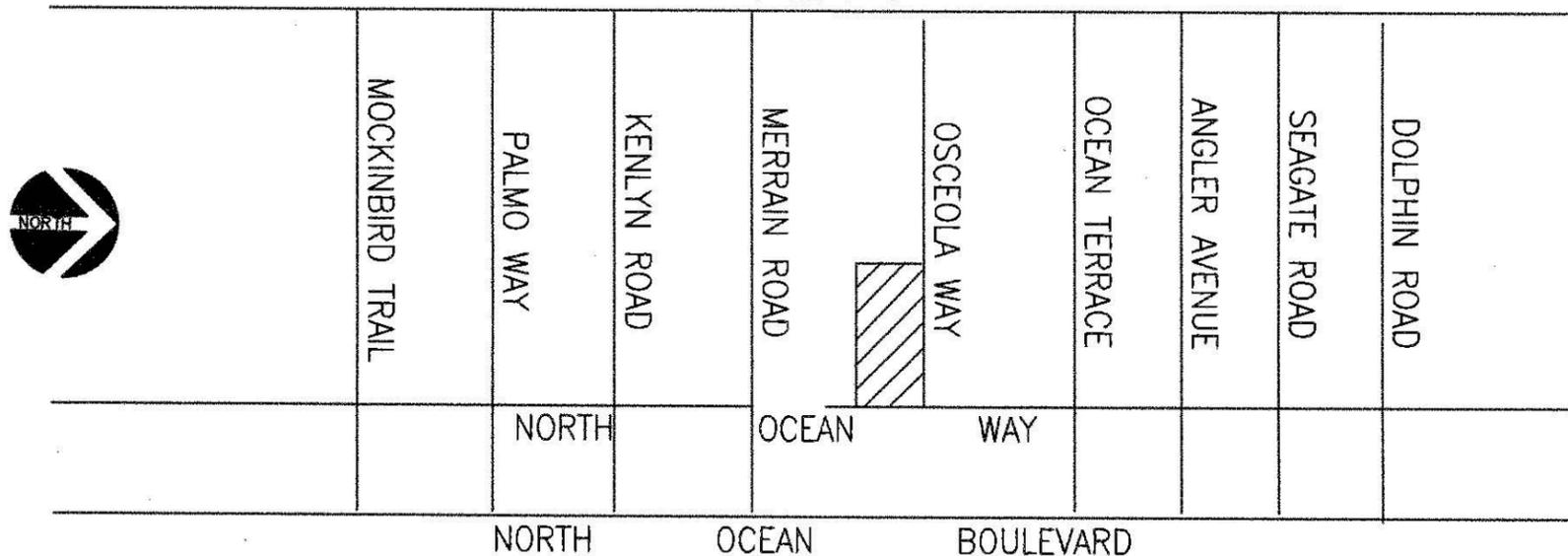
SHEET INDEX:

PROPERTY SURVEY
VICINITY LOCATION MAP
LOCATION PLAN
PHOTO SHEET 1
PHOTO SHEET 2
SITE PLAN
ELEVATIONS
ARCHITECTURAL DETAILS
EXTERIOR MATERIAL & FINISHES SHEET
CONSTRUCTION SCREENING PLAN
CONSTRUCTION STAGING AND LOGISTICS PLAN

SUBMITTAL DATE: MARCH 11, 2024

PROJECTED DATE OF HEARING: APRIL 24, 2024

N. LAKE WAY



Location Map

LEGAL DESCRIPTION:

LOT 13, PLAT OF OSCEOLA WAY, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 23, PAGE 131, PUBLIC RECORDS OF PALM BEACH COUNTY, FLOIRIDA;
AND

AN UNDIVIDED 1/14TH FEE SIMPLE INTEREST, IN COMMON WITH OTHER OWNERS OF LOTS LOCATED IN THE PLAT OF OSCEOLA WAY, HEREIN REFERRED TO, IN AND TO THAT CERTAIN UNNUMBERED LOT DESIGNATED AS "RESERVED FOR ALL LOT OWNERS OF OSCEOLA WAY" LOCATED BETWEEN LOT 1-A AND LOT 14-A ON THE PLAT OF OSCEOLA WAY RECORDED IN PLAT BOOK 23, PAGE 131, AS RECORDED IN OFFICIAL RECORD BOOK 8678, PAGE 330, ALL OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT NUMBER FACC 16180, DATED DECEMBER 23, 1991 AS PREPARED BY FIRST AMERICAN TITLE INSURANCE CO., THE DESCRIPTION, AND EASEMENTS AS SHOWN HEREIN ARE AS STATED IN SAID INSTRUMENT.
2. ELEVATIONS AS SHOWN HEREON ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988. REFERENCE BENCHMARK IS A PALM BEACH COUNTY DISK DESIGNATED "A-310", WHICH HAS AN ESTABLISHED ELEVATION OF 3.17.
3. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT ADDRESSED AS A PART OF THIS SURVEY. ONLY VISIBLE ABOVE GROUND IMPROVEMENTS HAVE BEEN SHOWN. THERE MAY EXIST UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER MATTERS WHICH HAVE NOT BEEN REFLECTED ON THIS SURVEY.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
5. ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THIS OFFICE
6. THIS MAP, AS DEPICTED IN ITS GRAPHIC FORM, BEARING THE SIGNATURE AND SEAL OF THE SURVEYOR, IS THE OFFICIAL DOCUMENT OF THE LANDS AS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE MAP.
7. THIS SURVEY IS PREPARED FOR THE PARTIES AS LISTED HEREON AND IS NOT ASSIGNABLE TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THIS OFFICE.
8. THIS SURVEY DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED AND CERTIFIED. REUSE OF AND/OR RELIANCE ON THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION BY DEAN SURVEYING AND MAPPING, INC. SHALL BE WITHOUT LIABILITY TO DEAN SURVEYING AND MAPPING, INC.

THIS BOUNDARY & TOPOGRAPHIC SURVEY PREPARED FOR:
DENNIS & ROSANNE VOLLMAN

PROPERTY LIES WITHIN A FLOOD ZONE X AS DERIVED FROM THE NATIONAL INSURANCE PROGRAM RATE MAP COMMUNITY PANEL NUMBER 12099C0393 F

PROPERTY ADDRESS: 202 OSCEOLA WAY, PALM BEACH, FLORIDA 33480

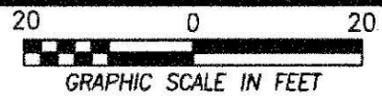
NOTE:
This drawing is not valid without embossed seal or Digital Signature of Surveyor.

Richard N Dean
Digitally signed by Richard N Dean
Date: 2023.10.17 08:03:42 -04'00'
RICHARD N. DEAN
Professional Surveyor & Mapper
Florida Certificate No. 4406
L.B. 6936



Dean Surveying & Mapping, Inc.
"The Measuring Line Shall Go Forth" Jeremiah 31:39
4201 Westgate Ave.
Suite A3
West Palm Beach, Florida 33409
Tel: (561) 625-8748 Facsimile (561) 626-4558

FIELD:	B.P./L.J.	DATE:	11/20/19
DRAWN:	-M.R.	SCALE:	N/A
SHEET:	1 of 2	JOB No.:	019-1006



TITLE POLICY NO. FAS 16180, DATED 12/23/1991

ITEMS 1-7 STANDARD EXCEPTIONS--NOTHING TO PLOT

ITEM 8 PLAT MATTERS--2.5' EASEMENT SHOWN

ITEM 9 COVENANTS D.B. 942, PG. 349

BUILDING SETBACKS: 25' FRONT, 10' SIDE, 10' REAR

ITEM 10 RIPARIAN/LITTORAL RIGHTS NOTHING TO PLOT

ITEM 11 RIGHT OF PUBLIC TO USE OF BEACH RESERVED AREA & 5' PUBLIC WAY SHOWN

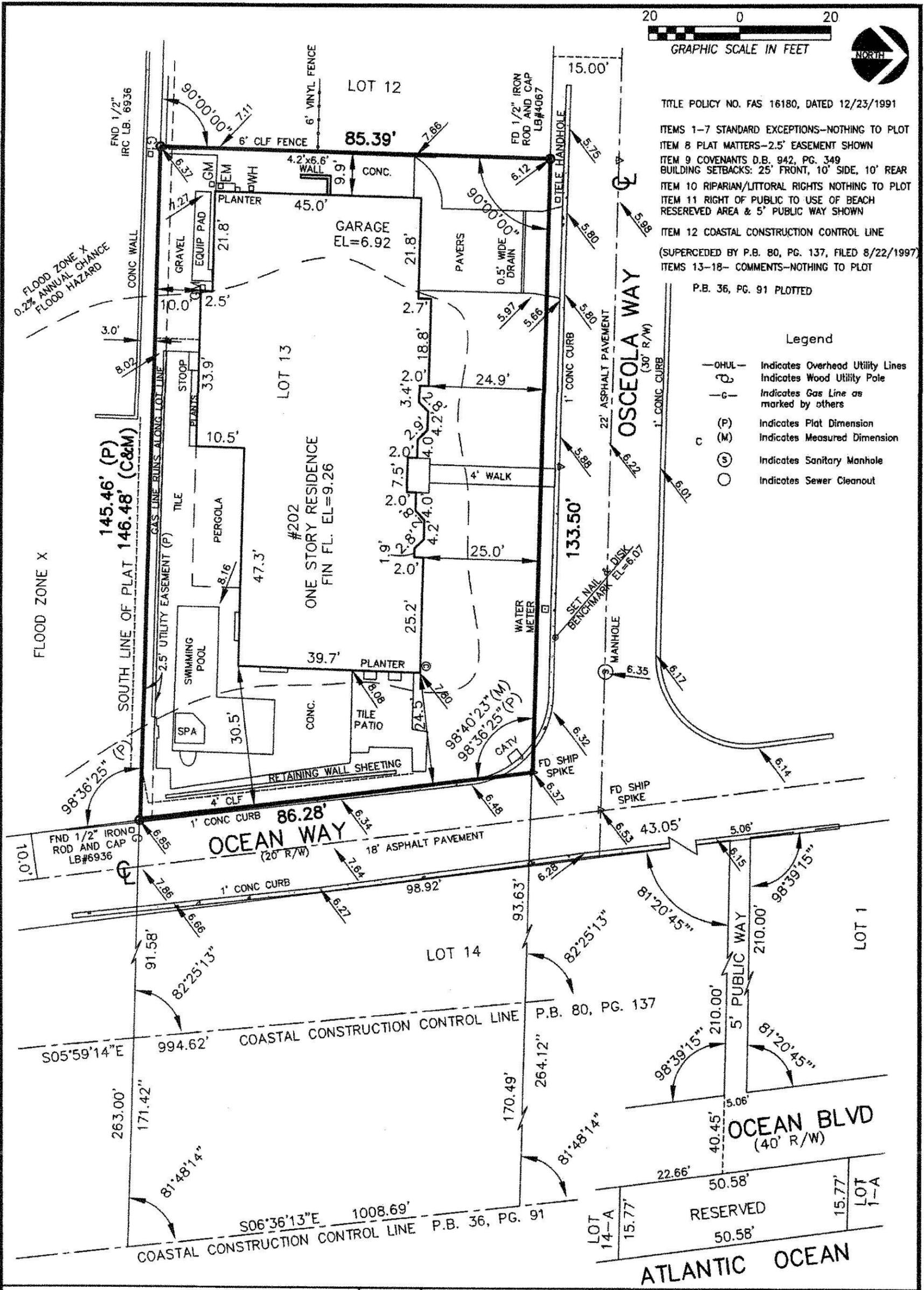
ITEM 12 COASTAL CONSTRUCTION CONTROL LINE (SUPERCEDED BY P.B. 80, PG. 137, FILED 8/22/1997)

ITEMS 13-18-- COMMENTS--NOTHING TO PLOT

P.B. 36, PG. 91 PLOTTED

Legend

- OHUL— Indicates Overhead Utility Lines
- ⊕ Indicates Wood Utility Pole
- G— Indicates Gas Line as marked by others
- (P) Indicates Plat Dimension
- (M) Indicates Measured Dimension
- ⊙ Indicates Sanitary Manhole
- Indicates Sewer Cleanout



REVISIONS	DATE
BOUNDARY SURVEY & TOPOGRAPHIC Prepared For: DENNIS & ROSANNE VOLLMAN	
CORRECTED FRONT ENTRY	1/22/20
UPDATE SURVEY	02/10/23
FOOTER FORM BOARDS	5/12/23
LOCATE TIE BEAM	6/2/23
FINAL TIE-IN	10/10/23

NOTE:
This drawing is not valid without embossed seal or Digital Signature of Surveyor.

Richard N Dean
Digitally signed by Richard N Dean
Date: 2023.10.17 10:08:04-0400

RICHARD N. DEAN
Professional Surveyor & Mapper
Florida Certificate No. 4406
L.B. 6936

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FIELD: B.P./L.J.	DATE: 11/20/19
DRAWN: M.R.	SCALE: 1"=20'
SHEET: 2 of 2	JOB No.: 019-1006

DOROTHY JACKS
CFA, AAS
Palm Beach County Property Appraiser
We Value What You Value

[PAPA Home](#)

Search by Owner, Address or Parcel

Tools [X]

School Attendance Zones

View maps or get directions at:
[Bing](#) [Google](#) [Pictometry](#)

Measure [?]

Select parcels:
[Select Parcels on the Map](#) [?]
[Select Parcels in Map Extent](#) [?]
[Clear Selected Parcels](#)

Select buffer below. Limit: 1 mile, or 5,280 ft.
 1/2 mile
 1 mile, or your value (ft.):

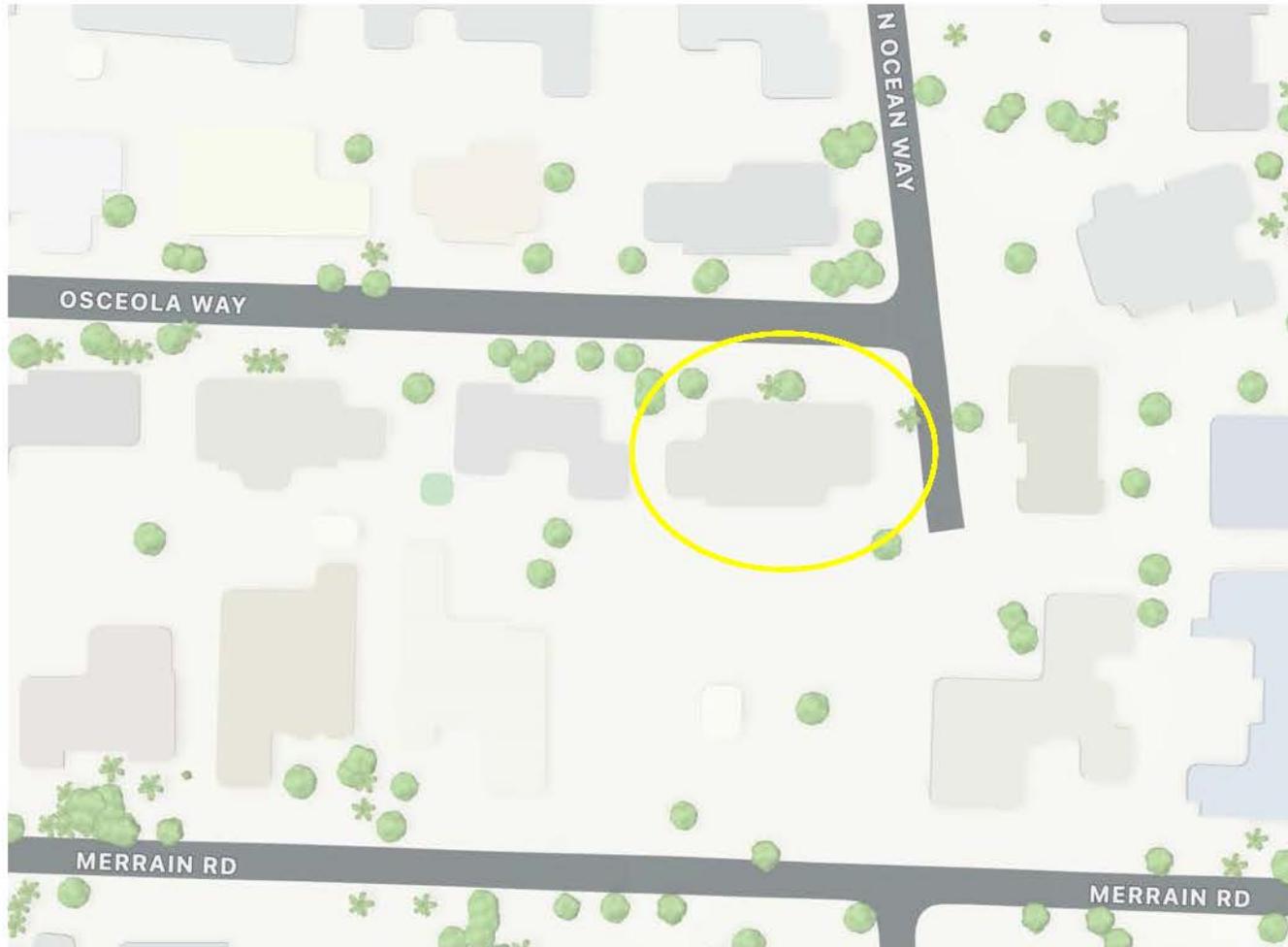
[Select Parcels Using Buffer](#) [?]

Select parcels with buffer: [?]
Multiple distances can be entered (300,500)
Max. Buffer: 1000 feet:
 [Go](#)

Select parcels and get a report:
[Mailing](#) [Sales](#) [?]

[eMail Map](#) [?]

VICINITY LOCATION MAP



LOCATION PLAN



PHOTO SHEET



PHOTO SHEET 2



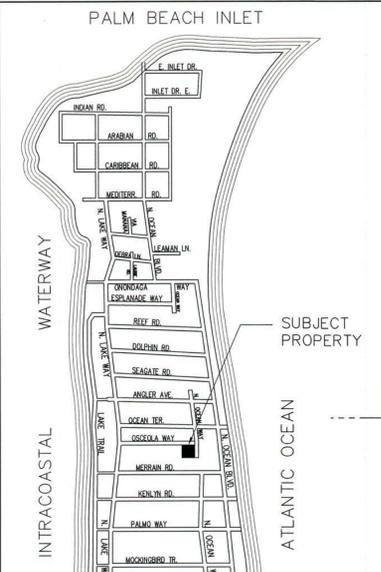
ADDITIONS
DR. AND MRS. VOLLMAN
 202 OSCEOLA WAY PALM BEACH, FLORIDA
SMITH AND MOORE ARCHITECTS, INC.
 1500 SOUTH OLIVE AVENUE WEST PALM BEACH, FLORIDA 33401 • TEL (561) 835-1888 FAX (561) 832-7015

FLORIDA AAC
 NO. 001285

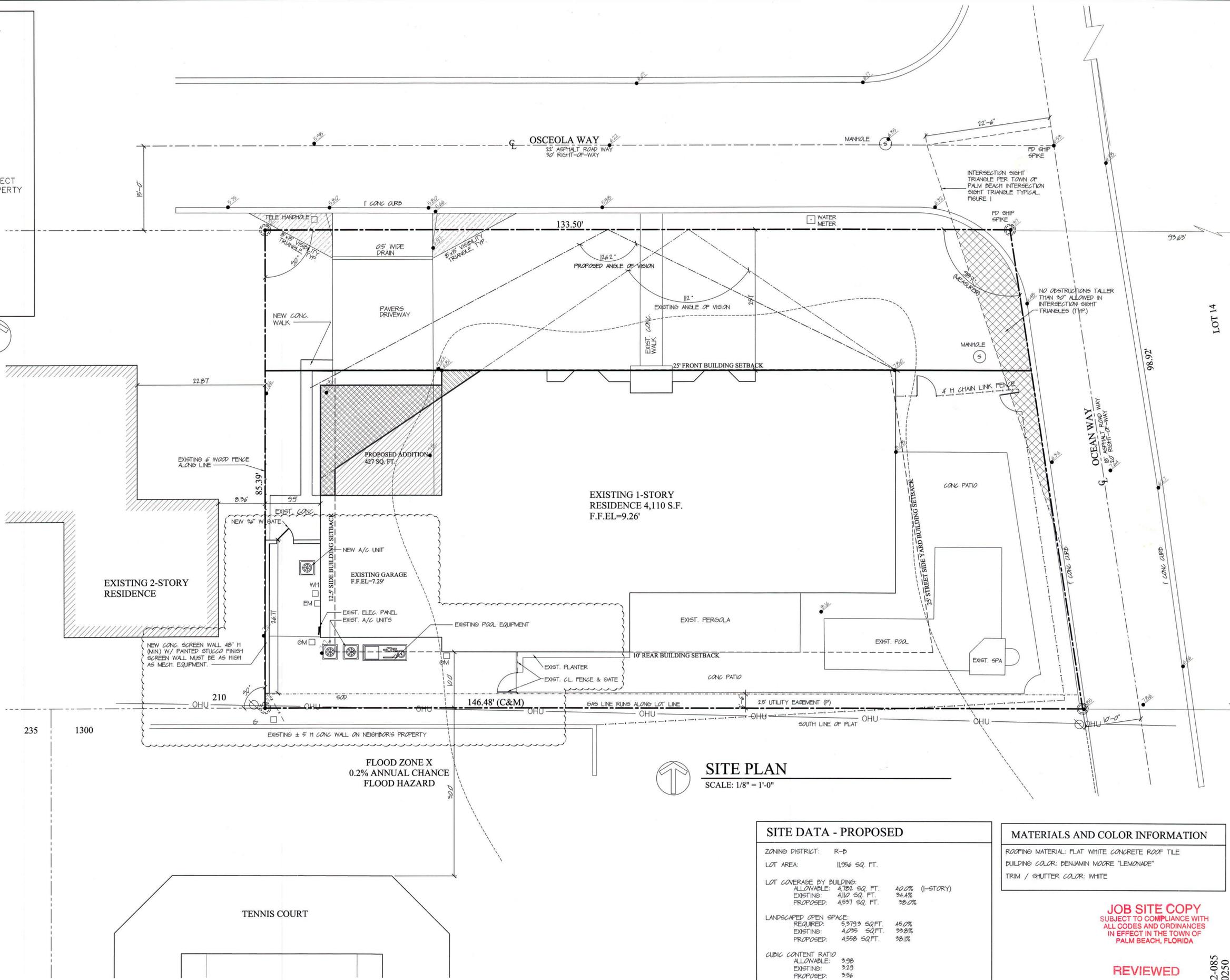
HAROLD J. SMITH
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 JONATHAN C. MOORE
 REGISTERED ARCHITECT 13541
 PETER G. PAPADOPOULOS
 REGISTERED ARCHITECT 92952
 DANIEL KAHAN
 REGISTERED ARCHITECT 94757

FIRST SUBMITTAL 2023-02-07
 FINAL SUBMITTAL 2023-02-28
 STAFF APPROVAL 2022-11-02
 PERMIT SUBMITTAL 2023-01-25

NO: 19077
 DWG. BY: TJK
 SHEET:
SP-100



AREA MAP
 NOT TO SCALE



SITE PLAN
 SCALE: 1/8" = 1'-0"

SITE DATA - PROPOSED	
ZONING DISTRICT:	R-P
LOT AREA:	11,956 SQ. FT.
LOT COVERAGE BY BUILDINGS:	
ALLOWABLE:	4,782 SQ. FT. 40.0% (1-STORY)
EXISTING:	4,110 SQ. FT. 34.4%
PROPOSED:	4,537 SQ. FT. 38.0%
LANDSCAPED OPEN SPACE:	
REQUIRED:	5,379 SQ. FT. 45.0%
EXISTING:	4,025 SQ. FT. 33.8%
PROPOSED:	4,558 SQ. FT. 38.1%
CUBIC CONTENT RATIO:	
ALLOWABLE:	3.98
EXISTING:	3.23
PROPOSED:	3.56
ANGLE OF VISION:	
ALLOWABLE:	112°
EXISTING:	116.7°
PROPOSED:	126.2°

MATERIALS AND COLOR INFORMATION
ROOFING MATERIAL: FLAT WHITE CONCRETE ROOF TILE
BUILDING COLOR: BENJAMIN MOORE "LEMONADE"
TRIM / SHUTTER COLOR: WHITE

JOB SITE COPY
 SUBJECT TO COMPLIANCE WITH
 ALL CODES AND ORDINANCES
 IN EFFECT IN THE TOWN OF
 PALM BEACH, FLORIDA

REVIEWED
 MAR 16 2022
 TPB PLAN EXAMINER
 MECH/ELECT/PLUMB

ARC-22-085
 Z-20-00250



PROPOSED NORTH ELEVATION - COLOR
SCALE: 1/4"=1'-0" **PREVIOUSLY APPROVED**



PROPOSED NORTH ELEVATION - COLOR
SCALE: 1/4"=1'-0" **CURRENTLY PROPOSED**



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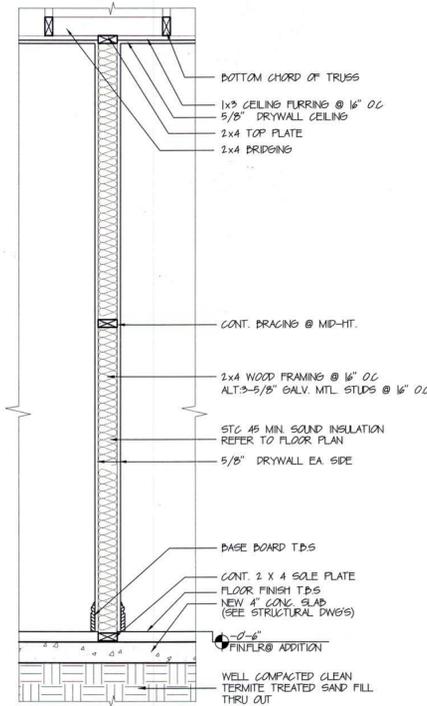
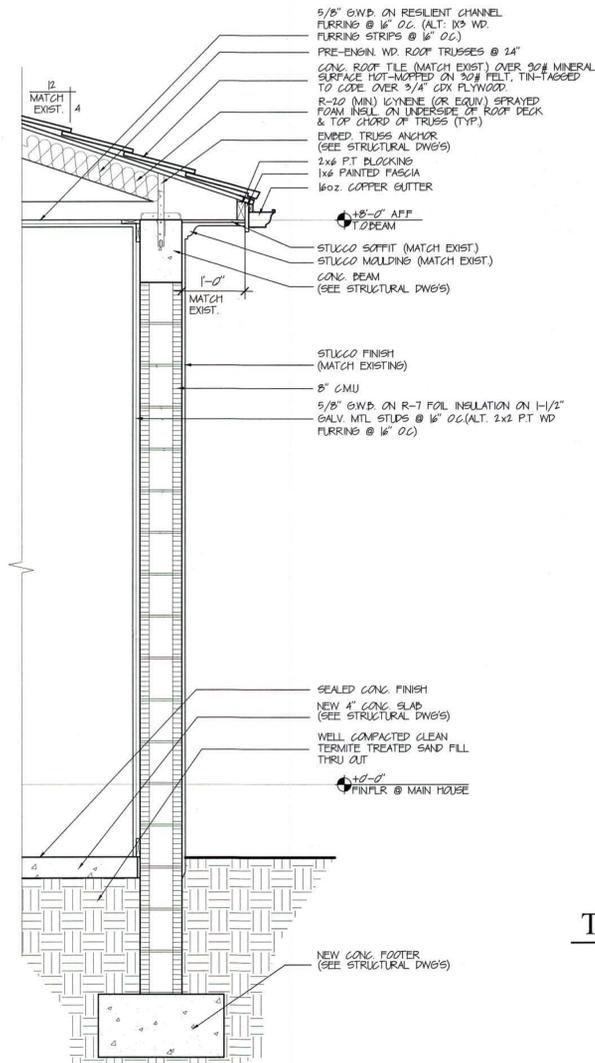
FLORIDA AAC

 1-26-23
 NO. 001285

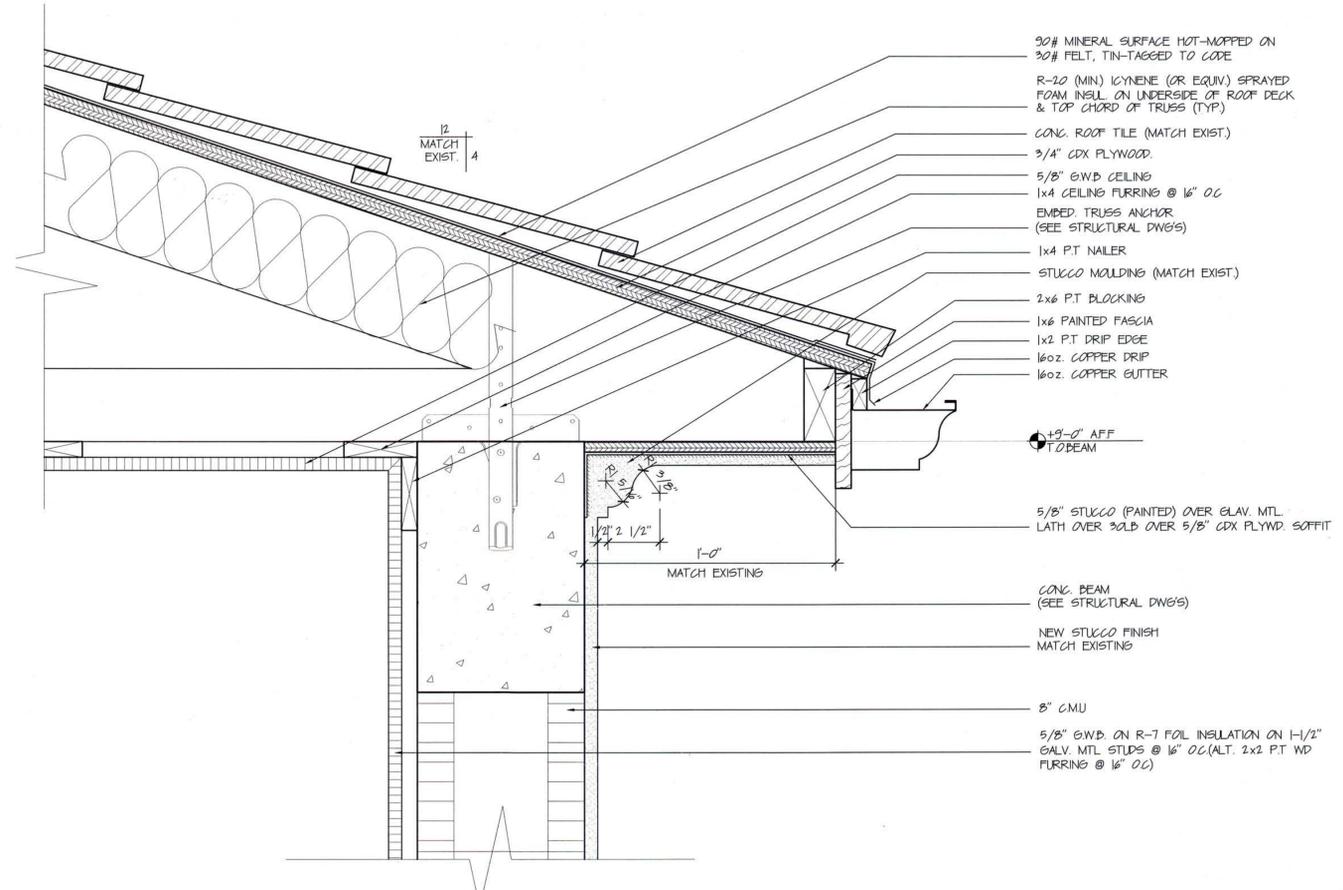
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D.R.C. SUBMITTAL 2020-02-12
 PERMIT SUBMITTAL 2023-01-25

NO: 19077
 DWG. BY: TJK
 SHEET:
A-301

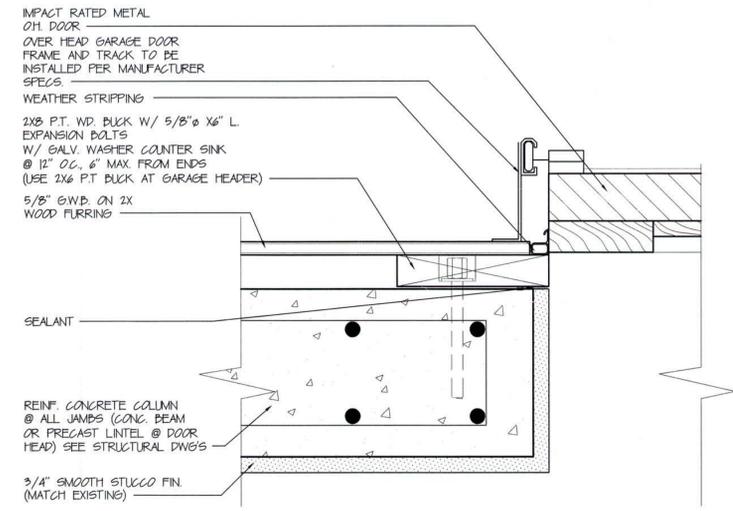


TYP- INTERIOR PARTITION
 SCALE: 3/4"=1'-0"



TYPICAL EAVE DETAIL
 SCALE: 3/4"=1'-0"

TYPICAL WALL SECTION
 SCALE: 3/4"=1'-0"



GARAGE DOOR BUCK DETAIL
 SCALE: 3"=1'-0"

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REVIEWED
 MAR 16 2022
 TPB PLAN EXAMINER
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ARC-22-085
 Z-20-00250

EXTERIOR MATERIAL & FINISHES SHEET

ROOFING: FLAT WHITE CONCRETE ROOF TILE

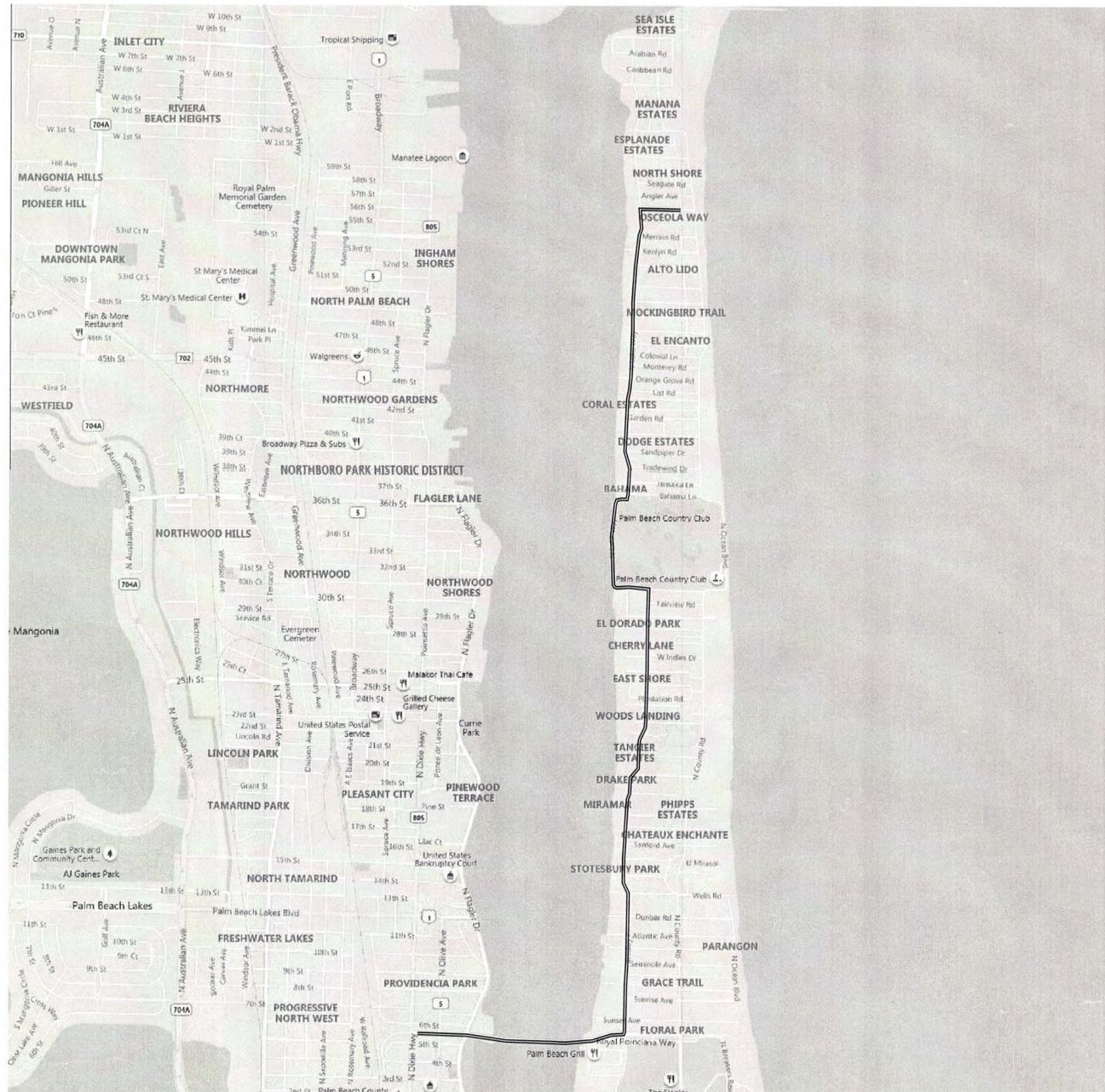
BUILDING: SMOOTH STUCCO PAINTED WITH BENJAMIN MOORE "LEMONADE"

TRIM/SHUTTERS: SMOOTH WOOD PAINTED WHITE

DRIVEWAY: CONCRETE PAVERS IN SHADES OF GREY



AMARR HERITAGE 3000
GARAGE DOOR



Truck Logistics

Largest truck delivery
Truss Truck

Maximum number of truck trips to property (Estimated)
50 (Dump Trucks, Demolition, Fill, Steel, Concrete, Block, Windows and Doors, Trusses, Roof Sheathing, A/C Units, Cabinets, Appliances, Floor Tile, Pavers, Landscape, Etc.)

The Flagler Memorial Bridge will be utilized. Trucks will be routed north on Bradley Place/North Lake Way to Osceola Way.



TRUCK ROUTE PLAN

SCALE: N.T.S

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1500 SOUTH OLIVE AVENUE WEST PALM BEACH, FLORIDA 33401

FLORIDA AAC
[Signature]
NO. 001285

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FIRST SUBMITTAL 2022-02-07
FINAL SUBMITTAL 2022-02-28

NO: 19077
DWG. BY:
SHEET:

SS-100

REVIEWED
As submitted 30 May 2023
TOWN OF PALM BEACH Public Works Department
Craig A. Hauschild, P.E., Engineering Plans Review
* TRUCKS GREATER THAN 30-FOOT IN LENGTH SHOULD NOT USE NORTH LAKE WAY. TRUCKS GREATER THAN 20FT IN LENGTH HAVE BEEN OBSERVED TO HAVE DIFFICULTY NAVIGATING SIMILAR STREETS.
* Construction schedule also needs to be provided.
JOB SITE COPY
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ARC-22-085
Z-20-00250