

ARCOM JANUARY 24, 2024
PRESENTATION REV. 01
PROPOSED ADDITIONS AT:
247 WORTH AVENUE

TOWN OF PALM BEACH

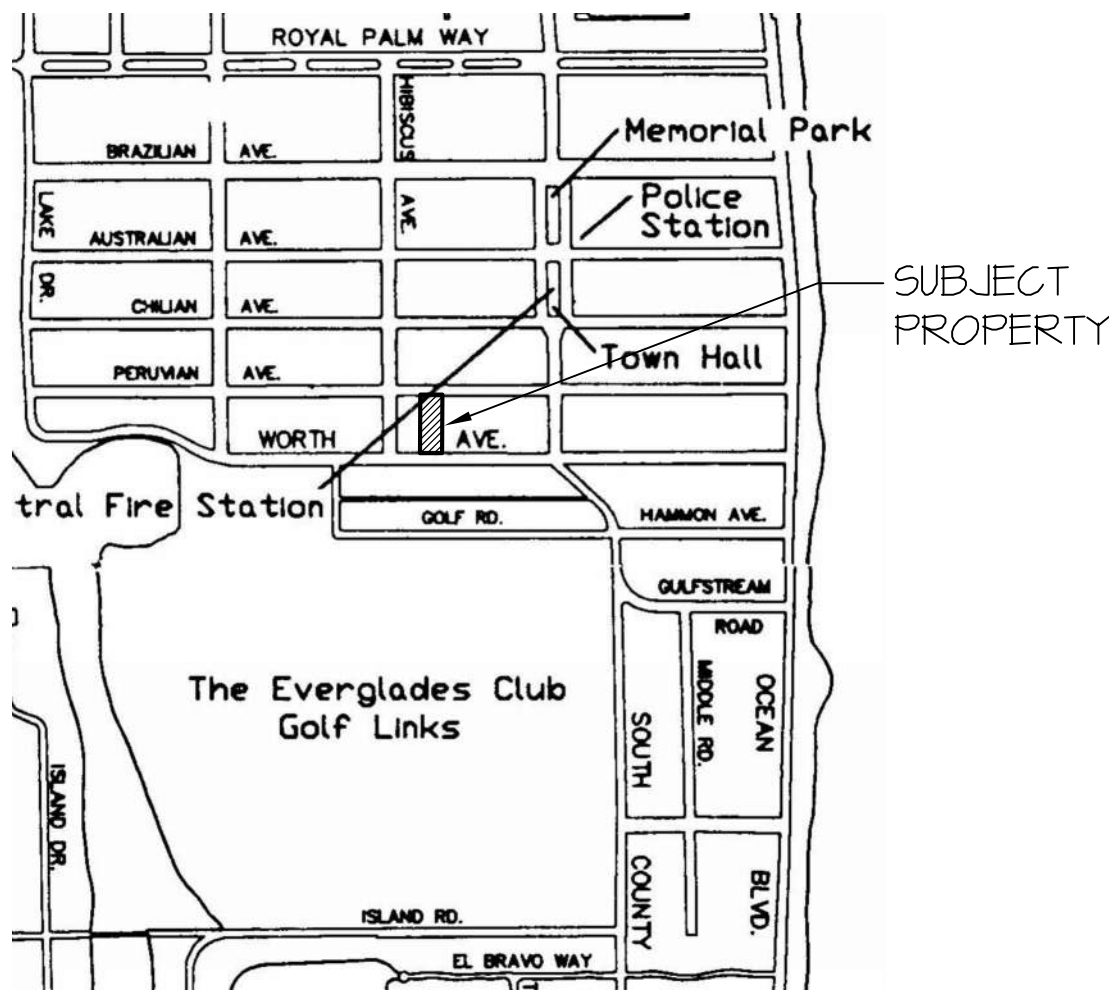
PALM BEACH COUNTY, FLORIDA

ARC-23-094 ZON-23-072

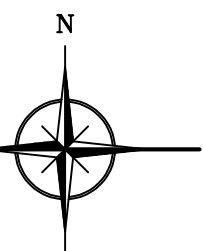
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LOCATION MAP
PALM BEACH, FL
N.T.S.



CONSULTANTS AND ENGINEERS:

		SURVEYOR: WALLACE SURVEYING CORP. 5553 VILLAGE BLVD. WEST PALM BEACH, FL 33401 561.640.4551	CIVIL ENGINEER: KIMLEY-HORN 477 S. ROSEMARY #215 WEST PALM BEACH, FL 33401 561.840.0848	LANDSCAPE ARCHITECT: ENVIRONMENT DESIGN GROUP 139 N. COUNTY ROAD, SUITE 20B PALM BEACH, FL 33480 561-832-4600	STRUCTURAL ENGINEER: BOTKIN PARSSI & ASSOC. 2749 EXCHANGE COURT WEST PALM BEACH, FL 33409 561-965-1951	GENERAL CONTRACTOR: BATTEN CONSTRUCTION, INC. 1400 CLARE AVENUE WEST PALM BEACH, FL 33401 561.820.0021	JOB NUMBER: 21-112 ARCOM FIRST SUBMITTAL: 05.11.2023 ARCOM SECOND SUBMITTAL: 05.30.2023, 06.26.2023, 07.31.2023, 08.28.2023 ARCOM FINAL SUBMITTAL: 09.12.2023 TOWN COUNCIL PRESENTATION: 10.11.2023, 11.15.2023 ARCOM PRESENTATION: 12.15.2023, 01.24.2024
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PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001714

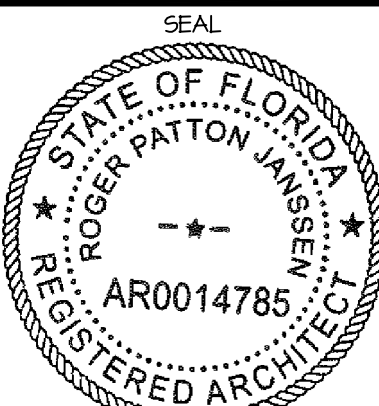
DATE: 08.28.2023
DRAWN: MJS

REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL
- 10.21.2023 TC STAIR OPTION
- 12.04.2023 ARCOM SUBMITTAL
- 01.24.2024 ARCOM RI

ARC-23-094 ZON-23-072

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ROGER P. JANSSEN AR-14785

DRAWING NO.

A-0.00

JOB NUMBER: 21-112



- FLOOD ZONE:**

This property is located in Flood Zone AE (EL 6), according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0583F, dated 10/5/2017.

NOTES:

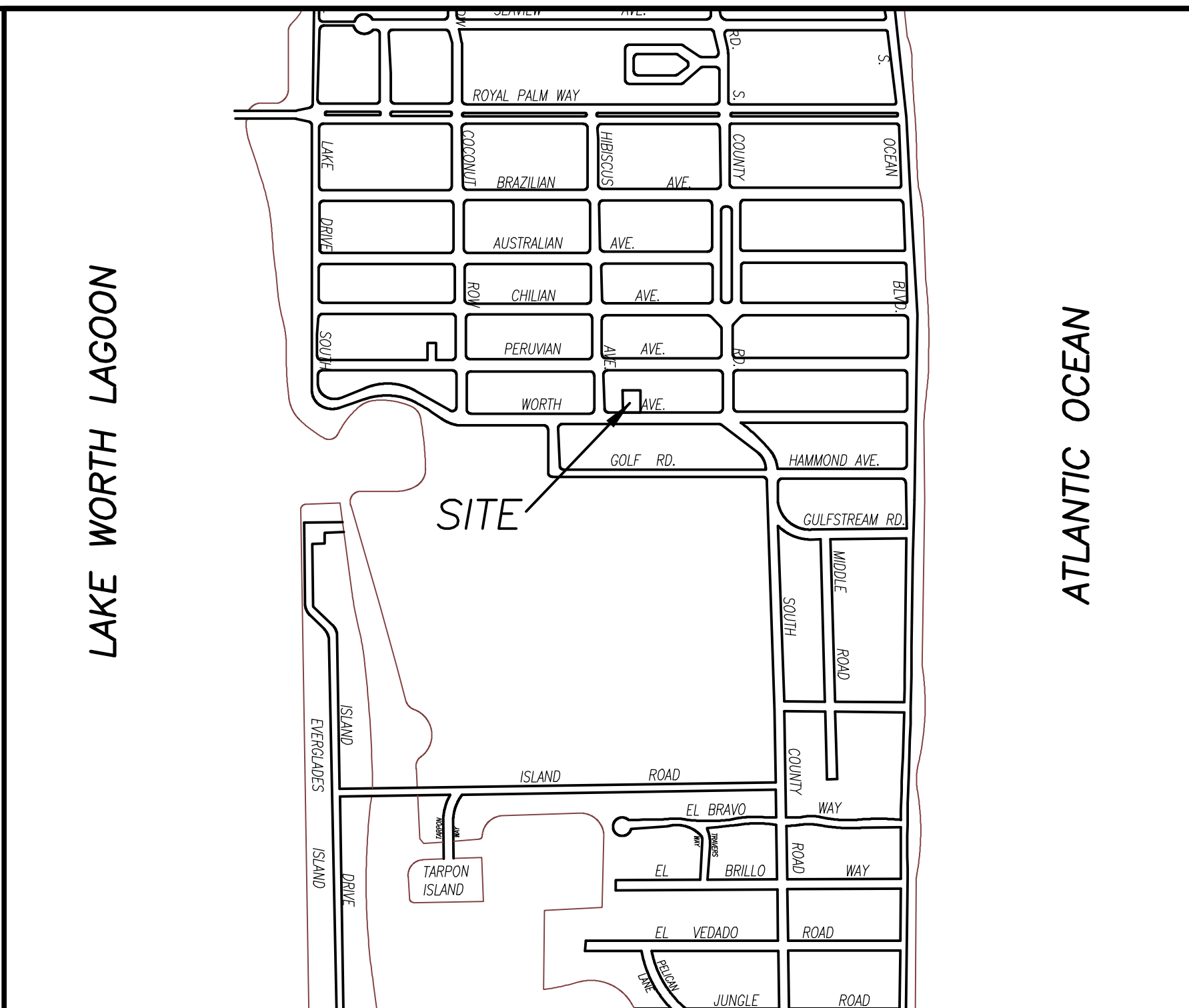
1. No title policy or commitment affecting title or boundary to the subject property has been provided. It is possible there are deeds and easements, recorded or unrecorded, which could affect this survey and boundaries. This office has made no search of the Public Records.
2. Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
3. Description furnished by client or client's agent.
4. Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
5. This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
6. Except as shown, underground and overhead improvements are not located. Underground foundations not located.
7. The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
8. No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
9. Revisions shown hereon do not represent a "survey update" unless otherwise noted.
10. All dates shown within the revisions block hereon are for interface filing use only and in no way affect the date of the field survey stated herein.
11. In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
12. It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
13. The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
14. The expected horizontal accuracy of the information shown hereon is +/- 0.10'.



I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 7/28/2023

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357



VICINITY SKETCH N.T.S.

**BOUNDARY SURVEY FOR:
HOLBROOK REAL ESTATE LLC**

This survey is made specifically and only for the following parties for the purpose of design on the surveyed property.

Holbrook Real Estate LLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:

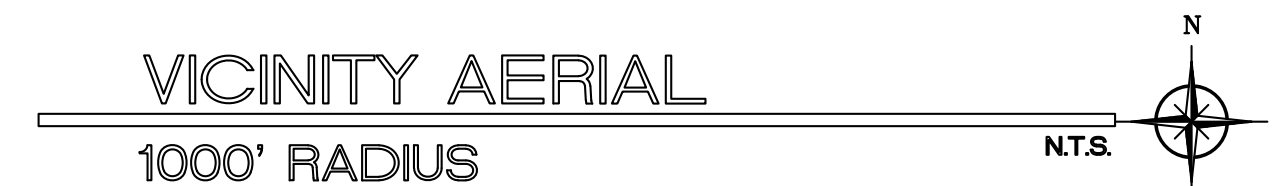
247 Worth Avenue
Palm Beach Fl 33480

LEGAL DESCRIPTION:

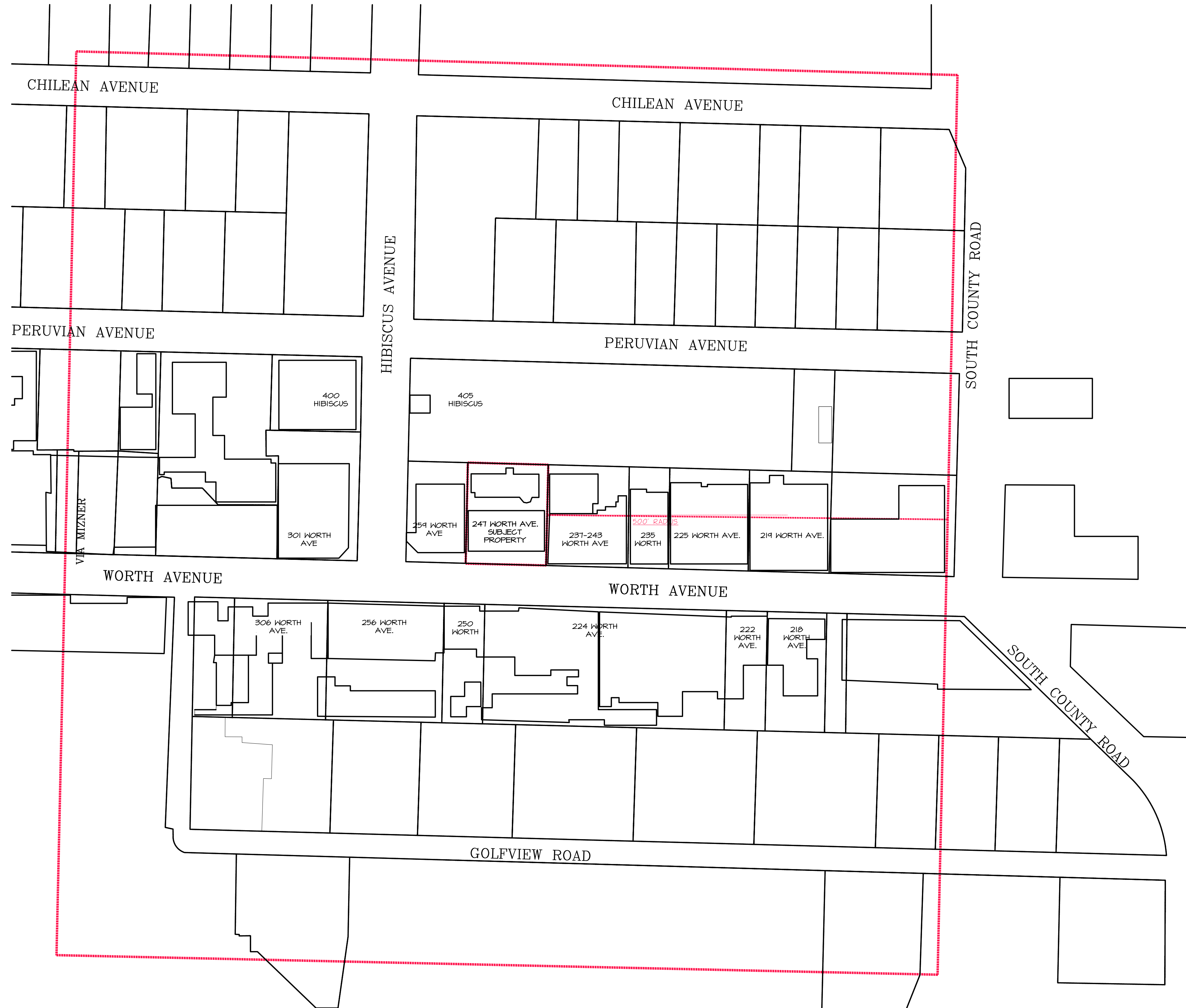
Lots 48, 49, 50 and 5, Block 15, **ROYAL PARK** according to the Map or Plat thereof, as recorded in Plat Book 4, Page 1, Public Records of Palm Beach County, Florida.

BOUNDARY SURVEY FOR:

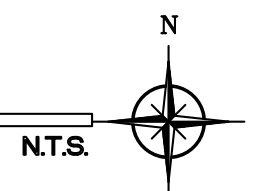
HOLBROOK REAL ESTATE LLC



B NUMBER: 21-172



LOCATION MAP
1000' RADIUS



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH
PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL.: 561-533-4101, LICENSE #AA-C001714

DATE: 05.30.2023

DRAWN: MJS

REVISIONS:

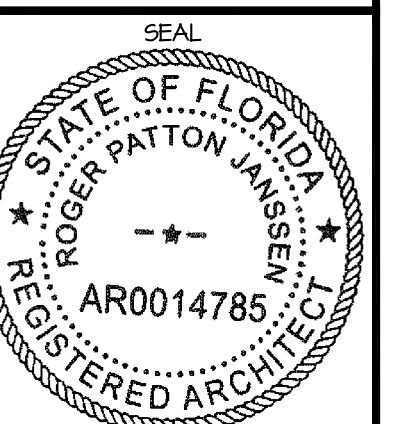
• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

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ROGER P. JANSSEN AR-14785

DRAWING NO.

SP-1.2

JOB NUMBER: 21-112



259 WORTH - 3 STORY
NORTH SIDE WORTH AVENUE



247 WORTH
SUBJECT PROPERTY



247 WORTH
SUBJECT PROPERTY



243 WORTH



235 WORTH



225 WORTH



224 WORTH - 1 & 2 STORY
SOUTH SIDE WORTH AVENUE



224 WORTH - 1 & 2 STORY



224 WORTH - 1 & 2 STORY



224 WORTH - 1 & 2 STORY



250 WORTH - 2 STORY



256 WORTH - 2&3 STORY

NEIGHBORING IMAGES

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH

DAILEY JANSEN ARCHITECTS

PALM BEACH COUNTY, FLORIDA

400 GLENATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #A-C009114

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

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• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.27.2023 TC STAIR OPTION

• 12.04.2023 ARCOM SUBMITTAL

• 01.24.2024 ARCOM RI

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STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER P. JANSEN

AR-141785

DRAWING NO.

SP-1.3 R

JOB NUMBER:

21-172



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE WA-C00914

DATE: 08.28.2023
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STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER PATTON JANSSEN
AR0014785

ROGER P. JANSSEN AR-14785
DRAWING NO.
SP-1.3
JOB NUMBER: 21-172



259 WORTH - 3 STORY
NORTH SIDE WORTH AVENUE



247 WORTH
SUBJECT PROPERTY



247 WORTH
SUBJECT PROPERTY



243 WORTH



235 WORTH



225 WORTH



224 WORTH - 1 & 2 STORY
SOUTH SIDE WORTH AVENUE



224 WORTH - 1 & 2 STORY



224 WORTH - 1 & 2 STORY



224 WORTH - 1 & 2 STORY



250 WORTH - 2 STORY



256 WORTH - 2&3 STORY

NEIGHBORING IMAGES



AERIAL VIEW 200 BLOCK WORTH AVENUE LOOKING EAST
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

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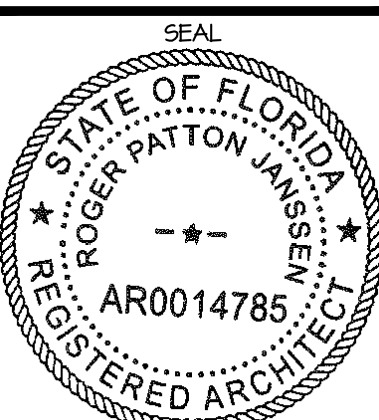
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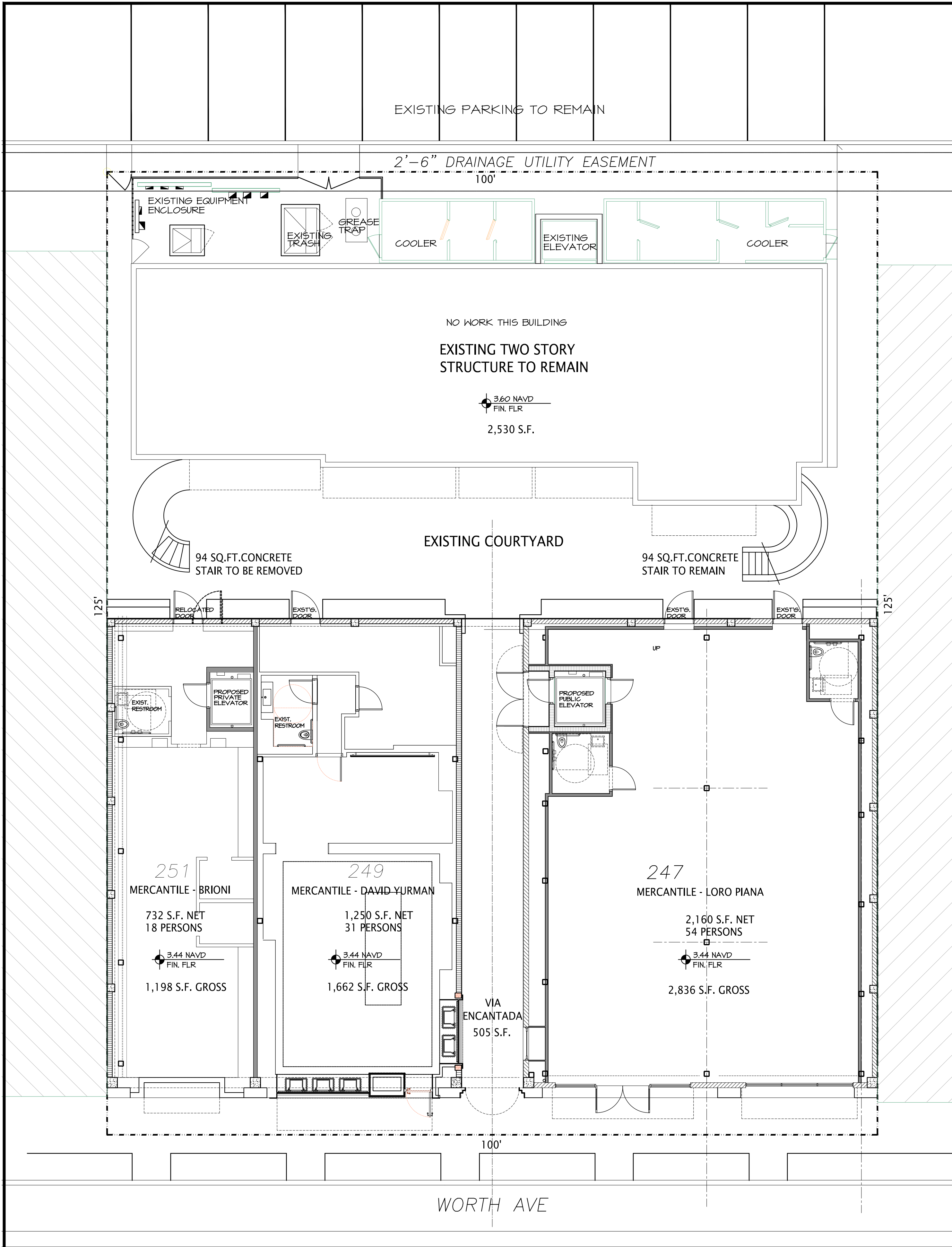
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ROGER P. JANSSEN AR-14785
DRAWING NO.

REN 1

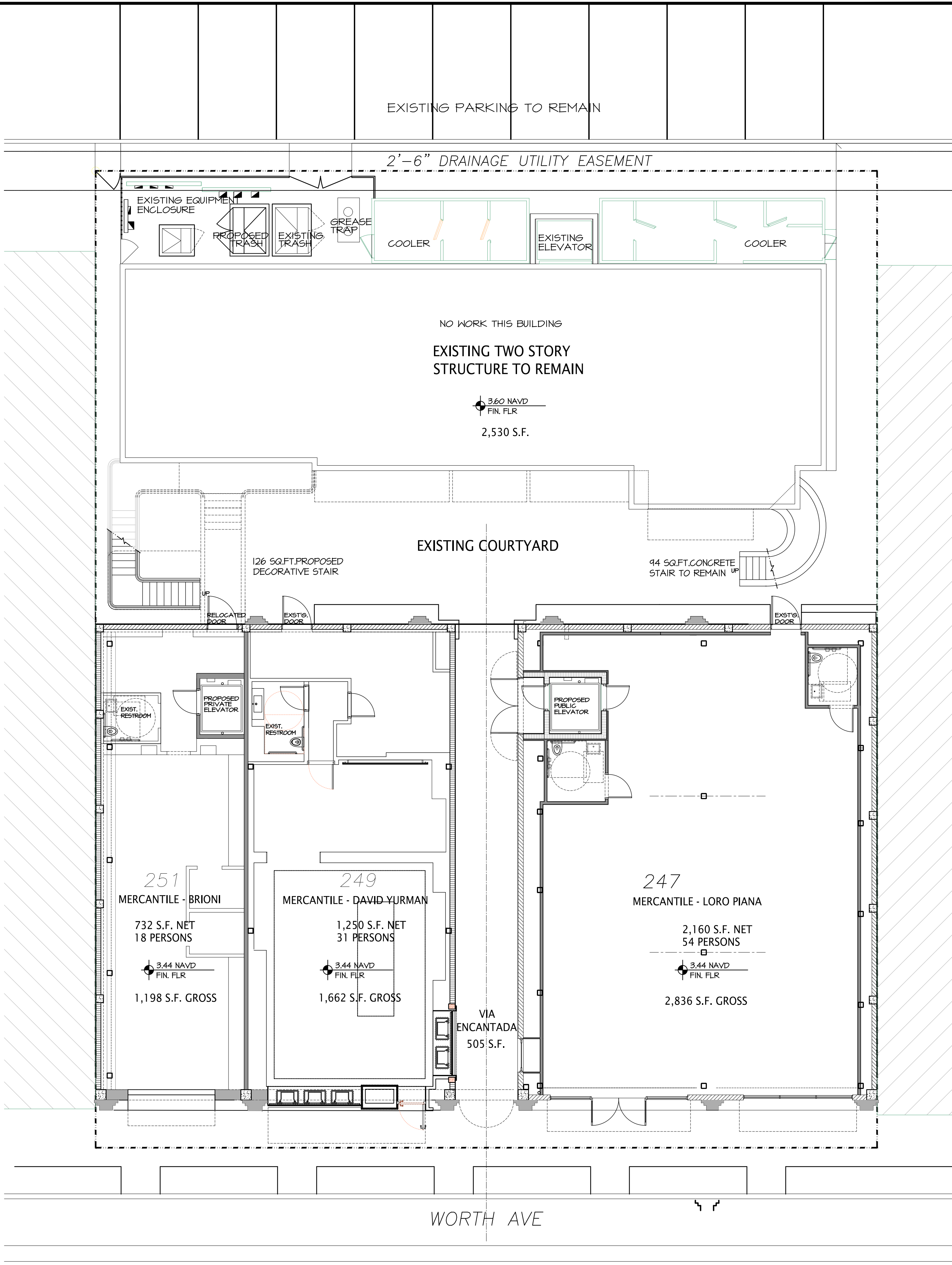
JOB NUMBER: 21-112



OVERALL EXISTING SITE PLAN

COURTYARD STAIR SELECTIVE DEMOLITION

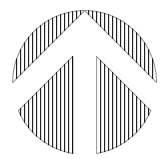
SCALE 1/8" = 1'-0"



PROPOSED OVERALL SITE PLAN

PROPOSED COURTYARD ACCESSIBLE STAIRS

SCALE 1/8" = 1'-0"



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

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- 12.04.2023 ARCOM SUBMITTAL
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-

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STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER PATTON JANSSEN

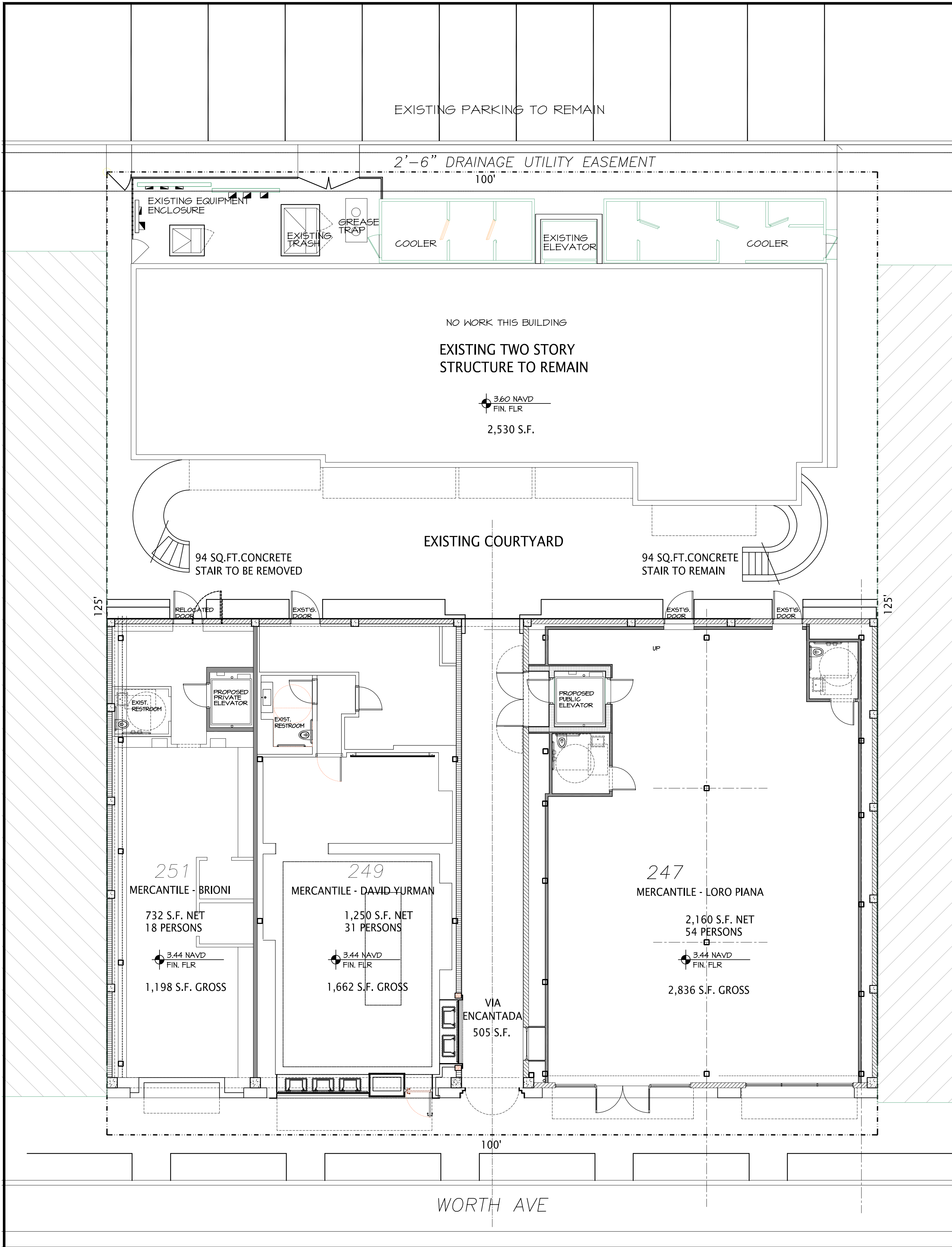
AR0014785

ROGER P. JANSSEN AR-14785

DRAWING NO.

SP-1.01 R

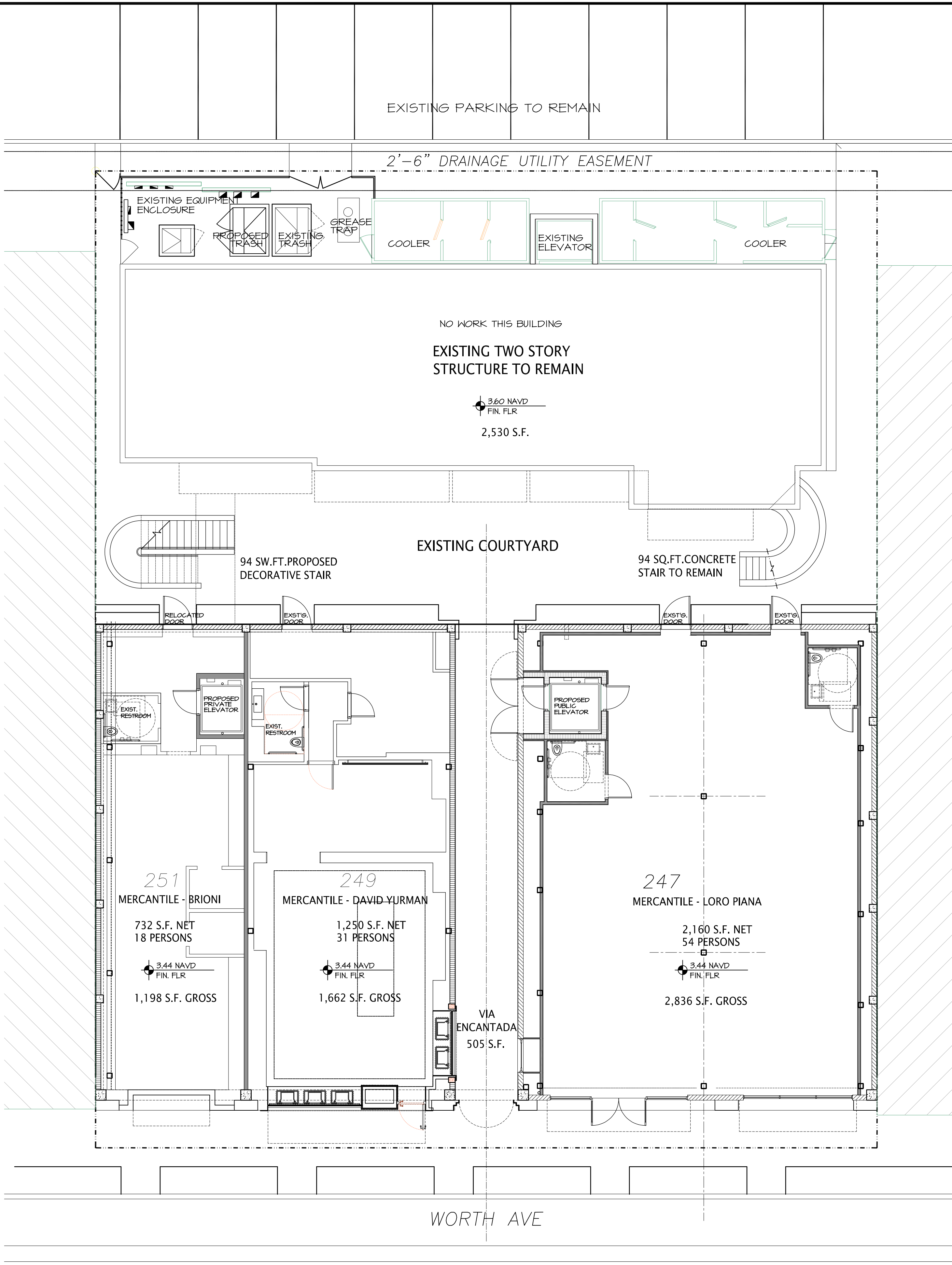
JOB NUMBER: 21-112



OVERALL EXISTING SITE PLAN

COURTYARD STAIR SELECTIVE DEMOLITION

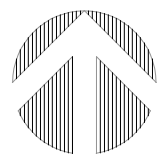
SCALE 1/8" = 1'-0"



OVERALL **PREVIOUS** SITE PLAN

PROPOSED COURTYARD ACCESSIBLE STAIRS

SCALE 1/8" = 1'-0"



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C00174

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STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER PATTON JANSSEN

AR0014785

ROGER P. JANSSEN AR-14785

DRAWING NO.

SP-1.01

JOB NUMBER: 21-112

If value is not changing, enter N/C

[illegible]

11/30/2023

Line #	Zoning Legend			
1	Property Address:	247, 249,251 WORTH AVENUE		
2	Zoning District:	C-WA		
3	Structure Type:	Mixed Use - Mercantile & Residential Frame Second, Third Additions		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	4,000 SF	12,500	NC
6	Lot Depth	90'	125'	NC
7	Lot Width	30'	100'	NC
8	Lot Coverage (Sq Ft and %)	4375 SF (35%)	1st 9,132 SF 73% 2nd 2,423 SF 19.5%	1st 9,631 SF 77% 2nd 8,194 SF 65% 3rd 2,871 SF 23%
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl, Accessory Structures, etc)	15,000 SF MAX	1st 8,658 SF 2nd 2,423 SF Total 11,081 SF	1st 8,658 sf, 2nd 7,457sf 3rd 2,111 sf Total 18,202 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A	N/A
11	*Front Yard Setback (Ft.)	5'	EXISTING	Total 16'-5", 21'-0"
12	* Side Yard Setback (1st Story) (Ft.)	0'	EXISTING	EXISTING
13	* Side Yard Setback (2nd Story) (Ft.)	12"	NA	12"
14	*Rear Yard Setback (Ft.)	10'	EXISTING	2nd flr. Bldg. 58', Stair 44'
15	Angle of Vision (Deg.)	N/A	N/A	N/A
16	Building Height (Ft.)	25'	16'-1" AFF	39.0' NAVD
17	Overall Building Height (Ft.)	35'	17'-7" T.O. PARAPET	41.0' NAVD"
18	Crown of Road (COR) (NAVD)	N/A	3.0' AVG NAVD	N/C
19	Max. Amount of Fill Added to Site (Ft.)	NA	NA	NA
20	Finished Floor Elev. (FFE)(NAVD)	3.44' NAVD	3.44' NAVD	N/C
21	Zero Datum for point of meas. (NAVD)	7' NAVD	N/A	7' NAVD
22	FEMA Flood Zone Designation	AE 6	N/C	N/C
23	Base Flood Elevation (BFE)(NAVD)	6' NAVD	N/C	N/C
24	Landscape Open Space (LOS) (Sq Ft and %)	3,125 S.F. min 25%	503 S.F. 4%	632 S.F. 5%
25	Perimeter LOS (Sq Ft and %)	N/A	N/A	N/A
26	Front Yard LOS (Sq Ft and %)	N/A	N/A	N/A
27	**Native Plant Species %	Please refer to separate landscape legend.		

* Indicate each yard area with cardinal direction (N,S,E,W)

If value is not applicable, enter N/A

12/27/2023

ZONING LEGEND

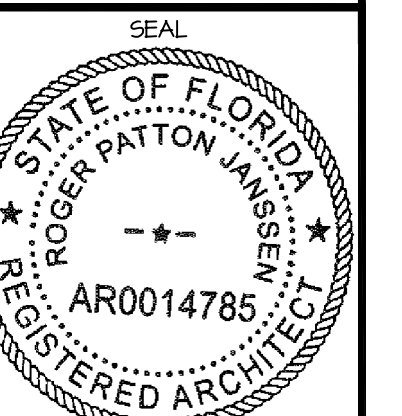
247 WORTH AVENUE

DAILEY JANSSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, NEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C0019174

08.28.2023	
MJ5	
VISIONS;	
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24.24.2024 ARCOM RI	

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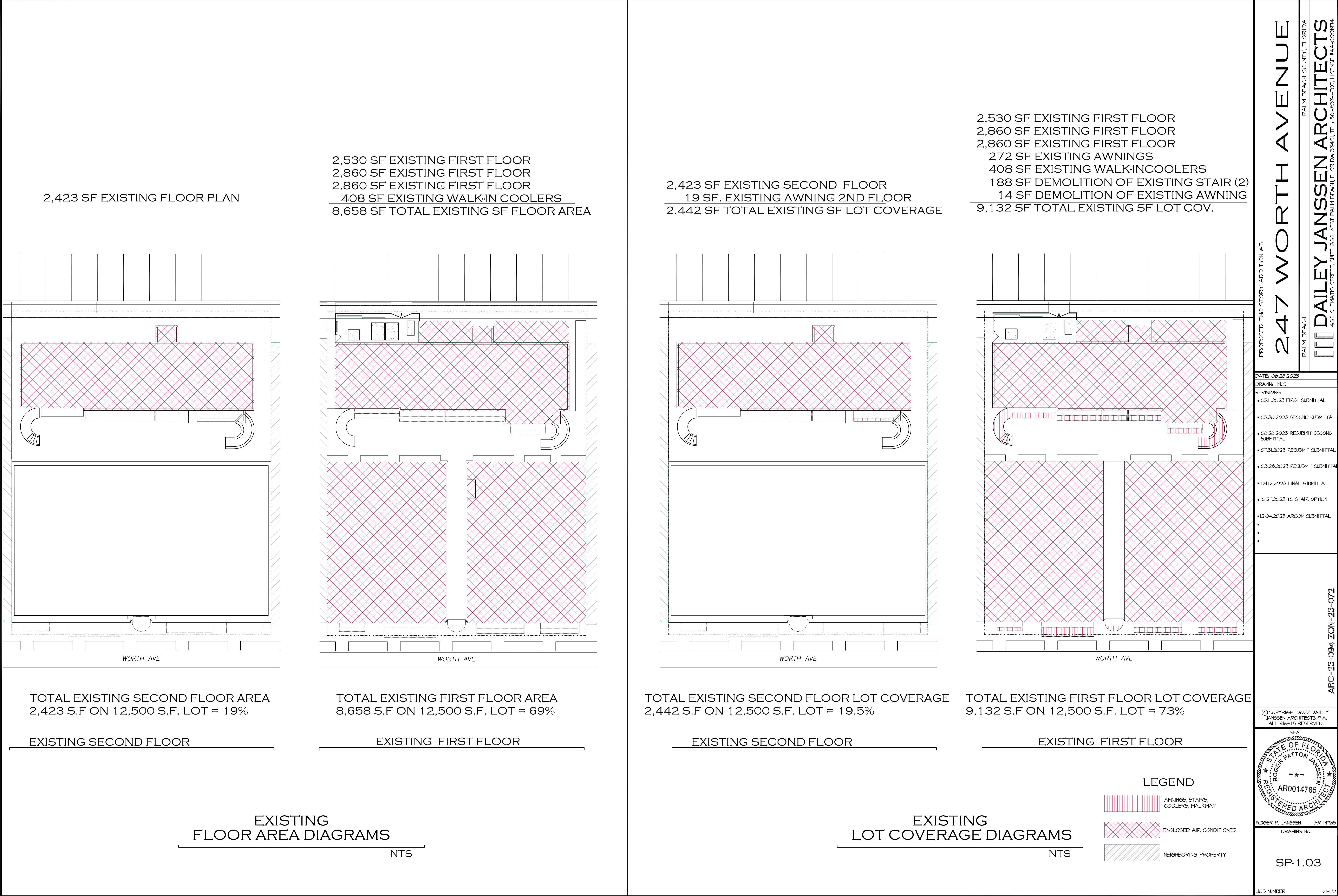


GER P. JANSSEN AR-14785

DRAWING NO.

SP-1.02 R

3 NUMBER: 21-172



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

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10.27.2023 TC STAIR OPTION

12.04.2023 ARCOM SUBMITTAL

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STATE OF FLORIDA

REGISTERED ARCHITECT

ROGER PATTON JANSSEN

AR0014785

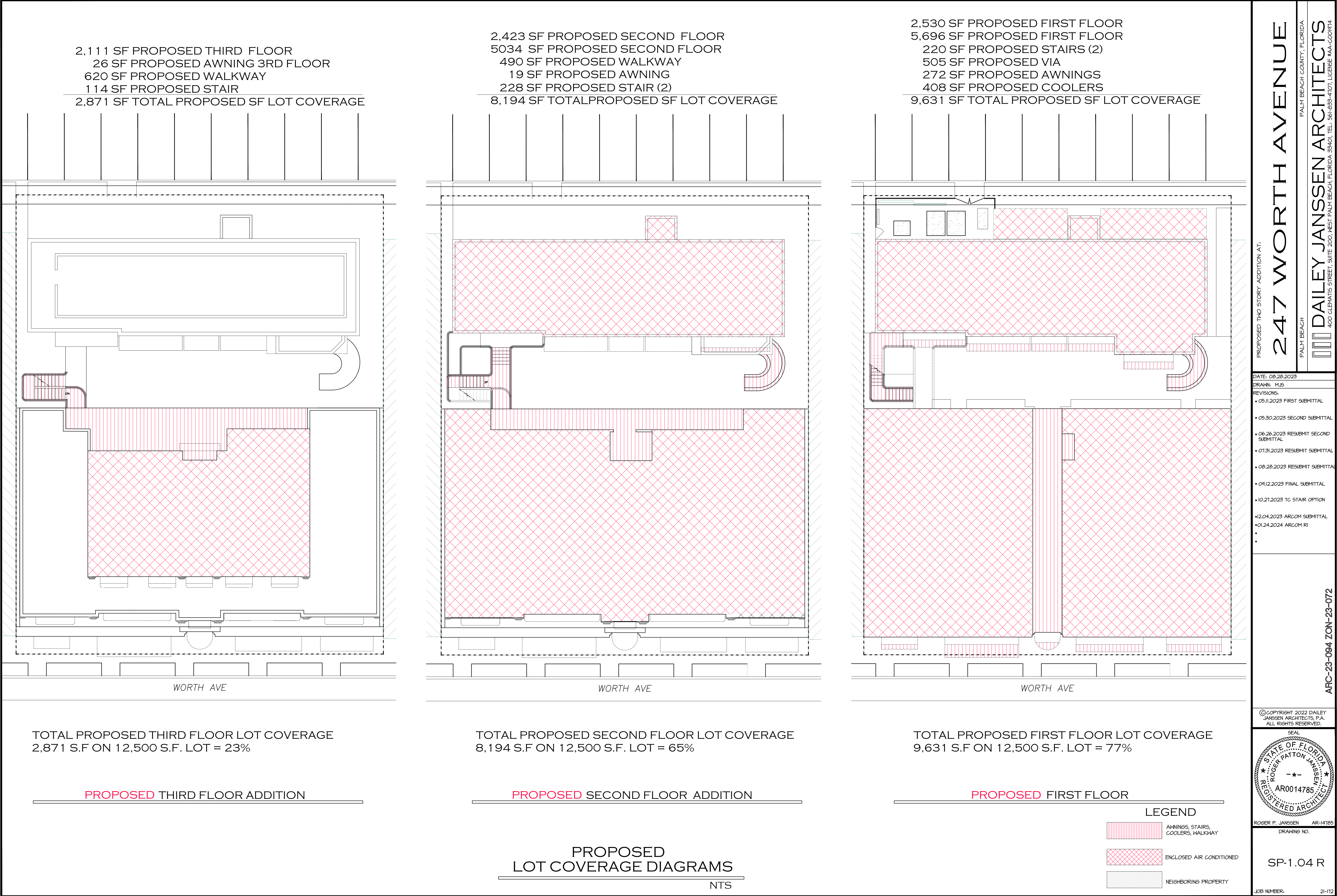
ROGER P. JANSSEN

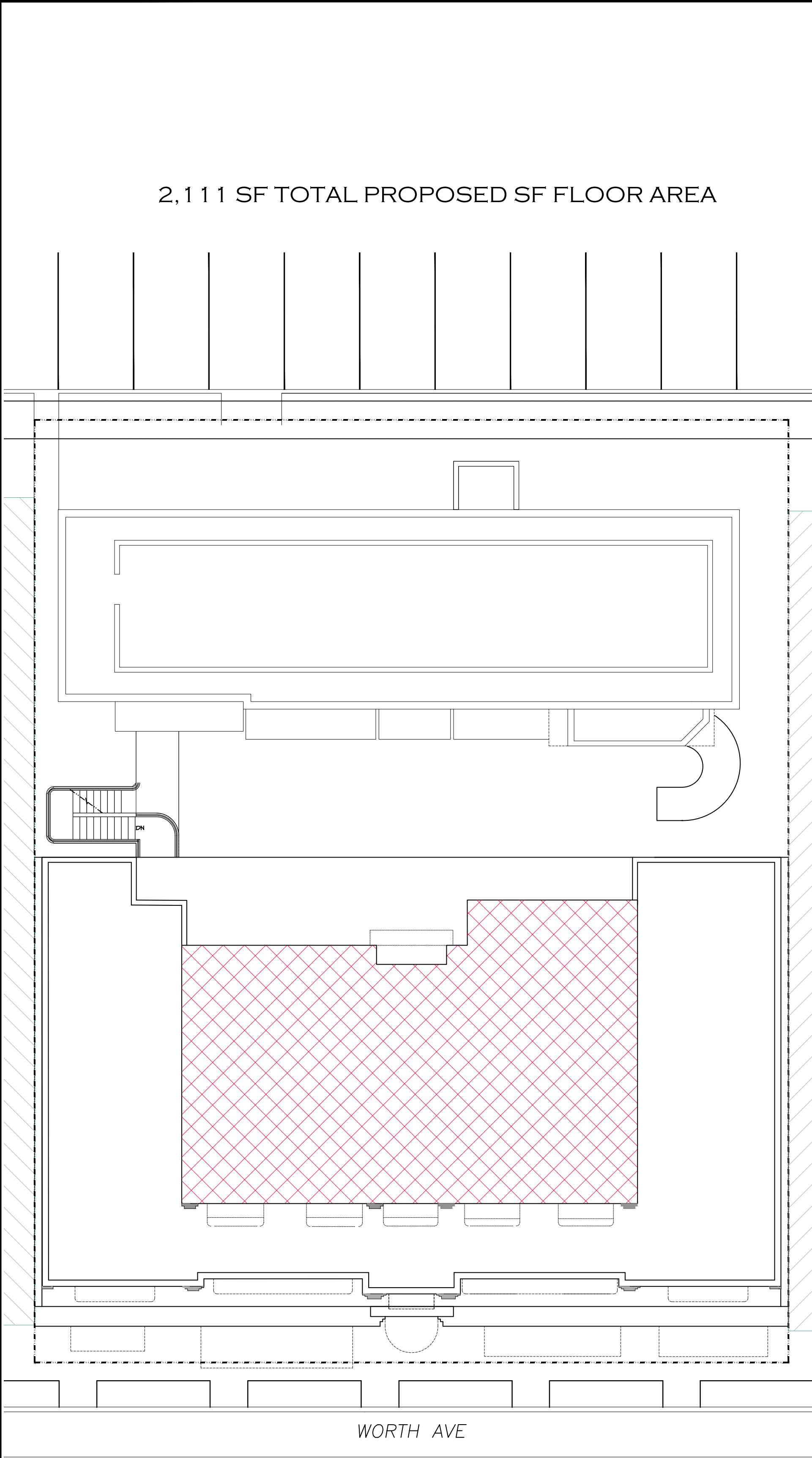
AR-14785

DRAWING NO.

SP-1.03

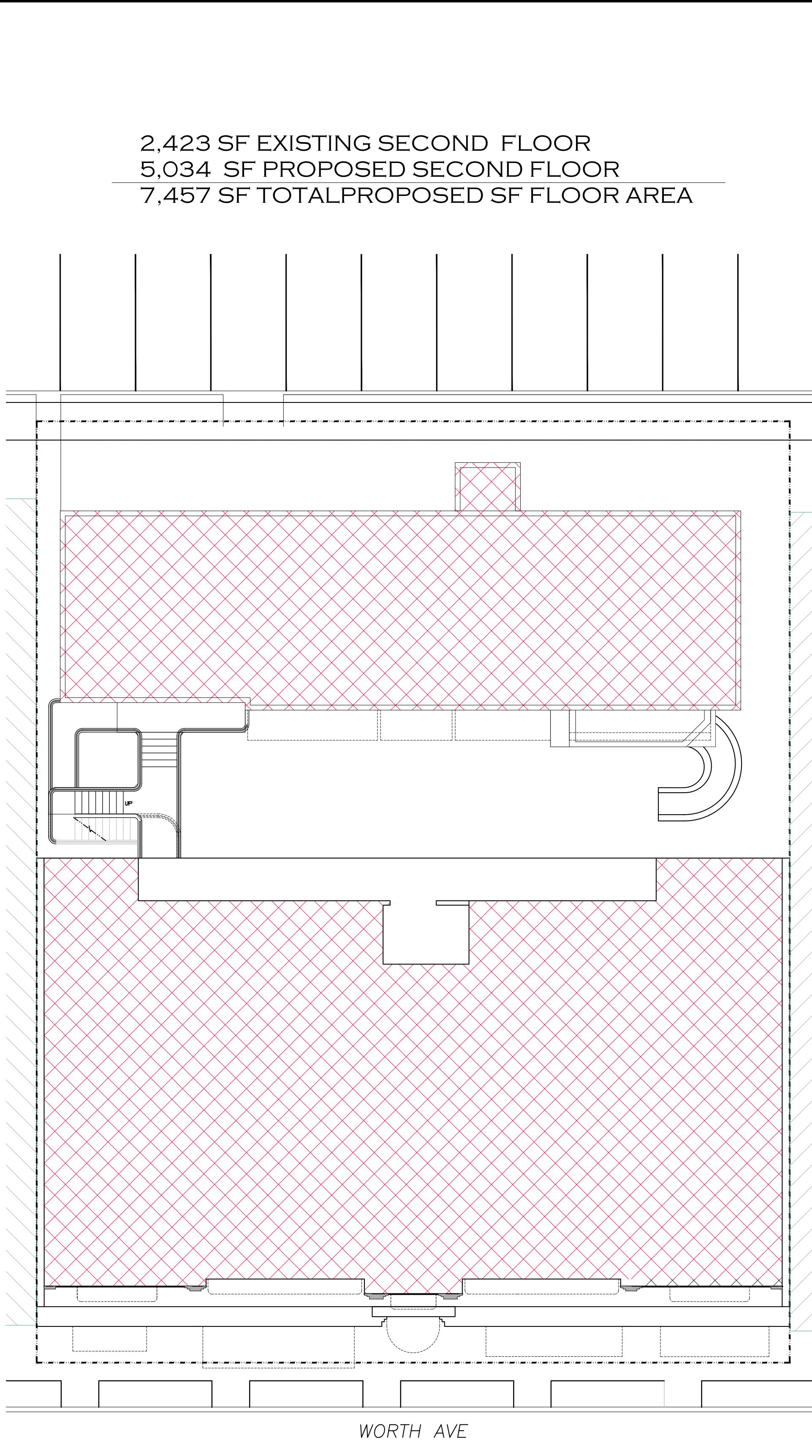
JOB NUMBER: 21-112





TOTAL PROPOSED THIRD FLOOR AREA
2,111 S.F ON 12,500 S.F. LOT = 17%

PROPOSED THIRD FLOOR ADDITION

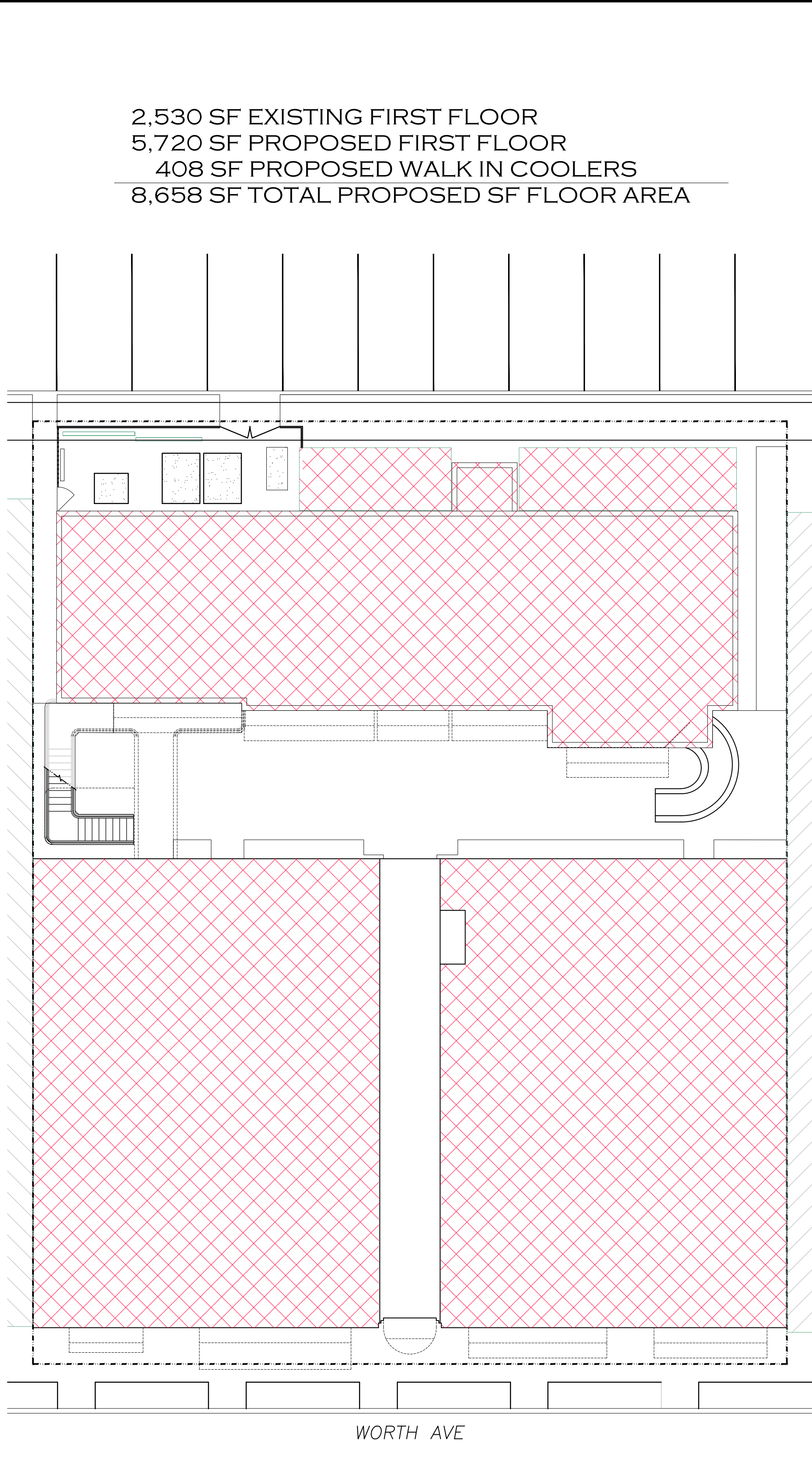


TOTAL PROPOSED SECOND FLOOR AREA
7,457 S.F ON 12,500 S.F. LOT = 60%

PROPOSED SECOND FLOOR ADDITION

PROPOSED
FLOOR AREA DIAGRAMS

NTS



TOTAL PROPOSED FIRST FLOOR AREA
8,658 S.F ON 12,500 S.F. LOT = 69%

PROPOSED FIRST FLOOR

LEGEND

- AWNINGS, STAIRS, COOLERS, WALKWAY
- ENCLOSED AIR CONDITIONED
- NEIGHBORING PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL
• 05.30.2023 SECOND SUBMITTAL
• 06.26.2023 RESUBMIT SECOND SUBMITTAL
• 07.31.2023 RESUBMIT SUBMITTAL
• 08.28.2023 RESUBMIT SUBMITTAL
• 09.12.2023 FINAL SUBMITTAL
• 10.21.2023 TC STAIR OPTION
• 12.04.2023 ARCOM SUBMITTAL
• 01.24.2024 ARCOM RI
•
•

ARC-23-094 ZON-23-072

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SEAL
STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER P. JANSSEN
AR0014785
AR-14785

ROGER P. JANSSEN AR-14785
DRAWING NO.

SP-1.05 R

JOB NUMBER: 21-112



ACROSS FROM 247 ADDITION

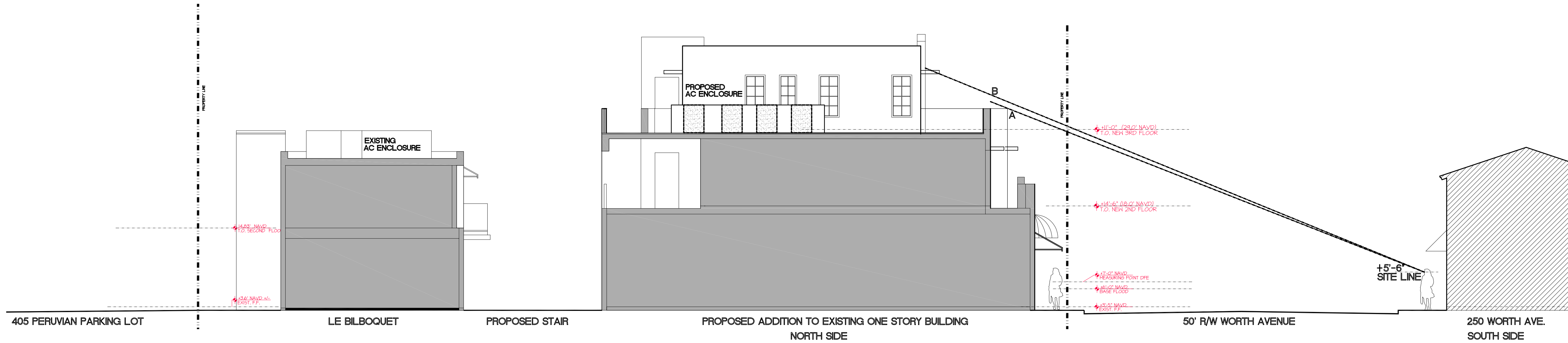
224 WORTH



250 WORTH



AERIAL VIEW



SITE LINE DIAGRAM

SCALE 1/8"=1'-0"

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-533-4101, LICENSE #AA-C00174

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.21.2023 TC STAIR OPTION

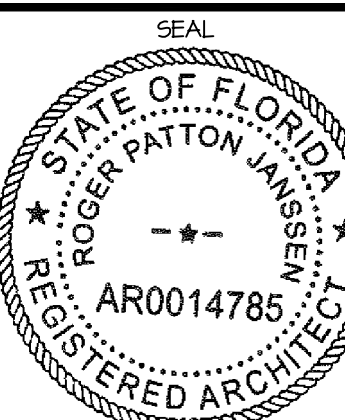
• 12.04.2023 ARCOM SUBMITTAL

• 01.24.2024 ARCOM RI

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ROGER P. JANSSEN AR-14785

DRAWING NO.

REF-1 R

JOB NUMBER:

21-112



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247 WORTH AVENUE

CHLHC

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL.: 561-833-4707, LICENSE #AA-C001974

TE: 08.28.2023

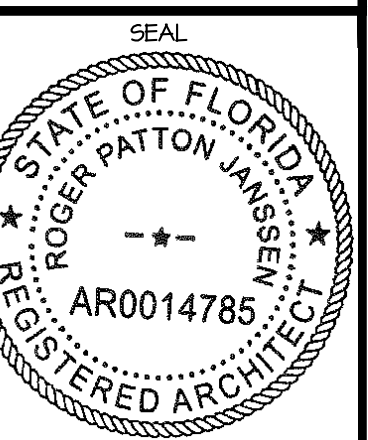
AWN: MJS

VISIONS:

- | | |
|------------|---------------------------|
| 05.11.2023 | FIRST SUBMITTAL |
| 05.30.2023 | SECOND SUBMITTAL |
| 06.26.2023 | RESUBMIT SECOND SUBMITTAL |
| 07.31.2023 | RESUBMIT SUBMITTAL |
| 08.28.2023 | RESUBMIT SUBMITTAL |
| 09.12.2023 | FINAL SUBMITTAL |
| 02.27.2023 | TC STAIR OPTION |
| 04.04.2023 | ARCOM SUBMITTAL |
| 04.24.2024 | ARCOM RI |

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GER P. JANSSEN AR-14785

DRAWING NO.

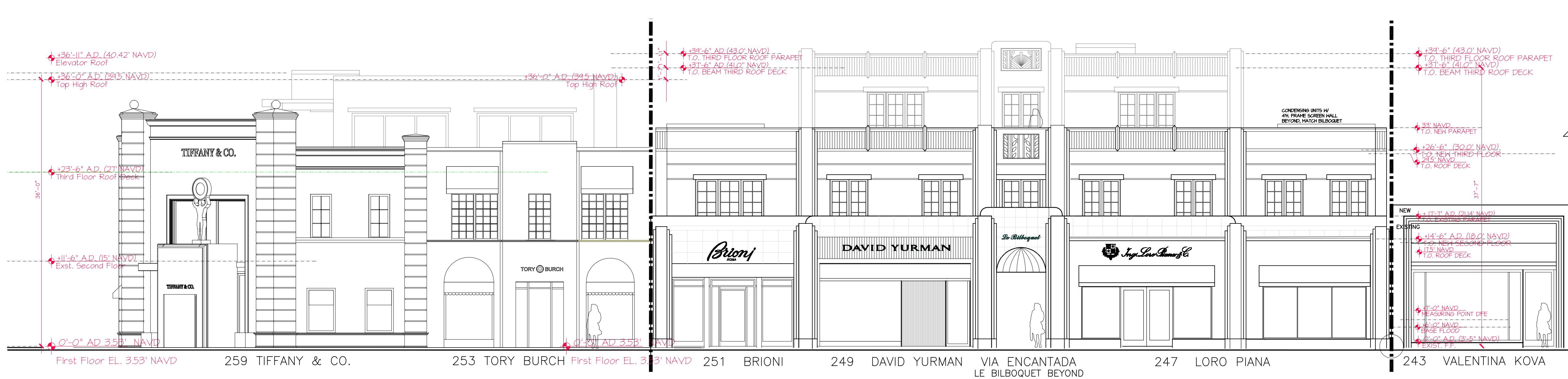
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3 NUMBER: 21-172



PREVIOUS ENLARGED BUILDING HEIGHT COMPARISON

SCALE 1/4"=1'-0"



PREVIOUS ADJACENT BUILDING HEIGHT COMPARISON

SCALE 1/8"=1'-0"

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.27.2023 TC STAIR OPTION

• 12.04.2023 ARCOM SUBMITTAL

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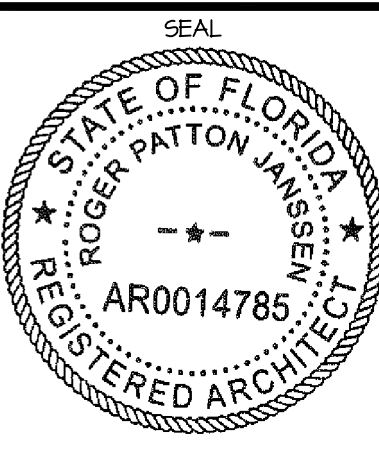
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ROGER P. JANSSEN AR-14785

DRAWING NO.

REF 2

JOB NUMBER:

21-112

ARC-23-094 ZON-23-072



WORTH AVENUE LOOKING WEST
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

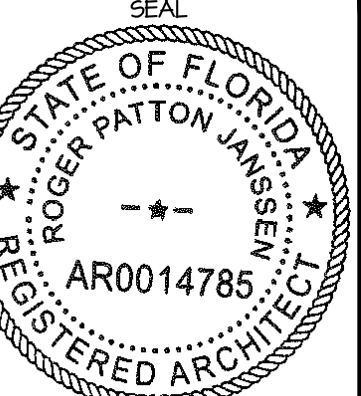
PROPOSED TWO STORY ADDITION AT:
247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA
DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023
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REVISIONS:
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• 08.28.2023 RESUBMIT SUBMITTAL
• 09.12.2023 FINAL SUBMITTAL

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ROGER P. JANSSEN AR-14785
DRAWING NO.

REN 6

JOB NUMBER: 21-112



PERSPECTIVE LOOKING EAST ON WORTH
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-533-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

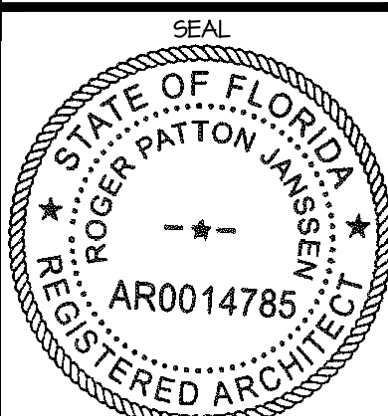
REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
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- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL

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ROGER P. JANSSEN AR-14785
DRAWING NO.

REN 2

JOB NUMBER: 21-112



WORTH SOUTH ENTRY ELEVATION
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023
DRAWN: MJS

REVISIONS:
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• 07.31.2023 RESUBMIT SUBMITTAL

• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.27.2023 TC STAIR OPTION

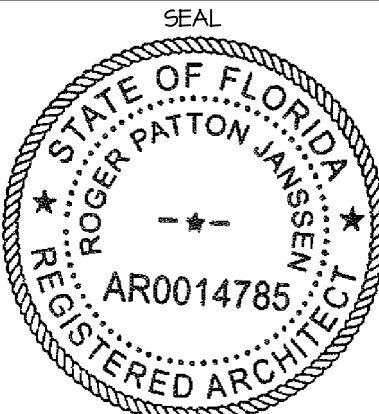
• 12.04.2023 ARCOM SUBMITTAL

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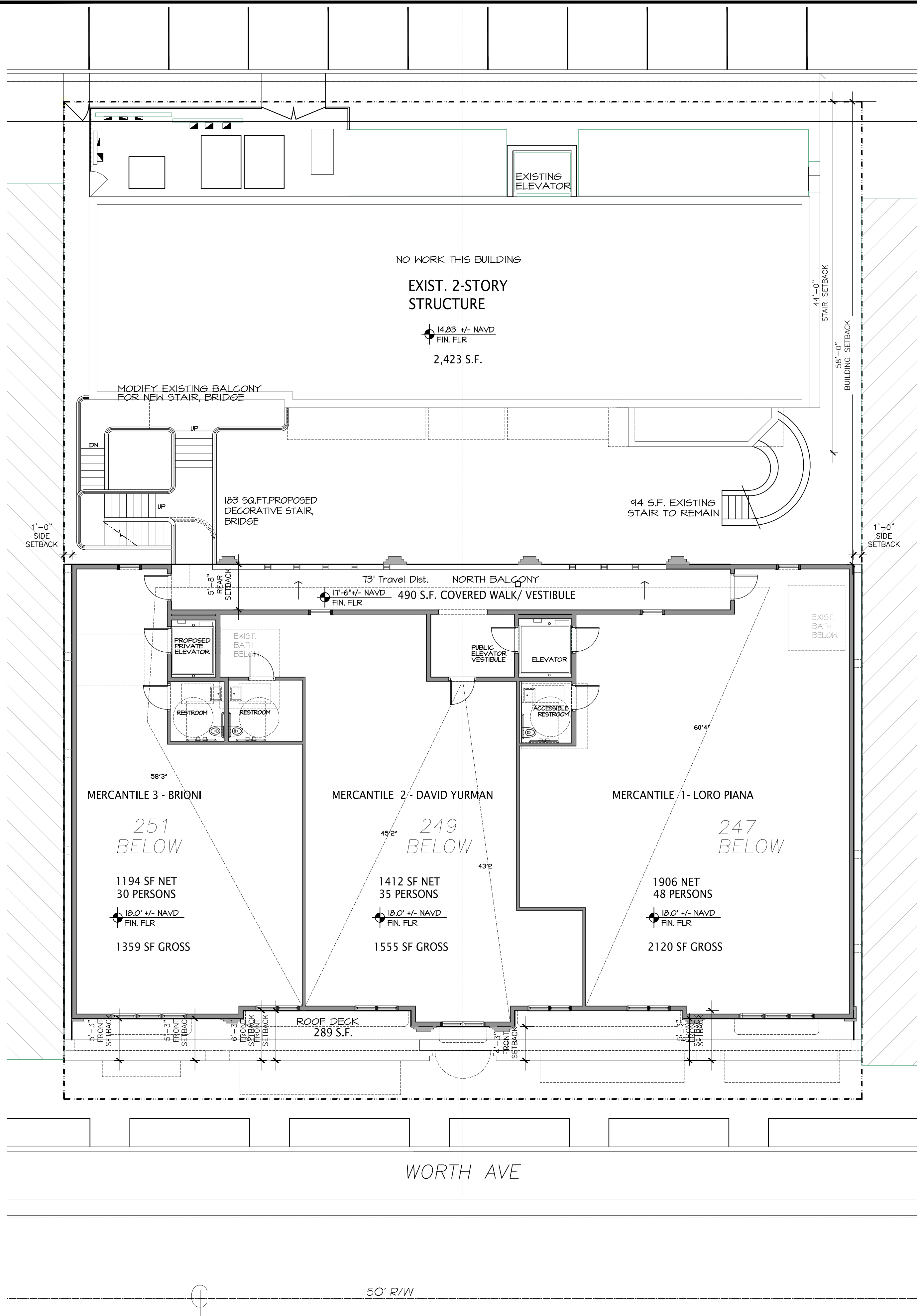
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ROGER P. JANSSEN AR-14785
DRAWING NO.

REN 3

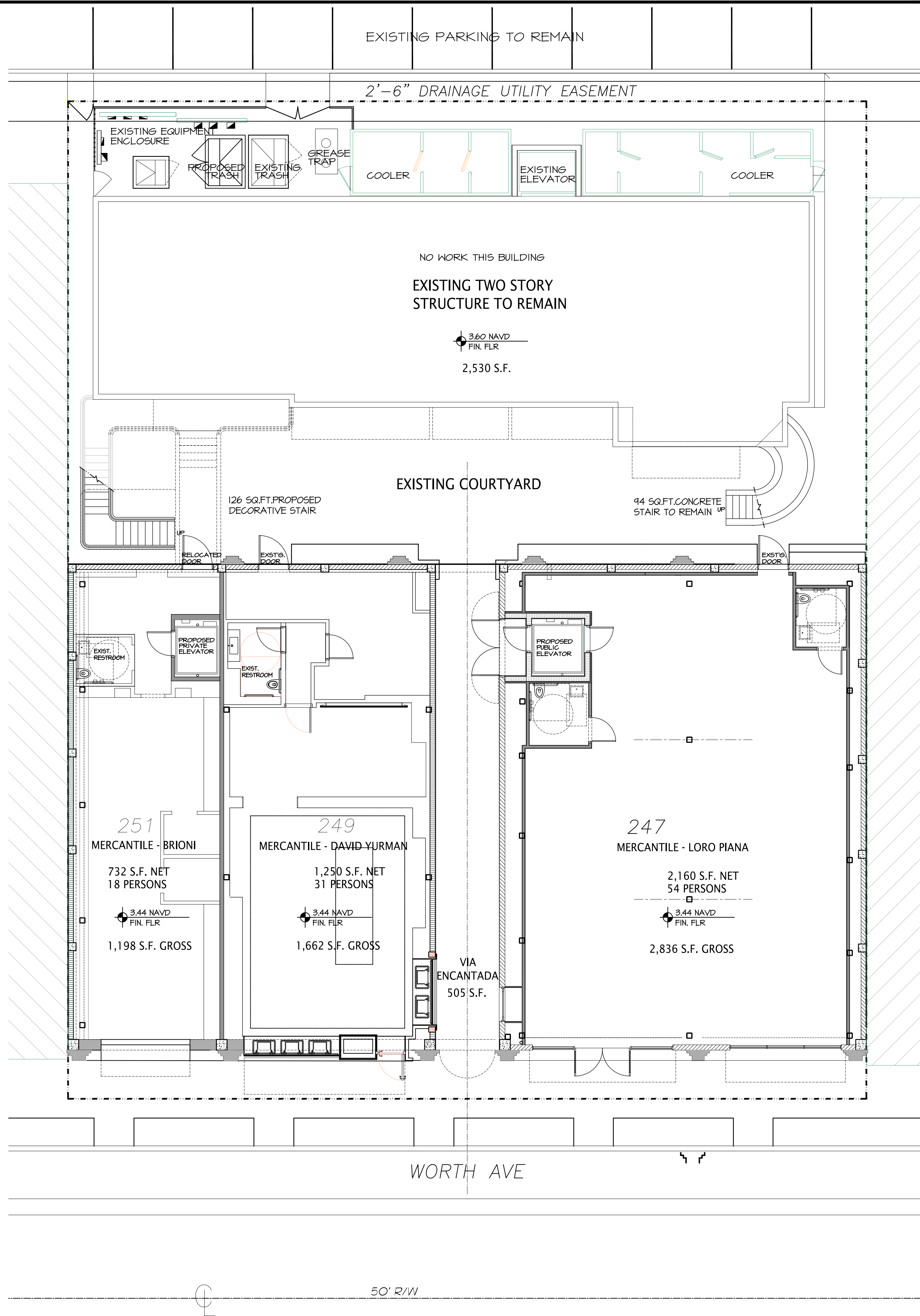
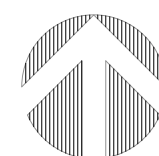
JOB NUMBER: 21-112



PROPOSED SECOND FLOOR PLAN

TWO STAIR OPTION, ONE EXISTING TO REMAIN, ONE PROPOSED NEW

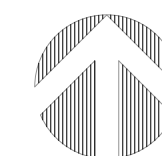
SCALE 1/8" = 1'-0"



PROPOSED FIRST FLOOR PLAN

TWO STAIR OPTION, ONE EXISTING TO REMAIN, ONE PROPOSED NEW

SCALE 1/8" = 1'-0"



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

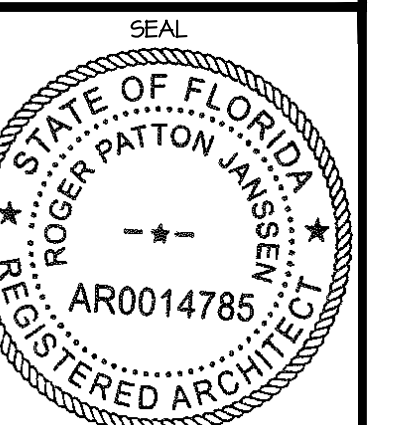
DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL
- 10.21.2023 TC STAIR OPTION
- 12.04.2023 ARCOM SUBMITTAL
- 01.24.2024 ARCOM RI

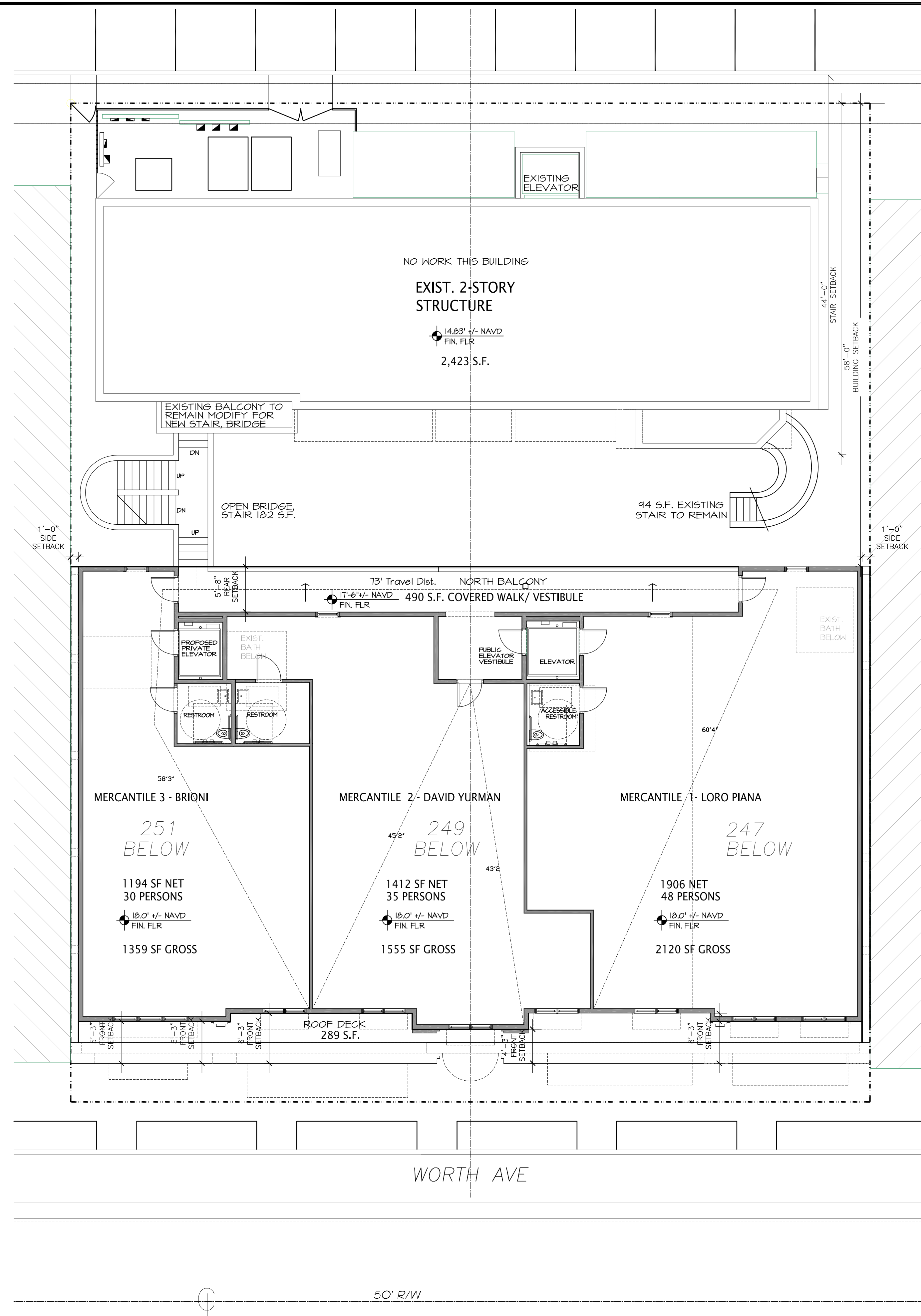
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ROGER P. JANSSEN AR-14785
DRAWING NO.

A-1.01 R

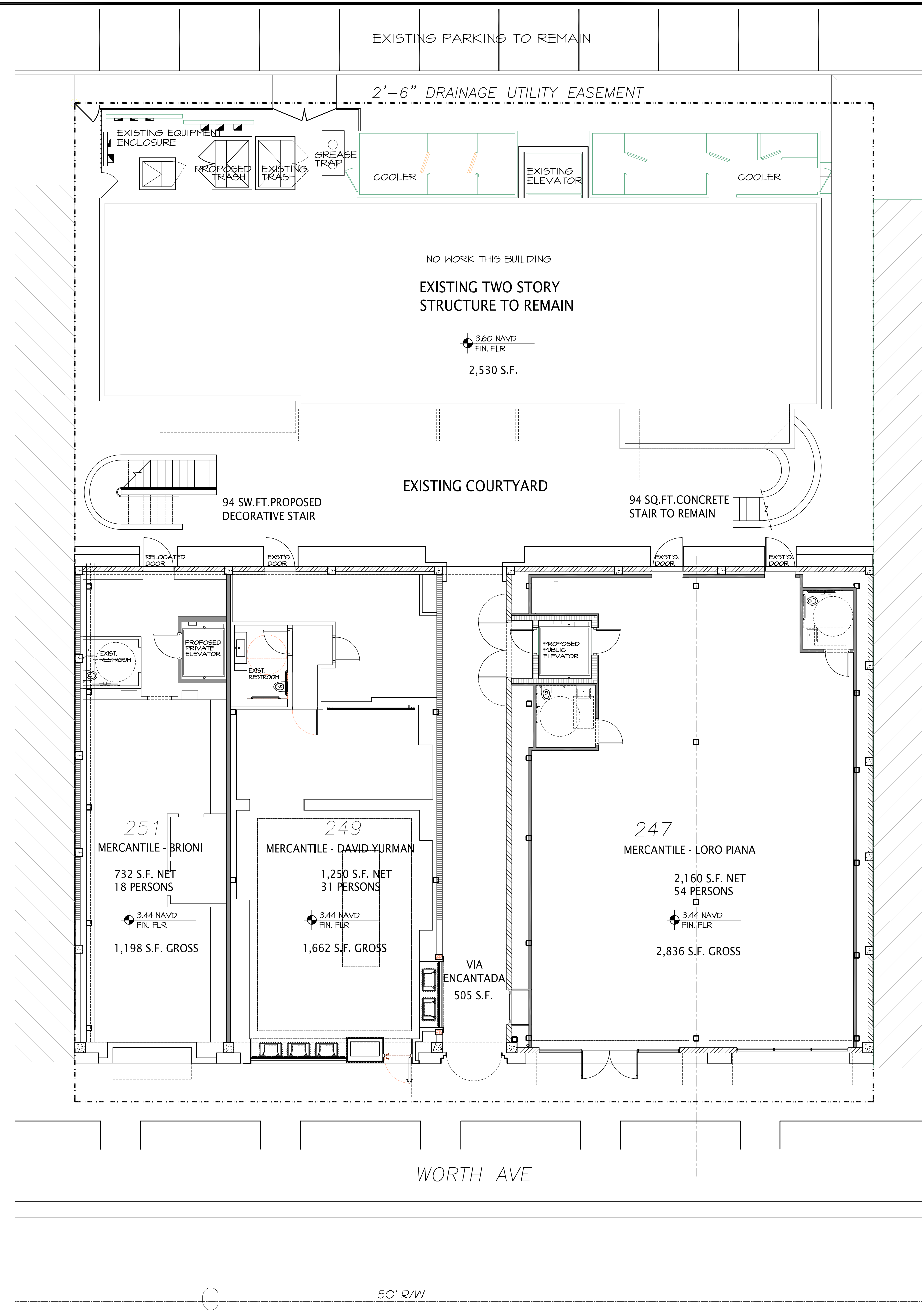
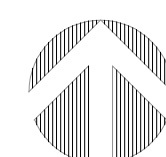
JOB NUMBER: 21-112



[PREVIOUS](#) SECOND FLOOR PLAN

TWO STAIR OPTION, ONE EXISTING TO REMAIN, ONE PROPOSED NEW

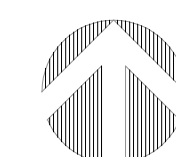
SCALE 1/8" = 1'-0"



[PREVIOUS](#) FIRST FLOOR PLAN

TWO STAIR OPTION, ONE EXISTING TO REMAIN, ONE PROPOSED NEW

SCALE 1/8" = 1'-0"



PROPOSED TWO STOCK ADDITION K-1:

247 WORTH AVENUE

COLLEGE

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707 | LICENSE #AA-C001974

DATE: 08.28.2023

RAWN: MJS

REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL
- 10.27.2023 TC STAIR OPTION
- 2.04.2023 ARCOM SUBMITTAL

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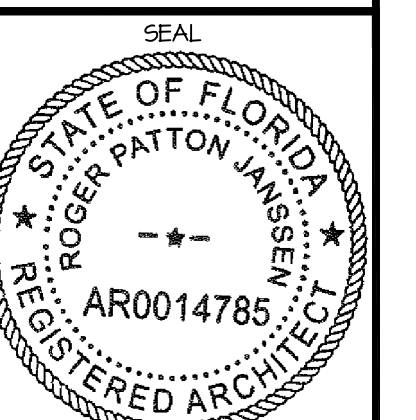
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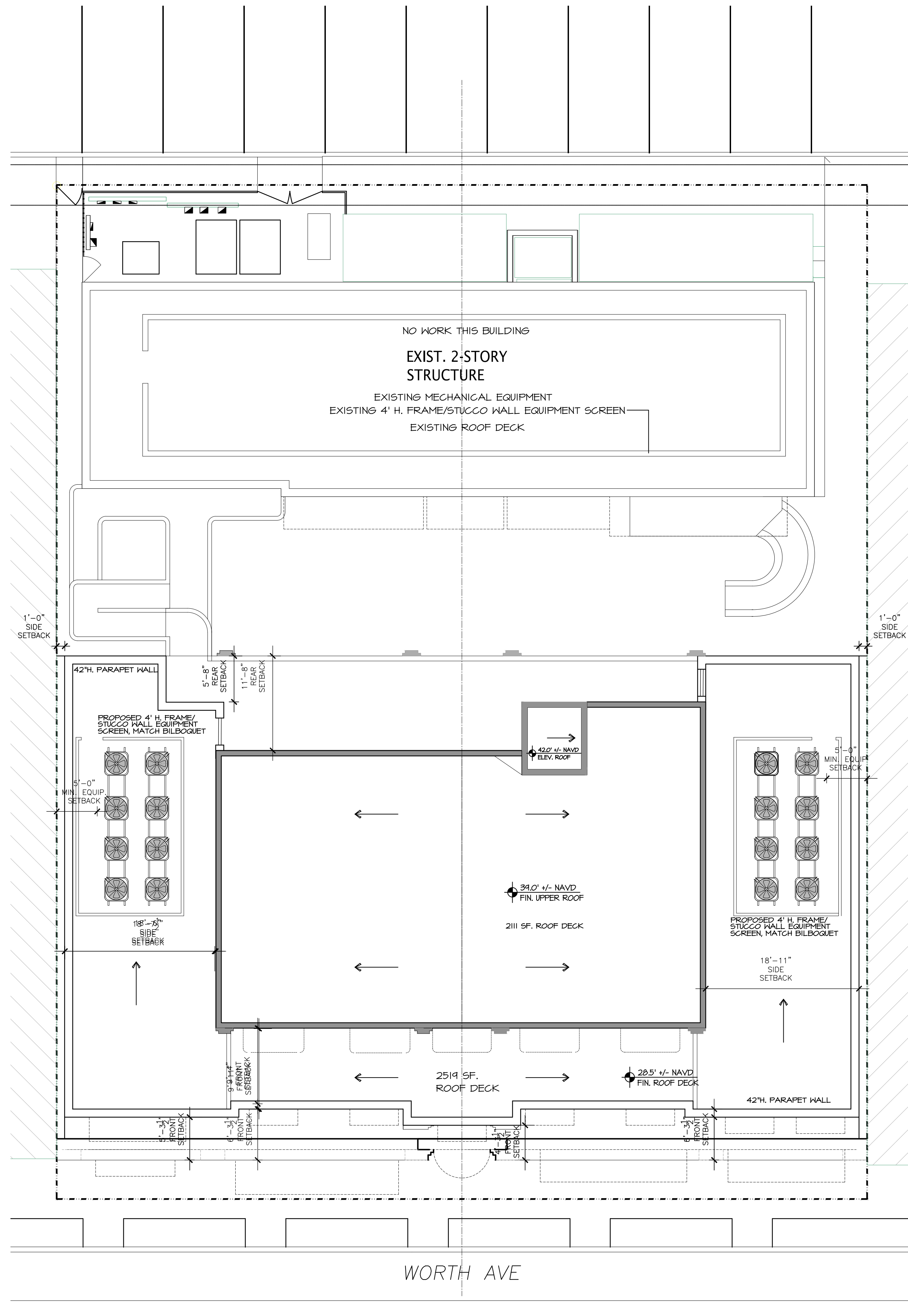
ROGER P. JANSSEN AR-14785

DRAWING NO.

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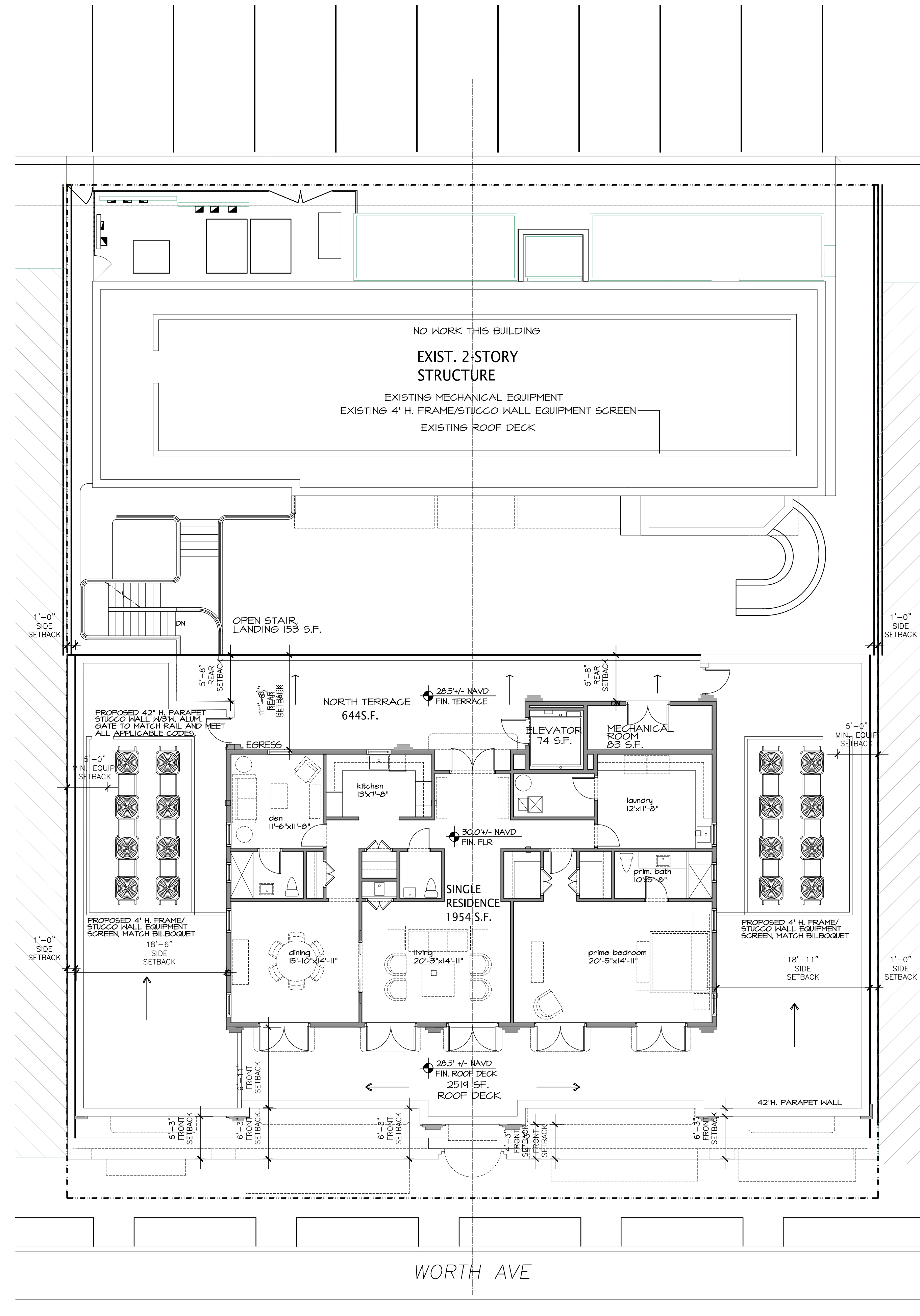
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PROPOSED THIRD FLOOR ROOF PLAN

SCALE 1/8" = 1'-0"



PROPOSED THIRD FLOOR, PARTIAL ROOF PLAN

SCALE 1/8" = 1'-0"



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023

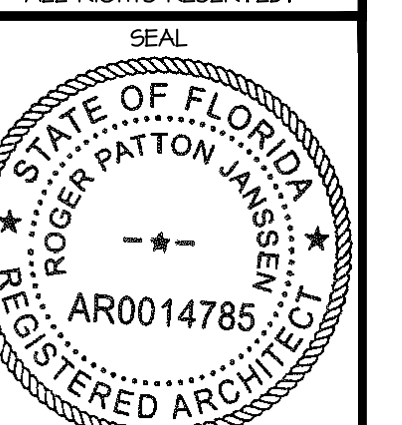
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REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
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- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL
- 10.21.2023 TC STAIR OPTION
- 12.04.2023 ARCOM SUBMITTAL
- 01.24.2024 ARCOM RI

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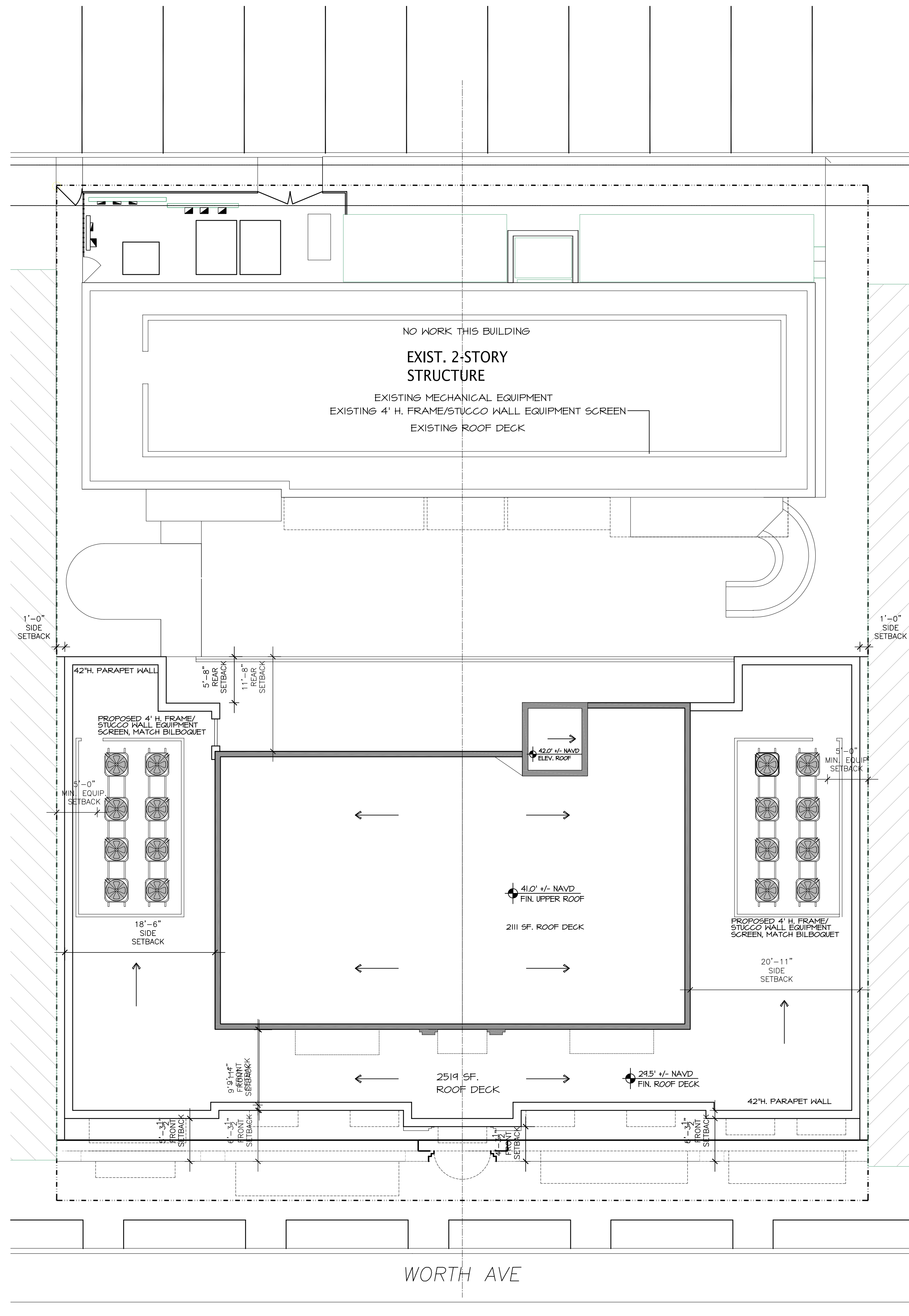


ROGER P. JANSSEN AR-14785

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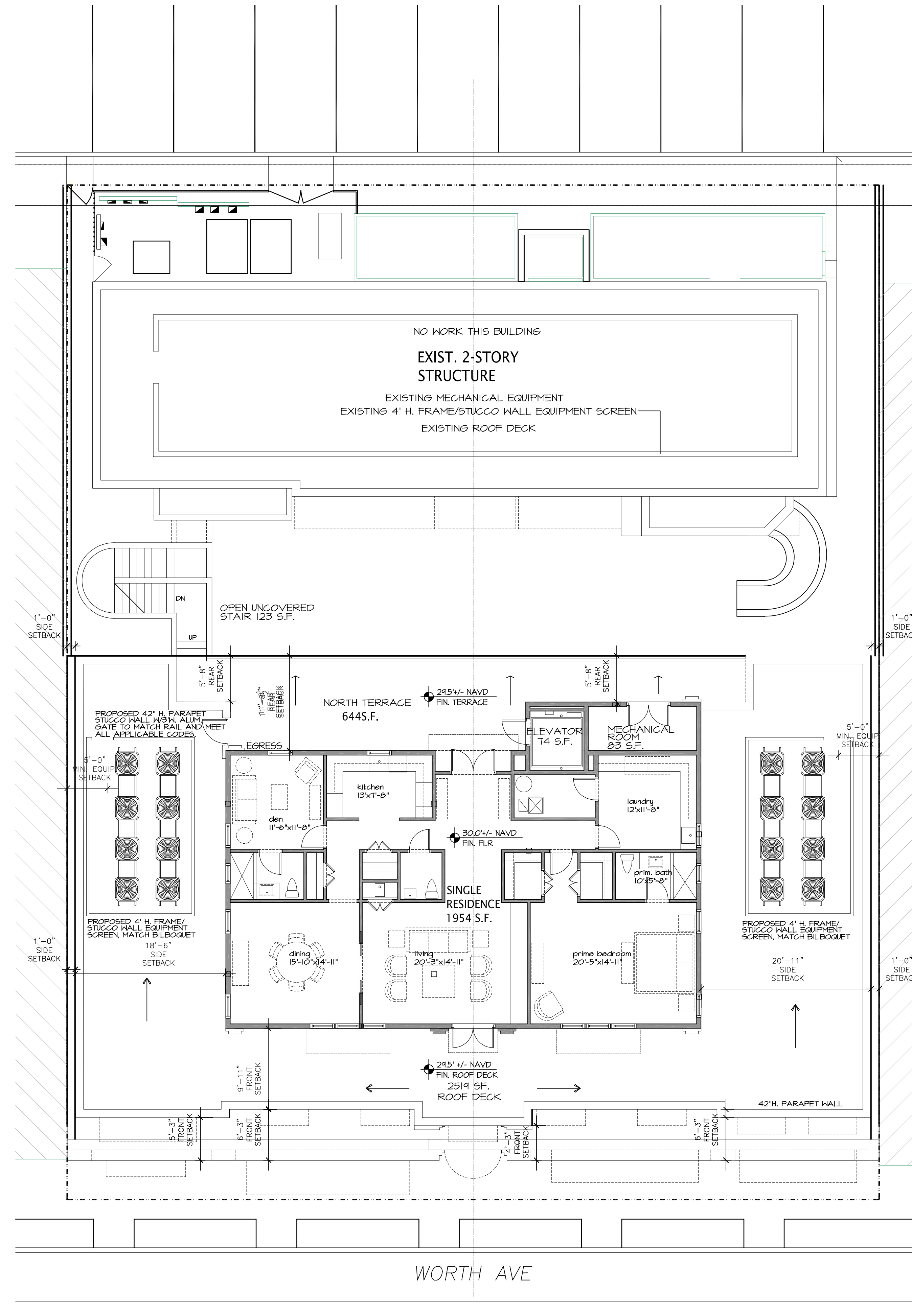
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JOB NUMBER: 21-112



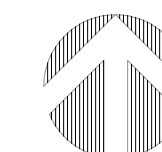
PREVIOUS THIRD FLOOR ROOF PLAN

SCALE 1/8" = 1'-0"



PREVIOUS THIRD FLOOR, PARTIAL ROOF PLAN

SCALE 1/8" = 1'-0"



PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

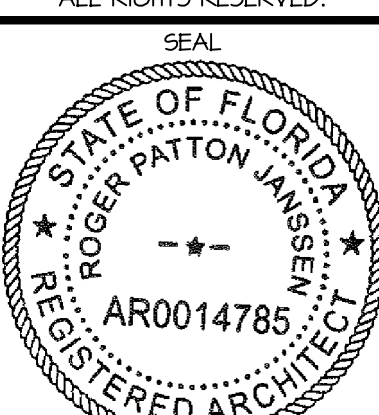
DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
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- 10.21.2023 TC STAIR OPTION
- 12.04.2023 ARCOM SUBMITTAL

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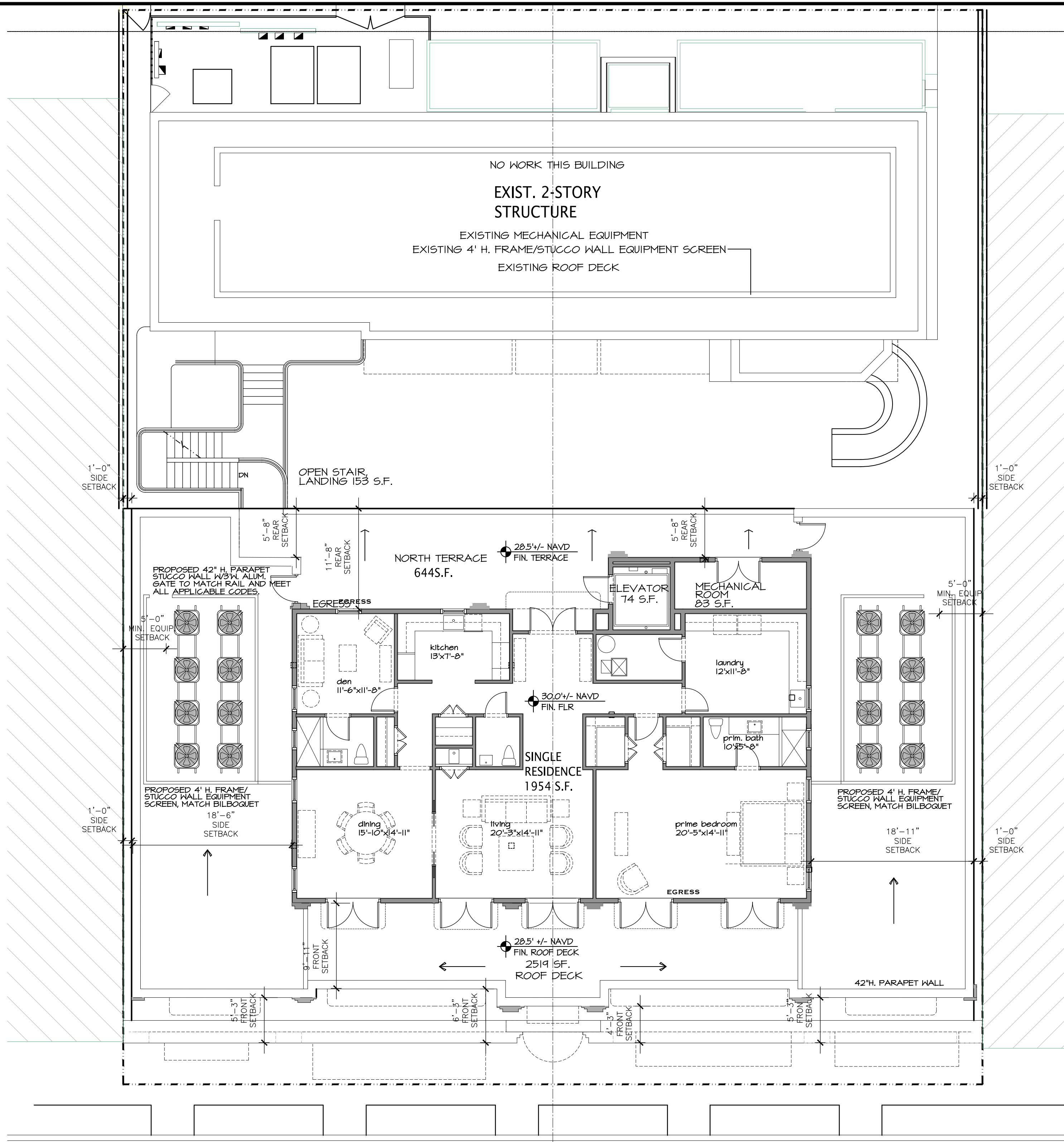
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DRAWING NO.

A-1.02

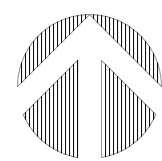
JOB NUMBER: 21-112

ARC-23-094 ZON-23-072



PROPOSED THIRD FLOOR PLAN

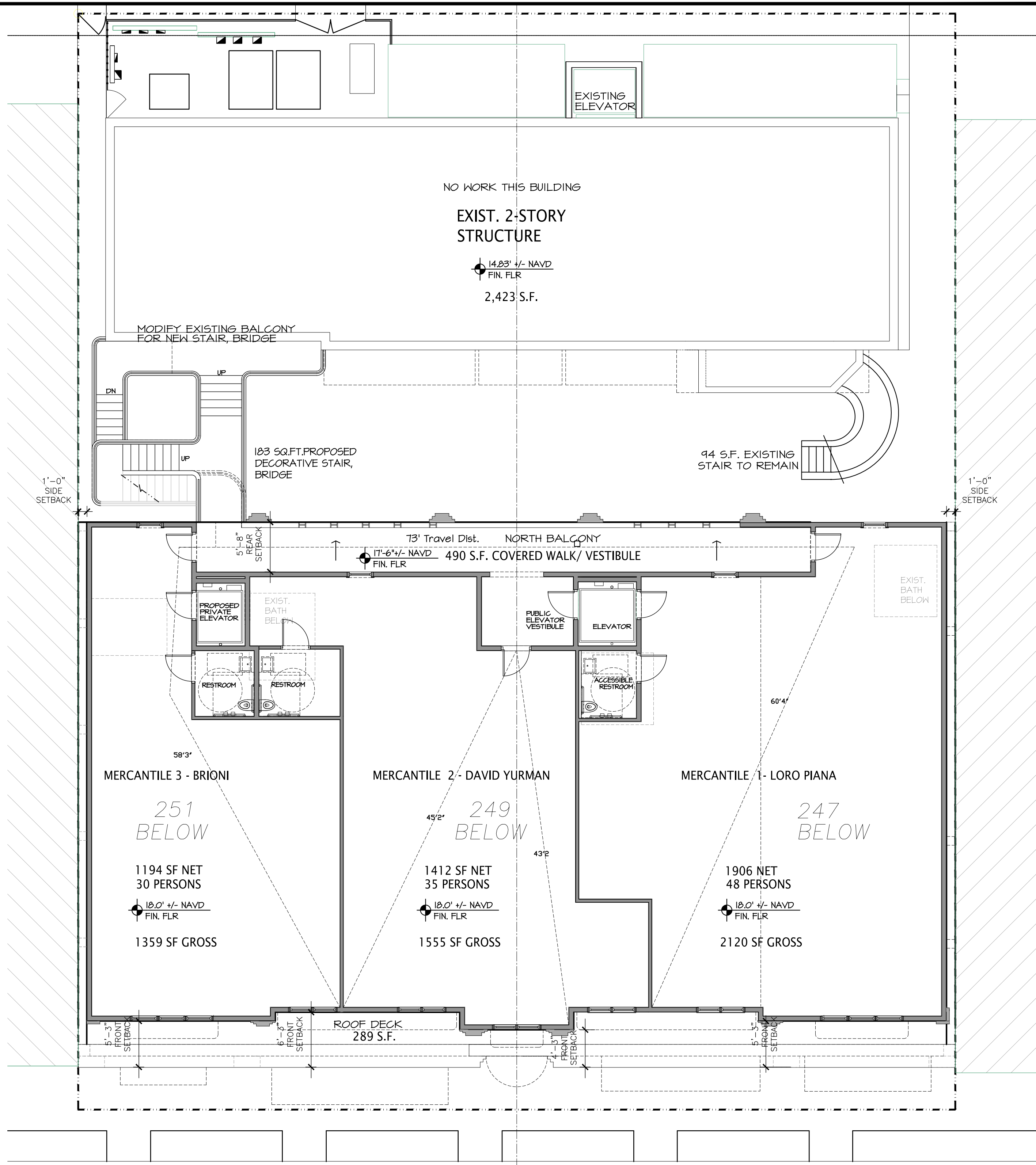
SCALE 1/8" = 1'-0"



OCCUPANCY CALCS - FLORIDA BUILDING CODE 7TH EDITION					
FLOOR	OCC. TYPE	AREA SQF NET	AREA PER OCCUPANT SQF	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
SECOND	M - MERCANTILE 1	1,906	40	48	48
	M - MERCANTILE 2	1,412	40	35	35
	M - MERCANTILE 3	1,194	40	30	30
RESIDENTIAL	RESIDENTIAL	1,954	NA	NA	SINGLE FAMILY

BUILDING INFORMATION	
2020 FLORIDA BUILDING CODE SEVENTH EDITION AND 2020, FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION; NFPA 1 & 101	
CHAPTER 36 - NEW MERCANTILE OCCUPANCY, NEW RESIDENTIAL OCCUPANCY MIXED-USE REHABILITATION BUILDING CLASSIFICATION - 6. ADDITION AND 5. CHANGE OF USE	
BUILDING CONSTRUCTION TYPE: I	
OCCUPANCY: MERCANTILE, RESIDENTIAL	
MERCANTILE AREA: SECOND FLOOR ADDITION - 4,512 GR. SQ. FT.	
RESIDENTIAL AREA: THIRD FLOOR ADDITION - 1,954 GR. SQ. FT.	
INTERIOR FINISH CLASSIFICATION: B	
ALL MEANS OF EGRESS TO COMPLY WITH CHAPTER 7	

PROPOSED ADDITION OCCUPANCY DATA



PROPOSED SECOND FLOOR PLAN

SCALE 1/8" = 1'-0"



FIRE EXTINGUISHER		
TYPE REQUIRED PER NFPA 10 2013 TABLE 6.2.1.1: 2-A	QUANTITY REQUIRED	PROVIDED
PLAN SYMBOL FIRE EXTINGUISHER CABINET	1 PER 3,000 SQF=3 (TRAVEL DISTANCE 15')	MULTIPURPOSE DRY CHEMICAL FOR CLASSES A,B,C FIRES, UL RATINGS 2A:10B:C

FIRE SPRINKLER:

A FIRE SPRINKLER SYSTEM IS INCLUDED IN THE SCOPE OF THE PROJECT. THE GENERAL CONTRACTOR SHALL HIRE A LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN & INSTALL THE NEW SYSTEM TO CONFORM WITH THE BUILDING DESIGN AS SHOWN IN THESE CONSTRUCTION DOCUMENTS.

FIRE SPRINKLER DRAWINGS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR FROM THE FIRE SPRINKLER CONTRACTOR & SUBMITTED TO THE TOWN OF PALM BEACH FOR BUILDING AND FIRE DEPARTMENT REVIEW AND APPROVAL. ALL FIRE SPRINKLER HEADS WITHIN RESIDENTIAL AREAS ARE TO BE RECESSED AND ARE TO ALIGN WITH CENTER LINE OF LIGHTING. FIRE SPRINKLER HEADS WITHIN COMMERCIAL SPACES SHALL BE RECONFIGURED AT A LATER DATE AS REQUIRED BY FUTURE TENANT BUILD-OUTS.

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

05.11.2023 FIRST SUBMITTAL

05.30.2023 SECOND SUBMITTAL

06.26.2023 RESUBMIT SECOND SUBMITTAL

07.31.2023 RESUBMIT SUBMITTAL

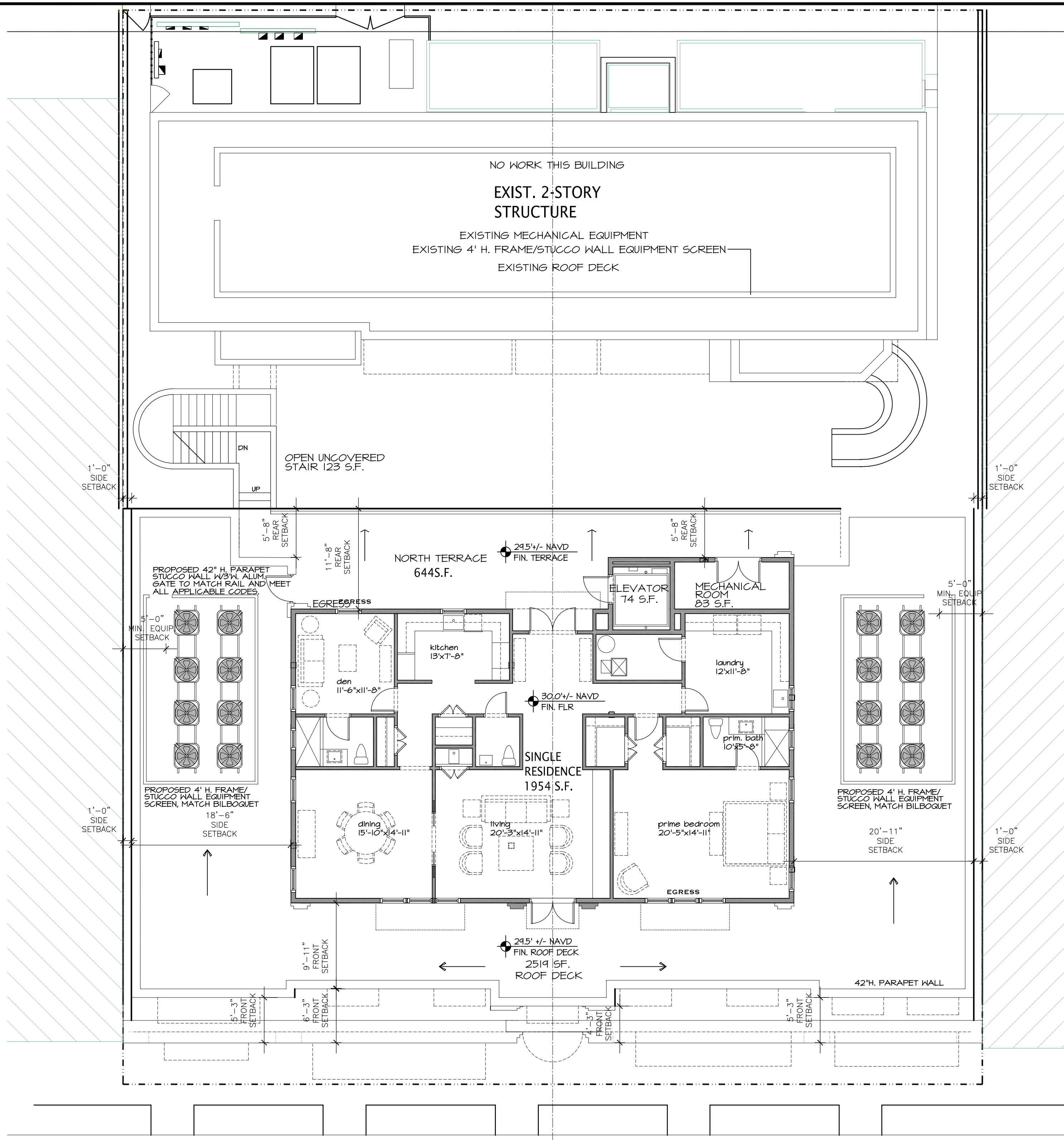
08.28.2023 RESUBMIT SUBMITTAL

09.12.2023 FINAL SUBMITTAL

10.21.2023 TC STAIR OPTION

12.04.2023 ARCOM SUBMITTAL

01.24.2024 ARCOM RI



WORTH AVE

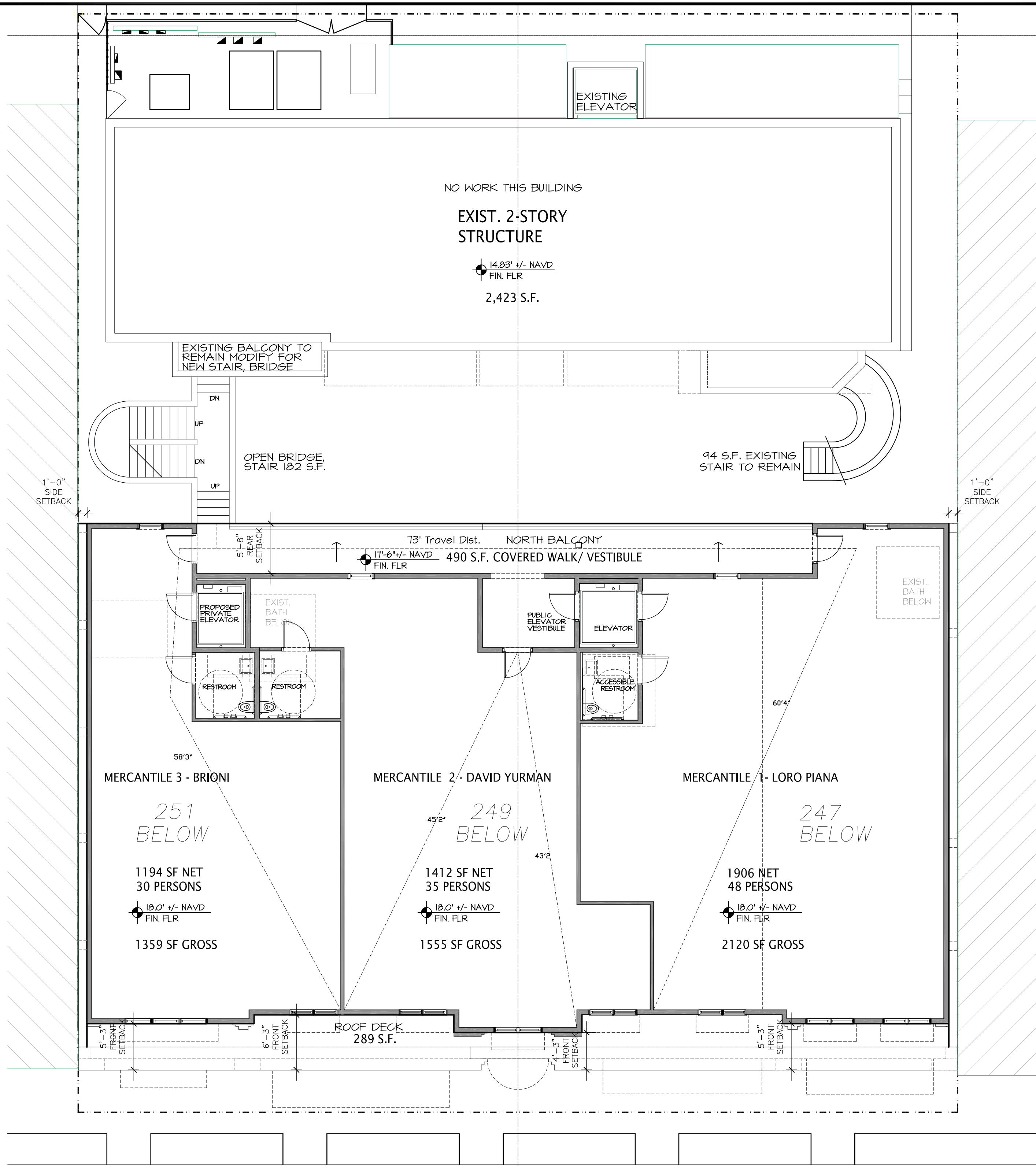
PREVIOUS Third Floor Plan

SCALE 1/8" = 1'-0"

OCCUPANCY CALCS - FLORIDA BUILDING CODE 7TH EDITION					
FLOOR	OCC. TYPE	AREA SQF NET	AREA PER OCCUPANT SQF	OCCUPANT LOAD	TOTAL OCCUPANT LOAD
SECOND	M - MERCANTILE 1	1,906	40	48	48
	M - MERCANTILE 2	1,412	40	35	35
	M - MERCANTILE 3	1,194	40	30	30
RESIDENTIAL	RESIDENTIAL	1,954	NA	NA	SINGLE FAMILY

BUILDING INFORMATION	
2020 FLORIDA BUILDING CODE SEVENTH EDITION AND 2020, FLORIDA FIRE PREVENTION CODE, SEVENTH EDITION; NFPA 1 & 101	
CHAPTER 36 - NEW MERCANTILE OCCUPANCY, NEW RESIDENTIAL OCCUPANCY MIXED-USE REHABILITATION BUILDING CLASSIFICATION - 6. ADDITION AND 5. CHANGE OF USE	
BUILDING CONSTRUCTION TYPE: I	
OCCUPANCY: MERCANTILE , RESIDENTIAL	
MERCANTILE AREA: SECOND FLOOR ADDITION - 4,512 GR. SQ. FT.	
RESIDENTIAL AREA: THIRD FLOOR ADDITION - 1,954 GR. SQ. FT.	
INTERIOR FINISH CLASSIFICATION: B	
ALL MEANS OF EGRESS TO COMPLY WITH CHAPTER 7	

PREVIOUS Addition Occupancy Data



WORTH AVE

PREVIOUS Second Floor Plan

SCALE 1/8" = 1'-0"

FIRE EXTINGUISHER		
TYPE REQUIRED PER NFPA 10 2013 TABLE 6.2.1.1: 2-A	QUANTITY REQUIRED	PROVIDED
PLAN SYMBOL F.E.G. FIRE EXTINGUISHER CABINET	1 PER 3,000 SQF=3 (TRAVEL DISTANCE 15')	MULTIPURPOSE DRY CHEMICAL FOR CLASSES A,B,I C FIRES, UL RATINGS 2A:10B:C

FIRE SPRINKLER:

A FIRE SPRINKLER SYSTEM IS INCLUDED IN THE SCOPE OF THE PROJECT. THE GENERAL CONTRACTOR SHALL HIRE A LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN & INSTALL THE NEW SYSTEM TO CONFORM WITH THE BUILDING DESIGN AS SHOWN IN THESE CONSTRUCTION DOCUMENTS.

FIRE SPRINKLER DRAWINGS SHALL BE OBTAINED BY THE GENERAL CONTRACTOR FROM THE FIRE SPRINKLER CONTRACTOR & SUBMITTED TO THE TOWN OF PALM BEACH FOR BUILDING AND FIRE DEPARTMENT REVIEW AND APPROVAL. ALL FIRE SPRINKLER HEADS WITHIN RESIDENTIAL AREAS ARE TO BE RECESSED AND ARE TO ALIGN WITH CENTER LINE OF LIGHTING. FIRE SPRINKLER HEADS WITHIN COMMERCIAL SPACES SHALL BE RECONFIGURED AT A LATER DATE AS REQUIRED BY FUTURE TENANT BUILD-OUTS.

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

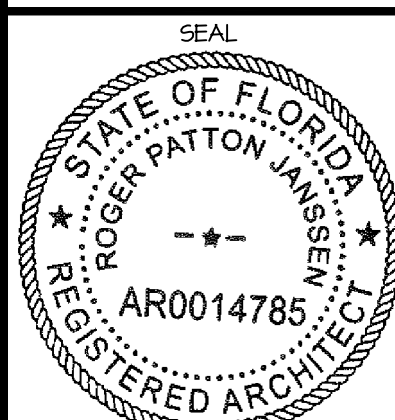
DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL
- 10.21.2023 TC STAIR OPTION
- 12.04.2023 ARCOM SUBMITTAL

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ROGER P. JANSSEN AR-14785

DRAWING NO.

A-1.03

JOB NUMBER:

21-112



TORY BURCH 251 BRIONI 249 DAVID YURMAN VIA ENCANTADA 247 LORO PIANA VALENTINA KOVA

PREVIOUS SOUTH STREET ELEVATION

SCALE 3/16" = 1'-0"



TORY BURCH 251 BRIONI 249 DAVID YURMAN VIA ENCANTADA 247 LORO PIANA VALENTINA KOVA

PROPOSED SOUTH STREET ELEVATION

SCALE 3/16" = 1'-0"

PROPOSED TWO STORY ADDITION AT:

- DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

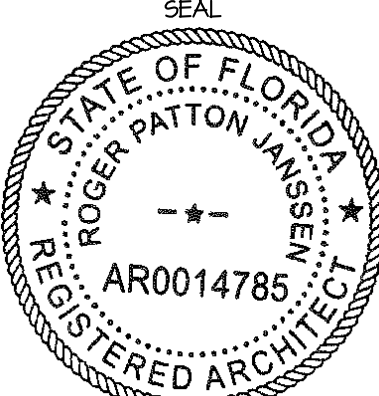
• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.21.2023 TC STAIR OPTION

• 12.04.2023 ARCOM SUBMITTAL
• 01.24.2024 ARCOM RI
•

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ROGER P. JANSSEN AR-14785
DRAWING NO.

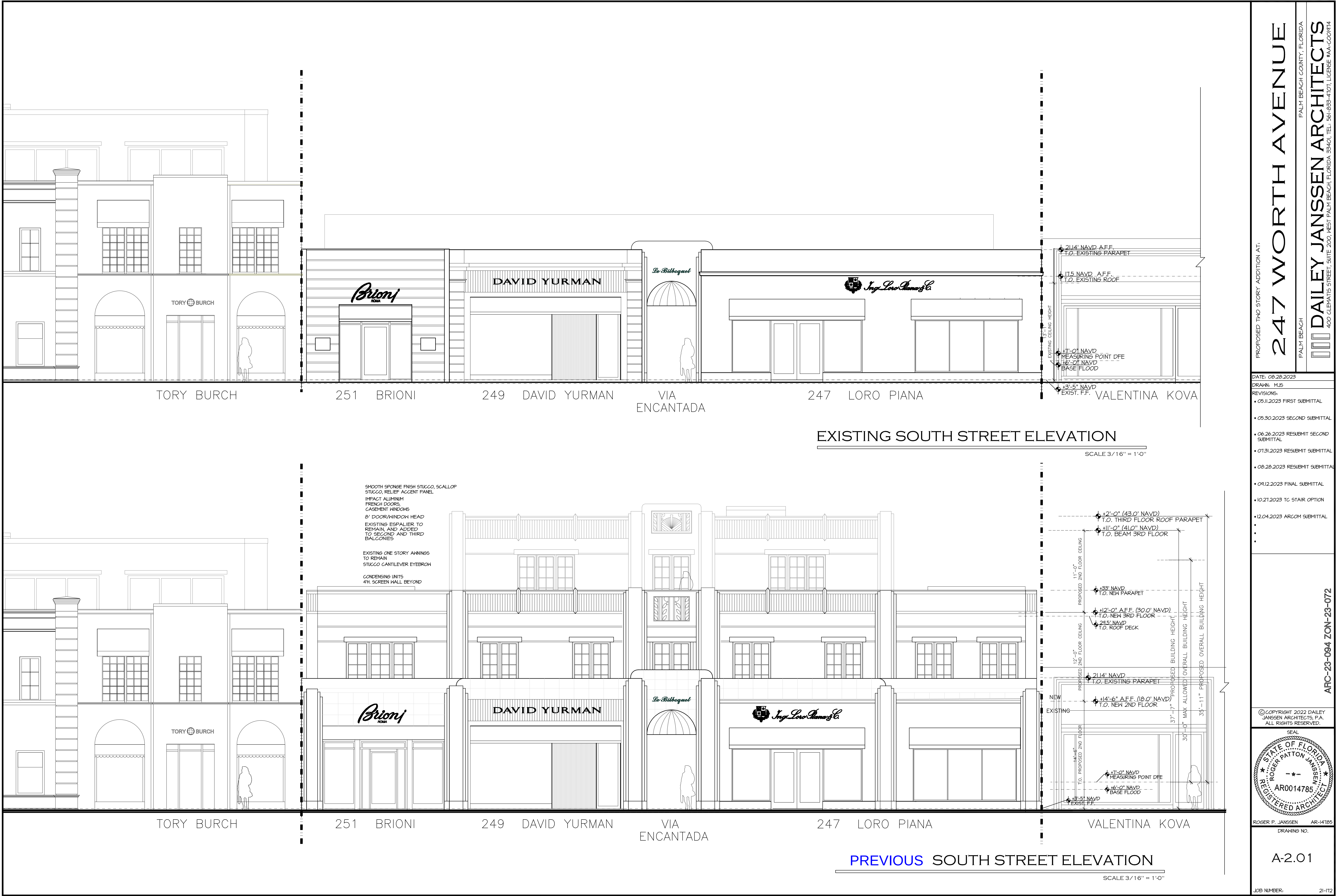
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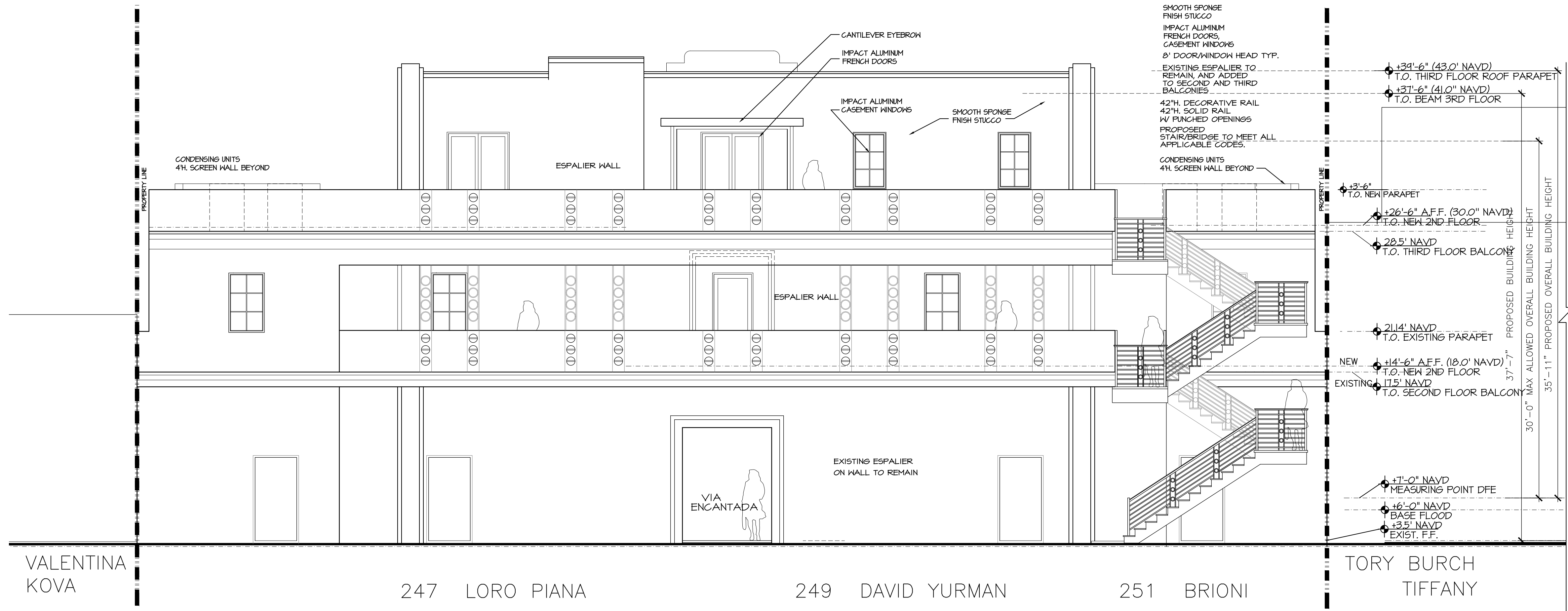
JOB NUMBER: 21-112

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-533-4101, LICENSE #AA-C00114





VALENTINA KOVA

247 LORO PIANA

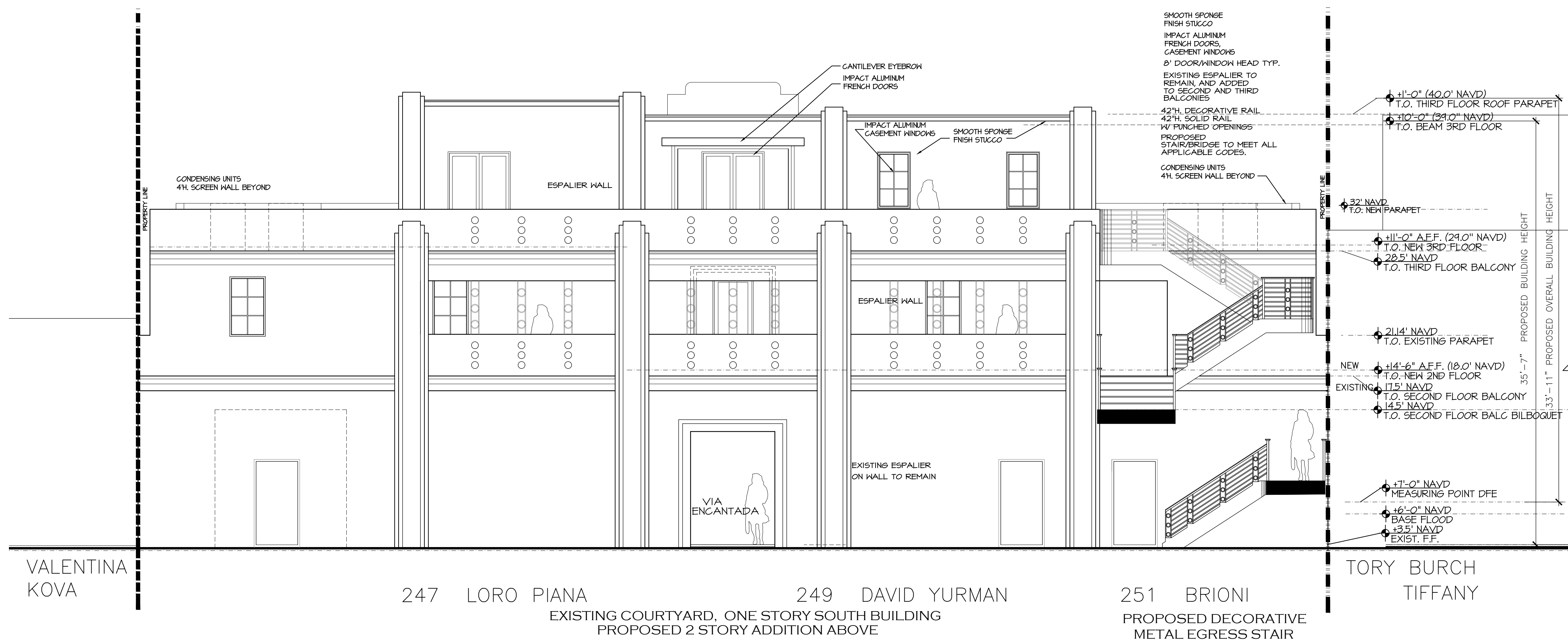
249 DAVID YURMAN

251 BRIONI

TORY BURCH TIFFANY

PREVIOUS COURTYARD NORTH ELEVATION

SCALE 3/16" = 1'-0"



VALENTINA KOVA

247 LORO PIANA

249 DAVID YURMAN

251 BRIONI

TORY BURCH TIFFANY

EXISTING COURTYARD, ONE STORY SOUTH BUILDING
PROPOSED 2 STORY ADDITION ABOVE

PROPOSED DECORATIVE
METAL EGRESS STAIR

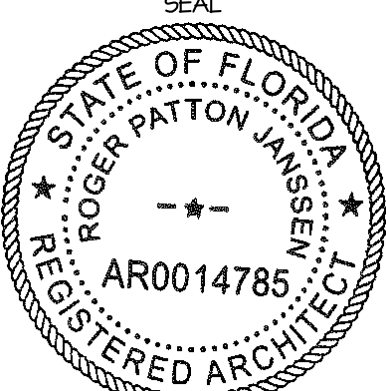
PROPOSED COURTYARD NORTH ELEVATION

SCALE 3/16" = 1'-0"

PROPOSED TWO STORY ADDITION AT:

- DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL
• 05.30.2023 SECOND SUBMITTAL
• 06.26.2023 RESUBMIT SECOND SUBMITTAL
• 07.31.2023 RESUBMIT SUBMITTAL
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• 01.24.2024 ARCOM RI
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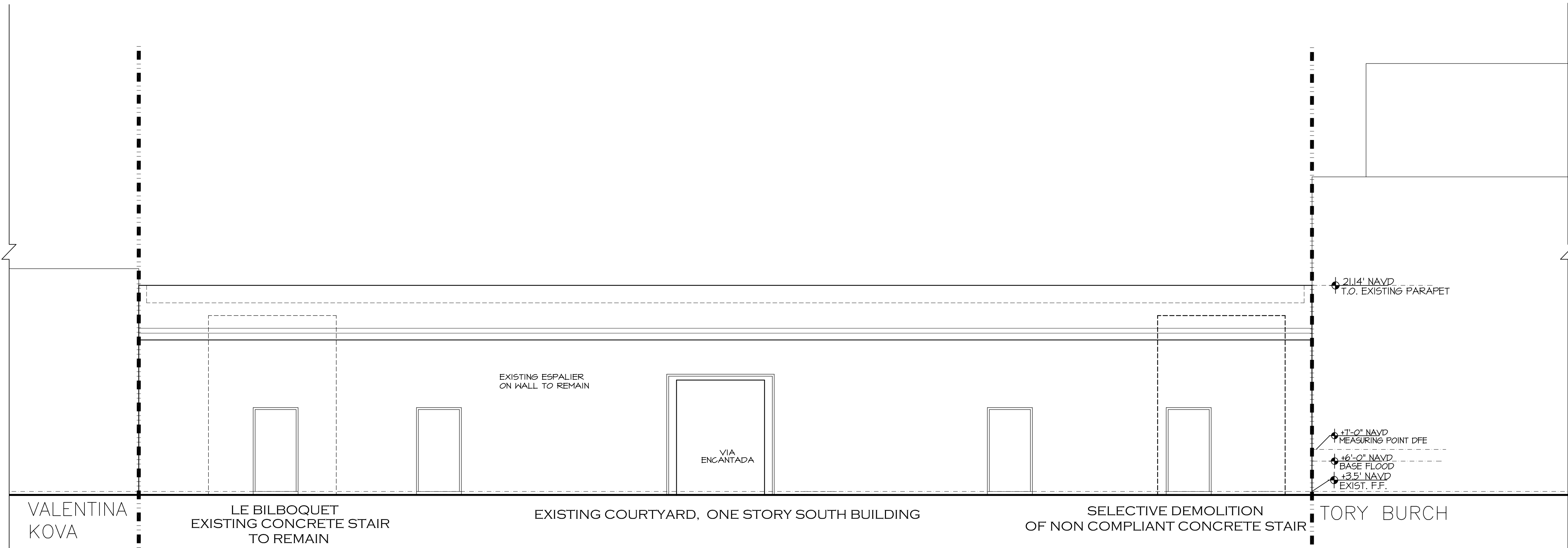


ROGER P. JANSSEN AR-14785

DRAWING NO.

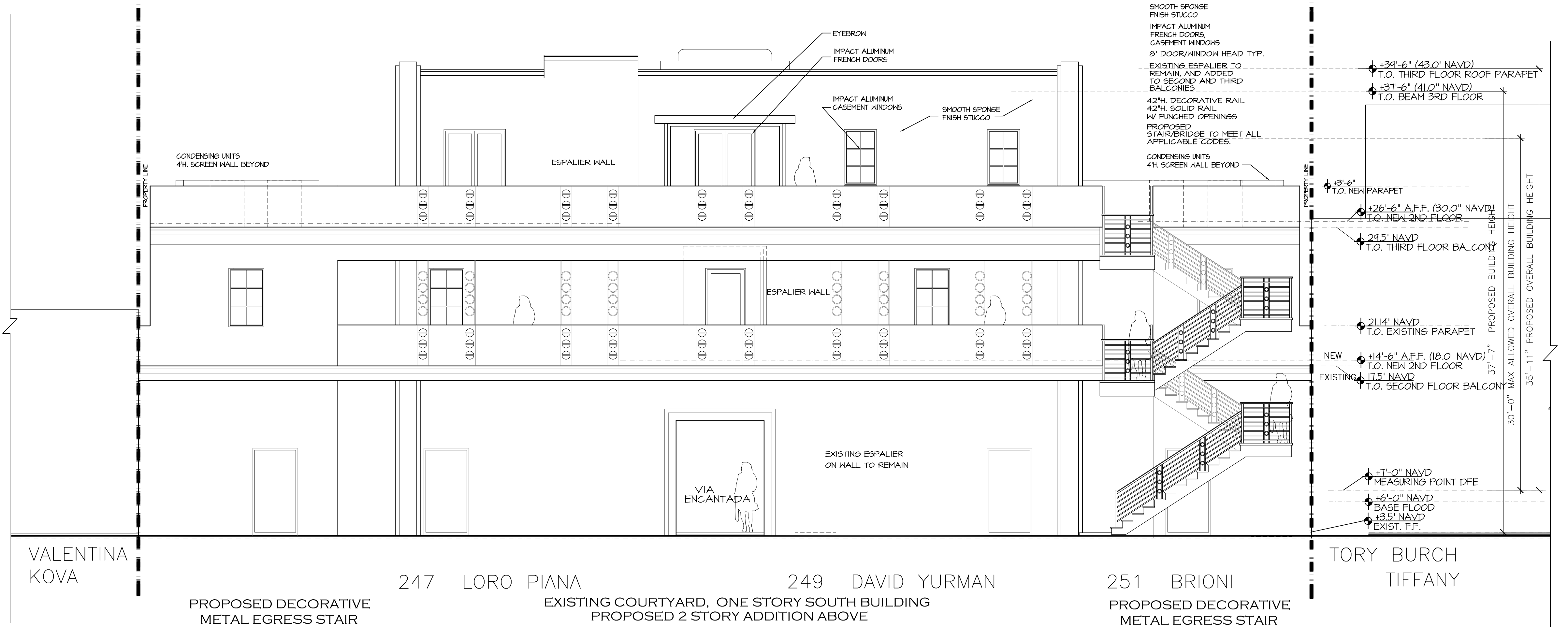
A-2.02 R

JOB NUMBER: 21-112



EXISTING COURTYARD NORTH ELEVATION

SCALE 3/16" = 1'-0"



PREVIOUS COURTYARD NORTH ELEVATION

SCALE 3/16" = 1'-0"

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C00174

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

• 08.28.2023 RESUBMIT SUBMITTAL

• 09.12.2023 FINAL SUBMITTAL

• 10.21.2023 TC STAIR OPTION

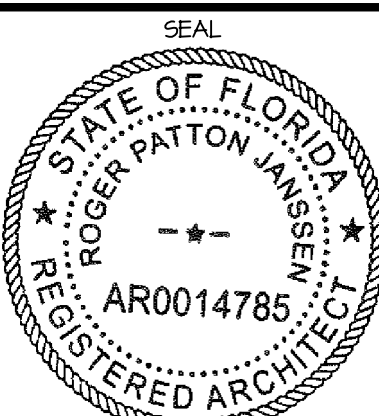
• 12.04.2023 ARCOM SUBMITTAL

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ROGER P. JANSSEN AR-14785

DRAWING NO.

A-2.02

JOB NUMBER:

21-112



COURTYARD PERSPECTIVE EXISTING STAIR LOOKING EAST
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

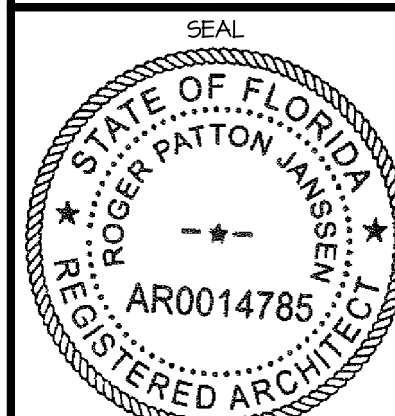
REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
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- 10.27.2023 TC STAIR OPTION

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ROGER P. JANSSEN AR-14785
DRAWING NO.

REN 6

JOB NUMBER: 21-112



NORTH PERSPECTIVE VIEW WEST
247 WORTH AVENUE ADDITION SUBJECT PROPERTY

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-533-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

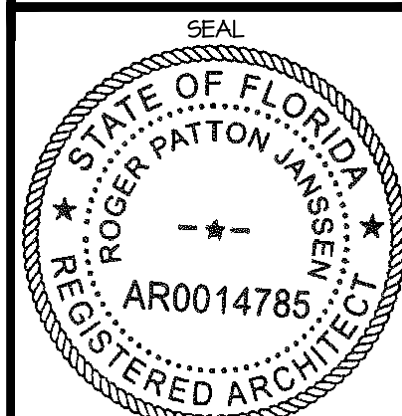
REVISIONS:

- 05.11.2023 FIRST SUBMITTAL
- 05.30.2023 SECOND SUBMITTAL
- 06.26.2023 RESUBMIT SECOND SUBMITTAL
- 07.31.2023 RESUBMIT SUBMITTAL
- 08.28.2023 RESUBMIT SUBMITTAL
- 09.12.2023 FINAL SUBMITTAL

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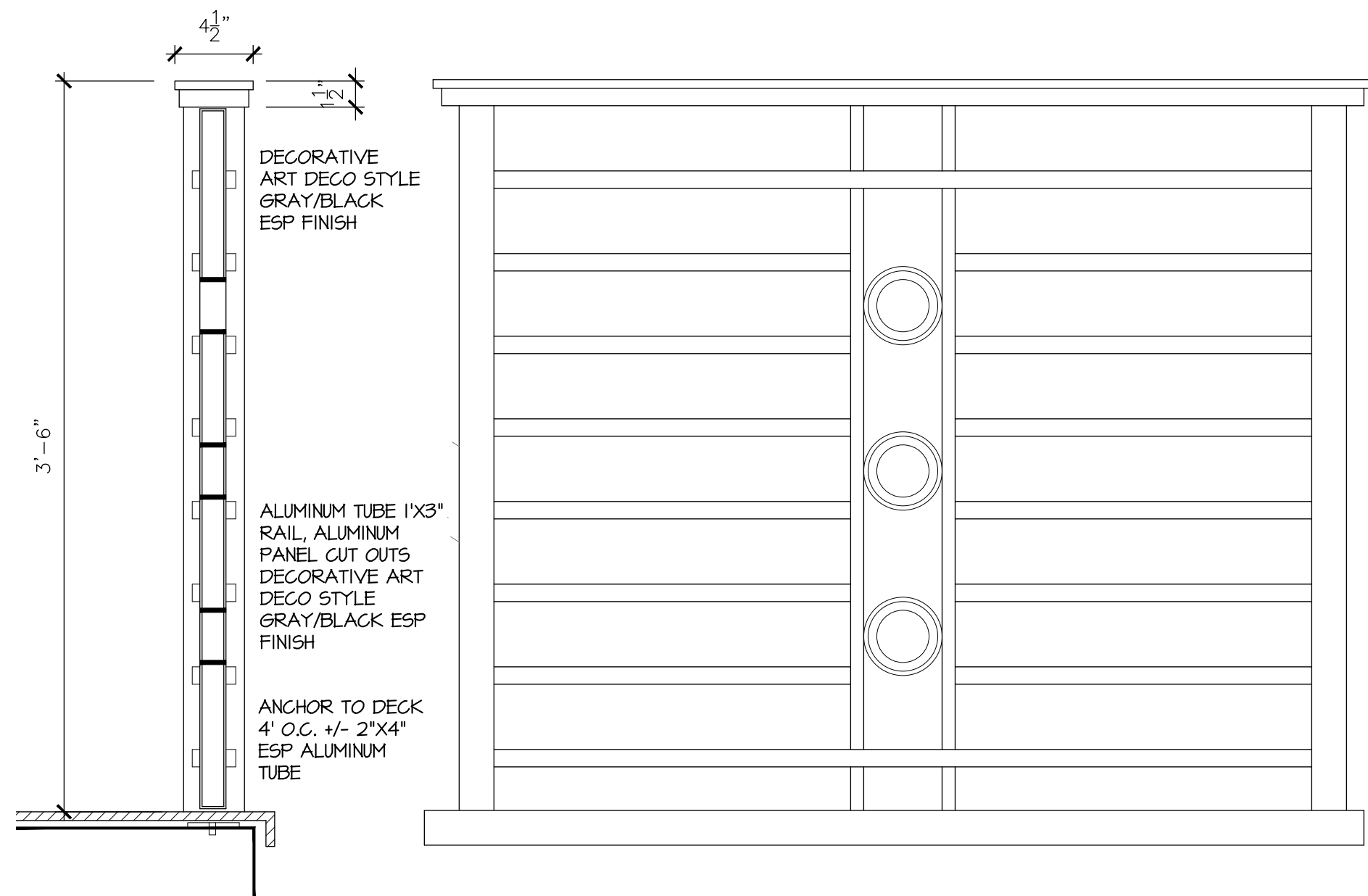


ROGER P. JANSSEN AR-14785

DRAWING NO.

REN 4

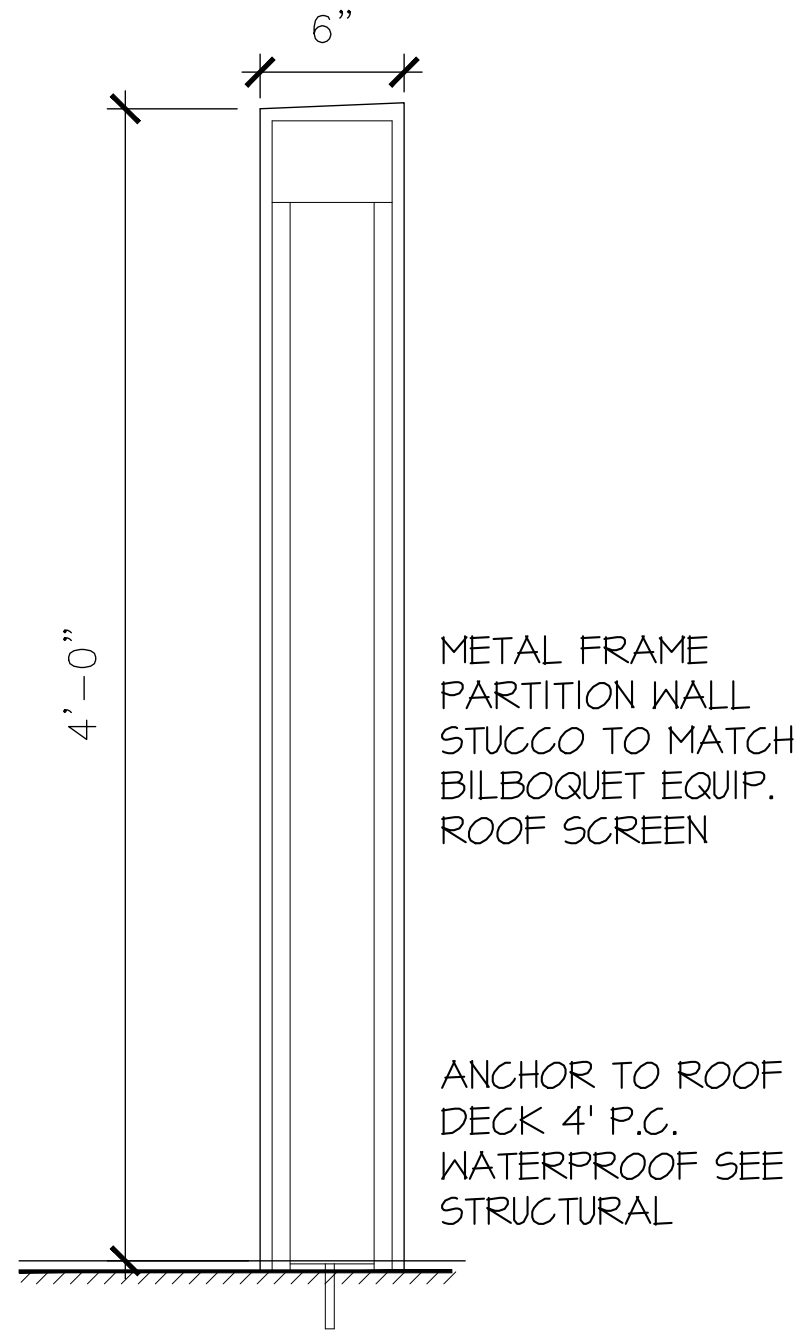
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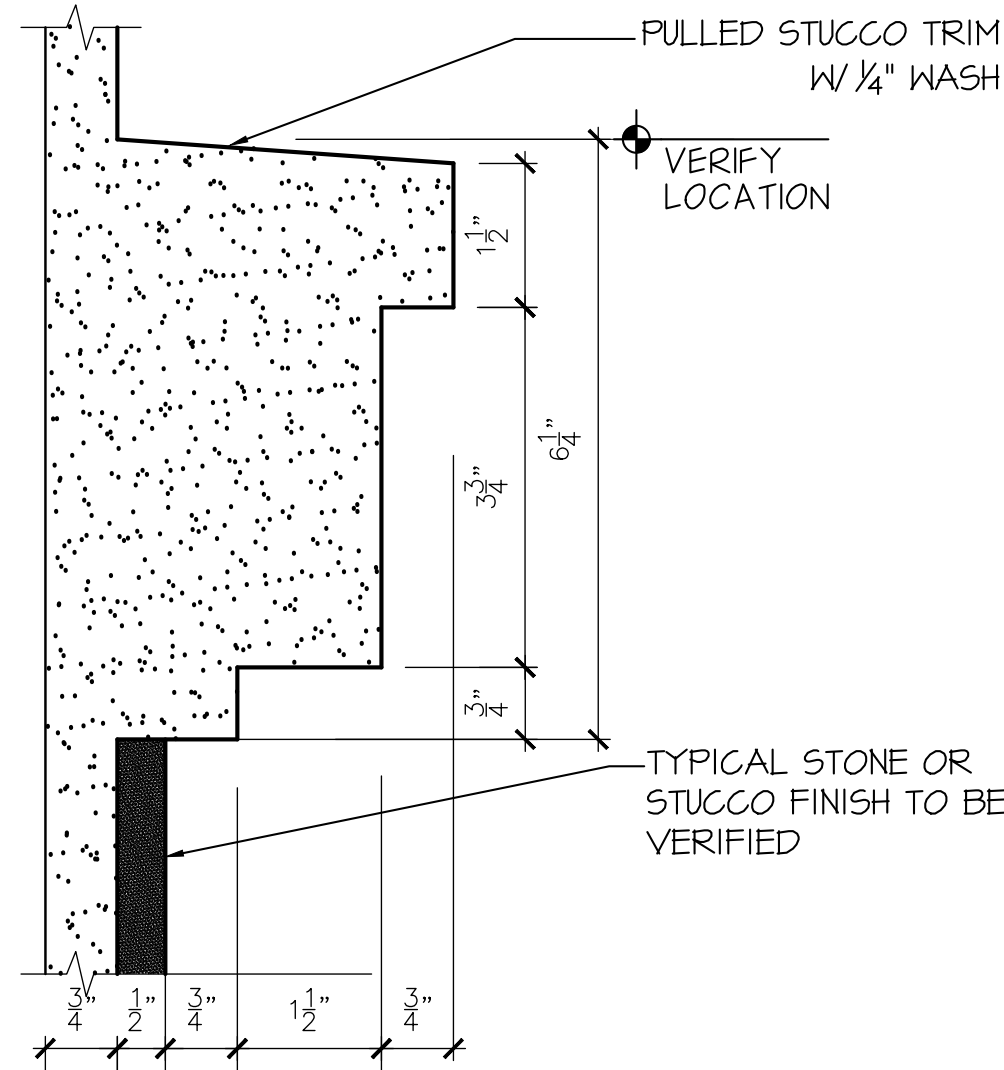
F PROPOSED METAL STAIR RAIL
ALUMINUM ESP FINISH-GRAY/BLACK



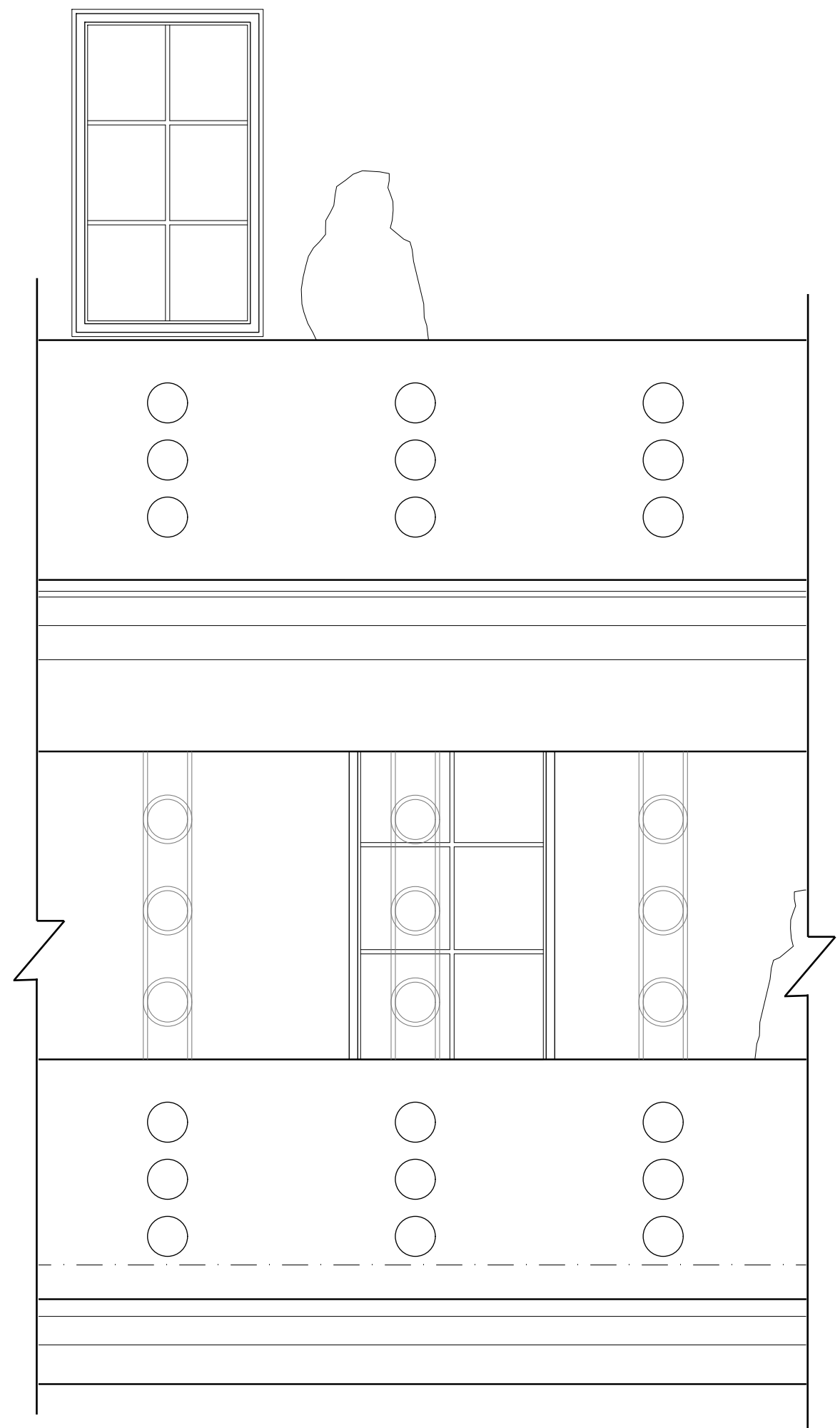
EXISTING AC SCREEN WALL
@ LE BILBOQUET



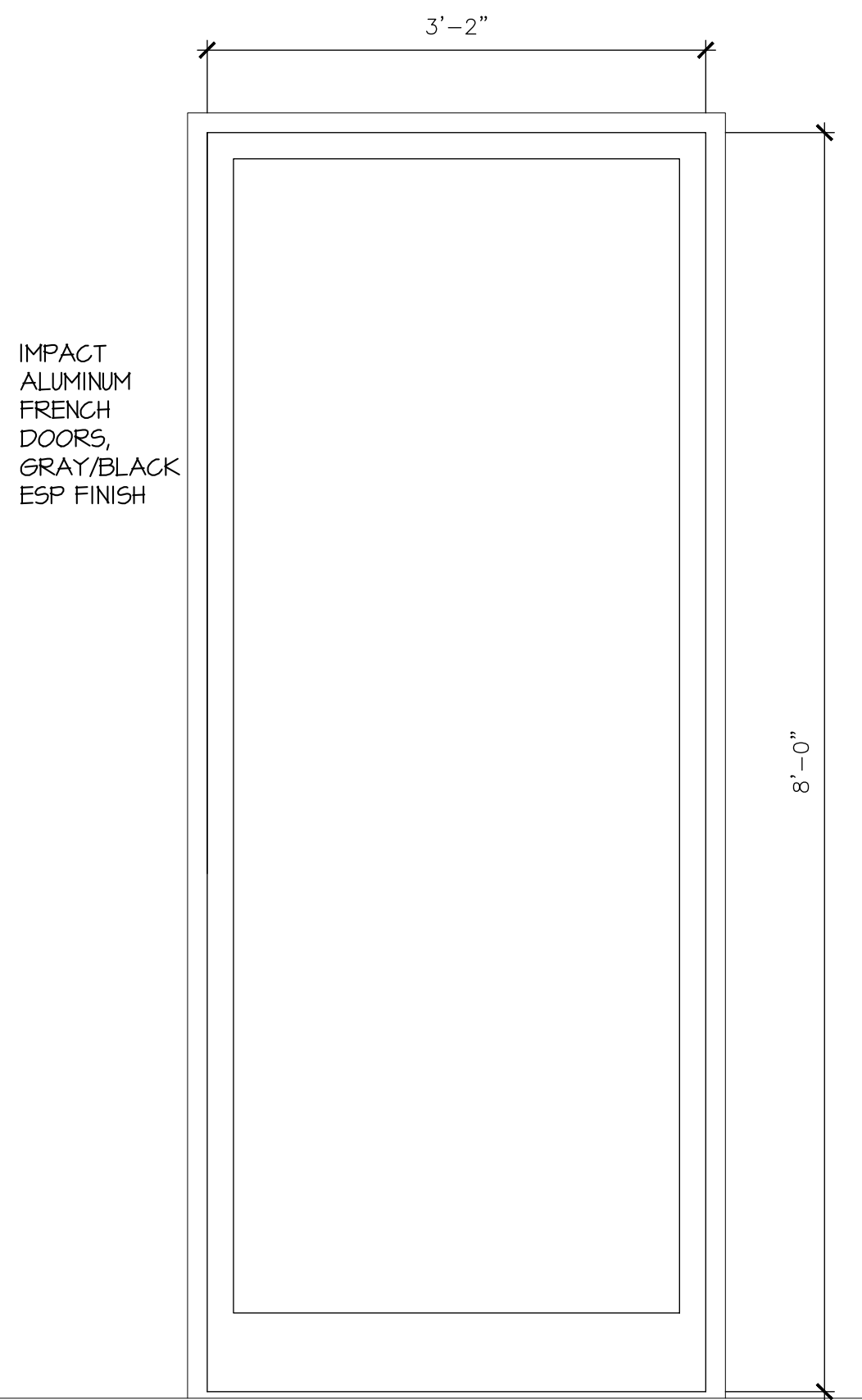
ROOF AC SCREEN WALL
SCALE 1 1/2" = 1'-0"



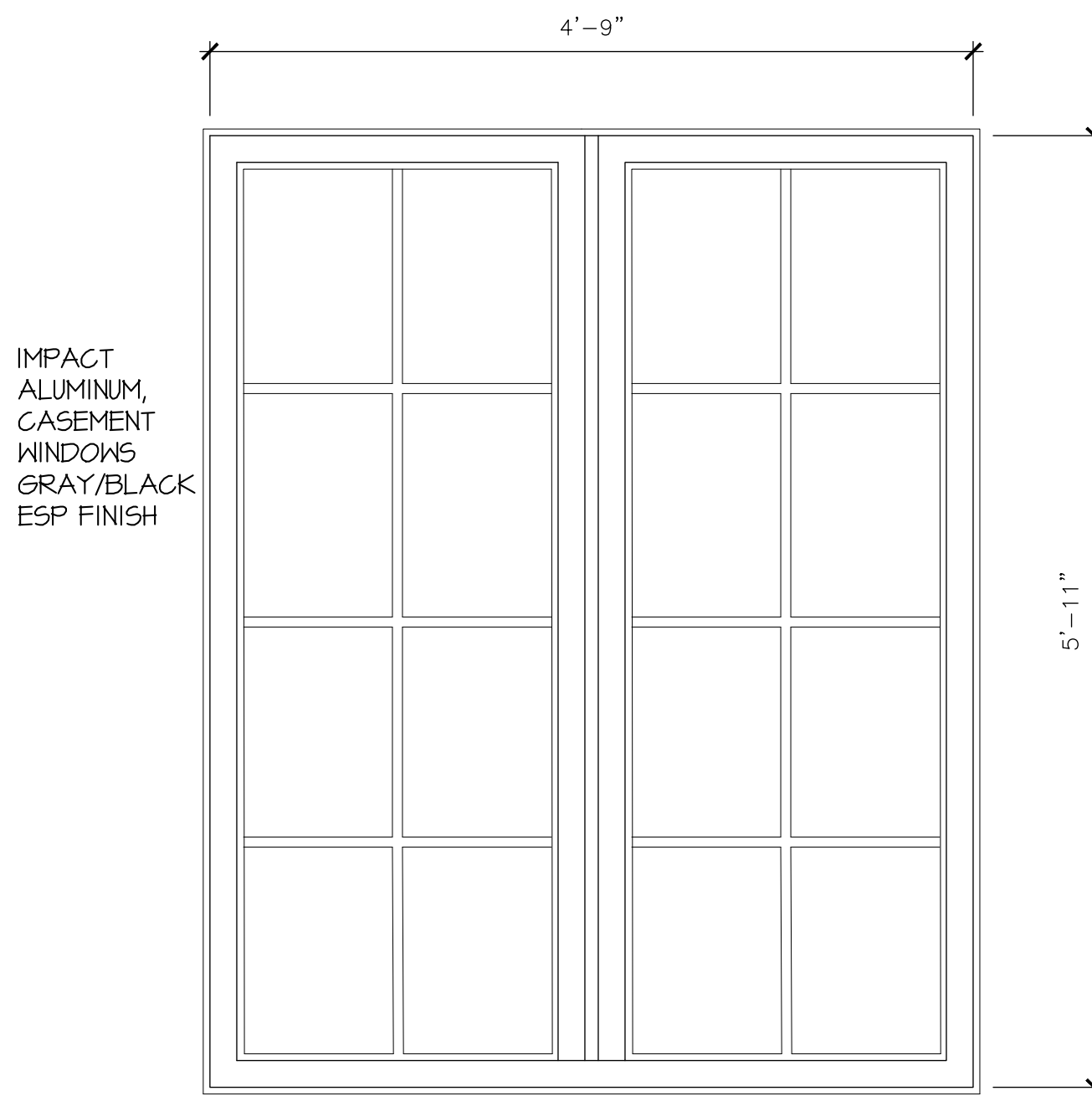
B STUCCO TRIM COURSE PROFILE
SCALE 6" = 1'-0"



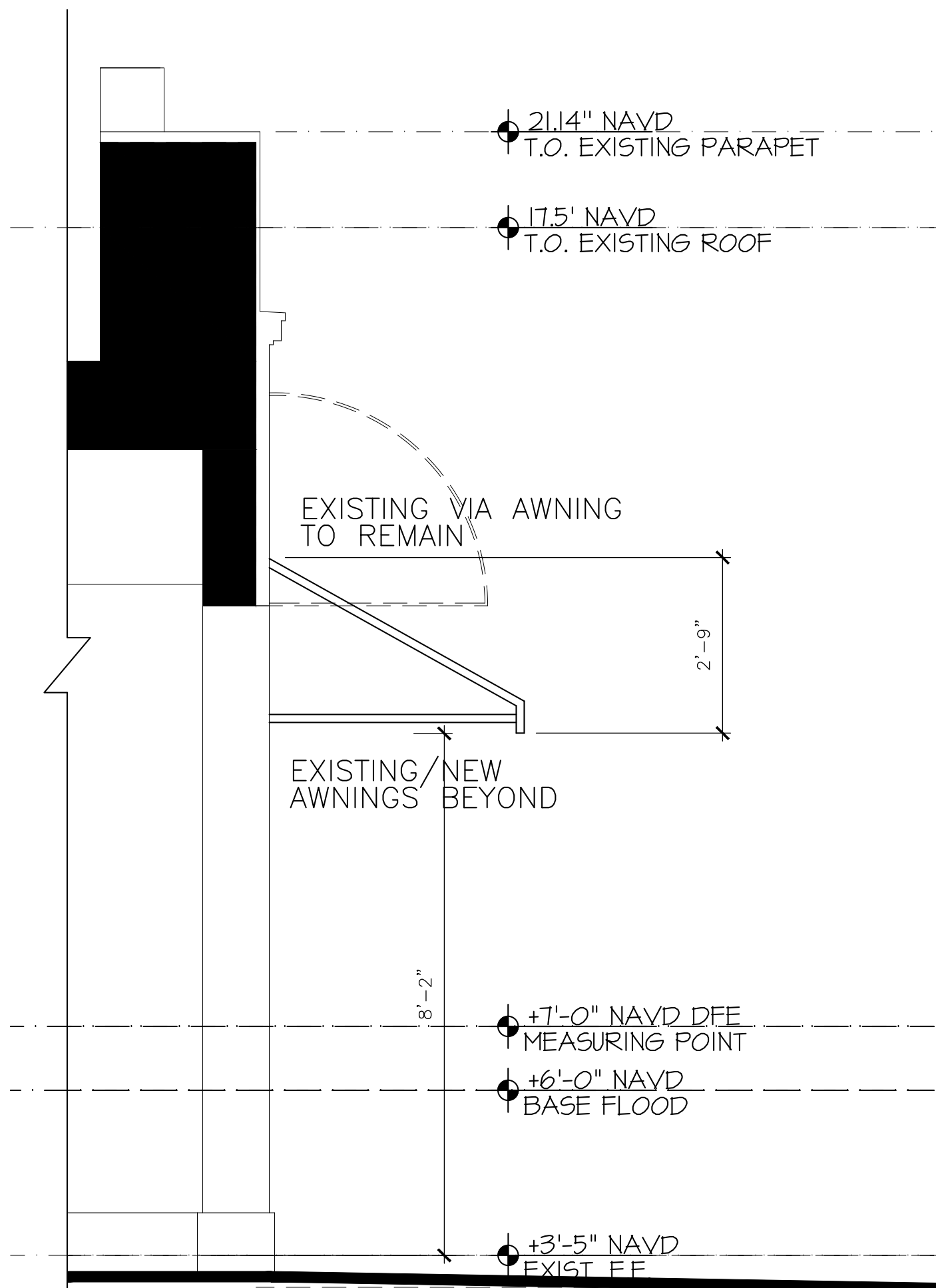
G TYP. REAR RAILING DETAIL
SCALE 1/2" = 1'-0"



E ALUMINUM, GLASS ENTRY DOORS
PAIR DOORS SIMILAR



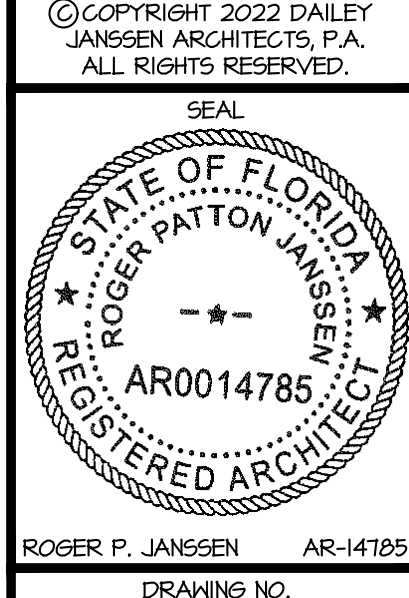
C CASEMENT WINDOWS
SINGLE WINDOW SIMILAR
SCALE 1" = 1'-0"

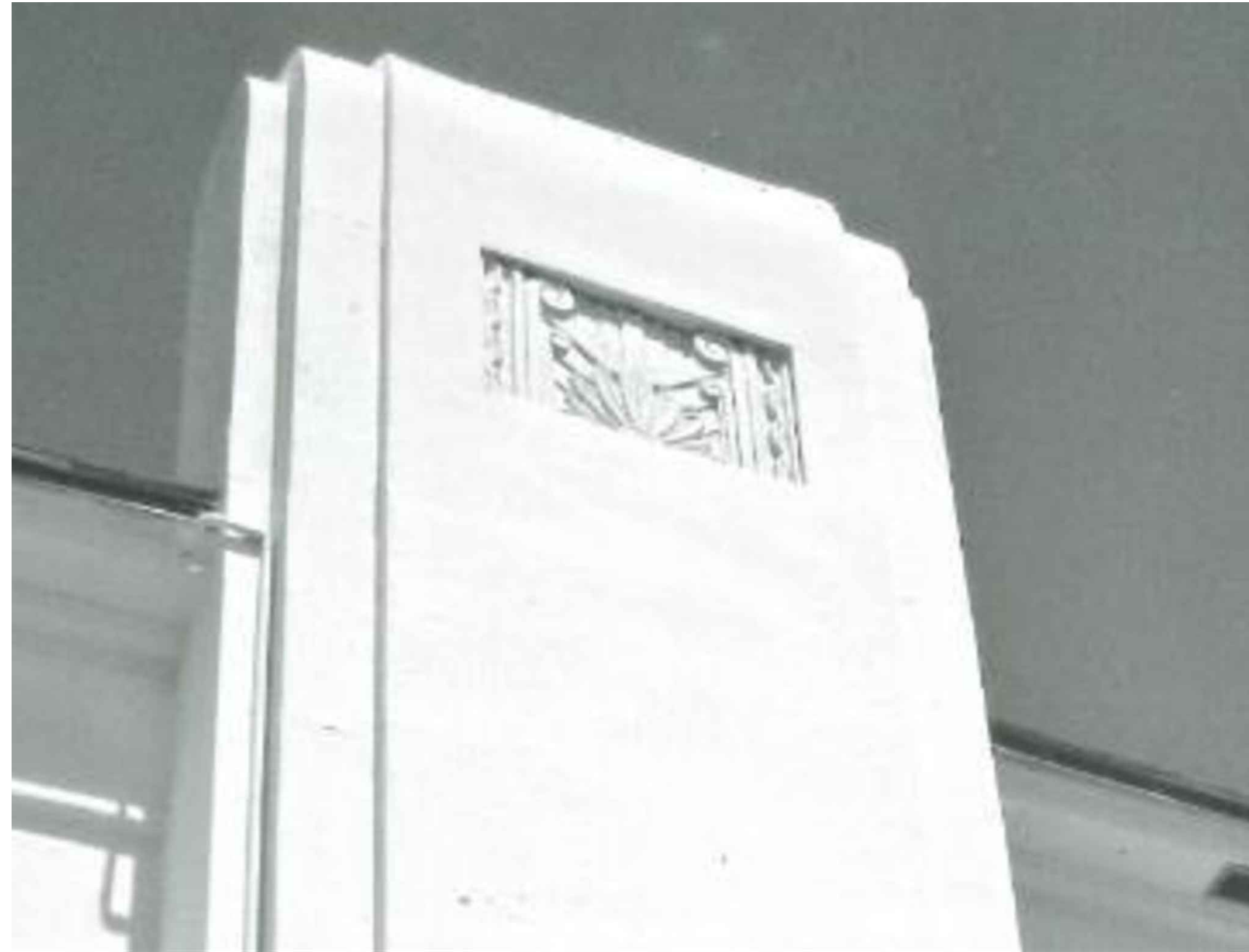


A EXISTING ONE STORY AWNINGS
SCALE 1/2" = 1'-0"

DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL
• 05.30.2023 SECOND SUBMITTAL
• 06.26.2023 RESUBMIT SECOND SUBMITTAL
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• 09.12.2023 FINAL SUBMITTAL
• 10.21.2023 TC STAIR OPTION
• 12.04.2023 ARCOM SUBMITTAL
• 01.24.2024 ARCOM RI
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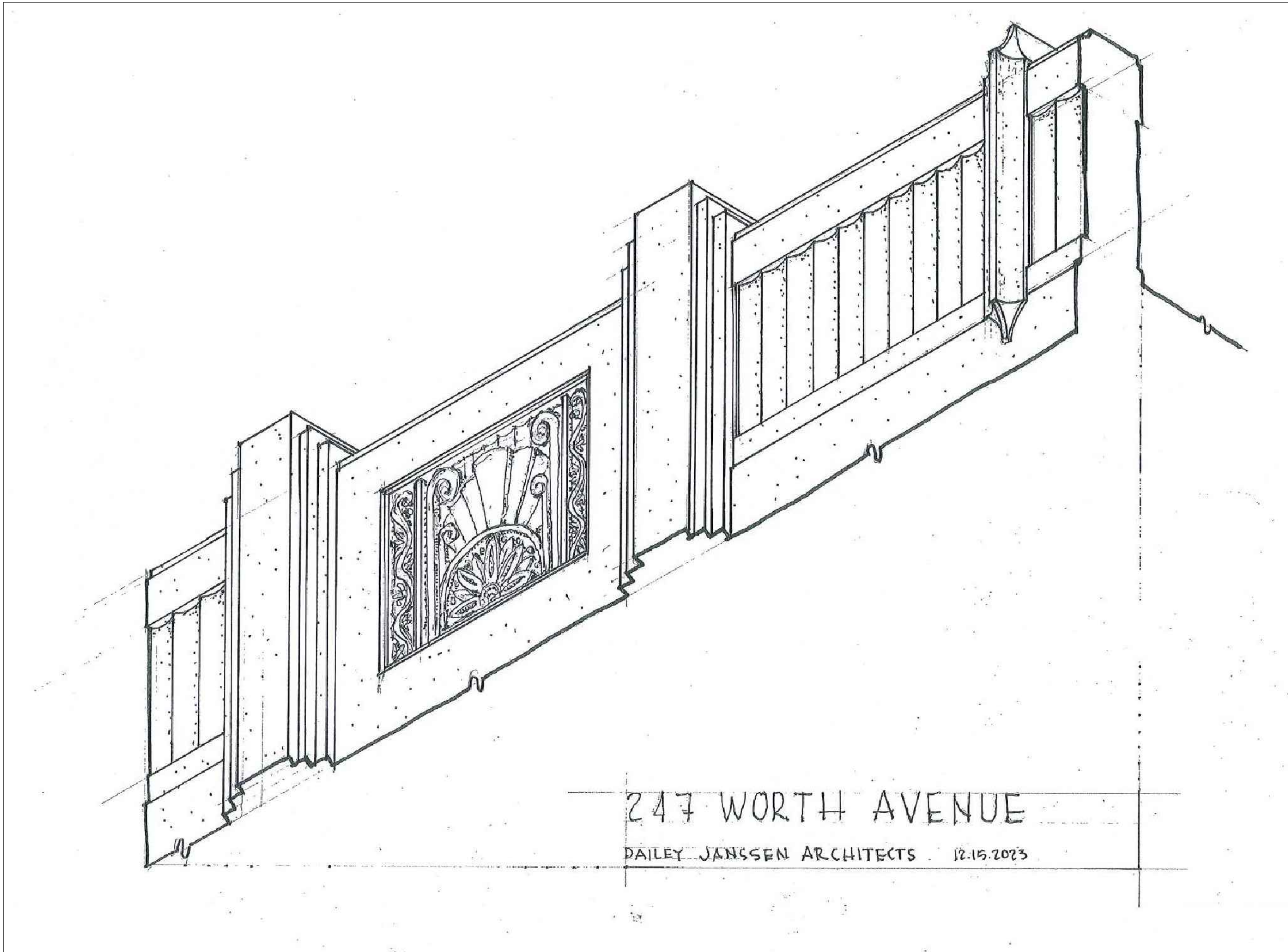
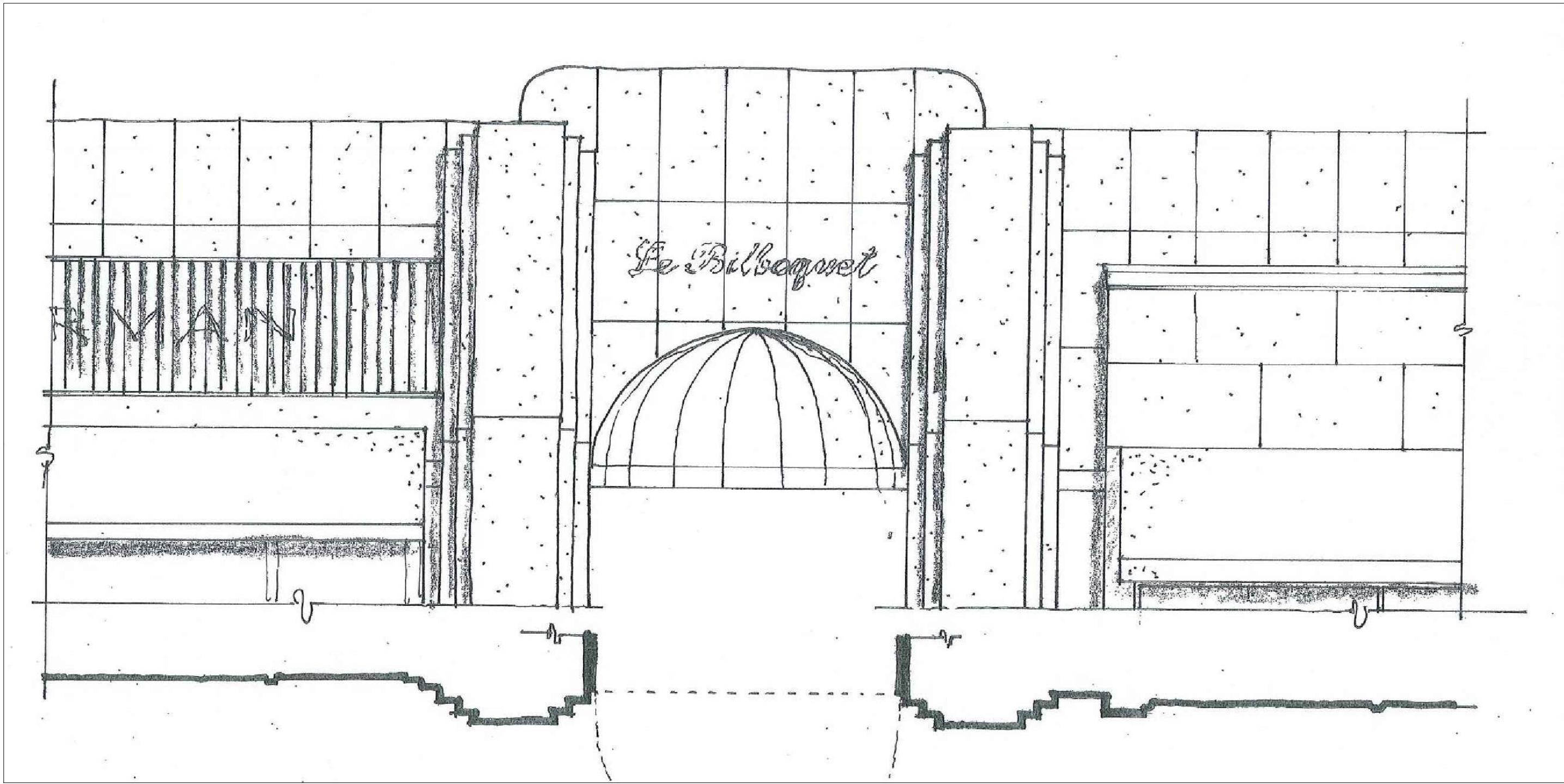




STUCCO WALL STEP, RELIEF DETAIL



STUCCO SCALLOP DETAIL



REFERENCE ART DECO DETAILS

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-833-4101, LICENSE #AA-C001714

DATE: 08.28.2023

DRAWN: MJS

REVISIONS:

• 05.11.2023 FIRST SUBMITTAL

• 05.30.2023 SECOND SUBMITTAL

• 06.26.2023 RESUBMIT SECOND SUBMITTAL

• 07.31.2023 RESUBMIT SUBMITTAL

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• 09.12.2023 FINAL SUBMITTAL

• 10.21.2023 TC STAIR OPTION

• 12.04.2023 ARCOM SUBMITTAL

• 01.24.2024 ARCOM RI

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1948 ARCHIVE PHOTO CURRENT BRIONI TENANT



1948 VIEW FROM WEST
251-245 WORTH AVENUE



1948 VIEW FROM EAST
251-245 WORTH AVENUE

HISTORICAL REFERENCE

PROPOSED TWO STORY ADDITION AT:
247 WORTH AVENUE

DAILEY JANSSEN ARCHITECTS
PALM BEACH COUNTY, FLORIDA
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-833-4101, LICENSE #AA-C000174

- DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL
• 05.30.2023 SECOND SUBMITTAL
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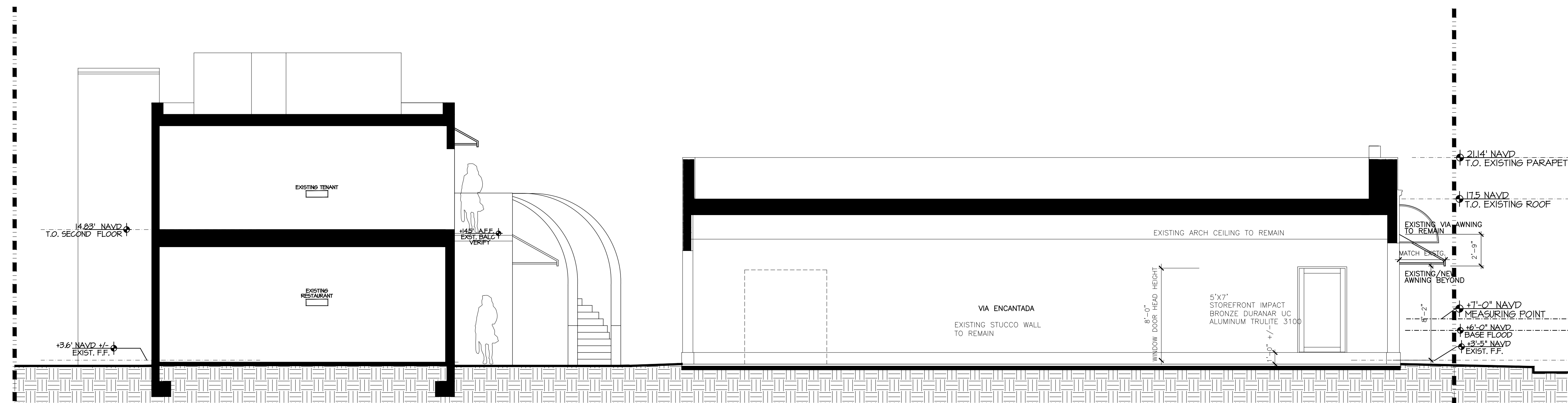
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SEAL
STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER PATTON JANSSEN
AR0014785

ROGER P. JANSSEN AR-14785
DRAWING NO.

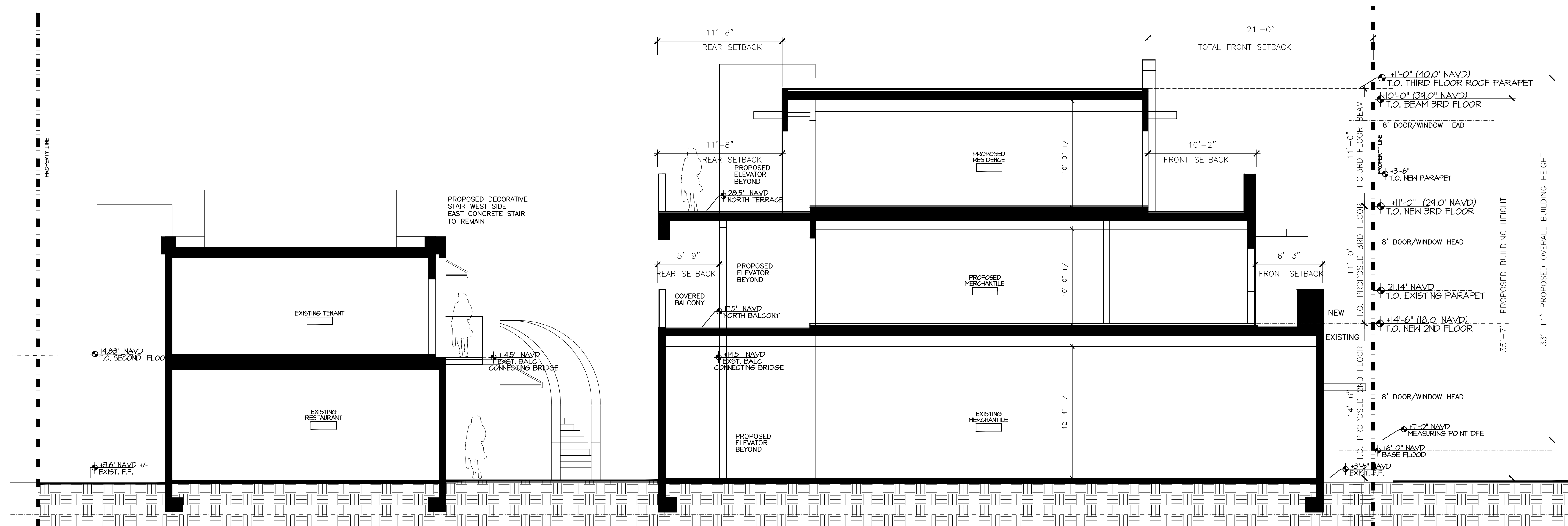
REF
HISTORICAL

JOB NUMBER: 21-172



EXISTING BUILDINGS SITE SECTION NORTH SOUTH

SCALE: 3/16" = 1'-0"



EXISTING ONE STORY W/PROPOSED TWO STORY ADDITION

PROPOSED BUILDING SITE SECTION NORTH SOUTH

SCALE: 3/16" = 1'-0"

PROPOSED TWO STORY ADDITION AT:

247 WORTH AVENUE

PALM BEACH COUNTY, FLORIDA

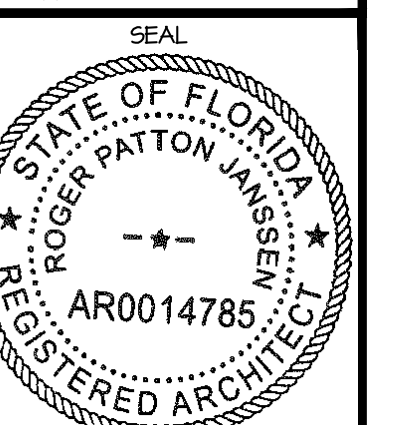
DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401 TEL: 561-933-4101, LICENSE #AA-C001914

- DATE: 08.28.2023
DRAWN: MJ5
REVISIONS:
• 05.11.2023 FIRST SUBMITTAL
• 05.30.2023 SECOND SUBMITTAL
• 06.26.2023 RESUBMIT SECOND SUBMITTAL
• 07.31.2023 RESUBMIT SUBMITTAL
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•

ARC-23-094 ZON-23-072

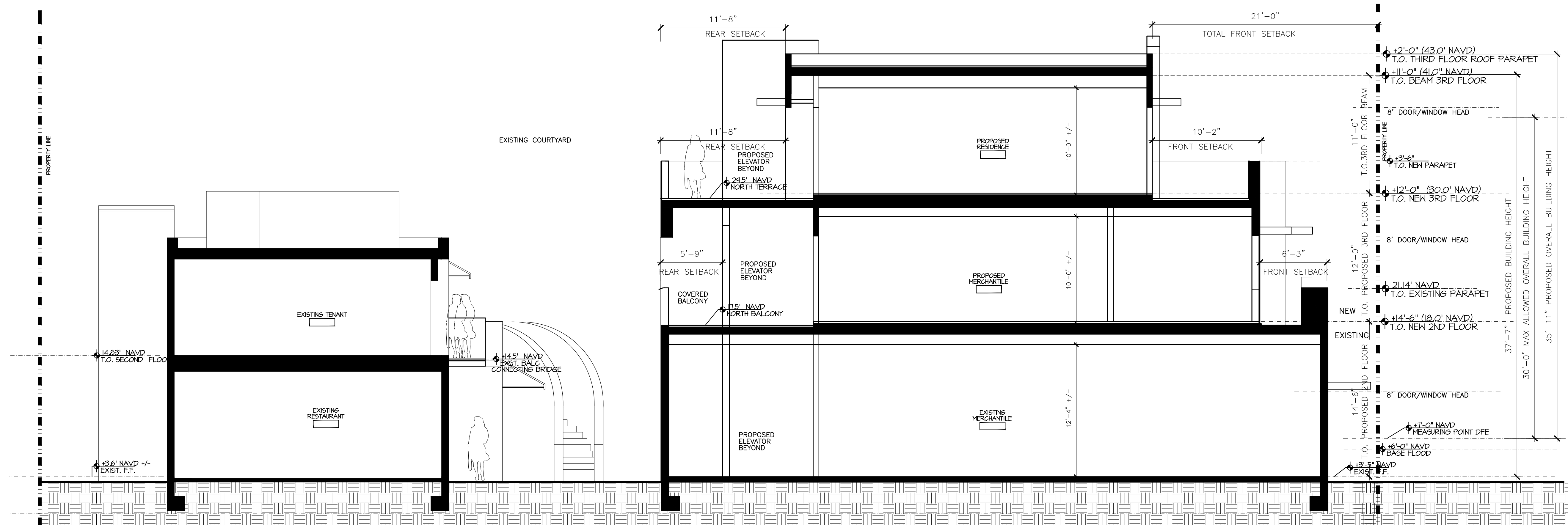
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ROGER P. JANSSEN AR-14785
DRAWING NO.

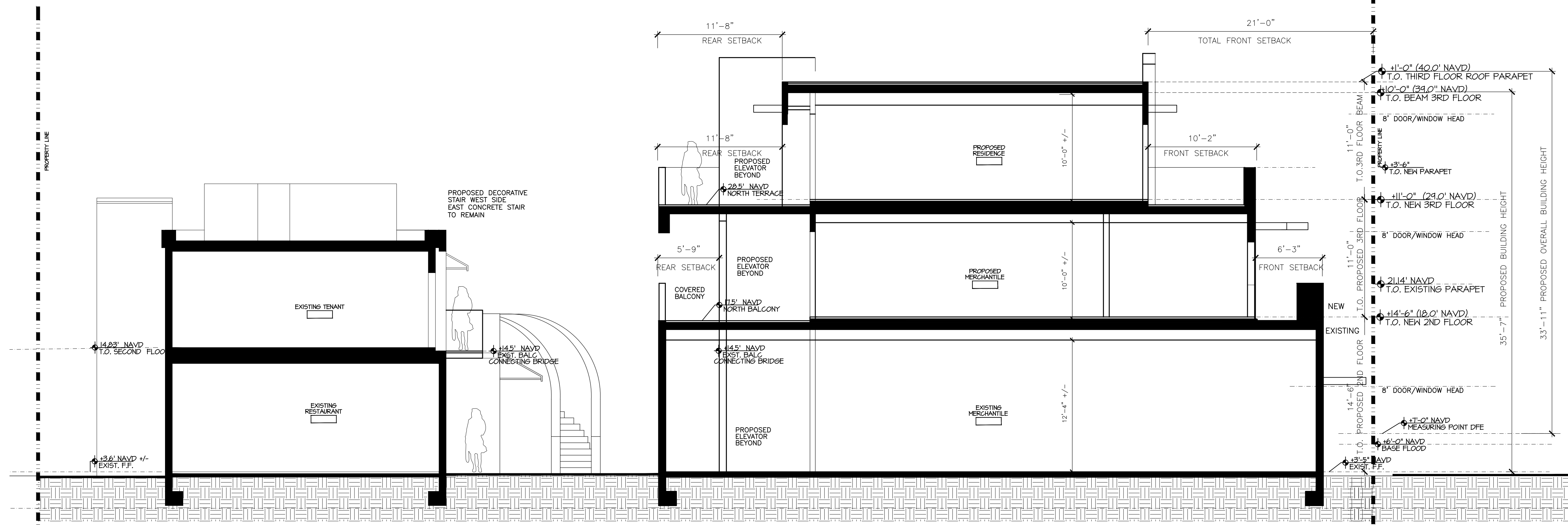
A-3.01 R

JOB NUMBER: 21-172



EXISTING TWO STORY
EXISTING COURTYARD
NEW CONNECTING ACCESS STAIRS
EXISTING ONE STORY W/TWO STORY ADDITION
PREVIOUS BUILDING SITE SECTION NORTH SOUTH

SCALE: 3/16" = 1'-0"



EXISTING TWO STORY
EXISTING COURTYARD
NEW CONNECTING ACCESS STAIRS
EXISTING ONE STORY W/PROPOSED TWO STORY ADDITION
PROPOSED BUILDING SITE SECTION NORTH SOUTH

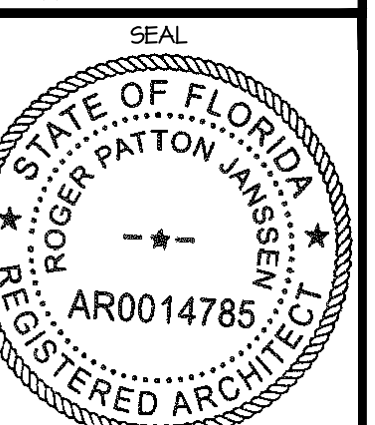
SCALE: 3/16" = 1'-0"

PROPOSED TWO STORY ADDITION AT:

- DATE: 08.28.2023
DRAWN: MJS
REVISIONS:
- 05.JUL.2023 FIRST SUBMITTAL
 - 05.30.2023 SECOND SUBMITTAL
 - 06.26.2023 RESUBMIT SECOND SUBMITTAL
 - 07.31.2023 RESUBMIT SUBMITTAL
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 - 12.04.2023 ARCOM SUBMITTAL
 - 01.24.2024 ARCOM RI
 - .

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ROGER P. JANSSEN AR-14785
DRAWING NO.

A-3.01 R

JOB NUMBER: 21-172

247 WORTH AVENUE

DAILEY JANSSEN ARCHITECTS
PALM BEACH COUNTY, FLORIDA
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE WA-C0014