

# COA-24-003 (ZON-24-021) DROP OFF

## HARDSCAPE AND EXTERIOR DOOR ALTERATIONS AND BRIDGE ADDITION FOR:

### ANN DESRUISSEAUX

**RECEIVED**  
By yfigueroa at 11:56 am, Dec 07, 2023



BRASSEUR  
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ARCHITECTS, P.A.

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COA-24-003 (ZON-24-021) DROP OFF  
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:  
ANN DESRUISSEAUX  
800 SOUTH COUNTY ROAD  
PALM BEACH, FLORIDA

SEALED BY:  
 JEFFREY D. BRASSEUR - BR 0017698  
 JASON P. DROBOT - BR 94843

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Jason Drobot  
DN: cn=Jason Drobot, o=ou,  
email=jason@brasseuranddrobot.com, c=US  
Date: 2023.12.01  
13:09:09 -05'00

JOB #:  
DATE:  
DESIGNED BY:  
DRAWN BY:  
CHECKED BY:

REVISIONS:

20-005  
12-7-23  
JPD  
JPD  
JPD



C1  
SHEET: 1 Of: 22



**SITE PLAN NOTE**

1. THE ARCHITECTURAL SITE PLAN IS FOR GENERAL LOCATION OF THE HOUSE, POOL, DRIVES, AND SITE FEATURES ONLY. THE OWNER SHALL PROVIDE A PRELIMINARY LOT FIT PERFORMED BY A LICENSED SURVEYOR AT 50% COMPLETION OF PROJECT. THE SURVEYOR IS RESPONSIBLE FOR VERIFYING BUILDING LOT FIT, LOT COVERAGE, EASEMENT LOCATIONS, SETBACKS, AND ALL SITE DIMENSIONS PRIOR TO PERMIT AND CONSTRUCTION. IF ANY CONFLICTS OCCUR BETWEEN THE ARCHITECTURAL SITE PLAN AND SURVEYORS PLAN, THE GENERAL CONTRACTOR AND ARCHITECT SHALL BE NOTIFIED IN WRITING PRIOR TO PERMITTING AND CONSTRUCTION. NO WORK SHALL BE PERFORMED UNTIL THE GENERAL CONTRACTOR RESOLVES THE CONFLICTS.

**SITE INFORMATION**

WALLACE SURVEYING CORP.  
LS #4569  
5553 VILLAGE BOULEVARD  
WEST PALM BEACH, FL 33401  
PH. (561) 640-4551

**LEGAL DESCRIPTION**

MUNICIPALITY: PALM BEACH  
PARCEL CONTROL NUMBER: 50-43-43-35-00-001-0020  
OFFICIAL RECORDS BOOK: 3110 PAGE: 173  
LEGAL DESCRIPTION: 35'-43'-43', S 200' FT OF N 69132 FT OF GOV LT 1 LYG W OF 4' ADJ TO COUNTRY RD

**FLORIDA BUILDING CODE 2020**  
**FLORIDA EXISTING BUILDING CODE 2020**

ALTERATION LEVEL 3  
WIND SPEED = 170 MPH V (ULT), 132 MPH V (ASD)  
WIND IMPORTANCE FACTOR = 1.0  
EXPOSURE D  
ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT - Gcpi = 0.18  
MEAN ROOF HEIGHT = 30'-0"

**PROJECT INDEX**

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**DESIGN TEAM**

<b>ARCHITECT OF RECORD</b> Brasseur & Drobot Architects Attn: Jason Drobot 224 Dutton Street Suite 511 West Palm Beach, FL 33401 (561) 820-8088	<b>DESIGN ARCHITECT</b> SKA Architect + Planner Attn: Jacqueline Albarran 324 Royal Palm Way Suite 227 Palm Beach, FL 33480 (561) 655-7676	<b>DESIGN ARCHITECT</b> Portuondo-Perotti Architects Attn: Rafael Portuondo 5711 SW 8th Street Suite 200 Miami, FL 33144 (305) 260-9331
<b>CONSULTING SURVEYORS</b> Wallace Surveying 5553 Village Blvd. West Palm Beach, FL 33401 (561) 640-4551	<b>LANDSCAPE ARCHITECT</b> Fernando Wong Outdoor Living Design Attn: Tim Johnson 320 Pine Street West Palm Beach, FL 33401 (561) 515-0213	<b>STRUCTURAL ENGINEER</b> Botkin Parsel & Associates Inc. Attn: Fatih Acikgoz 2749 Exchange Court West Palm Beach, FL 33409 (561) 965-4308
<b>CIVIL ENGINEER</b> Gruber Consulting Engineers, Inc. Attn: Chad Gruber 2465 Mercer Ave. Ste 206 West Palm Beach, FL 33401 (561) 312-2041	<b>MEP ENGINEER</b> FAE Consulting Attn: Ben Jados 300 Lock Rd, Suite 302 Deerfield Beach, FL 33442 (561) 391-9232	

**AREA CALCULATIONS**

<b>AREA CALCULATIONS</b>		<b>AREA CALCULATIONS</b>	
<b>MAIN HOUSE FIRST FLOOR:</b>		<b>GUEST HOUSE FIRST FLOOR:</b>	
FIRST FLOOR A/C:	7842.30 S.F.	FIRST FLOOR A/C:	1,789.72 S.F.
4 CAR GARAGE:	1134.05 S.F.		
STAIR TOWER:	130.16 S.F.	<b>GUEST HOUSE SECOND FLOOR:</b>	
COVERED LOGGIA AT FAMILY ROOM:	872.72 S.F.	SECOND FLOOR A/C:	1,020.91 S.F.
BALCONY AT FAMILY ROOM:	10.33 S.F.	PROPOSED UNCOVERED BRIDGE:	40.94 S.F.
<b>TOTAL FIRST FLOOR:</b>	<b>9,989.56 S.F.</b>	<b>GUEST HOUSE TOTAL AREA:</b>	<b>2,851.57 S.F.</b>
<b>MAIN HOUSE SECOND FLOOR:</b>		<b>EXIST. GENERATOR TOWER:</b> 143.54 S.F.	
SECOND FLOOR A/C:	8,439.33 S.F.	<b>EXIST. CABANA:</b> 226.63 S.F.	
MASTER BALCONY SOUTH:	26.51 S.F.	<b>PROPOSED GENERATOR BUILDING:</b> 227 S.F.	
MASTER BALCONY SPA:	84.22 S.F.		
MASTER BALCONY WEST:	10.33 S.F.		
UPSTAIRS FAMILY RM. BALC. WEST:	445.72 S.F.		
UPSTAIRS FAMILY RM. COV. BLAC. EAST:	390.83 S.F.		
UPSTAIRS FAMILY RM. BALC. EAST:	644.80 S.F.		
BED 2 BALCONY WEST:	36.23 S.F.		
BED 2 BALCONY SOUTH:	13.17 S.F.		
BED 2 BALCONY NORTH:	12.07 S.F.		
BED 3 BALCONY:	15 S.F.		
BED 4 BALCONY:	15 S.F.		
BED 5 BALCONY NORTH:	15 S.F.		
BED 5 BALCONY WEST:	15 S.F.		
BED 4 AND 5 BALCONY NORTH:	67.71 S.F.		
<b>TOTAL SECOND FLOOR:</b>	<b>10,230.92 S.F.</b>		
<b>MAIN RESIDENCE TOTAL AREA:</b>	<b>20,220.8 S.F.</b>		

COVER SHEET

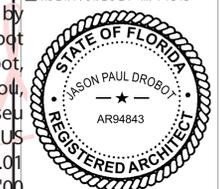


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PALM BEACH, FLORIDA

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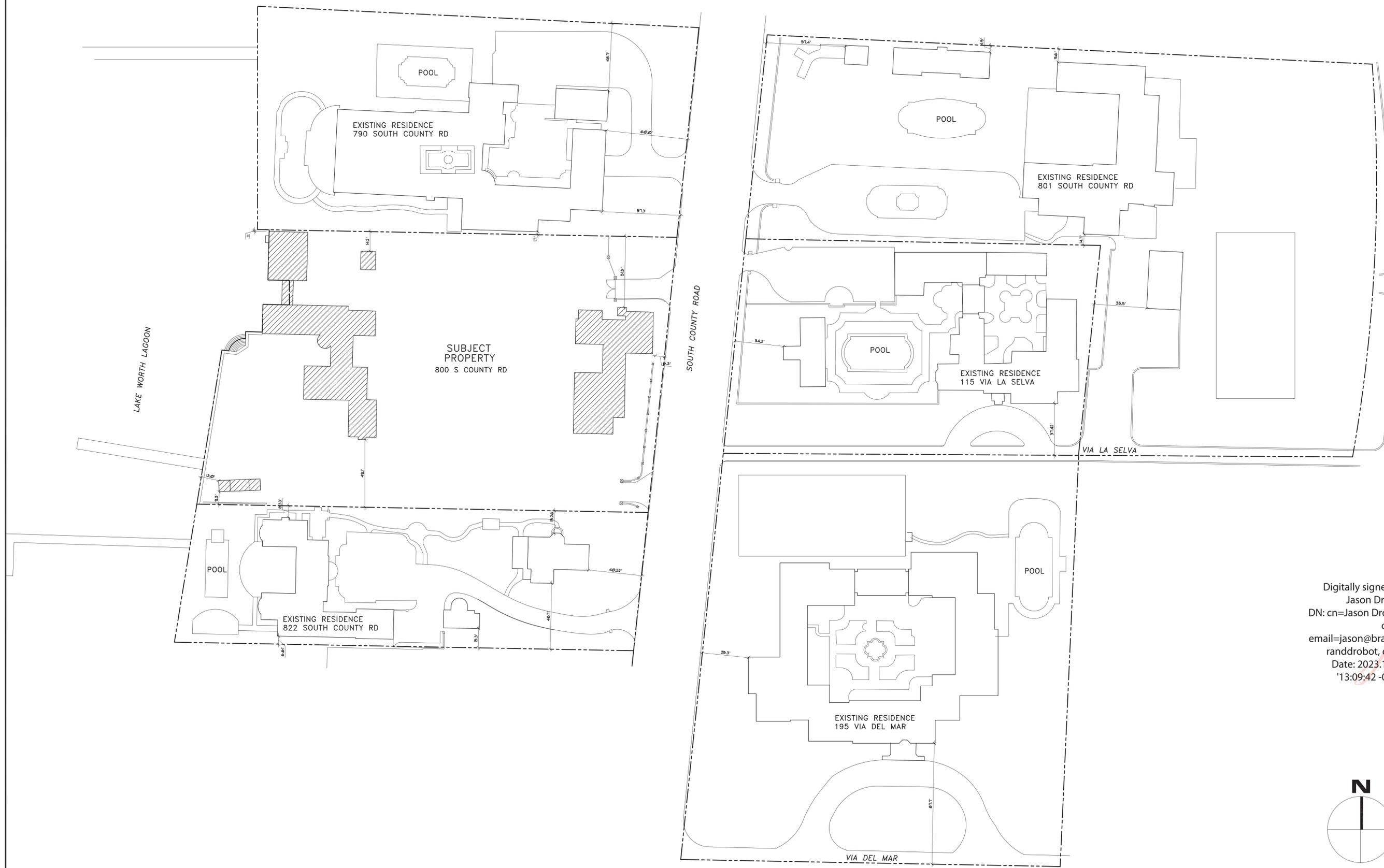
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Jason Drobot  
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Date: 2023.12.01  
'13:09:42 -05'00

JOB # 20-005  
DATE 12-7-23  
DESIGNED BY JPD  
DRAFTED BY JPD  
CHECKED BY JPD

REVISIONS:




SHEET: 2 OF: 22



VICINITY MAP AND EXISTING NEIGHBORING PROPERTIES PLAN

SCALE: 1/32" = 1'-0"



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CON-24-003 (201-24-021) DROP OFF  
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PALM BEACH, FLORIDA

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-05'00

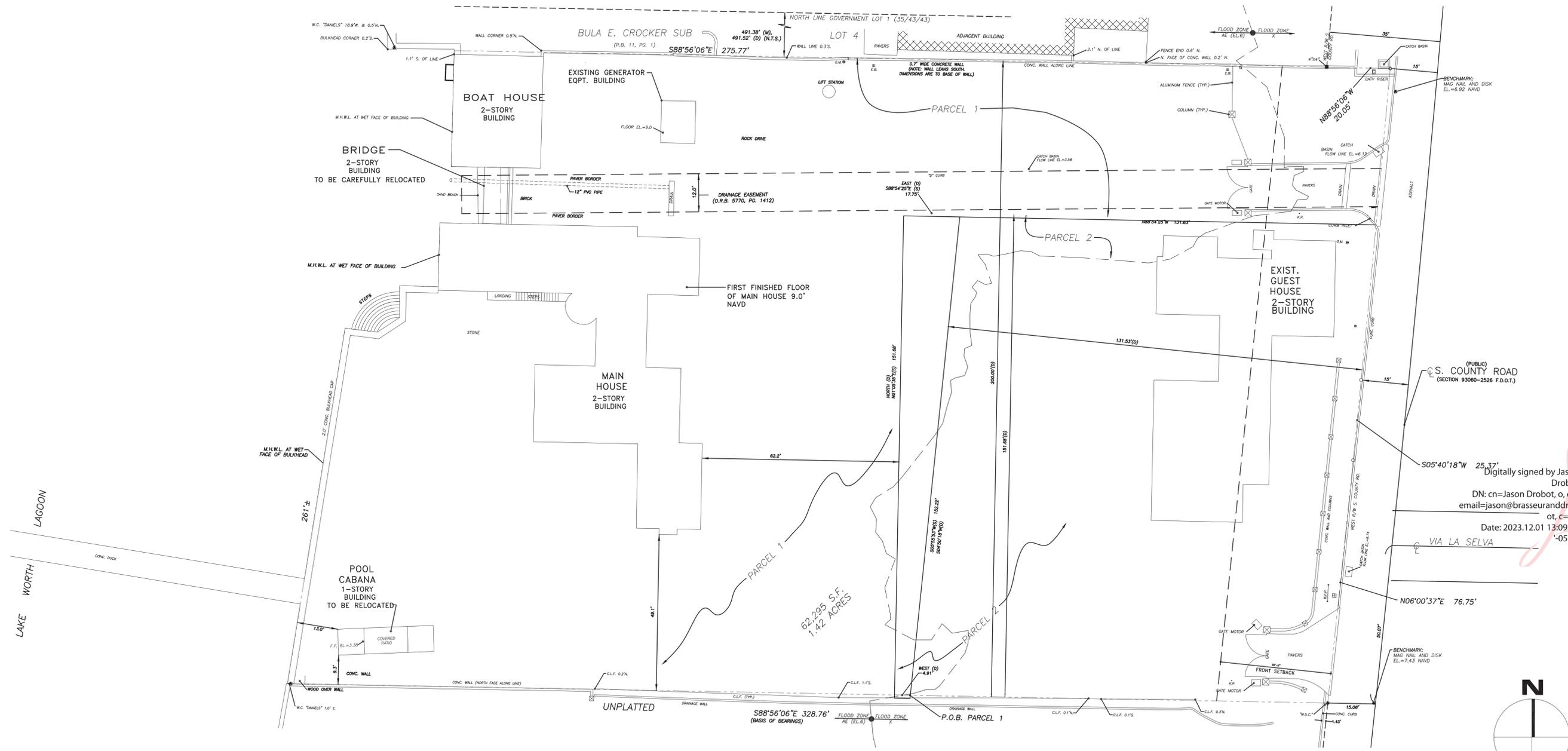
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DRAFTED BY: JPD  
CHECKED BY: JPD

REVISIONS:



SHEET: 5 OF 22

**GENERAL NOTE:**  
THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DRAWINGS AND SPECIFICATION REQUIREMENTS WITH EXISTING CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION BEFORE PROCEEDING WITH THE WORK.  
DO NOT SCALE DRAWING. ALL DIMENSIONS SUPERSEDE ANY GRAPHIC REPRESENTATION.  
ALL CONSTRUCTION TO BE ACCORDING TO CURRENT LOCAL CODES: FBC 2020



EXISTING SITE PLAN  
SCALE: 1/16" = 1'-0"



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STATE OF FLORIDA  
JASON PAUL DROBOT  
REGISTERED ARCHITECT  
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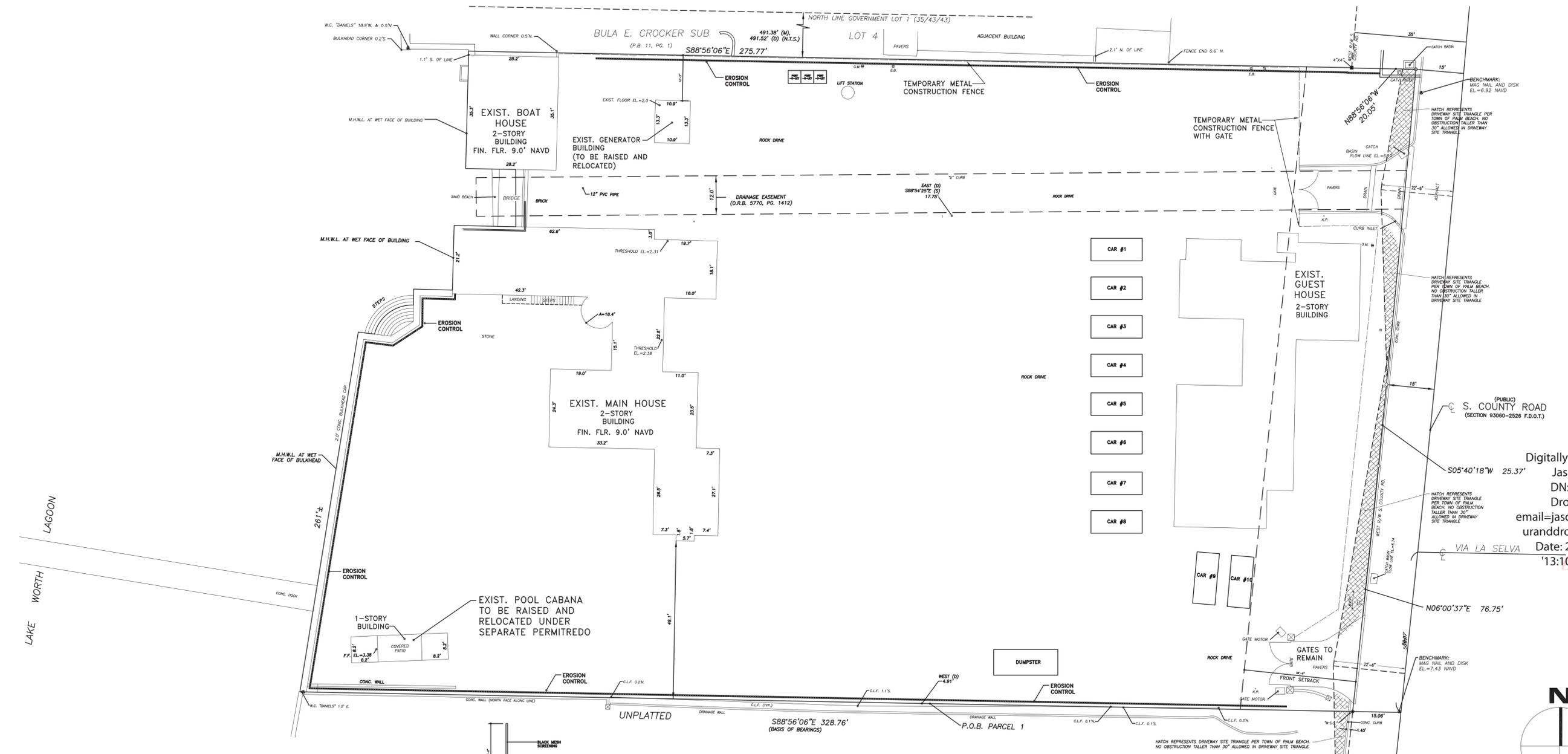
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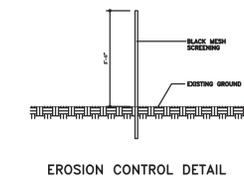
SHEET: 4 OF 22

**LEGEND:**  
— EXISTING TO REMAIN  
--- EXISTING TO BE REMOVED  
--- DRAINAGE EASEMENT

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**GENERAL EROSION CONTROL NOTES:**  
-EROSION CONTROL TO BE ACCORDING TO TOWN CODE CH. 66 S. 66-443.  
-CONSTRUCTION MATERIAL STORAGE AND PARKING TO BE ACCORDING TO "RIGHT OF WAY" STAND. MANUAL, PAGE XII.2  
-LANDSCAPING TO MEET TOWN CODES WITH RESPECT TO PLANTINGS IN "RIGHT OF WAY", EASEMENTS AND/OR SIGHT TRIANGLES.  
-LANDSCAPING WILL CONFORM TO GRADING DRAINAGE RETENTION.  
-EXISTING WALL AND HEDGE REMAINS DURING CONSTRUCTION



EROSION CONTROL AND SITE UTILIZATION PLAN  
SCALE: 1/16" = 1'-0"







BULKHEAD LINE PER ORDINANCE #3-61 DATED: 05/09/61

EXIST. M.H.W.L. AT WET FACE OF BUILDING

ALL 994 SQ. FT. OF EXIST'G GUEST WING IS WITHIN REAR AND SIDE SETBACKS

ALL 142 SQ. FT. OF EXIST'G BRIDGE IS WITHIN REAR SETBACK

611 SQ. FT. OF EXIST'G MAIN HOUSE IS WITHIN REAR & SIDE SETBACKS

EXIST. M.H.W.L. AT WET FACE OF BUILDING

STEPS AND RETAINING WALL AND LANDSCAPE SPACE

10 RISERS AT 7.5" PER RISER. 9 TREADS AT 10" PER TREAD (MIN.) (+ 1" NOSING)

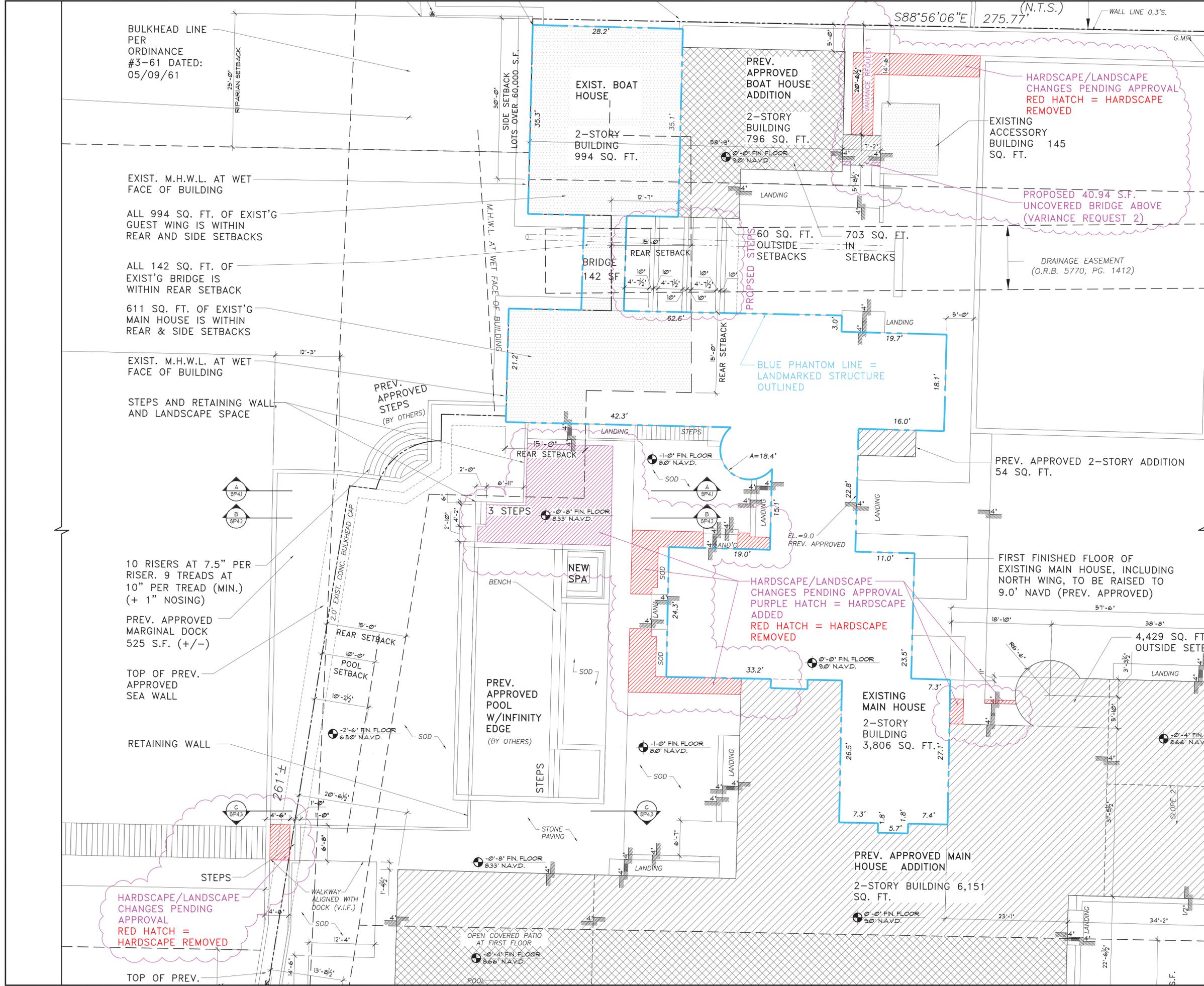
PREV. APPROVED MARGINAL DOCK 525 S.F. (+/-)

TOP OF PREV. APPROVED SEA WALL

RETAINING WALL

HARDSCAPE/LANDSCAPE CHANGES PENDING APPROVAL  
RED HATCH = HARDSCAPE REMOVED

TOP OF PREV.



S88°56'06"E 275.77' (N.T.S.)

WALL LINE 0.3'S.

HARDSCAPE/LANDSCAPE CHANGES PENDING APPROVAL  
RED HATCH = HARDSCAPE REMOVED

PROPOSED 40.94 S.F. UNCOVERED BRIDGE ABOVE (VARIANCE REQUEST 2)

BLUE PHANTOM LINE = LANDMARKED STRUCTURE OUTLINED

HARDSCAPE/LANDSCAPE CHANGES PENDING APPROVAL  
PURPLE HATCH = HARDSCAPE ADDED  
RED HATCH = HARDSCAPE REMOVED



PROPOSED ENLARGED SITE PLAN

SCALE: 1/8" = 1'-0"



BRASSEUR & DROBOT ARCHITECTS, P.A.

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CON-24-003 (CON-24-021) DROP OFF HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR: ANN DESRUSSIERUX 800 SOUTH COUNTY ROAD PALM BEACH, FLORIDA

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REVISIONS:  
SP6.1  
SHEET: 8 OF: 22



**Town of Palm Beach**  
 Planning Zoning and Building  
 360 S County Rd  
 Palm Beach, FL 33480  
 www.townofpalmbeach.com

Zoning Legend			
1	Property Address:	800 S COUNTY RD	
2	Zoning District:	RA	
3	Lot Area (sq. ft.):	62,295 SQ.FT.	
4	Lot Width (W) & Depth (D) (ft.):	200.52 FT. x 328.75 FT.	
5	Structure Type: <small>(Single-Family, Multi-Family, Condo, Other)</small>	SINGLE FAMILY	
6	FEMA Flood Zone Designation:	AE	
7	Zero Datum for point of meas. (NAVD)	7.44' NAVD	
8	Crown of Road (COR) (NAVD)	7.44' NAVD	
9		REQ'D / PERMITTED	EXISTING
10	Lot Coverage (Sq Ft and %)	15,573.75 S.F. (25%)	15798.98 S.F. (25.36%)
11	Enclosed Square Footage <small>(1st &amp; 2nd Fl., Basement, Apts, Structure, etc)</small>		22,227.19 S.F.
12	*Front Yard Setback (Ft.)	35 FT.	N/A
13	* Side Yard Setback (1st Story) (Ft.)	30 FT.	20.5
14	* Side Yard Setback (2nd Story) (Ft.)	30 FT.	20.5
15	*Rear Yard Setback (Ft.)	15 FT.	N/A
16	Angle of Vision (Deg.)	100 DEG.	N/A
17	Building Height (Ft.)	25 FT.	N/A
18	Overall Building Height (Ft.)	35 FT.	N/A
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	9.0 FT. NAVD	9.0 FT. NAVD
22	Base Flood Elevation (BFE)(NAVD)	6.0 FT. NAVD	6.0 FT. NAVD
23	Landscape Open Space (LOS) (Sq Ft and %)	31,147.5 S.F. (50%)	27,084.65 S.F. (43.48)
24	Perimeter LOS (Sq Ft and %)	N/A	N/A
25	Front Yard LOS (Sq Ft and %)	N/A	N/A
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

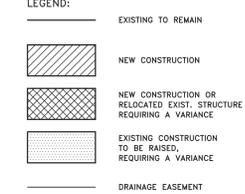
\* Indicate each yard area with cardinal direction (N,S,E,W)  
 \*\* Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE-COR) / 2 = Max. Fill (Sec. 134-1500)  
 \*\*\* Provide Native plant species info per category as required by Ord. 093-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.  
 Enter N/C if value is not changing.

REV BF 20230626

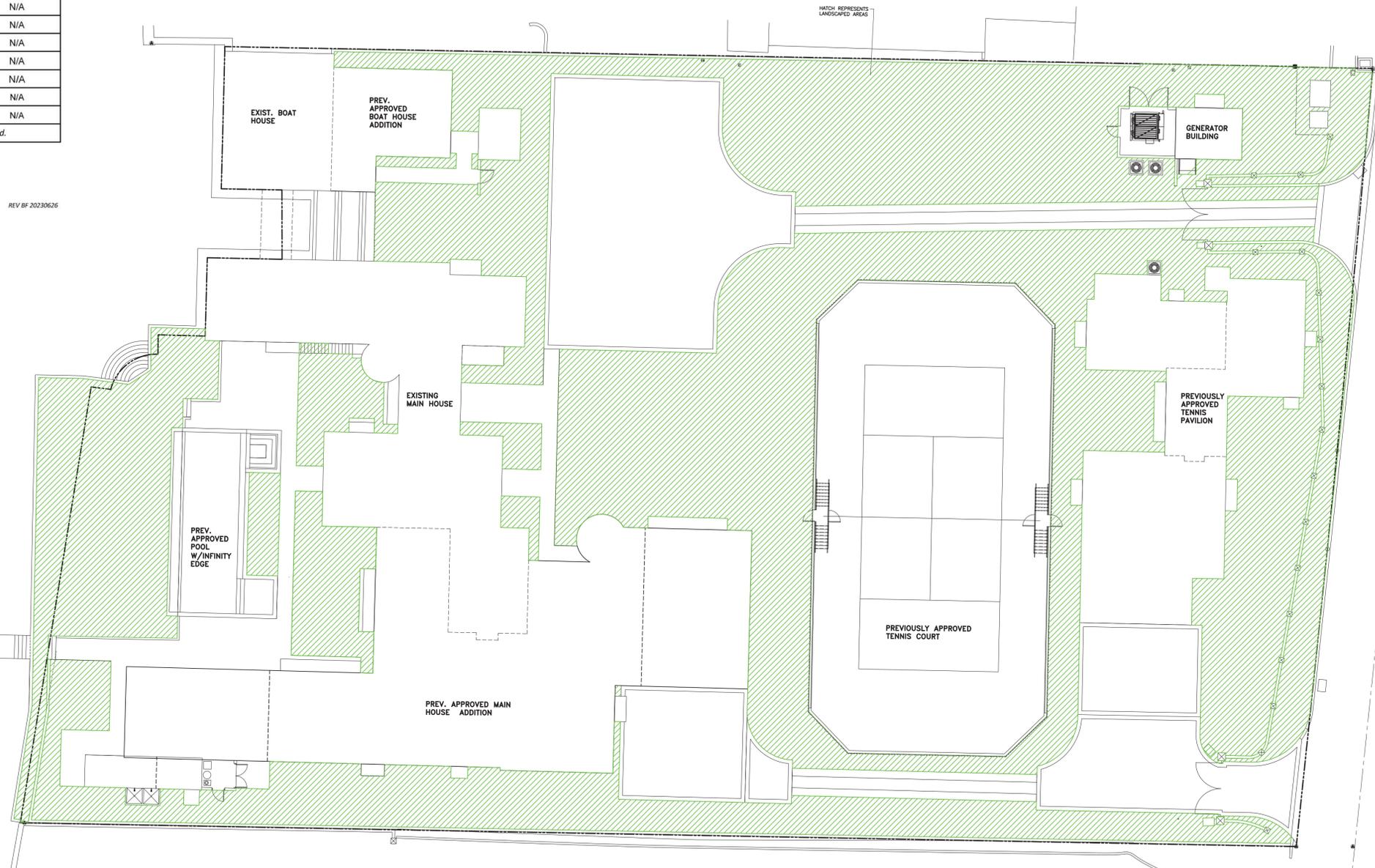
ZONING DISTRICT	REQUIRED		EXISTING		PREVIOUSLY APPROVED		PROPOSED	
	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE	SQUARE FOOTAGE	PERCENTAGE
RA								
LOT COVERAGE	15,573.75 MAX.	25.00% MAX.	11,016.25	17.88%	15,798.98	25.36%	15,839.92	25.43%
HARDSCAPE			6,699.83	10.76%	19,638.37	31.52%	19,370.43	31.09%
LANDSCAPE	31,147.5 MIN.	50.00% MIN.	44,578.92	71.56%	27,084.65	43.48%	27,084.65	43.48%
TOTAL LOT	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %	62,295.00	100.0 %

**LANDSCAPE R-A SITE CALCULATION**  
 SITE AREA - 62,295 SQ.FT.  
 OVERALL MINIMUM LANDSCAPE: REQUIRED: 31,147.50 SQ.FT. 50% PROVIDED: 27,084.65 SQ.FT. 43.48%  
 35' FRONT SETBACK MINIMUM LANDSCAPE AREA: AREA: 6,894 SQ.FT. REQUIRED: 3,193 SQ.FT. 45% PROVIDED: 3,637.39 SQ.FT. 52.76%  
 OVERALL NATIVE LANDSCAPE COVERAGE: REQUIRED: 15,573.75 SQ.FT. 25% PROVIDED: 22,149.42 SQ.FT. 35.55%



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**VARIANCES REQUESTED:**  
 1. SIDE YARD SETBACK OF 20'-6 1/2" (30'-0" REQUIRED)  
 2. LOT COVERAGE FROM PREV. APPROVED 25.36% TO 25.43% (25% MAX. REQUIRED)



LANDSCAPE OPEN SPACE PLAN

SCALE: 1/16" = 1'-0"



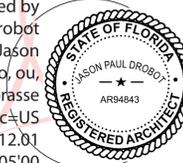
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 [ ] JASON P. DROBOT - BR 94843

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REVISIONS:





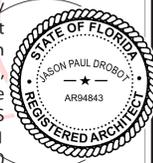
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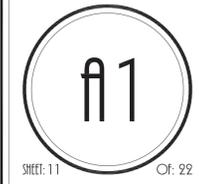
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 REVISIONS:



PREVIOUSLY APPROVED FLOOR PLAN  
 SCALE: 1/8" = 1'-0"



SHEET: 11 OF: 22

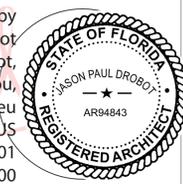


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RCRB 60164 RCRB 67675  
BB 26001461

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HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:  
ANN DESJURISSEUX  
800 SOUTH COUNTY ROAD  
PALM BEACH, FLORIDA

SEALED BY:  
JEFFREY D. BRASSEUR - BR 0017698  
JASON P. DROBOT - BR 94843



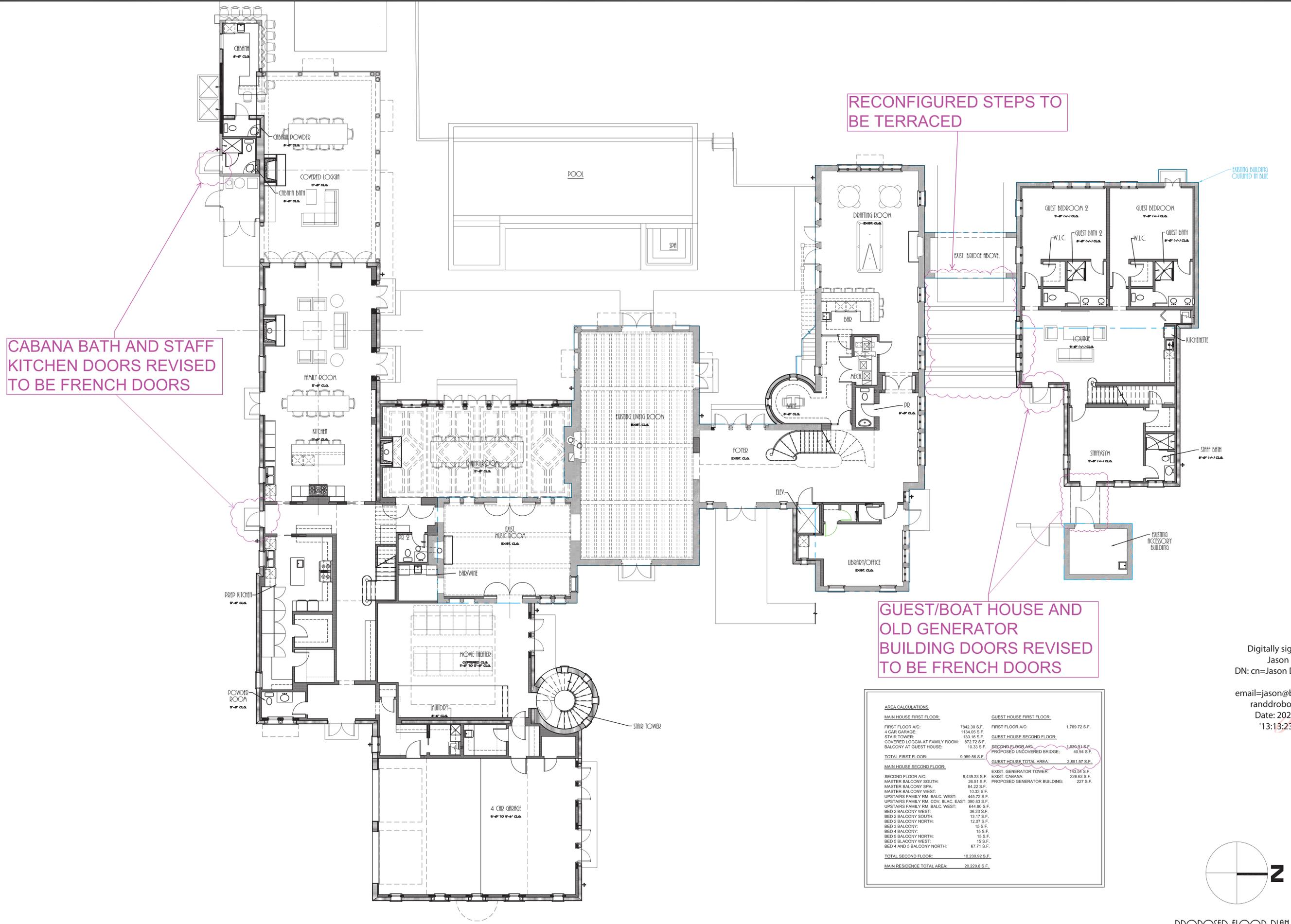
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o, ou,  
email=jason@brasseur  
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Date: 2023.12.01  
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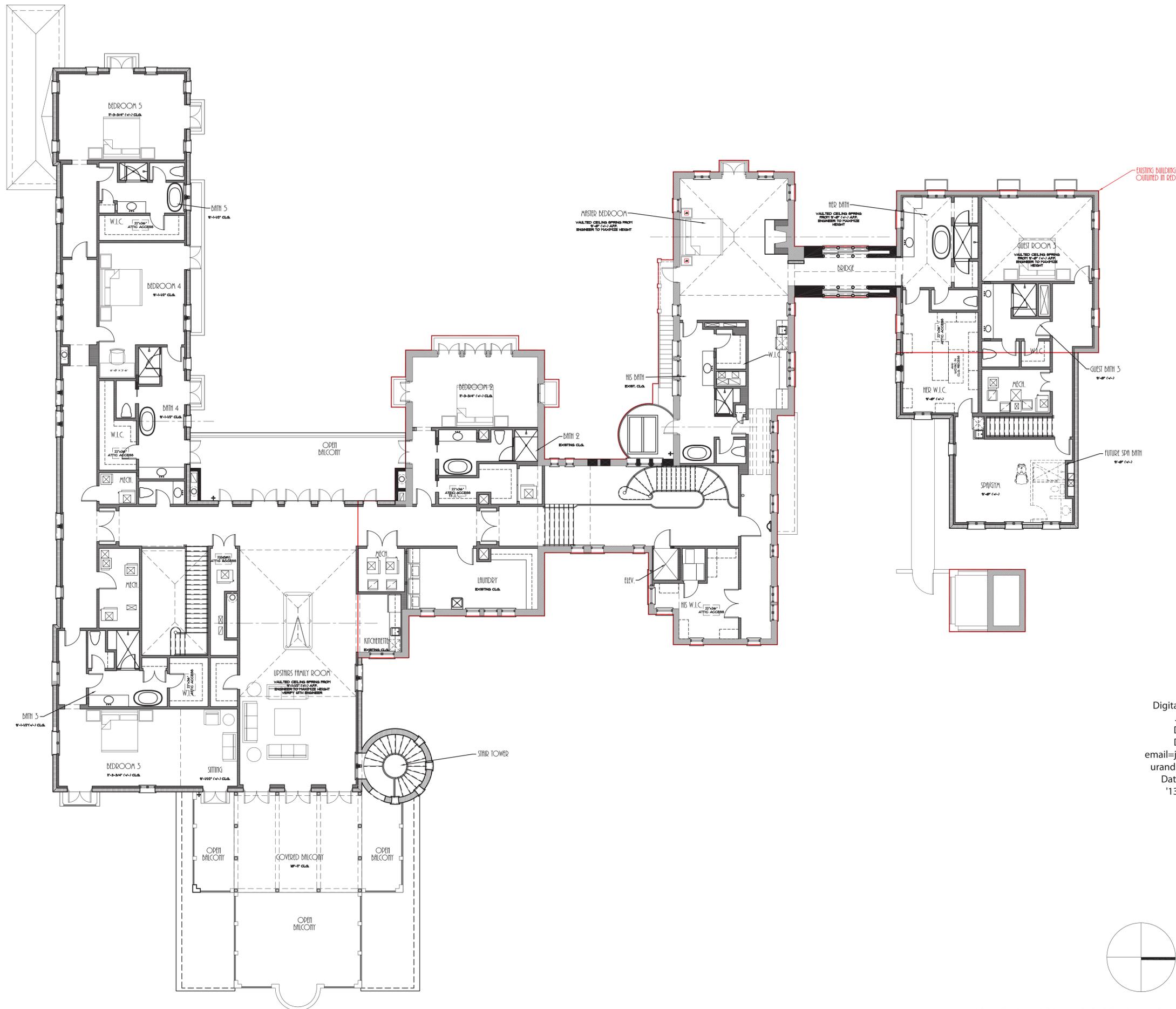
SHEET: 11 Of: 22



AREA CALCULATIONS		GUEST HOUSE FIRST FLOOR:	
<b>MAIN HOUSE FIRST FLOOR:</b>		FIRST FLOOR A/C:	1,789.72 S.F.
FIRST FLOOR A/C:	7842.30 S.F.	GUEST HOUSE SECOND FLOOR:	
4 CAR GARAGE:	1134.05 S.F.	SECOND FLOOR A/C:	1,698.91 S.F.
STAIR TOWER:	130.15 S.F.	PROPOSED UNCOVERED BRIDGE:	40.94 S.F.
COVERED LOGGIA AT FAMILY ROOM:	872.72 S.F.		
BALCONY AT GUEST HOUSE:	10.33 S.F.		
<b>TOTAL FIRST FLOOR:</b>	<b>9,989.56 S.F.</b>	<b>GUEST HOUSE TOTAL AREA:</b>	<b>2,851.57 S.F.</b>
<b>MAIN HOUSE SECOND FLOOR:</b>		<b>EXIST. GENERATOR TOWER:</b>	<b>143.54 S.F.</b>
SECOND FLOOR A/C:	8,439.33 S.F.	EXIST. CABANA:	226.63 S.F.
MASTER BALCONY SOUTH:	26.51 S.F.	PROPOSED GENERATOR BUILDING:	227 S.F.
MASTER BALCONY WEST:	84.22 S.F.		
MASTER BALCONY SPA:	10.33 S.F.		
UPSTAIRS FAMILY RM. BALC. WEST:	445.72 S.F.		
UPSTAIRS FAMILY RM. COV. BALC. EAST:	390.83 S.F.		
UPSTAIRS FAMILY RM. BALC. WEST:	644.60 S.F.		
BED 2 BALCONY WEST:	36.23 S.F.		
BED 2 BALCONY SOUTH:	13.17 S.F.		
BED 2 BALCONY NORTH:	12.07 S.F.		
BED 3 BALCONY:	15 S.F.		
BED 4 BALCONY:	15 S.F.		
BED 5 BALCONY NORTH:	15 S.F.		
BED 5 BALCONY WEST:	15 S.F.		
BED 4 AND 5 BALCONY NORTH:	67.71 S.F.		
<b>TOTAL SECOND FLOOR:</b>	<b>10,230.92 S.F.</b>		
<b>MAIN RESIDENCE TOTAL AREA:</b>	<b>20,220.8 S.F.</b>		



PROPOSED FLOOR PLAN  
SCALE: 1/8" = 1'-0"



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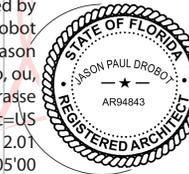
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ANN DESRUSSAUX

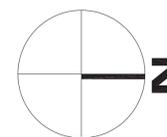
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Palm Beach, Florida

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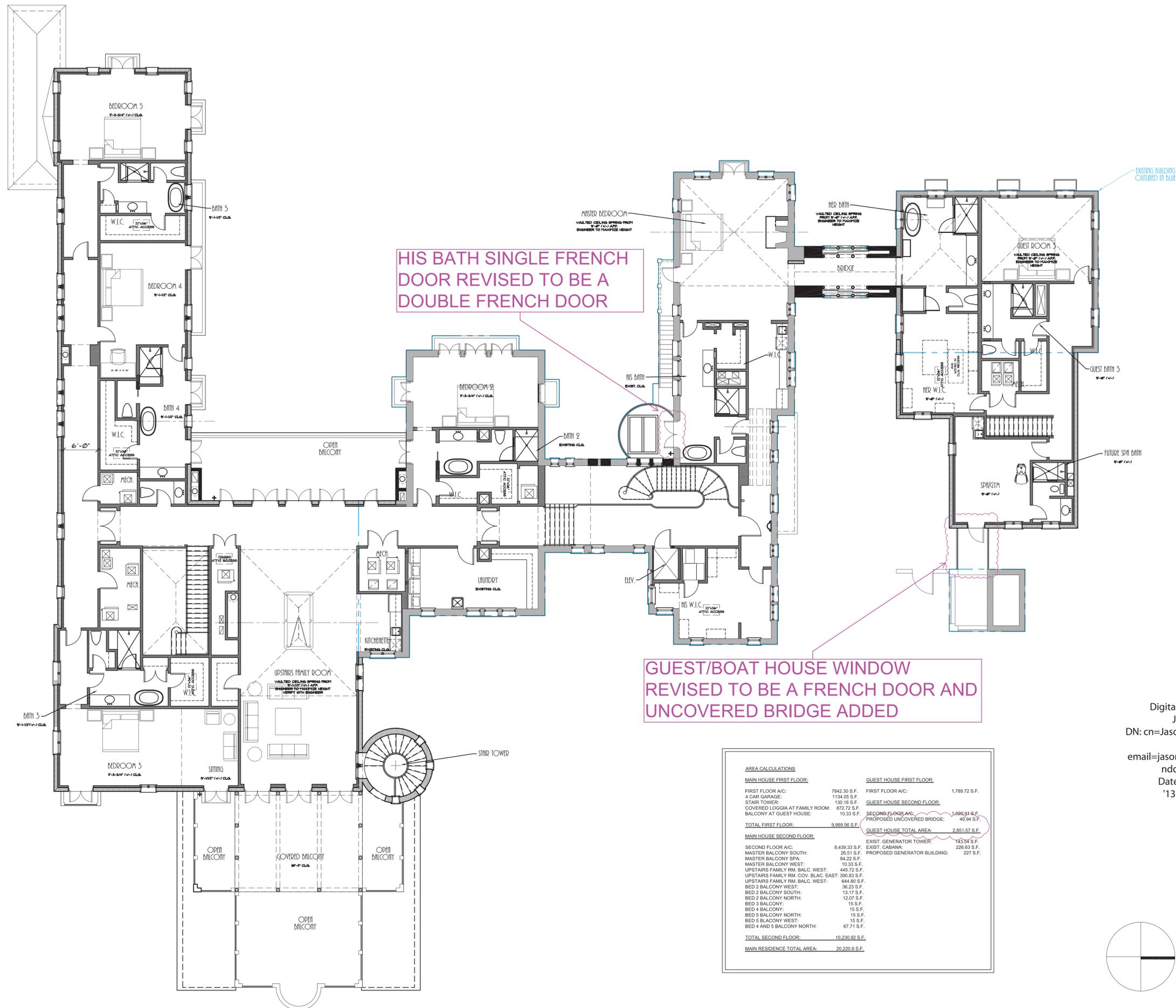
PREVIOUSLY APPROVED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



SHEET: 12

OF: 22



HIS BATH SINGLE FRENCH DOOR REVISED TO BE A DOUBLE FRENCH DOOR

GUEST/BOAT HOUSE WINDOW REVISED TO BE A FRENCH DOOR AND UNCOVERED BRIDGE ADDED

AREA CALCULATIONS		GUEST HOUSE FIRST FLOOR:	
<b>MAIN HOUSE FIRST FLOOR:</b>		FIRST FLOOR A/C:	1,789.72 S.F.
FIRST FLOOR A/C:	7842.30 S.F.	4 CAR GARAGE:	1134.05 S.F.
4 CAR GARAGE:	1134.05 S.F.	STAIR TOWER:	130.16 S.F.
STAIR TOWER:	130.16 S.F.	COVERED LOGGIA AT FAMILY ROOM:	872.72 S.F.
COVERED LOGGIA AT FAMILY ROOM:	872.72 S.F.	BALCONY AT GUEST HOUSE:	10.33 S.F.
BALCONY AT GUEST HOUSE:	10.33 S.F.	<b>TOTAL FIRST FLOOR:</b>	<b>9,989.56 S.F.</b>
<b>TOTAL FIRST FLOOR:</b>	<b>9,989.56 S.F.</b>	<b>SECOND FLOOR A/C:</b>	
<b>MAIN HOUSE SECOND FLOOR:</b>		PROPOSED UNCOVERED BRIDGE:	40.94 S.F.
SECOND FLOOR A/C:	8,439.33 S.F.	<b>GUEST HOUSE TOTAL AREA:</b>	<b>2,851.57 S.F.</b>
MASTER BALCONY SOUTH:	26.51 S.F.	EXIST. GENERATOR TOWER:	143.58 S.F.
MASTER BALCONY SPA:	84.22 S.F.	EXIST. CABANA:	226.63 S.F.
MASTER BALCONY WEST:	10.33 S.F.	PROPOSED GENERATOR BUILDING:	227 S.F.
UPSTAIRS FAMILY RM. BALC. WEST:	445.72 S.F.	<b>UPSTAIRS FAMILY RM. CONV. BALC. EAST:</b> 390.93 S.F.	
UPSTAIRS FAMILY RM. CONV. BALC. EAST:	390.93 S.F.	<b>UPSTAIRS FAMILY RM. BALC. WEST:</b> 644.80 S.F.	
UPSTAIRS FAMILY RM. BALC. WEST:	644.80 S.F.	<b>BED 2 BALCONY WEST:</b> 36.23 S.F.	
BED 2 BALCONY WEST:	36.23 S.F.	<b>BED 2 BALCONY SOUTH:</b> 13.17 S.F.	
BED 2 BALCONY SOUTH:	13.17 S.F.	<b>BED 2 BALCONY NORTH:</b> 12.07 S.F.	
BED 2 BALCONY NORTH:	12.07 S.F.	<b>BED 3 BALCONY:</b> 15 S.F.	
BED 3 BALCONY:	15 S.F.	<b>BED 4 BALCONY:</b> 15 S.F.	
BED 4 BALCONY:	15 S.F.	<b>BED 5 BALCONY NORTH:</b> 15 S.F.	
BED 5 BALCONY NORTH:	15 S.F.	<b>BED 5 BALCONY WEST:</b> 15 S.F.	
BED 5 BALCONY WEST:	15 S.F.	<b>BED 4 AND 5 BALCONY NORTH:</b> 67.71 S.F.	
BED 4 AND 5 BALCONY NORTH:	67.71 S.F.	<b>TOTAL SECOND FLOOR:</b> 10,230.02 S.F.	
<b>TOTAL SECOND FLOOR:</b>	<b>10,230.02 S.F.</b>	<b>MAIN RESIDENCE TOTAL AREA:</b> 20,220.8 S.F.	
<b>MAIN RESIDENCE TOTAL AREA:</b>	<b>20,220.8 S.F.</b>		



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



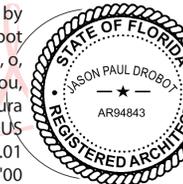
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**ANN DESRUSSERUX**  
800 SOUTH COUNTY ROAD  
PALM BEACH, FLORIDA

SEALED BY:  
JEFFREY D. BRASSEUR - BR 0017698  
JASON P. DROBOT - BR 94843

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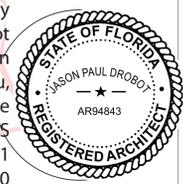


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PITA BEACH, FLORIDA

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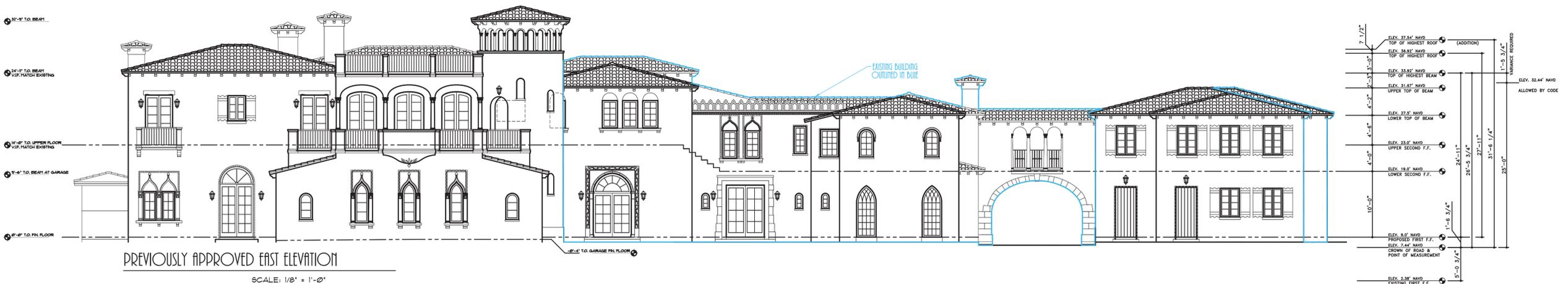


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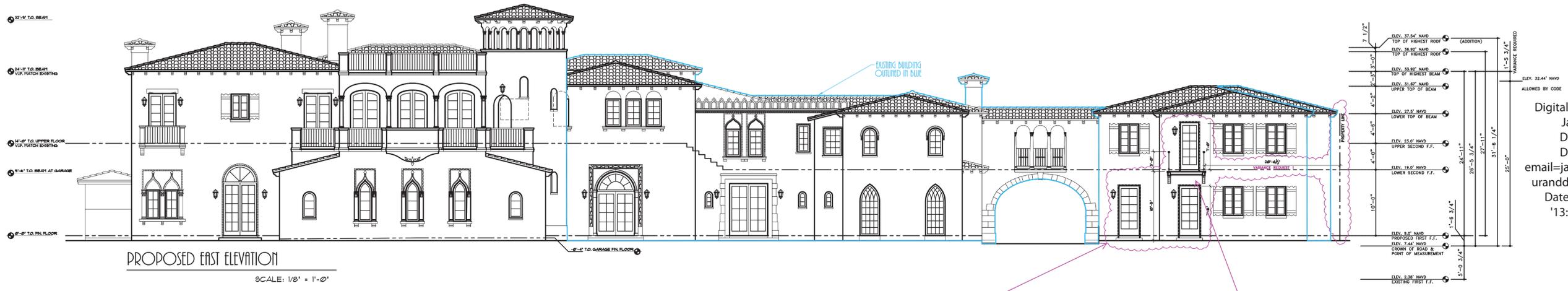
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PREVIOUSLY APPROVED EAST ELEVATION  
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION  
SCALE: 1/8" = 1'-0"

GUEST/BOAT HOUSE  
DOORS AND WINDOW  
REVISED TO BE FRENCH  
DOORS

SECTION THROUGH  
UNCOVERED BRIDGE  
ADDITION



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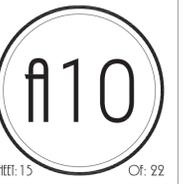
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JASON P. DROBOT - RD 94843

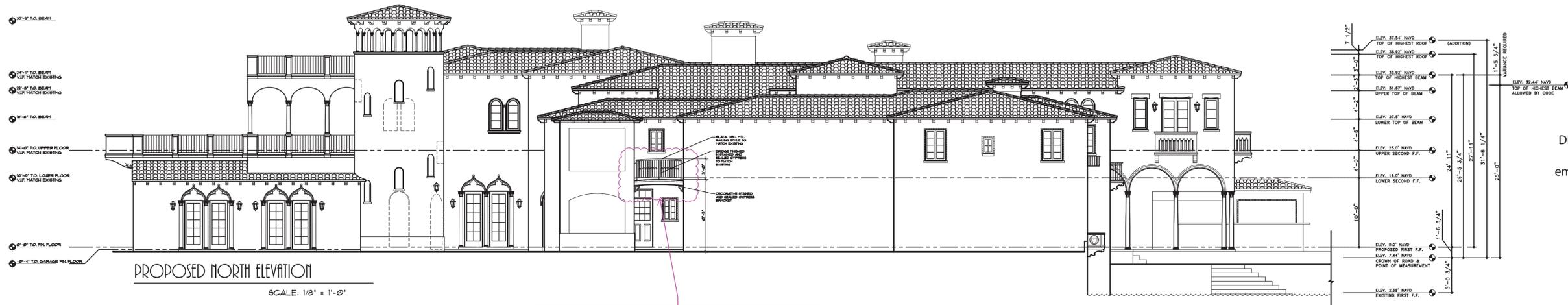
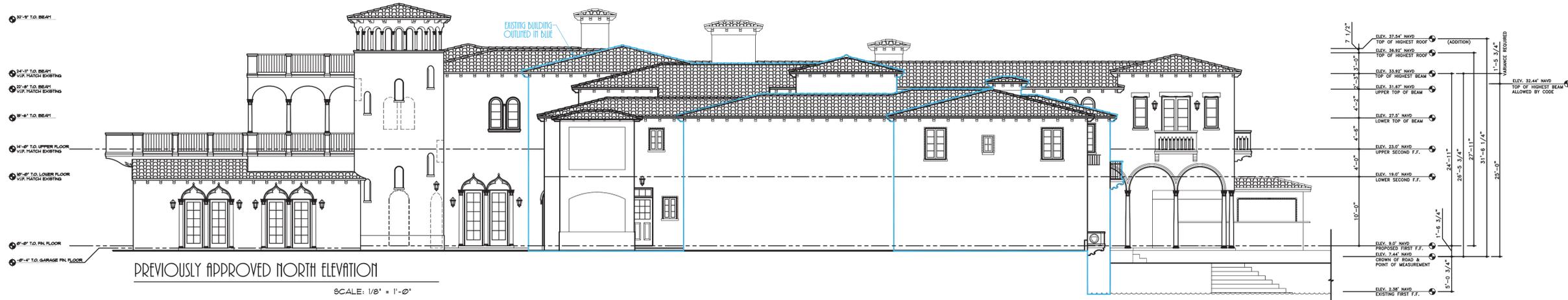


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NORTH ELEVATION OF  
UNCOVERED BRIDGE  
ADDITION

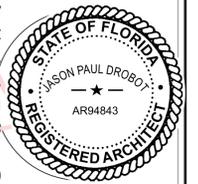


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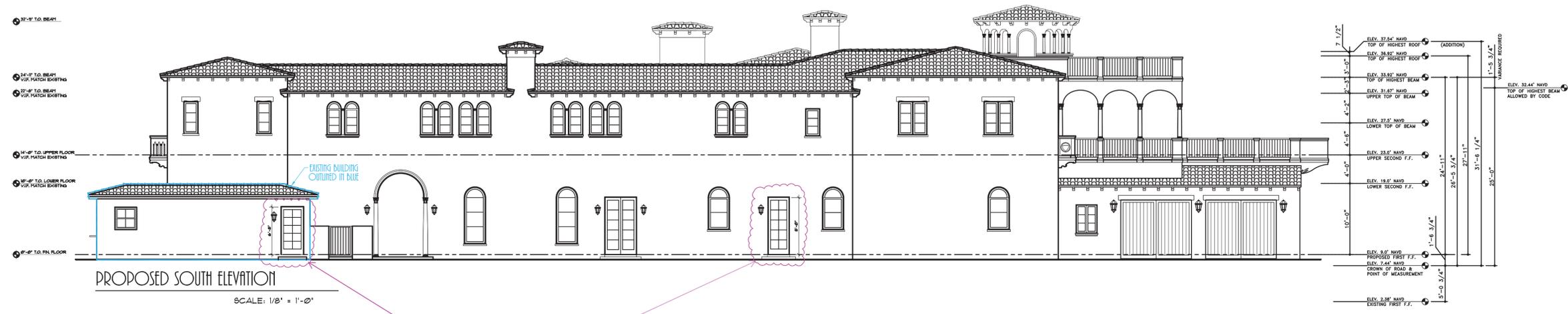
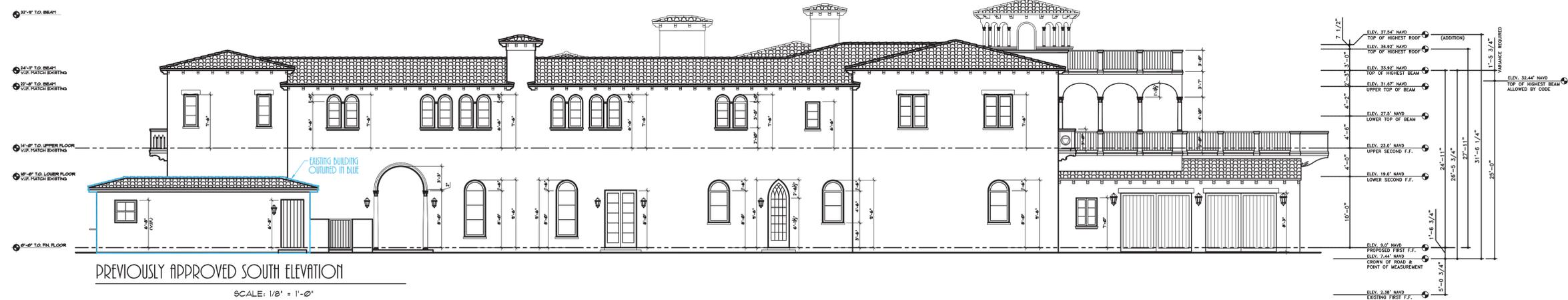


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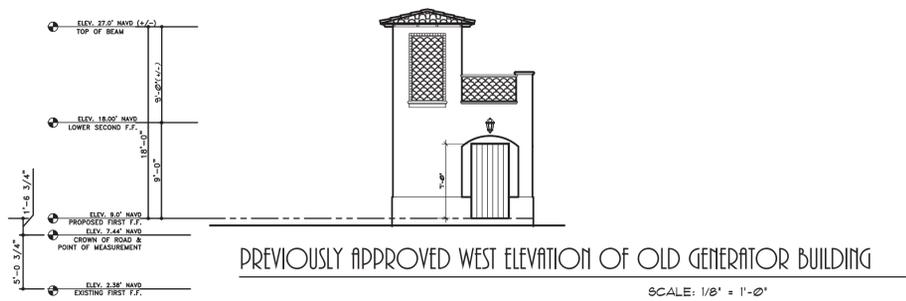
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SHEET: 16 OF: 22



CABANA BATH AND STAFF  
KITCHEN DOORS REVISED  
TO BE FRENCH DOORS



PREVIOUSLY APPROVED WEST ELEVATION OF OLD GENERATOR BUILDING

SCALE: 1/8" = 1'-0"



PROPOSED WEST ELEVATION OLD GENERATOR BUILDING

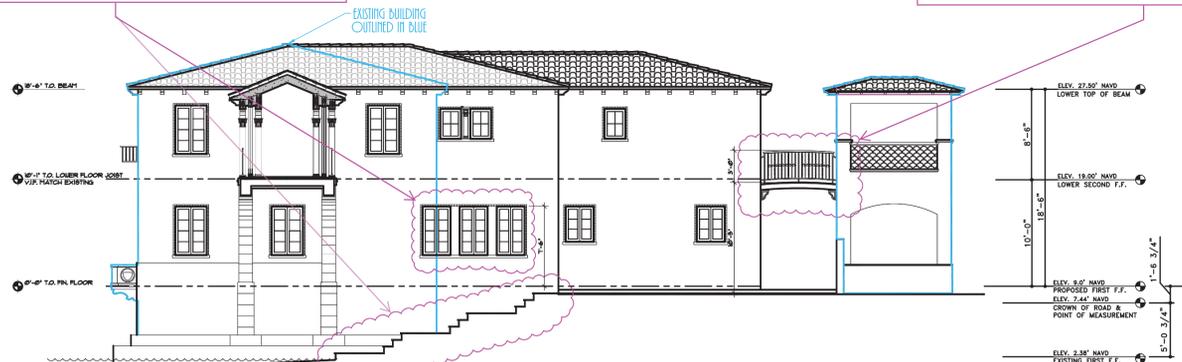
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PREVIOUSLY APPROVED SOUTH ELEVATION OF GUEST/BOAT HOUSE

SCALE: 1/8" = 1'-0"

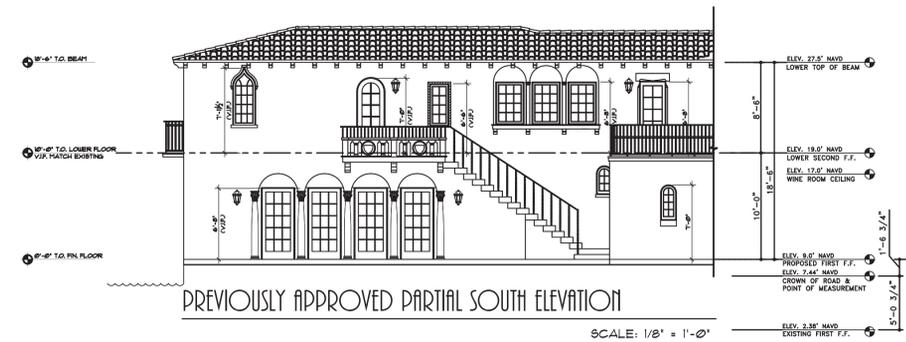
LOUNGE WINDOWS HEIGHT CHANGE AND TERRACED STEPS



PROPOSED SOUTH ELEVATION OF GUEST/BOAT HOUSE

SCALE: 1/8" = 1'-0"

SOUTH ELEVATION OF UNCOVERED BRIDGE ADDITION



PREVIOUSLY APPROVED PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

HIS BATH SINGLE FRENCH DOOR REVISED TO BE A DOUBLE FRENCH



PROPOSED PARTIAL SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EXISTING, PREVIOUSLY APPROVED AND PROPOSED PARTIAL ELEVATIONS



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JASON P. DROBOT - AR 94843



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1/PH1 MAIN HOUSE SOUTHWEST ELEVATION AT HIS BATH



2/PH1 MAIN HOUSE SOUTHEAST ELEVATION AT CABANA



3/PH1 MAIN HOUSE SOUTH ELEVATION AT STAFF KITCHEN



4/PH1 OLD GENERATOR BUILDING SOUTHWEST ELEVATION



5/PH1 GUEST HOUSE SOUTHEAST ELEVATION



6/PH1 GUEST HOUSE SOUTHEAST ELEVATION



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PALM BEACH, FLORIDA

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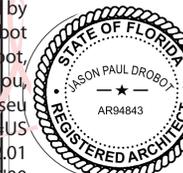
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ANN DESRUSSERUX

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email=jason@brasse  
urandrobot, c=US  
Date: 2023.12.01  
'13:22:09 -05'00



JOB # 20-005  
DATE 12-7-23  
DESIGNED BY: JPD  
DRAFTED BY: JPD  
CHECKED BY: JPD

REVISIONS:




SHEET: 21 OF: 22

RENDERING



BRASSEUR  
&  
DROBOT  
ARCHITECTS, P.A.

224 DATTAH STREET - SUITE 511  
WEST PALM BEACH, FLORIDA 33401  
(O) 561-820-8088  
(F) 561-820-8089  
WWW.BRASSEURANDDROBOT.COM  
BR 0017698 BR 94843  
BCRB 60164 BCRB 67675  
BB 26001461

COF-24-003 (201-24-021) DROP OFF  
HARDSCAPE AND DOOR ALTERATIONS AND BRIDGE ADDITION FOR:  
ANN DESRUSSERUX

800 SOUTH COMITT ROAD  
PALM BEACH, FLORIDA

© 2023 BRASSEUR AND DROBOT ARCHITECTS, P.A.

SEALED BY:  
 JEFFREY D. BRASSEUR - BR 0017698  
 JASON P. DROBOT - BR 94843

Digitally signed by  
 Jason Drobot  
 DN: cn=Jason  
 Drobot, o=ou,  
 email=jason@brass  
 euranddrobot, c=US  
 Date: 2023.12.01  
 13:22:44 -05'00



JOB # 20-005  
 DATE 12-7-23  
 DESIGNED BY: JPD  
 DRAFTED BY: JPD  
 CHECKED BY: JPD

REVISIONS:




SHEET: 22 OF: 22

RENDERING

STORMWATER RETENTION CALCULATIONS

A. SITE INFORMATION

Total Property Area = 62,295 sq. ft.  
 Impervious Plan Area = 35,211 sq. ft.  
 Pervious Plan Area = 27,084 sq. ft.

B. ESTIMATED STORMWATER RETENTION VOLUME

The retention volume is estimated using the Rational Method (Q-CIA) where:  
 C = 1.0 (impervious surface)  
 C = 0.2 (pervious surface)  
 i = 2 in/hr

Impervious Surface Runoff Volume:  
 1.0 x 2 in/hr x 35,211 sq. ft. x 1 ft./12 in. = 5,869 cu. ft.

Pervious Runoff Volume:  
 0.2 x 2 in/hr x 27,084 sq. ft. x 1 ft./12 in. = 903 cu. ft.

Total Volume to be Retained = 6,772 cu. ft.

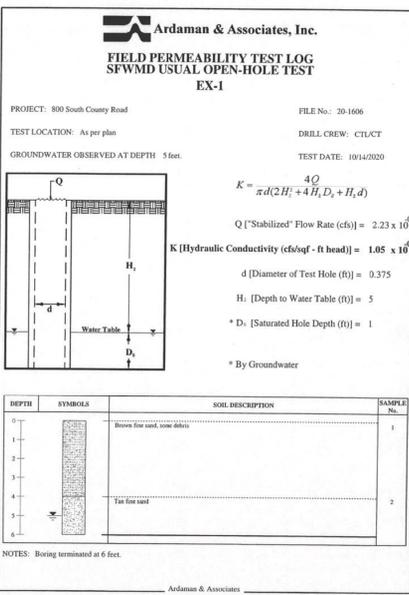
C. PROPOSED EXFILTRATION TRENCH SIZING

Exfiltration Trench #1  
 L = Total Length of Trench Provided = 60 ft  
 W = Trench Width = 36 ft  
 K = Hydraulic Conductivity = 0.000105 cfs/sq. ft. of head  
 H2 = Depth to Water Table = 4.00 ft  
 DU = Un-Saturated Trench Depth = 3.00 ft  
 DS = Saturated Trench Depth = 0.00 ft  
 V = Volume Treated = 6,905 cu. ft.

Exfiltration Trench #2  
 L = Total Length of Trench Provided = 90 ft  
 W = Trench Width = 44 ft  
 K = Hydraulic Conductivity = 0.000105 cfs/sq. ft. of head  
 H2 = Depth to Water Table = 1.50 ft  
 DU = Un-Saturated Trench Depth = 1.50 ft  
 DS = Saturated Trench Depth = 0.50 ft  
 V = Volume Treated = 5,389 cu. ft.

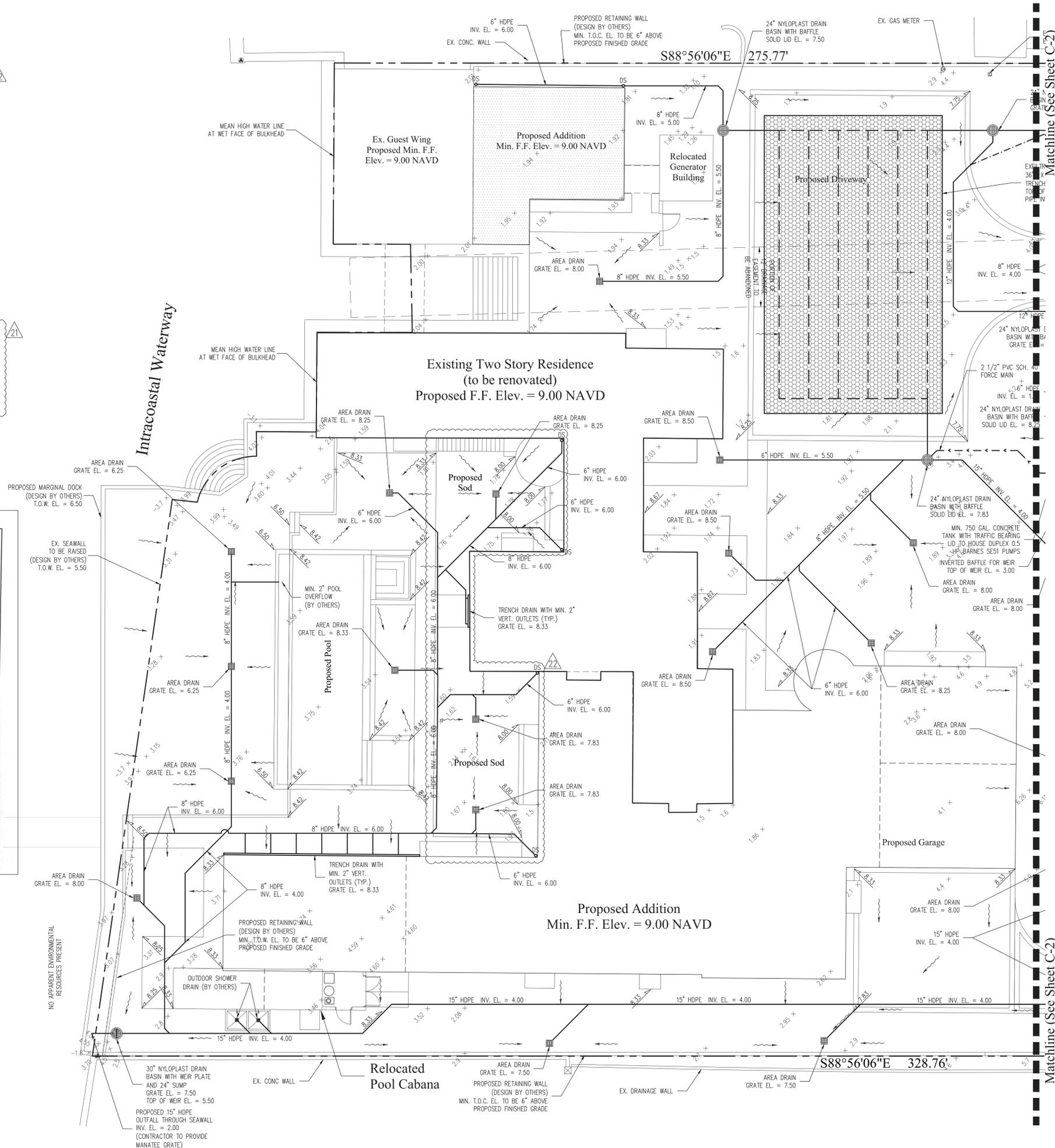
Total Volume Retained in Exfiltration Trenches = 12,294 cu. ft.

FOOT Exfiltration Trench  
 L = Total Length of Trench Provided = 111 ft  
 W = Trench Width = 7 ft  
 K = Hydraulic Conductivity = 0.000105 cfs/sq. ft. of head  
 H2 = Depth to Water Table = 4.00 ft  
 DU = Un-Saturated Trench Depth = 3.50 ft  
 DS = Saturated Trench Depth = 0.00 ft  
 V = Volume Treated = 3,223 cu. ft.



Notes:

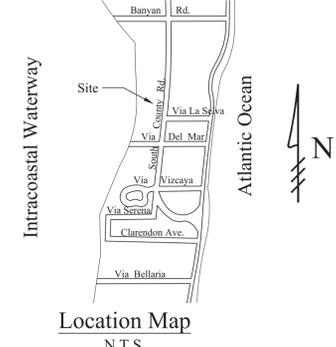
- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.



48 HOURS BEFORE DIGGING CALL  
 1-800-432-4770  
 SUNSHINE STATE ONE CALL OF FLORIDA, INC.  
 Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.

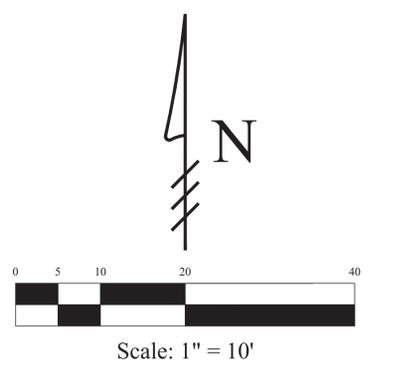


Gruber Consulting Engineers, Inc.  
 5625 AMBER AVE., SUITE 305  
 WEST PALM BEACH, FL 33401  
 PHONE: 561.312.2041  
 office@gruberengineers.com



Legend

- EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- PROPOSED ELEVATION (NAVD-88)
- PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

Revision	Date	Description
13	08/31/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
14	10/03/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
15	11/28/22	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
16	05/30/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
17	06/19/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
18	08/17/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
19	08/31/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; REVISE CALCULATIONS
22	10/26/23	UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE IN POOL AREA; REVISE CALCULATIONS

Project Information

Project No.	2019-0095
Issue Date	05/15/2020
Scale	1" = 10'
Drawn By	KM
Checked By	CG

Site Grading & Drainage Plan For:  
**Proposed Renovation**  
 Palm Beach, Florida  
 8000 South County Road

Revisions

1	05/21/2020
2	06/09/2020
3	11/13/2020
4	01/05/2021
5	01/11/2021
6	02/09/2021
7	04/13/2021
8	05/17/2021
9	08/13/2021
10	03/04/2022

Chad M. Gruber  
 FL P.E. No. 57466

Sheet No.  
**C-1**

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.  
 Plan Background from Site Plan by Brasseur & Drobot Received 10/26/23  
 COA-24-003  
 ZON-24-021  
 © 2023 Gruber Consulting Engineers, Inc.



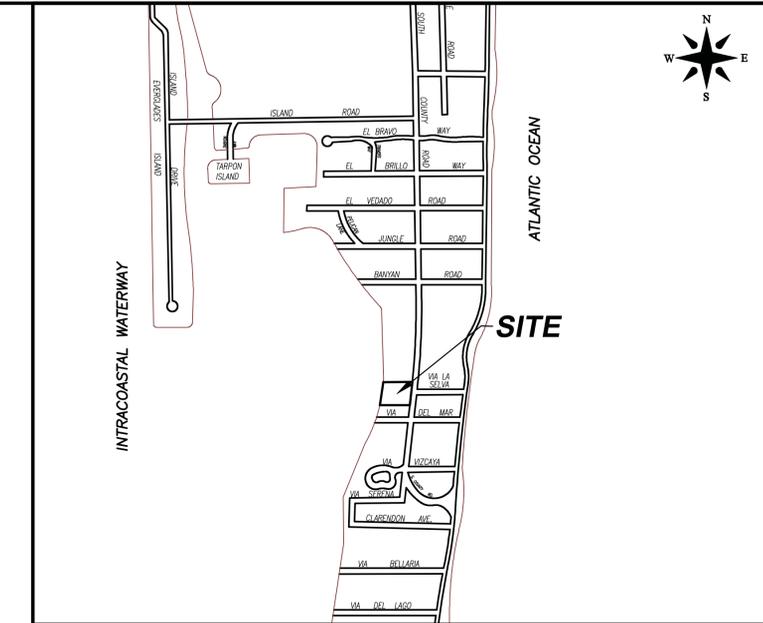




**LEGEND**

- A = ARC LENGTH
- A/C = AIR CONDITIONING
- A.E. = ACCESS EASEMENT
- A.K.A. = ALSO KNOWN AS
- B.F.P. = BACKFLOW PREVENTER
- BLDG. = BUILDING
- B.M. = BENCHMARK
- B.O.C. = BACK OF CURB
- B.O.W. = BACK OF WALK
- (C) = CALCULATED
- CATV = CABLE ANTENNA TELEVISION
- C.B. = CHORD BEARING
- C.B.S. = CONCRETE BLOCK STRUCTURE
- C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
- CH = CHORD
- C.L.F. = CHAIN LINK FENCE
- CLR. = CLEAR
- C.M.P. = CORRUGATED METAL PIPE
- CONC. = CONCRETE
- (D) = DESCRIPTION DATUM
- D.B. = DEED BOOK
- D.E. = DRAINAGE EASEMENT
- D.H. = DRILL HOLE
- D/W. = DRIVEWAY
- EL. = ELEVATION
- ENC. = ENCROACHMENT
- E.O.P. = EDGE OF PAVEMENT
- E.O.W. = EDGE OF WATER
- FFE = FINISH FLOOR ELEVATION
- FND. = FOUND
- F.O.C. = FACE OF CURB
- G.M. = GAS METER
- G.M.P. = GATE MOTOR PAD
- INV. = INVERT
- K.P. = KEY PAD
- L.A.E. = LIMITED ACCESS EASEMENT
- L.B. = LICENSE BOARD
- L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
- (M) = FIELD MEASUREMENT
- M.H. = MANHOLE
- M.H.W.L. = MEAN HIGH WATER LINE
- M.L.W.L. = MEAN LOW WATER LINE
- N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
- N.T.S. = NOT TO SCALE
- O.A. = OVERALL
- O.D. = OUTSIDE DIAMETER
- O/H. = OVERHEAD UTILITY LINE
- O.R.B. = OFFICIAL RECORD BOOK
- O/S. = OFFSET
- (P) = PLAT DATUM
- P.B. = PLAT BOOK
- P.B.C. = PALM BEACH COUNTY
- P.C. = POINT OF CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- PG. = PAGE
- P.I. = POINT OF INTERSECTION
- P/O. = PART OF
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- P.R.C. = POINT OF REVERSE CURVATURE
- P.R.M. = PERMANENT REFERENCE MONUMENT
- PROP. = PROPOSED
- P.T. = POINT OF TANGENCY
- P/MT. = PAVEMENT
- (R) = RADIAL
- R. = RADIUS
- RGE. = RANGE
- R.P.B. = ROAD PLAT BOOK
- R/W. = RIGHT OF WAY
- (S) = SURVEY DATUM
- S.B. = SETBACK
- SEC. = SECTION
- S/D. = SUBDIVISION
- S.F. = SQUARE FEET
- S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
- S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
- S.R. = STATE ROAD
- STA. = STATION
- STY. = STORY
- SW. = SIDEWALK
- T.O.B. = TOP OF BANK
- TOW. = TOP OF WALL ELEVATION
- TWP. = TOWNSHIP
- TYP. = TYPICAL
- U/C. = UNDER CONSTRUCTION
- U/E. = UTILITY EASEMENT
- U.R. = UNRECORDED
- W.C. = WITNESS CORNER
- W.M.E. = WATER MANAGEMENT EASEMENT
- W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
- W.M.T. = WATER MANAGEMENT TRACT
- ⊖ = BASELINE
- ⊕ = CENTERLINE
- Δ = CENTRAL ANGLE/DELTA
- = CONCRETE MONUMENT FOUND (AS NOTED)
- = CONCRETE MONUMENT SET (LB #4569)
- = ROD & CAP FOUND (AS NOTED)
- = 5/8" ROD & CAP SET (LB #4569)
- ⊙ = IRON PIPE FOUND (AS NOTED)
- ⦿ = IRON ROD FOUND (AS NOTED)
- ▲ = NAIL FOUND
- = NAIL & DISK FOUND (AS NOTED)
- ⊙ = MAG NAIL & DISK SET (LB #4569)
- ⊕ = PROPERTY LINE
- ⊖ = UTILITY POLE
- ⊕ = FIRE HYDRANT
- ⊕ = WATER METER
- ⊕ = WATER VALVE
- ⊕ = LIGHT POLE
- ⊗ = TREE

# Boundary Survey For: ANN DES RUISSEAUX AND JOHN O. PICKETT III, AS CO-TRUSTEES OF THE DES RUISSEAUX LAND TRUST DATED 12/6/2019



TITLE COMMITMENT REVIEW						
CLIENT: TD Bank, N.A., its successors and/or assigns, as their interest may appear		COMMITMENT NO. : 1328689	DATE: 10/03/22			
REVIEWED BY: Craig Wallace		JOB NO. : 19-1454.46				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-4	N/A	Standard Exceptions.				•
5	ORB 31170, PG 180	First Mortgage from Ann DesRuisseaux and William W. Atterbury, III, as Co-Trustees of the DesRuisseaux Land Trust under Agreement dated December 6, 2019 and Ann DesRuisseaux, individually, to TD Bank, N.A., dated 1/15/2020 recorded 11/21/2020.				•
6	ORB 31170, PG 216	Assignment of Leases and Rents in favor of T.D. Bank, N.A., recorded January 21, 2020.				•
7	ORB 3311, PG 555	Certificate of Notification of Designation of Certain Properties as Landmarks. (Parcel 1)	•			
8	ORB 5770, PG 1412	Drainage Easement Deed with State of Florida for the use and benefit of the State of Florida Department of Comcast Corporation and the Town of Palm Beach.	•			
9	ORB 32338, PG 27	Underground Easement (Individual) to Florida Power and Light Company; Bellsouth Telecommunications, LLC, Comcast Corporation and the Town of Palm Beach.	•			
10-11	N/A	Standard Exceptions.				•
12	ORB 31018, PG 113	Beach Access Easement Agreement (grants access rights to the Beach Access Easement Agreement (grants access rights to the Atlantic Ocean over Parcels lying East of S. Ocean Blvd. (far outside of the surveyed property)			•	
13	ORB 31661, PG 1534	Unity of Title.		•		

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.  
**Ann Des Ruisseaux and John O. Pickett III, as Co-Trustees of the Des Ruisseaux Land Trust dated 12/6/2019**  
**TD Bank, N.A., its successors and/or assigns, as their interest may appear**  
**Old Republic National Title Insurance Company**  
**Gunster Yoakley & Stewart, P.A.**

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

**PROPERTY ADDRESS:**  
800 S. County Road  
Palm Beach, FL 33480

**LEGAL DESCRIPTION:**  
**Parcel 1:**  
The South 200.00 feet of the North 691.52 feet of Government Lot 1, Section 35, Township 43 South, Range 43 East, lying West of County Road, Palm Beach, Florida, less the South 151.68 feet of the East 131.53 feet as measured at right angles thereto; ALSO LESS: a portion of land lying immediately West of and adjacent to the East 131.53 feet of the South 151.68 feet of the North 691.52 feet of Government Lot No. 1, lying West of South County Road, located in Section 35, Township 43 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows: (NOTE: The North line of Government Lot No. 1, aforesaid is assumed to bear due East and all other bearings herein are relative thereto.) Beginning at the Southwest corner of said 131.52 feet parcel; thence due West a distance of 4.91 feet; thence due North a distance of 151.68 feet; thence due East a distance of 17.75 feet to the Northwest corner of aforesaid 131.53 feet parcel; thence South 04°50'18" West, along the West line of said 131.53 feet parcel, a distance of 152.22 feet to the POINT OF BEGINNING.

**AND**  
**Parcel 2:**  
The South 151.68 feet of the East 131.53 feet as measured at right angles thereto of the South 200 feet of the North 691.52 feet of Government Lot 1, Section 35, Township 43 South, Range 43 East, lying West of South County Road, Palm Beach County, Florida.  
Together with a portion of land lying immediately West of and adjacent to the East 131.53 feet of the South 151.68 feet of the North 691.52 feet of Government Lot No. 1, lying West of South County Road, located in Section 35, Township 43 South, Range 43 East, Palm Beach County, Florida, more particularly described as follows: (Note: The North line of Government Lot No. 1, aforesaid is assumed to bear due East and all other bearings herein are relative thereto.) Beginning at the Southwest corner of said 131.52-foot parcel; thence due West a distance of 4.91 feet; thence due North, a distance of 151.68 feet; thence due East a distance of 17.75 feet to the Northwest corner of aforesaid 131.53-foot parcel; thence South 04°50'18" West along the West line of said 131.53-foot parcel, a distance of 152.22 feet to the POINT OF BEGINNING.

**FLOOD ZONES:**  
This property is located in Flood Zones AE (EL. 11) & X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0583F, dated 10/05/2017.

- NOTES:**
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1328689, issued by American Land Title Association Commitment, dated October 3, 2022. This office has made no search of the Public Records.
  - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
  - Description furnished by client or client's agent.
  - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
  - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
  - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
  - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
  - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
  - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
  - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
  - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
  - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
  - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
  - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

**CERTIFICATION:**  
I HEREBY ATTEST that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

**DATE OF LAST FIELD SURVEY: 10/18/2022**

Craig L. Wallace  
Professional Surveyor and Mapper  
Florida Certificate No. 3357

**REVISIONS:**

05/04/23 ELEVATIONS ALONG NORTH PROPERTY LINE B.M./M.B. 19-1454.49 PB34741
10/18/22 SURVEY & TIE-IN UPDATE B.M./S.W. 19-1454.46 PB34047
09/10/22 FFE & SOFFIT ELEVATIONS J.O./S.W. 19-1454.44 PB33840
08/01/22 FORMBOARD TIE-IN J.C./M.B. 19-1454.41 PB32980
03/02/22 FORMBOARD TIE-IN J.C./S.W. 19-1454.36 PB32825
01/14/22 LOCATE RELOC SUBMERGED STEPS C.E./S.W. 19-1454.34 PB30476
12/22/21 TIE-IN NEW BULKHEAD & SHEETPILE J.C./S.W. 19-1454.33 PB32022
09/23/21 2ND STORY FINISH FLOOR ELEVATIONS B.M./M.B. 19-1454.31 PB32037
05/19/21 TIE-BEAM AND SPOT ELEVATIONS J.O./M.B. 19-1454.24 PB31313
03/13/21 FORMBOARD TIE-IN J.P./M.B. 19-1454.21 PB30853
01/08/21 STEMWALL FORMS TIE-IN J.P./S.W. 19-1454.18 PB30522
12/12/20 FOOTER FORM TIE-IN J.P./M.B. 19-1454.17 PB30263
RE-CERTIFY S.W. 19-1454.4
02/12/20 ROOF PEAK & SOFFIT B.M./S.W. 19-1454.5 PB29150
05/07/20 TREE TIE-IN J.C./S.W. 19-1454.6 PB28348
05/15/20 REMOVE ROOF PEAK & SOFFIT ELEVATIONS S.W. 19-1454.6
07/25/20 TIE-IN DRAINAGE CURB J.P./S.W. 19-1454.9 PB28638
10/22/20 SPOT ELEVATION J.C./S.W. 19-1454.9 PB30031
11/05/20 BULKHEAD, PIERHEAD LINES & DETAIL S.W. 19-1454.14

**Boundary Survey For:**

**ANN DES RUISSEAUX AND JOHN O. PICKETT III, AS CO-TRUSTEES OF THE DES RUISSEAUX LAND TRUST DATED 12/6/2019**

**WALLACE SURVEYING**  
CORP. LICENSED BUSINESS # 4091  
3553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 \* (561) 640-4051

FIELD: B.M.	JOB No.: 19-1454.3	F.B. PB284	PG. 25
OFFICE: S.W.	DATE: 09/23/19	DWG. No.: 19-1454-1	
C/K'D.: C.W.	REF.: 19-1454.DWG	SHEET: 1 OF 3	



