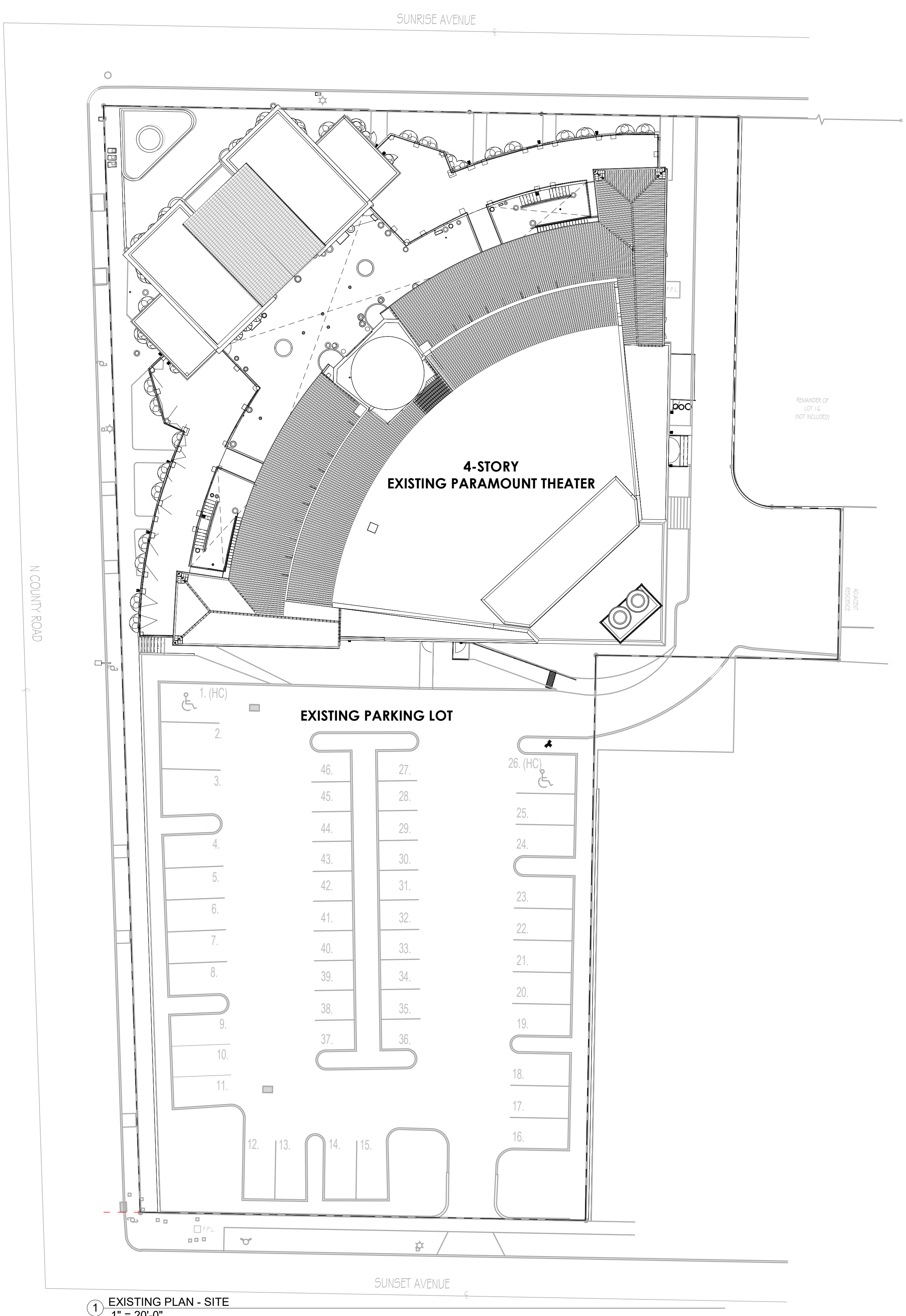


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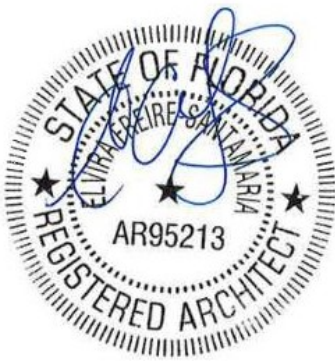
1 EXISTING PLAN - SITE
1" = 20'-0"

Scale: 1" = 20'-0"
Note: When printed on 11 x 17 paper scale is half

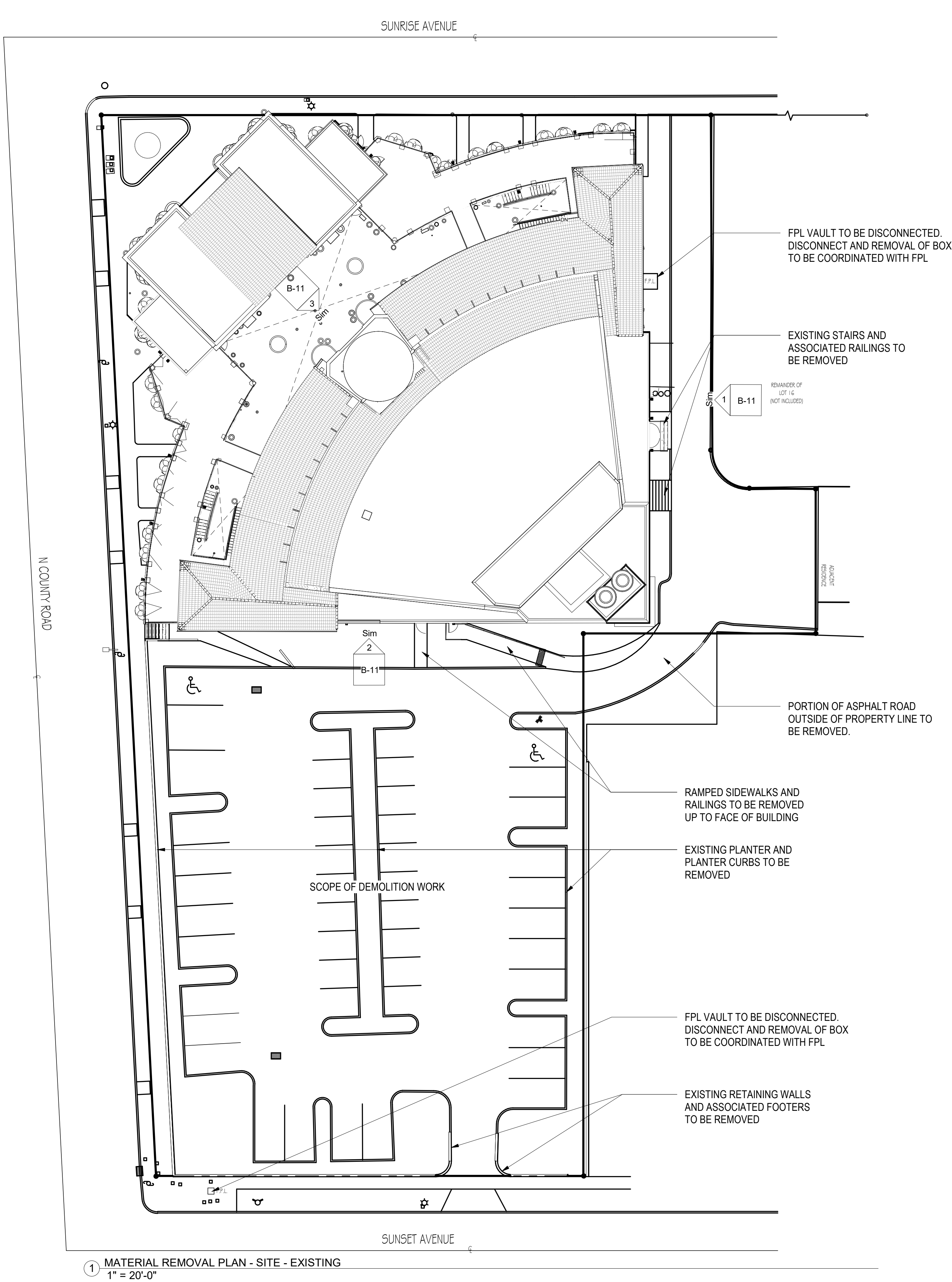
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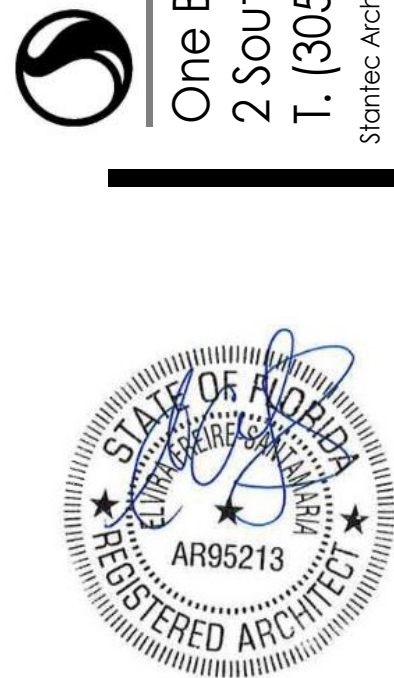
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1 MATERIAL REMOVAL PLAN - SITE - EXISTING
1" = 20'-0"

MATERIAL REMOVAL SITE PLAN NOTES

1. THE GENERAL SCOPE OF WORK INVOLVES:
A. THE COMPLETE DEMOLITION OF THE INTERIOR COMPONENTS OF THE BUILDING, NOT INCLUDING STRUCTURE UNLESS NOTED OTHERWISE.
B. EXTERIOR DEMOLITION ONLY AS NOTED ON BUILDING ELEVATION SHEETS.
2. ALL INTERIOR WALLS, MILLWORK, FLOORING AND CEILINGS TO BE STRIPPED BACK TO ROUGH FRAMING UNLESS OTHERWISE NOTED.
3. PROTECT ALL EXISTING EXTERIOR FACADE ELEMENTS THAT ARE TO REMAIN. EXISTING AWNING TO BE REMOVED AND EXISTING EXTERIOR DOORS/WINDOWS TO BE REPLACED AS SHOWN ON ELEVATION SHEETS.
4. REFER TO SITE MATERIAL REMOVAL PLAN FOR ITEMS OUTSIDE THE BUILDING ENVELOPE.
5. LOCATION OF NEW OPENINGS ARE SHOWN ON DRAWINGS. REFER TO ELEVATION SHEETS FOR MORE INFORMATION.
6. THESE DEMOLITION DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
7. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
8. INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
9. PERMIT TO BE SUBMITTED AND APPROVED PRIOR TO ANY DEMOLITION OCCURRING ONSITE.
10. PRIOR TO CARRYING OUT DEMOLITION WORK, ALL EXISTING FRAMING MUST BE EXPOSED. REMOVAL OF EXISTING SUPPORTS FOR REMAINING FLOOR FRAMING WILL REQUIRE SHORING OF THESE MEMBERS AND ADDITION OF NEW BEAMS AND POSTS AS REQUIRED BY STRUCTURAL ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND WALL BRACING AND SHALL CARRY OUT ALL REVISIONS REQUIRED BY EXISTING FIELD CONDITIONS.
11. ALL WORK NOTED TO BE REMOVED, CUT DOWN OR DISMANTLED SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
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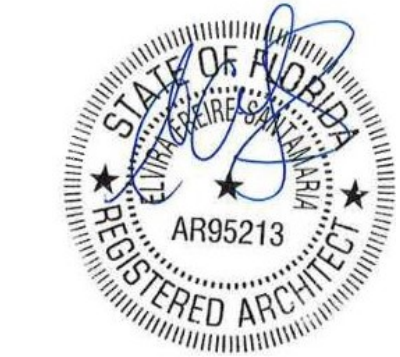
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1 EXISTING PLAN - LEVEL 01
3/32" = 1'-0"

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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B-3



1 MATERIAL REMOVAL PLAN - LEVEL 01 - EXISTING
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MATERIAL REMOVAL SITE PLAN NOTES

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MATERIAL REMOVAL KEYNOTES

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- D. ALL POTTED PLANTS TO BE REMOVED FROM SITE.
- E. CORRIDOR COLUMNS TO BE PRESERVED DURING CONSTRUCTION AND MATERIAL REMOVAL OF ADJACENT SPACES TYP. OF 24
- F. STAIRS TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED PLANS.
- G. EXISTING ROOFING TO BE REMOVED. ROOF TO BE ALTERED IN ORDER TO ACCOMMODATE PAVERS AND PLANTERS AS SHOWN ON PROPOSED FLOOR PLANS.
- H. ORIGINAL WINDOW OPENINGS AND DESIGN TO BE ADJUSTED TO MATCH ORIGINAL BUILDING. REFER TO PROPOSED BUILDING ELEVATIONS.
- I. REMOVAL OF PAVER IN OUTDOOR AREAS.
- J. PARTIAL REMOVAL OF EXISTING ROOF TO BE REMOVED ONLY AS REQUIRED FOR EQUIPMENT INSTALLATION, ACCESS OR WHERE OUT OF COMPLIANCE WITH FLORIDA BUILDING CODE. NEW ROOF TILE TO BE INSTALLED AS PER SAMPLE APPROVED BY LANDMARKS PRESERVATION COMMISSION.

LEGEND

- EXISTING THEATER WALLS TO BE REMOVED, REFER TO SHEET B-11 FOR ELEVATION ANALYSIS
- EXISTING INTERIOR PARTITIONS TO BE REMOVED
- EXISTING FLOOR DECK/SLABS/STAIRS TO BE REMOVED
- EXISTING SUSPENDED DRYWALL CEILING TO BE REMOVED TO EXPOSE AND RESTORE ORIGINAL HISTORIC THEATER CEILING

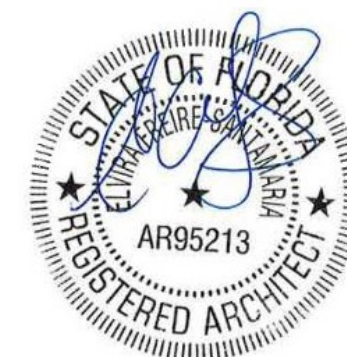
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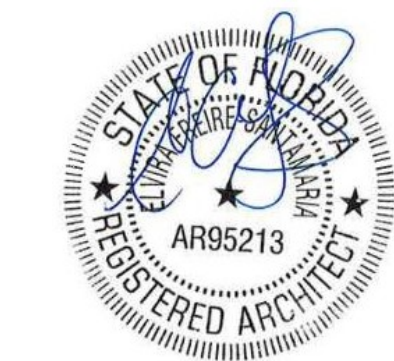
B-4

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



1 EXISTING PLAN - LEVEL 02
3/32" = 1'-0"

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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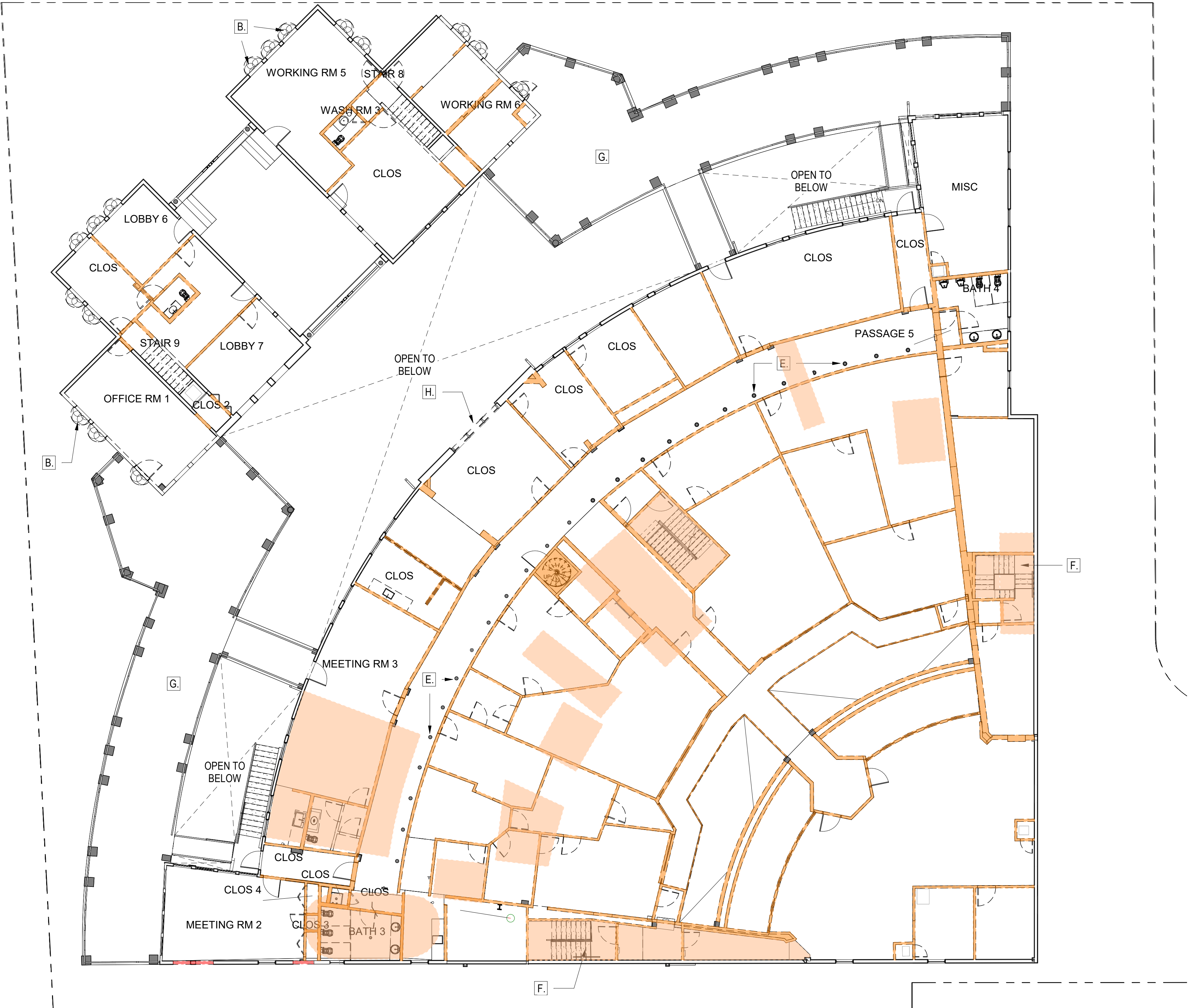


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1 MATERIAL REMOVAL PLAN - LEVEL 02 - EXISTING
3/32" = 1'-0"

MATERIAL REMOVAL SITE PLAN NOTES

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LEGEND

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- EXISTING SUSPENDED DRYWALL CEILING TO BE REMOVED TO EXPOSE AND RESTORE ORIGINAL HISTORIC THEATER CEILING

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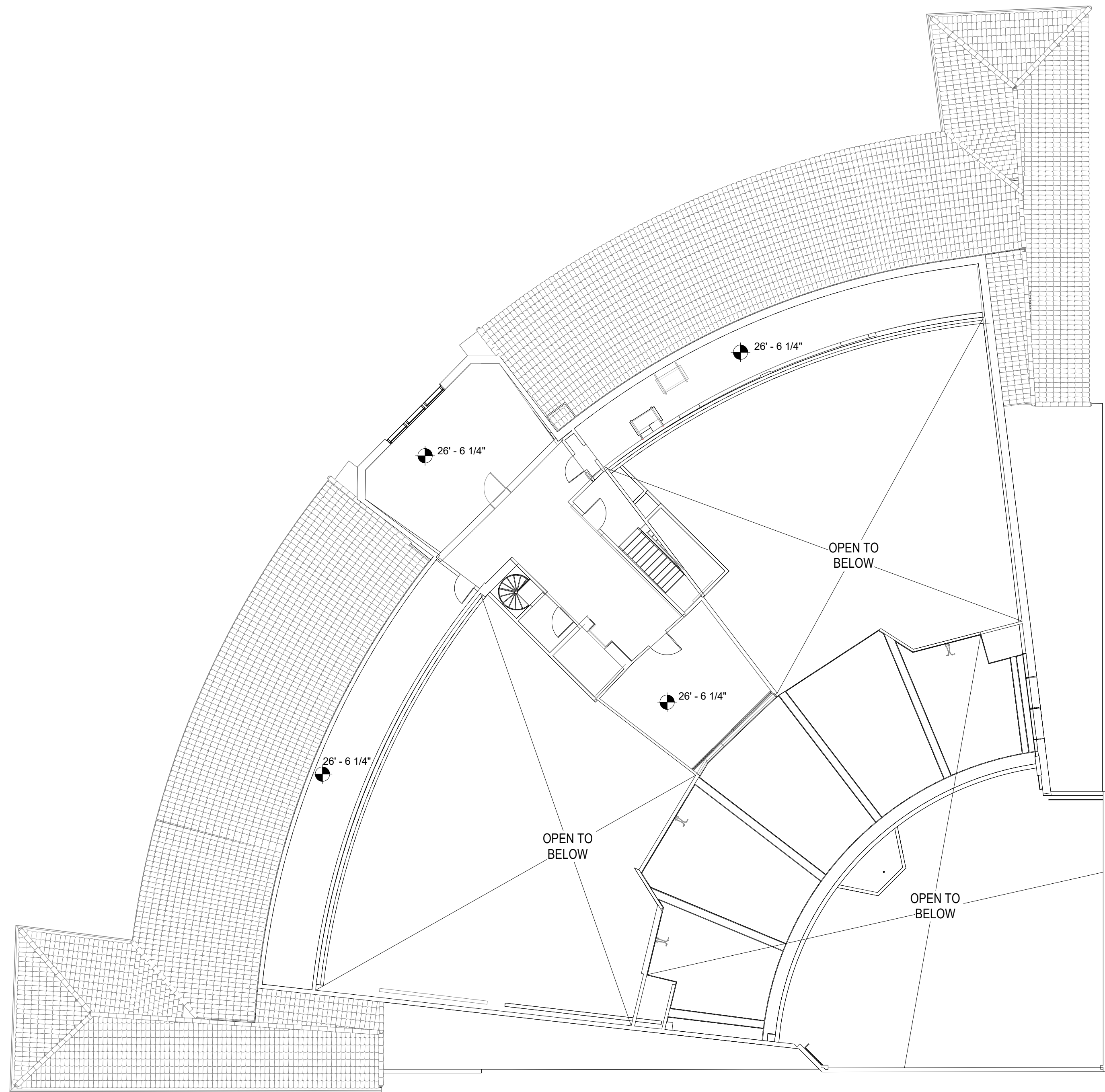


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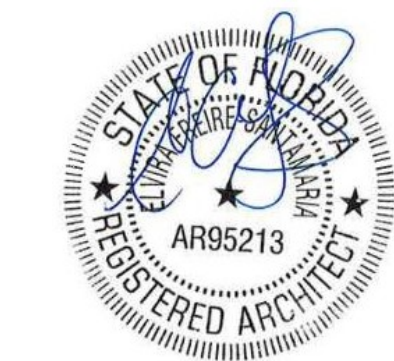
B-6

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half

1 EXISTING PLAN - LEVEL 03
3/32" = 1'-0"



Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



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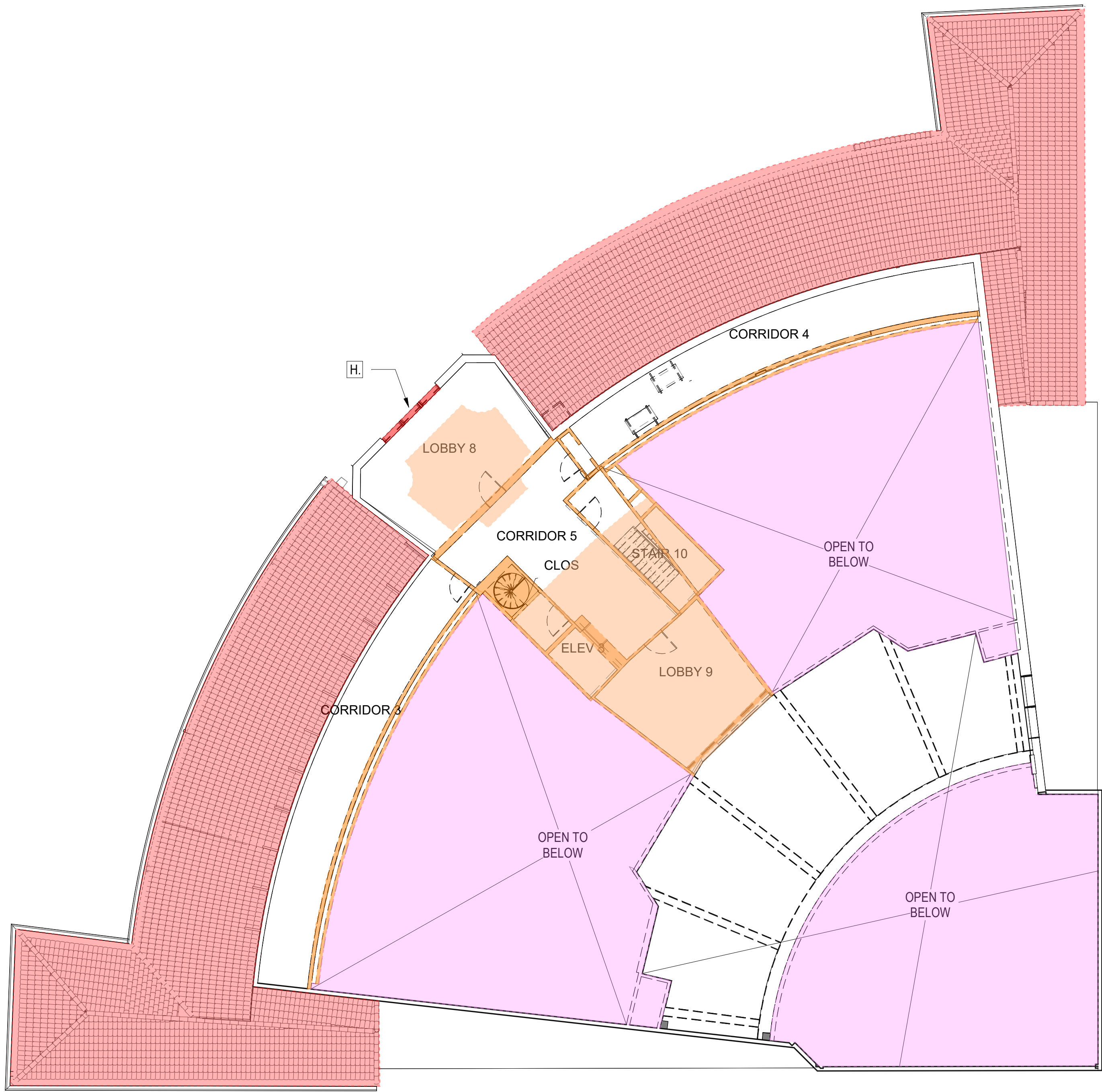


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1 MATERIAL REMOVAL PLAN - LEVEL 03 - EXISTING
3/32" = 1'-0"

MATERIAL REMOVAL SITE PLAN NOTES

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- EXISTING THEATER BARREL ROOF TILES TO BE REMOVED AND REPLACED WITH LUDOWICI'S ROOF TILES, IN "BARREL PALM BEACH STYLE", COLOR TO MATCH EXISTING BARREL ROOF TILES.

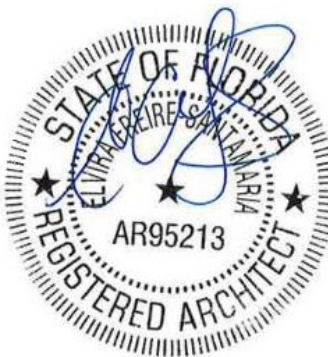
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Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half



1 EXISTING - ROOF
3/32" = 1'-0"



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1 MATERIAL REMOVAL PLAN - ROOF
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MATERIAL REMOVAL SITE PLAN NOTES

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6. THESE MATERIAL REMOVAL DRAWINGS HAVE BEEN COMPILED FROM THE BEST AVAILABLE INFORMATION AND ARE NOT INTENDED TO LIMIT THE SCOPE OF THE WORK. ADDITIONAL FIELD VERIFICATIONS MAY NEED TO OBTAIN BY GENERAL CONTRACTOR IN ORDER TO DETERMINE FULL EXTENT OF DEMOLITION AND COMPLETE DEMOLITION ACCURATELY. THESE MATERIAL REMOVAL SHEETS ARE DIAGRAMMATIC. IT IS NOT THE INTENT OF THESE DOCUMENTS TO SHOW EVERY DETAIL OF MATERIAL REMOVAL.
7. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO EXECUTION OF THE ITEMS IN QUESTION.
8. INTENT IS TO REMOVE EVERYTHING NECESSARY TO ALLOW NEW CONSTRUCTION TO BE ACCOMPLISHED. SEE DRAWINGS SHOWING PROPOSED NEW CONSTRUCTION.
9. PERMIT TO BE SUBMITTED AND APPROVED PRIOR TO ANY WORK OCCURRING ONSITE.
10. PRIOR TO CARRYING OUT MATERIAL REMOVAL WORK, ALL EXISTING FRAMING MUST BE EXPOSED. REMOVAL OF EXISTING SUPPORTS FOR REMAINING FLOOR FRAMING WILL REQUIRE SHORING OF THESE MEMBERS AND ADDITION OF NEW BEAMS AND POSTS AS REQUIRED BY STRUCTURAL ENGINEER. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING AND WALL BRACING AND SHALL CARRY OUT ALL REVISIONS REQUIRED BY EXISTING FIELD CONDITIONS.
11. ALL WORK NOTED TO BE REMOVED, CUT DOWN OR DISMANTLED SHALL BE DONE IN SUCH A MANNER AS TO MAINTAIN THE INTEGRITY OF THE EXISTING STRUCTURE.
12. UNDER NO CONDITION SHALL ANY EXISTING FOUNDATION BE UNDERMINED OR ANY STRUCTURAL MEMBER ALTERED IN ANY WAY THAT WILL ADVERSELY AFFECT THE EXISTING WORK TO REMAIN.
13. BUILDING SHALL NOT BE OCCUPIED DURING MATERIAL REMOVAL PROCESS.

MATERIAL REMOVAL KEYNOTES

- A. NEW EXTERIOR OPENINGS TO FACADE BEING PROPOSED. REFER TO BUILDING ELEVATION SHEETS FOR REFERENCE.
- B. ALL EXTERIOR AWNINGS TO BE REMOVED AND REPLACED AS SHOWN ON PURPOSED BUILDING ELEVATIONS.
- C. EXISTING DOORS AND SURROUNDING WALLS TO BE REMOVED AND RELOCATED AS SHOWN ON PROPOSED FLOOR PLANS.
- D. ALL POTTED PLANTS TO BE REMOVED FROM SITE.
- E. CORRIDOR COLUMNS TO BE PRESERVED DURING CONSTRUCTION AND MATERIAL REMOVAL OF ADJACENT SPACES TYP. OF 24
- F. STAIRS TO BE REMOVED AND REPLACED AS SHOWN ON PROPOSED PLANS.
- G. EXISTING ROOFING TO BE REMOVED. ROOF TO BE ALTERED IN ORDER TO ACCOMMODATE PAVERS AND PLANTERS AS SHOWN ON PROPOSED FLOOR PLANS.
- H. ORIGINAL WINDOW OPENINGS AND DESIGN TO BE ADJUSTED TO MATCH ORIGINAL BUILDING. REFER TO PROPOSED BUILDING ELEVATIONS.
- I. REMOVAL OF PAVER IN OUTDOOR AREAS.
- J. PARTIAL REMOVAL OF EXISTING ROOF TO BE REMOVED ONLY AS REQUIRED FOR EQUIPMENT INSTALLATION, ACCESS OR WHERE OUT OF COMPLIANCE WITH FLORIDA BUILDING CODE. NEW ROOF TILE TO BE INSTALLED AS PER SAMPLE APPROVED BY LANDMARKS PRESERVATION COMMISSION.

LEGEND

- EXISTING THEATER WALLS TO BE REMOVED, REFER TO SHEET B-11 FOR ELEVATION ANALYSIS
- EXISTING INTERIOR PARTITIONS TO BE REMOVED
- EXISTING FLOOR DECK/SLABS/STAIRS TO BE REMOVED
- EXISTING SUSPENDED DRYWALL CEILING TO BE REMOVED TO EXPOSE AND RESTORE ORIGINAL HISTORIC THEATER CEILING
- EXISTING THEATER BARREL ROOF TILES TO BE REMOVED AND REPLACED WITH LUDOWICI'S ROOF TILES, IN "BARREL PALM BEACH STYLE", COLOR TO MATCH EXISTING BARREL ROOF TILES.



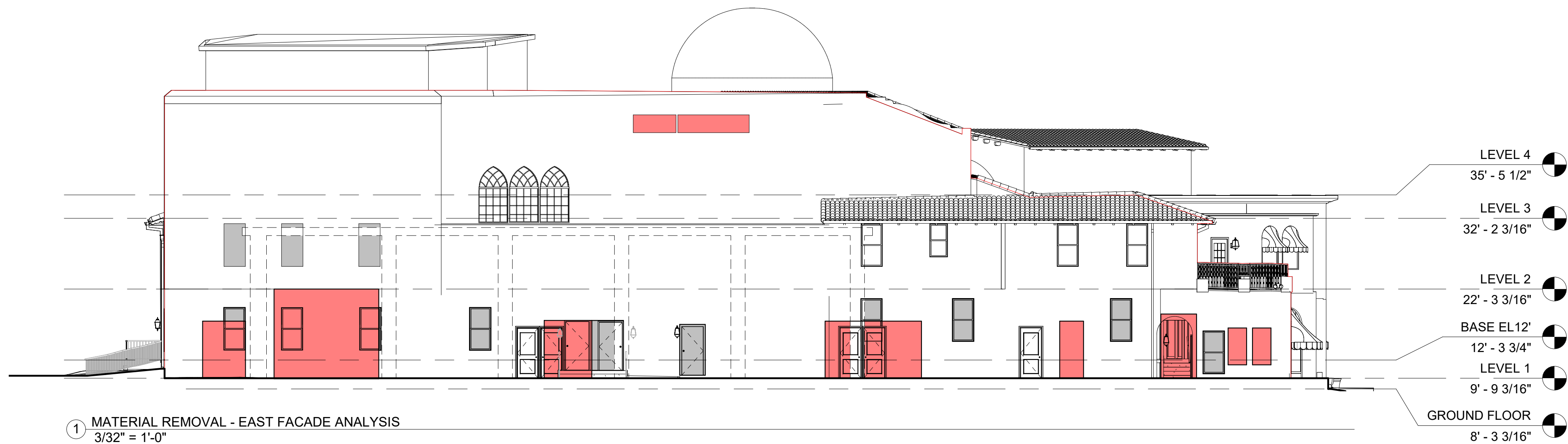
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① MATERIAL REMOVAL - EAST FACADE ANALYSIS
3/32" = 1'-0"

MATERIAL REMOVAL KEYNOTE

- EXISTING BUILDING FACADE - CALCULATED
- PORTION OF EXISTING BUILDING TO BE FILLED
- PORTION OF EXISTING BUILDING WHERE MATERIAL WILL BE REMOVED
- EXTENT OF BUILDING LINK TO RESIDENTIAL COMPONENT

EAST FACADE CALCULATION

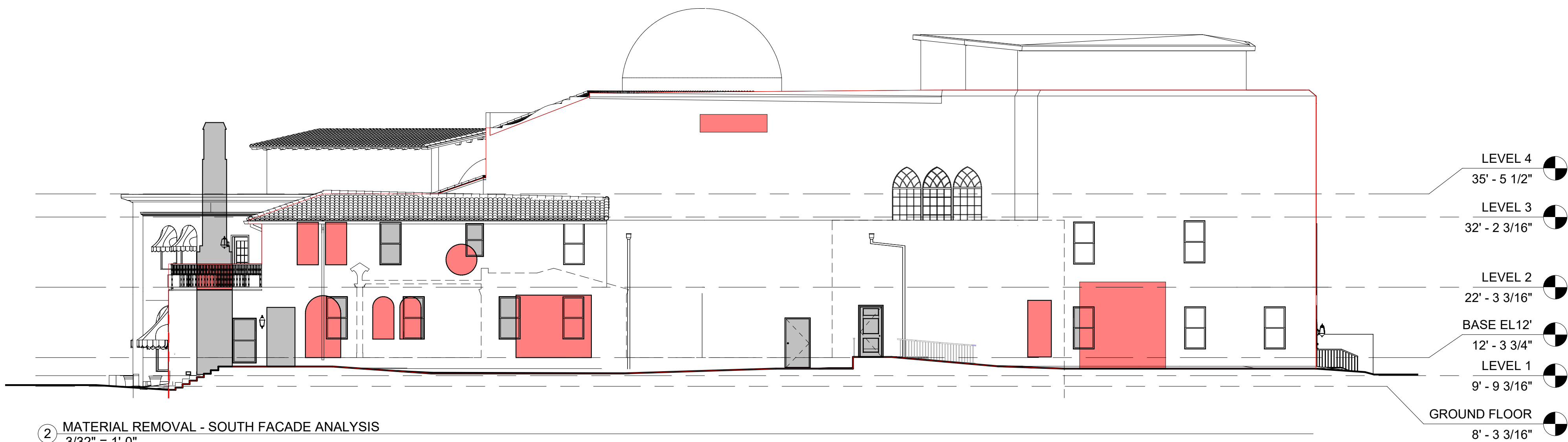
TOTAL FACADE SQUARE FOOTAGE:	5,516 SQFT	
	@ 50%	- 2,758 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	533 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	200 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	733 SQFT / 5,516 SQFT	- 13.2%

SOUTH FACADE CALCULATION

TOTAL FACADE SQUARE FOOTAGE:	5,540 SQFT	
	@ 50%	- 2,770 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	438 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	290 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	728 SQFT / 5,540 SQFT	- 13.1%

NORTH FACADE (THEATER ENTRY) CALCULATION

TOTAL FACADE SQUARE FOOTAGE:	6,632 SQFT	
	@ 50%	- 3,316 SQFT
ESTIMATED SQUARE FOOTAGE OF MATERIAL BEING REMOVED:	288 SQFT	
ESTIMATED SQUARE FOOTAGE BEING FILLED:	000 SQFT	
TOTAL PERCENTAGE OF MATERIAL REVISION	288 SQFT / 6,632 SQFT	- 4.3 %



② MATERIAL REMOVAL - SOUTH FACADE ANALYSIS
3/32" = 1'-0"



③ MATERIAL REMOVAL - NORTH-WEST FACADE ANALYSIS (THEATER ENTRY)
3/32" = 1'-0"

Scale: 3/32" = 1'-0"
Note: When printed on 11 x 17 paper scale is half

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