

COA-24-003 (ZON-24-021) DROP OFF

HARDSCAPE AND EXTERIOR DOOR ALTERATIONS AND BRIDGE ADDITION FOR:

ANN DESRUISSEAUX

RECEIVED

By yfigueroa at 11:56 am, Dec 07, 2023



BRASSEUR

&
DROBOT

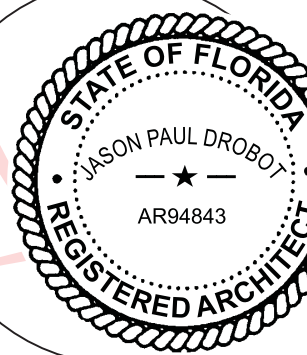
ARCHITECTS, P.A.

224 DUTURN STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 6763
BB 26001461

COA-24-003 (ZON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUISSEAUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

© COPYRIGHT 2023 BY BRASSEUR & DROBOT ARCHITECTS, P.A.

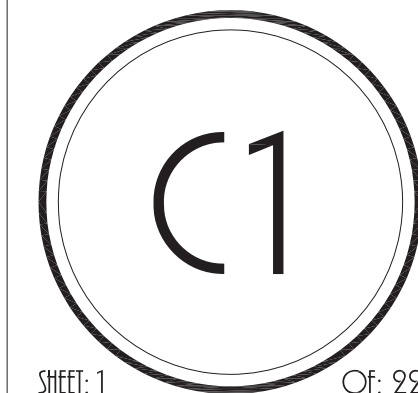
SEALED BY:
☐ JEFFREY D. BRASSEUR - BR 0017698
☒ JASON P. DROBOT - BR 94843



Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=you,
email=jason@brasse
uranddrobot.com, c=US
Date: 2023.12.01
13:09:09 -05'00

JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:

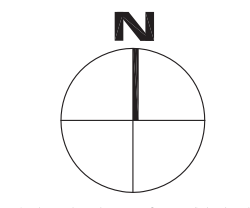
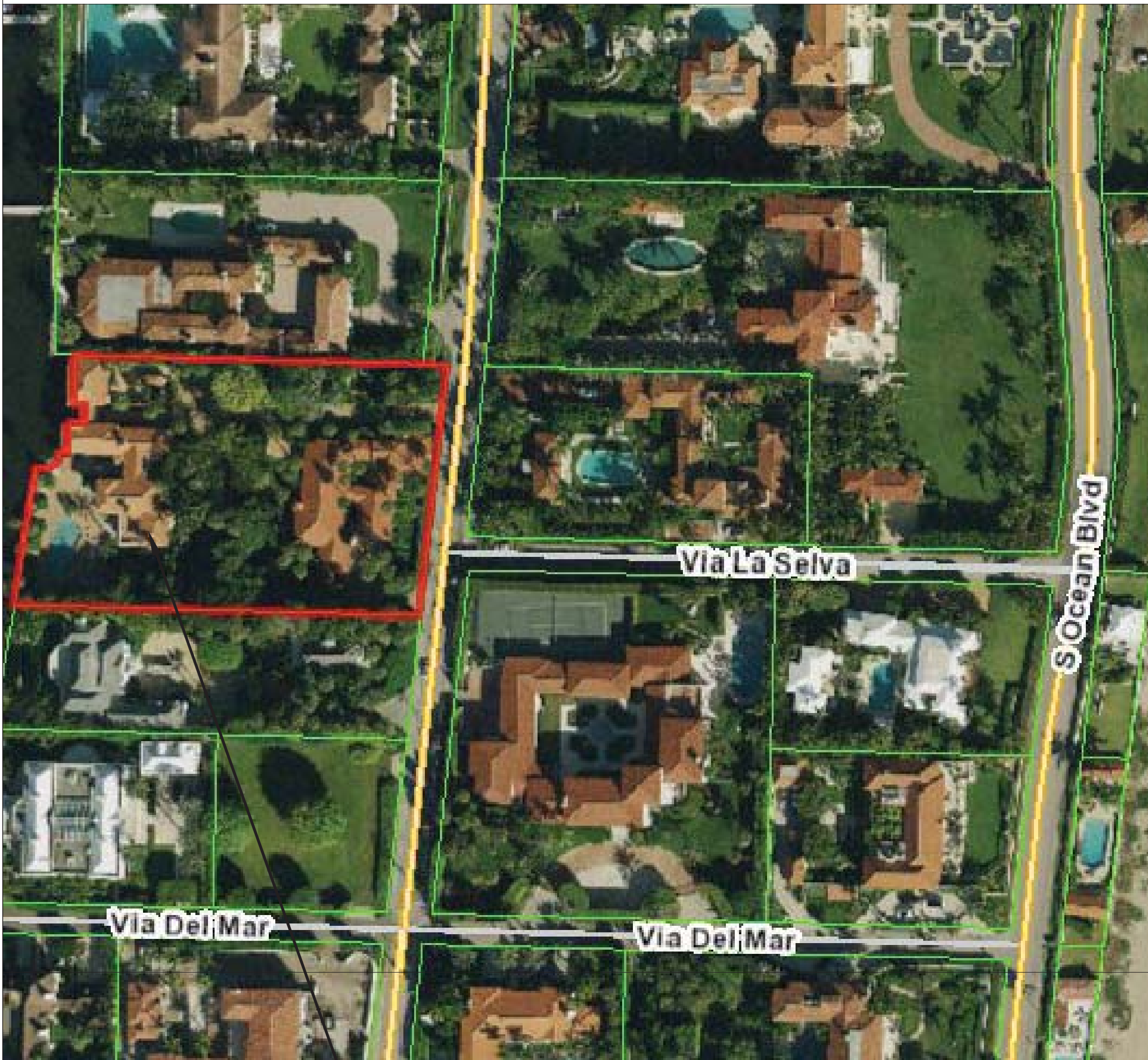
REVISIONS:



SHEET: 1

Of: 22

SITE LOCATION MAP



DESIGN TEAM

ARCHITECT OF RECORD

Brasseur & Drobot Architects
Attn: Jason Drobot
224 Datura Street Suite 311
West Palm Beach, FL 33401
(561) 820-8088

DESIGN ARCHITECT

SKA Architect + Planner
Attn: Jacqueline Albarran
324 Royal Palm Way Suite 227
Palm Beach, FL 33480
(561) 655-7676

DESIGN ARCHITECT

Portuondo-Perotti Architects
Attn: Rafael Portuondo
5717 SW 8th Street Suite 200
Miami, FL 33144
(305) 260-9331

CONSULTING SURVEYORS

Wallace Surveying
5553 Village Blvd.
West Palm Beach, FL 33401
(561) 640-4551

LANDSCAPE ARCHITECT:

Fernando Wong Outdoor Living Design
Attn: Tim Johnson
320 Pine Street
West Palm Beach, FL 33401
(561) 515-0213

STRUCTURAL ENGINEER

Botkin Paresi & Associates Inc.
Attn: Fatih Acikgoz
2749 Exchange Court
West Palm Beach, FL 33409
(561) 965-4308

CIVIL ENGINEER:

Gruber Consulting Engineers, Inc.
Attn: Chad Gruber
2465 Mercer Ave. Ste 206
West Palm Beach, FL 33401
(561) 312-2041

MEP ENGINEER

FAE Consulting
Attn: Ben Jados
300 Lock Rd, Suite 302
Deerfield Beach, FL 33442
(561) 391-9292

AREA CALCULATIONS

AREA CALCULATIONS

MAIN HOUSE FIRST FLOOR:

FIRST FLOOR A/C: 7842.30 S.F.
4 CAR GARAGE: 1134.05 S.F.
STAIR TOWER: 130.16 S.F.
COVERED LOGGIA AT FAMILY ROOM: 872.72 S.F.
BALCONY AT FAMILY ROOM: 10.33 S.F.

TOTAL FIRST FLOOR: 9,989.56 S.F.

MAIN HOUSE SECOND FLOOR:

SECOND FLOOR A/C: 8,439.33 S.F.
MASTER BALCONY SOUTH: 26.51 S.F.
MASTER BALCONY SPA: 84.22 S.F.
MASTER BALCONY WEST: 10.33 S.F.
UPSTAIRS FAMILY RM. BALC. WEST: 445.72 S.F.
UPSTAIRS FAMILY RM. COV. BLAC. EAST: 390.83 S.F.
UPSTAIRS FAMILY RM. BALC. EAST: 644.80 S.F.
BED 2 BALCONY WEST: 36.23 S.F.
BED 2 BALCONY SOUTH: 13.17 S.F.
BED 2 BALCONY NORTH: 12.07 S.F.
BED 3 BALCONY: 15 S.F.
BED 4 BALCONY: 15 S.F.
BED 5 BALCONY NORTH: 15 S.F.
BED 5 BALCONY WEST: 15 S.F.
BED 4 AND 5 BALCONY NORTH: 67.71 S.F.

TOTAL SECOND FLOOR: 10,230.92 S.F.

MAIN RESIDENCE TOTAL AREA: 20,220.8 S.F.

GUEST HOUSE FIRST FLOOR:

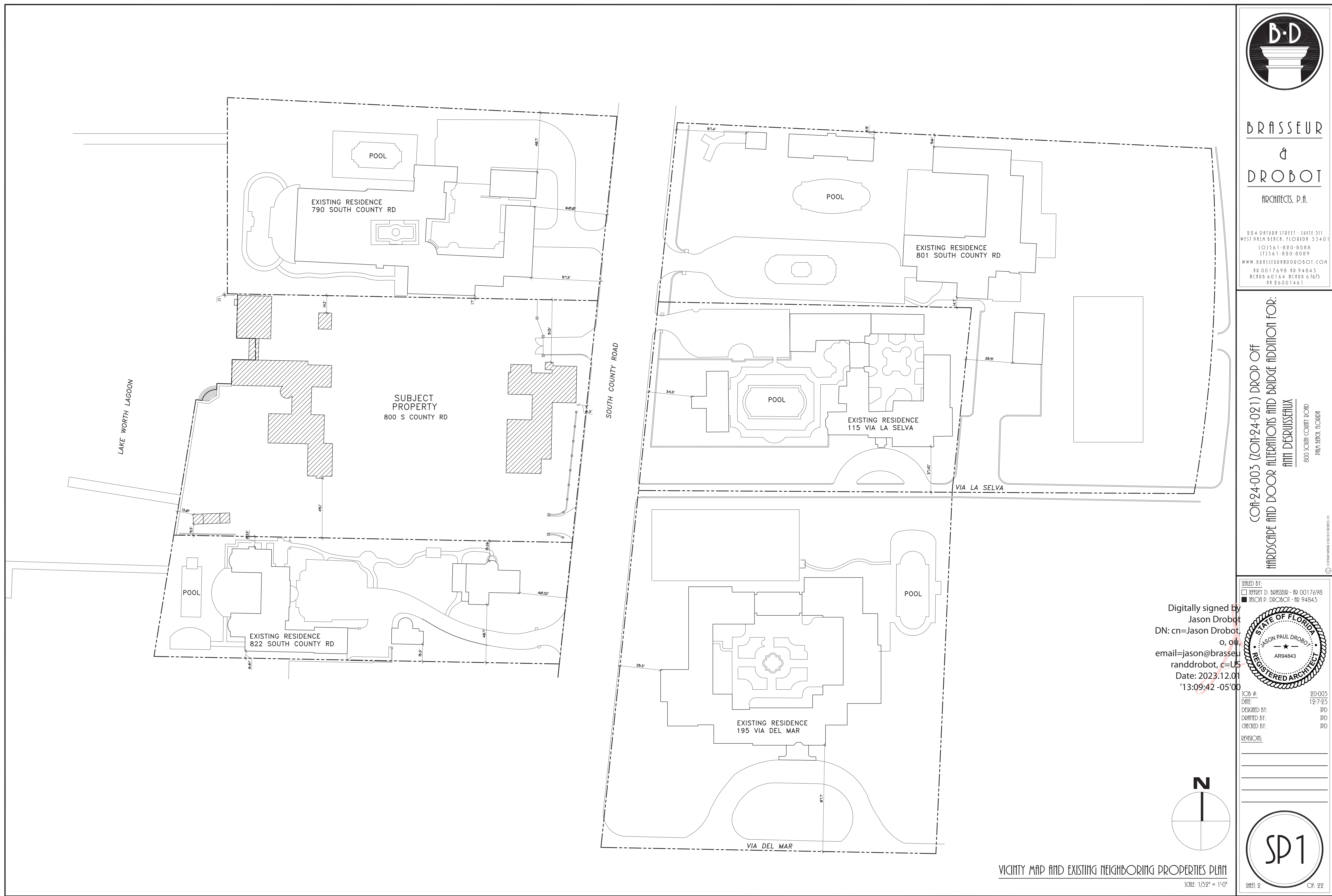
FIRST FLOOR A/C: 1,789.72 S.F.

GUEST HOUSE SECOND FLOOR:

SECOND FLOOR A/C: 1,020.91 S.F.
PROPOSED UNCOVERED BRIDGE: 40.94 S.F.

GUEST HOUSE TOTAL AREA: 2,851.57 S.F.

EXIST. GENERATOR TOWER: 143.54 S.F.
EXIST. CABANA: 226.63 S.F.
PROPOSED GENERATOR BUILDING: 227 S.F.

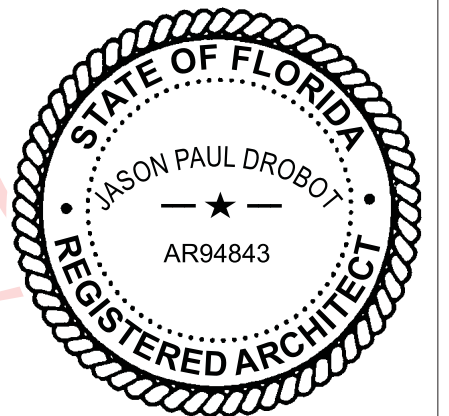


BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATURA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 BR 94843
NCARB 60164 NCARB 67673
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUSSERUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - BR 94843



Digitally signed by
Jason Drobot
DN: cn=Jason Drobot,
o, ou,
email=jason@brasseu
randdrobot, c=US
Date: 2023.12.01
'13:09:42 -05'00

JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:

REVISIONS:



SHEET: 2 Of: 22

VICINITY MAP AND EXISTING NEIGHBORING PROPERTIES PLAN
SCALE: 1/32" = 1'-0"



BRASSEUR

&

DROBOT

ARCHITECTS, P.A.

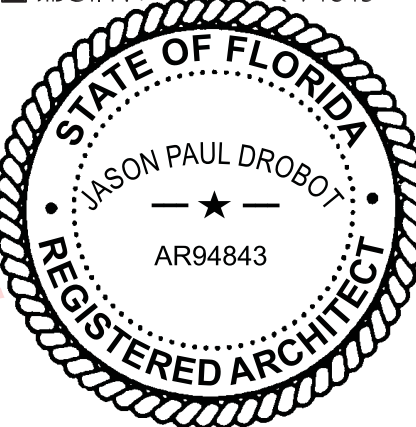
224 DATUM STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCRB 60164 NCRB 6763
BR 26001461

CON-24-003 (CON-24-021) DROP OFF
HANDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:

ANITA DESJARDIS

800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843



Digitally signed by Jason Drobot
DN: cn=Jason Drobot, o=Jason Drobot, email=jason@brasseuranddrobot.com, c=US
Date: 2023.12.01 13:09:55 -05'00'

JOB #: 20-005
DATE: 12-7-23
DESIGNED BY: JPD
DRAWN BY: JPD
CHECKED BY: JPD

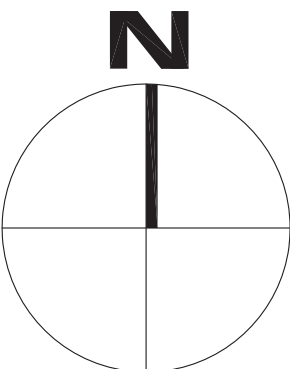
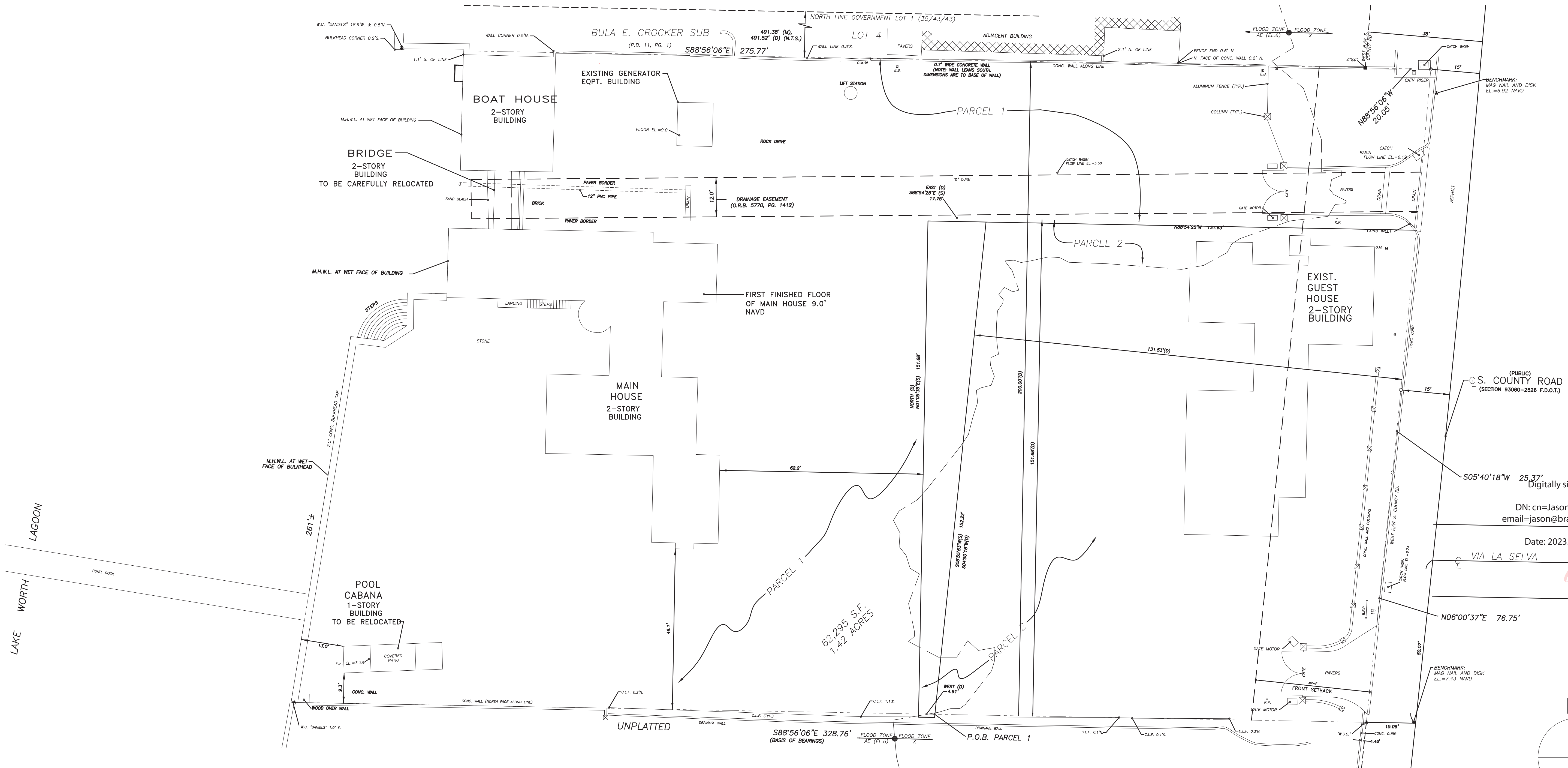
REVISIONS:



SHEET: 3 Of: 22

GENERAL NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020



EXISTING SITE PLAN

SCALE: 1/16" = 1'-0"



BRASSEUR

&
DROBOT

ARCHITECTS, P.A.

224 DATTAH STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCRB 60164 NCRB 67673
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANITA DESJARDIS

800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=pu
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
13:10:07 -0500

JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:

REVISIONS:

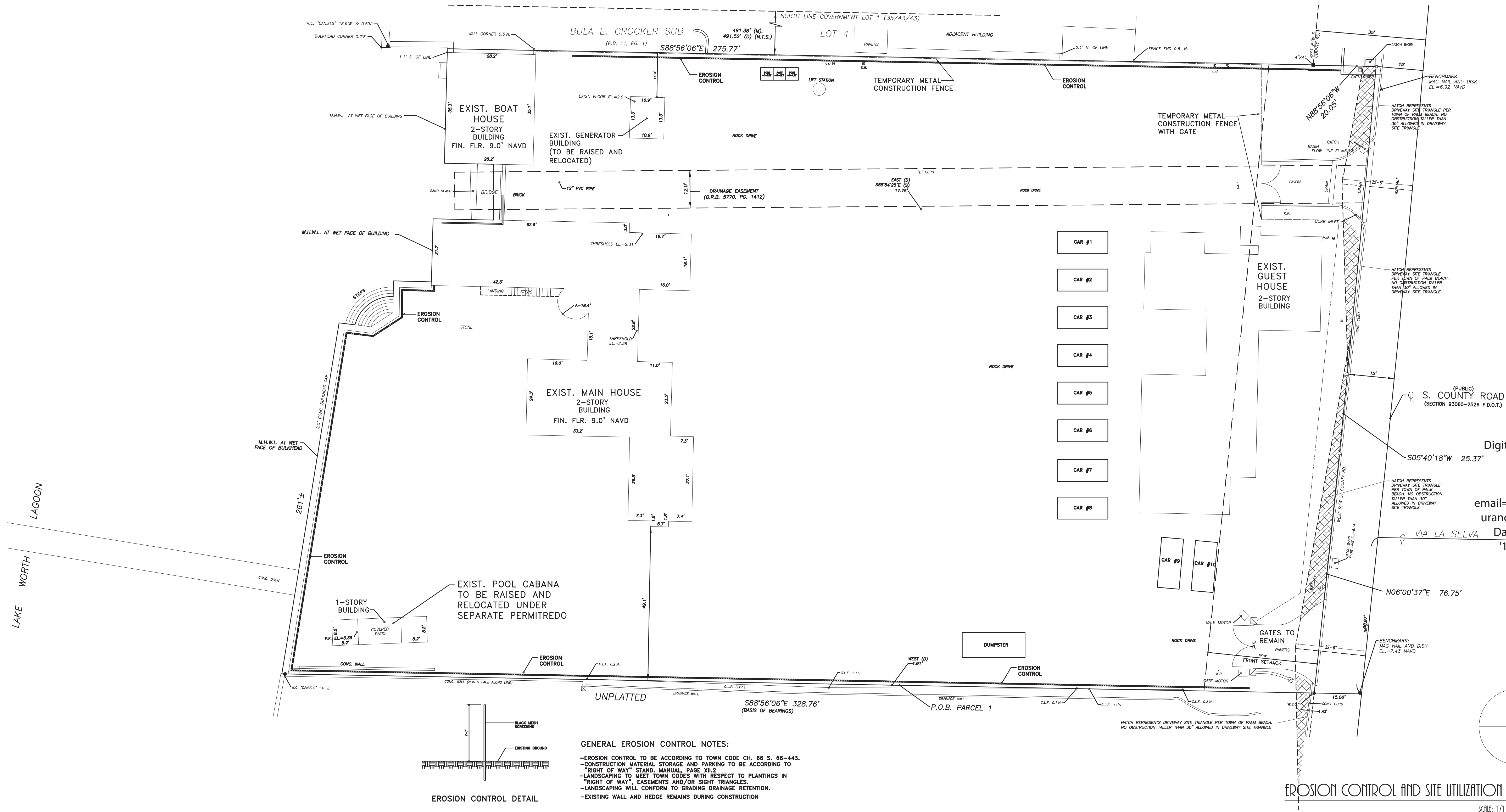
REVISIONS:

SP3

SHEET: 4 Of: 22

LEGEND:
EXISTING TO REMAIN
EXISTING TO BE REMOVED
DRAINAGE EASEMENT

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2017



GENERAL EROSION CONTROL NOTES:

- EROSION CONTROL TO BE ACCORDING TO TOWN CODE CH. 66 S. 66-443.
- CONSTRUCTION MATERIAL STORAGE AND PARKING TO BE ACCORDING TO "RIGHT OF WAY" STAND. MANUAL, PAGE XII.2
- LANDSCAPING TO MEET TOWN CODES WITH RESPECT TO PLANTINGS IN "RIGHT OF WAY", EASEMENTS AND/OR SIGHT TRIANGLES.
- LANDSCAPING WILL CONFORM TO GRADING DRAINAGE RETENTION.
- EXISTING WALL AND HEDGE REMAINS DURING CONSTRUCTION

EROSION CONTROL DETAIL



BRASSEUR

&
DROBOT
ARCHITECTS, P.A.

824 DUTTON STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(561) 820-8088
(561) 820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCRB 60164 NCRB 67673
BB 2601461

CONF-24-003 (ZON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANIM DESIGNS/FLUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEAL BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot.com, c=US
Date: 2023.12.01
E-13:05:55-05'00

Job #:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
REVISIONS:

SP5
SHEET: 6
Of: 22

ZONING DISTRICT RA	REQUIRED		EXISTING		PREVIOUSLY APPROVED		PROPOSED	
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE
LOT COVERAGE	15,573.75 MAX.	25.00% MAX.	11,016.25	17.68%	15,798.98	25.36%	15,839.92	25.43%
HARDSCAPE			6,699.93	10.76%	19,638.37	31.52%	19,370.43	31.09%
LANDSCAPE	31,147.5 MIN.	50.00% MIN.	44,578.92	71.56%	27,084.65	43.48%	27,084.65	43.48%
TOTAL LOT	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %

LANDSCAPE R-A SITE CALCULATION

SITE AREA - 62,295 SQ. FT.
OVERALL MINIMUM LANDSCAPE:
REQUIRED: 31,147.50 SQ. FT. 50%
PROVIDED: 27,084.65 SQ. FT. 43.48%
35' FRONT SETBACK MINIMUM LANDSCAPE AREA:
AREA: 6,894 SQ. FT.
REQUIRED: 3,103.39 SQ. FT. 45%
PROVIDED: 3,637.39 SQ. FT. 52.76%
OVERALL NATIVE LANDSCAPE COVERAGE:
REQUIRED: 15,573.75 SQ. FT. 25%
PROVIDED: 22,149.42 SQ. FT. 35.55%

LEGEND:

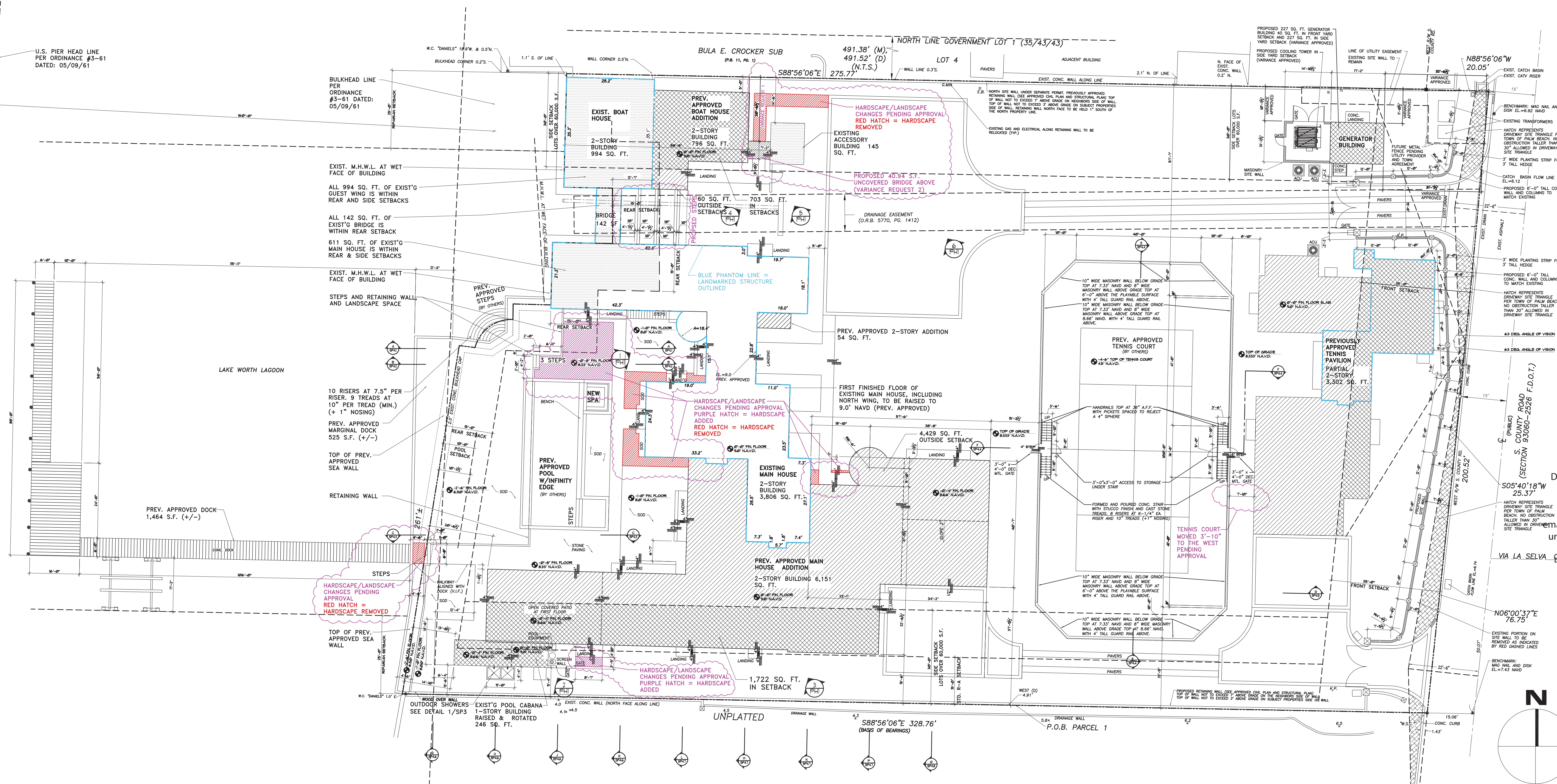
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW CONSTRUCTION OR
RELOCATED EXIST. STRUCTURE
REQUIRING A VARIANCE
- EXISTING CONSTRUCTION
TO BE RAISED,
REQUIRING A VARIANCE
- DRAINAGE EASEMENT

GENERAL NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020

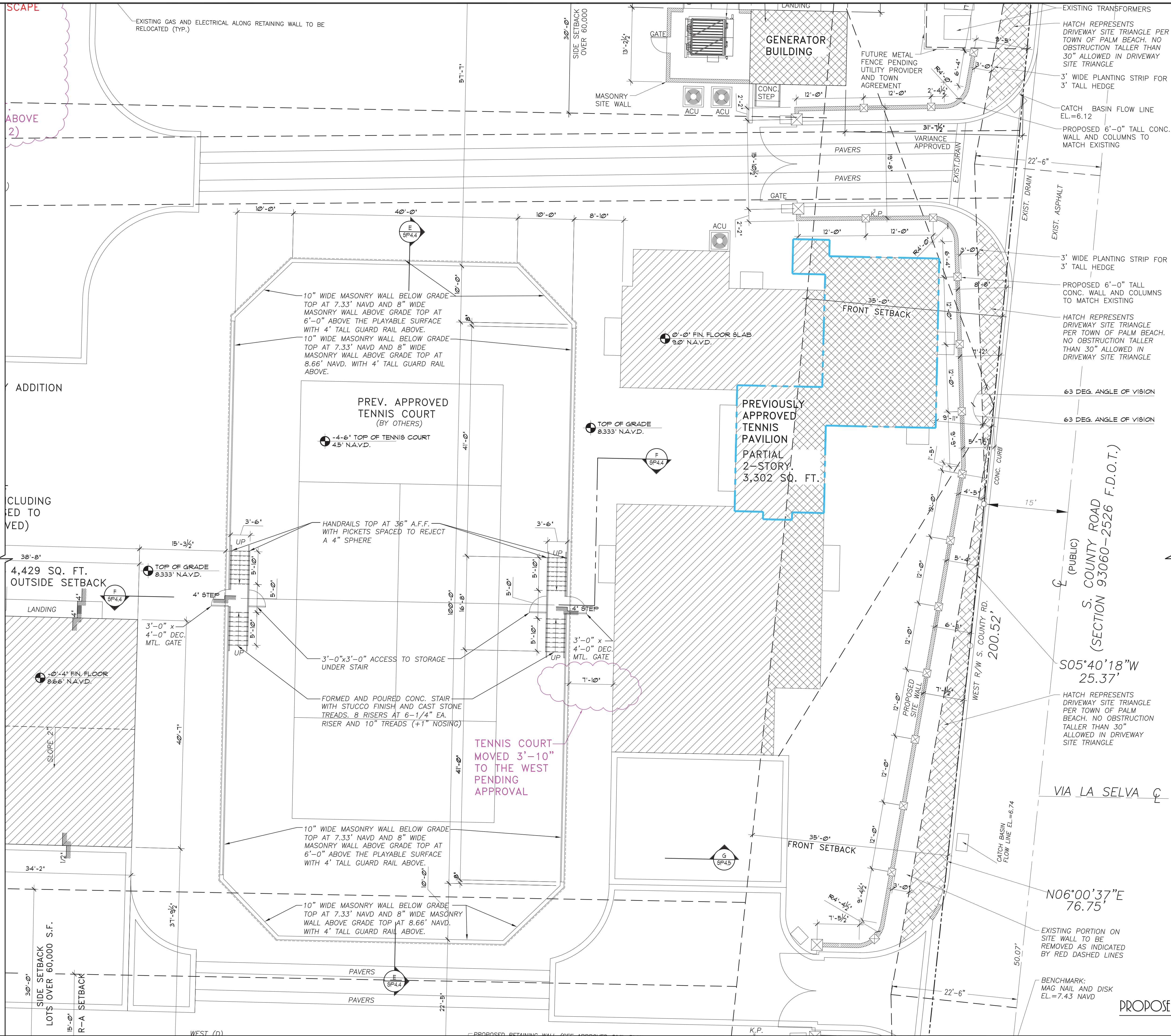
VARIANCES REQUESTED:

- SIDE YARD SETBACK OF 20'-6 1/2" (30'-0" REQUIRED)
- LOT COVERAGE FROM PREV. APPROVED 25.36% TO 25.43% (25% MAX. REQUIRED)



PROPOSED OVERALL SITE PLAN

SCALE: 1/16" = 1'-0"



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DUTURN STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67675
BB 26001461

COM-24-003 (201-24-021) DROP OFF
HANDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANNA DESJARDIS
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843
Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=Jason
Drobot, ou=Jason
Drobot, email=jason@brasseur
anddrobot.com, c=US
Date: 2023.12.01
13:11:30 -05'00

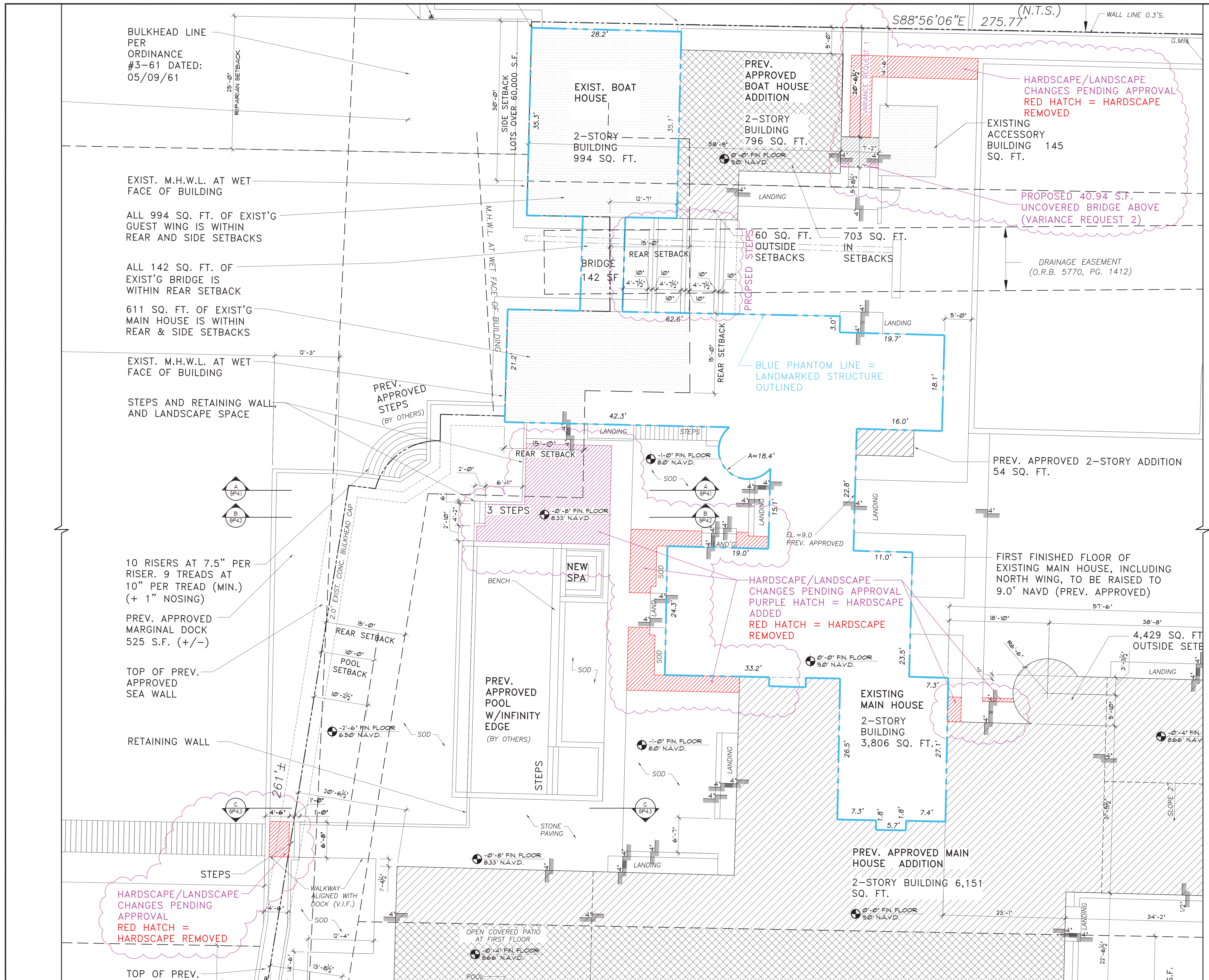
JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:

REVISIONS:



SP6

SHEET: 7 OF 22



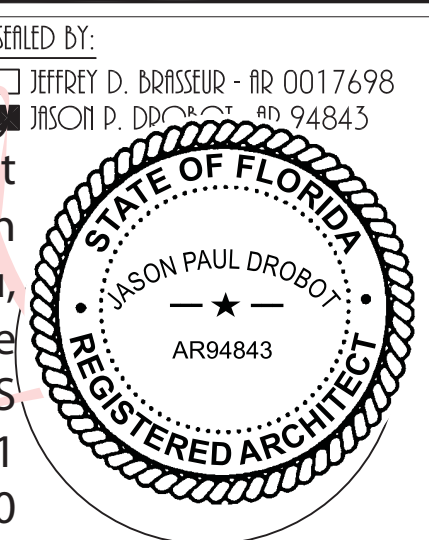
BRASSEUR

&
DROBOT

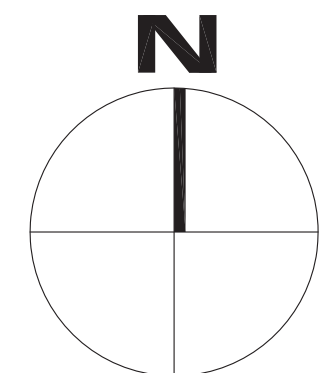
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 BR 94843
RCRB 60164 RCRB 6763
BB 26001461

CONF-24-003 (201-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJARDIS
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA



Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
'13:11:48 -0500



PROPOSED ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"

SP6.1
SHEET: 8 OF: 22



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	800 S COUNTY RD		
2	Zoning District:	RA		
3	Lot Area (sq. ft.):	62,295 SQ.FT.		
4	Lot Width (W) & Depth (D) (ft.):	200.52 FT. x 328.75 FT.		
5	Structure Type: <small>(Single-Family, Multi-Family, Commo, Other)</small>	SINGLE FAMILY		
6	FEMA Flood Zone Designation:	AE		
7	Zero Datum for point of meas. (NAVD)	7.44' NAVD		
8	Crown of Road (COR) (NAVD)	7.44' NAVD		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	15,573.75 S.F. (25%)	15798.98 S.F. (25.36%)	15839.92 S.F. (25.43%)
11	Enclosed Square Footage <small>(1st & 2nd Fl., Basement, Atrium, Structure, etc.)</small>		22,227.19 S.F.	22,268.13 S.F.
12	*Front Yard Setback (Ft.)	35 FT.	N/A	N/A
13	*Side Yard Setback (1st Story) (Ft.)	30 FT.	30 FT.	20.5
14	*Side Yard Setback (2nd Story) (Ft.)	30 FT.	30 FT.	20.5
15	*Rear Yard Setback (Ft.)	15 FT.	N/A	N/A
16	Angle of Vision (Deg.)	100 DEG.	N/A	N/A
17	Building Height (Ft.)	25 FT.	N/A	N/A
18	Overall Building Height (Ft.)	35 FT.	N/A	N/A
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	N/A	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	9.0 FT. NAVD	9.0 FT. NAVD	N/A
22	Base Flood Elevation (BFE)(NAVD)	6.0 FT. NAVD	6.0 FT. NAVD	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	31,147.5 S.F. (50%)	27,084.65 S.F. (43.48)	N/A
24	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction
(N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and
highest Crown of Rd (COR) divided by two. (FFE -
COR) / 2 = Max. Fill (Sec. 134-1600)

*** Provide Native plant species info per
category as required by Ord. 003-2023 on
separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626

LOT CALCULATIONS								
ZONING DISTRICT RA	REQUIRED		EXISTING		PREVIOUSLY APPROVED		PROPOSED	
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE
LOT COVERAGE	15,573.75 MAX.	25.00% MAX.	11,016.25	17.68%	15,798.98	25.36%	15,839.92	25.43%
HARDSCAPE	-----	-----	6,699.83	10.76%	19,658.37	31.52%	19,370.43	31.09%
LANDSCAPE	31,147.5 MIN.	50.00% MIN.	44,578.92	71.56%	27,084.65	43.48%	27,084.65	43.48%
TOTAL LOT	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %

LANDSCAPE R-A SITE CALCULATION

SITE AREA - 62,295 SQ.FT.

OVERALL MINIMUM LANDSCAPE:
REQUIRED: 31,147.50 SQ.FT. 50%
PROVIDED: 27,084.65 SQ.FT. 43.48%

35' FRONT SETBACK MINIMUM LANDSCAPE AREA:
AREA: 6,894 SQ.FT.
REQUIRED: 3,103 SQ.FT. 45%
PROVIDED: 3,637.39 SQ.FT. 52.76%

OVERALL NATIVE LANDSCAPE COVERAGE:
REQUIRED: 15,573.75 SQ.FT. 25%
PROVIDED: 22,149.42 SQ.FT. 35.55%

LEGEND:

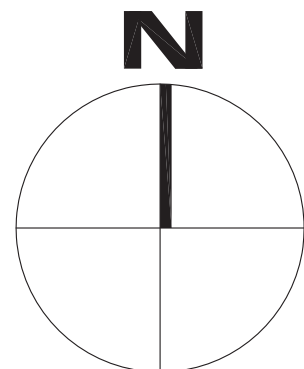
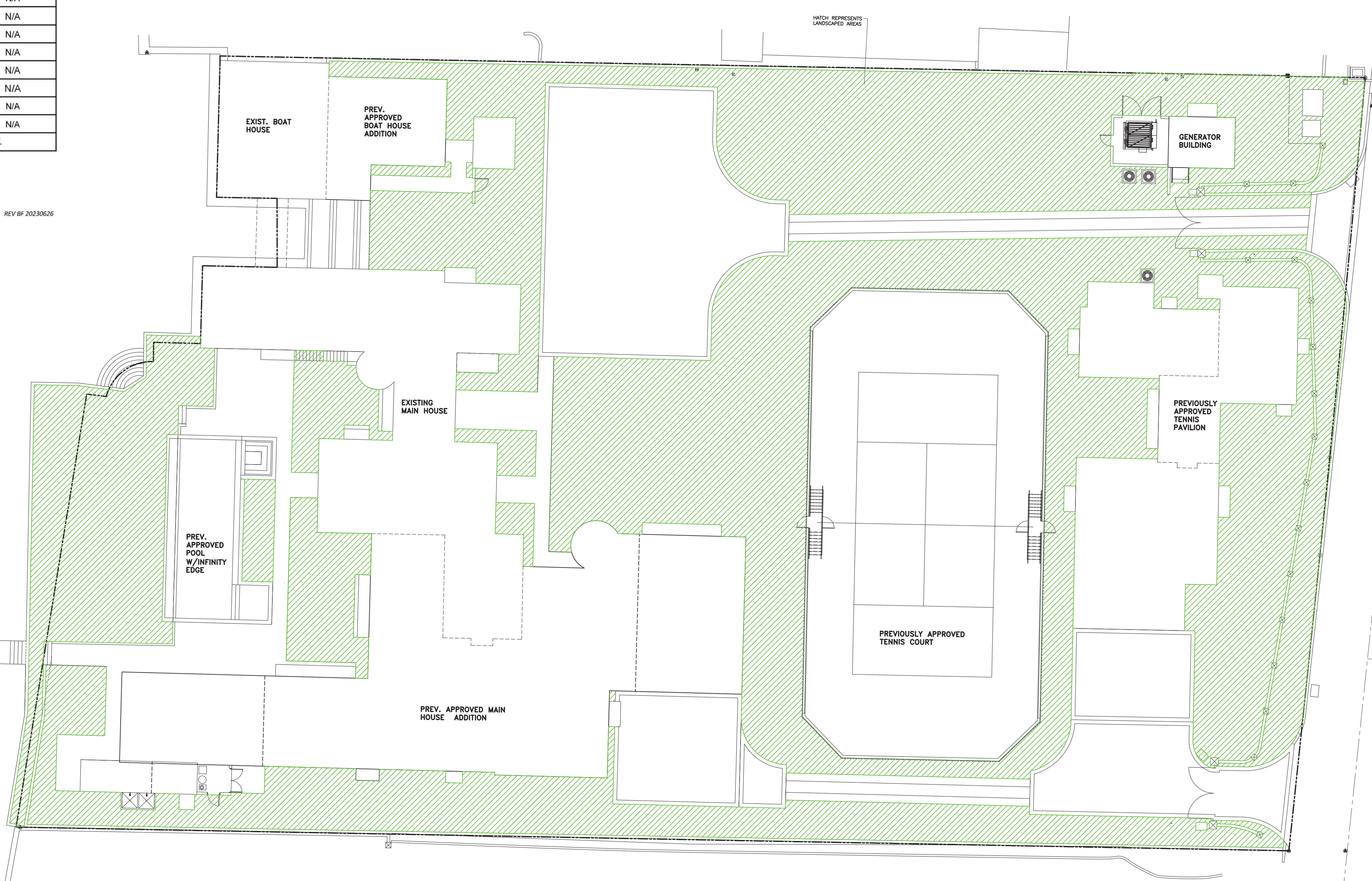
- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW CONSTRUCTION OR
RELOCATED EXIST. STRUCTURE
REQUIRING A VARIANCE
- EXISTING CONSTRUCTION TO
BE RAISED,
REQUIRING A VARIANCE
- DRAINAGE EASEMENT

GENERAL NOTE:

THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020

VARIANCES REQUESTED:

- SIDE YARD SETBACK OF 20'-6 1/2" (30'-0" REQUIRED)
- LOT COVERAGE FROM PREV. APPROVED 25.36% TO 25.43% (25% MAX. REQUIRED)



LANDSCAPE OPEN SPACE PLAN

SCALE: 1/16" = 1'-0"



BRASSEUR

&
DROBOT

ARCHITECTS, P.A.

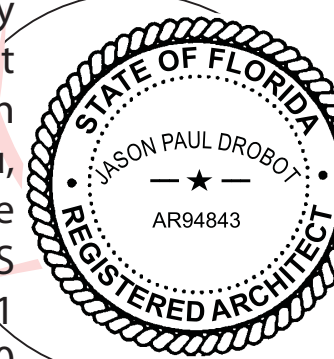
224 DUTURN STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCRB 60164 NCRB 67673
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJARDIS/ELUX

800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
☐ JEFFREY D. BRASSEUR - BR 0017698
☒ JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
'13:12:16 -05'00



JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:

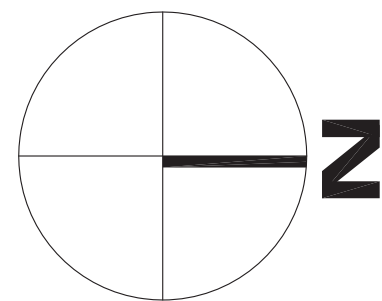
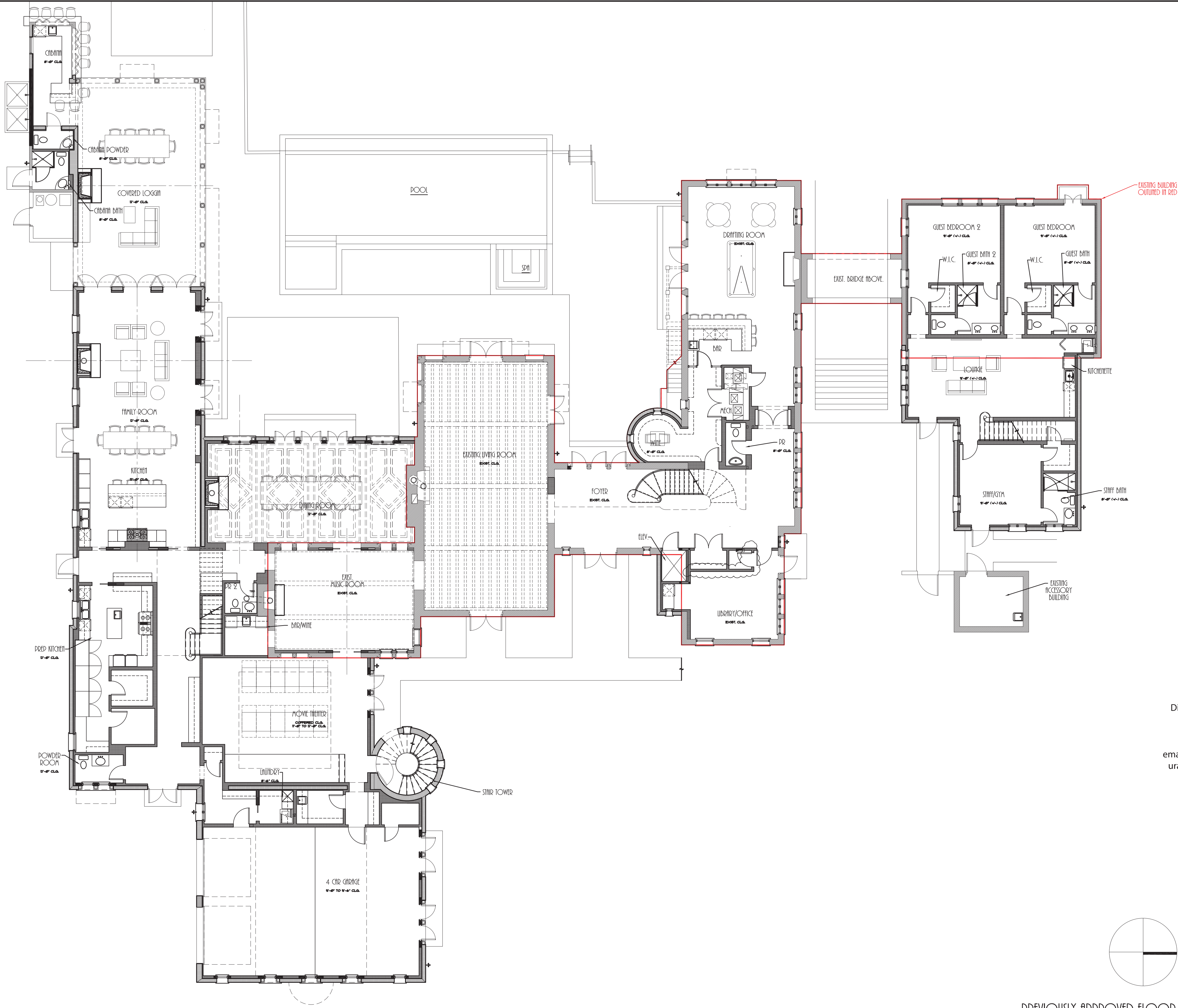
90-005
12-7-23
JPD
JPD
JPD

REVISIONS:



SHEET: 9

Of: 22



PREVIOUSLY APPROVED FLOOR PLAN
SCALE: 1/8" = 1'-0"



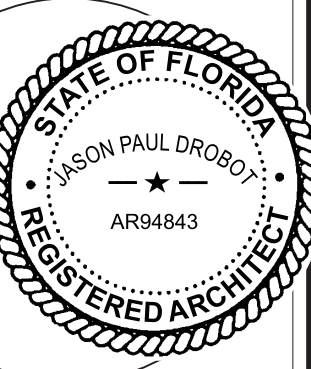
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUM STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67673
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJARDIS
803 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

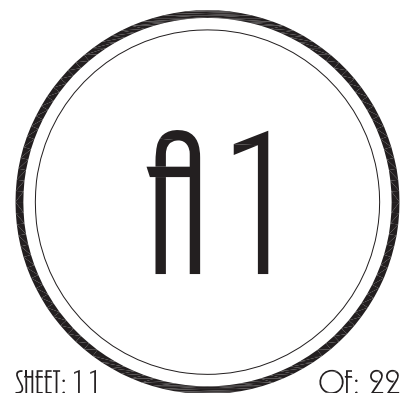
Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
'13:13:03 -05'00



JOB #:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:

20-005
12-7-23
JPD
JPD
JPD

REVISIONS:



SHEET: 11 Of: 22



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DUTURN STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67673
FH 26001461

CONF-24-003 (2024-02-01) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJARDIS
800 SOUTH COMPTON ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason Drobot,
o=ou,
email=jason@brasseur
randdrobot, c=US
Date: 2023.12.01
'13:13:23 -05'00

JOB # 20-005
DATE 12-7-23
DESIGNED BY JPD
DRAWN BY JPD
CHECKED BY JPD

REVISIONS:

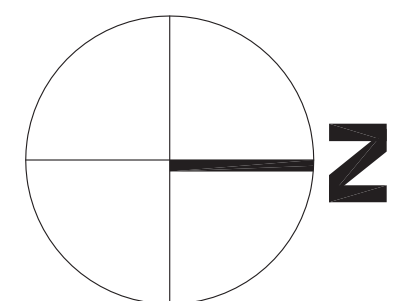
12
SHEET: 11 Of: 22

RECONFIGURED STEPS TO
BE TERRACED

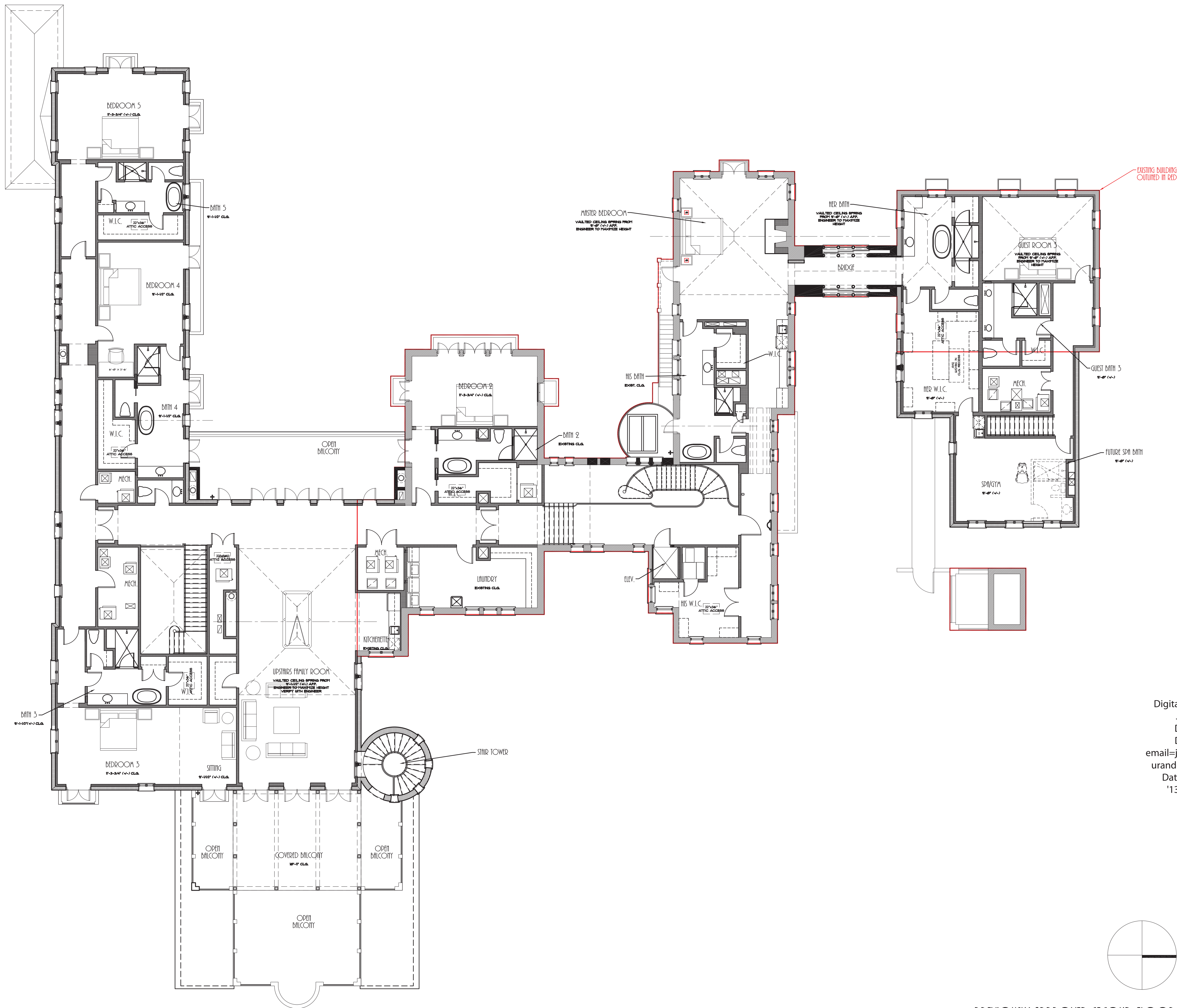
CABANA BATH AND STAFF
KITCHEN DOORS REVISED
TO BE FRENCH DOORS

GUEST/BOAT HOUSE AND
OLD GENERATOR
BUILDING DOORS REVISED
TO BE FRENCH DOORS

AREA CALCULATIONS	
MAIN HOUSE FIRST FLOOR:	
FIRST FLOOR A/C:	7842.30 S.F.
4 CAR GARAGE:	1134.05 S.F.
STAIR TOWER:	130.16 S.F.
COVERED LOGGIA AT FAMILY ROOM:	872.72 S.F.
BALCONY AT GUEST HOUSE:	10.33 S.F.
TOTAL FIRST FLOOR:	9,089.56 S.F.
MAIN HOUSE SECOND FLOOR:	
SECOND FLOOR A/C:	8,439.33 S.F.
MASTER BALCONY SOUTH:	26.51 S.F.
MASTER BALCONY SPA:	84.22 S.F.
MASTER BALCONY WEST:	10.33 S.F.
UPSTAIRS FAMILY RM. BALC. WEST:	445.72 S.F.
UPSTAIRS FAMILY RM. COV. BALC. EAST:	390.83 S.F.
UPSTAIRS FAMILY RM. BALC. WEST:	644.80 S.F.
BED 2 BALCONY WEST:	36.23 S.F.
BED 2 BALCONY SOUTH:	13.17 S.F.
BED 2 BALCONY NORTH:	12.07 S.F.
BED 3 BALCONY:	15 S.F.
BED 4 BALCONY:	15 S.F.
BED 5 BALCONY NORTH:	15 S.F.
BED 5 BALCONY WEST:	15 S.F.
BED 4 AND 5 BALCONY NORTH:	67.71 S.F.
TOTAL SECOND FLOOR:	10,230.92 S.F.
MAIN RESIDENCE TOTAL AREA:	20,220.8 S.F.
GUEST HOUSE FIRST FLOOR:	
FIRST FLOOR A/C:	1,789.72 S.F.
GUEST HOUSE SECOND FLOOR:	
SECOND FLOOR A/C:	1,098.91 S.F.
PROPOSED UNCOVERED BRIDGE:	40.94 S.F.
GUEST HOUSE TOTAL AREA:	2,851.57 S.F.
EXIST. GENERATOR TOWER:	
EXIST. CABANA:	143.54 S.F.
EXIST. CABANA:	226.63 S.F.
PROPOSED GENERATOR BUILDING:	227 S.F.



PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"



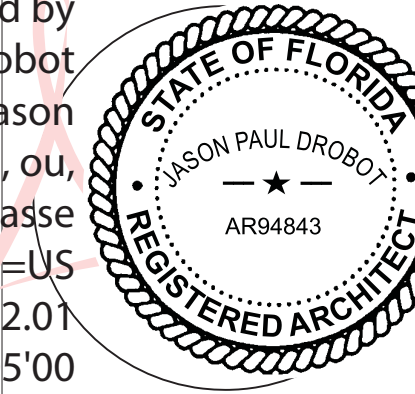
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

824 DUTRA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(3561-820-8088
(1)3561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 AR 94843
HCRB 60164 HCRB 67675
RR 26001461

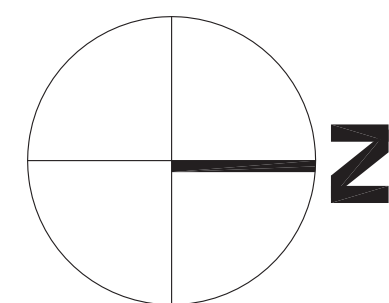
COF-24-003 (20124-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUSSAUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - AR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
'13:13:53 -05'00



JOB #: 20-005
DATE: 12-7-23
DESIGNED BY: JPD
DRAFTED BY: JPD
CHECKED BY: JPD
REVISIONS:

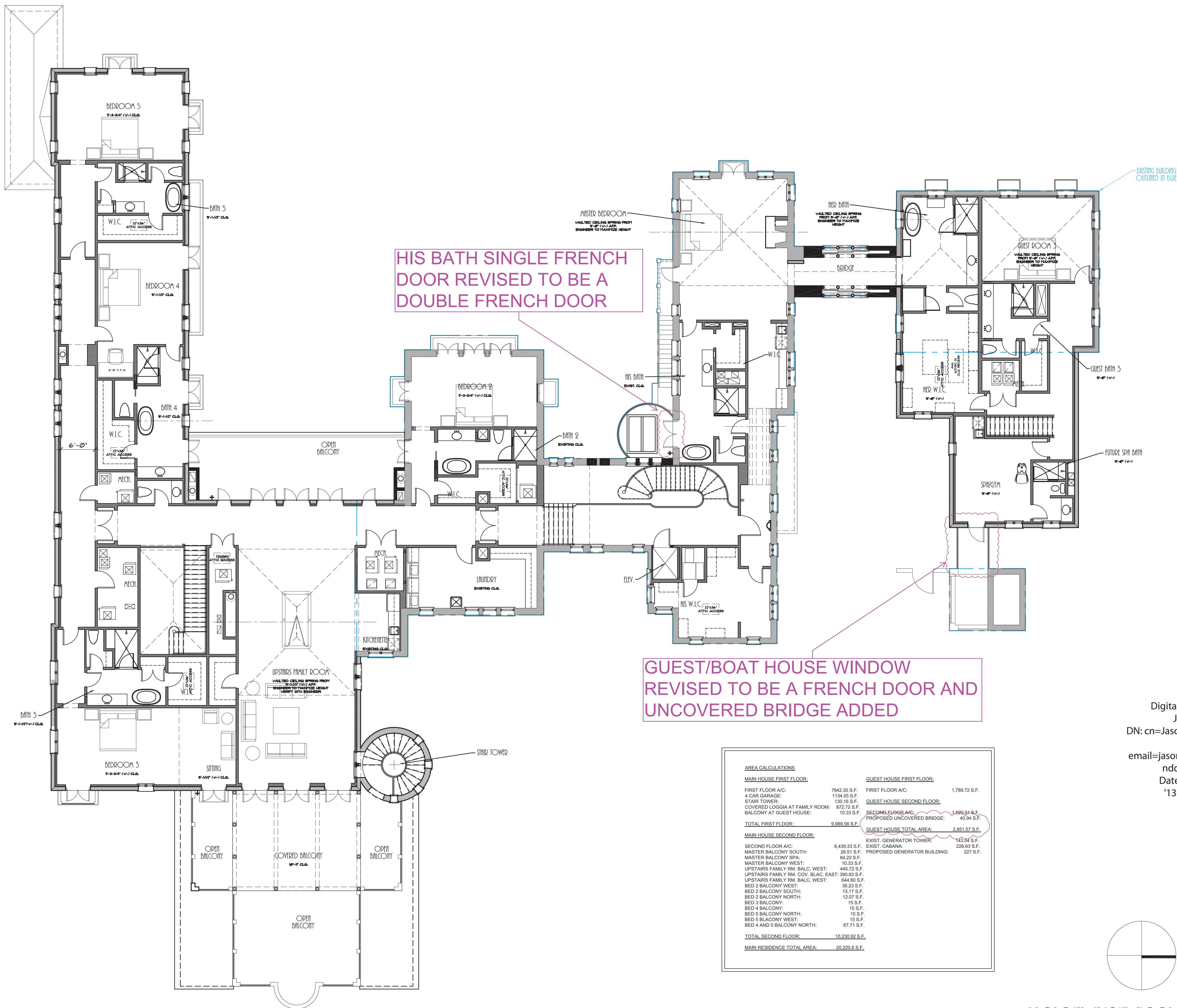


PREVIOUSLY APPROVED SECOND FLOOR PLAN

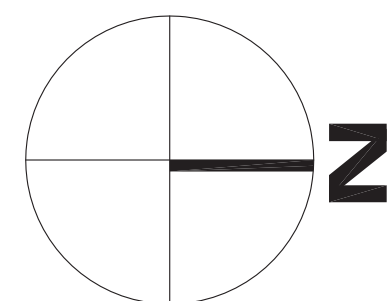
SCALE: 1/8" = 1'-0"



SHEET: 12 OF: 22



AREA CALCULATIONS	
MAIN HOUSE FIRST FLOOR:	GUEST HOUSE FIRST FLOOR:
FIRST FLOOR A/C: 7842.30 S.F.	FIRST FLOOR A/C: 1,789.72 S.F.
4 CAR GARAGE: 1134.05 S.F.	
STAIR TOWER: 130.16 S.F.	GUEST HOUSE SECOND FLOOR:
COVERED LOGGIA AT FAMILY ROOM: 872.72 S.F.	SECOND FLOOR A/C: 1,020.91 S.F.
BALCONY AT GUEST HOUSE: 10.33 S.F.	PROPOSED UNCOVERED BRIDGE: 40.94 S.F.
TOTAL FIRST FLOOR: 9,989.56 S.F.	GUEST HOUSE TOTAL AREA: 2,851.57 S.F.
MAIN HOUSE SECOND FLOOR:	
SECOND FLOOR A/C: 8,439.33 S.F.	EXIST. GENERATOR TOWER: 143.54 S.F.
MASTER BALCONY SOUTH: 26.51 S.F.	EXIST. CABANA: 226.63 S.F.
MASTER BALCONY SPA: 84.22 S.F.	PROPOSED GENERATOR BUILDING: 227 S.F.
MASTER BALCONY WEST: 10.33 S.F.	
UPSTAIRS FAMILY RM. BALC. WEST: 445.72 S.F.	
UPSTAIRS FAMILY RM. CONV. BALC. EAST: 390.83 S.F.	
UPSTAIRS FAMILY RM. BALC. WEST: 644.80 S.F.	
BED 2 BALCONY WEST: 36.23 S.F.	
BED 2 BALCONY SOUTH: 13.17 S.F.	
BED 2 BALCONY NORTH: 12.07 S.F.	
BED 3 BALCONY: 15 S.F.	
BED 4 BALCONY: 15 S.F.	
BED 5 BALCONY NORTH: 15 S.F.	
BED 5 BALCONY WEST: 15 S.F.	
BED 4 AND 5 BALCONY NORTH: 67.71 S.F.	
TOTAL SECOND FLOOR: 10,230.92 S.F.	
MAIN RESIDENCE TOTAL AREA: 20,220.8 S.F.	



PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

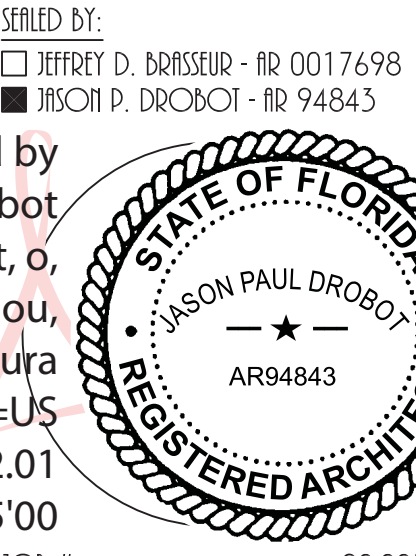


BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 BR 94843
NCARB 60164 NCARB 67673
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJARDIS
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

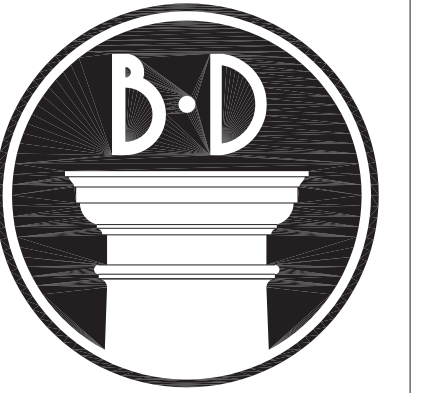
Digitally signed by
Jason Drobot
DN: cn=Jason Drobot, o=
ou=
email=jason@brasseur
anddrobot.com, c=US
Date: 2023.12.01
'13:14:16 -05'00



JOB # 20-005
DATE 12-7-23
DESIGNED BY JPD
DRAWN BY JPD
CHECKED BY JPD

REVISIONS:





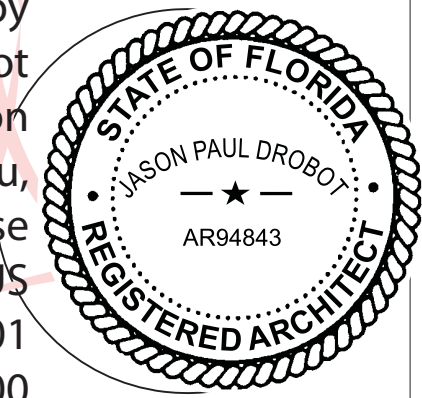
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATURA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(3561-820-8088
(1)561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 AR 94843
NCRB 60164 NCRB 67673
BR 26001461

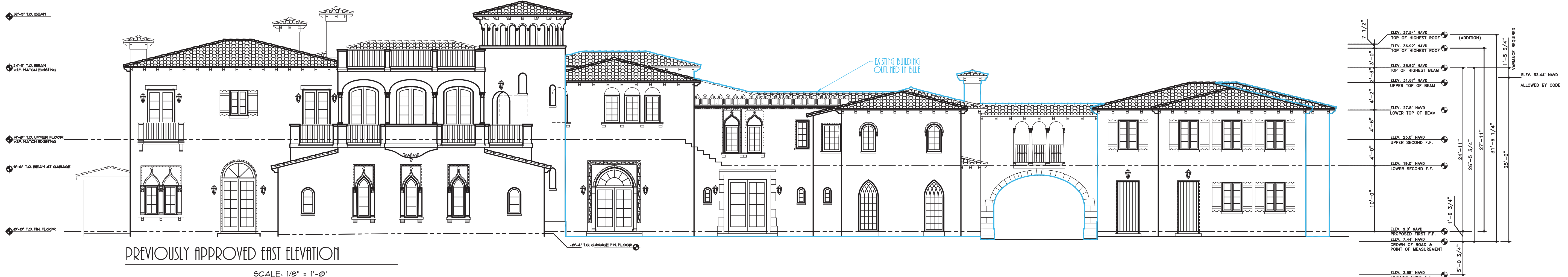
COF-24-003 (2011-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJUSSEUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEAL BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - AR 94843

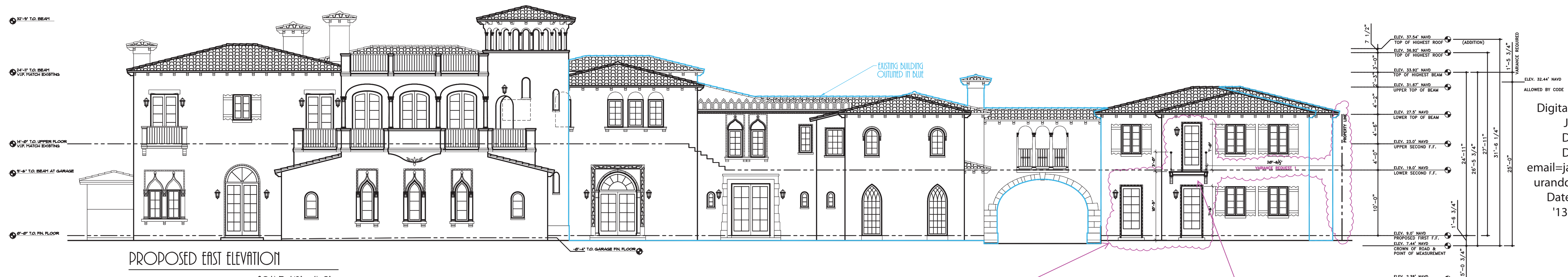
Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
urandrobot.com, c=US
Date: 2023.12.01
'13:14:37 -05'00



JOB #:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
REVISIONS:



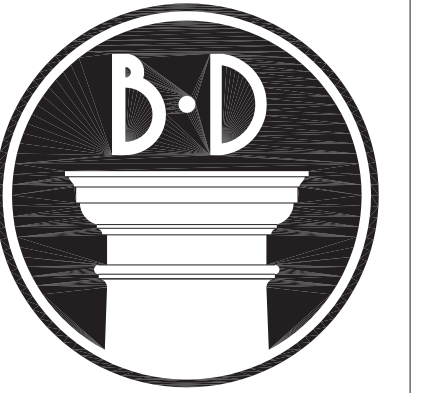
PREVIOUSLY APPROVED EAST ELEVATION
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION
SCALE: 1/8" = 1'-0"

GUEST/BOAT HOUSE
DOORS AND WINDOW
REVISED TO BE FRENCH
DOORS

SECTION THROUGH
UNCOVERED BRIDGE
ADDITION

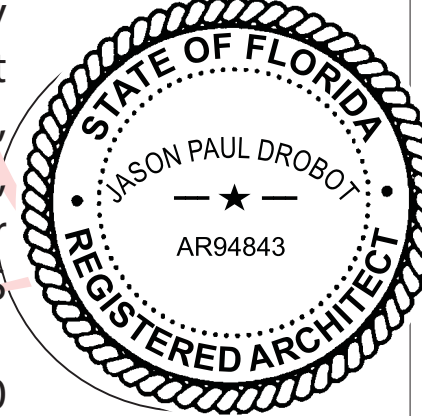


BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATURA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(3561-820-8088
(1)561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 AR 94843
HCRB 60164 HCRB 67673
H# 26001461

COF-24-003 (20124-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJUSSEAU
800 SOUTH COLONY ROAD
PALM BEACH, FLORIDA

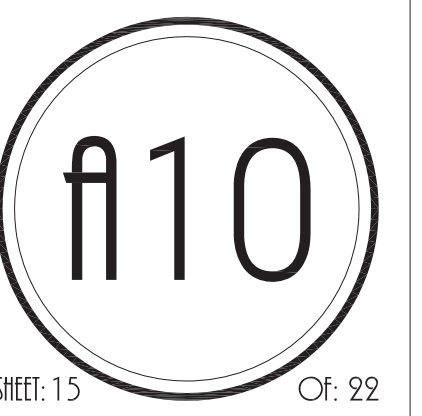
SEALED BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - AR 94843



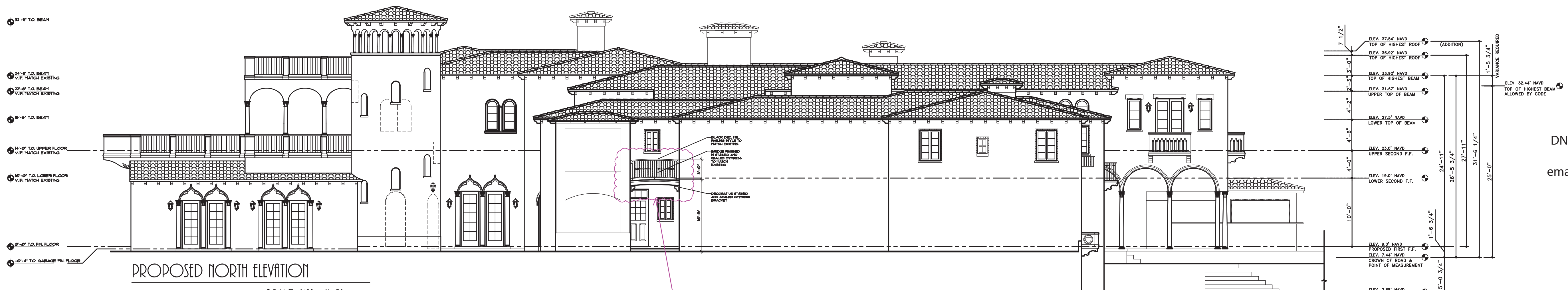
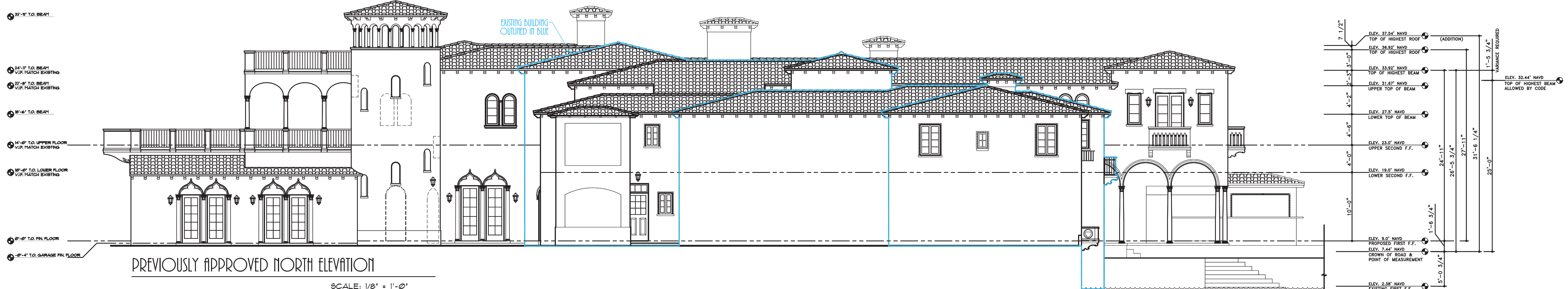
Digitally signed by
Jason Drobot
DN: cn=Jason Drobot,
o=Jason Drobot,
email=jason@brasseur
anddrobot.com, c=US
Date: 2023.12.01
'13:16:34 -05'00

JOB #:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
REVISIONS:

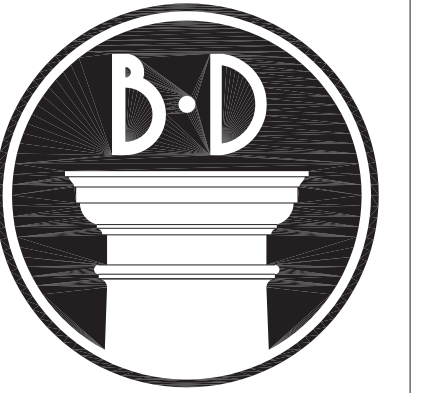
20-005
12-7-23
JPD
JPD
JPD



SHEET: 15 OF: 22



NORTH ELEVATION OF
UNCOVERED BRIDGE
ADDITION



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATURA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(3561-820-8088
(1) 3561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 AR 94843
TCR22 60164 TCR22 6763
26001461

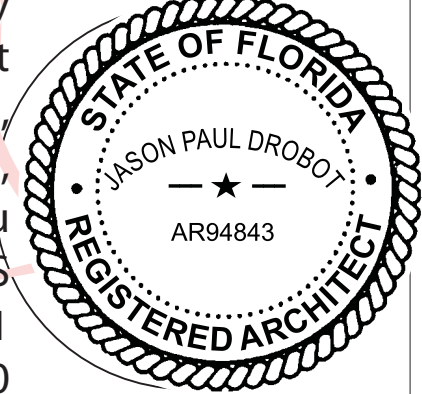
CONF-24-003 (20124-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:

ANN DESJUSSEUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

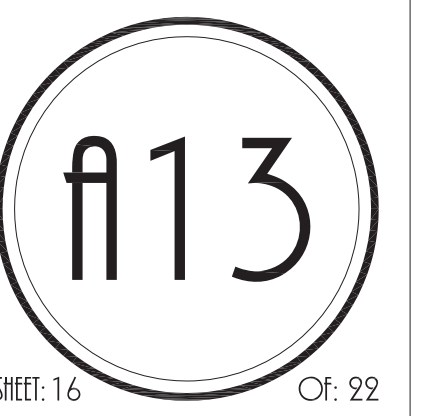
© COPYRIGHT BRASSEUR & DROBOT ARCHITECTS, P.A.

DESIGNED BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - AR 94843

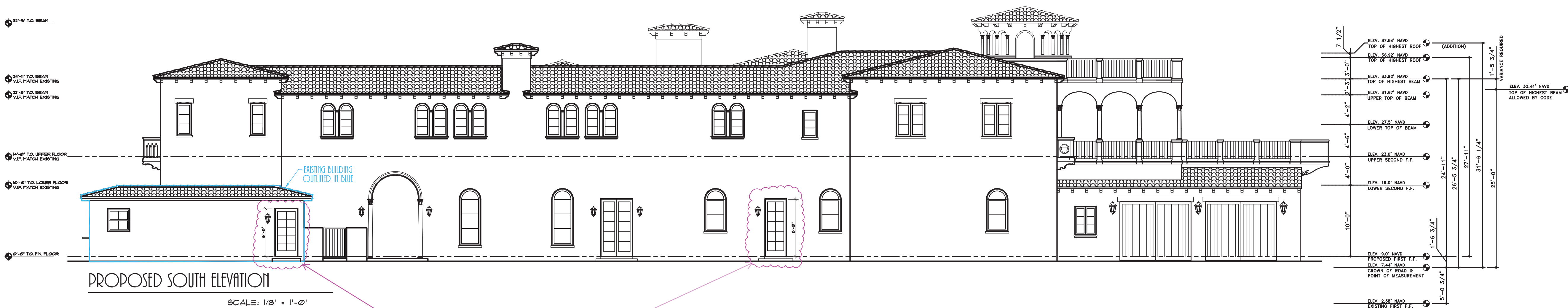
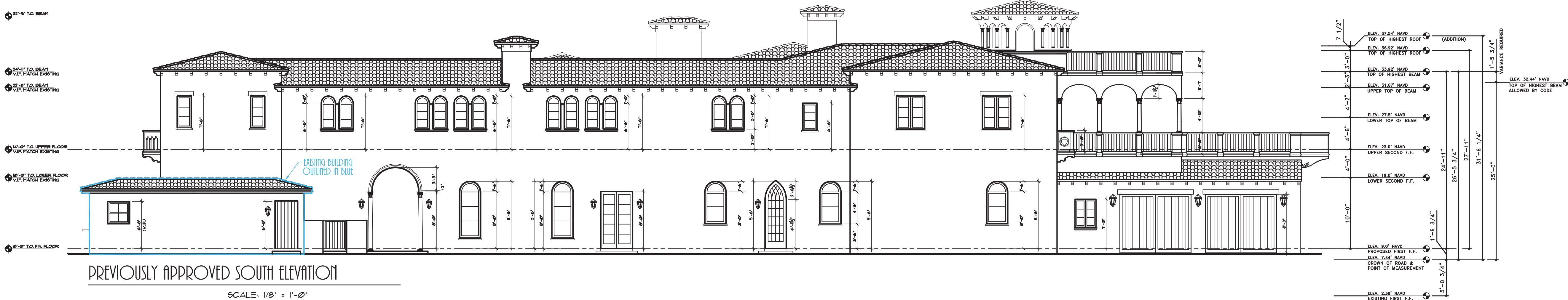
Digitally signed by
Jason Drobot
DN: cn=Jason Drobot,
o=JDR, ou=JDR,
email=jason@brasseur
randdrobot.com, c=US
Date: 2023.12.01
'13:17:30 -05'00



JOB #:
12-7-23
DESIGNED BY:
JPD
DRAFTED BY:
JPD
CHECKED BY:
JPD
REVISIONS:

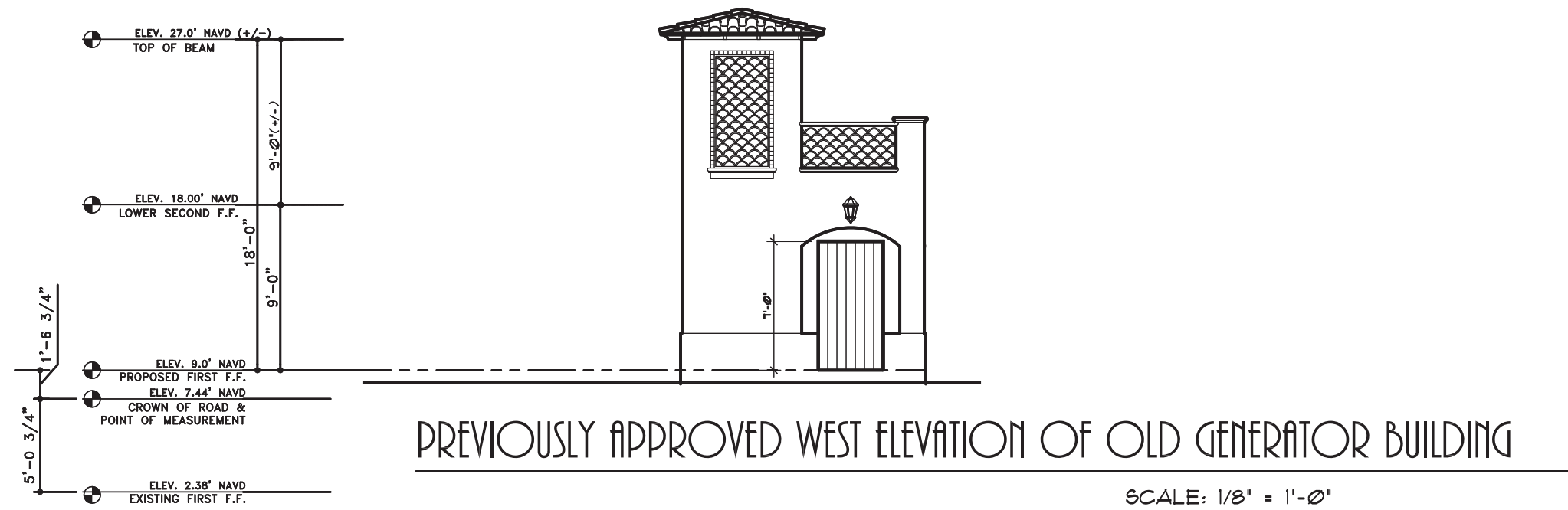


SHEET: 16 OF: 22

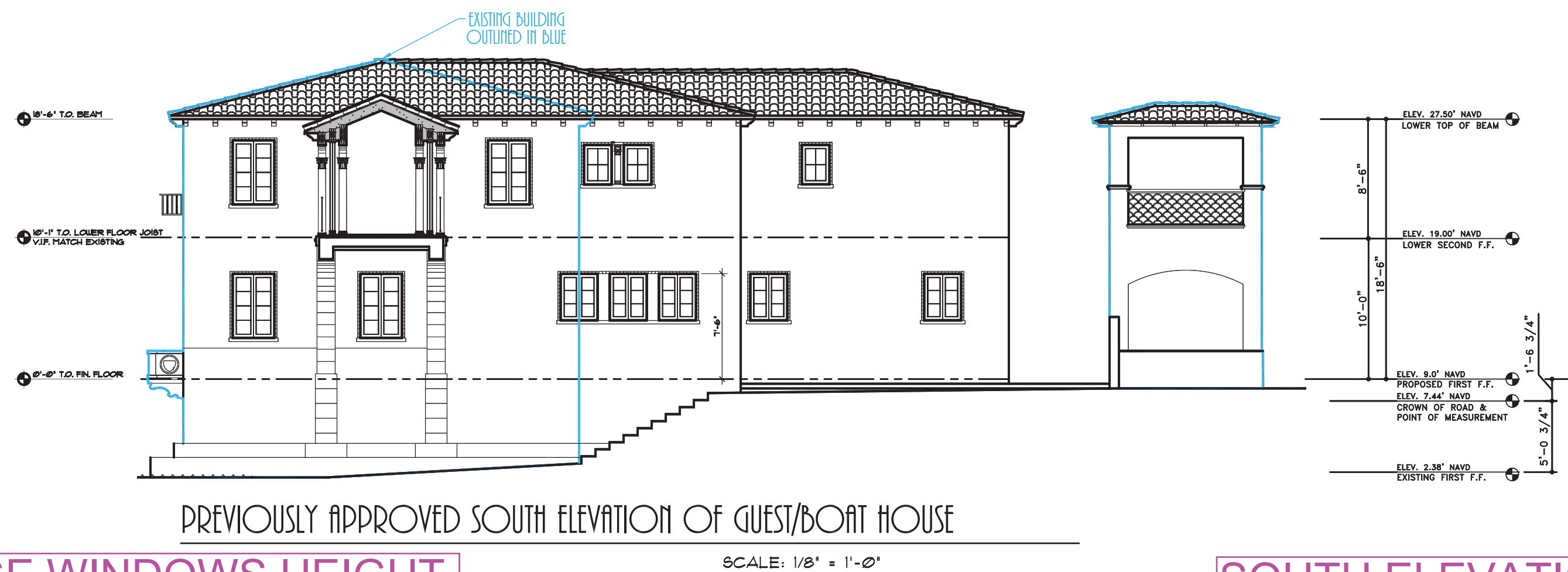
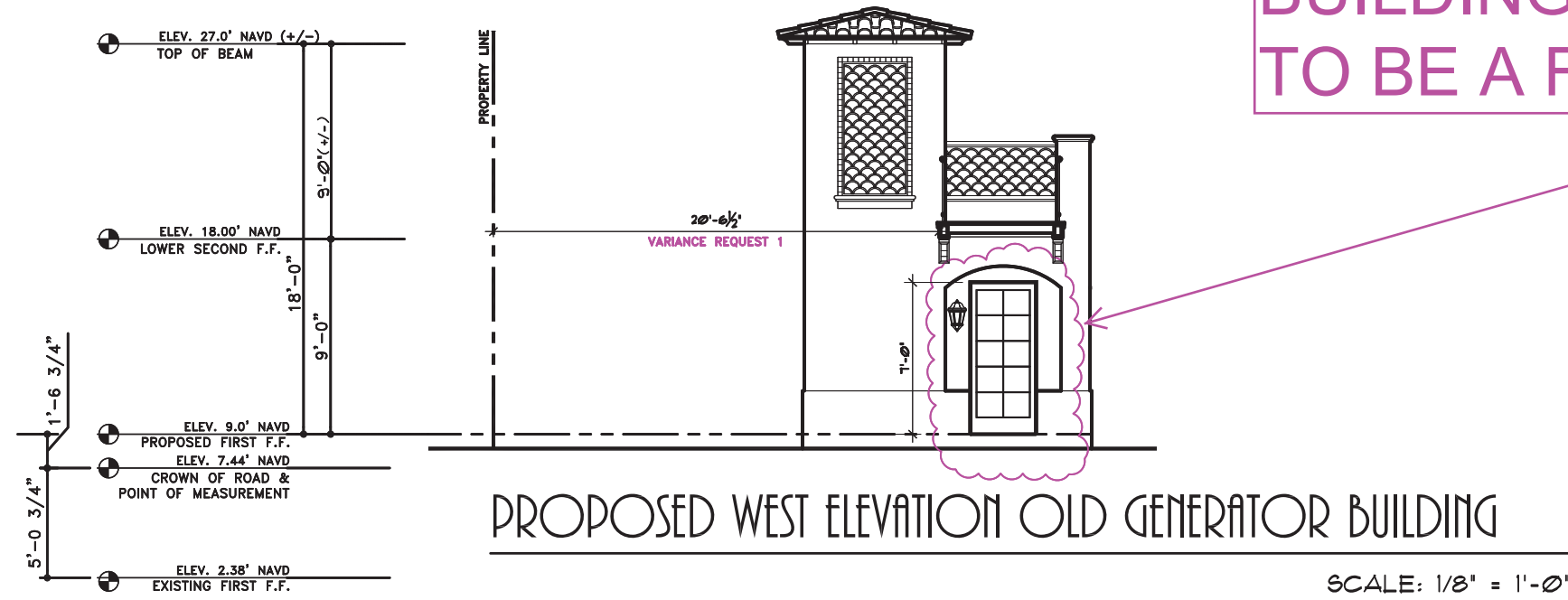


CABANA BATH AND STAFF
KITCHEN DOORS REVISED
TO BE FRENCH DOORS

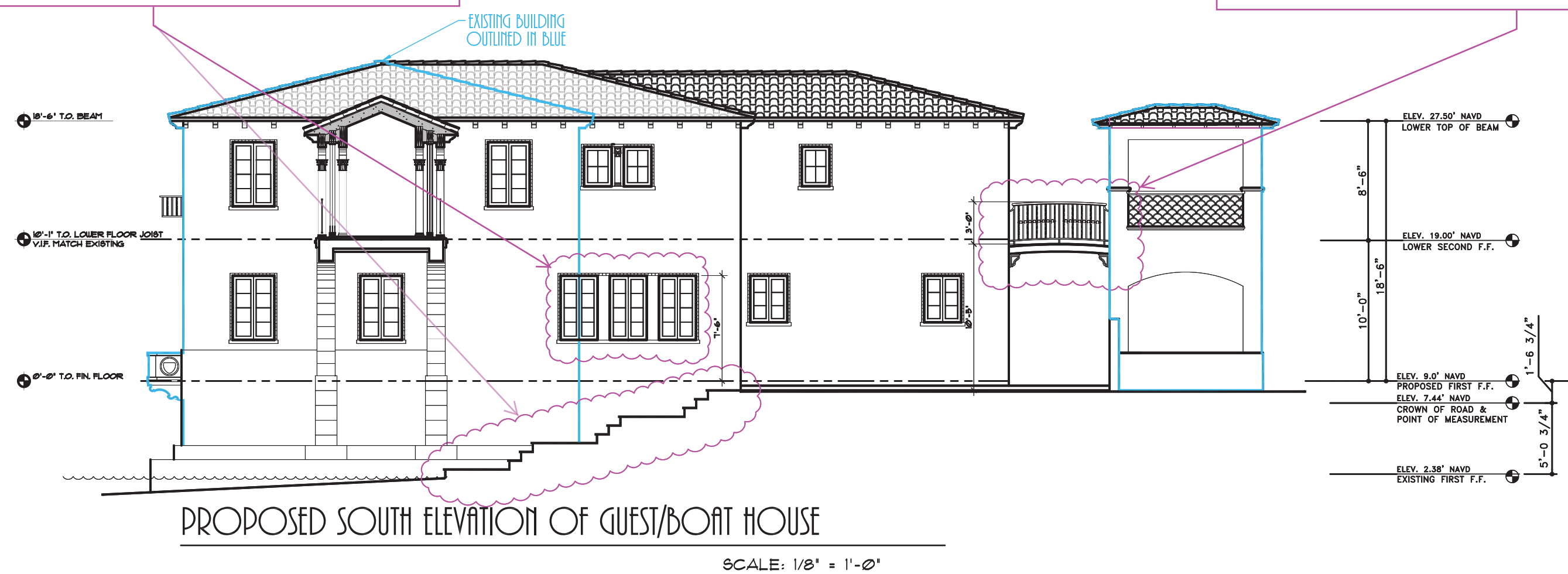
EXISTING, PREVIOUSLY APPROVED AND PROPOSED SOUTH ELEVATIONS



OLD GENERATOR BUILDING DOOR REVISED TO BE A FRENCH DOOR



LOUNGE WINDOWS HEIGHT CHANGE AND TERRACED STEPS



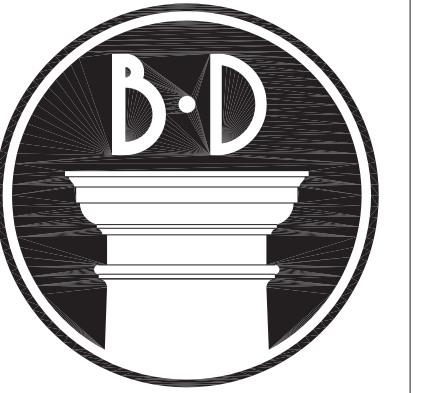
SOUTH ELEVATION OF UNCOVERED BRIDGE ADDITION



HIS BATH SINGLE FRENCH DOOR REVISED TO BE A DOUBLE FRENCH



EXISTING, PREVIOUSLY APPROVED AND PROPOSED PARTIAL ELEVATIONS



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATURA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 HR 94843
NCRB 60164 HCRB 67673
BB 26001461

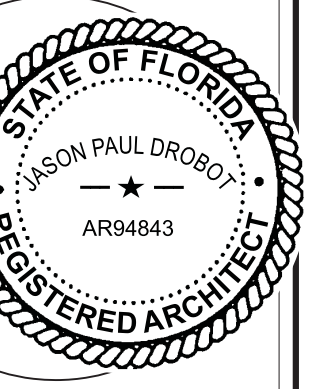
COF-24-003 (2012-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJUSSEUX

800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

© COPYRIGHT BRASSEUR & DROBOT ARCHITECTS, P.A.

SEAL BY:
JEFFREY D. BRASSEUR - AR 0017698
JASON P. DROBOT - AR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
urandrobot, c=US
Date: 2023.12.01
'13:19:20 -05'00



JOB #:
DATE:
DESIGNED BY:
DRAFTED BY:
CHECKED BY:
REVISIONS:

20-005
12-7-23
JPD
JPD
JPD



SHEET: 17 OF: 22



1/PH1 MAIN HOUSE SOUTHWEST ELEVATION AT HIS BATH



2/PH1 MAIN HOUSE SOUTHEAST ELEVATION AT CABANA



3/PH1 MAIN HOUSE SOUTH ELEVATION AT STAFF KITCHEN



4/PH1 OLD GENERATOR BUILDING SOUTHWEST ELEVATION



5/PH1 GUEST HOUSE SOUTHEAST ELEVATION



6/PH1 GUEST HOUSE SOUTHEAST ELEVATION



BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67675
BB 26001461

COF-24-003 (2017-24-021) DROP OFF
HANDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUSSERUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
☐ JEFFREY D. BRASSEUR - BR 0017698
☒ JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
e=jason@brasse
urdrobot.com, c=US
Date: 2023.12.01
13:20:11 -05'00

JOB #:
DATE:
DESIGNED BY:
DRAWN BY:
CHECKED BY:
REVISIONS:

20-005
12-7-23
JPD
JPD
JPD



SHEET: 18 Of: 22



BRASSEUR

&

DROBOT

ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67675
FH 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:

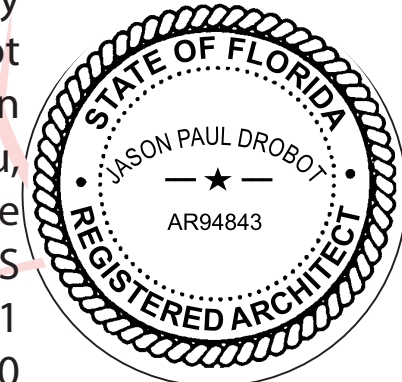
ANN DESRUSSERUX

800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

© COPYRIGHT BRASSEUR & DROBOT ARCHITECTS, P.A.

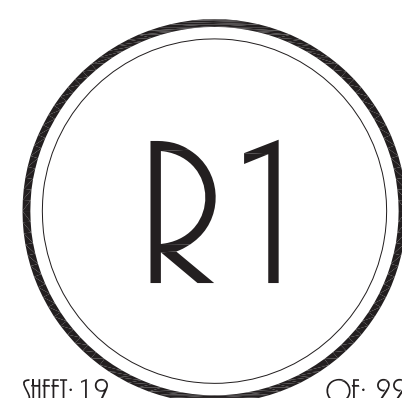
Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
urandrobot, c=US
Date: 2023.12.01
'13:20:39 -0500

SEALED BY:
☐ JEFFREY D. BRASSEUR - BR 0017698
☒ JASON P. DROBOT - BR 94843



JOB # 20-005
DATE 12-7-23
DESIGNED BY: JPD
DRAWN BY: JPD
CHECKED BY: JPD

REVISIONS:



SHEET: 19 OF: 22

RENDERING



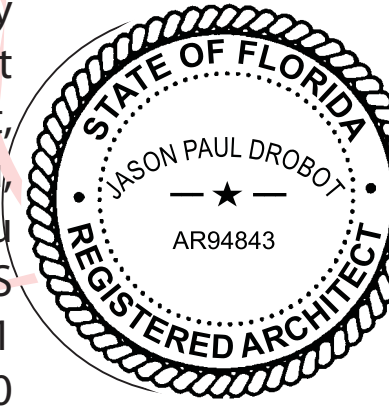
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
AR 0017698 BR 94843
NCARB 60164 NCARB 67675
BB 26001461

CON-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESJUSSEUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

SEALED BY:
☐ JEFFREY D. BRASSEUR - AR 0017698
☒ JASON P. DROBOT - AR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason Drobot,
o, ou,
email=jason@brasseuranddrobot.com,
c=US
Date: 2023.12.01
'13:21:31 -05'00



JOB # 20-005
DATE 12-7-23
DESIGNED BY: JPD
DRAWN BY: JPD
CHECKED BY: JPD

REVISIONS:



SHEET: 20 OF: 22

RENDERING



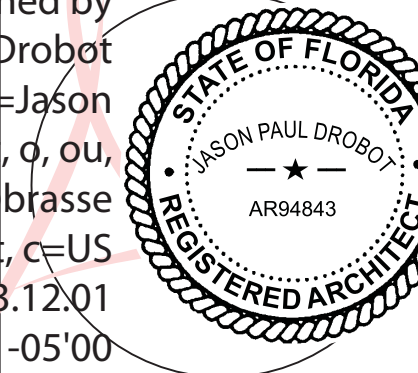
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67673
FH 26001461

COF-24-003 (201-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUSSERUX
800 SOUTH COUNTY ROAD
PALM BEACH, FLORIDA

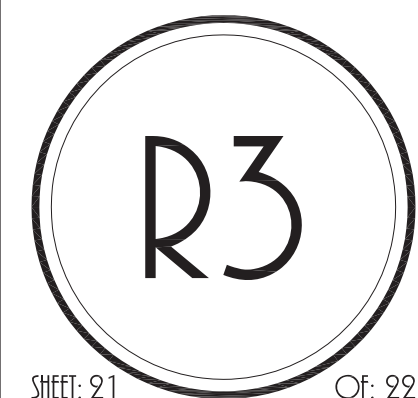
SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brasse
uranddrobot, c=US
Date: 2023.12.01
'13:22:09 -05'00



JOB # 20-005
DATE 12-7-23
DESIGNED BY: JPD
DRAWN BY: JPD
CHECKED BY: JPD

REVISIONS:



SHEET: 21 OF: 22

RENDERING



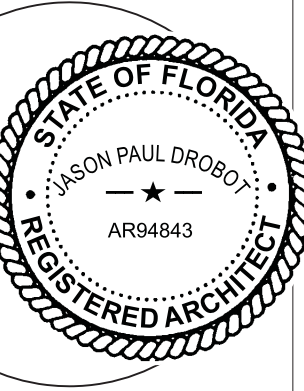
BRASSEUR
&
DROBOT
ARCHITECTS, P.A.

224 DATUNA STREET - SUITE 311
WEST PALM BEACH, FLORIDA 33401
(O) 561-820-8088
(F) 561-820-8089
WWW.BRASSEURANDDROBOT.COM
BR 0017698 BR 94843
NCARB 60164 NCARB 67675
RR 26001461

COF-24-003 (CON-24-021) DROP OFF
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:
ANN DESRUSSERUX
800 SOUTH COLONY ROAD
PALM BEACH, FLORIDA

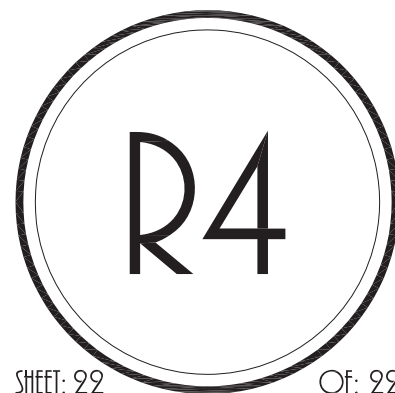
SEALED BY:
JEFFREY D. BRASSEUR - BR 0017698
JASON P. DROBOT - BR 94843

Digitally signed by
Jason Drobot
DN: cn=Jason
Drobot, o=ou,
email=jason@brass
euranddrobot, c=US
Date: 2023.12.01
'13:22:44 -05'00



JOB # 20-005
DATE 12-7-23
DESIGNED BY: JPD
DRAWN BY: JPD
CHECKED BY: JPD

REVISIONS:



SHEET: 22 OF: 22

RENDERING

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 62,295 sq.ft.
Impervious Plan Area = 35,211 sq.ft.
Pervious Plan Area = 27,084 sq.ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q=CiA) where:
C = 1.0 (impervious surface)
C = 0.2 (pervious surface)
i = 2 in/hr

Impervious Surface Runoff Volume:
1.0 x 2 in/hr x 35,211 sq.ft. x 1 ft./12 in. = 5,869 cu.ft.

Pervious Runoff Volume:
0.2 x 2 in/hr x 27,084 sq.ft. x 1 ft./12 in. = 903 cu.ft.

Total Volume to be Retained = 6,772 cu.ft.

C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1
L = Total Length of Trench Provided = 60 ft
W = Trench Width = 36 ft
K = Hydraulic Conductivity = 0.000105 cfs/sq.ft. of head
H2 = Depth to Water Table = 4.00 ft
DU = Un-Saturated Trench Depth = 3.00 ft
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 6,905 cu.ft.

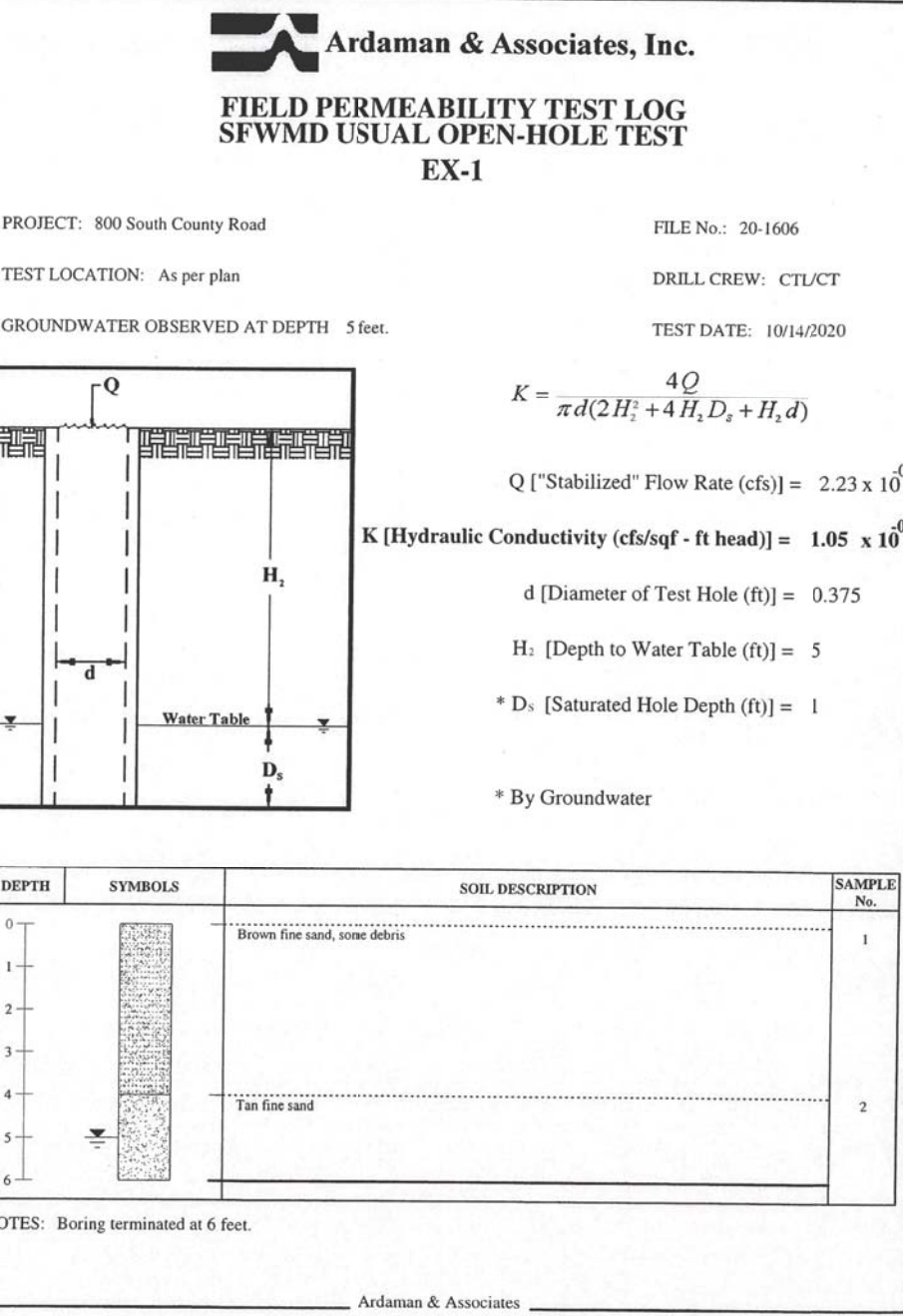
Exfiltration Trench #2
L = Total Length of Trench Provided = 90 ft
W = Trench Width = 44 ft
K = Hydraulic Conductivity = 0.000105 cfs/sq.ft. of head
H2 = Depth to Water Table = 1.50 ft
DU = Un-Saturated Trench Depth = 1.50 ft
DS = Saturated Trench Depth = 0.50 ft

V = Volume Treated = 5,389 cu.ft.

Total Volume Retained in Exfiltration Trenches = 12,294 cu.ft.

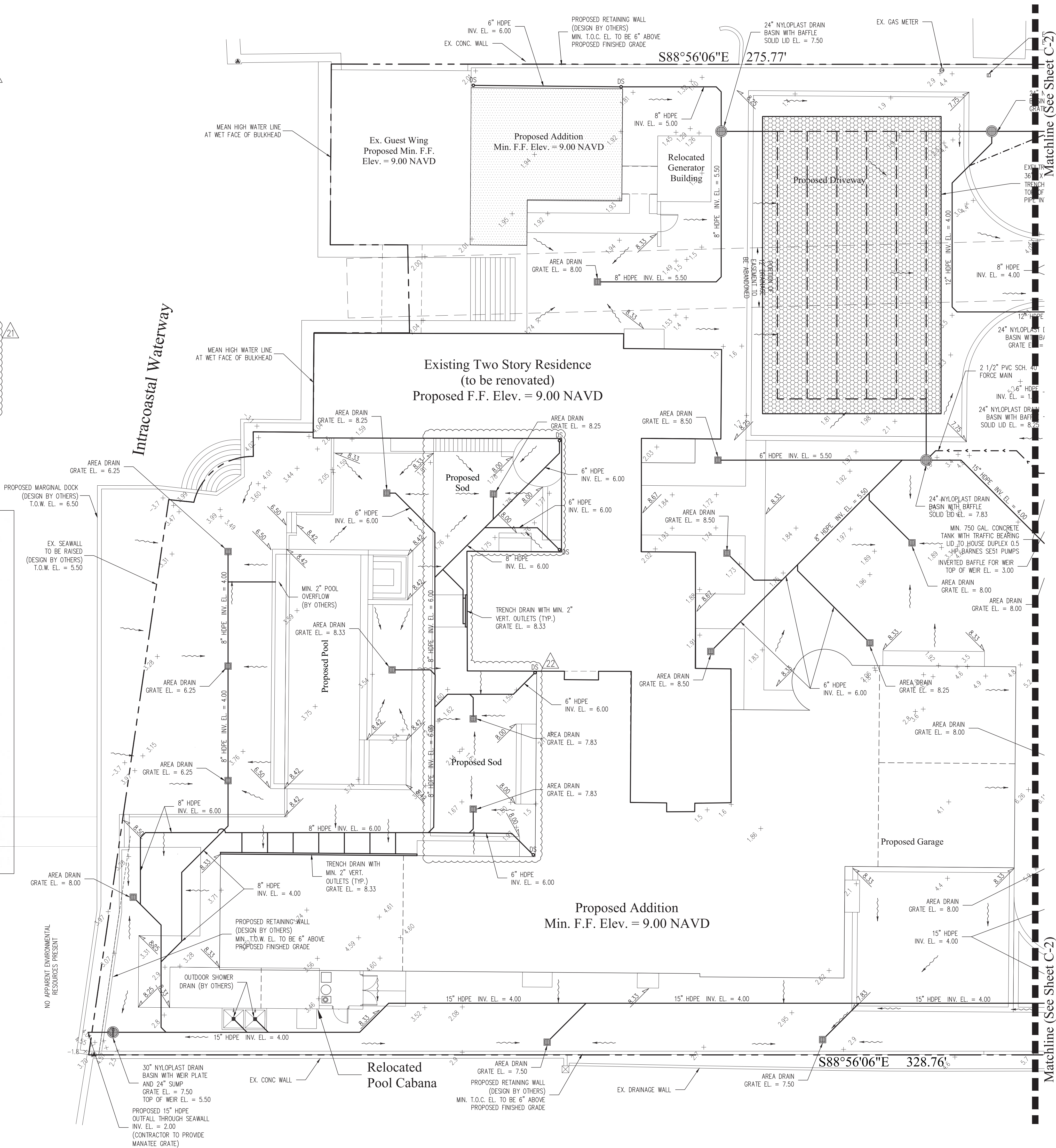
FDOT Exfiltration Trench
L = Total Length of Trench Provided = 111 ft
W = Trench Width = 7 ft
K = Hydraulic Conductivity = 0.000105 cfs/sq.ft. of head
H2 = Depth to Water Table = 4.00 ft
DU = Un-Saturated Trench Depth = 3.50 ft
DS = Saturated Trench Depth = 0.00 ft

V = Volume Treated = 3,223 cu.ft.

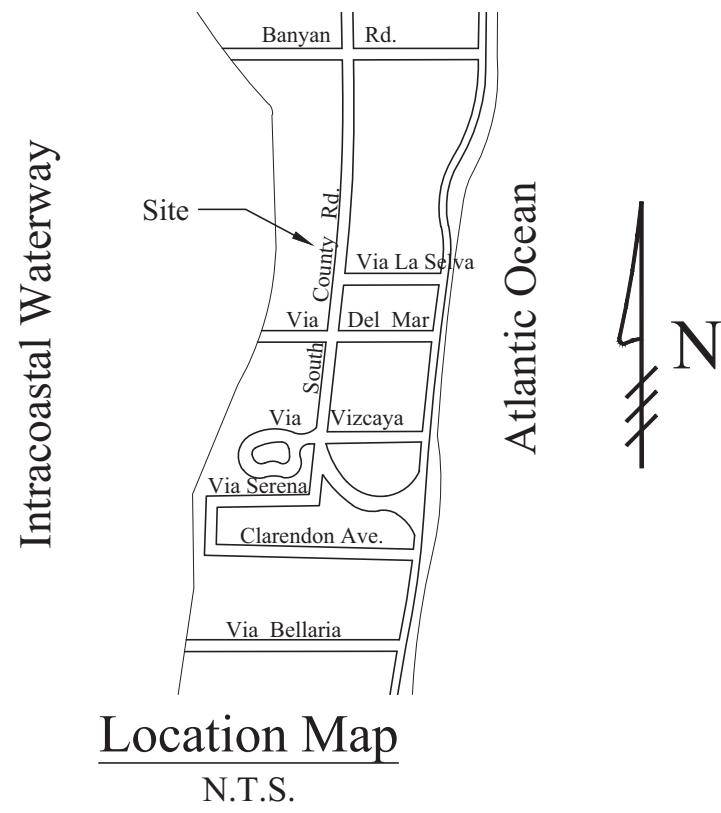


Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

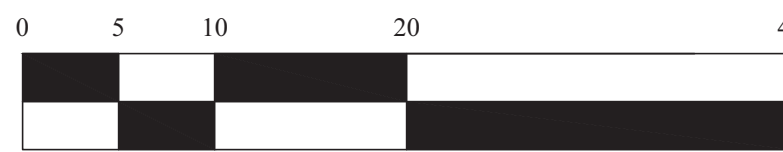


48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

13	08/31/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
14	10/03/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
15	11/28/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
16	05/30/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
17	06/19/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
18	08/17/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
19	08/31/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
22	10/26/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE IN POOL AREA; REVISE CALCULATIONS

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Site Plan by
Brasseur & Drobot Received 10/26/23

COA-24-003
ZON-24-021

© 2023 Gruber Consulting Engineers, Inc.



Gruber Consulting
Engineers, Inc.
574 ARBICER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 863.12.2841
office@gruberengineers.com

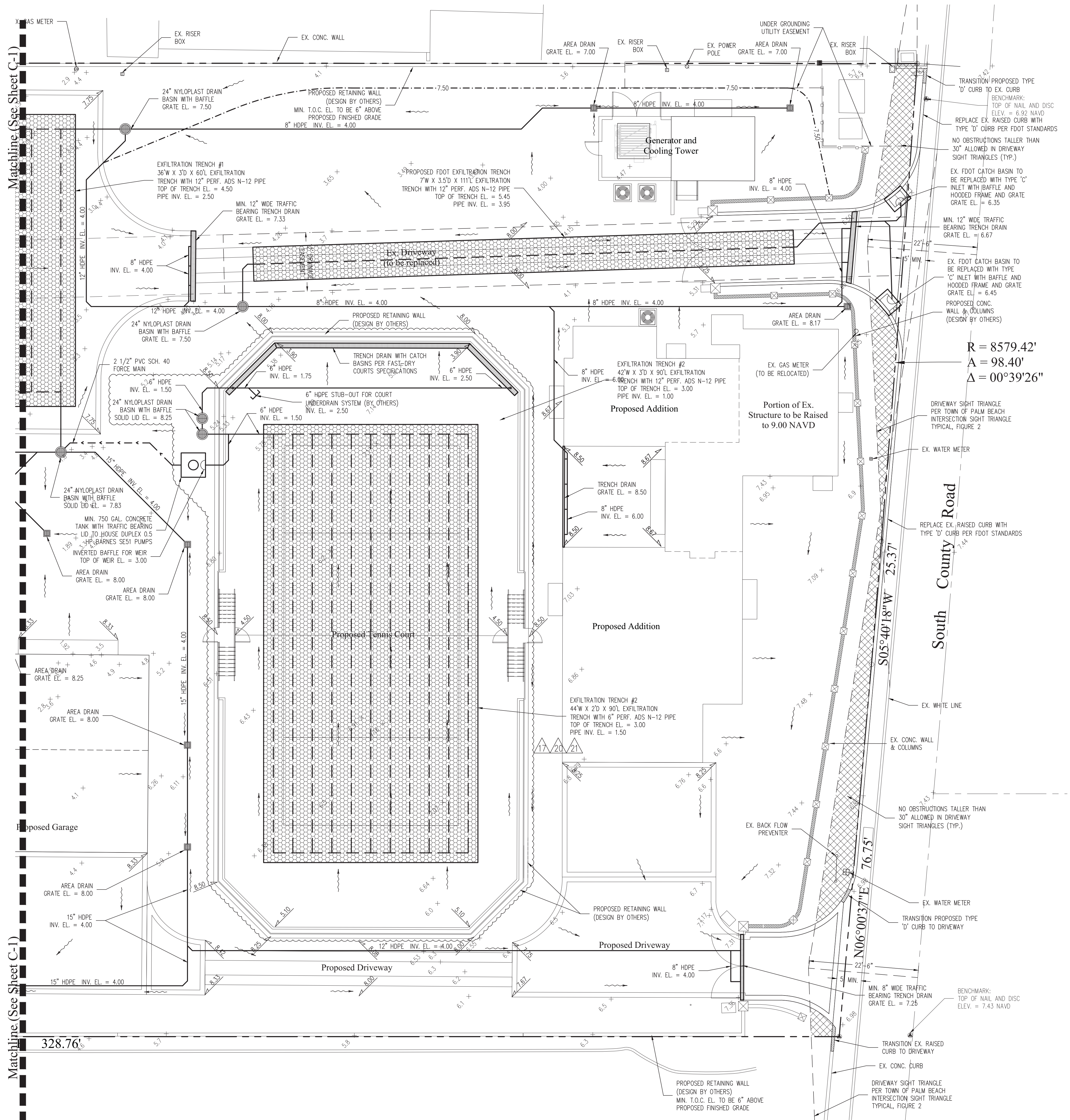
Project Information				
Project No.	2019-0095	Issue Date	05/15/2020	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
			CG	

Site Grading & Drainage Plan For:
Proposed Renovation
800 South County Road
Palm Beach, Florida

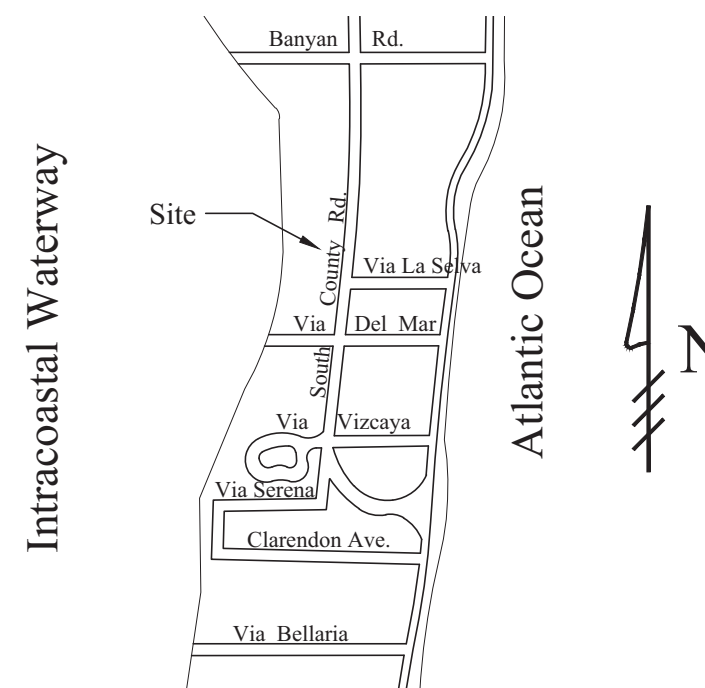
Revisions	
1	05/21/2020
2	06/09/2020
3	11/13/2020
4	01/05/2021
5	01/11/2021
6	02/09/2021
7	04/13/2021
8	05/17/2021
9	08/13/2021
10	03/04/2022

Chad M. Gruber
FL P.E. No. 57466

Sheet No.
C-1



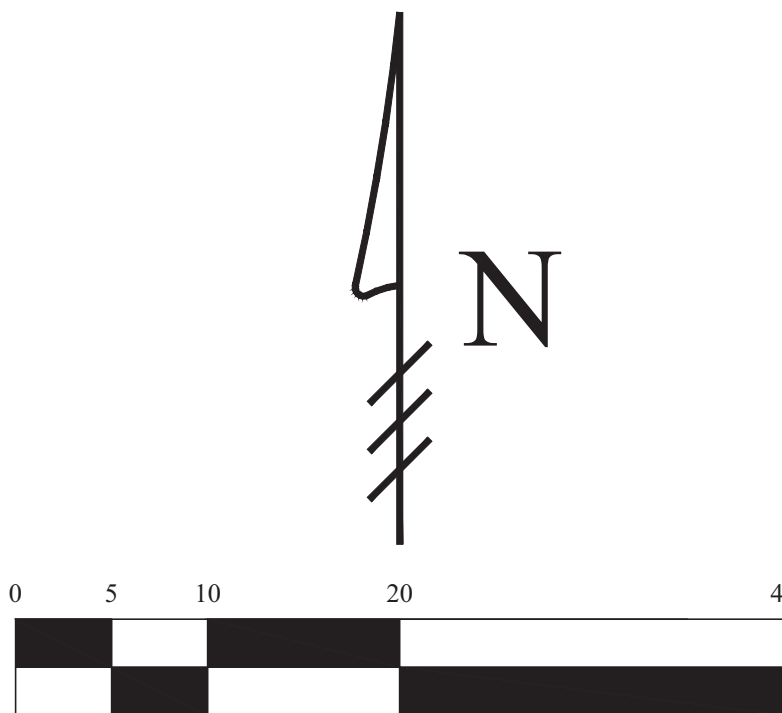
48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Location Map
N.T.S.

Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

13	08/31/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
14	10/03/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
15	11/28/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
16	05/30/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
17	07/31/23	UPDATE PLAN BACKGROUND; REVISE TENNIS COURT GRADING AND DRAINAGE
19	08/31/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
20	10/12/23	UPDATE PLAN BACKGROUND; ADJUST TENNIS COURT DRAINAGE
21	10/20/23	UPDATE PLAN BACKGROUND; ADJUST TENNIS COURT DRAINAGE
22	10/26/23	UPDATE PLAN BACKGROUND

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Site Plan by
Brasseur & Drobot Received 10/26/23

COA-24-003
ZON-24-021



Gruber Consulting
Engineers, Inc.
574 MERCER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 86.112.2841
office@gruberengineers.com

Project Information				
Project No.	2019-0005	Issue Date	05/15/2020	Scale
Scale	1" = 10'	Drawn By	KM	Checked By
			CG	

Site Grading & Drainage Plan For:
Proposed Renovation
800 South County Road
Palm Beach, Florida

Revisions	
1	05/21/2020
2	06/09/2020
3	11/13/2020
4	01/05/2021
5	01/11/2021
6	02/09/2021
7	04/13/2021
8	05/17/2021
9	
10	03/04/2022

Chad M. Gruber

FL P.E. No. 57466

Sheet No.
C-2

LOT CALCULATIONS								
ZONING DISTRICT RA	REQUIRED		EXISTING		PREVIOUSLY APPROVED		PROPOSED	
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE
LOT COVERAGE	15,573.75 MAX.	25.00% MAX.	11,016.25	17.68%	15,795.88	25.36%	15,539.92	25.43%
HARDSCAPE	—	—	6,899.83	10.76%	19,638.37	31.52%	19,370.43	31.06%
LANDSCAPE	31,147.5 MIN.	50.00% MIN.	44,578.92	71.56%	27,084.65	43.48%	27,084.65	43.48%
TOTAL LOT	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %

LANDSCAPE R-A SITE CALCULATION

SITE AREA - 62,295 SQ.FT.

OVERALL MINIMUM LANDSCAPE:
REQUIRED: 31,147.50 SQ.FT. 50%
PROVIDED: 27,084.65 SQ.FT. 43.48%

35' FRONT SETBACK MINIMUM LANDSCAPE AREA:
AREA: 6,894 SQ.FT.
REQUIRED: 3,103 SQ.FT. 45%
PROVIDED: 3,637.39 SQ.FT. 52.76%

OVERALL NATIVE LANDSCAPE COVERAGE:
REQUIRED: 15,573.75 SQ.FT. 25%
PROVIDED: 22,149.42 SQ.FT. 35.55%

LEGEND:

EXISTING TO REMAIN

NEW CONSTRUCTION

NEW CONSTRUCTION OR
RELOCATED EXIST. STRUCTURE
REQUIRING A VARIANCE

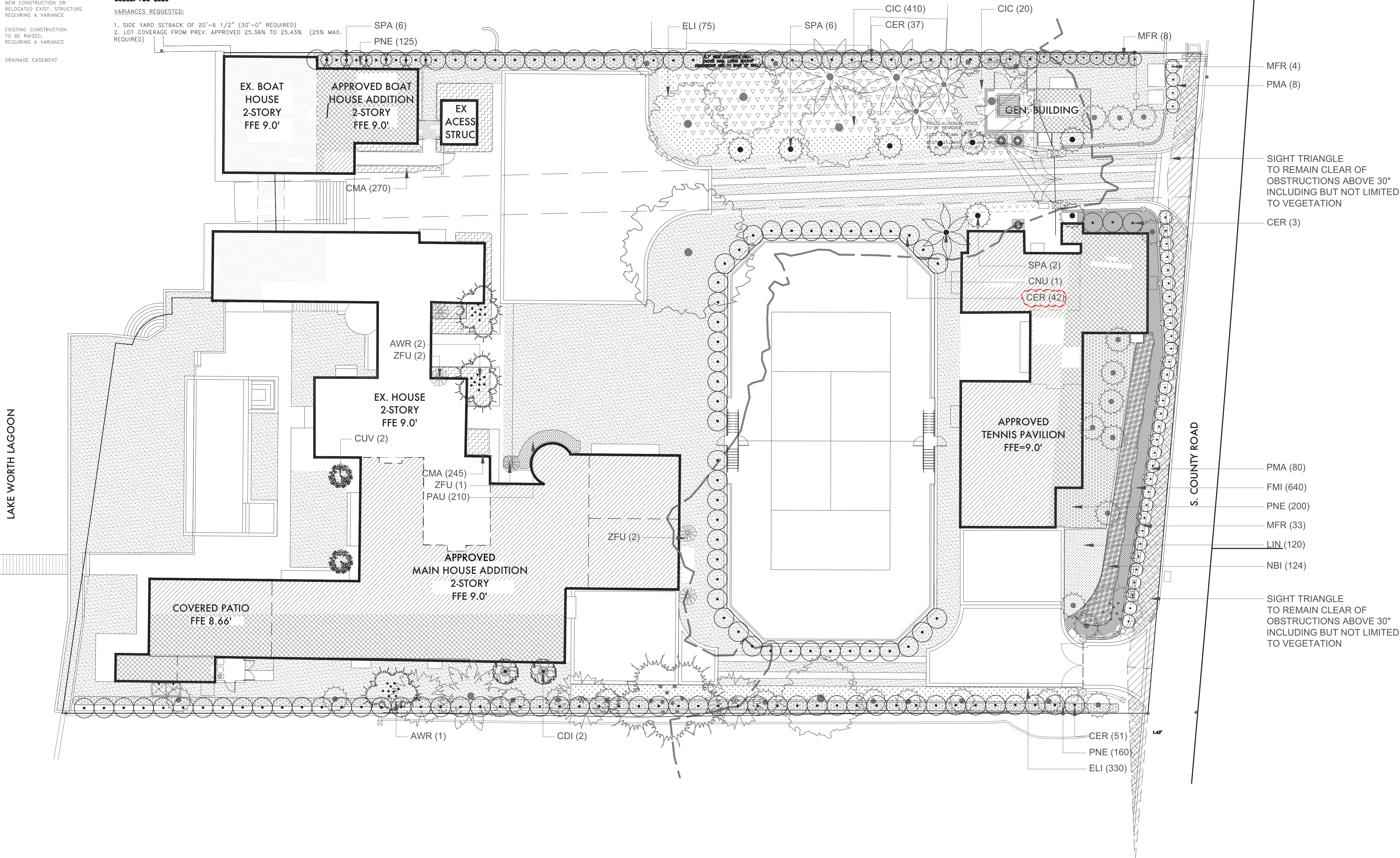
EXISTING CONSTRUCTION
TO BE RAISED,
REQUIRING A VARIANCE

DRAINAGE EASEMENT

GENERAL NOTE:
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020

VARIANCES REQUESTED:

1. SIDE YARD SETBACK OF 20'-6 1/2" (30'-0" REQUIRED)
2. LOT COVERAGE FROM PREV. APPROVED 25.36% TO 25.43% (25% MAX. REQUIRED)



REVISIONS / SUBMISSIONS	
△	Town Comment 23.08.16
△	Site Plan Revised 23.10.31
△	
△	
△	
△	
△	
△	
△	
△	

DES RUISSAUX

800 S. COUNTY RD. PALM BEACH, FL 33480

LANDSCAPE PLAN

OWNER



FERNANDO WONG

OUTDOOR LIVING DESIGN

DRAWN BY:

CHECKED BY:

DATE: Oct. 31, 2023

SCALE: 1/16" = 1'-0"

ZON-22-100
COA-22-035

L-100

LANDSCAPE SCHEDULE

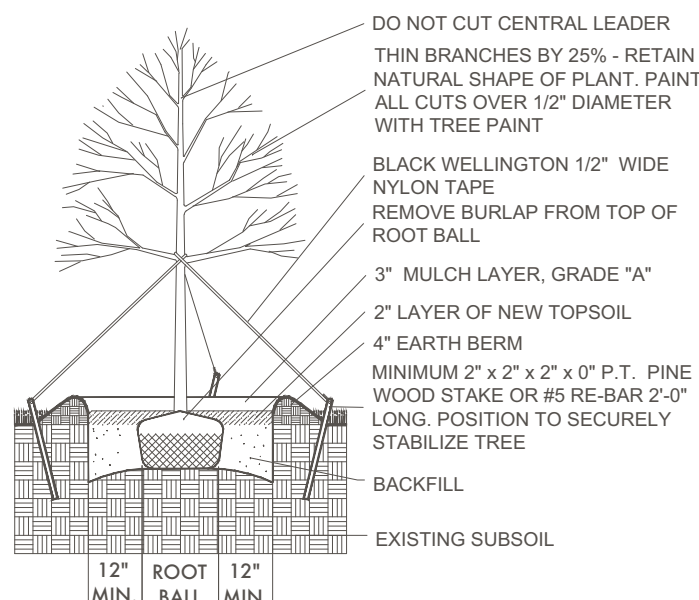
TREES					
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	NATIVE	DESCRIPTION
	CUV	2	*Coccoloba uvifera	YES	16' O.A. HT. 4' CT. STD
			SEAGRAPE		F.G.
	CER	133	*Conocarpus erectus	YES	16' O.A. HT. 4' CT. STD
	JAM	OPT	GREEN BUTTONWOOD		F.G. SPECIMEN.
			Jacaranda mimosifolia	NO	20' O.A. HT.
	JAM		JACARANDA		F.G. SPECIMEN.
	CDI	2	*Coccoloba diversifolia	YES	18' O.A. HT. 4' CT. STD.
			PIGEON PLUM		F.G.
	MFR	45	*Myrcianthes fragrans	YES	14' OA. HT.
			SIMPSON'S STOPPER		F.G.FULL TO BASE.
	FAU	OPT	Ficus aurea	YES	20' HT.
			STRANGLER FIG		F.G. - CHARACTER TRUNK

PALMS					
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	NATIVE	DESCRIPTION
	CNU	1	Cocos nucifera	NO	20' - 26' GW.
	DCA	OPT	COCONUT PALM		F.G.
			Dypsis cabadae	NO	22' O.A. HT.
	DCA		CABADA PALM		F.G.
	AWR	3	*Acoelorrhaphes wrightii	YES	22' O.A. HT.
			PAUROTIS PALM		F.G.
	SPA	14	*Sabal Palmetto	YES	25' O.A. HT. 20' G.W.
			SABAL PALM		F.G.
	PMA	OPT	Phycosperma macarthurii	NO	14' HT.
			MACARTHUR PALM		F.G. - CHARACTER TRUNK
	RMA	OPT	Ravenala madagascariensis	NO	18' HT.
			TRAVELERS PALM		F.G. - MULTI TRUNK
	PMAC	OPT	Chamaedorea catartarum	NO	5' HT.
			CAT PALM		7 GAL.
	CMI	OPT	Caryota mitis	NO	14' HT.
			FISHTAIL PALM		F.G. - MULTI TRUNK

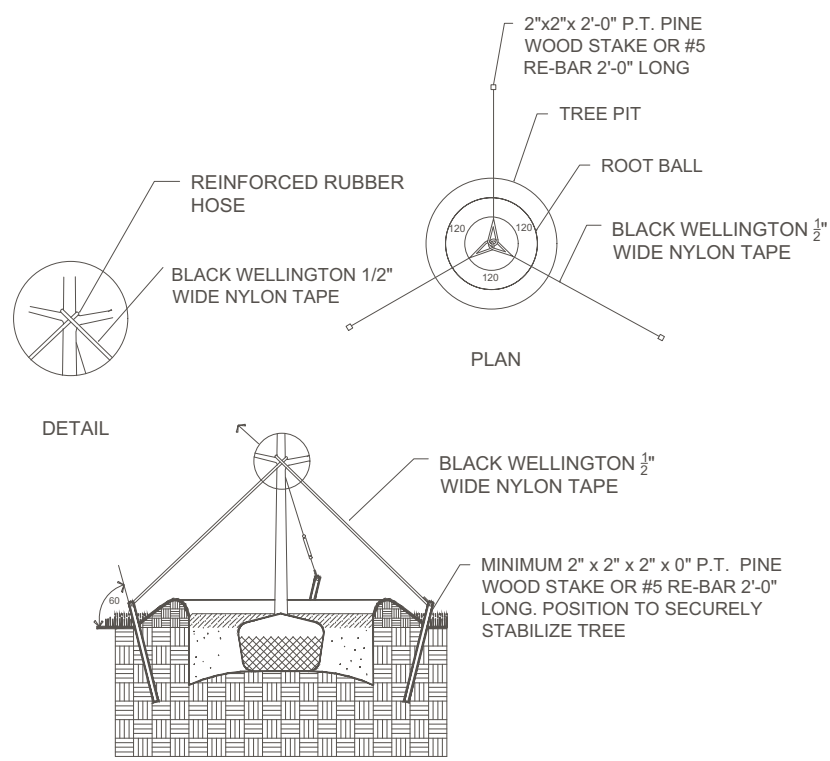
SHRUBS + GROUNDCOVER					
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	NATIVE	DESCRIPTION
	PNE	485	*Psychotria nervosa	YES	24" HT. FULL
	FMI	640	WILD COFFEE		7 GAL.
			Ficus microcarpa 'Green Island'	NO	12" HT. x 12" SPR. FULL
	NBI	124	GREEN ISLAND FICUS		3 GAL.
			Nephrolepis biserrata	YES	24" O.C., 24" SPR. x 24" HT.
	CMA	515	GIANT SWORDFERN		3 GAL.
			Carissa macrocarpa 'Emerald Blanket'	NO	12" O.C.
	PBI	OPT	CARISSA EMERALD BLANKET		3 GAL.
			Philodendron bipinnatifidum	NO	36" O.C., 24" SPR. x 24" HT.
	VOB	OPT	SELLOUM		3 GAL.
			*Viburnum obovatum	YES	4' HT. x 24" SPR.
	TAS	OPT	WALTER'S VIBURNUM		15 GAL.
			Trachelospermum asiaticum 'Minima'	NO	GREEN.
	AGA	OPT	ASIATIC JASMINE		4" CELL.
			Agapanthus	NO	WHITE.
	PAU	210	LILY OF THE NILE		3 GAL.
			Plumbago auriculata 'Alba'	NO	WHITE.
	ZFU	5	WHITE PLUMBAGO		3 GAL.
			Zamia furfuracea	YES	36" O.C.
	CIC	430	CARDBOARD PALM		7 GAL.
			*Chrysobalanus icaco	YES	24" O.C.
	BCA	OPT	COCOPLUM		7 GAL.
			Brugmansia x candida	NO	4' OA. HT. WHITE.
	ELI	410	ANGELS TRUMPET		7 GAL.
			*Ernodea littoralis	YES	18" O.C.
	LIN	250	GOLDEN BEACH CREEPER		1 GAL.
			*Lantana involucrata	YES	18" O.C.
	ZFL	OPT	WILD SAGE		3 GAL. WHITE
			*Zamia floridana	YES	5' O.A. HT. WHITE.
	SBA	OPT	COONTIE		15 GAL.
			*Spartina bakeri	YES	36" O.C. 24" HT.
	PMA	88	SAND CORDGRASS		3 GAL.
			Podocarpus macrophyllus	YES	36" O.C. 24" HT.
			PODOCARPUS		15 GAL.

SOD					
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	NATIVE	DESCRIPTION
	SOD		Zoysia spp.	NO	SOLID EVEN SOD

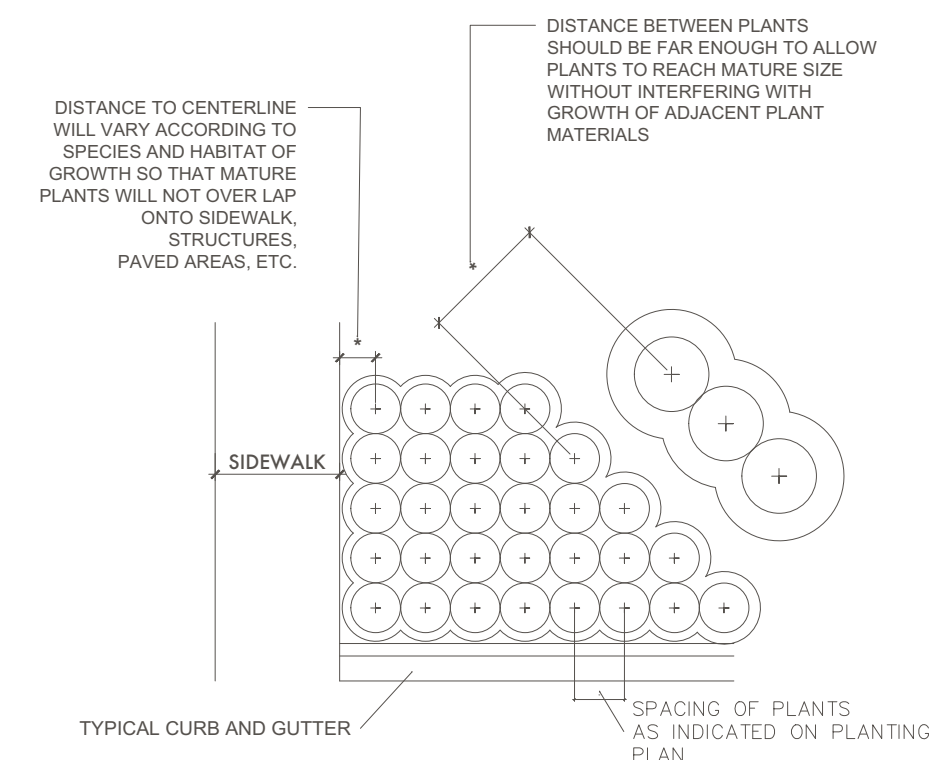
SUPPLIES				
SYMBOL	KEY	QUAN.	PROPOSED MATERIAL	DESCRIPTION
	GRA	CU. FT	PEA GRAVEL	BEIGE.
				3/8"
	MUL	SQ. FT	MULCH	CHOCOLATE BROWN



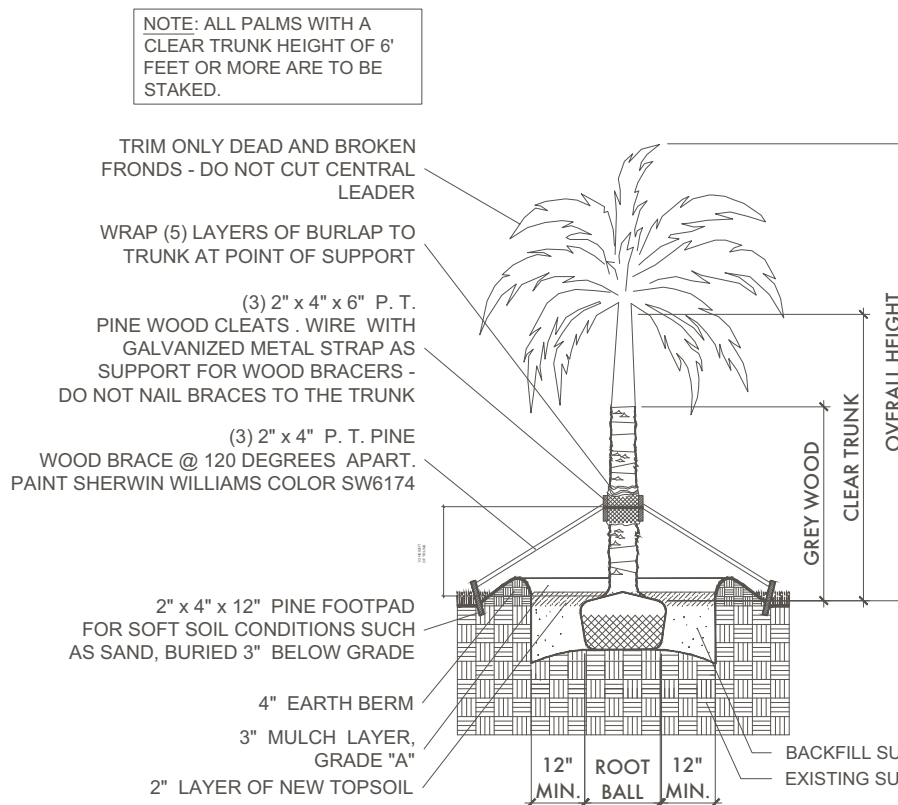
LARGE TREE PLANTING DETAIL



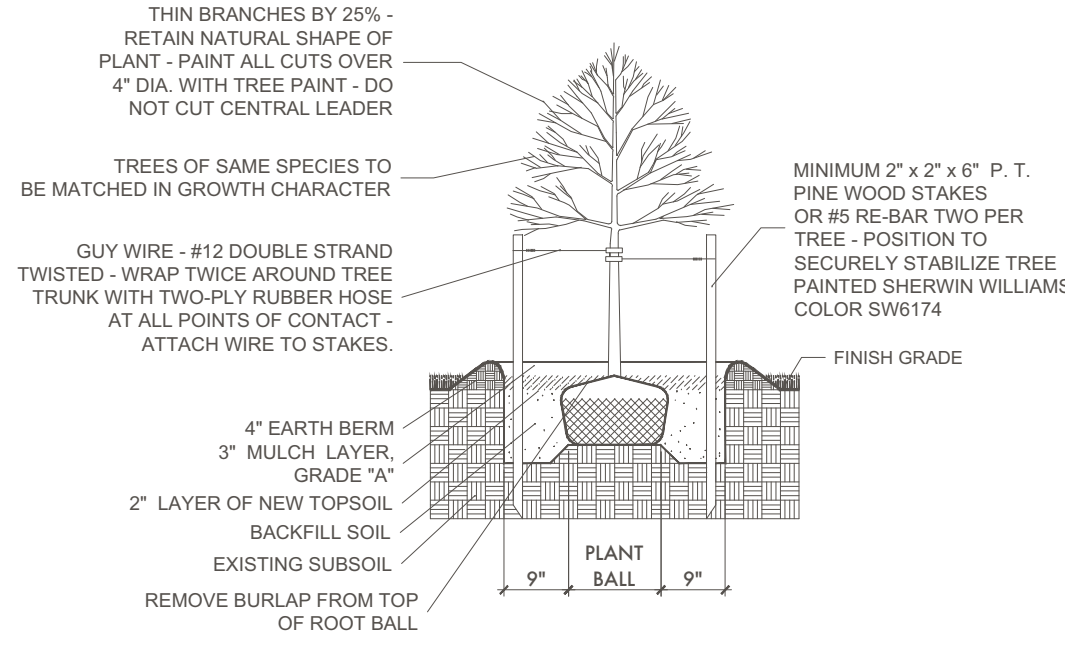
TYPICAL TREE GUYING DETAIL



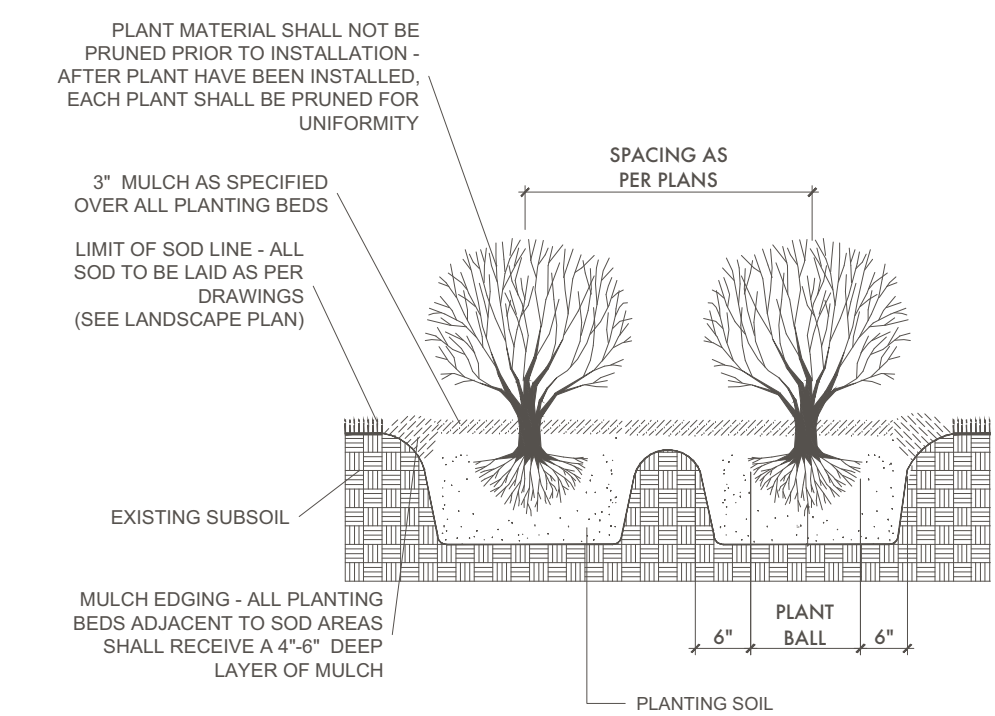
TYPICAL CONTAINER SPACING DETAIL



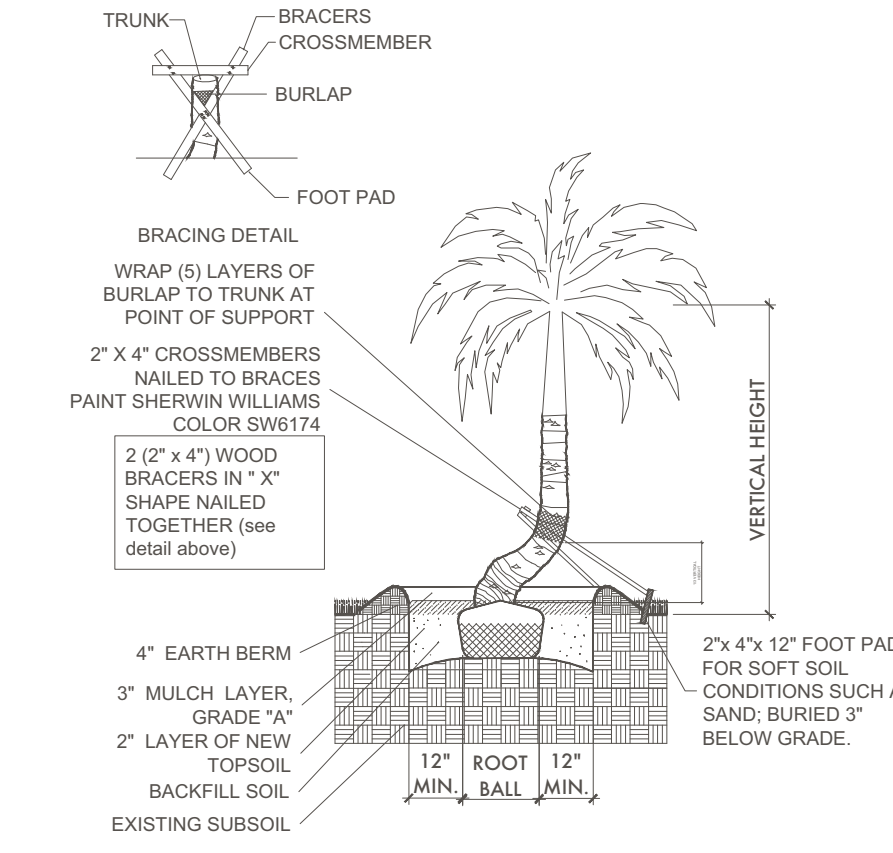
STRAIGHT TRUNK PALM PLANTING DETAIL



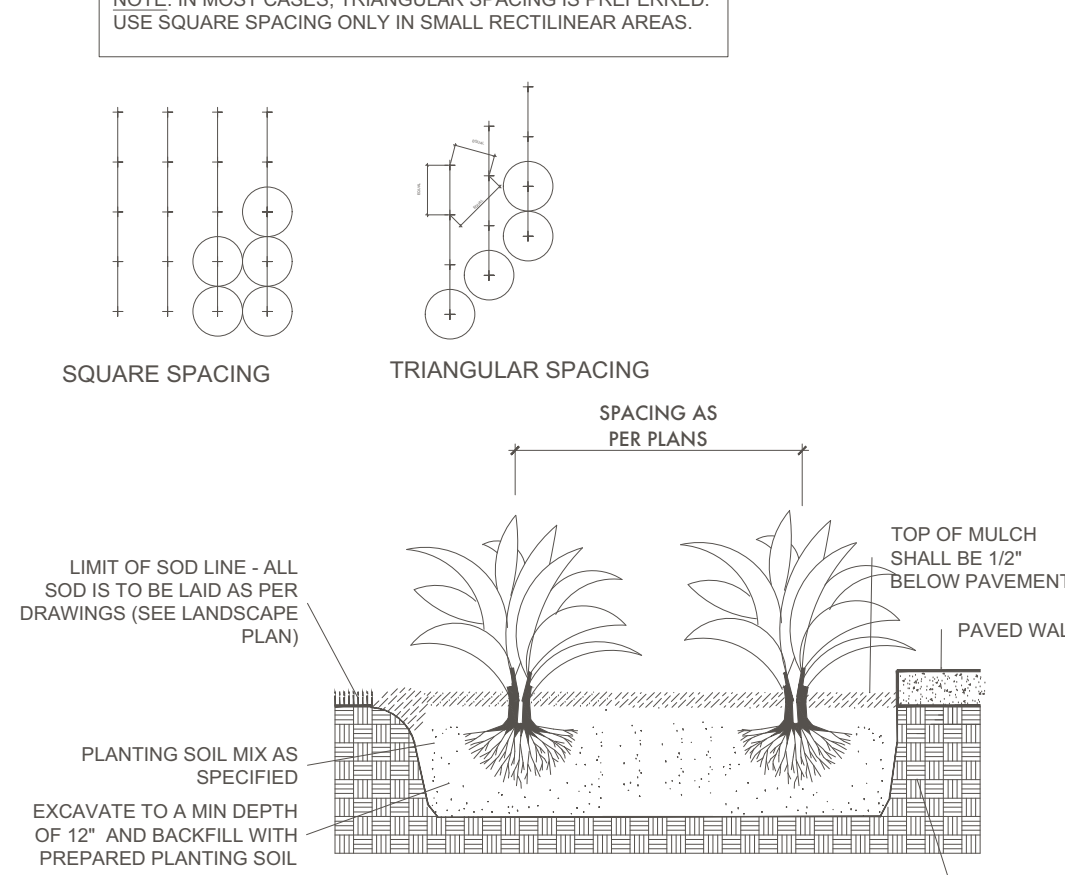
SMALL TREE PLANTING DETAIL



TYPICAL SHRUB PLANTING DETAIL



CURVED TRUNK PALM PLANTING DETAIL



TYPICAL GROUNDCOVER PLANTING DETAIL

GENERAL NOTES

(See plant specification and details for additional standards)

- All plant material is to be Florida Number 1 or better pursuant to the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch, Eucalyptus mulch or equal.
- Planting plans shall take precedence over plant list in case of discrepancies.
- No changes are to be made without the prior consent of the Landscape Architect and Owner. Additions and or deletions to the plant material must be approved by the project engineer.
- Landscape Contractor is responsible for providing their own square footage takeoffs and field verification for 100% sod coverage for all areas specified.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap.
- All trees in lawn areas are to receive a 24" diameter mulched saucer at the base of the trunk.
- No mulch, fill or soil will be placed over the rootballs or within 4" of the trunks of the newly installed trees, and the trees will be installed at or slightly above the soil grade.
- All straps, poles and braces shall be removed from all of the installed trees and palms within the 1-year of planting.
- No changes are to be made without the prior consent of the Landscape Architect, owner, City Urban Forester and City Planning Department. Additions and or deletions to the plant material must be approved per the Project Engineer, City Urban Forester and City Planning Department.
- Trees are to be planted within parking islands after soil is brought up to grade. Deeply set root balls are not acceptable.
- Planting soil for topsoil and backfill shall be 50/50 mix, nematode free. Planting soil for annual beds to be comprised of 50% Canadian peat moss, 25% salt free coarse sand and 25% Aerolite.
- Tree and shrub pits will be supplemented with "Agriform Pells", 21 gram size with a 20-10-5 analysis, or substitute application accepted by Landscape Architect. Deliver in manufacturer's standard containers showing weight, analysis and name of manufacturer.
- Tree protection fences shall be constructed prior to any construction activity including grubbing for all trees/palms to remain or be relocated. The fences should be of sturdy construction, 4x4 posts with wire mesh. Fences must be intact until the project is completed. They should not be removed or dropped for any reason without authorization from the city Urban Forester. No activity or disturbance should occur within the fenced areas, including vehicle use, storage of materials, dumping of liquids or materials, grade changes, grubbing and mechanical trenching for irrigation, electrical and lighting, etc.
- Landscape contractor to provide landscape architect photos of all trees and palms prior to installation.
- Landscape contractor to confirm plant quantities.
- Landscape contractor to advise landscape architect if plant description minimums are not met.
- The Landscape Contractor is to locate and verify all underground and overhead utilities prior to beginning work. Contact proper utility companies and / or General Contractor prior to digging for field verification. The Owner and the Landscape Architect shall not be responsible for any damages to utility or irrigation lines (see Roadway Plans for more utility notes).
- Landscape Contractor is to verify all current drawings and check for discrepancies and bring to the attention of the Landscape Architect prior to commencing with the work.
- All unattended and unplanted tree pits are to be properly barricaded and flagged during installation.
- All planting plans are issued as directives for site layout. Any deviations, site changes, etcetera are to be brought to the attention of the Landscape Architect for clarification prior to installation.

REVISIONS / SUBMISSIONS	
	Town Comment 23.08.16
	Site Plan Revised 23.10.31

DES RUISSEAU

800 S. COUNTY RD. PALM BEACH, FL 33480

LSCP SCHEDULE, NOTES, & DETAILS

OWNER

FERNANDO WONG

OUTDOOR LIVING DESIGN

DRAWN BY:

CHECKED BY:

DATE: Oct. 31, 2023

SCALE: 1/16" = 1'-0"

ZON-22-100
COA-22-035

L-101

LEGEND

- A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
B.F.P. = BACKFLOW PREVENTER
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
D/W. = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
FFE = FINISH FLOOR ELEVATION
FND. = FOUND
F.O.C. = FACE OF CURB
G.M. = GAS METER
G.M.P. = GATE MOTOR PAD
INV. = INVERT
K.P. = KEY PAD
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETTIC VERTICAL DATUM
N.P.B.C.I.D.= NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORD BOOK
O/S = OFFSET
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.C.P. = PERMANENT CONTROL POINT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O. = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R. = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R/W. = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D. = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D.= SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
S/W. = SIDEWALK
T.O.B. = TOP OF BANK
TOW. = TOP OF WALL ELEVATION
TWP. = TOWNSHIP
TYP. = TYPICAL
U/C. = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
= BASELINE
= CENTERLINE
= CENTRAL ANGLE/DELTA
= CONCRETE MONUMENT FOUND (AS NOTED)
= CONCRETE MONUMENT SET (LB #4569)
= ROD & CAP FOUND (AS NOTED)
= 5/8" ROD & CAP SET (LB #4569)
= IRON PIPE FOUND (AS NOTED)
= IRON ROD FOUND (AS NOTED)
= NAIL FOUND
= NAIL & DISK FOUND (AS NOTED)
= MAG NAIL & DISK SET (LB #4569)
= PROPERTY LINE
= UTILITY POLE
= FIRE HYDRANT
= WATER METER
= WATER VALVE
= LIGHT POLE
= TREE

Boundary Survey For:
ANN DES RUISSEAUX AND JOHN O.
PICKETT III, AS CO-TRUSTEES OF THE
DES RUISSEAUX LAND TRUST DATED
12/6/2019

TITLE COMMITMENT REVIEW						
CLIENT: TD Bank, N.A., its successors and/or assigns, as their interest may appear		COMMITMENT NO. : 1328689		DATE: 10/03/22		
REVIEWED BY: Craig Wallace		JOB NO. : 19-1454.46				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-4	N/A	Standard Exceptions.				•
5	ORB 31170, PG 180	First Mortgage from Ann DesRuisseaux and William W. Atterbury, III, as Co-Trustees of the DesRuisseaux Land Trust under Agreement dated December 6, 2019 and Ann DesRuisseaux, individually, to TD Bank, N.A. dated 1/15/2020 recorded 1/21/2020.				•
6	ORB 31170, PG 216	Assignment of Leases and Rents in favor of T.D. Bank, N.A., recorded January 21, 2020.				•
7	ORB 3311, PG 555	Certificate of Notification of Designation of Certain Properties as landmarks. (Parcel 1)	•			
8	ORB 5770, PG 1412	Drainage Easement Deed with State of Florida for the use and benefit of the State of Florida Department of Comcast Corporation and the Town of Palm Beach.	•			
9	ORB 32338, PG 27	Underground Easement (Individual) to Florida Power and Light Company; Bellsouth Telecommunications, LLC, Comcast Corporation and the Town of Palm Beach.	•			
10-11	N/A	Standard Exceptions.				•
12	ORB 31018, PG 113	Beach Access Easement Agreement (grants access rights to theBeach Access Easement Agreement (grants access rights to the Atlantic Ocean over Parcels lying East of S. Ocean Blvd. (far outside of the surveyed property)		•		
13	ORB 31661, PG 1534	Unity of Title.		•		

NOTES:

- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1328689, issued by American Land Title Association Commitment, dated October 3, 2022. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

Ann Des Ruisseaux and John O. Pickett III, as Co-Trustees of the Des Ruisseaux Land Trust dated 12/6/2019
TD Bank, N.A., its successors and/or assigns, as their interest may appear
Old Republic National Title Insurance Company
Gunster Yoakley & Stewart, P.A.

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

800 S. County Road
Palm Beach, FL 33480

LEGAL DESCRIPTION:

Parcel 1:

The South 200.00 feet of the North 691.52 feet of Government Lot 1, Section 35, Township 43 South, Range 43 East, lying West of County Road, Palm Beach, Florida, less the South 151.68 feet of the East 131.53 feet as measured at right angles thereto; ALSO LESS: a portion of land lying immediately West of an adjacent to the East 131.53 feet of the South 151.68 feet of the North 691.52 feet of Government Lot No. 1, lying West of South County Road, located in Section 35, Township 43 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows: (NOTE: The North line of Government Lot No. 1, aforesaid is assumed to bear due East and all other bearings herein are relative thereto.) Beginning at the Southwest corner of said 131.52 feet parcel; thence due West a distance of 4.91 feet; thence due North a distance of 151.68 feet; thence due East a distance of 17.75 feet to the Northwest corner of aforesaid 131.53 feet parcel; thence South 04°50'18" West, along the West line of said 131.53 feet parcel, a distance of 152.22 feet to the POINT OF BEGINNING.

AND

Parcel 2:

The South 151.68 feet of the East 131.53 feet as measured at right angles thereto of the South 200 feet of the North 691.52 feet of Government Lot 1, Section 35, Township 43 South, Range 43 East, lying West of South County Road, Palm Beach County, Florida.
Together with a portion of land lying immediately West of and adjacent to the East 131.53 feet of the South 151.68 feet of the North 691.52 feet of Government Lot No. 1, lying West of South County Road, located in Section 35, Township 43 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows: (Note: The North line of Government Lot No. 1, aforesaid is assumed to bear due East and all other bearings herein are relative thereto.) Beginning at the Southwest corner of said 131.52-foot parcel; thence due West a distance of 4.91 feet; thence due North, a distance of 151.68 feet; thence due East a distance of 17.75 feet to the Northwest corner of aforesaid 131.53-foot parcel; thence South 04°50'18" West along the West line of said 131.53-foot parcel, a distance of 152.22 feet to the POINT OF BEGINNING.

FLOOD ZONES:

This property is located in Flood Zones AE (EL. 11) & X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0583F, dated 10/05/2017.

CERTIFICATION:

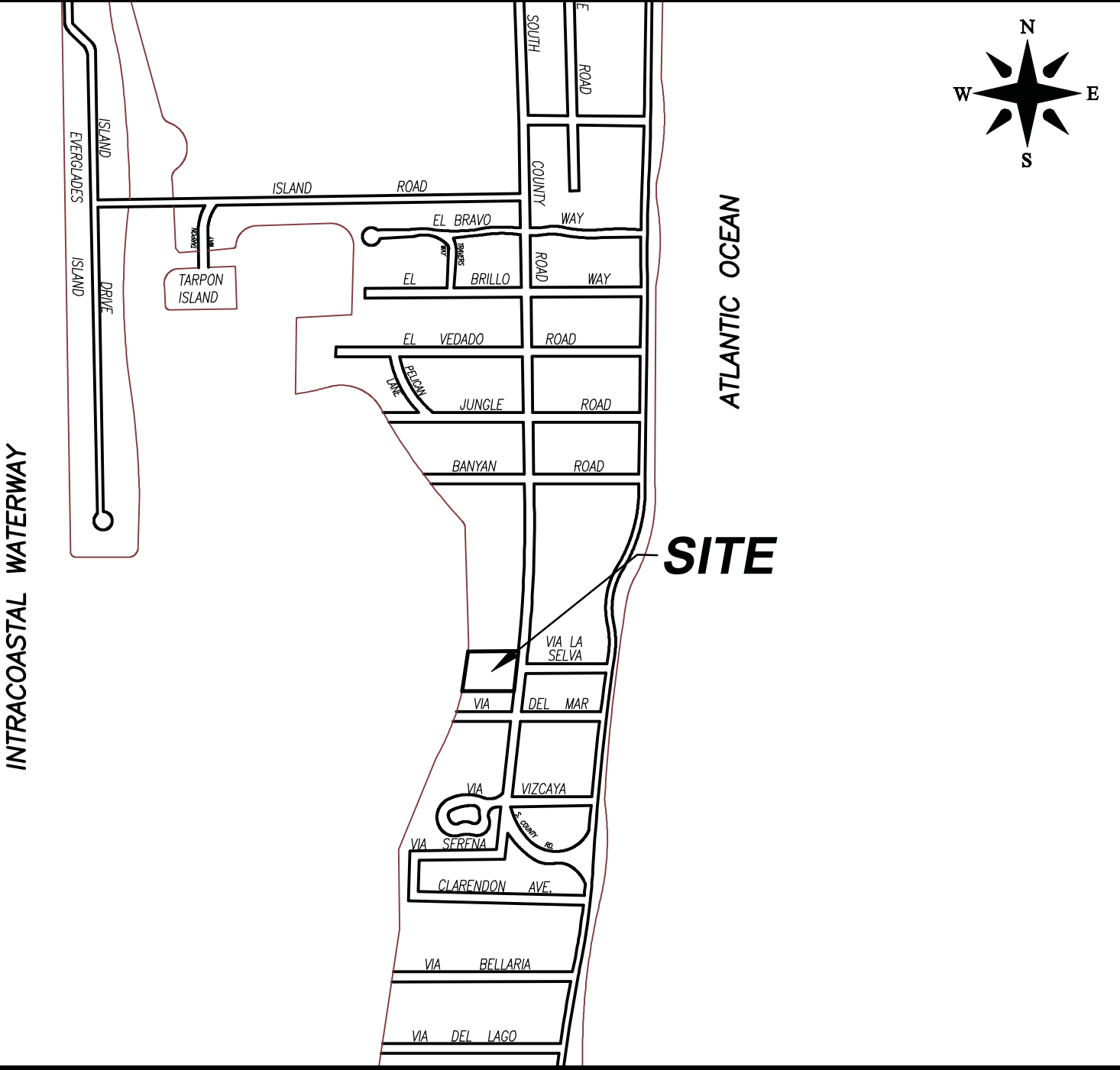
I HEREBY ATTEST that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 10/18/2022



Craig L. Wallace

Professional Surveyor and Mapper
Florida Certificate No. 3357



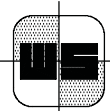
VICINITY SKETCH
(NOT TO SCALE)

REVISIONS:

05/04/23 ELEVATIONS ALONG NORTH PROPERTY LINE B.M./M.B. 19-1454.49 PB34741
10/18/22 SURVEY & TIE-IN UPDATE B.M./S.W. 19-1454.46 PB34047
09/10/22 FFE & SOFFIT ELEVATIONS J.O./S.W. 19-1454.44 PB33840
08/01/22 FORMBOARD TIE-IN J.C./M.B. 19-1454.41 PB32980
03/02/22 FORMBOARD TIE-IN J.C./S.W. 19-1454.35 PB32825
01/14/22 LOCATE RELIC SUBMERGED STEPS C.E./S.W. 19-1454.34 PB30476
12/22/21 TIE-IN NEW BULKHEAD & SHEETPILE J.C./S.W. 19-1454.33 PB32622
09/23/21 2ND STORY FINISH FLOOR ELEVATIONS B.M./M.B. 19-1454.31 PB32037
05/19/21 TIE-BEAM AND SPOT ELEVATIONS J.O./M.B. 19-1454.24 PB31313
03/13/21 FORMBOARD TIE-IN J.P./M.B. 19-1454.21 PB30833
01/08/21 STEMWALL FORMS TIE-IN J.P./S.W. 19-1454.18 PB30522
12/12/20 FOOTER FORM TIE-IN J.P./M.B. 19-1454.17 PB30263
RECEIPTIFY S.W. 19-1454.4
02/12/20 ROOF PEAK & SOFFIT B.M./S.W. 19-1454.5 PB29150
05/07/20 TREE TIE-IN J.C./S.W. 19-1454.6 PB28348
05/15/20 REMOVE ROOF PEAK & SOFFIT ELEVATIONS S.W. 19-1454.6
07/25/20 TIE-IN DRAINAGE CURB J.P./S.W. 19-1454.9 PB28836
10/22/20 SPOT ELEVATION J.C./S.W. 19-1454.9 PB30031
11/05/20 BULKHEAD, PIERHEAD LINES & DETAIL S.W. 19-1454.14

Boundary Survey For:

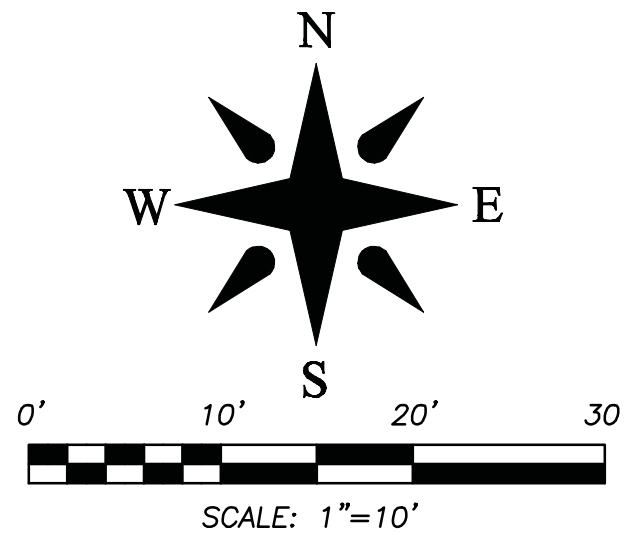
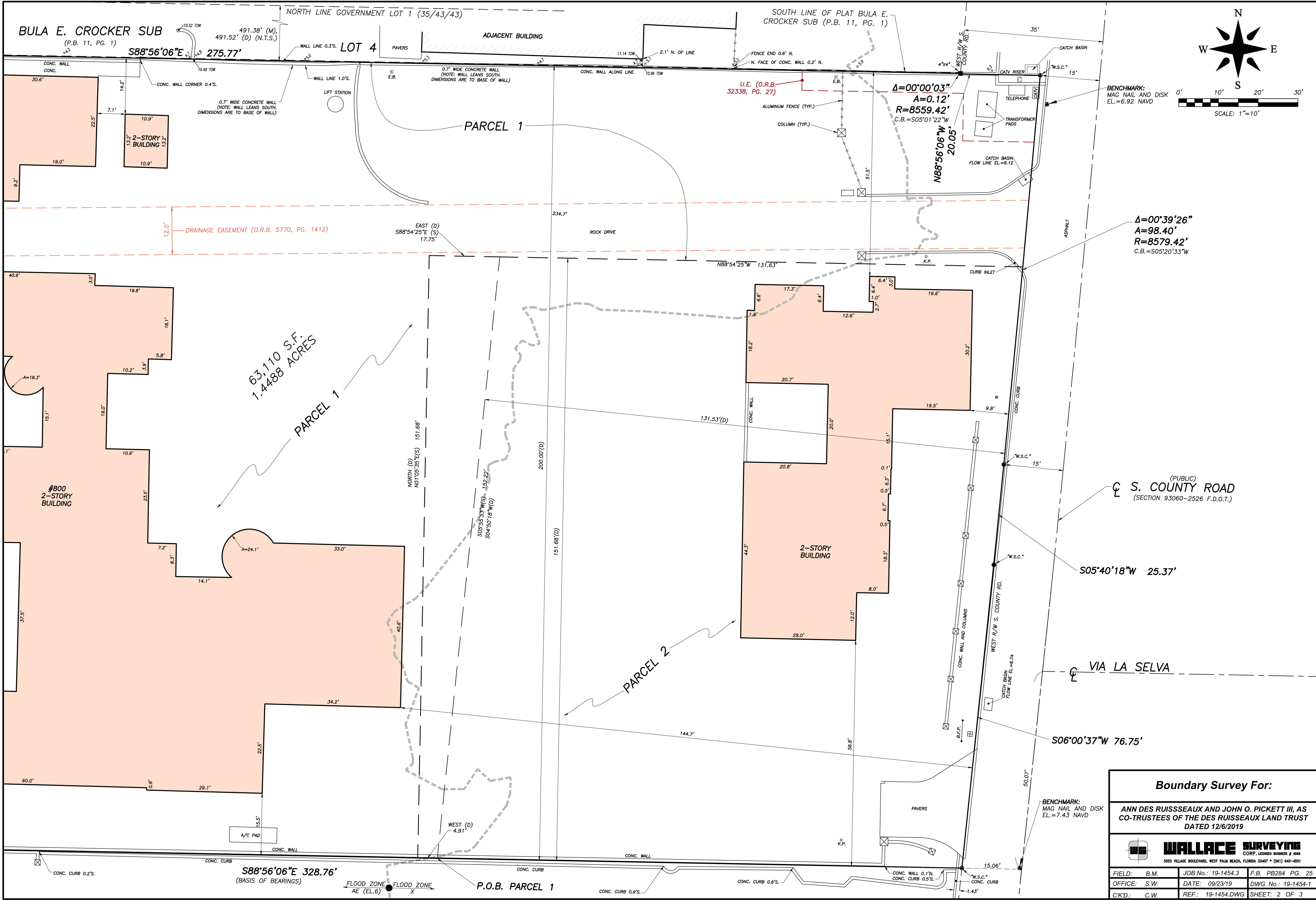
ANN DES RUISSEAUX AND JOHN O. PICKETT III, AS
CO-TRUSTEES OF THE RUISSEAUX LAND TRUST
DATED 12/6/2019



WALLACE SURVEYING

CORP., LICENSED BUSINESS # 4569
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551

FIELD:	B.M.	JOB No.:	19-1454.3	F.B.	PB284	PG.	25
OFFICE:	S.W.	DATE:	09/23/19	DWG. No.:	19-1454-1		
C'K'D.:	C.W.	REF.:	19-1454.DWG	SHEET:	1	OF	3



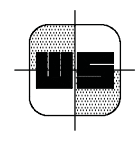
$\Delta=00^{\circ}39'26''$
 $A=98.40'$
 $R=8579.42'$
 $C.B.=S05^{\circ}20'33''W$

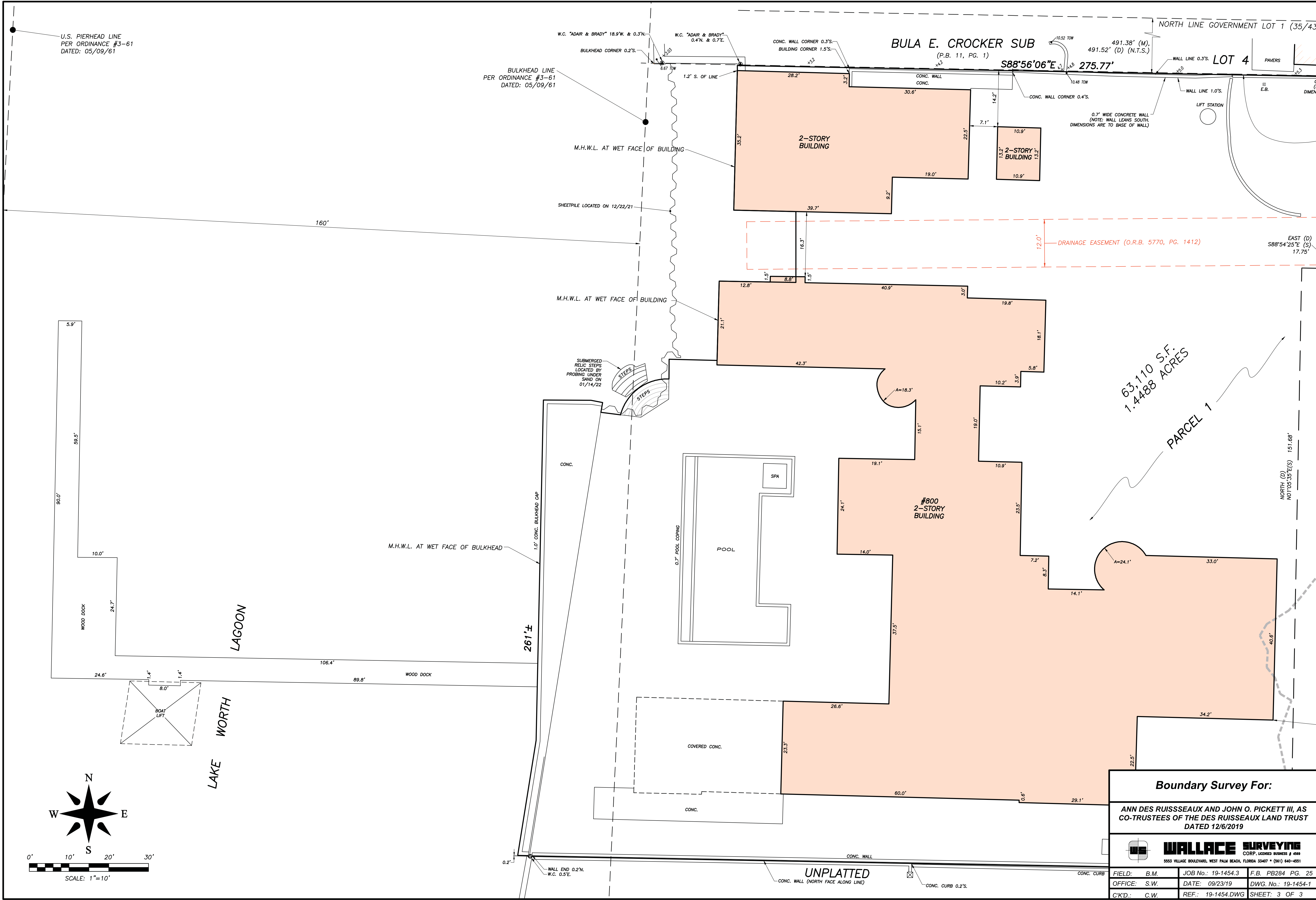
(PUBLIC)
S. COUNTY ROAD
(SECTION 93060-2526 F.D.O.T.)

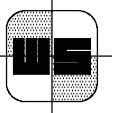
$S05^{\circ}40'18''W$ 25.37'

VIA LA SELVA

$S06^{\circ}00'37''W$ 76.75'

Boundary Survey For:			
ANN DES RUISSEAUX AND JOHN O. PICKETT III, AS CO-TRUSTEES OF THE DES RUISSEAUX LAND TRUST DATED 12/6/2019			
 WALLACE SURVEYING CORP., LICENSED BUSINESS # 4569 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551			
FIELD:	B.M.	JOB No.:	19-1454.3
OFFICE:	S.W.	DATE:	09/23/19
C/K'D.:	C.W.	REF.:	19-1454.DWG
F.B.:	PB284	PG.:	25
DWG. No.:	19-1454-1	SHEET:	2 OF 3



Boundary Survey For:			
ANN DES RUISSEaux AND JOHN O. PICKETT III, AS CO-TRUSTEES OF THE DES RUISSEaux LAND TRUST DATED 12/6/2019			
<div><div></div><div>WALLACE SURVEYING CORP., LICENSED BUSINESS # 4569 5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 640-4551</div></div>			
FIELD:	B.M.	JOB No.:	19-1454.3
OFFICE:	S.W.	DATE:	09/23/19
C/K'D.:	C.W.	REF.:	19-1454.DWG
F.B.	PB284	PG.	25
DWG. No.:	19-1454-1		
SHEET:	3 OF 3		