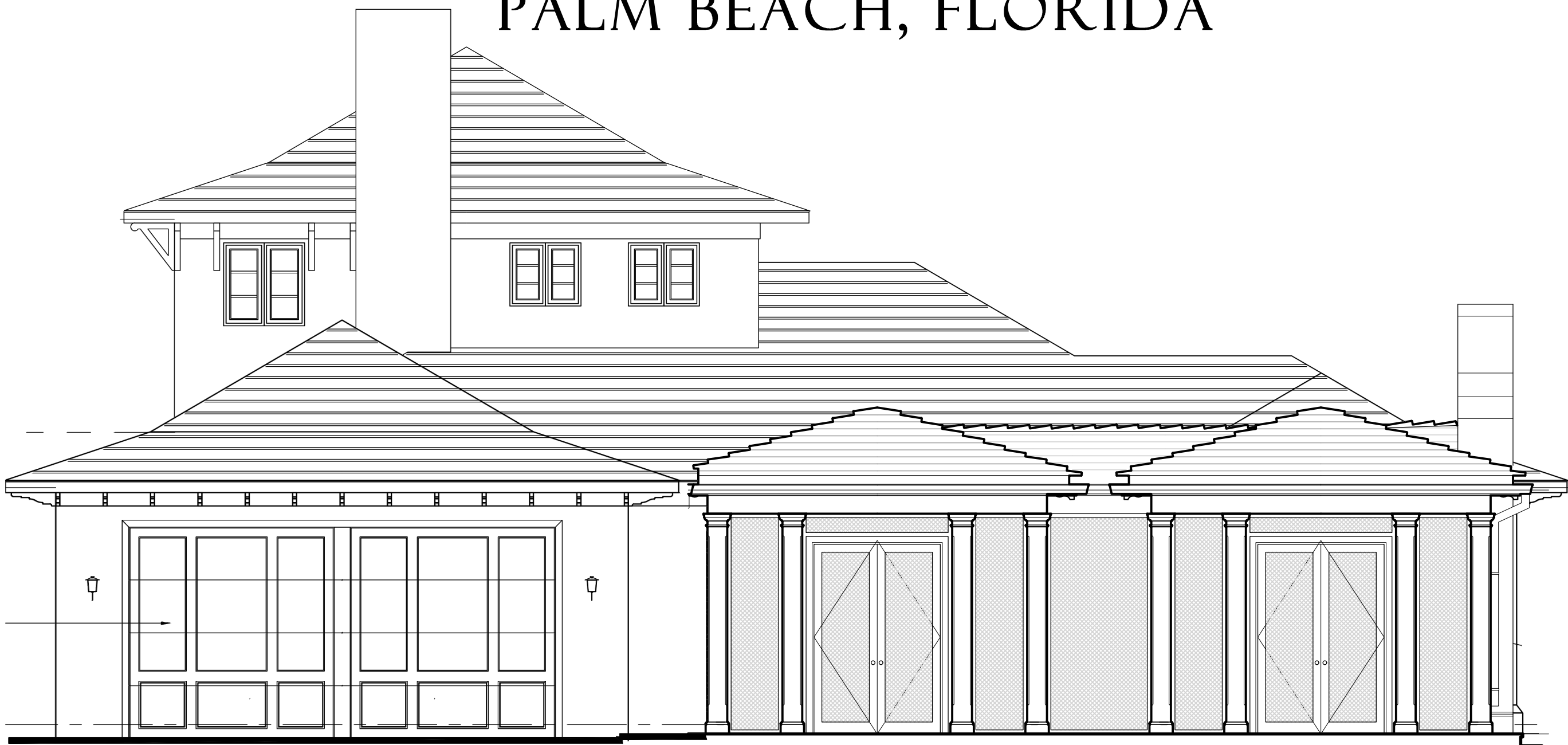


DEVELOPMENT REVIEW FINAL SUBMITTAL
02/12/2024

ARC-24-040 03/27/2024
ZON-24-046 04/10/2024

DEMOLITION OF EXISTING PERGOLA
REPLACEMENT WITH LOGGIA
227 ANGLER AVENUE

PALM BEACH, FLORIDA



KIRCHHOFF & ASSOCIATES
ARCHITECTS

SCOPE OF WORK	
1.	DEMOLITION OF EXISTING METAL STRUCTURE PERGOLA ON EAST YARD, DUE TO EXCESSIVE LEAKING; BUT MAINTAINING THE FIREPLACE.
2.	REPLACING THE METAL STRUCTURE PERGOLA, KEEPING THE SAME FOOTPRINT AND DESIGN CONCEPT; WITH A NEW STRUCTURE CONSISTING OF METAL COLUMNS AND A HAND-FRAMED ROOF WITH CONCRETE TILES

SHEET INDEX			
A0.1	COVER	DI.1	DEMOLITION PLAN
-	PROPERTY SURVEY	A2.IEX	FLOOR PLAN EXISTING
A0.2	NEIGHBORHOOD SITE PLAN	A2.I	FLOOR PLAN PROPOSED
A0.3	SITE PHOTOBOARD	A2.2	ROOF PLAN PROPOSED
A0.4	SITE PHOTOBOARD	A3.1	EXTERIOR ELEVATIONS - EAST
A0.5	NEIGHBORHOOD PHOTOBOARD	A3.2	EXTERIOR ELEVATIONS - NORTH
A0.6	NEIGHBORHOOD PHOTOBOARD	A3.3	EXTERIOR COLOR ELEVATION
A1.IEX	EXISTING SITE PLAN	A5.1	MATERIALS SECTION & DETAILS
A1.I	PROPOSED SITE PLAN	A9.1	TRUCKING ROUTE
A1.2	ZONING LEGEND	CI	SITE GRADING AND DRAINAGE PLAN
A1.3	LOT COVERAGE, CUBIC CONTENT	LI	HARDSCAPE PLAN
		LPI	LANDSCAPE PLAN

CONSULTANTS	
<u>LANDSCAPE ARCHITECT</u>	
NIEVERA WILLIAMS 223 SUNSET AVE., SUITE 1505 PALM BEACH, FL 33480 (561) 659-2820 FAX (561) 659-2113	
<u>SURVEY ENGINEER</u>	
WALLACE SURVEYING CORPORATION 5553 VILLAGE BOULEVARD WEST PALM BEACH, FLORIDA 33407 (561) 640-4551	

KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL

THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

1	JANUARY 29, 2024
2	FEBRUARY 12, 2024

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE PLOTTED:

DRAWN BY:
CG

CHECKED BY:
TK

DRAWING NUMBER:

A0.1

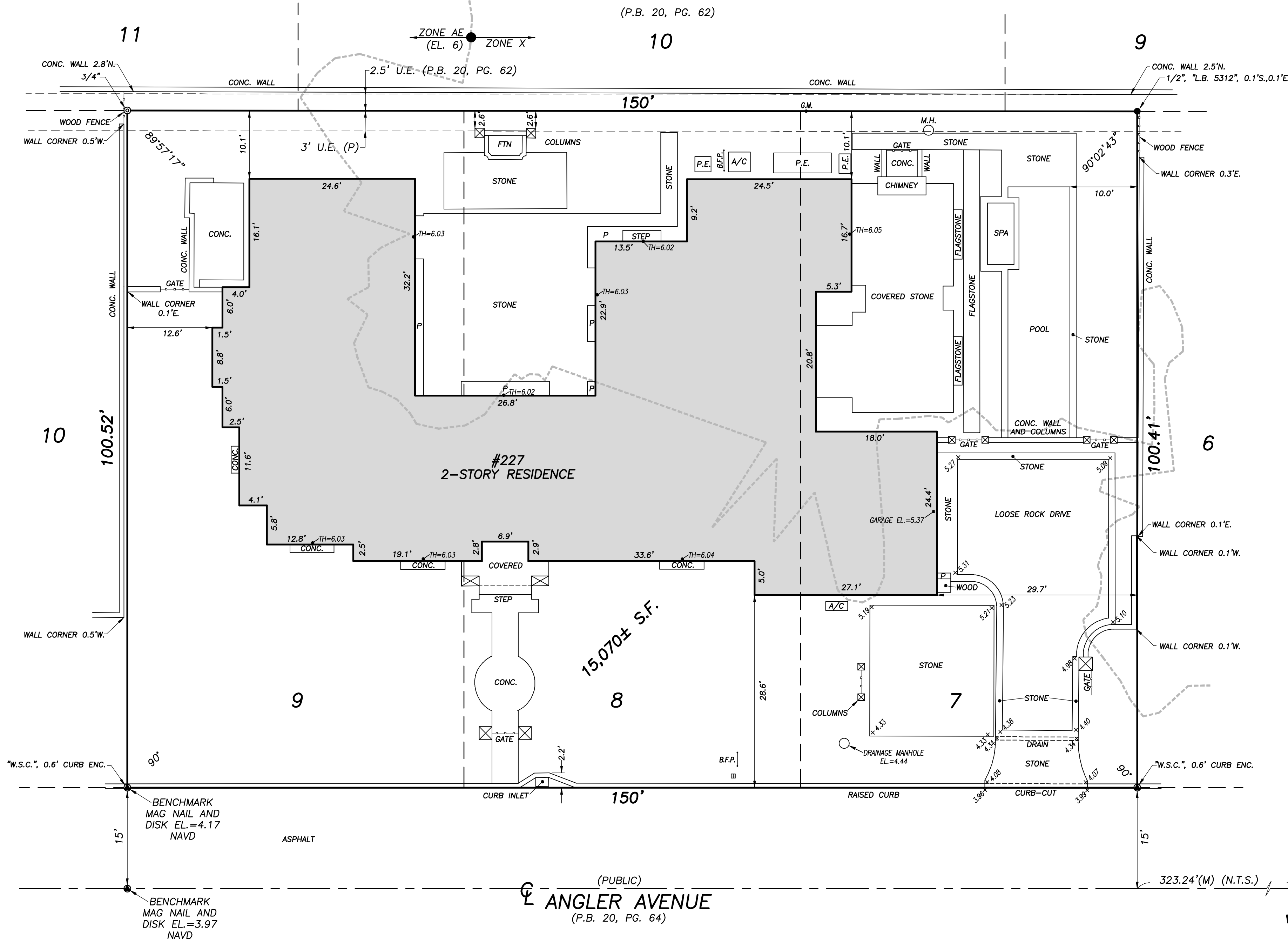
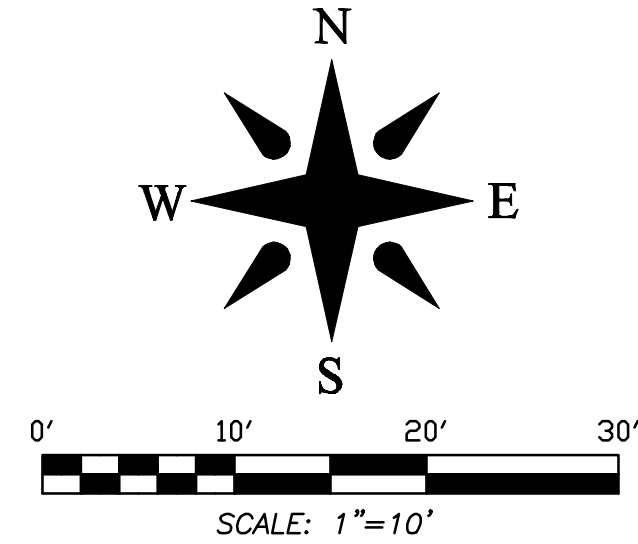
SCALE:
AS NOTED

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
B.F.P. = BACKFLOW PREVENTER
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
DW = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.F. = FINISH FLOOR
FND. = FOUND
FTN = FOUNTAIN
G.M. = GAS METER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
(P) = PLANTER
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
R.GE. = RANGE
R.P.B. = ROAD PLAT BOOK
R/W = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
SD = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
TH = THRESHOLD ELEVATION
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
B. = BASELINE
C. = CENTERLINE
C.A. = CENTRAL ANGLE/DELTA
CM. = CONCRETE MONUMENT FOUND (AS NOTED)
C.M.S. = CONCRETE MONUMENT SET (LB #4569)
R. = ROD & CAP FOUND (AS NOTED)
R.C. = 5/8" ROD & CAP SET (LB #4569)
R.P. = IRON PIPE FOUND (AS NOTED)
R.R. = IRON ROD FOUND (AS NOTED)
N. = NAIL FOUND
N.D. = NAIL & DISK FOUND (AS NOTED)
M.N.D. = MAG NAIL & DISK SET (LB #4569)
P.L. = PROPERTY LINE
U.P. = UTILITY POLE
H. = FIRE HYDRANT
W.M. = WATER METER
W.V. = WATER VALVE
L.P. = LIGHT POLE
P.T. = PINE TREE
S.P. = SABAL PALM

PLAT OF NORTH SHORE
ADDITION TO PALM BEACH

(P.B. 20, PG. 62)



FLOOD ZONES:

This property is located in Flood Zones AE (EL 6) & X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0393F, dated 10/05/2017.

NOTES:

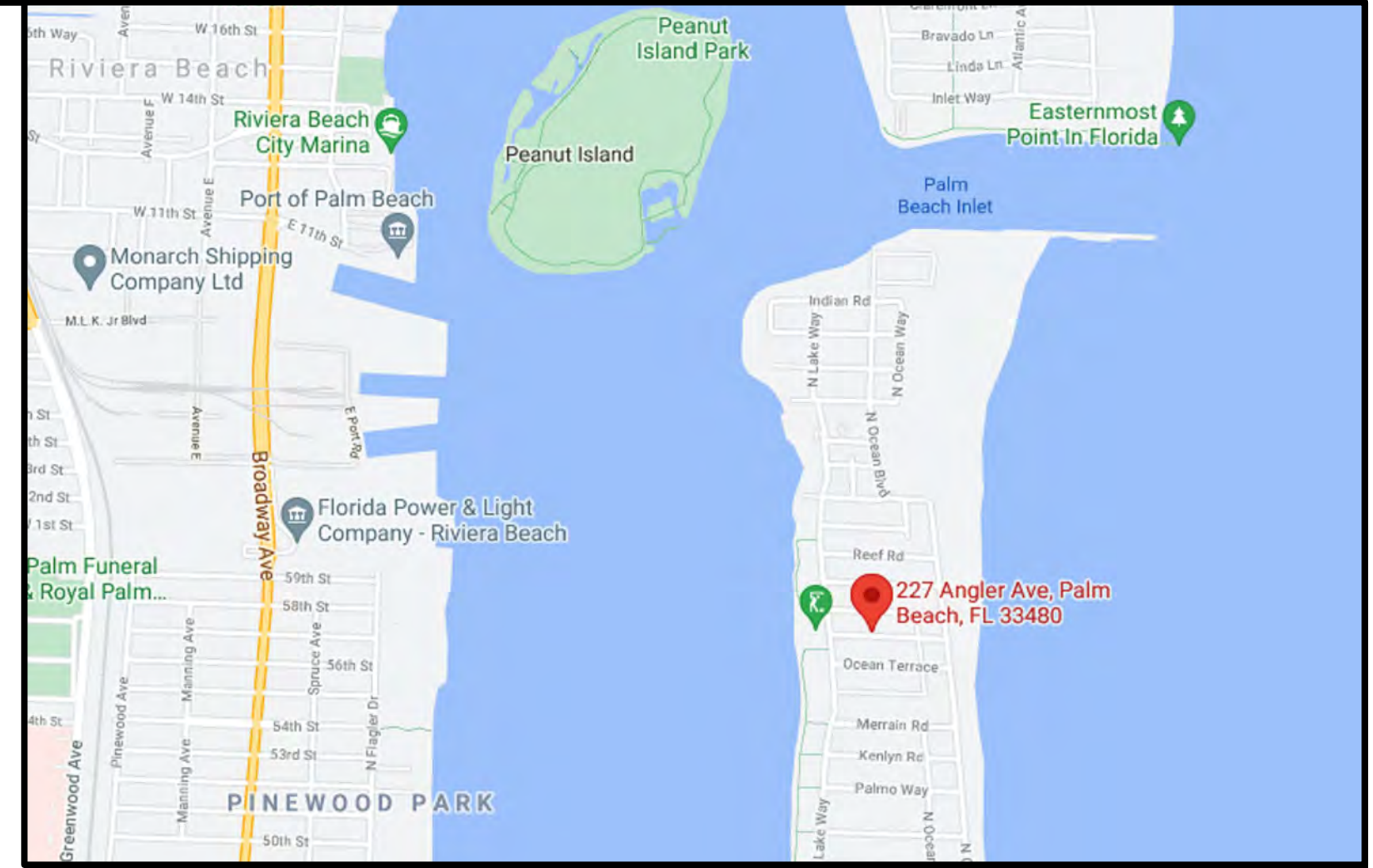
- No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 1/15/2024

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357



VICINITY SKETCH N.T.S.

BOUNDARY SURVEY FOR:

BYRON F. THOMAS, JR. AND MARY H. THOMAS

This survey is made specifically and only for the following parties for the purpose of a design on the surveyed property.

Byron F. Thomas, Jr. and Mary H. Thomas

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

227 Angler Avenue
Palm Beach, FL 33480

LEGAL DESCRIPTION:

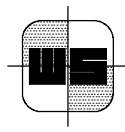
Lots 7, 8 and 9, PLAT 2 CAYUGA ESTATES, according to the Plat thereof, on file in the Office of the Clerk of the Circuit Court in and for Palm Beach County, Florida, recorded in Plat Book 15, Page 10.

REVISIONS:

- 01/15/23 SURVEY AND TIE-IN UPDATE B.M./M.B. 00-1234.9 PB358/12
12/09/21 SURVEY AND TIE-IN UPDATE WITH SPOT ELEVATIONS B.M./M.B. 00-1234.6 PB326/3
06/23/21 SURVEY AND TIE-IN UPDATE B.M./M.B. 00-1234.6 PB314/29
11/07/20 POOL FORM TIE-IN J.P./M.B. 00-1234.4 PB303/12
07/01/20 ADD FLOOD ZONE LINES M.B. 00-1234.3
01/18/20 UPDATE DRAWING & ADD COVER SHEET B.M.&J.P./GS 00-1234.2
06/7/05 CORRECT WALL TIES B.M./J.P. 00-1234
05/03/05 U.D. AND FINAL S.S./M.B. 00-1234T PB60/2
02/15/05 WALL FORMBORD T.I. G.C./K.S. 00-1234S PB65/57
10/25/04 POOL F.B. T.S./K.S. 00-1234R PB65/29
05/13/04 TIE-BEAM ELS B.M./J.P. 00-1234O WP78/44
04/20/04 TIE-BEAM ELS B.M./M.B. 00-1234M PB62/26
03/06/04 U.C. B.M./M.B. 00-1234M PB57/51
02/23/04 F.B. B.M./M.B. 00-1234K PB60/74
04/20/03 ADD ROAD CROWN ELEV'S OBTAINED ON 2/27/01 M.T./R.C., 00-1234T", PB39/33
04/22/03 SVY U.D. B.M./M.B. 00-1234G PB55/9
12/07/00 REMOVE IMPROVEMENTS M.B. 00-1234A

BOUNDARY SURVEY FOR:

BYRON F. THOMAS, JR. AND
MARY H. THOMAS



WALLACE SURVEYING
CORP., LICENSED BUSINESS # 4569
5555 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-6551

FIELD	J.P.	JOB NO.	00-1232.2	F.B.	PB291 PG. 3
OFFICE	G.S.	DATE	1/18/20	DWG. NO.	00-1234-3
C.K.D.	C.W.	REF.	00-1234-3-DWG	SHEET	1 OF 1



Ⓐ SOUTH ELEVATION - ENTRY



Ⓑ SOUTH ELEVATION



Ⓒ EAST YARD - PERGOLA



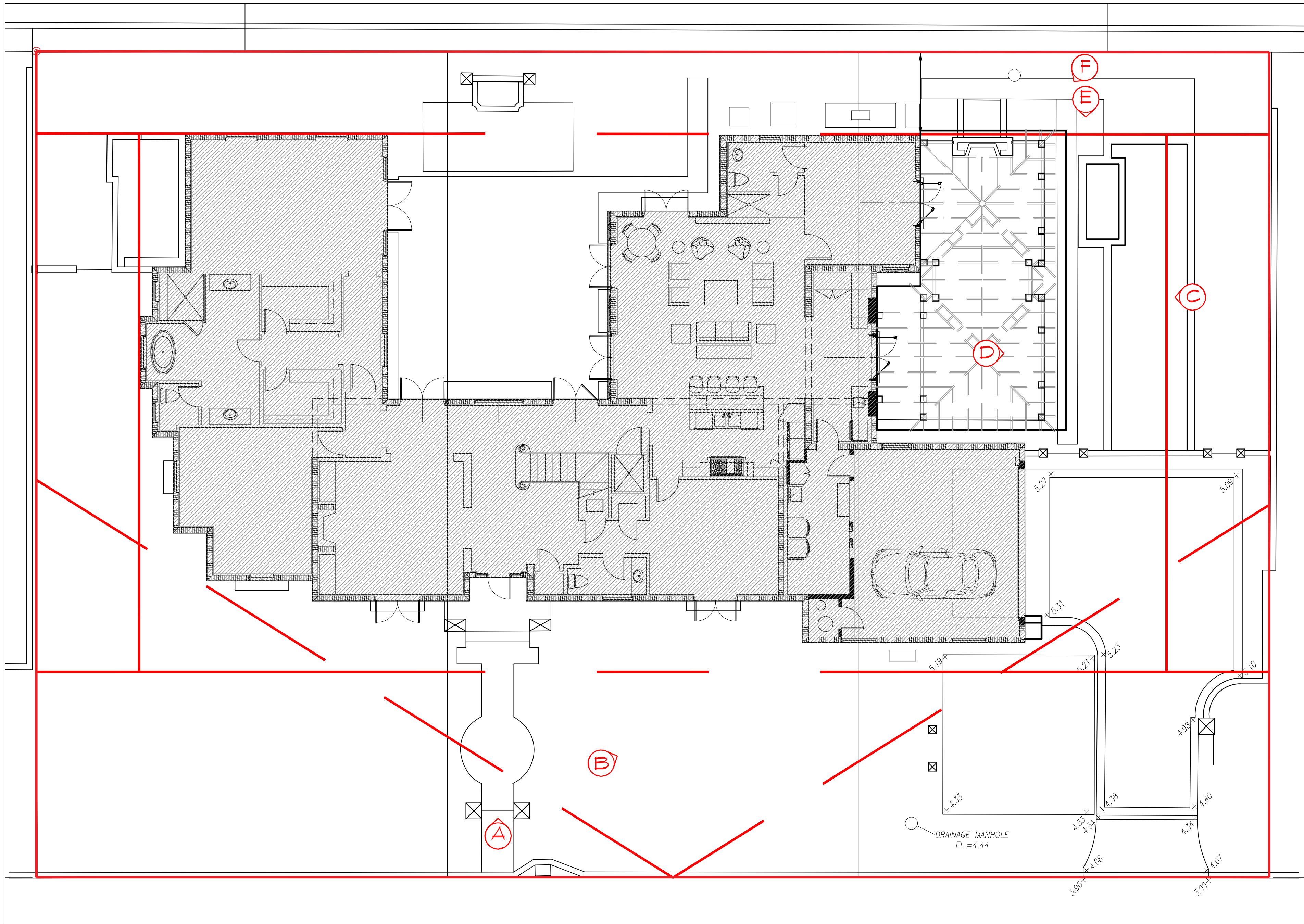
Ⓓ PERGOLA FROM INSIDE



Ⓔ EAST YARD LOOKING NORTH



Ⓕ NORTH SIDE - PERGOLA



1 **KEY SITE PLAN**
1/16" = 1'-0" 1ST FL.

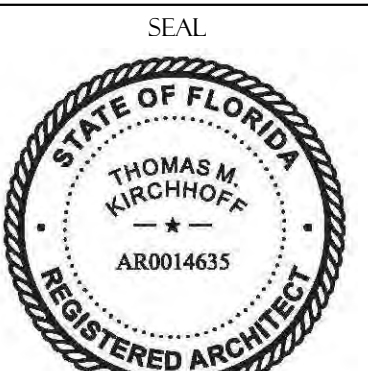


KIRCHHOFF & ASSOCIATES
ARCHITECTS
1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2013
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

ISSUED FOR: DATE:
PROGRESS SEPTEMBER 2023

DATE PLOTTED:

DRAWN BY: CHECKED BY:
CG TK

DRAWING NUMBER:

A0.3

SCALE:
AS NOTED



Ⓒ PERGOLA - INTERIOR LOOKING NORTH



Ⓓ PERGOLA - INTERIOR LOOKING EAST



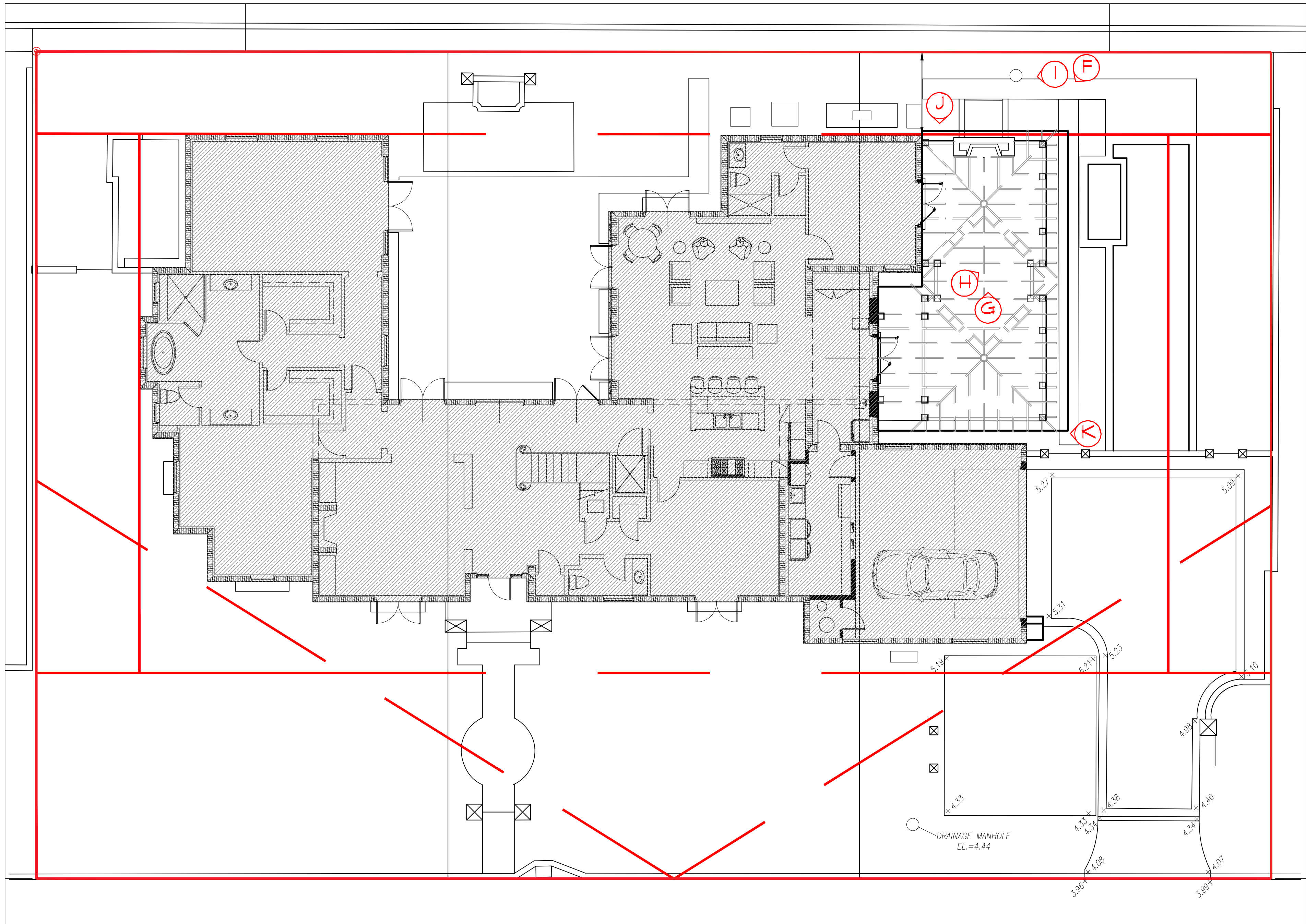
Ⓘ NORTH SIDE



⓵ FROM WEST SIDE OF PERGOLA



Ⓚ SOUTH SIDE OF PERGOLA



1 **KEY SITE PLAN**
1/16" = 1'-0" 1ST FL.

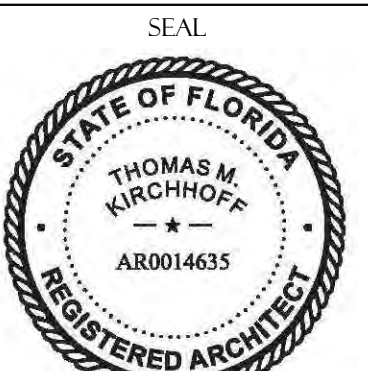


KIRCHHOFF & ASSOCIATES
ARCHITECTS
1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

ISSUED FOR: PROGRESS DATE: SEPTEMBER 2023

DATE PLOTTED:

DRAWN BY: CG CHECKED BY: TK
DRAWING NUMBER:

A0.4

SCALE:
AS NOTED



Ⓐ 255 ANGLER AVENUE



Ⓑ 251 ANGLER AVENUE



Ⓒ 235 ANGLER AVENUE



Ⓓ 227 ANGLER AVENUE



Ⓔ 227 ANGLER AVENUE



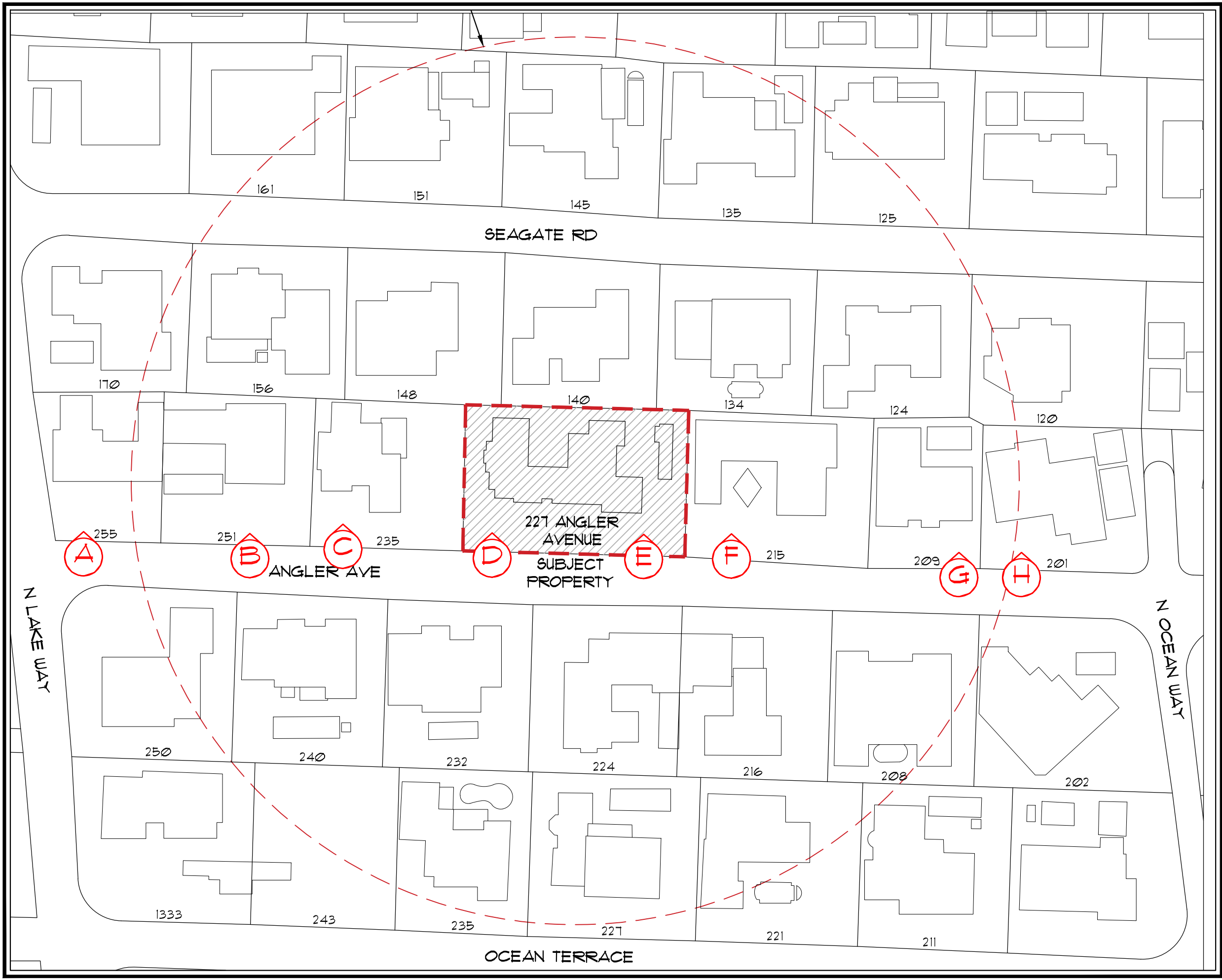
Ⓕ 215 ANGLER AVENUE



Ⓖ 209 ANGLER AVENUE



Ⓖ 201 ANGLER AVENUE



1 NEIGHBORHOOD KEY PLAN



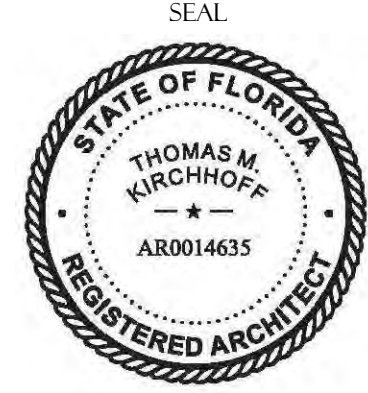
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS	

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE PLOTTED:

DRAWN BY:
CG

CHECKED BY:
TK

DRAWING NUMBER:

A0.5

SCALE:
AS NOTED



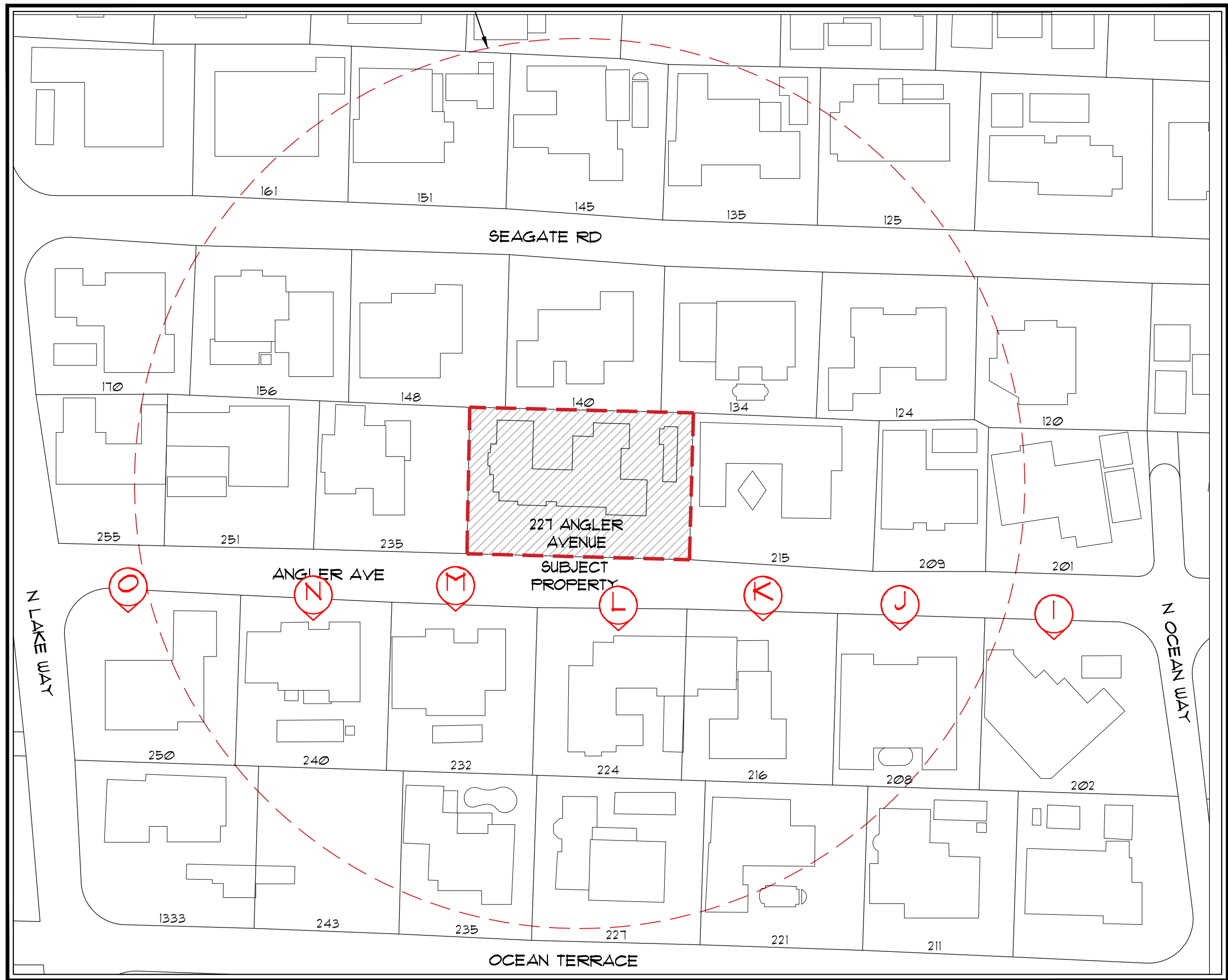
① 202 ANGLER AVENUE



② 208 ANGLER AVENUE



③ 216 ANGLER AVENUE



① **NEIGHBORHOOD KEY PLAN**



④ 224 ANGLER AVENUE



⑤ 232 ANGLER AVENUE



⑥ 240 ANGLER AVENUE



⑦ 250 ANGLER AVENUE

KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

**THOMAS
RESIDENCE**

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL

THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS	

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE PLOTTED:

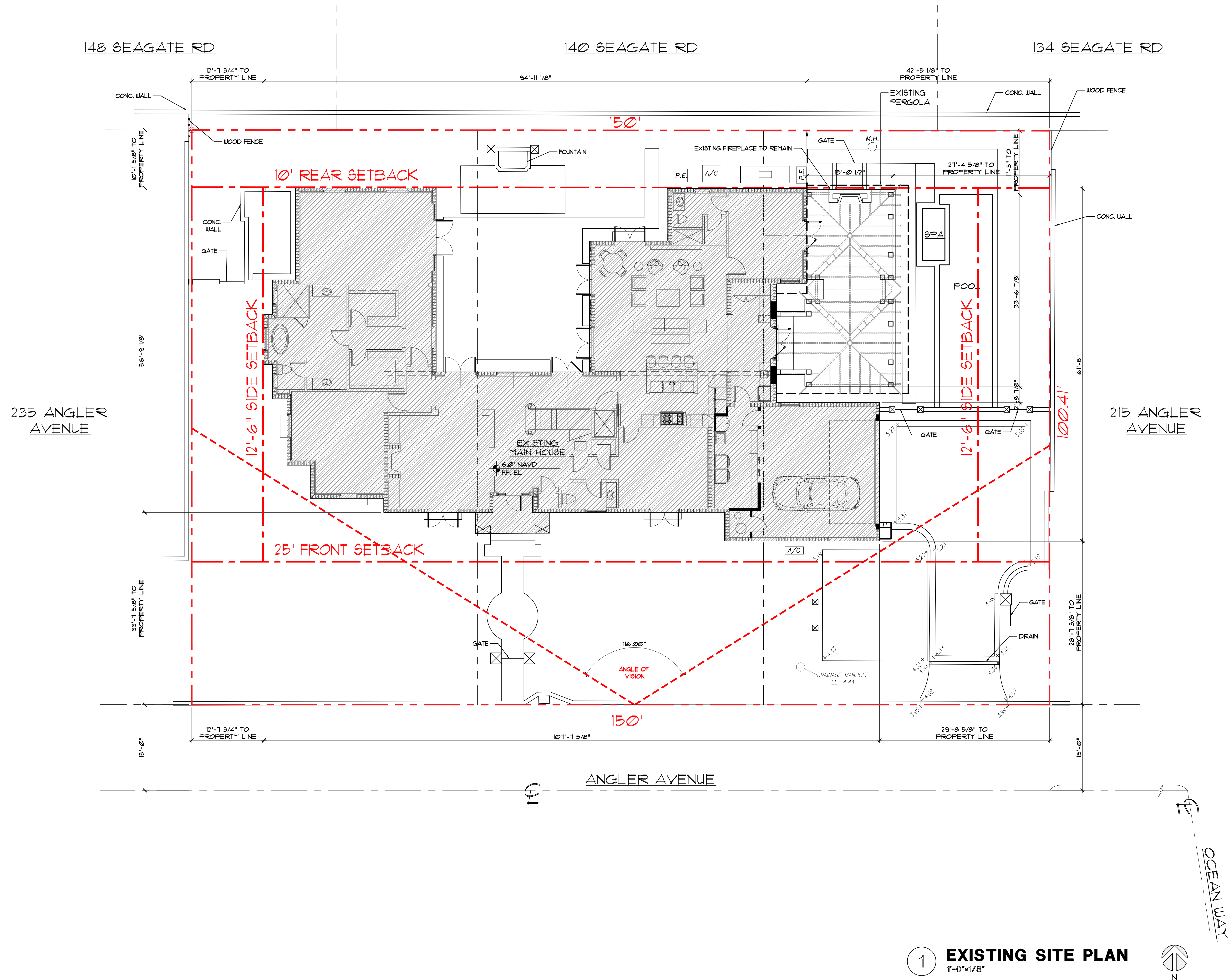
DRAWN BY:
CG

CHECKED BY:
TK

DRAWING NUMBER:

A0.6

SCALE:
AS NOTED



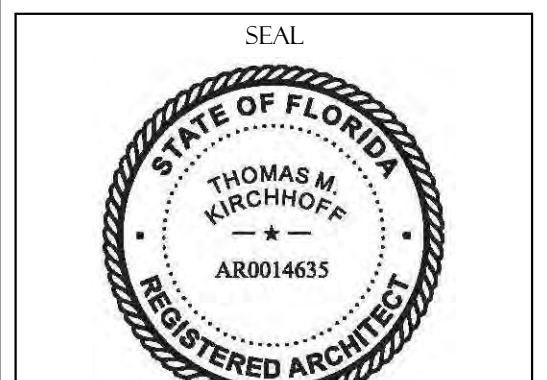
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF, P.E., REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE:
SEPTEMBER 2023

DATE PLOTTED:

DRAWN BY:
CG

CHECKED BY:
TK

DRAWING NUMBER:

A1.1ex

SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL. REG. NO. AR00H635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

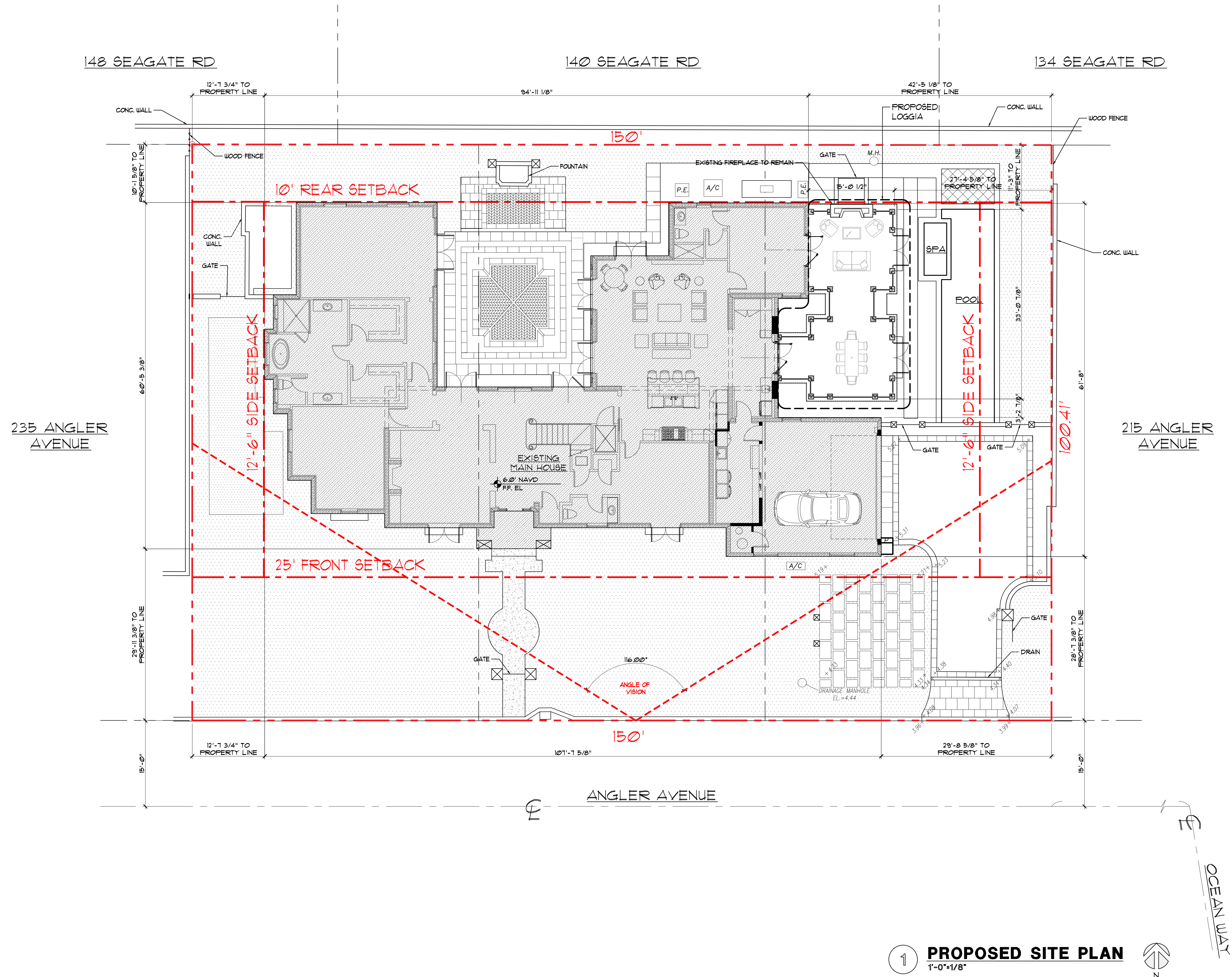
ISSUED FOR: PROGRESS	DATE: SEPTEMBER 202
-------------------------	------------------------

DATE PLOTTED: _____

DRAWN BY: CG	CHECKED BY: TK
-----------------	-------------------

A1.1

SCALE:
S NOTED



ARC - 24 - 040
ZON - 24 - 046



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	227 Angler Avenue		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Structure Type:	Single Family		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	10,000	15,070	N/C
6	Lot Depth	100'	100.41'	N/C
7	Lot Width	100'	150'	N/C
8	Lot Coverage (Sq Ft and %)	4,521 (30%)	4,463 (29.61%)	5,013 (33.26%)
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl., Accesory Structures, etc)	N/A	6,007	N/C
10	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/C
11	*Front Yard Setback (Ft.)	25' 1 stry 30' 2 stry	28'-7 3/8" 1stry	N/C
12	* Side Yard Setback (1st Story) (Ft.)	12'-6"	EAST 29'-8"	EAST 27'-4"
13	* Side Yard Setback (2nd Story) (Ft.)	15'	N/A	N/C
14	*Rear Yard Setback (Ft.)	10' 1 stry 15' 2 stry	10'-1"	N/C
15	Angle of Vision (Deg.)	116	116	N/C
16	Building Height (Ft.)	N/A	N/A	N/C
17	Overall Building Height (Ft.)	N/A	N/A	N/C
18	Crown of Road (COR) (NAVD)	N/A	N/A	N/C
19	Max. Amount of Fill Added to Site (Ft.)	N/A	N/A	N/A
20	Finished Floor Elev. (FFE)(NAVD)	7.0'	6.00'	N/C
21	Zero Datum for point of meas. (NAVD)	7.0'	7.0'	N/C
22	FEMA Flood Zone Designation	AE6 & X	AE6 & X	N/C
23	Base Flood Elevation (BFE)(NAVD)	7.0'	7.0'	N/C
24	Landscape Open Space (LOS) (Sq Ft and %)	6,781.5 (45%)	6,781.5 (45%)	N/C
25	Perimeter LOS (Sq Ft and %)	3,390.8	3,453	N/C
26	Front Yard LOS (Sq Ft and %)	1,500 (40%)	2,879 (87.4%)	N/C
27	**Native Plant Species %	N/A	N/A	N/A

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/C

NOTE FOR LINES 11 & 14:

FRONT AND REAR YARD
SETBACK SET BY TOPB CODE
SEC. 134-893(b)(5)A

1 ZONING LEGEND

ARC - 24 - 040
ZON - 24 - 046



KIRCHHOFF & ASSOCIATES
ARCHITECTS

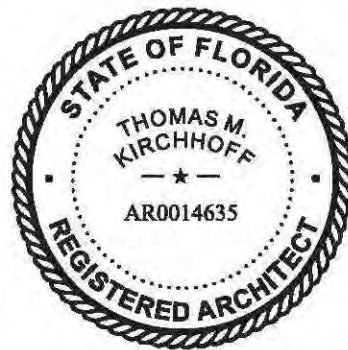
1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
Tel. 575-9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL



THOMAS M. KIRCHHOFF TEL: REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

△ JANUARY 29, 2024

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE PLOTTED:

DRAWN BY:
CG

CHECKED BY:
TK

DRAWING NUMBER:

A1.2

SCALE:
AS NOTED

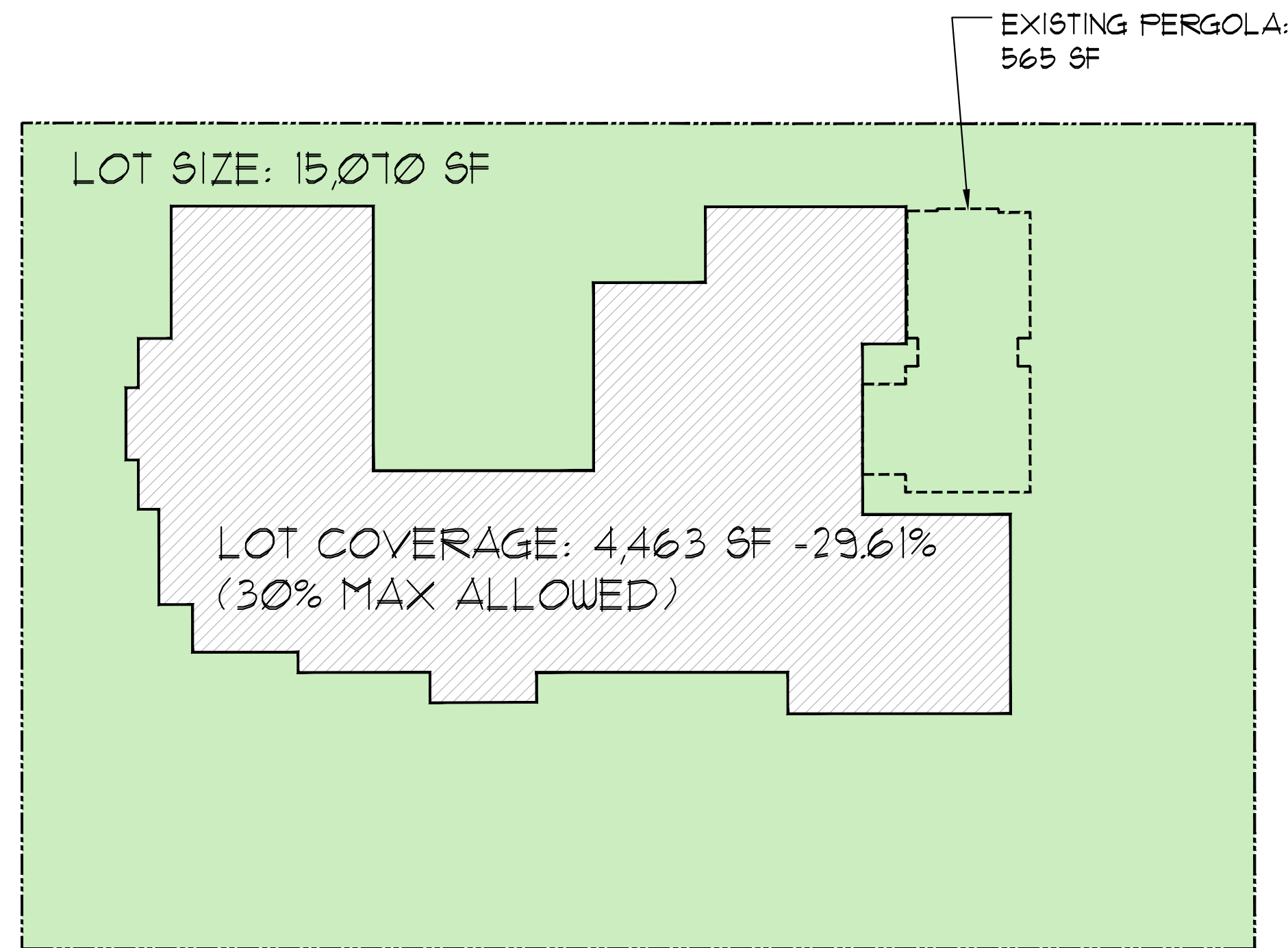
VARIANCE REQUIRED

SECTION 134-893(b) (11) A REQUEST FOR A VARIANCE TO ALLOW THE ADDITIONAL LOT COVERAGE AREA FROM THE PROPOSED LOGGIA A 33.26% LOT COVERAGE IN LIEU OF THE 30% ALLOWED

VARIANCE REQUIRED

SECTION 134-893(b)(13) A REQUEST FOR A VARIANCE TO ALLOW THE ADDITIONAL CUBIC CONTENT RESULTING FROM THE PROPOSED LOGGIA A 4.46 CCR IN LIEU OF THE 4.15 CCR ALLOWED

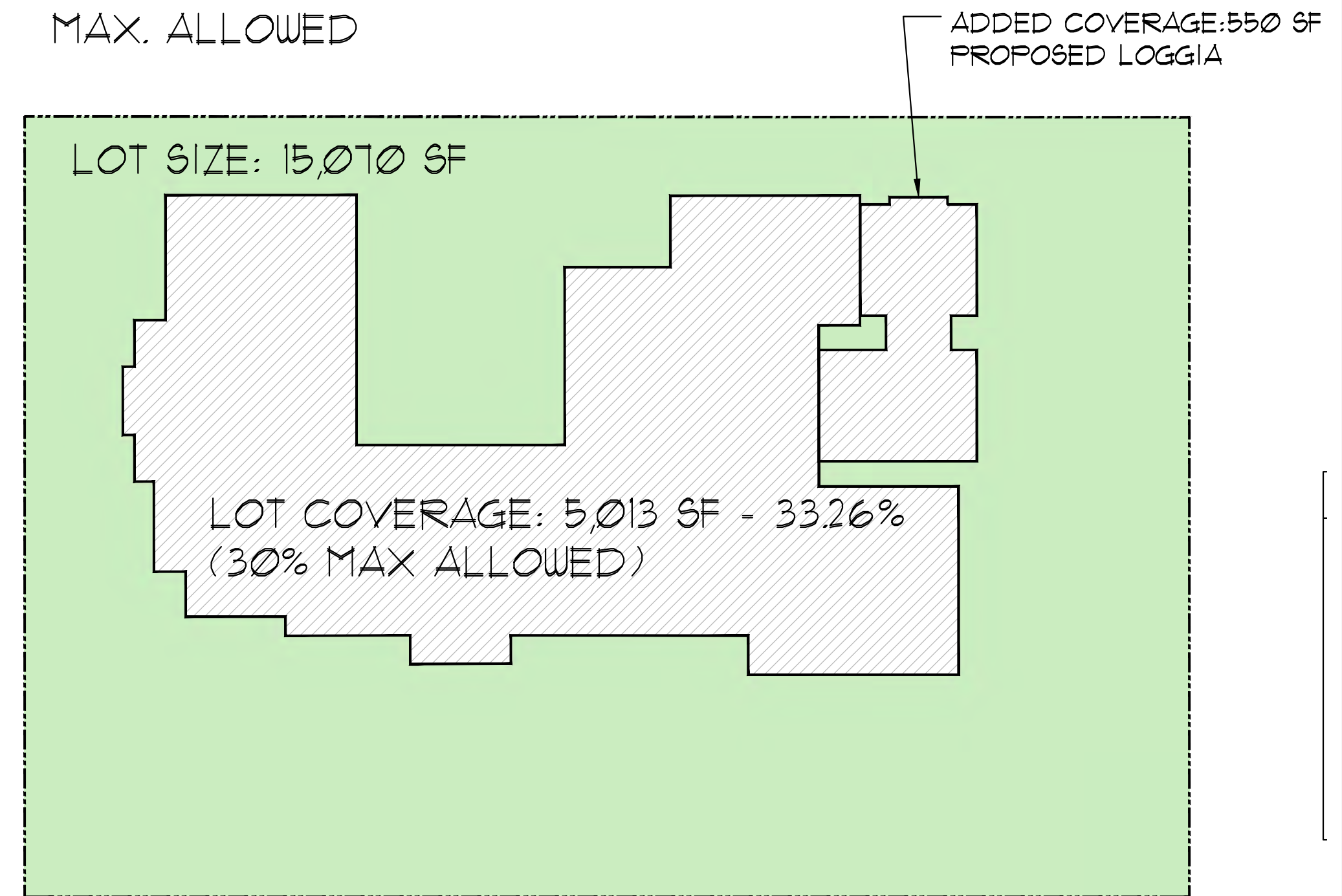
* EXISTING LOT COVERAGE



ANGLER AVE.

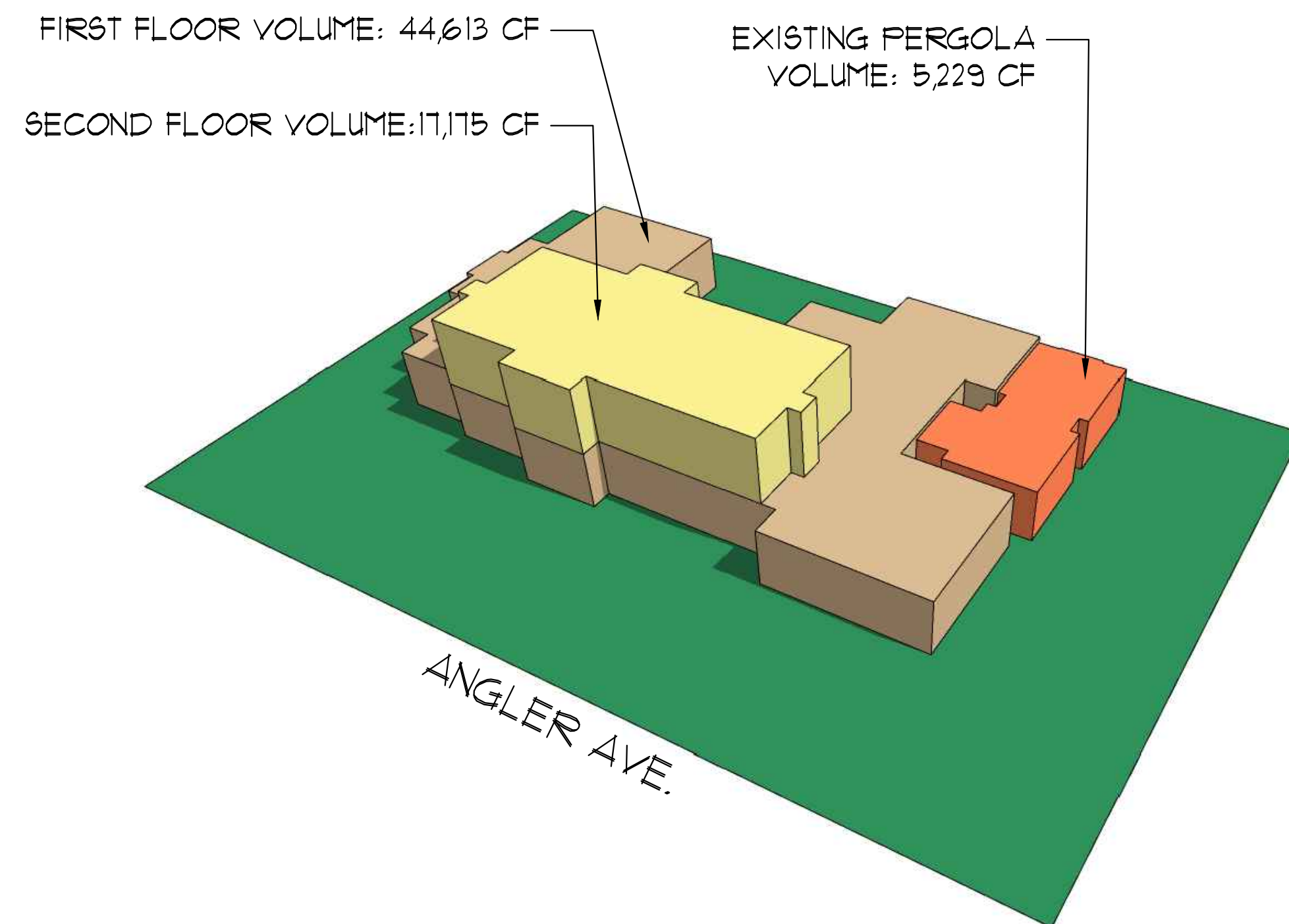
1 LOT COVERAGE- EXISTING

*PROPOSED LOT COVERAGE EXCEEDS MAX. ALLOWED

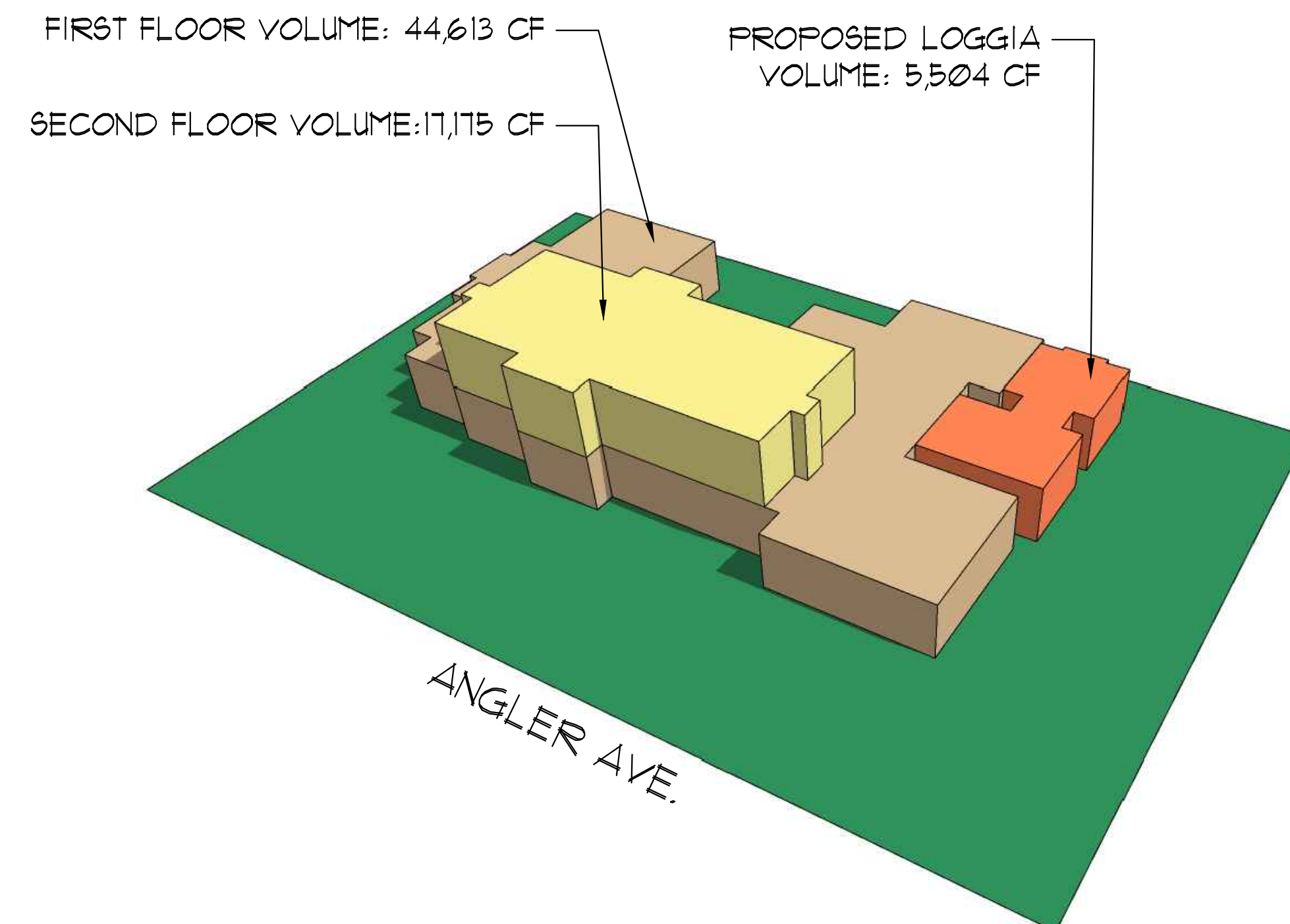


ANGLER AVE.

2 LOT COVERAGE- PROPOSED



3 CUBIC CONTENT- EXISTING



4 CUBIC CONTENT- PROPOSED

CUBIC CONTENT CALCULATIONS - RB

CCR = (BUILDING VOLUME/LOT AREA)
LOT SIZE = 15,070 SQUARE FEET
MAXIMUM ALLOWABLE CCR = $3.50 \times ((60,000 - 15,100) / 50,000) + 0.5$
MAXIMUM ALLOWABLE CCR = 3.94 = 59,494 CUBIC FEET
LOGGIAS, PERGOLAS 5% ALLOWABLE = 2,975 CUBIC FEET
TOTAL MAXIMUM ALLOWABLE CCR = 4.15 = 62,469 CUBIC FEET

NOTE: AVERAGE CROWN OF ROAD
FINISH FLOOR IS 6.00'
GARAGE FINISH FLOOR IS 5.31'
BASE FLOOD ELEVATION IS 7.00'
MEASURING POINT IS 6.00'

EXISTING RESIDENCE VOLUME:

FIRST FLOOR	4,461 SF × 10.00' =	44,612 CF
SECOND STORY	1,515 SF × 11.33' =	17,175 CF

TOTAL EXISTING RESIDENCE VOLUME:	=	61,787 CF
TOTAL EXISTING RESIDENCE CCR:	=	4.09

PROPOSED RESIDENCE VOLUME:

FIRST FLOOR NO CHANGE	4,461 SF × 10.00' =	44,612 CF
SECOND STORY NO CHANGE	1,515 SF × 11.33' =	17,175 CF

TOTAL EXISTING RESIDENCE VOLUME: NO CHANGE	=	61,787 CF
--	---	-----------

PROPOSED LOGGIA	550 SF × 10.00' =	5,500 CF
LOGGIAS, PERGOLAS 5% ALLOWABLE =		-2,975 CF

TOTAL PROPOSED RESIDENCE VOLUME:	=	67,281 CF
TOTAL PROPOSED RESIDENCE CCR:	=	4.46



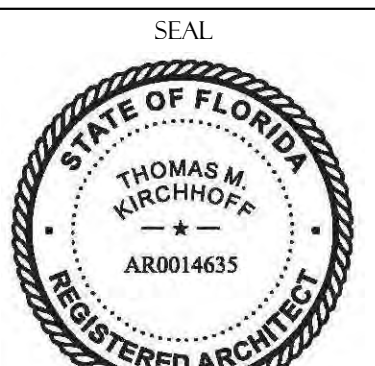
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF, P.L.L.C. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

1 JANUARY 29, 2024

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE:
SEPTEMBER 2023

DATE PLOTTED:

DRAWN BY:
CG

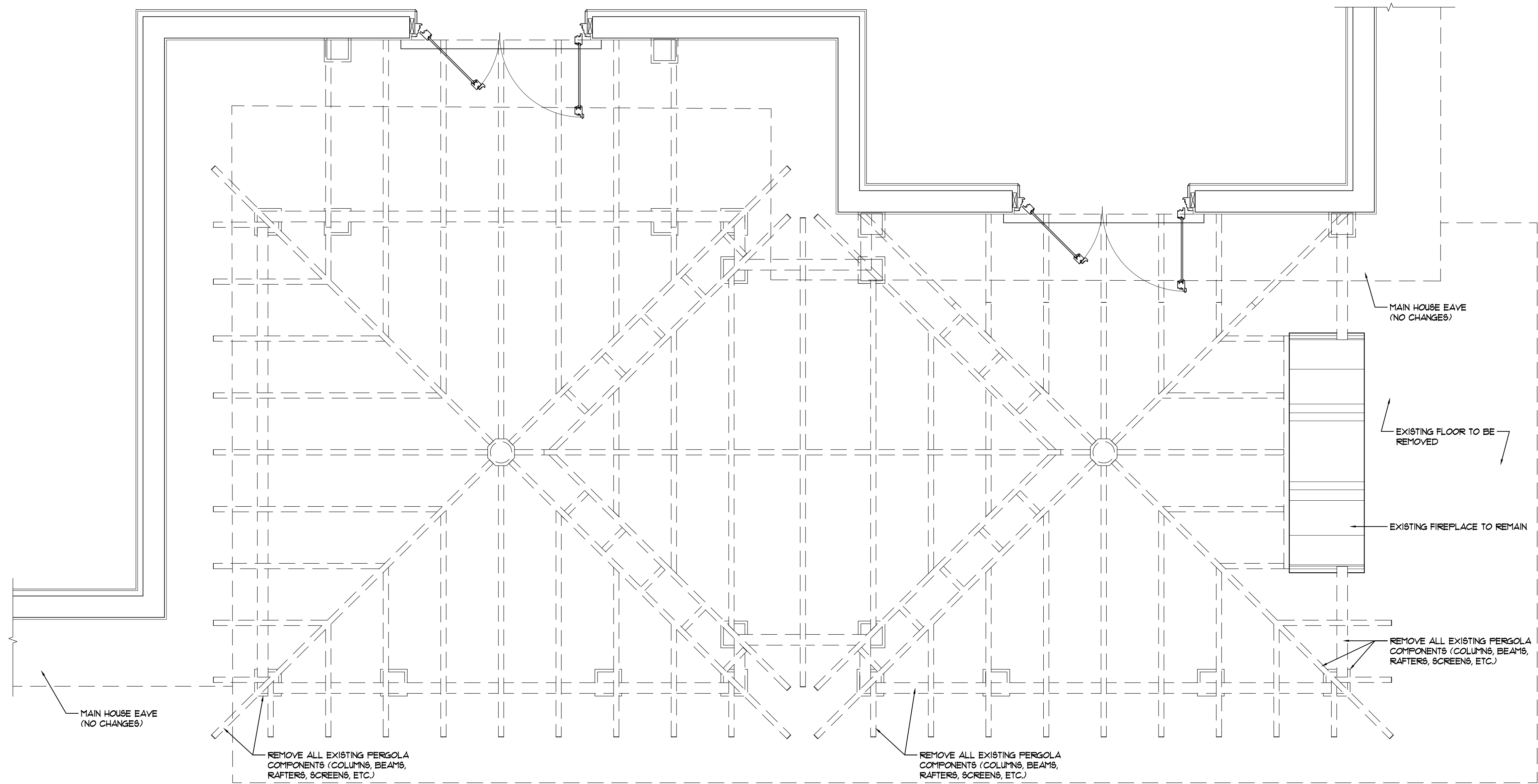
CHECKED BY:
TK

DRAWING NUMBER:

A1.3

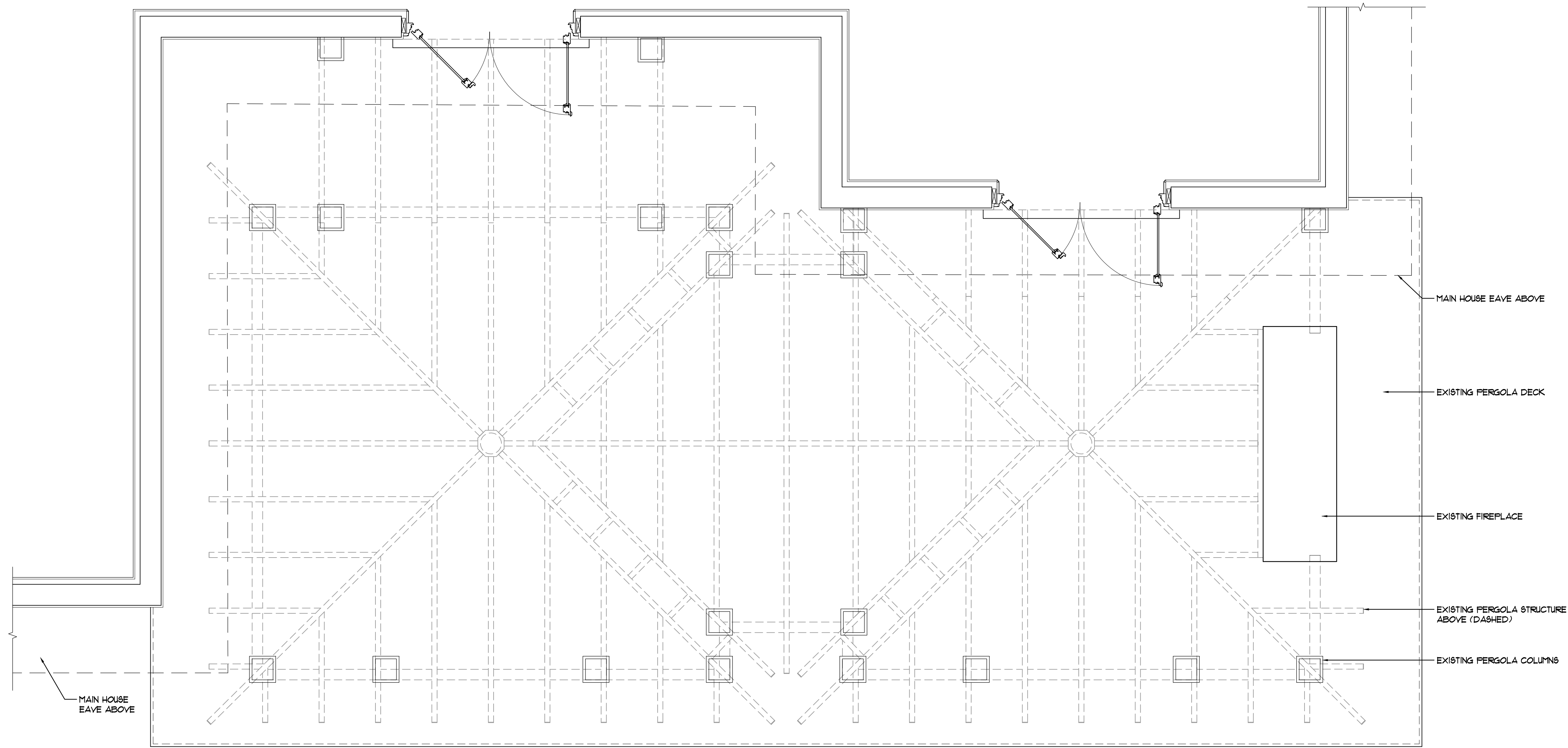
SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



1 DEMO PLAN
1/2" = 1'-0"

REVISIONS	
PROJECT NUMBER: 2302	DATE: SEPTEMBER 2023
ISSUED FOR: PROGRESS	DATE PLOTTED:
DRAWN BY: AA	CHECKED BY: TK
DRAWING NUMBER:	



1 **PERGOLA PLAN - EXISTING**
1/2" = 1'-0"



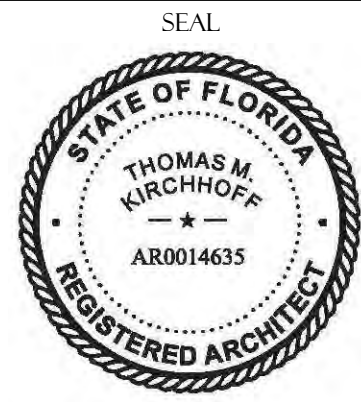
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
Tel. 575-9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



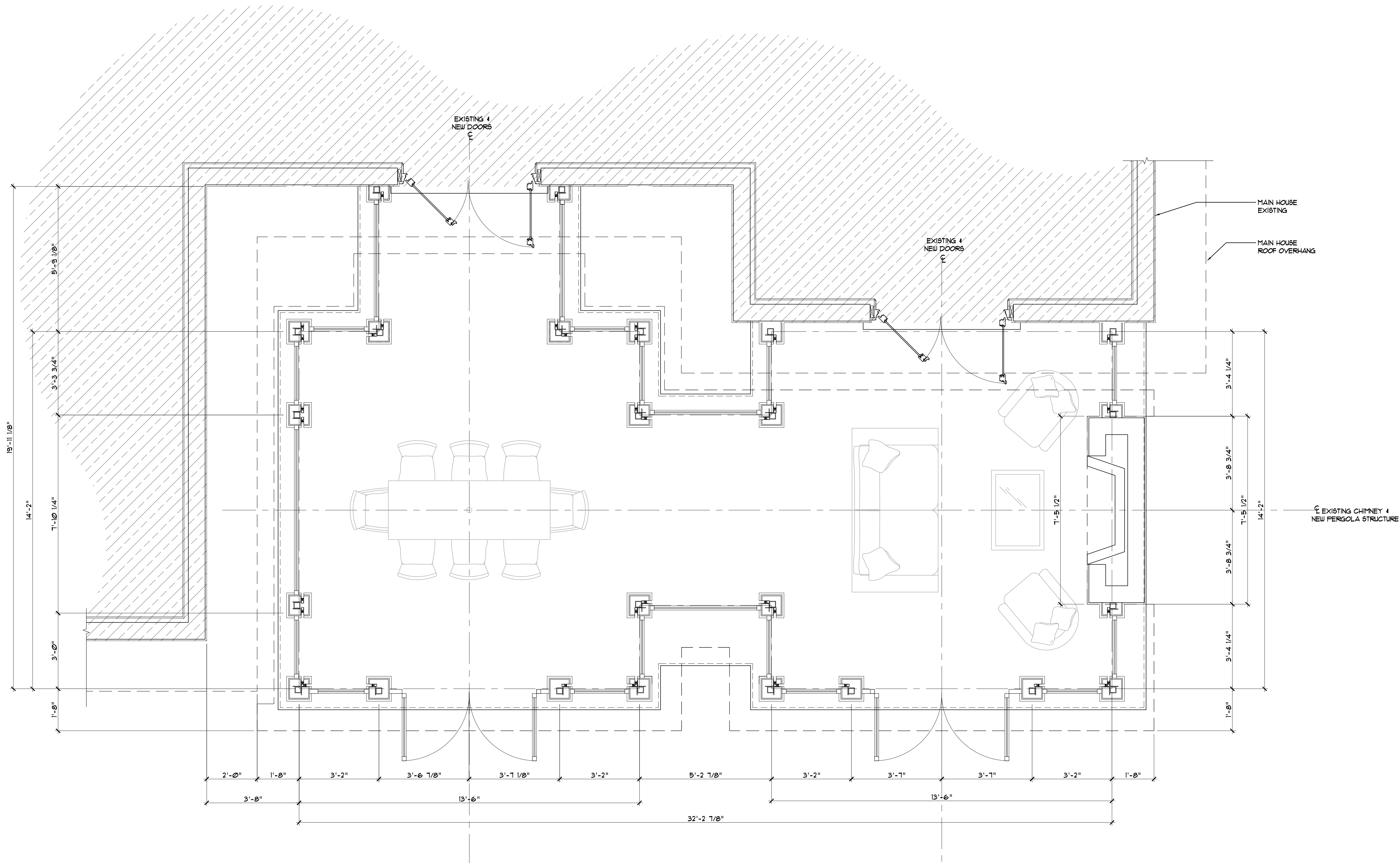
THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS	

PROJECT NUMBER: 2302	
ISSUED FOR: PROGRESS	DATE: SEPTEMBER 2023
DATE PLOTTED:	
DRAWN BY: AA	CHECKED BY: TK
DRAWING NUMBER:	

A2.1ex

SCALE:
AS NOTED



1 **LOGGIA PLAN**
1/2" = 1'-0"



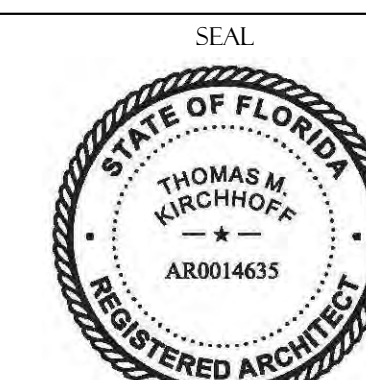
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

ISSUED FOR: DATE:
PROGRESS SEPTEMBER 2023

DATE PLOTTED:

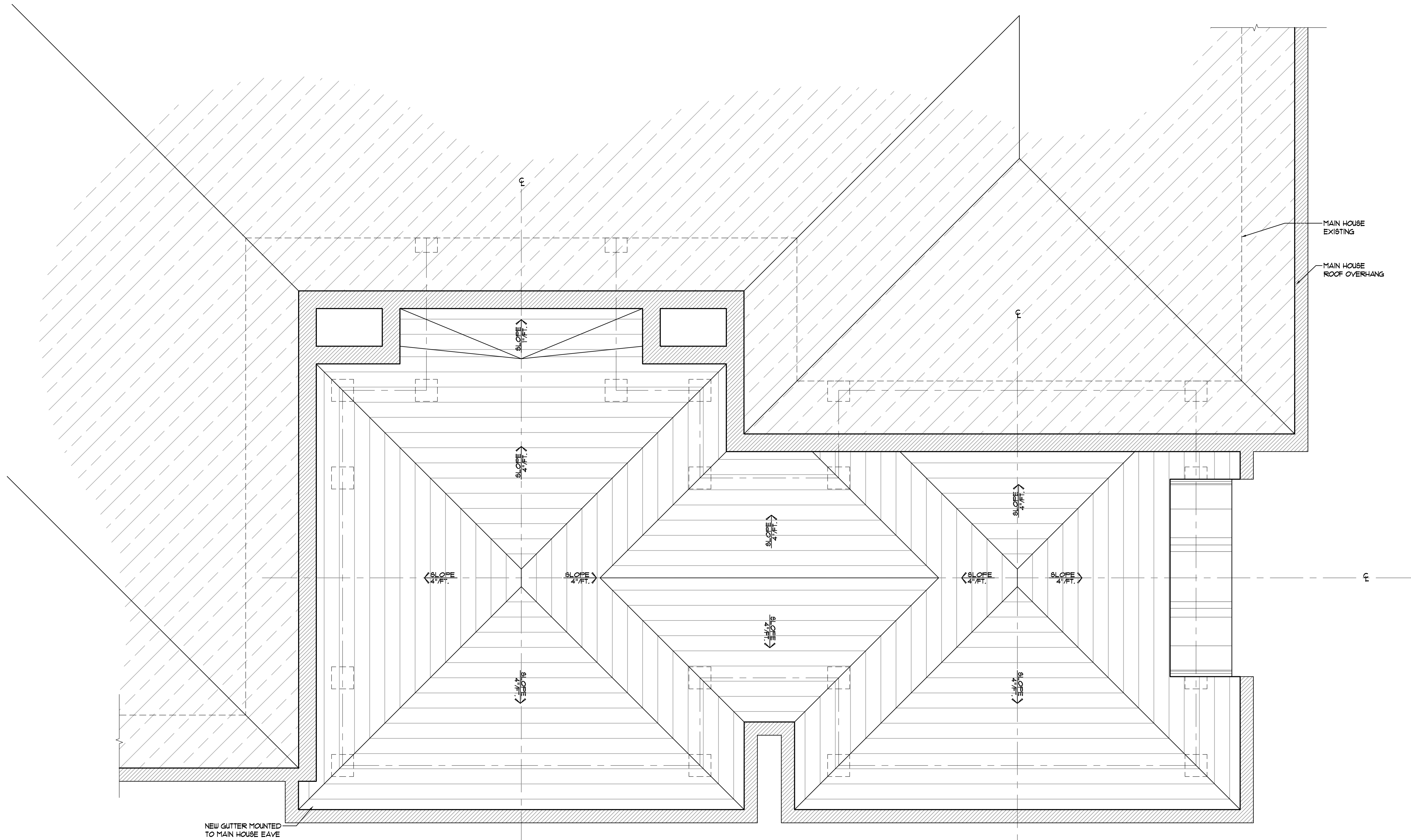
DRAWN BY: CHECKED BY:
AA TK

DRAWING NUMBER:

A2.1

SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



NEW GUTTER MOUNTED
TO MAIN HOUSE EAVE

MAIN HOUSE
EXISTING

MAIN HOUSE
ROOF OVERHANG

1 **LOGGIA ROOF PLAN**
1/2" = 1'-0"



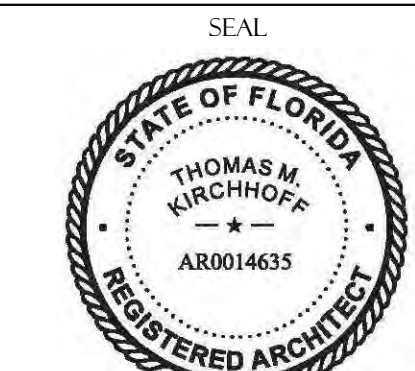
KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

**THOMAS
RESIDENCE**

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



THOMAS M. KIRCHHOFF FL. REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

PROJECT NUMBER:
2302

ISSUED FOR:
PROGRESS

DATE PLOTTED:

DATE:
SEPTEMBER 2023

DRAWN BY:
AA

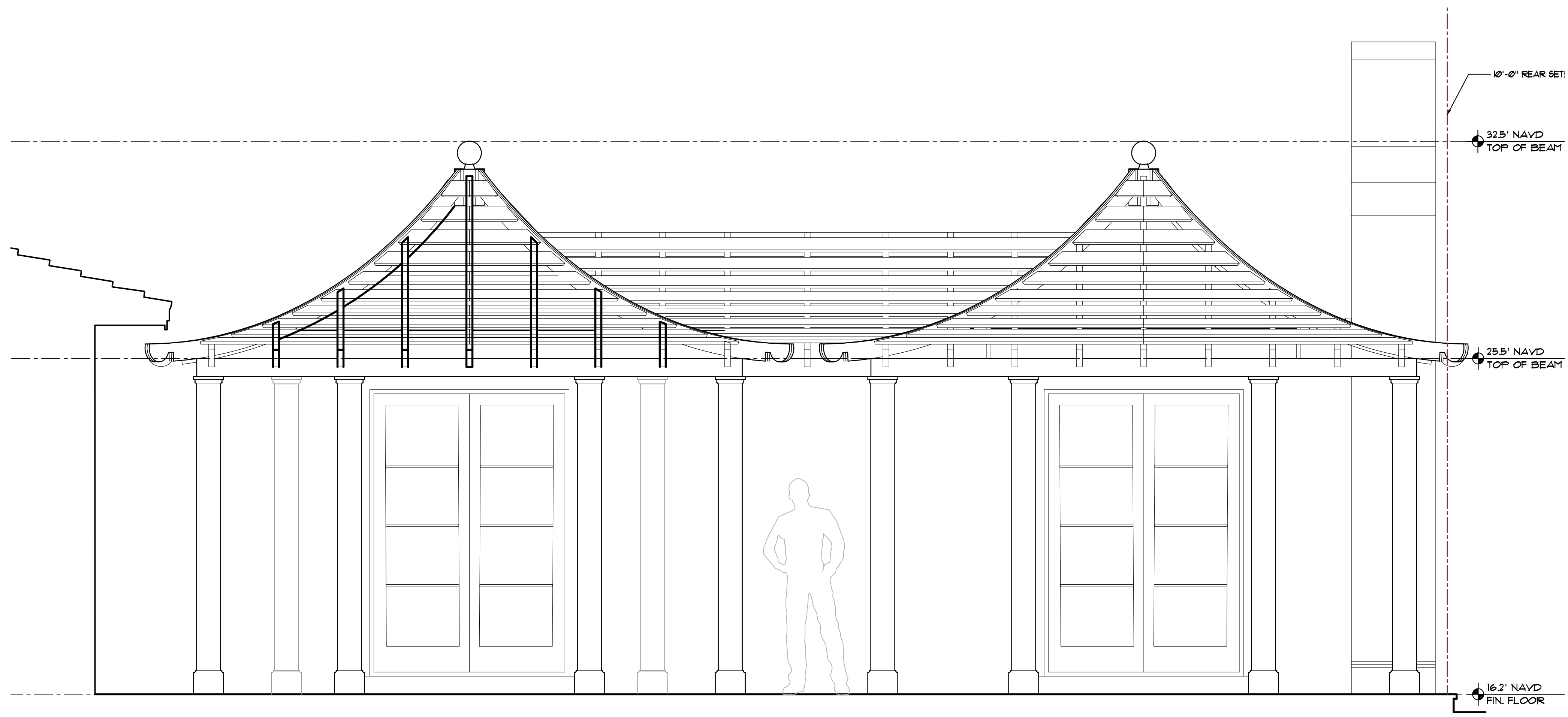
CHECKED BY:
TK

DRAWING NUMBER:

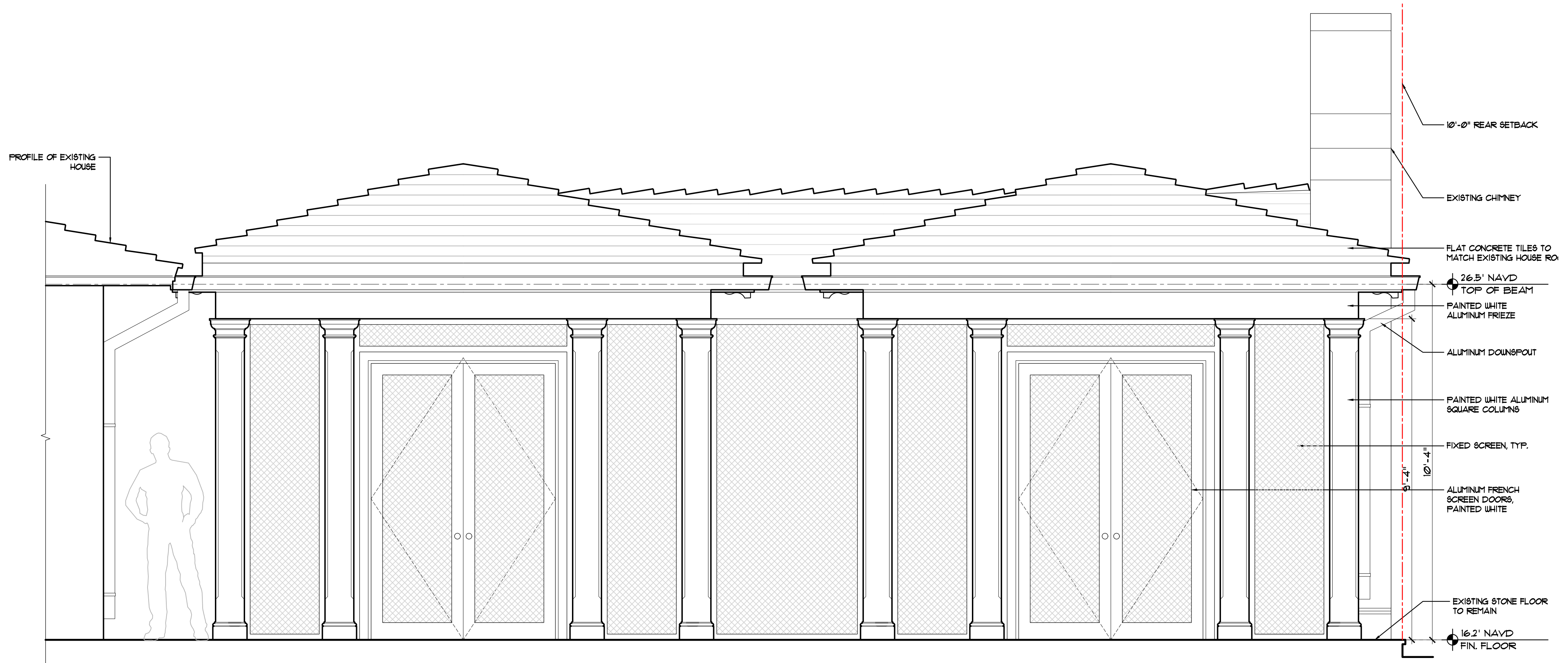
A2.2

SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



1 **EAST PERGOLA ELEVATION - EXISTING**
1/2" = 1'-0"



2 **EAST LOGGIA ELEVATION - PROPOSED**
1/2" = 1'-0"


KIRCHHOFF & ASSOCIATES
ARCHITECTS
1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

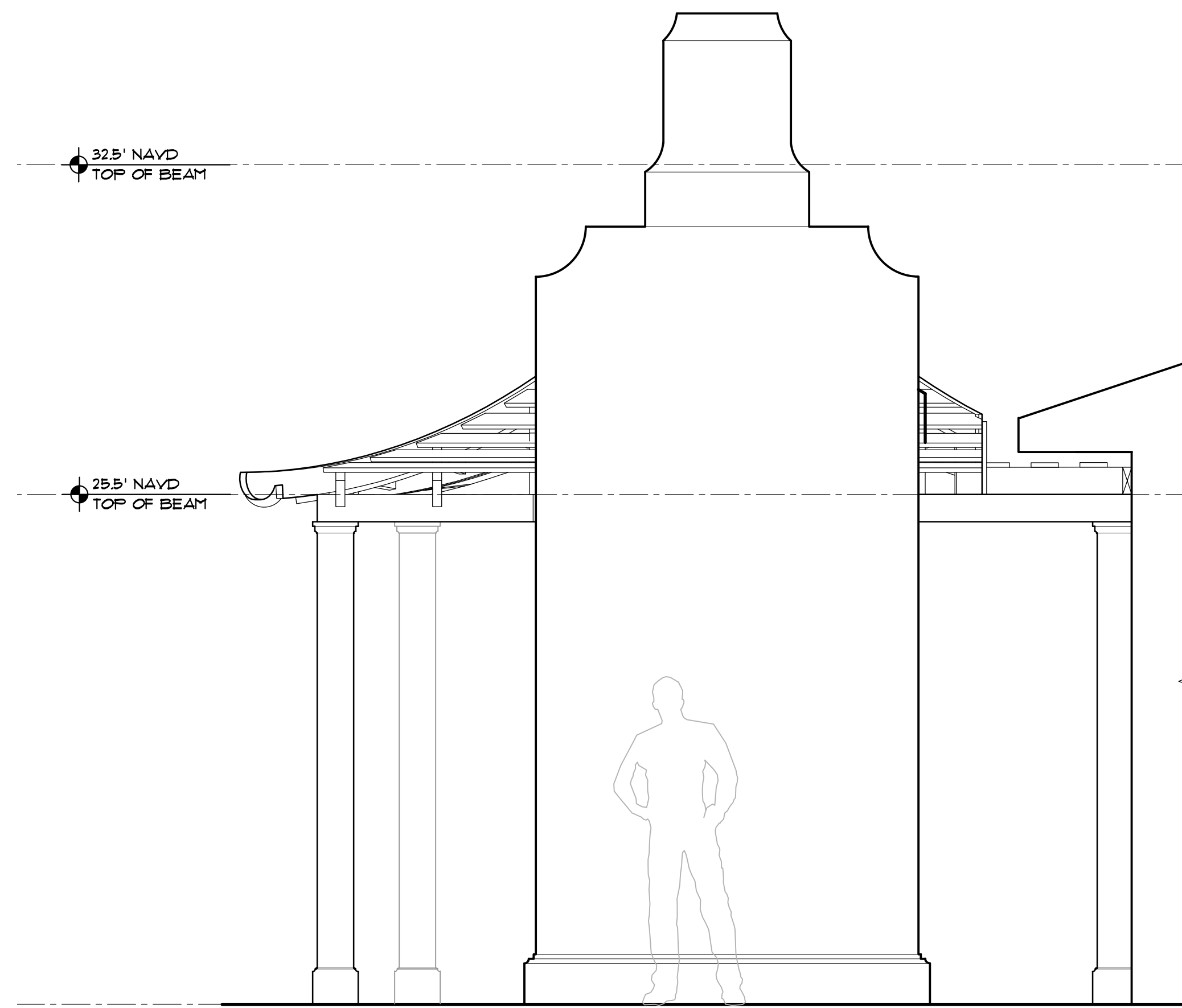
**THOMAS
RESIDENCE**

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

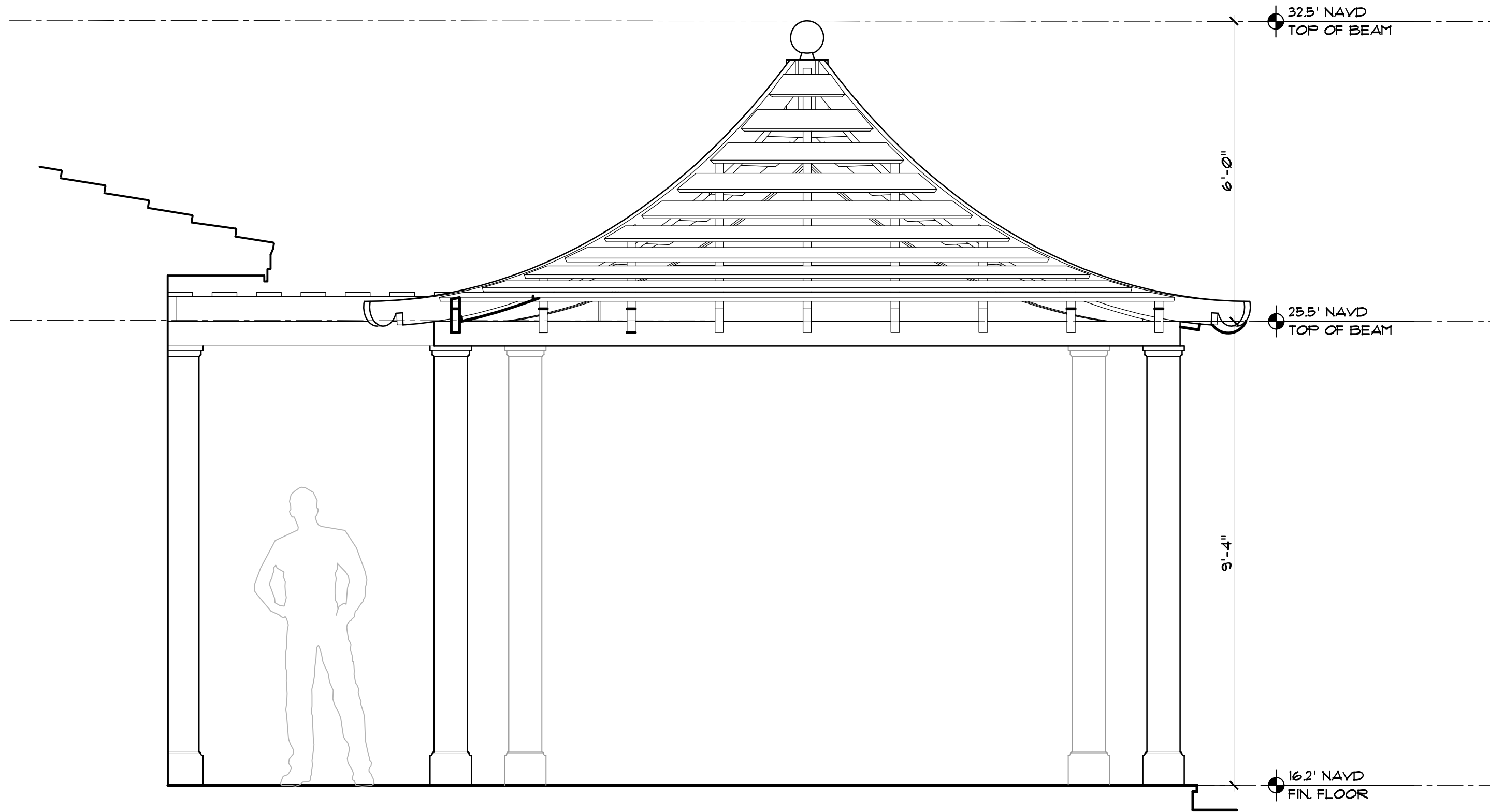
SEAL

THOMAS M. KIRCHHOFF FL REG. NO. AR0014635
COPYRIGHT © 2023
KIRCHHOFF & ASSOCIATES ARCHITECTS

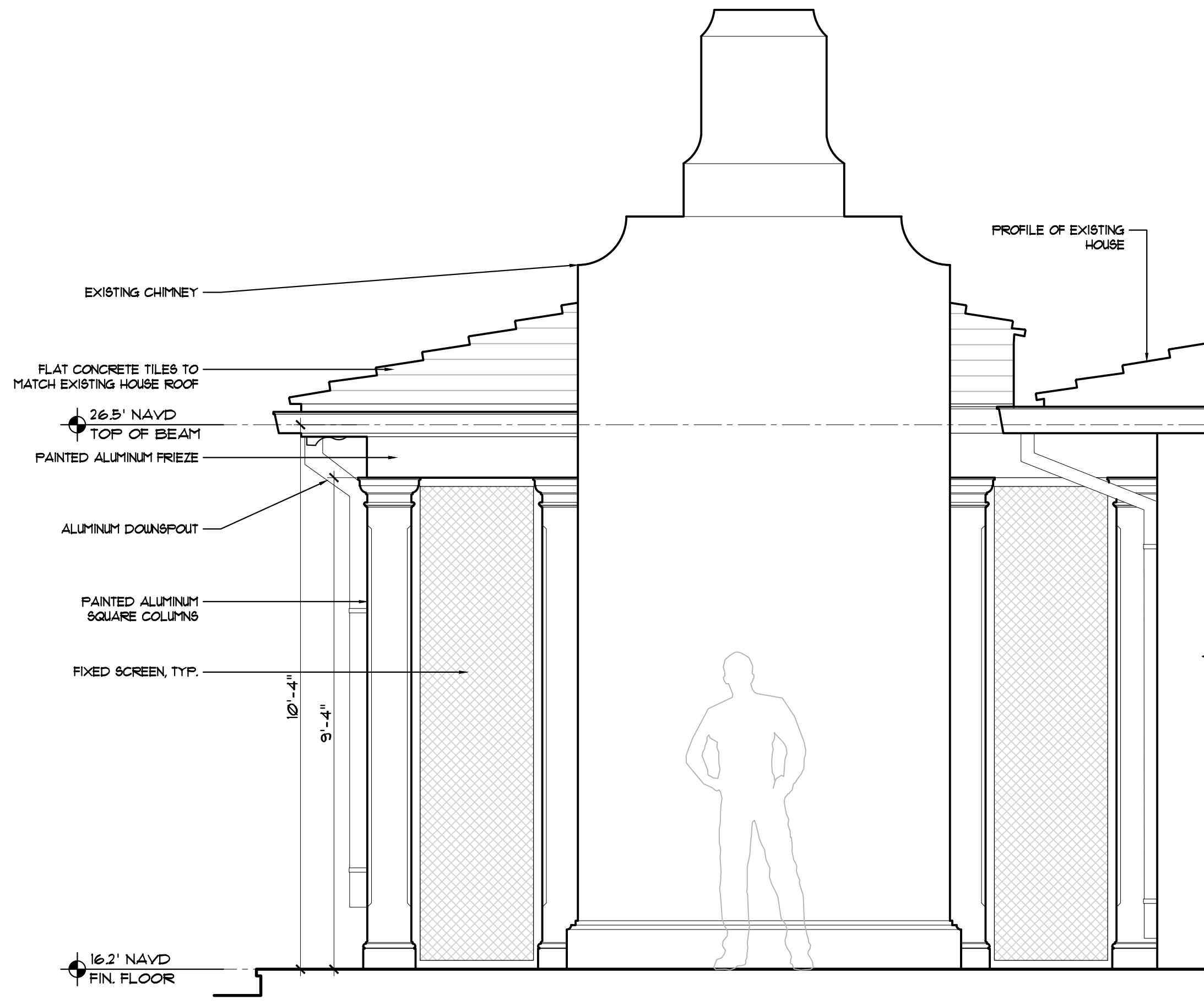
REVISIONS	
1	JANUARY 29, 2024
PROJECT NUMBER:	2302
ISSUED FOR:	PRINCIPLES
DATE:	SEPTEMBER 2023
DATE PLOTTED:	
DRAWN BY:	AA
CHECKED BY:	TK
DRAWING NUMBER:	
A3.1	
SCALE: AS NOTED	



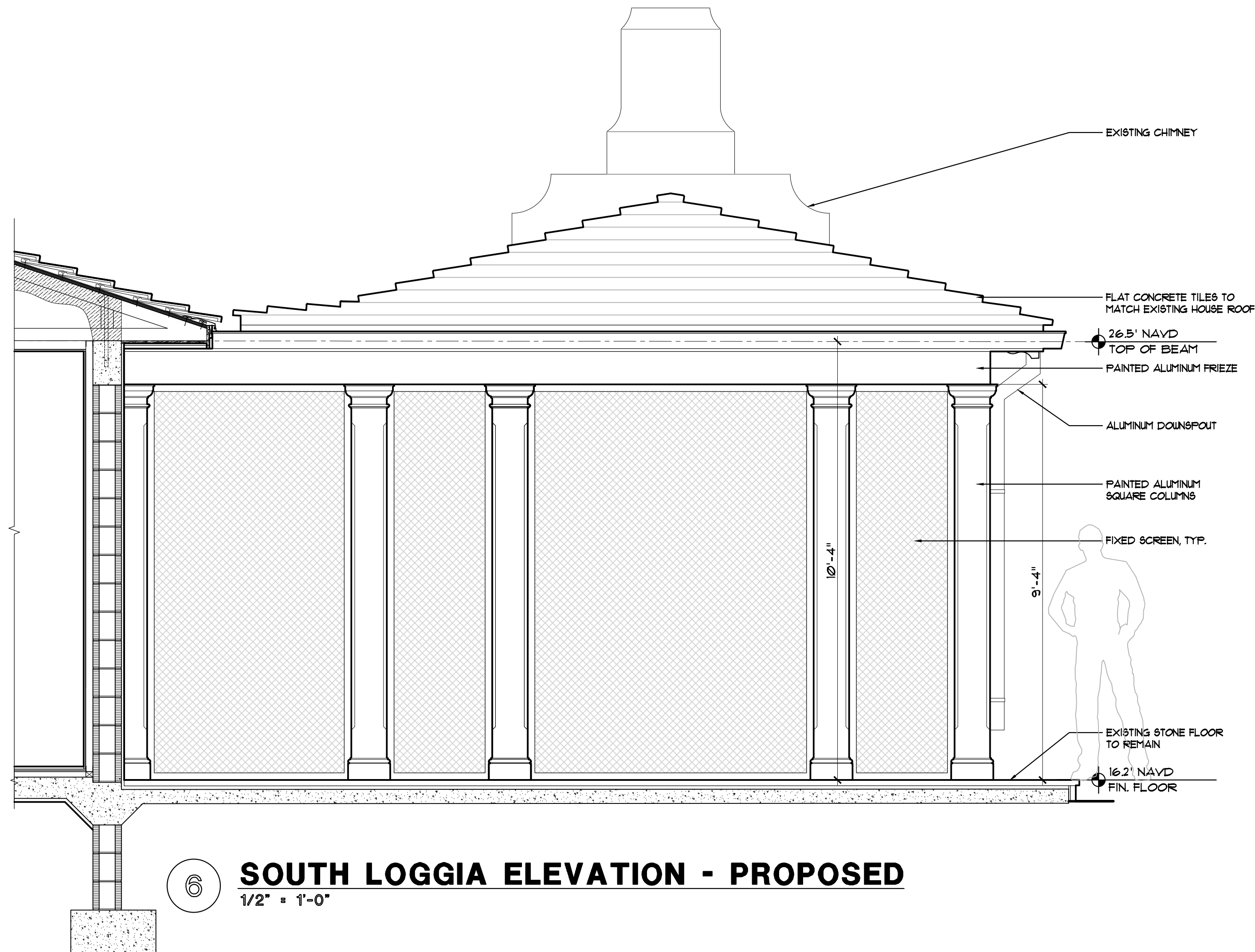
3 NORTH PERGOLA ELEVATION - EXISTING
1/2" = 1'-0"



5 SOUTH PERGOLA ELEVATION - EXISTING
1/2" = 1'-0"



4 NORTH LOGGIA ELEVATION - PROPOSED
1/2" = 1'-0"



6 SOUTH LOGGIA ELEVATION - PROPOSED
1/2" = 1'-0"



KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL



THOMAS M. KIRCHHOFF FL REG. NO. AR0014635
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

1 JANUARY 28, 2024

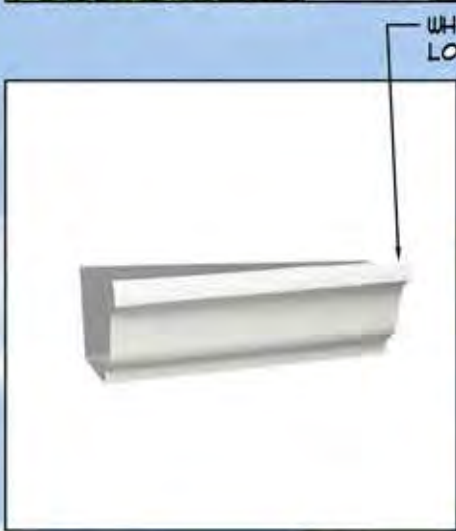
PROJECT NUMBER:
2302
ISSUED FOR:
PROGRESS
DATE:
SEPTEMBER 2023
DATE PLOTTED:

DRAWN BY:
AA
CHECKED BY:
TK
DRAWING NUMBER:

A3.2

SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



1 **EAST HOUSE ELEVATION WITH PROPOSED LOGGIA**
1/2" = 1'-0"

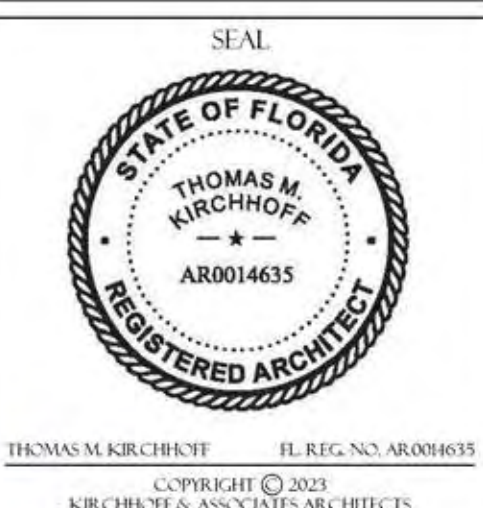

KIRCHHOFF & ASSOCIATES
ARCHITECTS

1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

**THOMAS
RESIDENCE**

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480



REVISIONS
JANUARY 29, 2024

PROJECT NUMBER:
2302
ISSUED FOR: DATE:
PROJECT: SEPTEMBER 2023
DATE PLOTTED:
DRAWN BY: AA CHECKED BY: TK
DRAWING NUMBER:

A3.3
SCALE:
AS NOTED

ARC - 24 - 040
ZON - 24 - 046



KIRCHHOFF & ASSOCIATES
ARCHITECTS

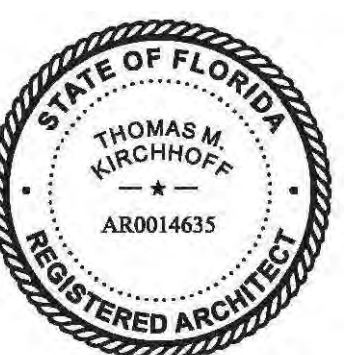
1907 COMMERCE LANE, SUITE 106
JUPITER, FLORIDA 33458
561.575.9994
KIRCHHOFFARCHITECTS.COM

PERGOLA
RENOVATION FOR:

THOMAS
RESIDENCE

227 ANGLER AVENUE
PALM BEACH, FLORIDA 33480

SEAL



THOMAS M. KIRCHHOFF FL REG. NO. AR0014635
KIRCHHOFF & ASSOCIATES ARCHITECTS

REVISIONS

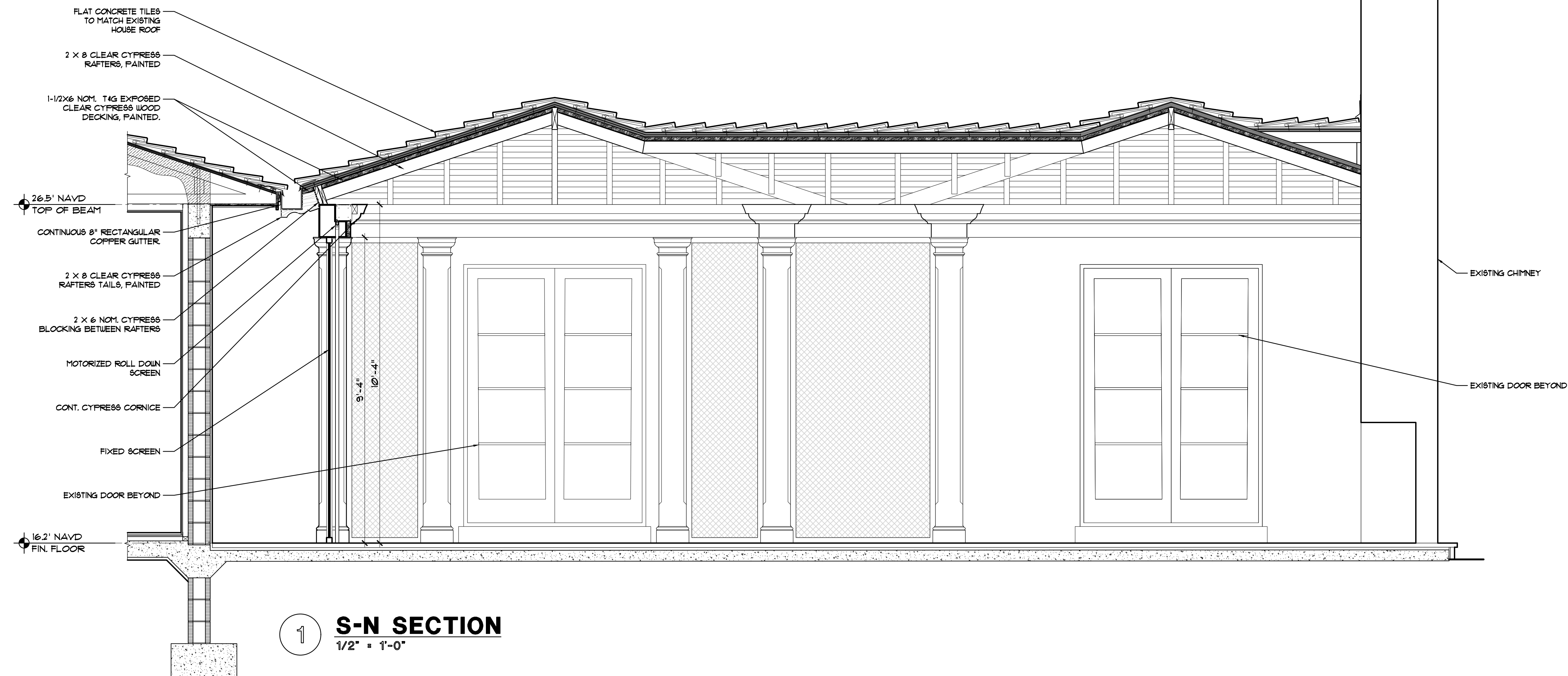
1 JANUARY 29, 2024

PROJECT NUMBER:
2302
ISSUED FOR:
PERMITS
DATE PREPARED:
SEPTEMBER 2023

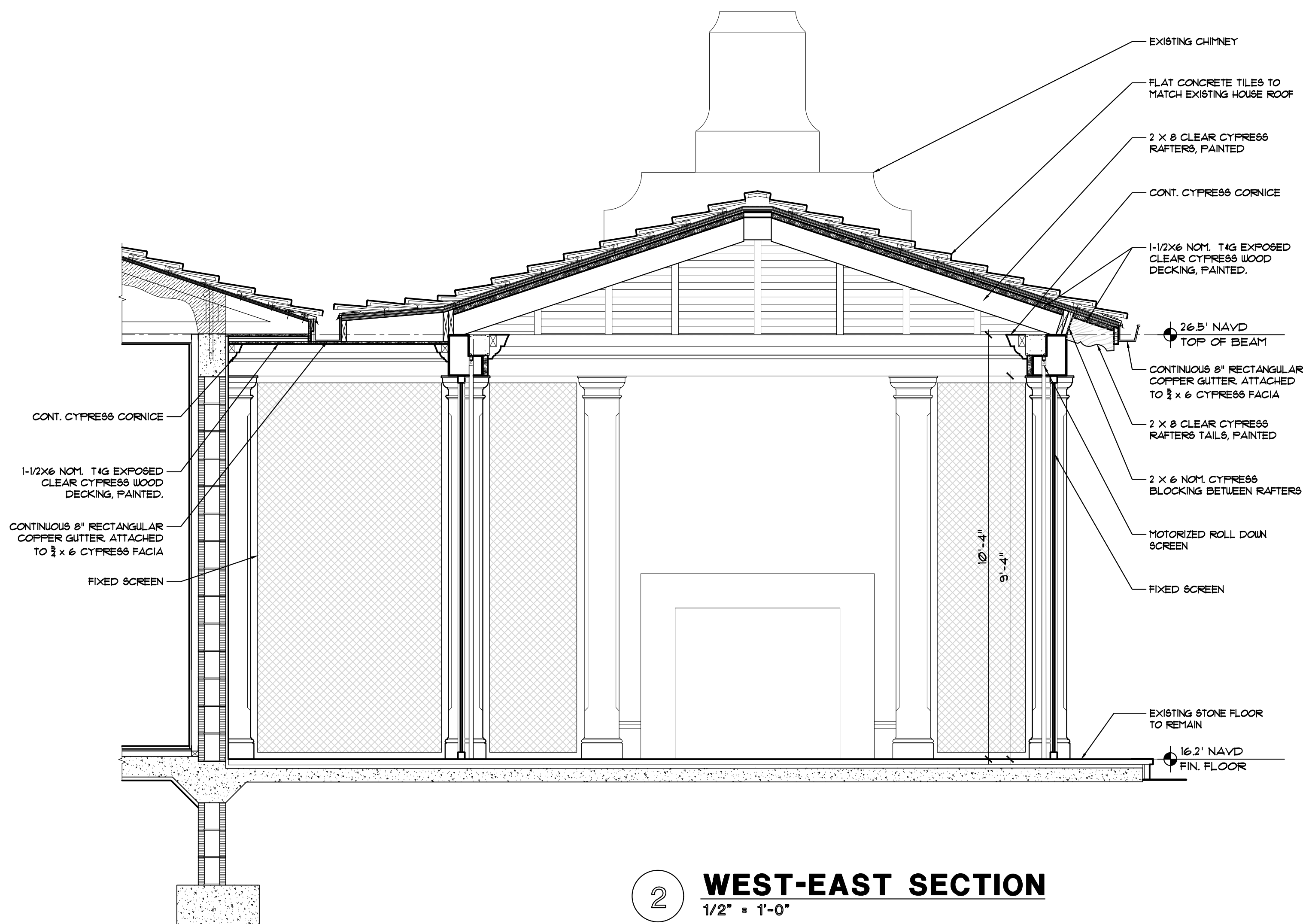
DRAWN BY:
AA
CHECKED BY:
TK
DRAWING NUMBER:

A5.1

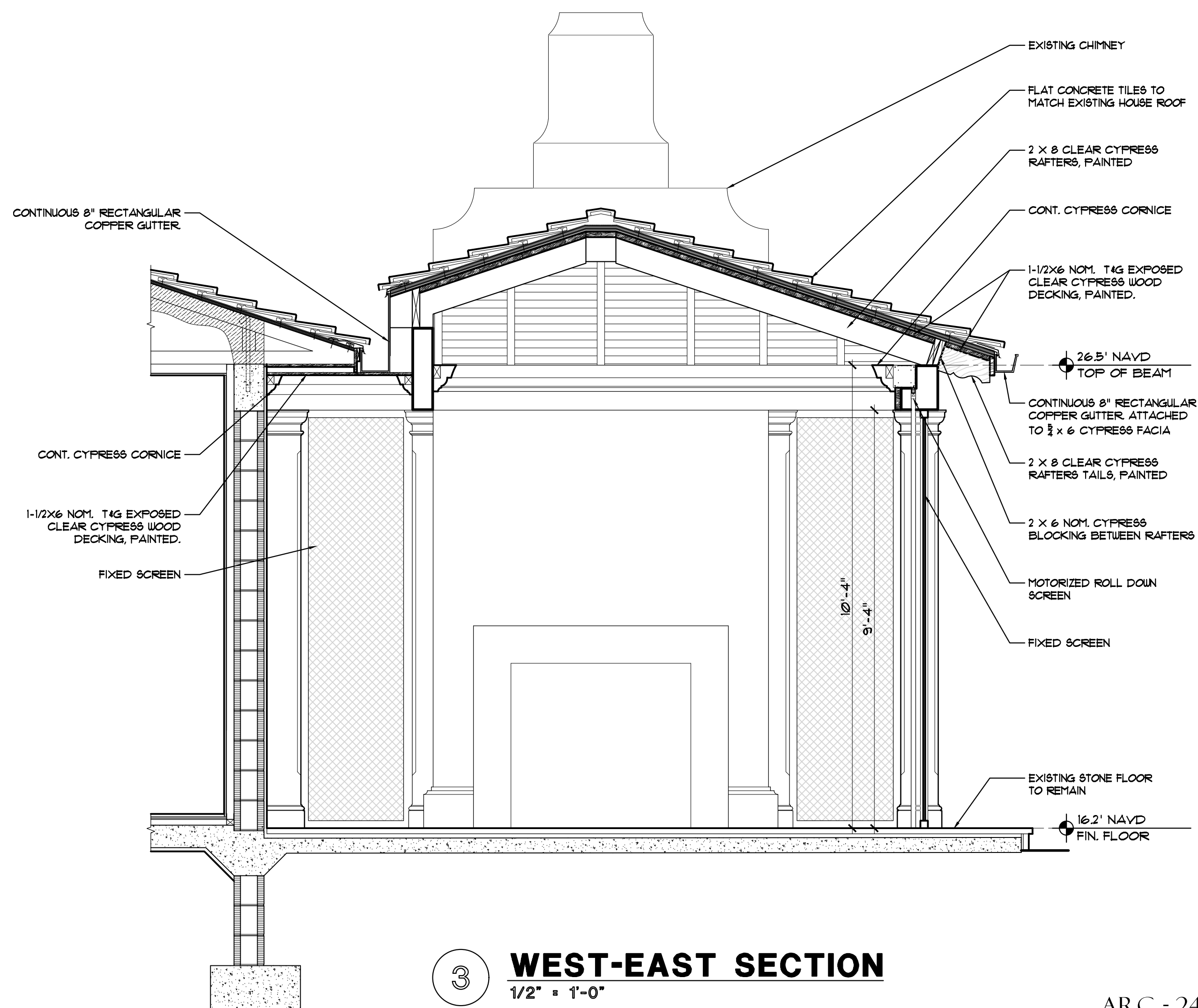
SCALE:
AS NOTED



1 **S-N SECTION**
1/2" = 1'-0"

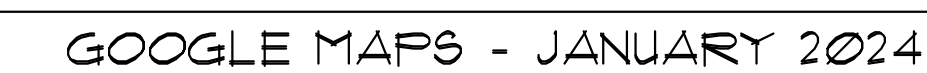


2 **WEST-EAST SECTION**
1/2" = 1'-0"



3 **WEST-EAST SECTION**
1/2" = 1'-0"

ARC - 24 - 040
ZON - 24 - 046

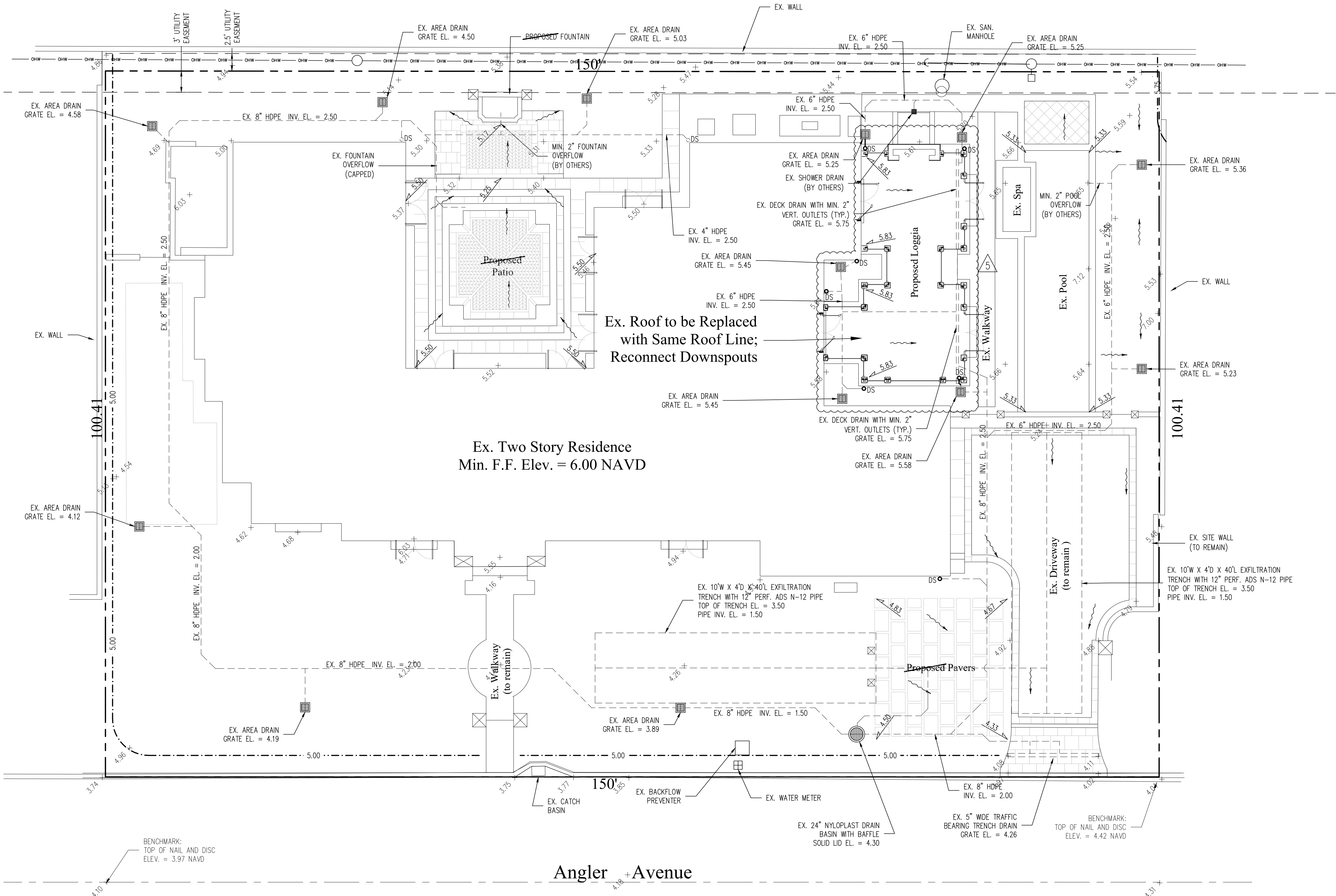


1

1. THE BEST ROUTE IS INDICATED VIA THE FLAGLER MEMORIAL BRIDGE.
2. TRUCK DRIVERS WILL BE COGNIZANT OF SEASONS WHEN USE OF THE RIGHT-OF-WAY IS LIMITED/ RESTRICTED.
3. 10 TRUCK DELIVERIES WILL ACCESS THE PROPERTY OVER 3 MONTHS.



20



STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 15,069 sq.ft.

Drainage Area Impervious Surface
(existing residence, driveway, walkways, pool, concrete) = 8,720 sq.ft.

Drainage Area Pervious Surface = 6,349 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method ($Q=CiA$)
where:
 $C = 1.0$ (impervious surface)
 $C = 0.2$ (pervious surface)
 $i = 2$ in/hr

Impervious Surface Runoff Volume:
 $1.0 \times 2 \text{ in/hr} \times 8,720 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 1,453 \text{ cu.ft.}$

Pervious Runoff Volume:
 $0.2 \times 2 \text{ in/hr} \times 6,349 \text{ sq.ft.} \times 1 \text{ ft./12 in.} = 212 \text{ cu.ft.}$

Total Volume to be Retained = 1,665 cu.ft.

C. EXISTING EXFILTRATION TRENCH SIZING

L	=	Total Length of Trench Provided	=	80	ft
W	=	Trench Width	=	10	ft
K	=	Hydraulic Conductivity	=	0.000613	cfs/sq.ft./ft. of head
H2	=	Depth to Water Table	=	2.76	ft
DU	=	Un-Saturated Trench Depth	=	2.00	ft
DS	=	Saturated Trench Depth	=	2.00	ft
V	=	Volume Treated	=	8,939	cu.ft.

Notes:

- 1) Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- 2) Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- 3) Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- 4) Contractor is responsible for installing and maintaining erosion control measures during construction.
- 5) Video inspection of storm drainage system required prior to installation of sod.
- 6) Existing drainage system shown per site grading/drainage plan by Doug Winter Companies, Inc. dated 5/24/05
- 7) Existing site drainage to be cleaned, video inspected and re-certified prior to completion of project.

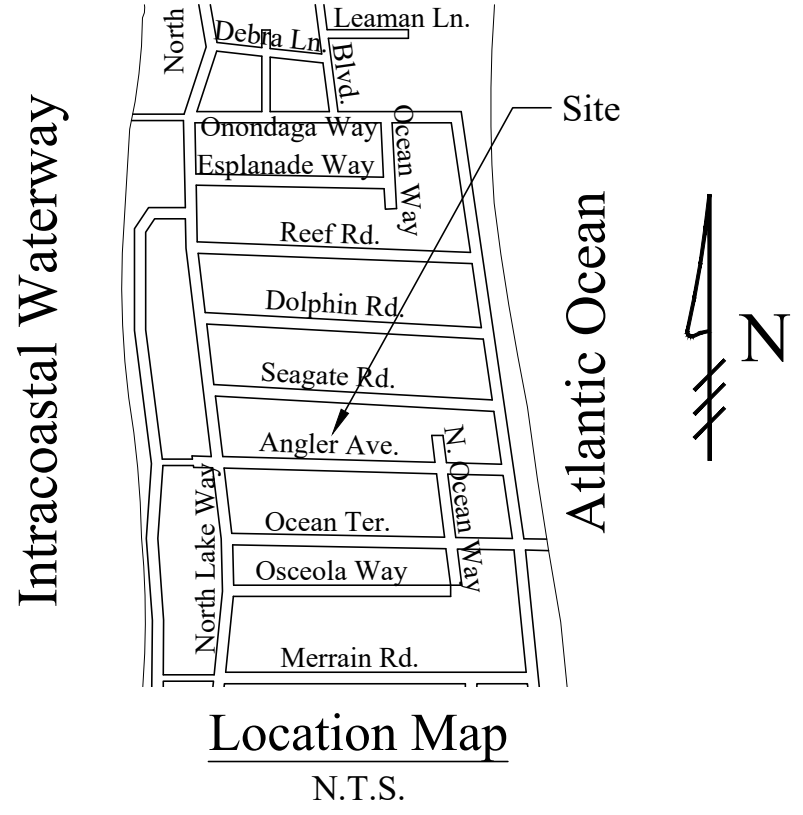
48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
SUN AMBER AVE. SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 863.12.2841
office@gruberengineers.com

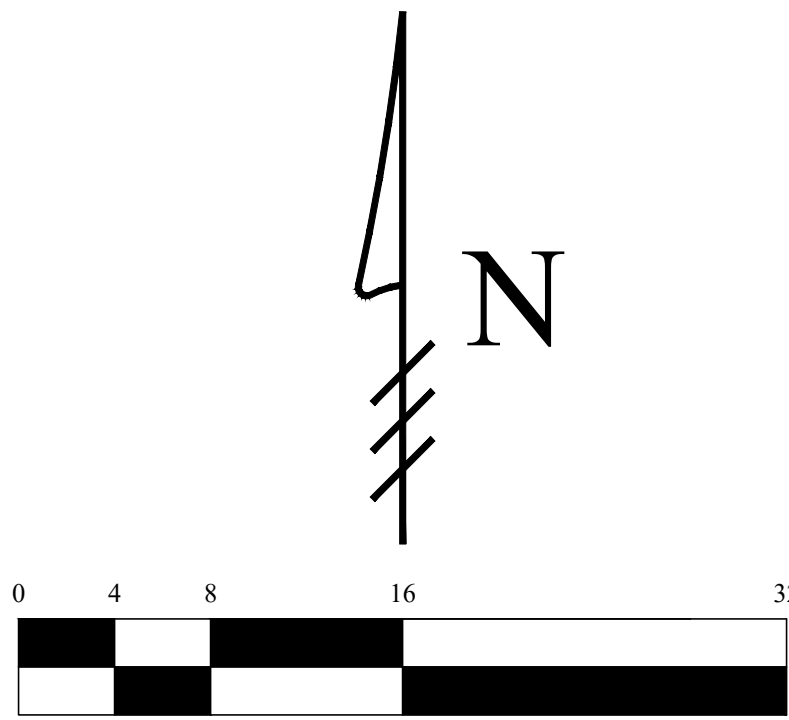
Project Information				
Project No.	2024-0068	Issue Date	07/31/2020	Scale
Scale	1/8" = 1'-0"	Drawn By	KM	Checked By
Checked By	CG			

Site Grading & Drainage Plan For:
Proposed Renovation
227 Angler Avenue
Palm Beach, Florida



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1/8" = 1'-0"

Revisions		
1	09/02/2020	REVISE PLAN PER TOWN OF PALM BEACH COMMENTS
2	04/26/2021	REVISE DECK DRAINAGE ON EAST SIDE OF RESIDENCE
3	12/14/2021	UPDATE PLAN WITH AS-BUILT DRAINAGE CONFIGURATION
4	01/12/2024	UPDATE PLAN FOR COVERED PATIO ROOF REPLACEMENT PROJECT
5	02/08/2024	UPDATE PLAN BACKGROUND; ADJUST STORM DRAINAGE
6		
7		
8		
9		
10		

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Site Plan by
Kirchhoff & Associates Architects
Received 2/6/24

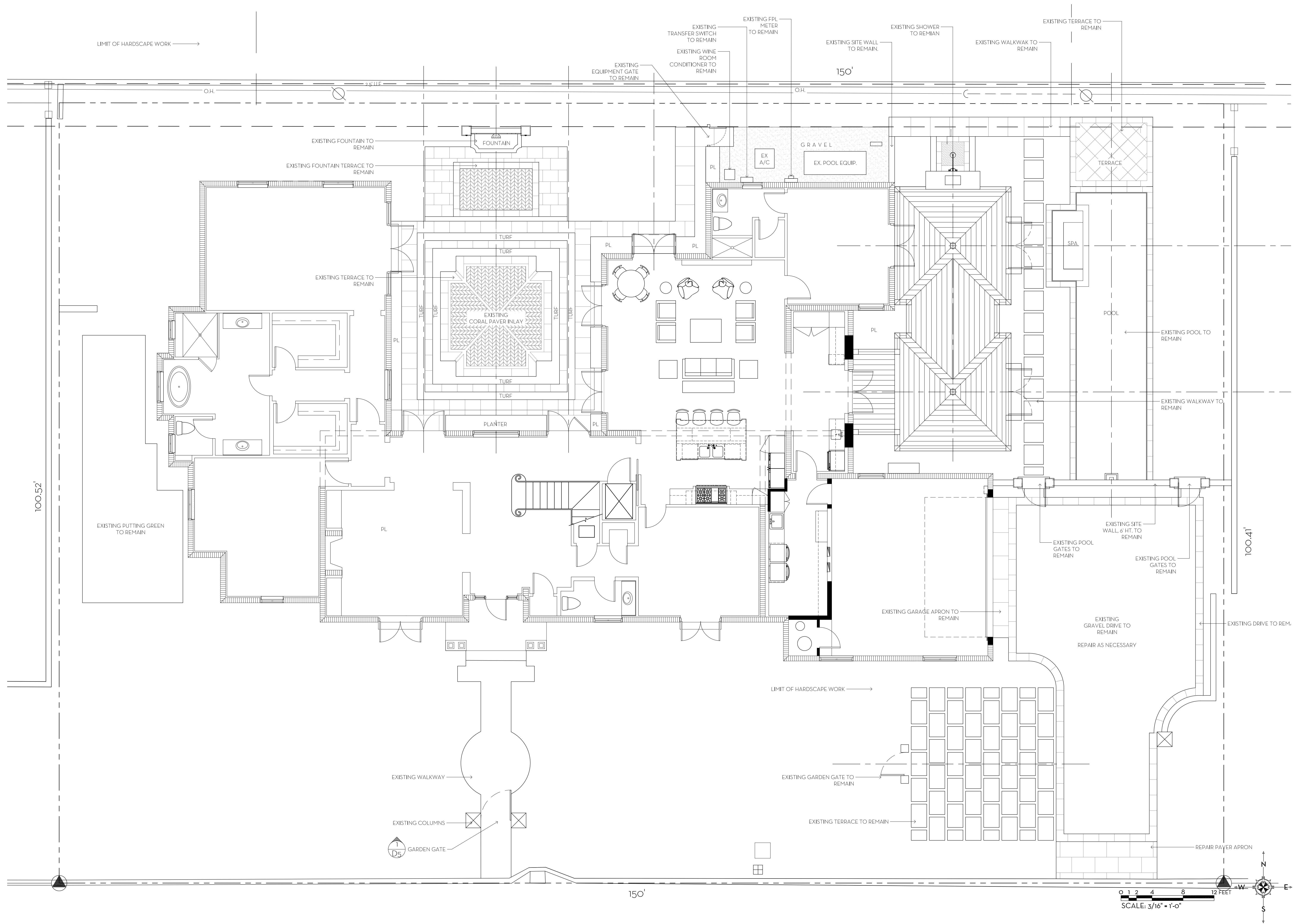
ARC-24-040
ZON-24-046
© 2024 Gruber Consulting Engineers, Inc.

Revisions		
1	09/02/2020	REVISE PLAN PER TOWN OF PALM BEACH COMMENTS
2	04/26/2021	REVISE DECK DRAINAGE ON EAST SIDE OF RESIDENCE
3	12/14/2021	UPDATE PLAN WITH AS-BUILT DRAINAGE CONFIGURATION
4	01/12/2024	UPDATE PLAN FOR COVERED PATIO ROOF REPLACEMENT PROJECT
5	02/08/2024	UPDATE PLAN BACKGROUND; ADJUST STORM DRAINAGE
6		
7		
8		
9		
10		

Chad M. Gruber

FL P.E. No. 57466

Sheet No.
C-1



MARIO F. NIEVERA

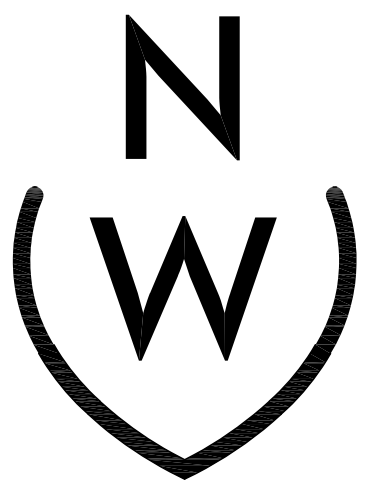
State of Florida
Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
227 ANGLER AVENUE

PALM BEACH, FLORIDA

11 JANUARY 2024

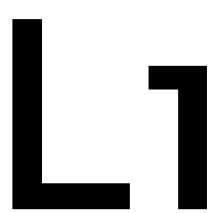
SCALE: 3/16" = 1'-0"



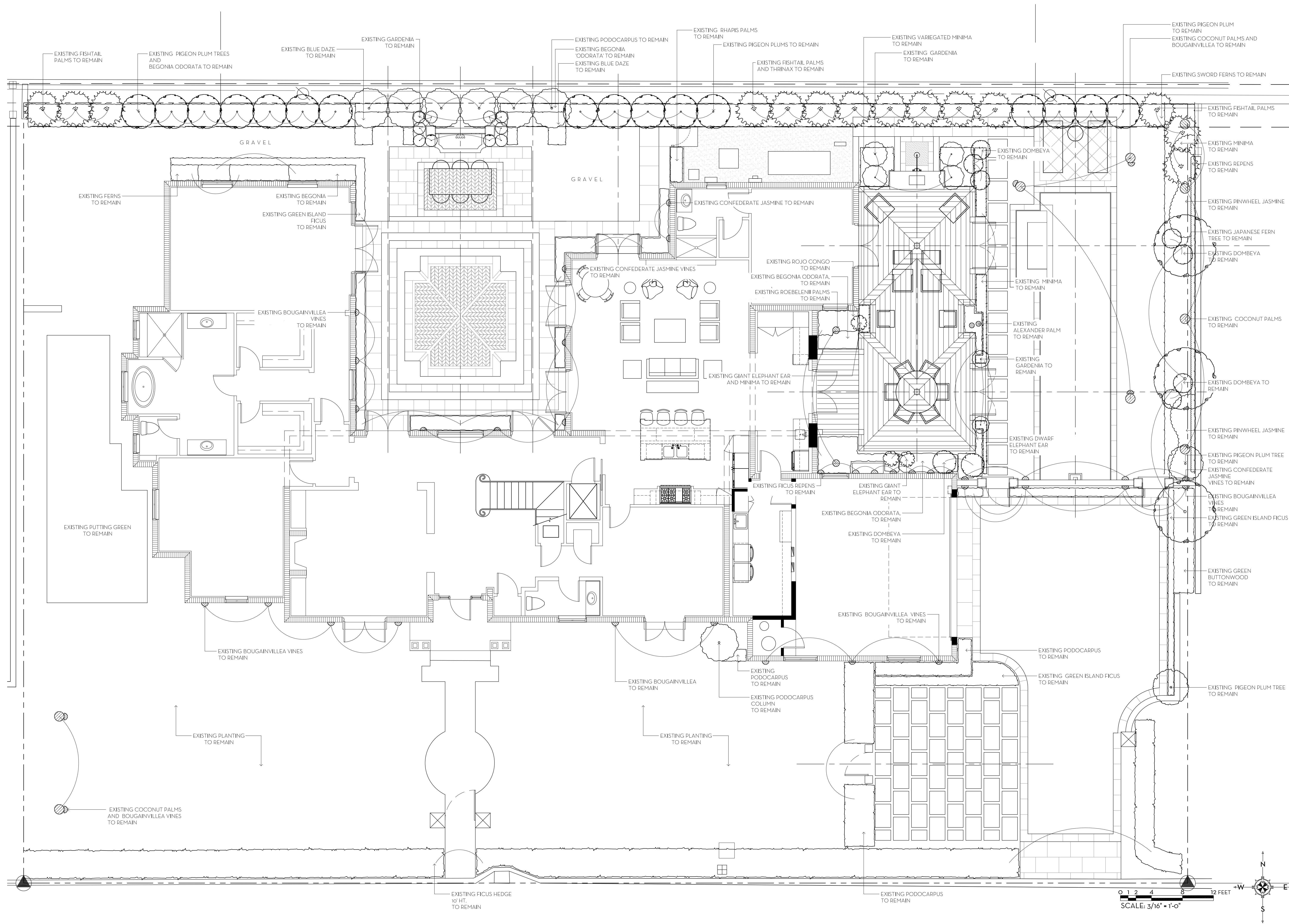
NIEVERA WILLIAMS
DESIGN

223 Sunset Avenue
Suite 150
Palm Beach, Florida 33480
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM



ARC-24-040
ZON-24-046



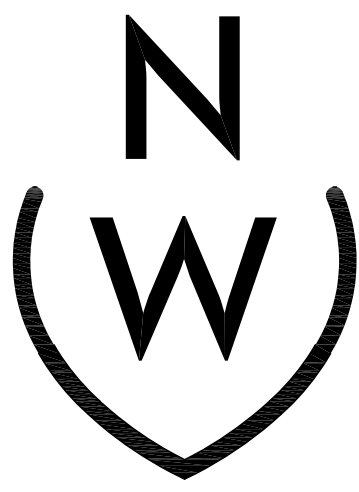
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

LANDSCAPE PLAN
227 ANGLER AVENUE

PALM BEACH, FLORIDA

11 JANUARY 2024



NIEVERA WILLIAMS
DESIGN

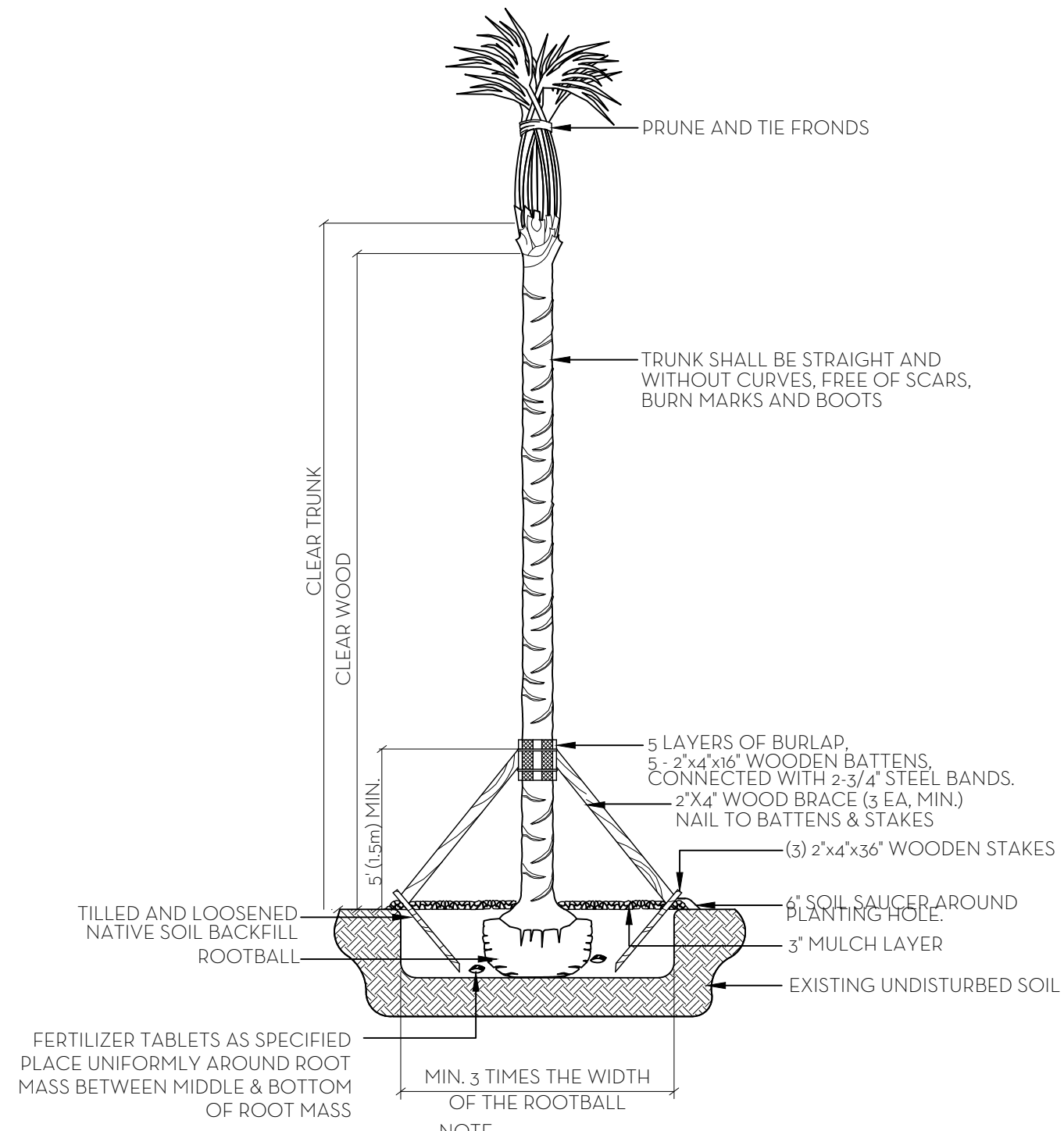
223 Sunset Avenue
Suite 150
Palm Beach, Florida 33480
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

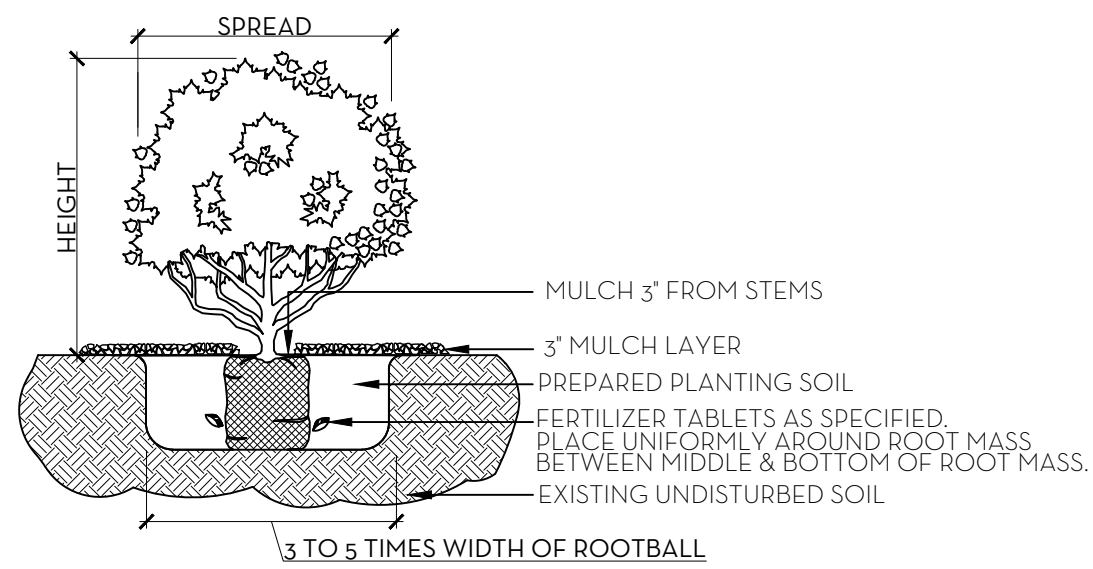
LP1

ARC-24-040
ZON-24-046

SCALE: 3/16" = 1'-0"



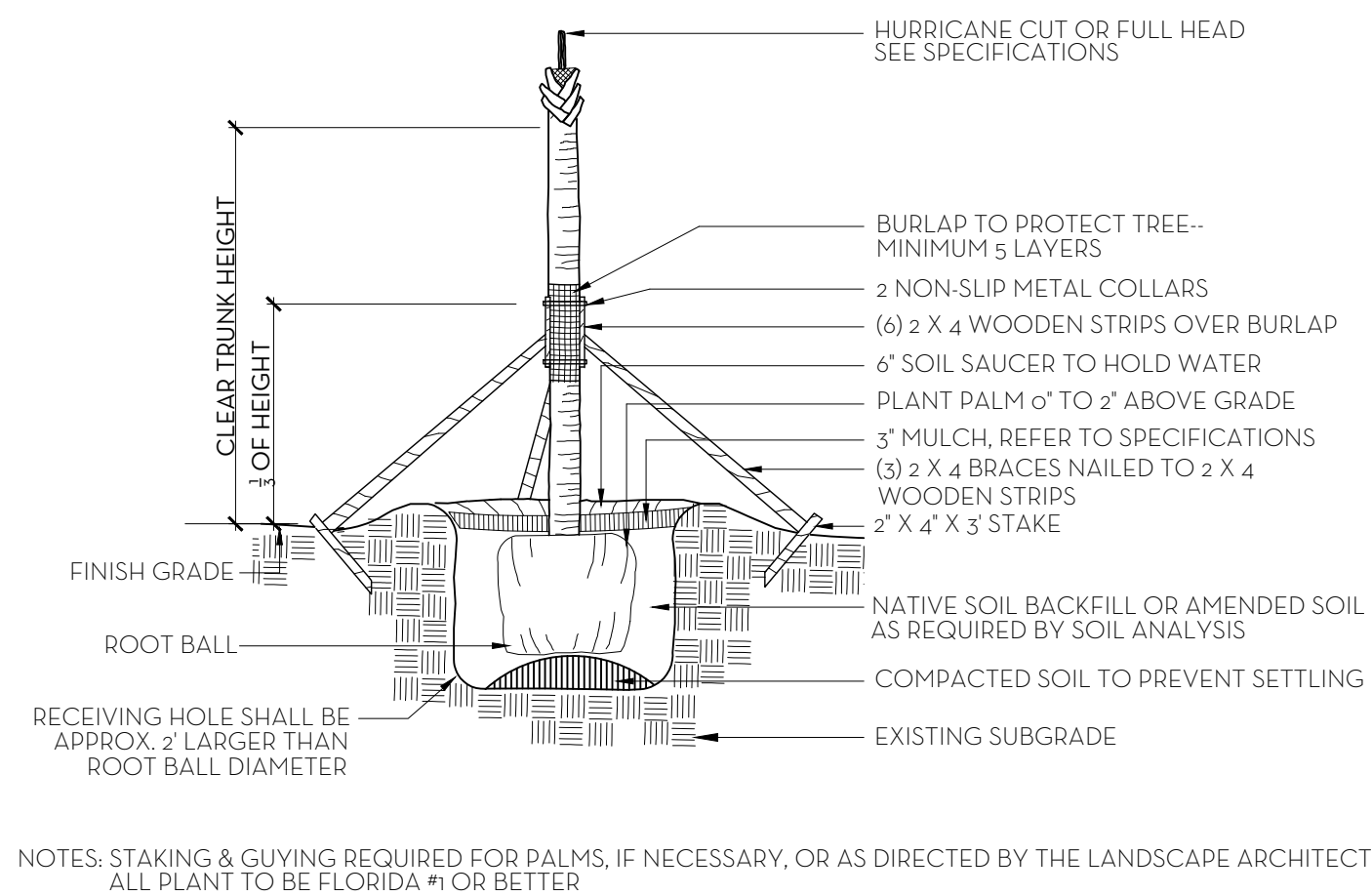
PALM PLANTING DETAIL
N.T.S.



NOTE:
ALL MATERIAL TO BE FLORIDA #1 OR BETTER

SHRUB & GROUNDCOVER PLANTING DETAIL
N.T.S.

NOTE: BUD SHALL BE PERPENDICULAR TO GROUND PLANE. TRUNK SHALL BE STRAIGHT AND WITHOUT CURVES. NO SCARRED OR BLACKENED TRUNKS.

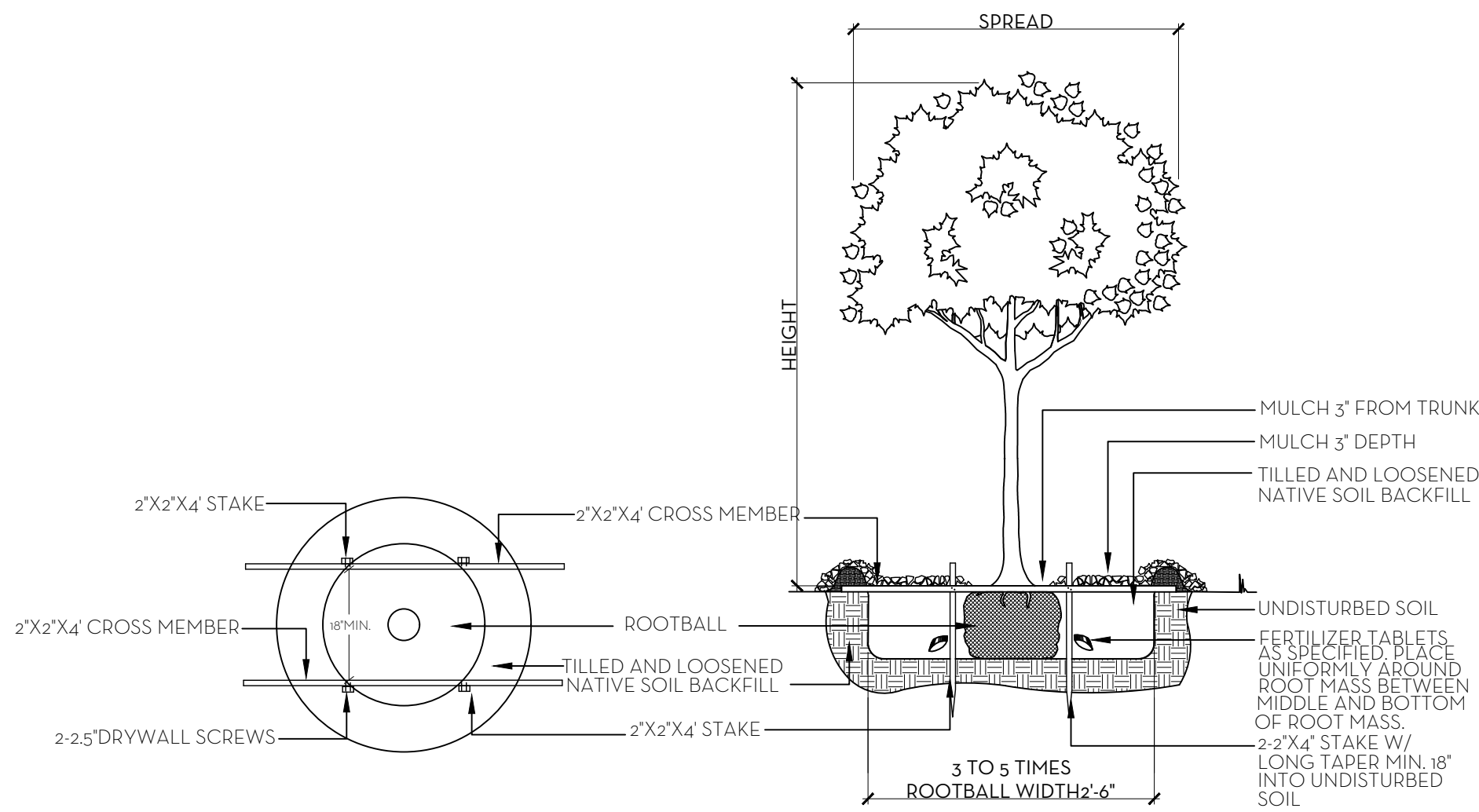


NOTES: STAKING & GUYING REQUIRED FOR PALMS, IF NECESSARY, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
ALL PLANT TO BE FLORIDA #1 OR BETTER

PALM TREE PLANTING AND STAKING DETAIL
N.T.S.

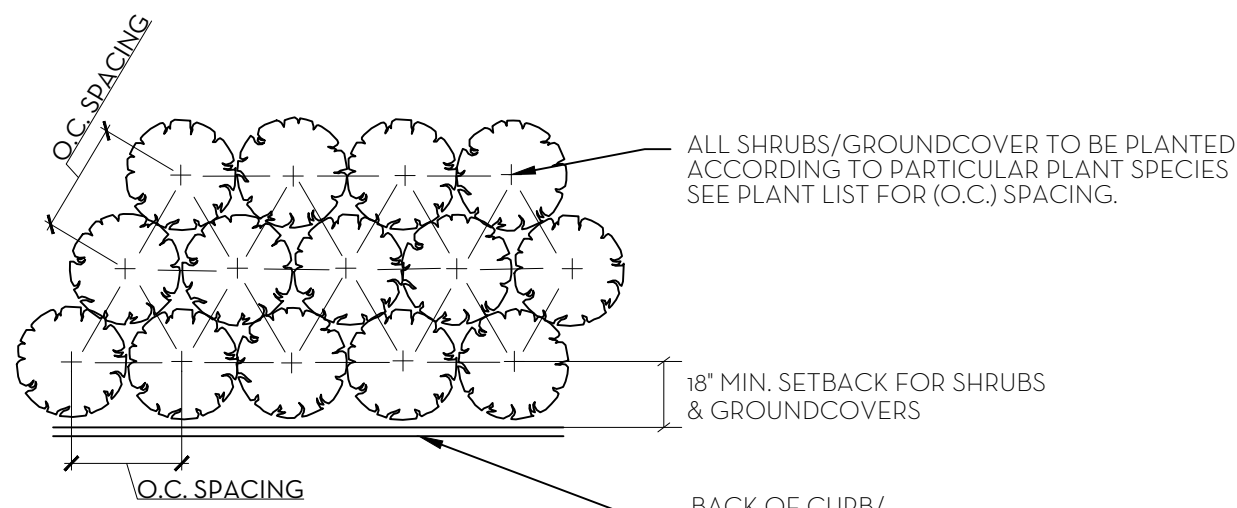
FERTILIZATION
SHRUBS AND TREES
ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFOMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.
APPLICATION RATE:
1 GALLON CAN: 1- 21 GRAM TABLET
3 GALLON CAN: 2- 21 GRAM TABLETS
5 GALLON CAN: 3- 21 GRAM TABLETS
7 GALLON CAN: 4- 21 GRAM TABLETS
TREES: 3- 21 GRAM TABLETS EACH 1/2" OF CALIPER
PALMS: 7- 21 GRAM TABLETS
GROUND COVER AREAS
ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS.

NOTES:
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.



NOTE:
ALL PLANT TO BE FLORIDA #1 GRADE OR BETTER

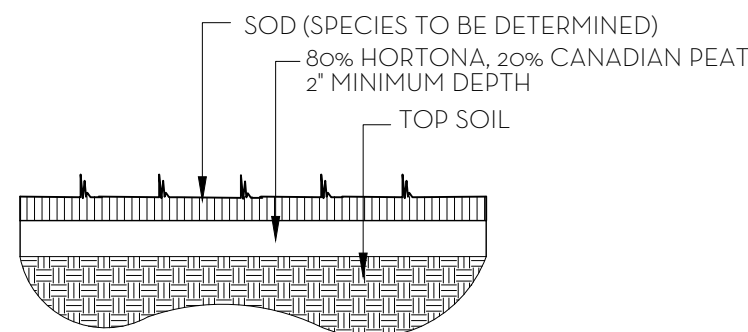
TREE PLANTING DETAIL
N.T.S.



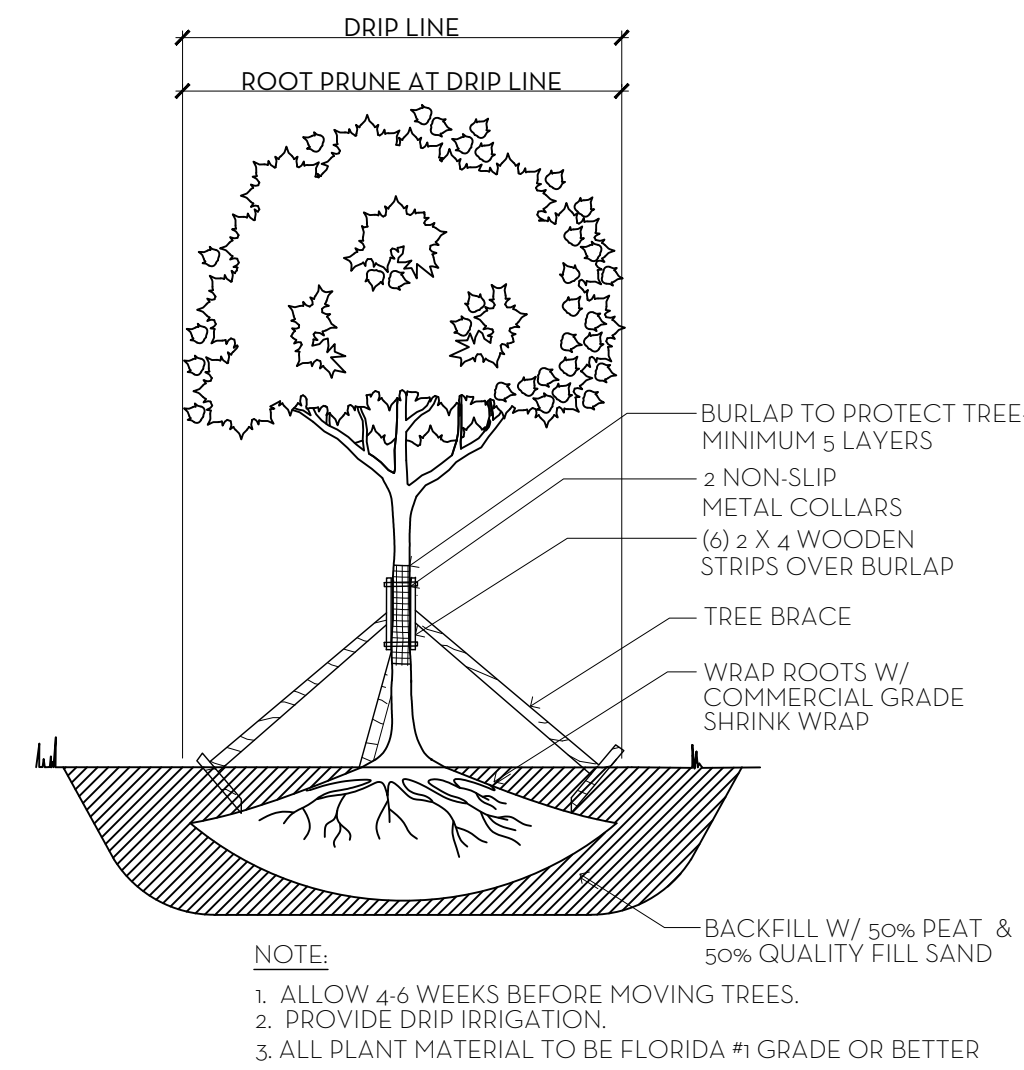
NOTE:
ALL PLANT TO BE FLORIDA #1 OR BETTER

PLANT SPACING DETAIL
N.T.S.

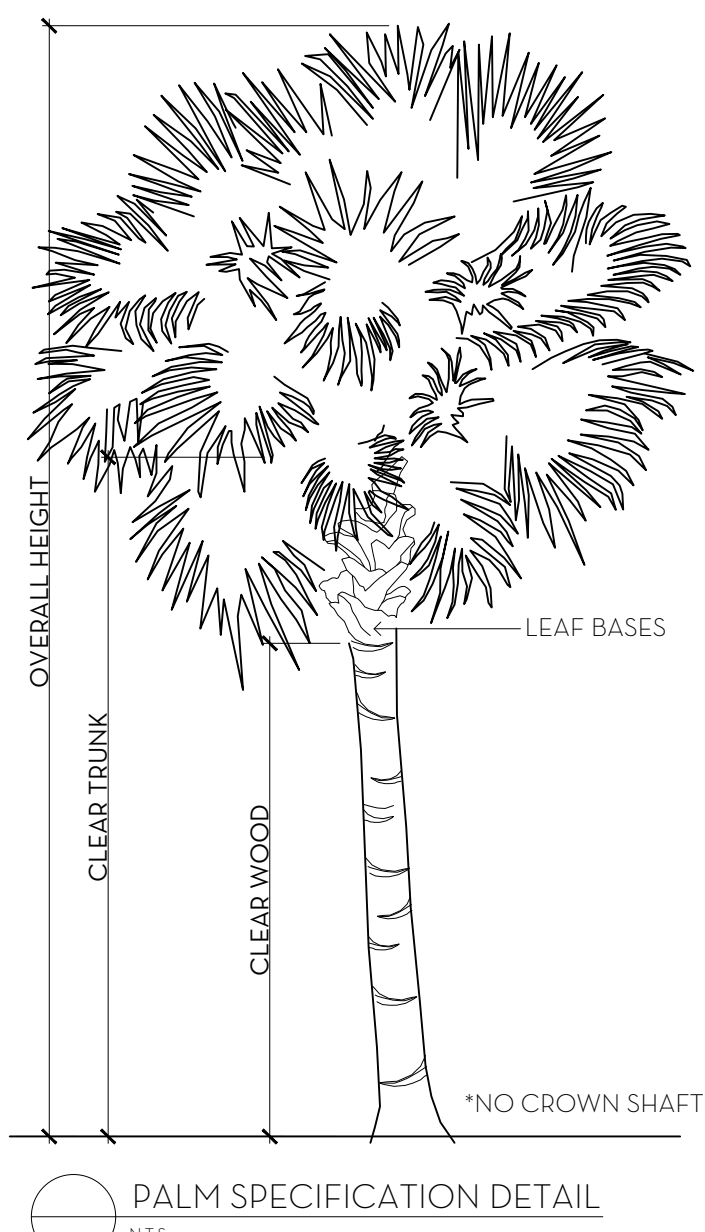
SOD NOTES:
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE
2. BAKE AND REMOVE ALL CONSTRUCTION DEBRIS
3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2" MIN.
4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



SOD PLANTING DETAIL
N.T.S.



TREE ROOT PRUNING DETAIL
N.T.S.



PALM SPECIFICATION DETAIL
N.T.S.

NO PLANTING CHANGES ARE PROPOSED AS PART OF THIS APPLICATION. ANY DISTURBED OR DAMAGED PLANTING SMALL BE REPLACED IN KIND



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend	
1	Property Address:	227 Angler
2	Lot Area (sq. ft.):	15,070
3		REQUIRED PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	6,781.5 sf (45%) 6,781.5 sf (45%)
5	LOS to be altered (Sq Ft and %)	N/A 0%
6	Perimeter LOS (Sq Ft and %)	3,390.8 sf (50%) 3,549 (76.77%)
7	Front Yard LOS (Sq Ft and %)	1,500 sf (40%) 2,879 sf (52.34%)
8	Native Trees %	30% (number of trees) N/C
9	Native Shrubs & Vines %	30% (number of shrubs & vines) N/C
10	Native Groundcover %	30% (groundcover area) N/C

To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)

OR

[the Florida Native Plant Society Native Plants for Your Area List](#)

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023

REV BF 20230727

MARIO F. NIEVERA

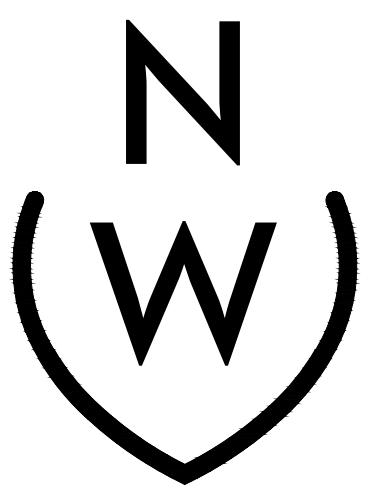
State of Florida
Landscape Architect
Registration No.
6666856

PLANT LIST AND DETAILS

227 ANGLER AVENUE

PALM BEACH, FLORIDA

11 JANUARY 2024



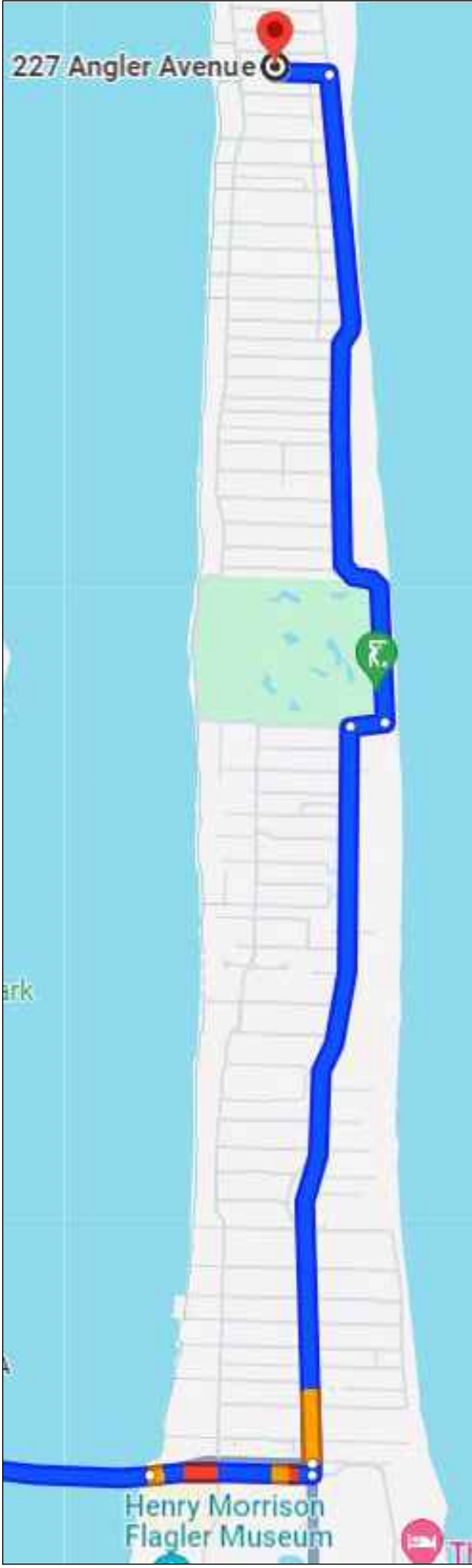
NIEVERA WILLIAMS
DESIGN

223 Sunset Avenue
Suite 150
Palm Beach, Florida 33480
P: 561-659-2820
F: 561-659-2113

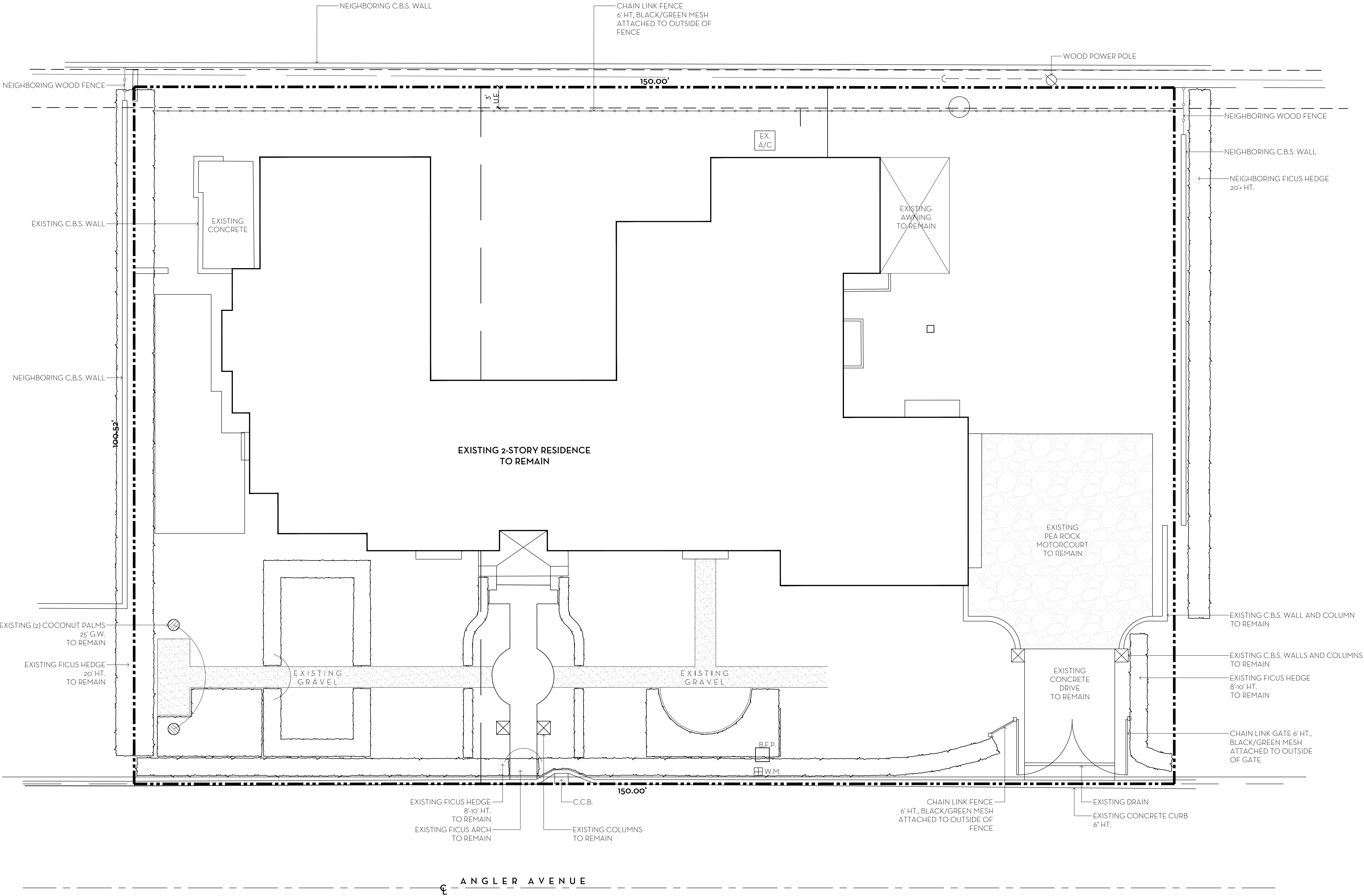
NIEVERAWILLIAMS.COM

LP2

ARC-24-040
ZON-24-046



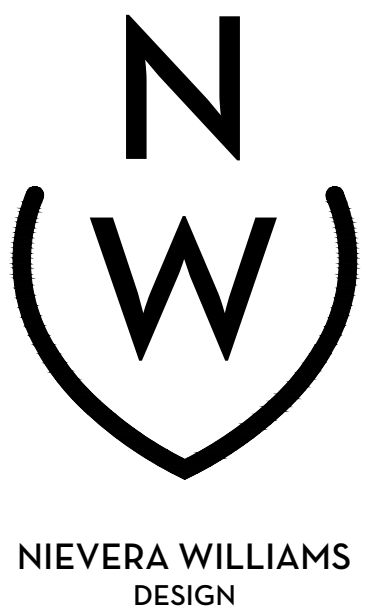
TRUCK LOGISTICS:
MAX. TRUCK LENGTH = 30 FEET
ENTER VIA THE NORTH BRIDGE TO COUNTY ROAD. NORTH ON COUNTY/OCEAN BLVD TO ANGLER AVE.
ESTIMATED NUMBER OF TRIPS FOR LARGE TRUCKS: 25



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

CONSTRUCTION SCREENING PLAN
227 ANGLER AVENUE
PALM BEACH, FLORIDA



223 Sunset Avenue
Suite 150
Palm Beach, Florida 33480
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

CSP

ARC-24-040
ZON-24-046

SCALE: 1/8" = 1'-0"

11 JANUARY 2024