

BRUNELLO CUCINELLI PALM BEACH

218 WORTH AVE., PALM BEACH, FL 33480
 PARCEL CONTROL # 50-43-43-23-05-018-0190
 SECOND SUBMITTAL - 02/22/2024
 SPECIAL EXCEPTION & SITE PLAN REVIEW

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ANDSTUDIO
 ARCHITECTURE + DESIGN

2420 SW 27TH AVE., SUITE 3
 MIAMI, FL 33145
 WWW.ANDSTUDIO.DESIGN
 FIRM LICENSE #AA26003820

PROJECT LOCATION:
 218 WORTH AVE.,
 PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
 BRUNELLO CUCINELLI MIAMI DESIGN DISTRICT
 C/O MARILU LASAGNA

DESIGNER:
 BRUNELLO CUCINELLI
 689 FIFTH AVENUE, 6TH FLOOR
 NEW YORK, NY 10022
 WWW.BRUNELLOCUCINELLI.COM

ARCHITECT OF RECORD:
 DAVID SCHWADE, AIA LICENSE # AR97772
 DAKOTA HENDON, AIA LICENSE #AR98269

GENERAL CONTRACTOR:
 TBD

MEP ENGINEER:
 N/A

STRUCTURAL ENGINEER:
 N/A

LAND USE:
 SHUTTS & BOWEN LLP
 525 OKEECHOBEE BLVD, SUITE 1100
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DATE: 02/08/2024 **DRAWN BY:** D.S.H.

SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
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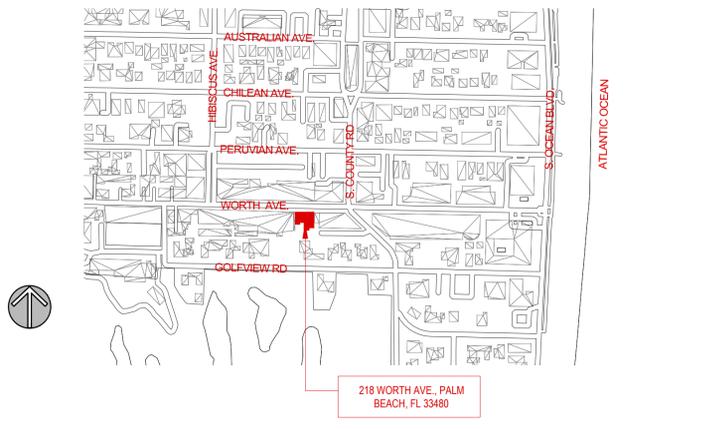
SHEET TITLE:

COVER SHEET

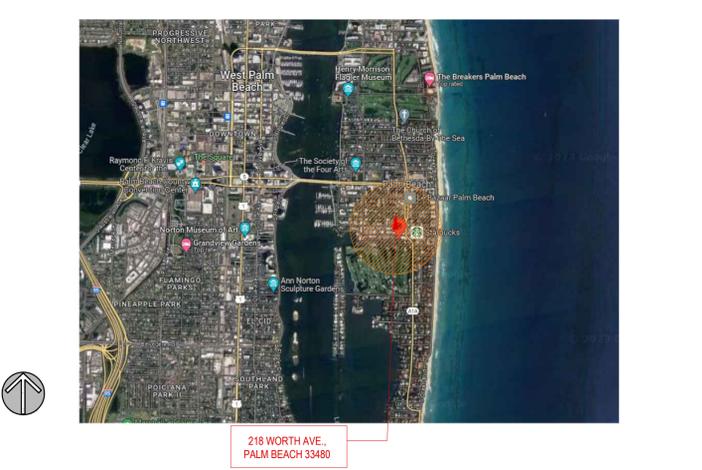
SHEET NO.:

A0.00

LOCATION PLAN N.T.S.



VICINITY MAP N.T.S.



SYMBOL

BUILDING OR WALL SECTION

DETAIL

BUILDING OR WALL ELEVATION REFERENCE DRAWING NUMBER

WALL ELEVATION REFERENCE DRAWING NUMBER

ROOM TAG

WALL SECTION DETAIL

TRANSITION DETAIL

DOOR NUMBER

WINDOW NUMBER

ELECTRIC FIXTURE REFERENCE

PLUMBING FIXTURE REFERENCE

SECTION LINES, CENTER LINES, PROJECTIONS

BREAK LINE

NORTH ARROW

REVISION #

INDEX OF DRAWINGS

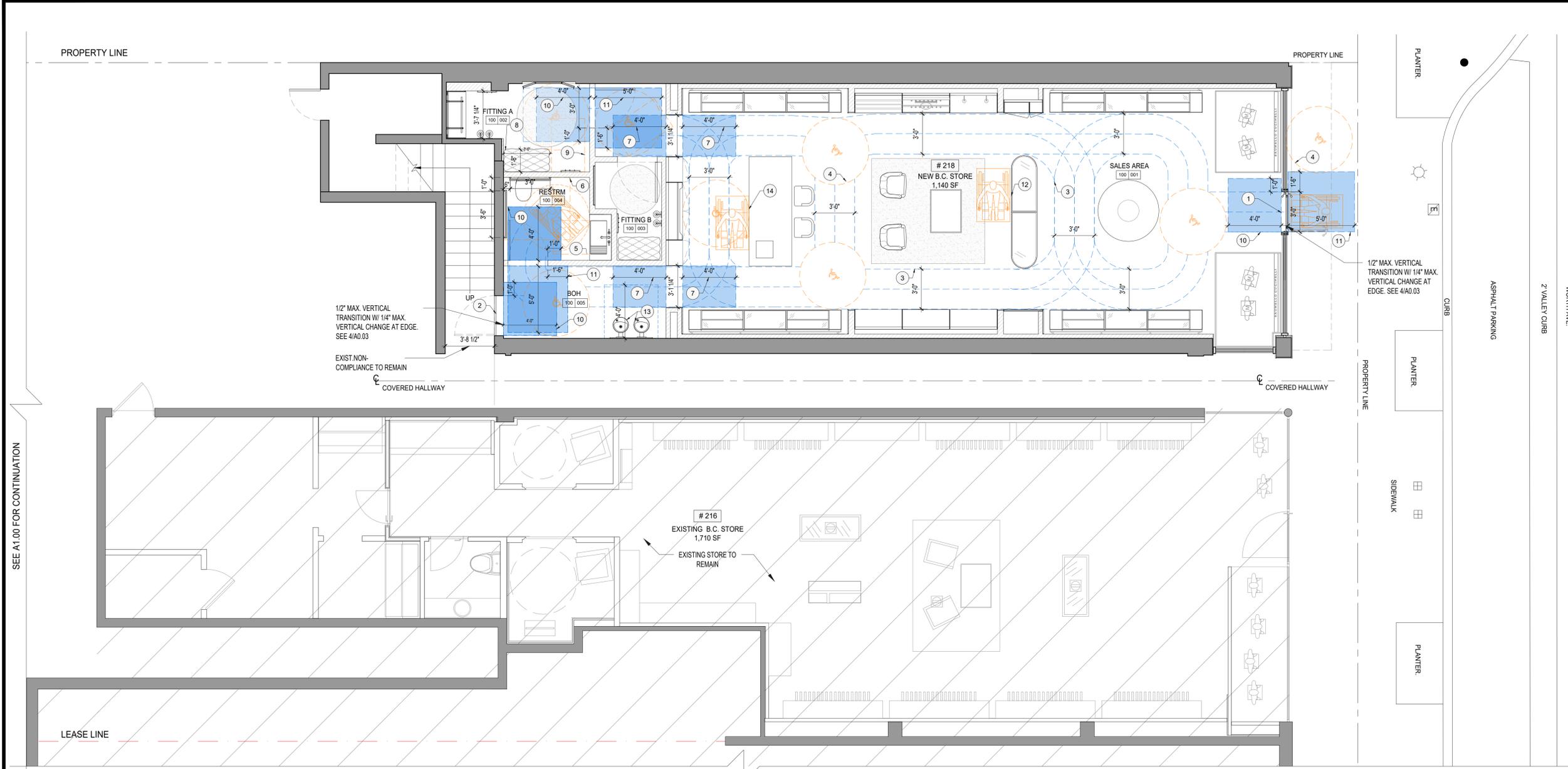
ARCHITECTURAL SHEETS

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HEP-01	MATERIALS & RENDERINGS	02/22/2024	2
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ZON -24 -049 (ARC-24-053)



1 FIRST FLOOR ACCESSIBILITY PLAN
SCALE: 1/4" = 1'-0"

2 GENERAL ACCESSIBILITY NOTES
SCALE = N.T.S.

- CHANGES IN LEVEL ALONG ACCESSIBLE PATH SHALL BE NO MORE THAN 1/2" OR SHALL COMPLY WITH SECTION 303 OF THE FLORIDA BUILDING CODE - ACCESSIBILITY, 8TH EDITION 2023 (FBC-A).
- ALL DOORS ALONG ACCESSIBLE PATH SHALL HAVE A CLEAR WIDTH OF NO LESS THAN 32 INCHES (FBC-A 404.2.3) AND COMPLY WITH DETAILS 1 OF SHEET A0.01 - ACCESSIBILITY STANDARDS.
- ALL DOOR THRESHOLDS SHALL COMPLY WITH DETAIL 4 OF SHEET A0.01 - ACCESSIBILITY STANDARDS.
- THE CLEAR WIDTH OF THE ACCESSIBLE PATH SHALL BE NO LESS THAN 36 INCHES, EXCEPT AS PERMITTED BY FBC-A SECTION 403.5.
- HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH FBC-A SECTION 309.4.
- ELEVATORS USED IN ACCESSIBLE PATH SHALL COMPLY WITH FBC-A SECTION 407 AND ASME A17.1 AND SHALL BE MAINTAINED IN WORKING ORDER SO THAT THEY ARE ACCESSIBLE TO AND USABLE BY THOSE PEOPLE THEY ARE INTENDED TO BENEFIT.
- T-SHAPED TURNING SPACE COMPLYING WITH FBC-A SECTION 304.3.2.

3 GENERAL SIGNAGE NOTES
SCALE = N.T.S.

ADA SIGNAGE REQUIREMENTS:

- SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION 216 OF THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION (LATEST EDITION).
- INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH SECTION 703.1, 703.2 AND 703.5, WHERE PICTOGRAMS ARE PROVIDED AS DESIGNATIONS OF PERMANENT INTERIOR ROOMS AND SPACES, THE PICTOGRAMS SHALL COMPLY WITH 703.6 AND SHALL HAVE TEXT DESCRIPTORS COMPLYING WITH 703.2 AND 703.5.
- SIGNS FOR MEANS OF EGRESS SHALL COMPLY WITH SECTION 216.4.
- RAISED CHARACTERS:** SIGNS REQUIRING RAISED CHARACTERS SHALL COMPLY WITH THE DEPTH, STYLE, CHARACTER PROPORTIONS, CHARACTER HEIGHT, STROKE THICKNESS AND LINE SPACING REQUIREMENTS OF SECTION 703.2.
- PICTOGRAMS:** PICTOGRAMS SHALL COMPLY WITH SECTION 703.6.
 - PICTOGRAM FIELD. PICTOGRAMS SHALL HAVE A FIELD HEIGHT OF 6 INCHES MIN. CHARACTERS AND BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD.
 - FINISH AND CONTRAST. PICTOGRAMS AND THEIR FIELD SHALL HAVE A NON-GLARE FINISH. PICTOGRAMS SHALL CONTRAST WITH THEIR FIELD WITH EITHER A LIGHT PICTOGRAM ON A DARK FIELD OR A DARK PICTOGRAM ON A LIGHT FIELD.
 - TEXT DESCRIPTORS. PICTOGRAMS SHALL HAVE TEXT DESCRIPTORS LOCATED DIRECTLY BELOW THE PICTOGRAM FIELD. TEXT DESCRIPTORS SHALL COMPLY WITH 703.2, 703.3 AND 703.4.
- INSTALLATION HEIGHT AND LOCATION.** SIGNS WITH TACTILE CHARACTERS SHALL COMPLY WITH SECTION 703.4.
 - HEIGHT ABOVE FINISHED FLOOR OR GROUND. TACTILE CHARACTERS ON SIGNS SHALL BE LOCATED 48 INCHES MIN. ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE LOWEST TACTILE CHARACTER AND 60 INCHES MAX. ABOVE THE FINISH FLOOR OR GROUND SURFACE, MEASURED FROM THE BASELINE OF THE HIGHEST TACTILE CHARACTER.
 - LOCATION. WHERE A TACTILE SIGN IS PROVIDED AT A DOOR, THE SIGN SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF. WHERE A TACTILE SIGN IS PROVIDED AT DOUBLE DOORS WITH TWO ACTIVE LEAFS, THE SIGN SHALL BE LOCATED TO THE RIGHT OF THE RIGHT HAND DOOR. WHERE THERE IS NO WALL SPACE AT THE LATCH SIDE OF A SINGLE DOOR OR AT THE RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE LOCATED ON THE NEAREST ADJACENT WALL. SIGNS CONTAINING TACTILE CHARACTERS SHALL BE LOCATED SO THAT A CLEAR FLOOR SPACE OF 18 INCHES (455 MM) MINIMUM BY 18 INCHES (455 MM) MINIMUM, CENTERED ON THE TACTILE CHARACTERS, IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING BETWEEN THE CLOSED POSITION AND 45 DEGREE OPEN POSITION.
- SEE A0.03 FOR VISUAL REFERENCE OF SIGN REQUIREMENTS.

4 ACCESSIBILITY KEY NOTES
SCALE = N.T.S.

KEYNOTES*

- NEW EGRESS DOOR AT FRONT EXIT
- EXISTING DOOR AT BOH TO REMAIN
- ACCESSIBLE ROUTE, MIN. 36" WIDE
- CLEAR TURNING SPACE (60" DIAMETER), TYP.
- 30" X 48" MIN. CLEAR FLOOR SPACE AT LAVATORY
- 56" X 60" MIN. CLEAR FLOOR SPACE AT TOILET
- 48" MIN. CLEAR FLOOR SPACE FRONT APPROACH FOR DOORWAYS
- NEW BENCH SHALL BE 42" LONG AND 20" DEEP MINIMUM. MOUNTED TO BACK WALL IN LIEU OF PROVIDING BACK SUPPORT FOR ADA FITTING ROOM.
- 30" X 48" CLEAR FLOOR SPACE ADJACENT TO THE BENCH FOR PARALLEL TRANSFER
- 48" PROJECTION CLEAR FLOOR SPACE AT DOOR, PUSH SIDE, FRONT APPROACH. DOOR PROVIDE BOTH CLOSER AND LATCH.
- 60" PROJECTION CLEAR FLOOR SPACE AT DOOR, PULL SIDE, FRONT APPROACH.
- SIDE APPROACH ADA ACCESSIBLE SURFACE- 34" AFF MAX.
- NEW DRINKING FOUNTAIN
- CASH DESK/BAR SHALL COMPLY W/ FBC ADA SECTION 904.4 PROVIDE MAXIMUM HEIGHT OF 36"

5 LEGENDS
SCALE = N.T.S.

	EXISTING SHELL WALL		ADA PATHWAY
	EXISTING INTERIOR PARTITION		ADA CLEARANCE AT DOORWAY
	NEW INTERIOR PARTITION		ADA TURNING RADIUS

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1	02/08/2024	FIRST SUBMITTAL
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SHEET TITLE:
FIRST FLOOR ACCESSIBILITY PLAN

SHEET NO:
A0.01

ZON -24 -049 (ARC-24-053)

SPECIAL EXCEPTION PERMIT

PROPOSED SCOPE OF WORK :

CONVERSION OF AN EXISTING DEMISED RETAIL TENANT (218 WORTH AVE. & 216 WORTH AVE.) AS PER SECTION 134-1159(A)(9), SPECIAL EXCEPTION FOR A PERMITTED USE GREATER THAN 4,000 SF IN THE C-WA ZONING DISTRICTS IN ORDER TO OCCUPY AN EXISTING TWO-STORY COMMERCIAL BUILDING. THE SALES OF APPAREL AND ACCESSORIES IS A SE USE WHEN THE GROSS LEASABLE AREA ("GLA") IS GREATER THAN 4,000 SF FROM 1,710 SF TO 4,107 SF (+1,140 SF ON THE FIRST FLOOR AND + 1,257 SF ON THE SECOND FLOOR FOR A TOTAL OF 2,367 SF AT 218 WORTH AVENUE)

NO CHANGE OF DEMISING WALLS: EXISTING FIRE RATED WALLS TO REMAIN UNDISTURBED.

LEGENDS

- CHAIN LINK FENCE
- WOOD FENCE
- METAL FENCE
- OVERHEAD LINE



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend		
1	Property Address:	218 WORTH AVE, PALM BEACH 33480	
2	Zoning District:	C-WA- COMMERCIAL WORTH AVE. (50- PALM BEACH)	
3	Lot Area (sq. ft.):	10,830 SF	
4	Lot Width (W) & Depth (D) (ft.):	(W) 75' & (D) 145.10'	
5	Structure Type: (Single-Family, Multi-Family, Comm., Other)	COMMERCIAL RETAIL	
6	FEMA Flood Zone Designation:	ZONE AE (EL 6) : PNL#12099C0583F, EFFECTIVE ON 10/5/2017	
7	Zero Datum for point of meas. (NAVD)	NAVD 88	
8	Crown of Road (COR) (NAVD)	4.00' NAVD	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	1ST FL 35% 2ND FL 35%	1ST FL 5,952 SF (55%) 2ND FL 6,218 SF (57%)
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs, Structure, etc)	MAX. GROSS = 15,000 SF	TOTAL = 11,624 SF
12	*Front Yard Setback (Ft.)	MIN. 2 FT. OF REQ. 10-FT PEDESTRIAN WALKWY	5'-0"
13	* Side Yard Setback (1st Story) (Ft.)	NO REQ.	N/A
14	* Side Yard Setback (2nd Story) (Ft.)	NO REQ.	N/A
15	*Rear Yard Setback (Ft.)	10 FOOT MIN.	44'-11"
16	Angle of Vision (Deg.)		
17	Building Height (Ft.)	25 FT MAX. FOR 2-STORY	28' - 6 7/8"
18	Overall Building Height (Ft.)	25 FT MAX. FOR 2-STORY	28' - 6 7/8"
19	Cubic Content Ratio (CCR) (R-B ONLY)		
20	** Max. Fill Added to Site (Ft.)	#216 = 0.4 FT #218 = 0.3 FT	#216 = 0.4 FT #218 = 0.3 FT
21	Finished Floor Elev. (FFE)(NAVD)	#216 = 4.89' NAVD #218 = 4.69' NAVD	#216 = 4.89' NAVD #218 = 4.69' NAVD
22	Base Flood Elevation (BFE)(NAVD)	7.0' NAVD	7.0' NAVD
23	Landscape Open Space (LOS) (Sq Ft and %)	FOR 2-STORY : 25% MIN.	3,914 SF (36%)
24	Perimeter LOS (Sq Ft and %)	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	N/A	N/A
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

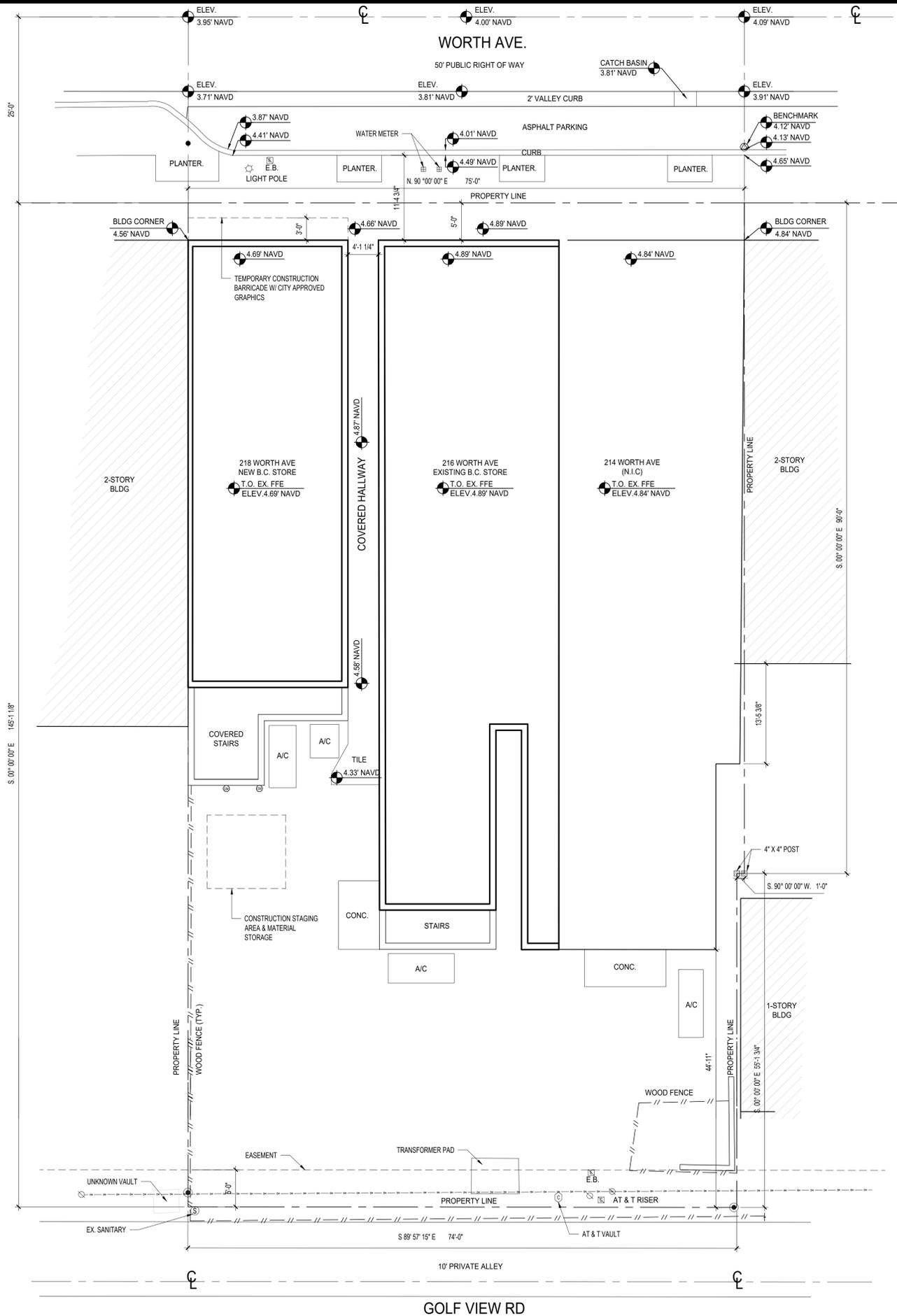
* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626



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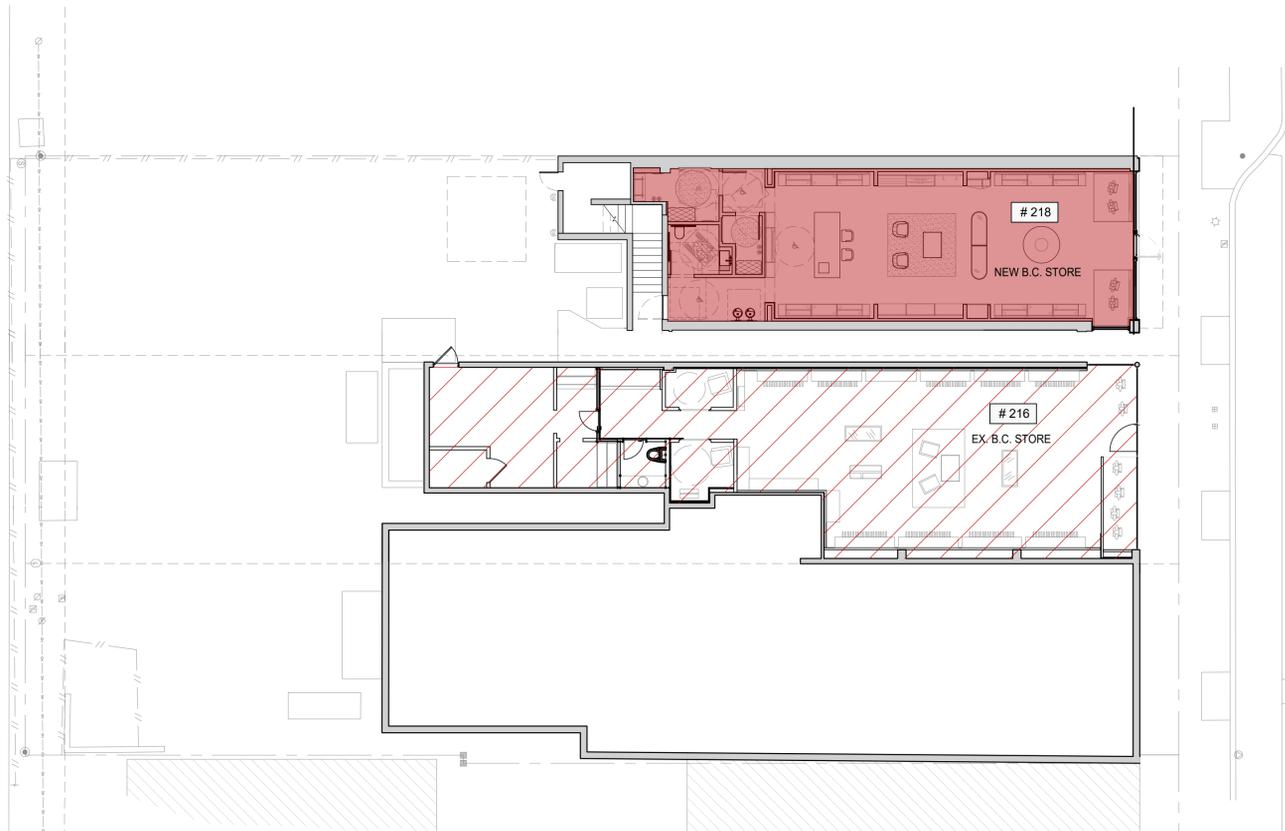
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SITE PLAN

SHEET NO.:
A1.00

SQUARE FOOTAGE DIAGRAM

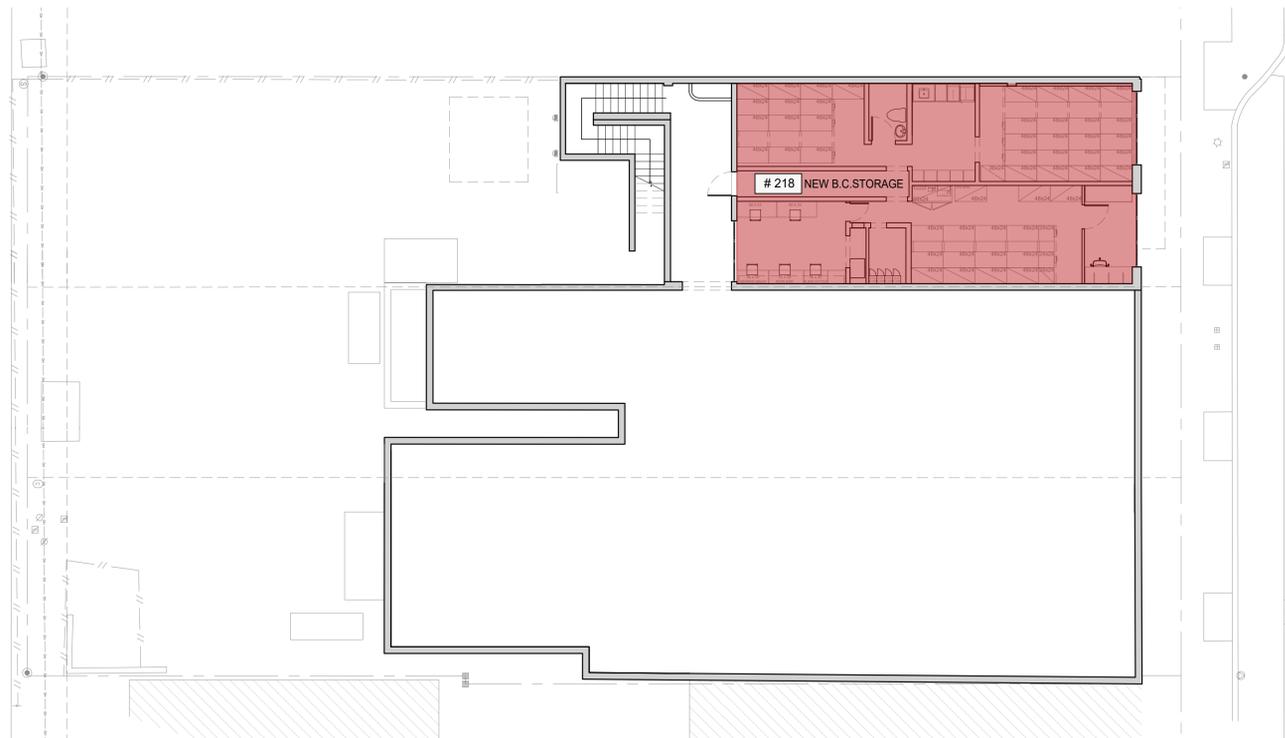
TOTAL SUM FLOOR GROSS AREA = 4,107 SF



FIRST FLOOR SF DIAGRAM

FIRST FLOOR GROSS AREA

- EXIST. FLOOR GROSS AREA = 1,710 SF
- NEW FLOOR GROSS AREA = 1,140 SF
- TOTAL FLOOR GROSS AREA = 2,850 SF



SECOND FLOOR SF DIAGRAM

SECOND FLOOR GROSS AREA

- NEW FLOOR GROSS AREA = 1,257 SF

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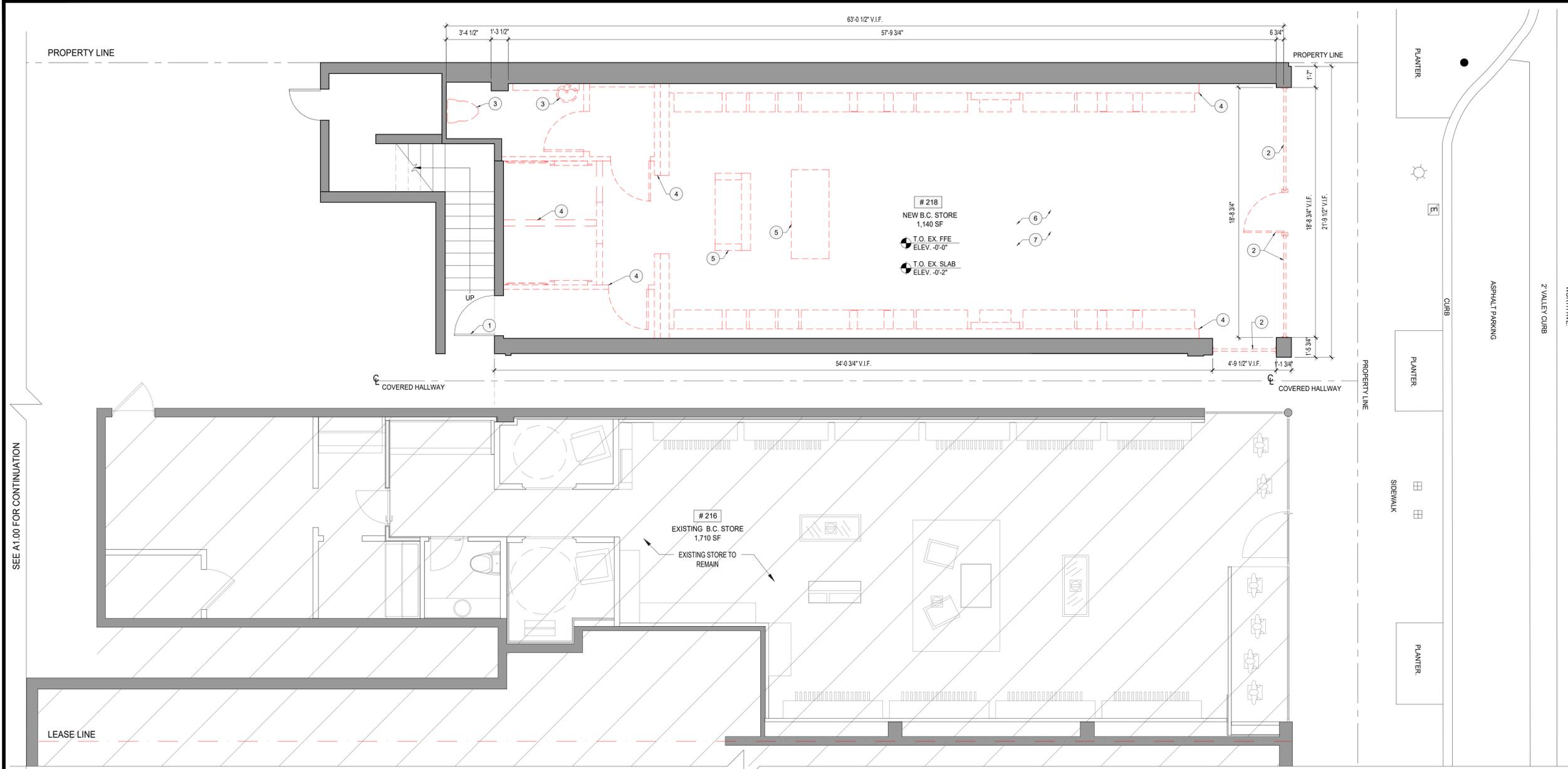
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SHEET TITLE:
SQUARE FOOTAGE
DIAGRAM

SHEET NO.:
A1.01



1 FIRST FLOOR DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

- EXISTING ELEMENTS TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO REMAIN
- █ EXISTING SHELL WALL TO REMAIN

2 LEGENDS
SCALE : N.T.S.

- KEYNOTES***
1. EXISTING DOOR TO REMAIN
 2. REMOVE EXISTING STOREFRONT WINDOWS /ENTRY DOOR
 3. REMOVE PLUMBING FIXTURES AND CAP AS REQUIRED.
 4. REMOVE ALL INTERIOR WALL, FINISHES, DOORS & ASSOCIATED MILLWORK TO EXISTING BUILDING STRUCTURE
 5. REMOVE AND DISCARD EXISTING FURNITURE
 6. REMOVE EXISTING CEILING AND CEILING-FIXTURES
 7. REMOVE EXISTING FLOOR FINISH AND PREPARE TO RECEIVE NEW FINISHES

3 KEY NOTES
SCALE = N.T.S.

NOTE:

1. NO DEMOLITION OF STRUCTURAL ELEMENTS IS INTENDED BY THIS DEMOLITION APPLICATION.
2. NOTIFY ARCHITECT IF ANY WALLS SHOWN TO BE REMOVED APPEAR TO BE LOAD BEARING
3. EXISTING FIRE PROTECTION AND ALARM DEVICES TO REMAIN AND REMAIN OPERATIONAL DURING CONSTRUCTION.
4. UPON COMPLETION OF DEMO, ENTIRE SPACE SHALL BE CLEARED OF ALL DEBRIS AND ALL LOOSE WIRING, EXPOSED NAILS OR ANY OTHER SHARP OR DANGEROUS SURFACE SHALL BE CLEARED AND LEVELED. ADDITIONALLY, CEILING SHALL BE CLEARED OF ABANDONED CONDUIT, WIRE OR OTHER ITEMS AND ALL EXPOSED SURFACES TO BE FLAT AND CLEAR OF HANGING DEBRIS

4 GENERAL NOTES & DEMOLITION NOTES
SCALE = N.T.S.

- A) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK INVOLVED.
- B) BIDDER MUST REVIEW ALL PLANS PRIOR TO BIDDING WORK. ARCHITECT SHALL ASSUME NO RESPONSIBILITY WHEN BIDDER HAS NOT VIEWED THE NATURE OF THE WORK. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS, HE/SHE MUST REQUEST THIS INFORMATION IN WRITING. ARCHITECT SHALL RESPOND TO ANY INQUIRIES IN LETTER FORM.
- C) ALL SUBCONTRACTORS MUST HAVE PROPER EVIDENCE OF LIABILITY INSURANCE, LOCAL LICENSE, UNLESS OTHERWISE SPECIFIED.
- D) ALL WORK SHALL BE GUARANTEED BY CONTRACTOR OR SUBCONTRACTOR IN WRITING FOR ONE YEAR AGAINST FAULTY MATERIALS AND/OR POOR WORKMANSHIP.
- E) ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEERS FROM ANY PERSONAL INJURY OR DAMAGE TO THE JOB OR ADJACENT PROPERTIES.
- F) CONTRACTOR SHALL PAY ALL APPLICABLE TAX, SALES TAX, AND PERMIT FEES.
- G) SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY ARCHITECT OR ENGINEER.
- H) CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION. CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH THE F.B.C., OSHA, AND LOCAL CODES.
- I) IF ANY CHANGES AND/OR DEVIATIONS ARE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND/OR DEVIATIONS.
- J) IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE IN THE FIELD, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH DEVIATIONS.
- K) IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE IN THE FIELD, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH DEVIATIONS.
- L) OWNER SHALL NOT AUTHORIZE ANY IMPROVEMENT AND OR DEMOLITION WORK UNTIL PERMIT IS SECURE FROM AGENCIES HAVING JURISDICTION.
- M) DEMOLITION CONTRACTOR SHALL COMPLY WITH F.B.C. AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- N) REMOVE EXISTING ELECTRICAL OUTLETS, LIGHTING, CONDUITS, ETC. THROUGHOUT WALLS BEING REMOVED.
- O) CAP AND PROTECT ALL EXISTING PLUMBING LINES, VENTS, ETC. FOR FUTURE USE.
- P) COORDINATE ALL DEMOLITION W/ NEW CONSTRUCTION PLANS FOR PHASING PURPOSES.
- Q) CONTRACTOR SHOULD REALIZE THAT THIS DEMOLITION PLAN DOES NOT INCLUDE INCIDENTAL DEMOLITION CONCERNING NEW CONSTRUCTION, FOR EXAMPLE, THE OPENING OF WALLS, CEILINGS, AND FLOORS FOR THE PURPOSE OF PROBING FOR PLUMBING LINES, VENTS, ELECT. CONDUITS, ETC. AND THAT AN ALLOWANCE SHOULD BE INCLUDED IN THE FINAL BID.
- R) PROPER DISPOSAL OF ALL WASTE MATERIALS SHALL BE BY THE GENERAL CONTRACTOR. ALL INDIVIDUAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF WASTE MATERIALS DUE TO THEIR RESPECTIVE ACTIVITIES.
- S) ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE RESPONSIBILITY OF THE CONTRACTOR. ALL NOTED DIMENSIONS TAKE PRECEDENCE OF SCALE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING.
- T) THE SCOPE OF WORK HAS GENERALLY BEEN INDICATED ON THE DRAWING FOR CONTRACTOR'S INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT AND NATURE AND MANNER OF DEMOLITION REQUIRED.
- U) CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING MATERIALS TO BE REUSED AND SHALL ALSO MAINTAIN PROTECTION FOR ALL TRAFFIC AREAS OF BUILDINGS HE USES DURING THE EXECUTION OF WORK PERTAINING TO THIS CONTRACT WITH THE UNDERSTANDING THAT THE CONTRACTOR WILL REPAIR ANY DAMAGE ATTRIBUTABLE TO HIS OPERATION.
- V) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL CUTTING AND PATCHING MADE NECESSARY BY THE WORK OF ALL TRADES INVOLVE IN THIS ALTERATION.
- W) ANY ELECTRICAL DEMOLITION TO BE DONE BY QUALIFIED ELECTRICAL CONTRACTOR AND COORDINATED WITH ELECTRICAL DRAWINGS
- X) ANY PLUMBING DEMOLITION TO BE DONE BY QUALIFIED PLUMBING CONTRACTOR AND COORDINATED WITH PLUMBING DRAWINGS
- Y) ANY MECHANICAL DEMOLITION TO BE DONE BY QUALIFIED MECHANICAL CONTRACTOR AND COORDINATED WITH MECHANICAL DRAWINGS

ZON -24 -049 (ARC-24-053)

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FIRM LICENSE #AA26003820

PROJECT LOCATION:
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PROJECT CLIENT / OWNER:
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C/O MARILU LASAGNA

DESIGNER:
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ARCHITECT OF RECORD:
DAVID SCHWADE, AIA LICENSE # AR97772
DAKOTA HENDON, AIA LICENSE # AR98269

GENERAL CONTRACTOR:
TBD

MEP ENGINEER:
N/A

STRUCTURAL ENGINEER:
N/A

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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

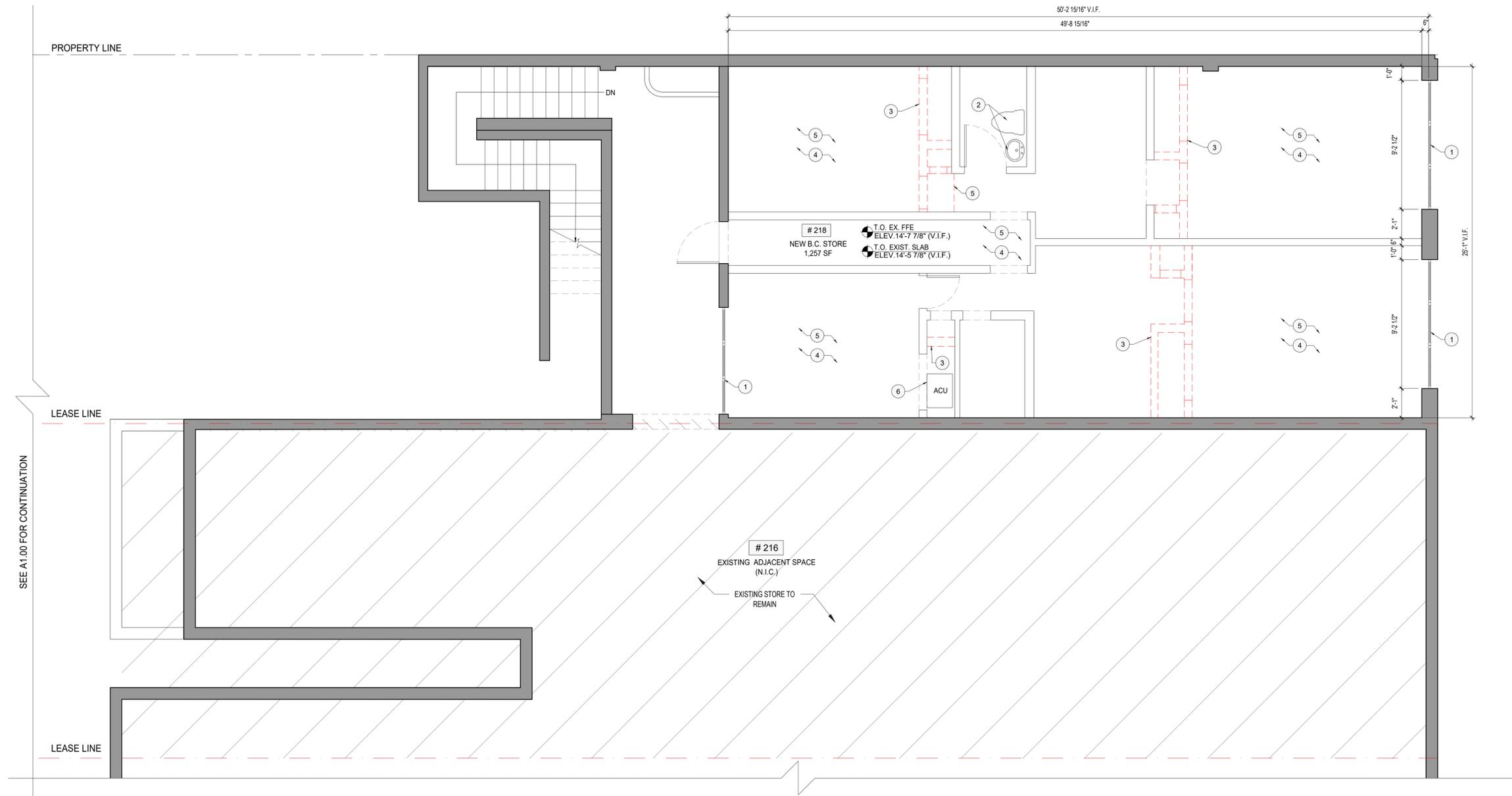
DATE: 02/08/2024 **DRAWN BY:** D.S.H.

SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
FIRST FLOOR
DEMOLITION PLAN

SHEET NO.:
D1.01



1 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

- EXISTING ELEMENTS TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO REMAIN
- EXISTING SHELL WALL TO REMAIN

2 LEGENDS
SCALE: N.T.S.

- KEYNOTES*
1. EXISTING WINDOW TO REMAIN
 2. EXISTING PLUMBING FIXTURES TO REMAIN
 3. REMOVE ALL INTERIOR WALL, FINISHES, DOORS & ASSOCIATED MILLWORK TO EXISTING BUILDING STRUCTURE
 4. REMOVE EXISTING FLOOR FINISHES AND PREPARE TO RECEIVE NEW FINISHES
 5. REMOVE EXISTING CEILING / SOFFIT
 6. EXISTING A/C UNIT TO REMAIN

3 KEY NOTES
SCALE: N.T.S.

NOTE:

1. NO DEMOLITION OF STRUCTURAL ELEMENTS IS INTENDED BY THIS DEMOLITION APPLICATION.
2. NOTIFY ARCHITECT IF ANY WALLS SHOWN TO BE REMOVED APPEAR TO BE LOAD BEARING
3. EXISTING FIRE PROTECTION AND ALARM DEVICES TO REMAIN AND REMAIN OPERATIONAL DURING CONSTRUCTION
4. UPON COMPLETION OF DEMO, ENTIRE SPACE SHALL BE CLEARED OF ALL DEBRIS AND ALL LOOSE WIRING, EXPOSED NAILS OR ANY OTHER SHARP OR DANGEROUS SURFACE SHALL BE CLEARED AND LEVELED. ADDITIONALLY, CEILING SHALL BE CLEARED OF ABANDONED CONDUIT, WIRE OR OTHER ITEMS AND ALL EXPOSED SURFACES TO BE FLAT AND CLEAR OF HANGING DEBRIS

4 GENERAL NOTES & DEMOLITION NOTES
SCALE: N.T.S.

- A) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK INVOLVED.
- B) BIDDER MUST REVIEW ALL PLANS PRIOR TO BIDDING WORK. ARCHITECT SHALL ASSUME NO RESPONSIBILITY WHEN BIDDER HAS NOT VIEWED THE NATURE OF THE WORK. IF DOUBT EXISTS IN THE MIND OF THE BIDDER AS THE TRUE MEANING OF ANY PART OF THE CONTRACT DOCUMENTS, HE/SHE MUST REQUEST THIS INFORMATION IN WRITING. ARCHITECT SHALL RESPOND TO ANY INQUIRIES IN LETTER FORM.
- C) ALL SUBCONTRACTORS MUST HAVE PROPER EVIDENCE OF LIABILITY INSURANCE, LOCAL LICENSE, UNLESS OTHERWISE SPECIFIED.
- D) ALL WORK SHALL BE GUARANTEED BY CONTRACTOR OR SUBCONTRACTOR IN WRITING FOR ONE YEAR AGAINST FAULTY MATERIALS AND/OR POOR WORKMANSHIP.
- E) ALL CONTRACTORS AND SUBCONTRACTORS SHALL HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEERS FROM ANY PERSONAL INJURY OR DAMAGE TO THE JOB OR ADJACENT PROPERTIES.
- F) CONTRACTOR SHALL PAY ALL APPLICABLE TAX, SALES TAX, AND PERMIT FEES.
- G) SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY ARCHITECT OR ENGINEER.
- H) CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION.
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- M) DEMOLITION CONTRACTOR SHALL COMPLY WITH F.B.C. AND ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- N) REMOVE EXISTING ELECTRICAL OUTLETS, LIGHTING, CONDUITS, ETC. THROUGHOUT WALLS BEING REMOVED.
- O) CAP AND PROTECT ALL EXISTING PLUMBING LINES, VENTS, ETC. FOR FUTURE USE.
- P) COORDINATE ALL DEMOLITION W/ NEW CONSTRUCTION PLANS FOR PHASING PURPOSES.
- Q) CONTRACTOR SHOULD REALIZE THAT THIS DEMOLITION PLAN DOES NOT INCLUDE INCIDENTAL DEMOLITION CONCERNING NEW CONSTRUCTION, FOR EXAMPLE, THE OPENING OF WALLS, CEILINGS, AND FLOORS FOR THE PURPOSE OF PROBING FOR PLUMBING LINES, VENTS, ELECT. CONDUITS, ETC. AND THAT AN ALLOWANCE SHOULD BE INCLUDED IN THE FINAL BID.
- R) PROPER DISPOSAL OF ALL WASTE MATERIALS SHALL BE BY THE GENERAL CONTRACTOR. ALL INDIVIDUAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROPER DISPOSAL OF WASTE MATERIALS DUE TO THEIR RESPECTIVE ACTIVITIES.
- S) ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE RESPONSIBILITY OF THE CONTRACTOR. ALL NOTED DIMENSIONS TAKE PRECEDENCE OF SCALE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AT ONCE BEFORE PROCEEDING.
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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

DATE: 02/08/2024 **DRAWN BY:** D.S.H.

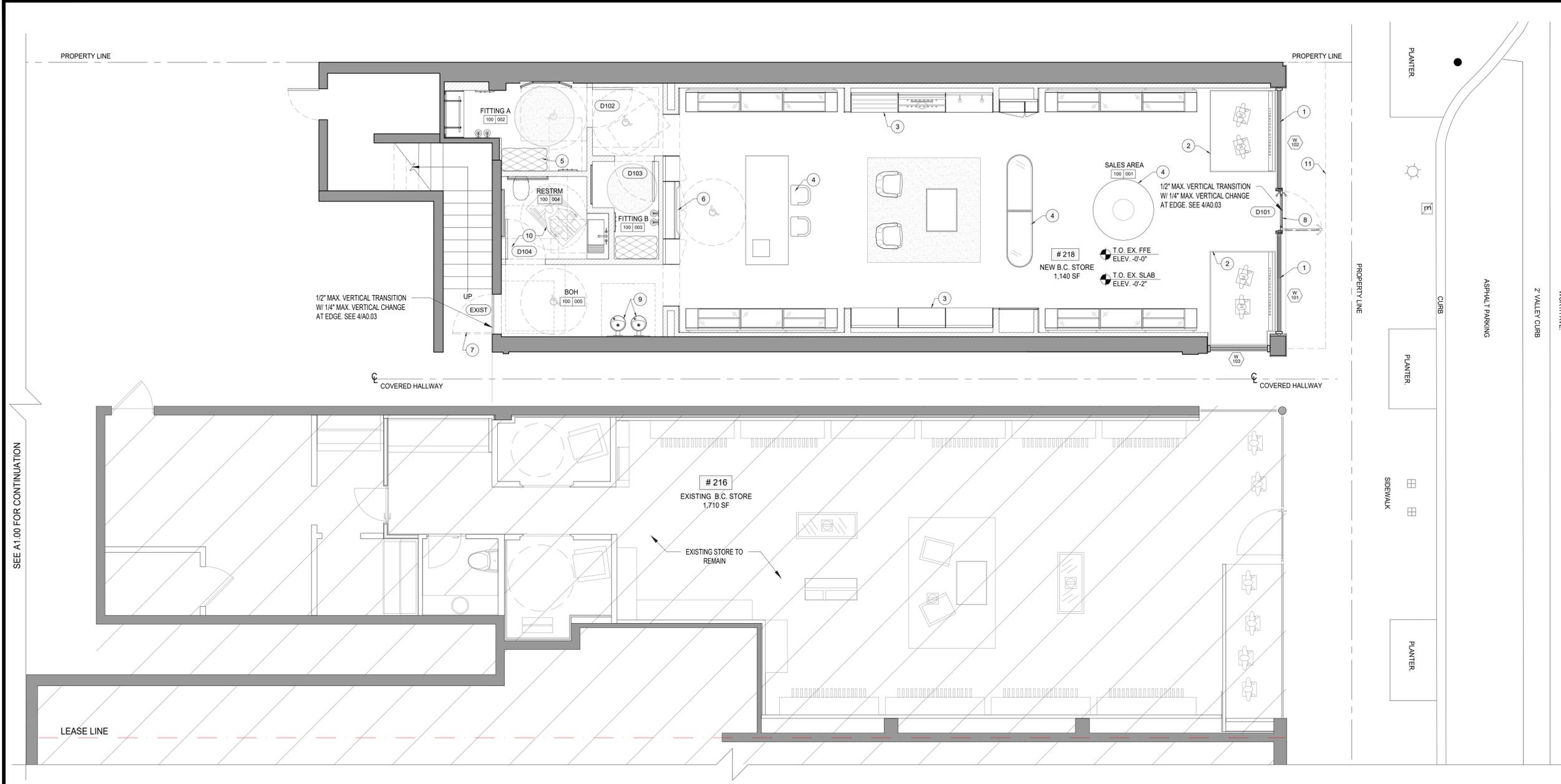
SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
SECOND FLOOR
DEMOLITION PLAN

SHEET NO.:
D1.02

ZON -24 -049 (ARC-24-053)



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE
G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED OR SUPPORTED FIXTURES AND FURNISHINGS SHOWN ON PLANS. ALL BLOCKING SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS OR FIRE RETARDANT TREATED WOOD.

NOTE
CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH EXISTING CONDITIONS. FLOOR LEVELS SHALL ALIGN WITH EXISTING ENTRY AND EXIT POINTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- A) GENERAL CONTRACTOR TO VERIFY FIRE WALLS AND REPAIR AS NEEDED TO PROVIDE/MAINTAIN ONE HOUR FIRE SEPARATION UL149/UL456. REPAIR ALL DEMISING WALLS TO UL 419/UL456 AS APPLICABLE.
- B) ALL EXPOSED METAL STUD IN TENANT AREA TO BE FINISHED WITH GYPSUM WALL BOARD PER UL STANDARD. USE "X" TYPE "X" AT DEMISING PARTITIONS, SEE PARTITION TYPES.
- C) ALL DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
- D) PROVIDE WOOD BLOCKING IN WALLS FOR WALL MTD. FIXTURES AND ITEMS AS REQUIRED PER FBC 2517.5.1 & 2318.1.15
- E) ALL WOOD BLOCKING AND FURRING SHALL BE FIRE RETARDANT
- F) SEAL ALL FIRE-RATED WALL PENETRATIONS
- G) CONTRACTOR TO SUBMIT DOOR AND FIXTURE SHOP DRAWINGS TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
- H) REFER TO ELECTRICAL DWGS. FOR EXACT NUMBER, TYPE AND LOCATION OF OUTLETS, EXIT SIGNS AND EMERGENCY LIGHTING
- I) CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL NEUTRAL PIER CONDITIONS BEFORE BIDDING ANY WORK.
- J) ALL WORK TO COMPLY WITH ALL LOCAL, STATE, NATIONAL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS PROJECT
- K) DOOR MANEUVERING NOTE: MINIMUM MANEUVERING CLEARANCES AT DOORS THAT ARE NOT AUTOMATIC OR POWER-ASSISTED SHALL BE AS SHOWN. SEE ACCESSIBILITY PLANS. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. DOOR MANEUVERING TO COMPLY WITH FLORIDA BUILDING CODE - ACCESSIBILITY SECTION 404.
- L) ALL INTERIOR WALL AND CEILING FINISHES TO BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE CLASS "B" MIN. FOR INTERIOR EXIT STAIRWAYS, RAMPS AND CORRIDORS IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES. FOR ROOMS AND ENCLOSED SPACES, ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "C" MIN.
- M) CONFIRM ALL DIMENSIONS WITH LOD & FIELD VERIFY.
- N) ALL FURNITURES REFER TO MANUF. FOR DETAILS

- KEYNOTES**
1. NEW IMPACT RATED STOREFRONT GLAZING
 2. RAISED DISPLAY PLATFORM BY BRUNELLO CUCINELLI
 3. NEW DISPLAY WALL FIXTURES SUPPLIED BY OWNER & INSTALLED BY GC. SEE FIXTURE PLAN
 4. NEW FURNITURE PIECE PROVIDED BY BRUNELLO CUCINELLI, INSTALLED BY GC.
 5. NEW BENCH SHALL BE 42" LONG AND 20" DEEP MINIMUM.
 6. NEW MILLWORK PROVIDED BY BRUNELLO CUCINELLI AND INSTALLED BY CONTRACTOR. PROVIDE BACKING AT ALL FIXTURE LOCATIONS. SEE FIXTURE PLAN.
 7. EXISTING REAR EXIT DOOR TO REMAIN
 8. NEW IMPACT RATED STOREFRONT ENTRY DOOR
 9. NEW DRINKING FOUNTAIN
 10. PROVIDE WATERPROOFING MEMBRANE AT ALL WET AREAS (SUCH AS BATHROOM). MIN. 30 MIL POLYETHYLENE CLEAVAGE MEMBRANE (NOBLE SEAL TS OR EQUIV.) INSTALL PER MANUFACTURER SPECS AND ANSI A108. EXTEND MEMBRANE UP WALL FOR A MIN. OF 4"
 11. TEMPORARY CONSTRUCTION BARRICADE W/ CITY APPROVED GRAPHICS

LEGEND
SCALE = N.T.S.

	EXISTING SHELL WALL		EXISTING DOOR
	EXISTING INTERIOR PARTITION		NEW DOOR
	NEW INTERIOR PARTITION		EXIST. WINDOW
	WALL TYPE TAG SEE WALL DETAIL		NEW WINDOW
	ROOM W/ FINISH TAG. SEE FINISH SCHEDULE		

2 GENERAL PLAN NOTES
SCALE = N.T.S.

3 FLOOR PLAN KEY NOTES
SCALE = N.T.S.

4 LEGEND
SCALE = N.T.S.

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DESIGNER:
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TBD

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STRUCTURAL ENGINEER:
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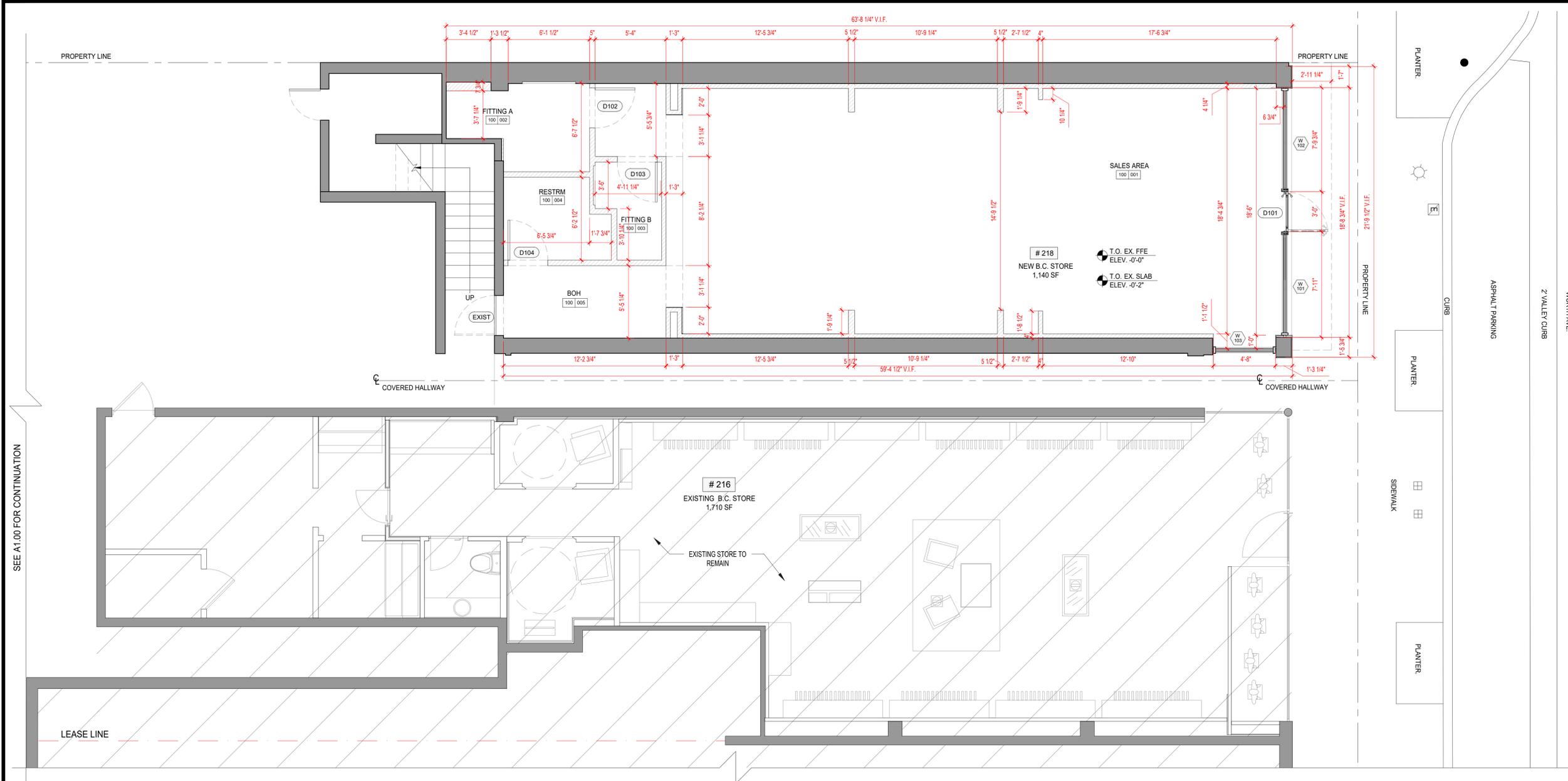
DATE: 02/08/2024 **DRAWN BY:** D.S.H.

SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

SHEET NO.:
A1.11



1 FIRST FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

NOTE
G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED OR SUPPORTED FIXTURES AND FURNISHINGS SHOWN ON PLANS. ALL BLOCKING SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS OR FIRE RETARDANT TREATED WOOD

NOTE
CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH EXISTING CONDITIONS. FLOOR LEVELS SHALL ALIGN WITH EXISTING ENTRY AND EXIT POINTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

2 NOTES
SCALE = N.T.S.

- 3 GENERAL NOTES
SCALE = N.T.S.
- A) GENERAL CONTRACTOR TO VERIFY FIRE WALLS AND REPAIR AS NEEDED TO PROVIDE MAINTAIN ONE HOUR FIRE SEPARATION UL419/UL456. REPAIR ALL DEMISING WALLS TO UL 419/UL456 AS APPLICABLE.
 - B) ALL EXPOSED METAL STUD IN TENANT AREA TO BE FINISHED WITH GYPSUM WALL BOARD PER UL STANDARD. USE 5/8" TYPE "X" AT DEMISING PARTITIONS. SEE PARTITION TYPES.
 - C) ALL DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
 - D) PROVIDE WOOD BLOCKING IN WALLS FOR WALL MTD. FIXTURES AND ITEMS AS REQUIRED PER FBC 2517.5.1 & 2318.1.15
 - E) ALL WOOD BLOCKING AND FURRING SHALL BE FIRE RETARDANT
 - F) SEAL ALL FIRE-RATED WALL PENETRATIONS
 - G) CONTRACTOR TO SUBMIT DOOR AND FIXTURE SHOP DRAWINGS TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
 - H) REFER TO ELECTRICAL DWGS. FOR EXACT NUMBER, TYPE AND LOCATION OF OUTLETS, EXIT SIGNS AND EMERGENCY LIGHTING
 - I) CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL NEUTRAL PIER CONDITIONS BEFORE BIDDING ANY WORK.
 - J) ALL WORK TO COMPLY WITH ALL LOCAL, STATE, NATIONAL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS PROJECT
 - K) DOOR MANEUVERING NOTE: MINIMUM MANEUVERING CLEARANCES AT DOORS THAT ARE NOT AUTOMATIC OR POWER-ASSISTED SHALL BE AS SHOWN. SEE ACCESSIBILITY PLANS. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. DOOR MANEUVERING TO COMPLY WITH FLORIDA BUILDING CODE - ACCESSIBILITY SECTION 404.
 - L) ALL INTERIOR WALL AND CEILING FINISHES TO BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE CLASS "B" MIN. FOR INTERIOR EXIT STAIRWAYS, RAMP AND CORRIDORS IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES. FOR ROOMS AND ENCLOSED SPACES, ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "C" MIN.
 - M) CONFIRM ALL DIMENSIONS WITH LOD & FIELD VERIFY.
 - N) ALL FURNITURES REFER TO MANUF. FOR DETAILS

4 LEGEND
SCALE = N.T.S.

	EXISTING SHELL WALL		EXISTING DOOR
	EXISTING INTERIOR PARTITION		NEW DOOR
	NEW INTERIOR PARTITION		EXIST. WINDOW
	WALL TYPE TAG SEE WALL DETAIL		NEW WINDOW
			ROOM W/ FINISH TAG. SEE FINISH SCHEDULE

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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

DATE: 02/08/2024 DRAWN BY: D.S.H.

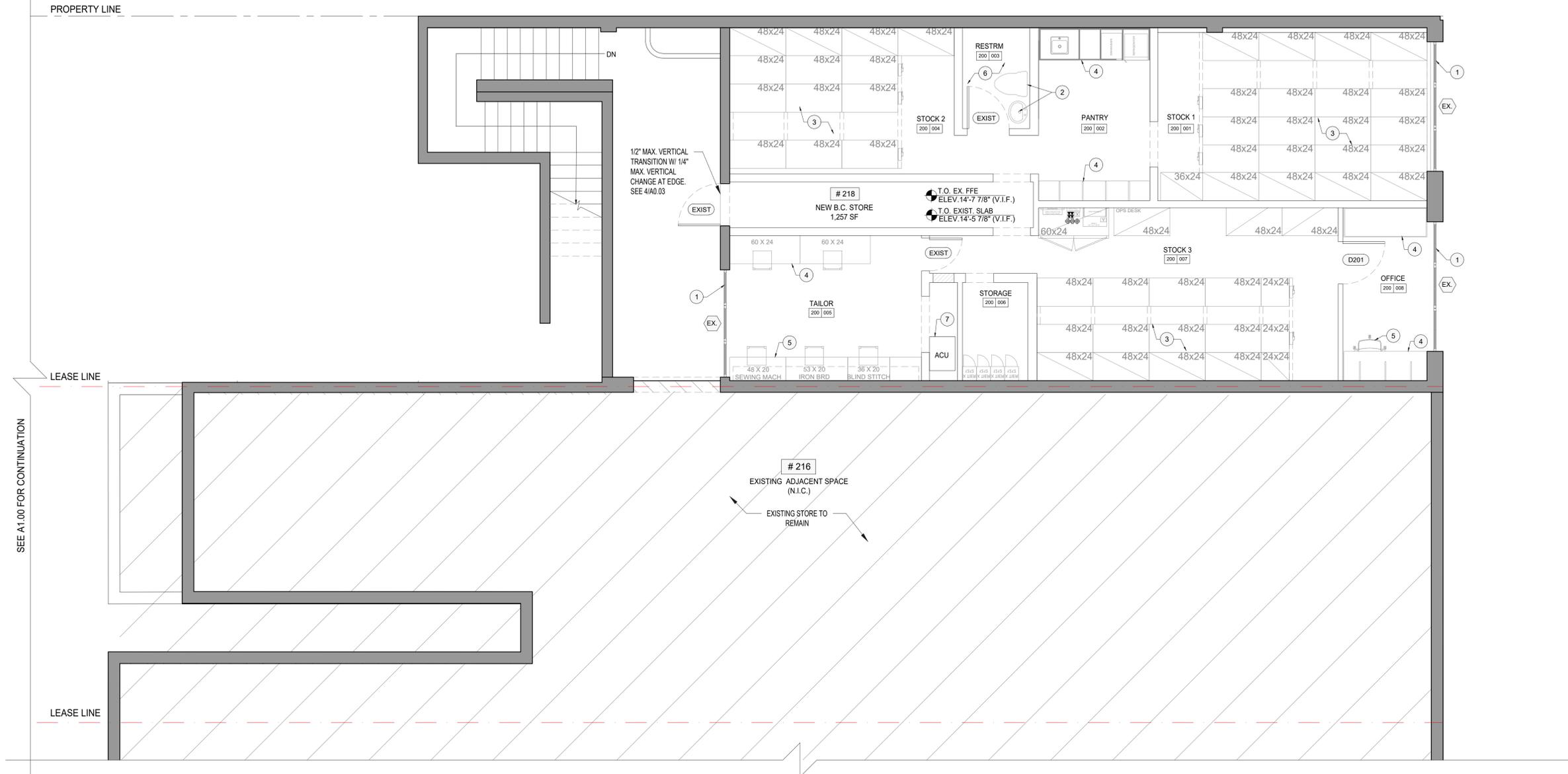
SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
FIRST FLOOR DIMENSION PLAN

SHEET NO:
A1.11a

ZON -24 -049 (ARC-24-053)



RESERVED FOR CITY USE

ANDSTUDIO
ARCHITECTURE + DESIGN

2420 SW 27TH AVE., SUITE 3
MIAMI, FL 33145
WWW.ANDSTUDIO.DESIGN
FIRM LICENSE #AA26003820

PROJECT LOCATION:
218 WORTH AVE.,
PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
BRUNELLO CUCINELLI MIAMI DESIGN DISTRICT
C/O MARILU LASAGNA

DESIGNER:
BRUNELLO CUCINELLI
689 FIFTH AVENUE, 6TH FLOOR
NEW YORK, NY 10022
WWW.BRUNELLOCUCINELLI.COM

ARCHITECT OF RECORD:
DAVID SCHWADE, AIA LICENSE # AR97772
DAKOTA HENDON, AIA LICENSE #AR96269

GENERAL CONTRACTOR:
TBD

MEP ENGINEER:
N/A

STRUCTURAL ENGINEER:
N/A

LAND USE:
SHUTTS & BOWEN LLP
525 OKEECHOBEE BLVD, SUITE 1100
WEST PALM BEACH, FL 33401

PROFESSIONAL SEAL:

1 PROPOSED SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

NOTE
G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED OR SUPPORTED FIXTURES AND FURNISHINGS SHOWN ON PLANS. ALL BLOCKING SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS OR FIRE RETARDANT TREATED WOOD

NOTE
CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH EXISTING CONDITIONS. FLOOR LEVELS SHALL ALIGN WITH EXISTING ENTRY AND EXIT POINTS. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- A) GENERAL CONTRACTOR TO VERIFY FIRE WALLS AND REPAIR AS NEEDED TO PROVIDE/MAINTAIN ONE HOUR FIRE SEPARATION UL149/UL456. REPAIR ALL DEMISING WALLS TO UL 149/UL456 AS APPLICABLE.
- B) ALL EXPOSED METAL STUD IN TENANT AREA TO BE FINISHED WITH GYPSUM WALL BOARD PER UL STANDARD. USE "X" TYPE "X" AT DEMISING PARTITIONS, SEE PARTITION TYPES.
- C) ALL DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
- D) PROVIDE WOOD BLOCKING IN WALLS FOR WALL MTD. FIXTURES AND ITEMS AS REQUIRED PER FBC 2517.5.1 & 2318.1.15
- E) ALL WOOD BLOCKING AND FURRING SHALL BE FIRE RETARDANT
- F) SEAL ALL FIRE-RATED WALL PENETRATIONS
- G) CONTRACTOR TO SUBMIT DOOR AND FIXTURE SHOP DRAWINGS TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION
- H) REFER TO ELECTRICAL DWGS. FOR EXACT NUMBER, TYPE AND LOCATION OF OUTLETS, EXIT SIGNS AND EMERGENCY LIGHTING
- I) CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL NEUTRAL PIER CONDITIONS BEFORE BIDDING ANY WORK.
- J) ALL WORK TO COMPLY WITH ALL LOCAL, STATE, NATIONAL CODES AND REGULATIONS HAVING JURISDICTION OVER THIS PROJECT
- K) DOOR MANEUVERING NOTE: MINIMUM MANEUVERING CLEARANCES AT DOORS THAT ARE NOT AUTOMATIC OR POWER-ASSISTED SHALL BE AS SHOWN. SEE ACCESSIBILITY PLANS. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR. DOOR MANEUVERING TO COMPLY WITH FLORIDA BUILDING CODE - ACCESSIBILITY SECTION 404.
- L) ALL INTERIOR WALL AND CEILING FINISHES TO BE CLASSIFIED IN ACCORDANCE WITH ASTM E84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE CLASS "B" MIN. FOR INTERIOR EXIT STAIRWAYS, RAMPS AND CORRIDORS IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE-DEVELOPED INDEXES. FOR ROOMS AND ENCLOSED SPACES, ALL INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS "C" MIN.
- M) CONFIRM ALL DIMENSIONS WITH LOD & FIELD VERIFY.
- N) ALL FURNITURES REFER TO MANUF. FOR DETAILS

- KEYNOTES**
1. EXISTING WINDOW TO REMAIN
 2. EXISTING FIXTURES TO REMAIN
 3. NEW STORAGE SHELVES BY OWNER
 4. NEW MILLWORK PROVIDED BY BRUNELLO CUCINELLI AND INSTALLED BY CONTRACTOR. PROVIDE BACKING AT ALL FIXTURE LOCATIONS. SEE FIXTURE PLAN.
 5. NEW FURNITURE/ FIXTURE PIECE PROVIDED BY BRUNELLO CUCINELLI. INSTALLED BY GC.
 6. PROVIDE WATERPROOFING MEMBRANE AT ALL WET AREAS (SUCH AS BATHROOM). MIN. 30 MIL POLYETHYLENE CLEAVAGE MEMBRANE (NOBLE SEAL TS OR EQUIV.) INSTALL PER MANUFACTURER SPECS AND ANSI A108. EXTEND MEMBRANE UP WALL FOR A MIN. OF 4"
 7. EXISTING A/C UNIT TO REMAIN

LEGEND
SCALE = N.T.S.

	EXISTING SHELL WALL		EXISTING DOOR
	EXISTING INTERIOR PARTITION		NEW DOOR
	NEW INTERIOR PARTITION		EXIST. WINDOW
	WALL TYPE TAG SEE WALL DETAIL		NEW WINDOW
			ROOM W/ FINISH TAG. SEE FINISH SCHEDULE

2 GENERAL PLAN NOTES
SCALE = N.T.S.

3 FLOOR PLAN KEY NOTES
SCALE = N.T.S.

4 LEGEND
SCALE = N.T.S.

ZON -24 -049 (ARC-24-053)

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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

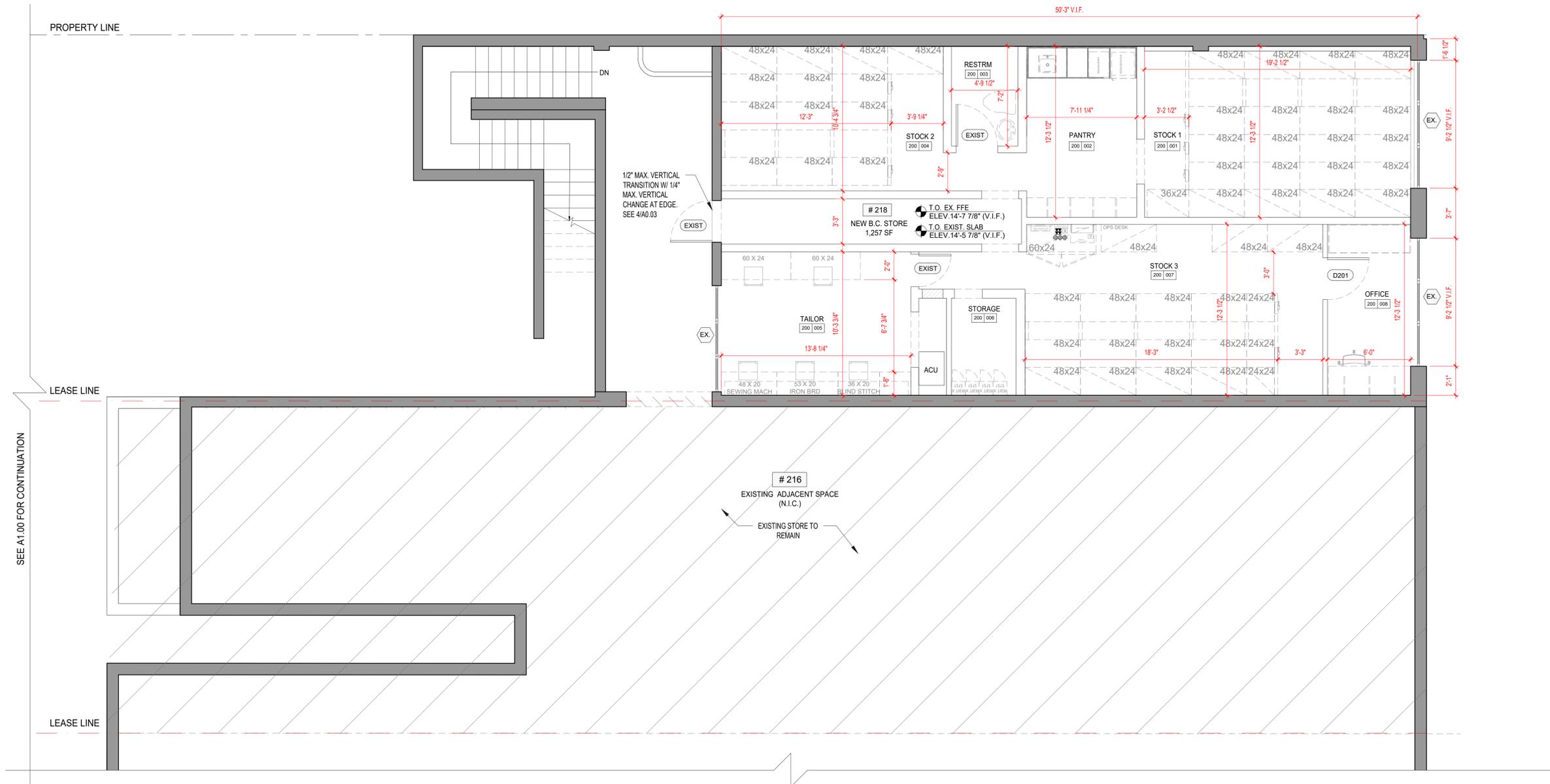
DATE: 02/08/2024 **DRAWN BY:** D.S.H.

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NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
PROPOSED SECOND FLOOR PLAN

SHEET NO.:
A1.12



1 PROPOSED SECOND FLOOR DIMENSION PLAN
SCALE: 1/4" = 1'-0"

NOTE
G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED OR SUPPORTED FIXTURES AND FURNISHINGS SHOWN ON PLANS. ALL BLOCKING SHALL BE MADE OF NON-COMBUSTIBLE MATERIALS OR FIRE RETARDANT TREATED WOOD

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- B) ALL EXPOSED METAL STUD IN TENANT AREA TO BE FINISHED WITH GYPSUM WALL BOARD PER UL STANDARD. USE 5/8" TYPE "X" AT DEMISING PARTITIONS. SEE PARTITION TYPES.
- C) ALL DIMENSIONS ARE TO FINISHED SURFACE UNLESS OTHERWISE NOTED.
- D) PROVIDE WOOD BLOCKING IN WALLS FOR WALL MTD. FIXTURES AND ITEMS AS REQUIRED PER FBC 2517.5.1 & 2318.1.15
- E) ALL WOOD BLOCKING AND FURRING SHALL BE FIRE RETARDANT
- F) SEAL ALL FIRE-RATED WALL PENETRATIONS
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- N) ALL FURNITURES REFER TO MANUF. FOR DETAILS

	EXISTING SHELL WALL		EXISTING DOOR
	EXISTING INTERIOR PARTITION		NEW DOOR
	NEW INTERIOR PARTITION		EXIST. WINDOW
	WALL TYPE TAG SEE WALL DETAIL		NEW WINDOW
			ROOM W/ FINISH TAG. SEE FINISH SCHEDULE

2 NOTES
SCALE = N.T.S.

3 GENERAL NOTES
SCALE = N.T.S.

4 LEGEND
SCALE = N.T.S.

ZON -24 -049 (ARC-24-053)

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2420 SW 27TH AVE., SUITE 3
MIAMI, FL 33145
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FIRM LICENSE #AA26003820

PROJECT LOCATION:
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PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
BRUNELLO CUCINELLI MIAMI DESIGN DISTRICT
C/O MARILU LASAGNA

DESIGNER:
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689 FIFTH AVENUE, 6TH FLOOR
NEW YORK, NY 10022
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ARCHITECT OF RECORD:
DAVID SCHWADE, AIA LICENSE # AR97772
DAKOTA HENDON, AIA LICENSE #AR98269

GENERAL CONTRACTOR:
TBD

MEP ENGINEER:
N/A

STRUCTURAL ENGINEER:
N/A

LAND USE:
SHUTTS & BOWEN LLP
525 OKEECHOBEE BLVD, SUITE 1100
WEST PALM BEACH, FL 33401

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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

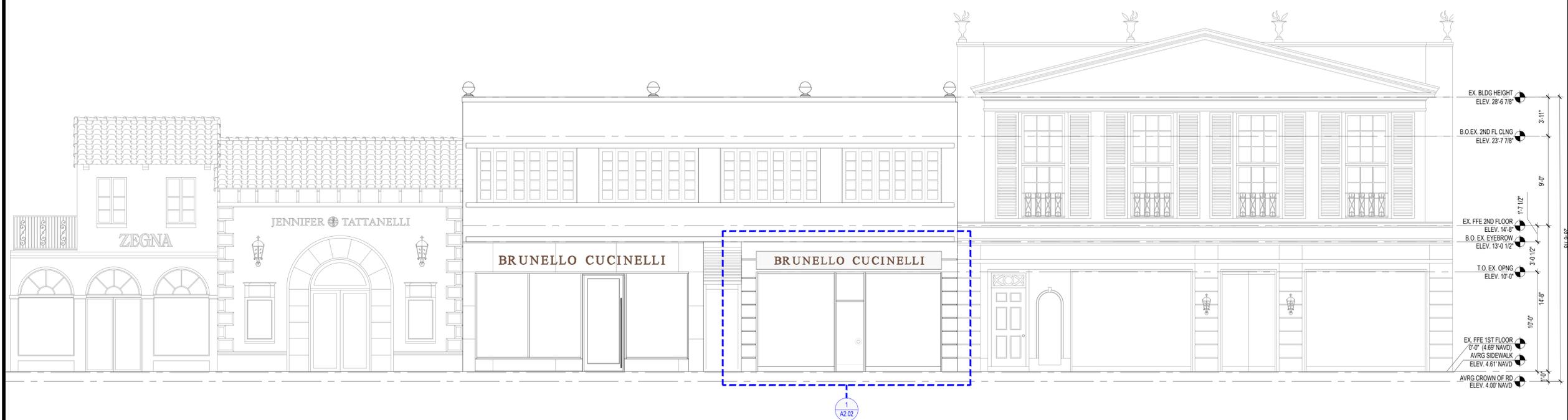
DATE: 02/08/2024 DRAWN BY: D.S.H.

SHEET ISSUE / REVISION LOG		
NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
SECOND FLOOR DIMENSION PLAN

SHEET NO:
A1.12a

NOTE:
 EXTERIOR CHANGES ARE LIMITED TO REPLACEMENT OF
 EXISTING STOREFRONT WITH AN IMPACT RATED
 STOREFRONT WITHIN EXISTING MASONRY OPENING



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 ARCHITECTURE + DESIGN

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 MIAMI, FL 33145
 WWW.ANDSTUDIO.DESIGN
 FIRM LICENSE #AA26003820

PROJECT LOCATION:
 218 WORTH AVE.
 PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
 BRUNELLO CUCINELLI MIAMI DESIGN DISTRICT
 C/O MARILU LASAGNA

DESIGNER:
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 689 FIFTH AVENUE, 6TH FLOOR
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 WWW.BRUNELLOCUCINELLI.COM

ARCHITECT OF RECORD:
 DAVID SCHWADE, AIA LICENSE # AR97772
 DAKOTA HENDON, AIA LICENSE #AR98269

GENERAL CONTRACTOR:
 TBD

MEP ENGINEER:
 N/A

STRUCTURAL ENGINEER:
 N/A

LAND USE:
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 BRUNELLO CUCINELLI PALM BEACH

DATE: 02/08/2024 DRAWN BY: D.S.H.

SHEET ISSUE / REVISION LOG

NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
 OVERALL EXIST BLDG
 EXTERIOR ELEVATION

SHEET NO:
 A2.00

NOTE:
 EXTERIOR CHANGES ARE LIMITED TO REPLACEMENT OF
 EXISTING STOREFRONT WITH AN IMPACT RATED
 STOREFRONT WITHIN EXISTING MASONRY OPENING



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 ARCHITECTURE + DESIGN

2420 SW 27TH AVE., SUITE 3
 MIAMI, FL 33145
 WWW.ANDSTUDIO.DESIGN
 FIRM LICENSE #AA26003820

PROJECT LOCATION:
 218 WORTH AVE.
 PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
 BRUNELLO CUCINELLI MIAMI DESIGN DISTRICT
 C/O MARILU LASAGNA

DESIGNER:
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 689 FIFTH AVENUE, 6TH FLOOR
 NEW YORK, NY 10022
 WWW.BRUNELLOCUCINELLI.COM

ARCHITECT OF RECORD:
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 DAKOTA HENDON, AIA LICENSE #AR98269

GENERAL CONTRACTOR:
 TBD

MEP ENGINEER:
 N/A

STRUCTURAL ENGINEER:
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LAND USE:
 SHUTTS & BOWEN LLP
 525 OKEECHOBEE BLVD, SUITE 1100
 WEST PALM BEACH, FL 33401

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 THE ARCHITECT.

PROJECT NAME:
 BRUNELLO CUCINELLI PALM BEACH

DATE:
 02/08/2024

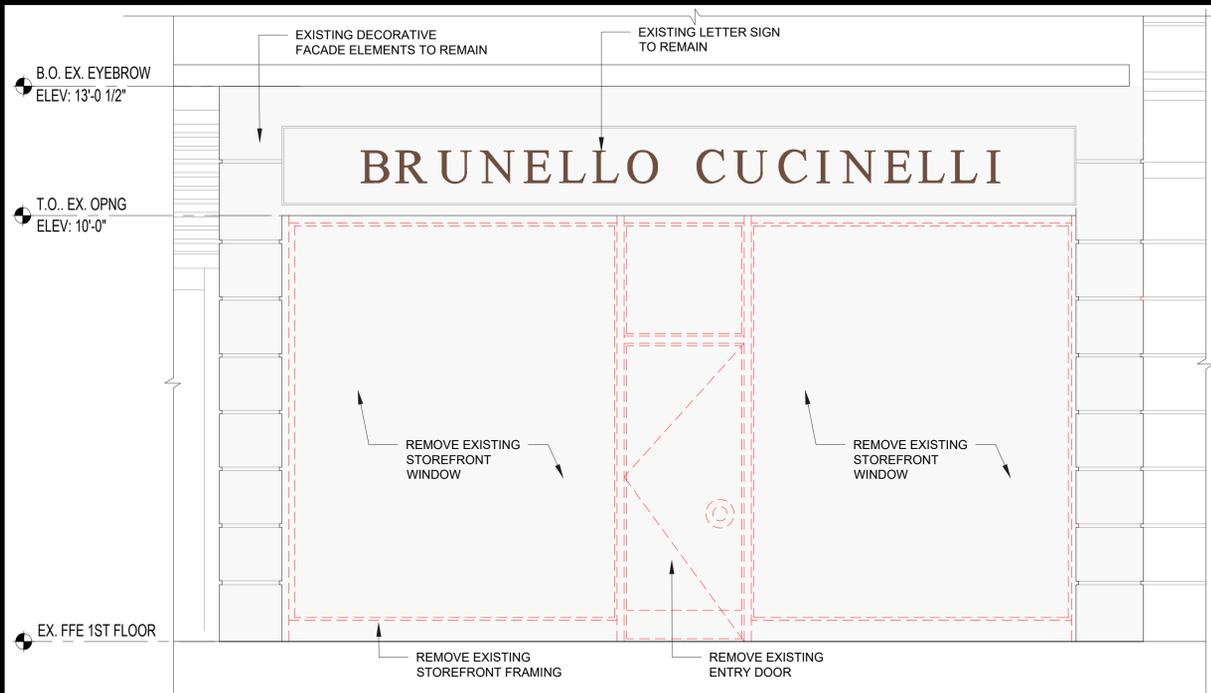
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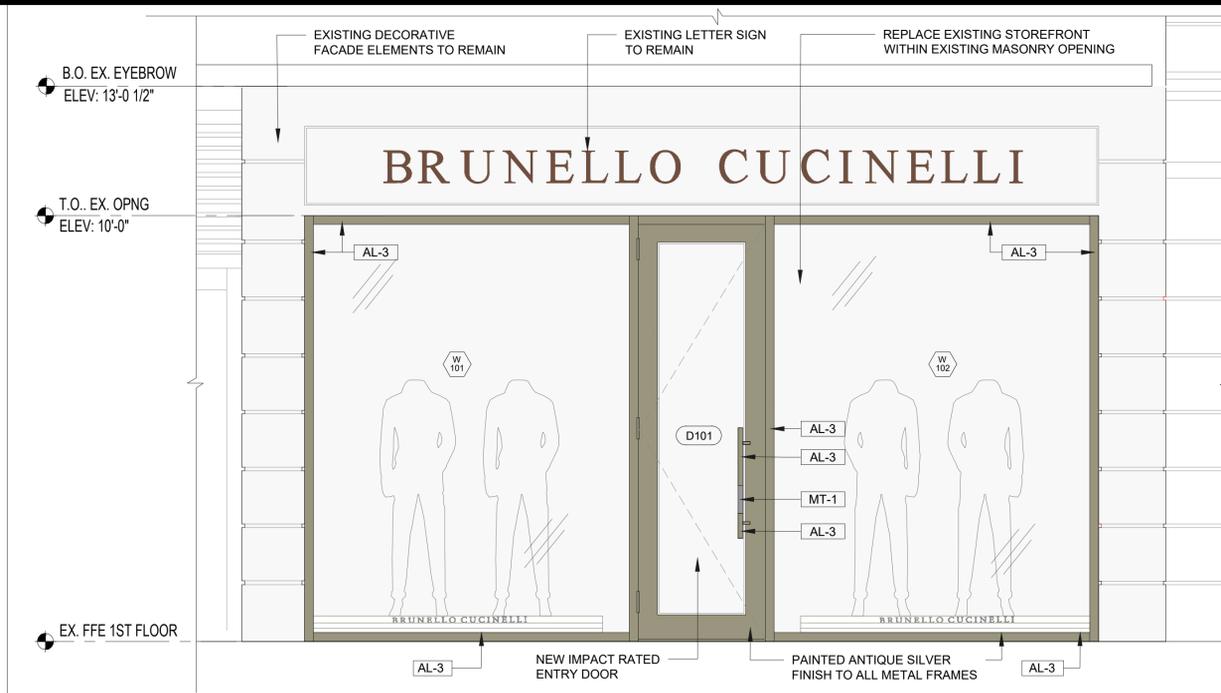
NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
 OVERALL BLDG EXT.ELEV
 W/ NEW STOREFRONT

SHEET NO:
A2.01



1 ENLARGED STOREFRONT ELEVATION DEMOLITION
SCALE: 1/2" = 1'-0"



2 ENLARGED PROPOSED STOREFRONT ELEVATION
SCALE: 1/2" = 1'-0"

EXTERIOR DOOR SCHEDULE																			
DOOR #	LOCATION	QTY	TYPE	W	H	THICK	DOOR FRAME		GLAZING	FIRE RATING	SWING TYPE	STRIKE TYPE	HARDWARE	LOCK TYPE	HINGE		MANUF. / MODEL	NOA#	NOTES
							MATERIAL	FINISH							TYPE	QTY			
D101	ENTRY DOOR	1	A	3'-0"	10'-0"	2"	ALUMINUM	GLASS	LOW IRON CLEAR	N/A	SINGLE OUT-SWING		1	KEYED ENTRY	PER MANUF.	PER MANUF.	ES WINDOWS, LLC / SERIES 9000 OUTSWING FRENCH DOOR L.M.I	23-0724.12	CUSTOM DOOR HANDLE PROVIDED BY CUCINELLI

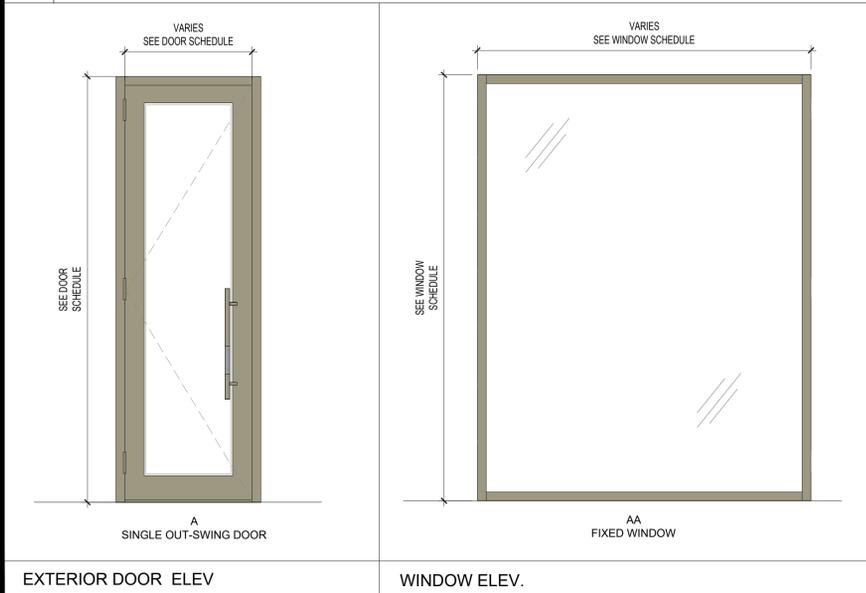
HARDWARE NOTES:

- EXTERIOR DOORS SHALL BE MASTER KEYED
- UPON COMPLETION OF CONSTRUCTION, ALL LOCKSETS SHALL BE RE-KEYED AND NEW KEYS GIVEN TO OWNER.
- CONTRACTOR TO FURNISH AND INSTALL SILENCERS /MUTES FOR A COMPLETE JOB
- HARDWARE SCHEDULE IS TO BE USED FOR QUANTITIES AND GENERAL REQUIREMENTS, SUBMIT SHOP DRAWINGS FOR OWNERS FINAL APPROVAL
- ALL DOORS ON ACCESSIBLE ROUTES SHALL BE APPROVED TO MEET THE MINIMUM A.D.A.A.G. REQUIREMENTS FOR THRESHOLDS, DOOR HARDWARE, DOOR CLOSERS, AND DOOR OPENING FORCE
- ALL DOORS ON ACCESSIBLE ROUTES SHALL BE PROVIDED WITH AN OPERATING FORCE OF 5 LBS. MAX.
- ALL DOORS PROVIDED WITH DOOR CLOSERS SHALL BE ADJUSTED TO COMPLY WITH A.D.A.A.G. FOR DOOR CLOSERS
- ALL NEW AND EXISTING DOOR HARDWARE TO BE ALWAYS OPENABLE FROM THE INTERIOR SIDE AND HANDICAPPED ACCESSIBLE
- DOOR HARDWARE SHALL BE READILY OPENABLE FROM EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT
- DOOR HANDLES, PULLS, LATCHES, LOCKS, AND OTHER DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.

3 EXTERIOR DOOR SCHEDULE
SCALE: N.T.S.

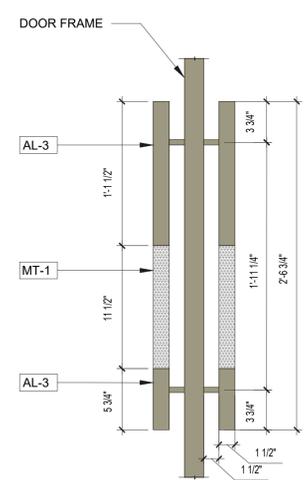
WINDOW SCHEDULE										
NO.	LOCATION	SIZE	MAT'L		SYMBOL	TYPE	GLAZING TYPE / COLOR	MANUF. / MODEL	NOA#	REMARK
			FRAME	GLAZING						
W101	STORE FRONT FACADE	7'- 9" X 10'-0" V.I.F.	ALUM.	LAMIN.	AA	FIXED	LOW IRON / CLEAR	SLIMPACT XL	FL25673_R7_IL_SS	LARGE MISSILE IMPACT RATED
W102	STORE FRONT FACADE	7'- 9" X 10'-0" V.I.F.	ALUM.	LAMIN.	AA	FIXED	LOW IRON / CLEAR	SLIMPACT XL	FL25673_R7_IL_SS	LARGE MISSILE IMPACT RATED
W103	STORE FRONT FACADE	4'- 8" X 10'-0" V.I.F.	ALUM.	LAMIN.	AA	FIXED	LOW IRON / CLEAR	SLIMPACT XL	FL25673_R7_IL_SS	LARGE MISSILE IMPACT RATED

4 WINDOW TYPES & ELEVATIONS
SCALE: N.T.S.

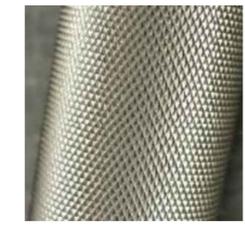


EXTERIOR DOOR ELEV

WINDOW ELEV.



6 EXTERIOR DOOR HANDEL DETAIL
SCALE: 1 1/2" = 1'-0"



MT-1 BURNISHED KNURLED



AL-3 PAINTED ALUMINUM ANTIQUE SILVER FINISH

7 MATERIAL SAMPLES
SCALE: N.T.S.

ZON -24 -049 (ARC-24-053)

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BRUNELLO CUCINELLI PALM BEACH

DATE: 02/08/2024 **DRAWN BY:** D.S.H.

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NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE:
ENLARGED STOREFRONT ELEV., DR & WNDW SCHED.

SHEET NO:
A2.02



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ARCHITECTURE + DESIGN
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WEST PALM BEACH, FL 33401

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PROJECT NAME:
BRUNELLO CUCINELLI PALM BEACH

DATE: 02/08/2024 **DRAWN BY:** D.S.H.

SHEET ISSUE / REVISION LOG		
NO	DATE	DESCRIPTION
1	02/08/2024	FIRST SUBMITTAL
2	02/22/2024	SECOND SUBMITTAL

SHEET TITLE: PROPOSED MATERIAL SELECTIONS & RENDERINGS

SHEET NO.:

1 PROPOSED INTERIOR RENDERINGS
SCALE = N.T.S.

Pavimento



Parquet
Finitura E, posa a correre
lista grande 35x260 circa
FL-1

Pareti



Paint BC01A
Soffitto/pareti
PT-1
BM ALASKAN SKIES IN MATTE FINISH
COLOR MATCH FOR PAINT

Finiture



Clay 172.LON
- Ante librerie
- Carter cashdesk
PL-C



Clay BC01C
- Fondali librerie
- Mensole
PL-L



Bamboo
- Pannelli boiserie
- Frontale cashdesk
- Base tavolo
PL-BA

Tessuti/pelli



Pelle Nocciola
- Sgabelli
- Poltrone
FB-6



Alcantara
- Basi pedane
- Mensole inclinate
FB-2



Linara C208 Chamois
- Pouf camerino
FB-1

Dettagli



Argento Antico
- Strutture librerie
- Barre appeso
- Dettagli
AL-3



Vetro bronzo
- Piano cashdesk
- Piano coffe table
GL-4

Bagno



Marmo Botticino
- Rivestimento
- Lavello
MB-1

2 PROPOSED MATERIALS & FINISHES
SCALE = N.T.S.

ZON -24 -049 (ARC-24-053)

HEP-01



A



C



E



B



D



ANDSTUDIO
ARCHITECTURE + DESIGN

2420 SW 27TH AVE., SUITE 3
MIAMI, FL 33145
WWW.ANDSTUDIO.DESIGN
FIRM LICENSE #AA26003820

PROJECT LOCATION:
218 WORTH AVE.,
PALM BEACH, FL 33480

PROJECT CLIENT / OWNER:
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C/O MARILU LASAGNA

DESIGNER:
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ARCHITECT OF RECORD:
DAVID SCHWADE, AIA LICENSE # AR97772
DAKOTA HENDON, AIA LICENSE #AR98269

GENERAL CONTRACTOR:
TBD

MEP ENGINEER:
N/A

STRUCTURAL ENGINEER:
N/A

LAND USE:
SHUTTS & BOWEN LLP
525 OKEECHOBEE BLVD, SUITE 1100
WEST PALM BEACH, FL 33401

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SHEET TITLE:

SITE PHOTOS

SHEET NO.:

PHO-01



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SHEET TITLE:

SITE PHOTOS

SHEET NO.:

PHO-02