

**RECEIVED**  
By yfigueroa at 10:46 am, Dec 08, 2023



**Zoning Legend**

PROPERTY ADDRESS	230 BRAZILIAN AVENUE		
ZONING DISTRICT	R-C MEDIUM DENSITY		
LOT AREA (SQ. FT.)	8,260.4 S.F.		
LOT WIDTH (W) & LOT DEPTH (D) (FT.)	48.25' (W) X 171.2' (D)		
STRUCTURE TYPE:	TOWN HOUSE		
FEMA FLOOD ZONE DESIGNATION:	N/A		
ZERO DATUM FOR POINT OF MEAS. (NAVD)	N/A		
CROWN OF ROAD (COR) (NAVD)	N/A		
	REQ'D / PERMITTED	EXISTING	PROPOSED
LOT COVERAGE	N/A	N/A	N/A
ENCLOSED SQUARE FOOTAGE	N/A	N/A	N/A
FRONT YARD SETBACK (FT.)	N/A	N/A	N/A
SIDE YARD SETBACK (1ST STORY) (FT.)	N/A	N/A	N/A
SIDE YARD SETBACK (2ND STORY) (FT.)	N/A	N/A	N/A
REAR YARD SETBACK (FT.)	N/A	N/A	N/A
ANGLE OF VISION (DEG.)	N/A	N/A	N/A
BUILDING HEIGHT (FT.)	N/A	N/A	N/A
OVERALL BUILDING HEIGHT (FT.)	N/A	N/A	N/A
CUBIC CONTENT RATIO (CCR) (R-B ONLY)	N/A	N/A	N/A
MAX. FILL ADDED TO SITE (FT.)	N/A	N/A	N/A
FINISHED FLOOR ELEVATION (FFE) (NAVD)	N/A	N/A	N/A
BASE FLOOD ELEVATION (FFE) (NAVD)	N/A	N/A	N/A

Private Residence  
230 Brazilian Ave  
Town of Palm Beach  
ARC-24-2013  
Meeting Date 01/24/2024

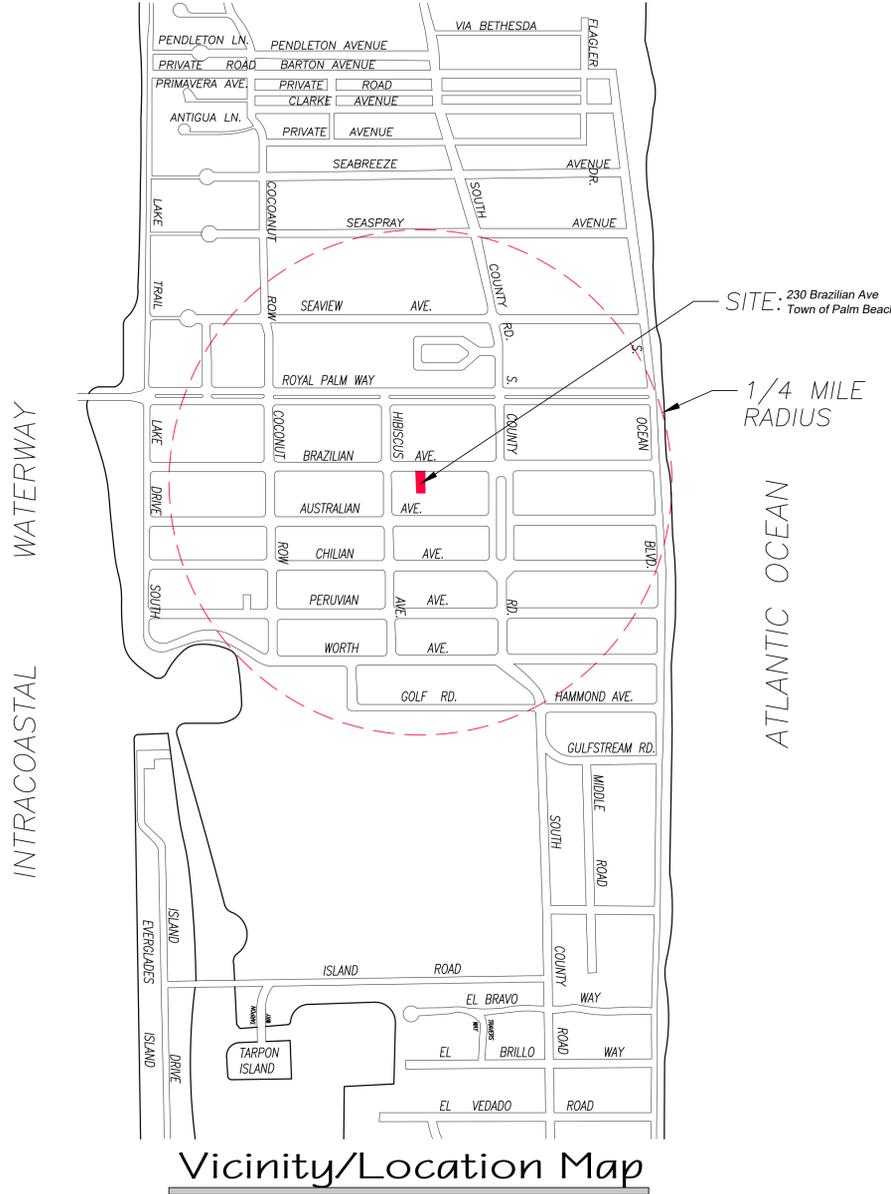
*Scope of Work*

- Enhanced West Landscape Buffer

Note: No building, structure, hardscape or architectural modifications are proposed.



Aerial View



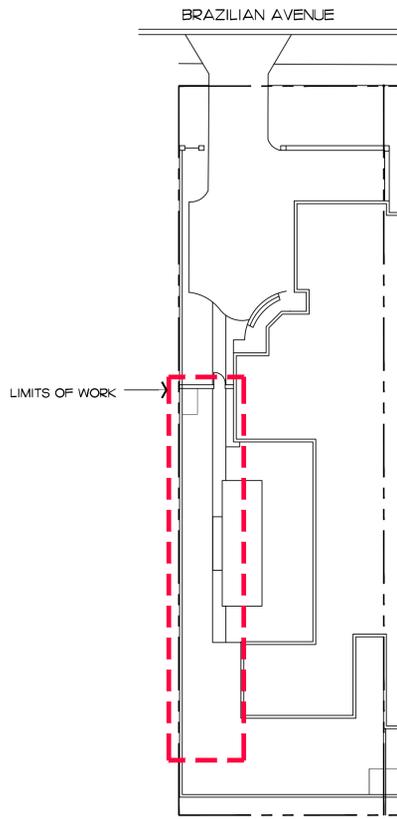
Vicinity/Location Map

**Landscape Legend**

	REQ'D / PERMITTED	PROPOSED
LANDSCAPE OPEN SPACE (LOS) (SQ. FT. AND %)	35% MINIMUM 2,891 S.F.	32.1% 2,656 S.F.
LOS TO BE ALTERED (SQ. FT. AND %)	N/A	20% 533 S.F.
PERIMETER LOS (SQ. FT. AND %)	N/A	N/A
FRONT YARD LOS (SQ. FT. AND %)	40% MIN. 482.5 S.F.	45.2% 545 S.F.
NATIVE TREES %	N/A	N/A
NATIVE SHRUBS & VINES %	30%	37.7%
NATIVE GROUNDCOVER %	N/A	N/A

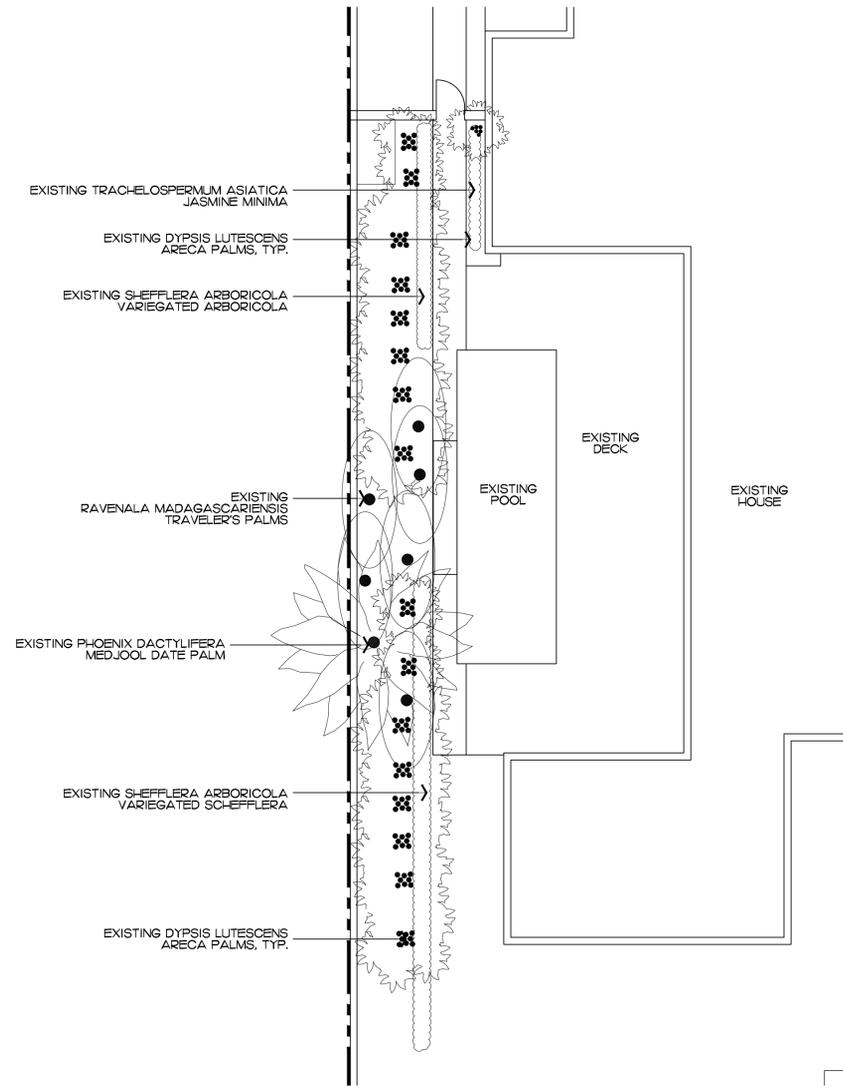
*Sheet Index*

- Coversheet
- L1.0 Existing Conditions / Veg Action Plan
  - L1.1 Existing Conditions Photos
  - L1.2 Truck Logistics Plan
  - L1.3 Construction Staging & Screening Plan
  - L2.0 Site Plan
  - L2.1 Landscape Open Space Calculations
  - L2.2 Landscape Alteration Diagram
  - L3.0 Landscape Plan
  - L4.0 Landscape Renderings
- Survey

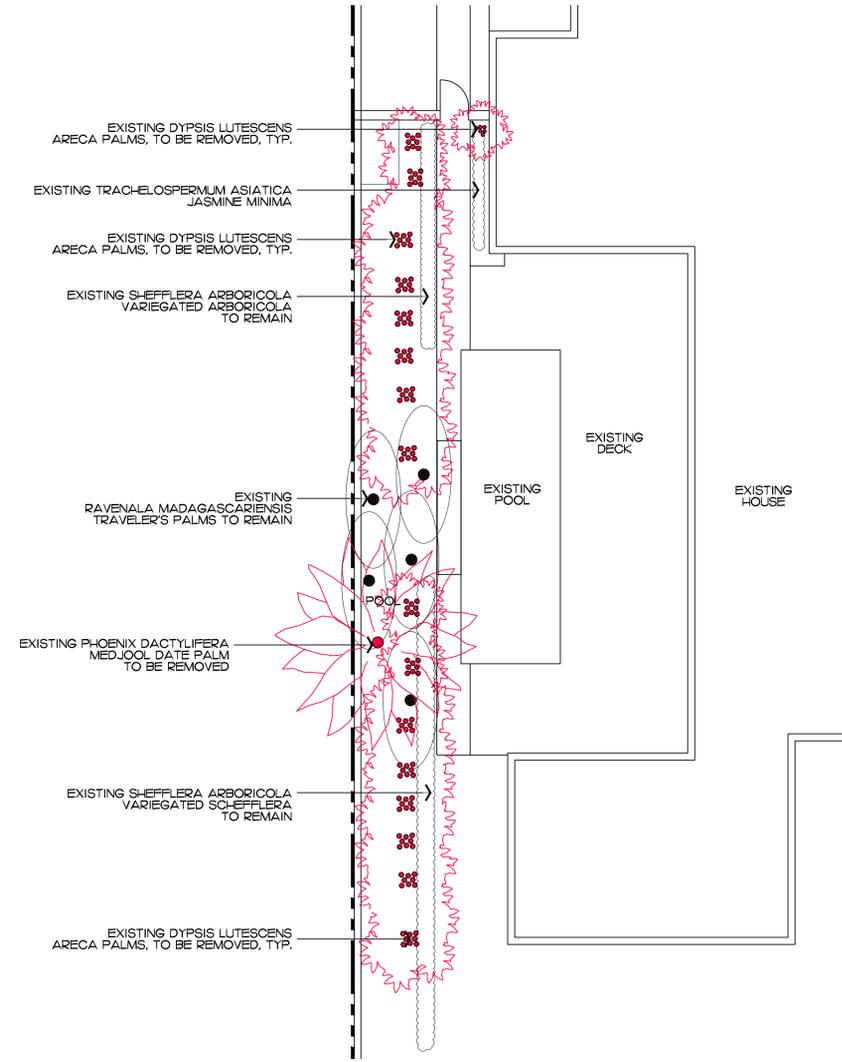


Site Plan  
LIMITS OF WORK  
SCALE 1" = 20'

NOTE:  
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ON THE WEST SIDE OF THE HOUSE



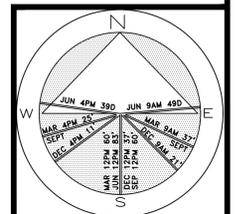
Existing Conditions



Vegetation Action Plan

**ENVIRONMENT  
DESIGN  
GROUP**  
139 North County Road 5909-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Mizell, M.L.A. RLA #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
230 Brazilian Ave  
Town of Palm Beach



JOB NUMBER: # 23134.00 LA  
DRAWN BY: Allison Padilla  
DATE: 11.20.2023

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SUNSHINE STATE ONE CALL  
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Existing Vegetation Inventory and Action Plan

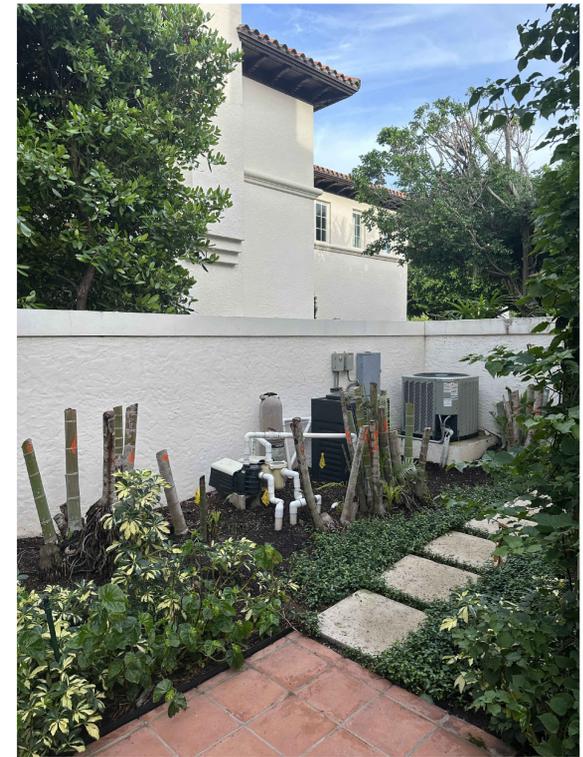


ARC-24-013

SHEET L1.0  
64 sf.  
AREA IN SQ. FT.



Existing Street View PROPOSED LANDSCAPE IMPROVEMENTS WILL NOT BE VISIBLE FROM THE BRAZILIAN AVENUE



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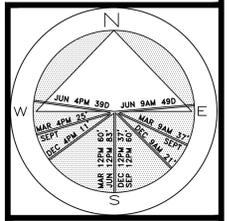
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# Existing Condition Photos - Limits of Work

ARC-24-013

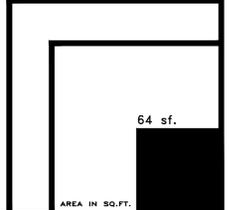
**ENVIRONMENT  
DESIGN  
GROUP**  
130 North County Road 5820-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Mizell, M.L.A. R.L.A. #6666784  
Dustin@environmentdesigngroup.com

Private Residence  
230 Brazilian Ave  
Town of Palm Beach  
FLORIDA



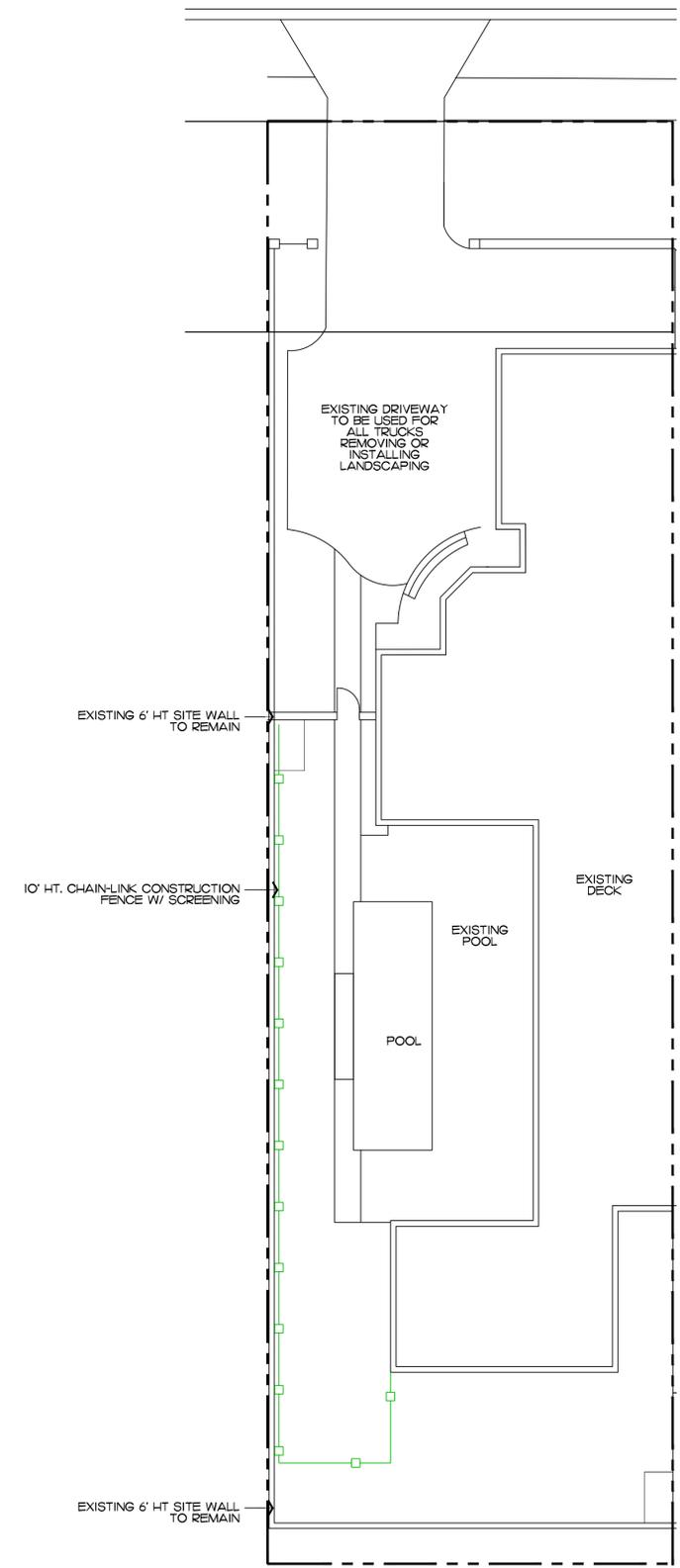
JOB NUMBER: # 23134.00 LA  
DRAWN BY: Allison Padilla  
DATE: 11.20.2023

SHEET L1.1



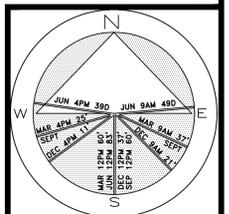


BRAZILIAN AVENUE



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 ON THE WEST SIDE OF THE HOUSE

Private Residence  
 230 Brazilian Ave  
 Town of Palm Beach



JOB NUMBER: # 23134.00 LA  
 DRAWN BY: Allison Padilla  
 Sean Twomey  
 DATE: 11.20.2023

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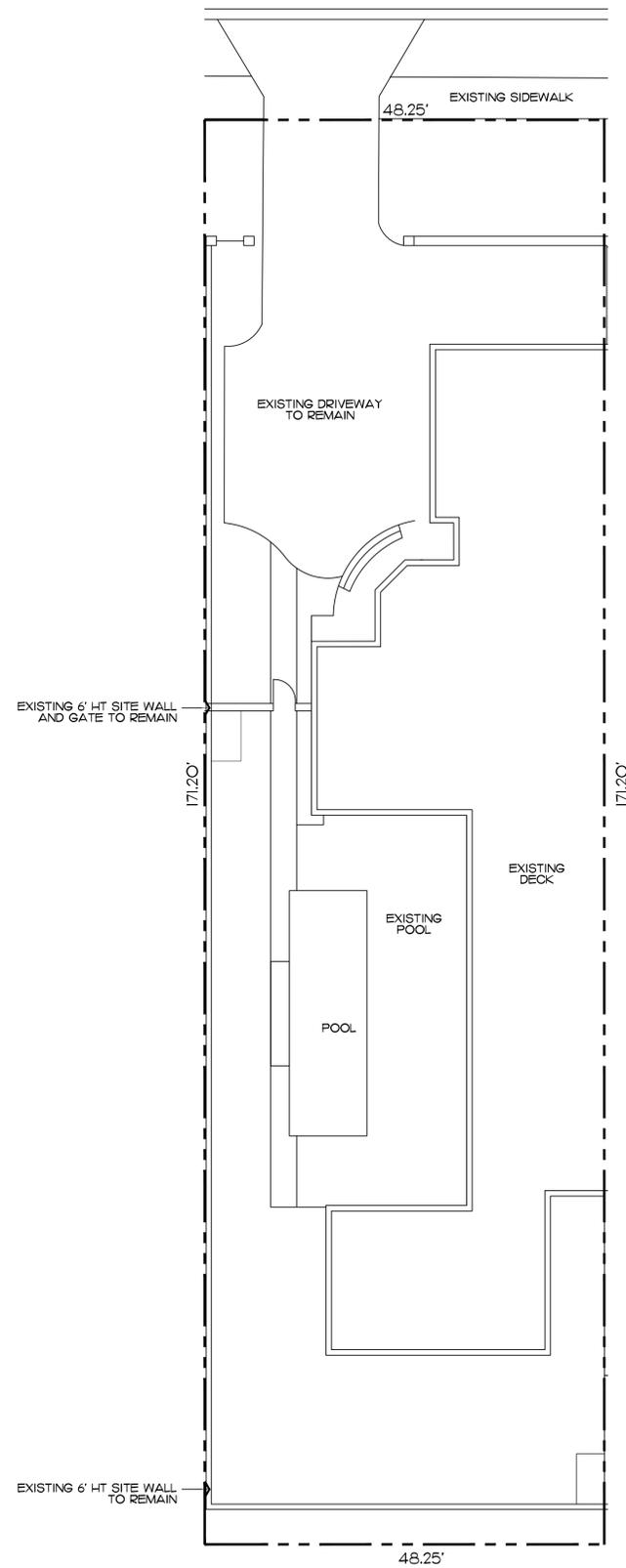
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ARC-24-013  
**Construction Staging & Screening Plan**  
 SCALE IN FEET 0' 10' 20' 30'

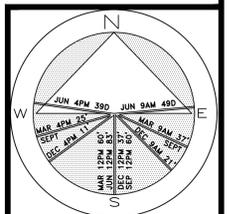
**SHEET L1.3**  
 100 sf.  
 AREA IN SQ.FT.

BRAZILIAN AVENUE



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Private Residence  
 230 Brazilian Ave  
 Town of Palm Beach



JOB NUMBER: # 23134.00 LA  
 DRAWN BY: Allison Padilla  
 Jean Twomey  
 DATE: 11.20.2023

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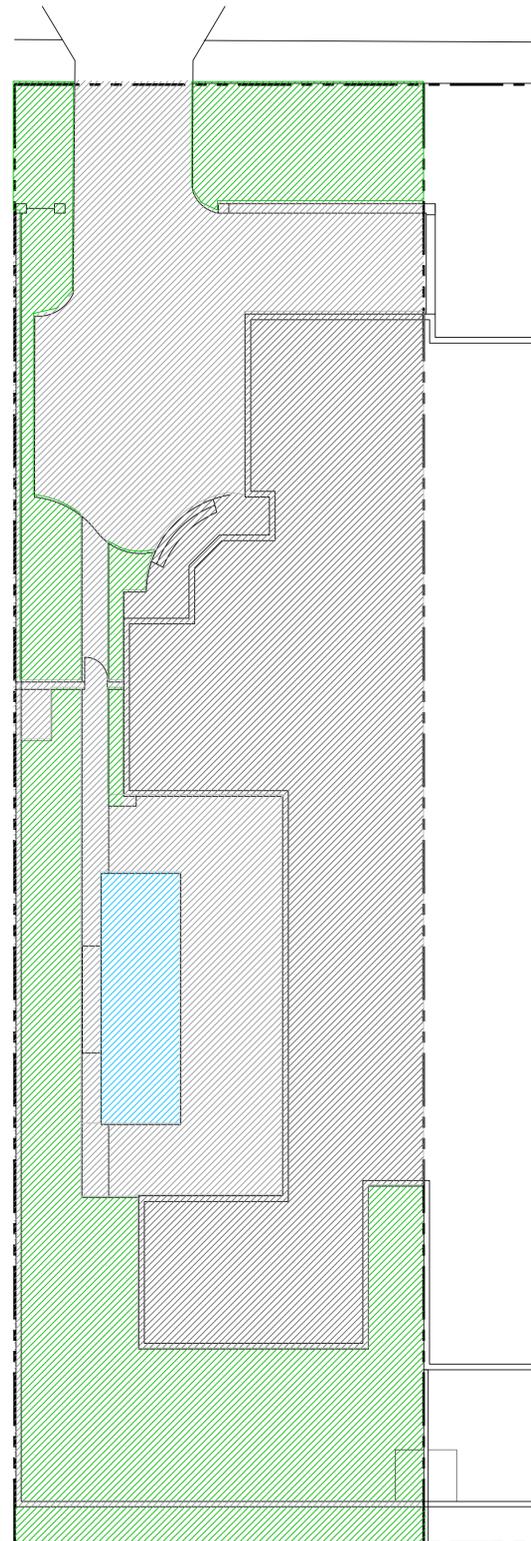
ARC-24-013  
**Site Plan**  
 SCALE IN FEET 0' 10' 20' 30'

SHEET L2.0  
 100 sf.  
 AREA IN SQ.FT.

BRAZILIAN AVENUE

**Legend**

-  IMPERVIOUS AREA (HOUSE/STRUCTURE)
-  IMPERVIOUS AREA (HARDSCAPE)
-  PERVIOUS AREA / OPEN SPACE
-  PERVIOUS AREA / WATER FEATURE



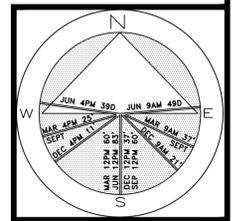
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*Site Requirements* R-C MEDIUM DENSITY -TOWN HOUSE

DESCRIPTION	REQUIRED	EXISTING / PROPOSED
LOT AREA	20,000 S.F. MINIMUM	8,260.4 S.F.
OPEN / PERMEABLE SPACE	MINIMUM 35% 2,891 S.F.	32.1% 2,656 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD 482.5 S.F.	45.2% 545 S.F.

LANDSCAPE OPEN SPACE WILL NOT BE AFFECTED BY PROPOSED LANDSCAPE MODIFICATIONS.

Private Residence  
 230 Brazilian Ave  
 Town of Palm Beach



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*Landscape Open Space Calculations*



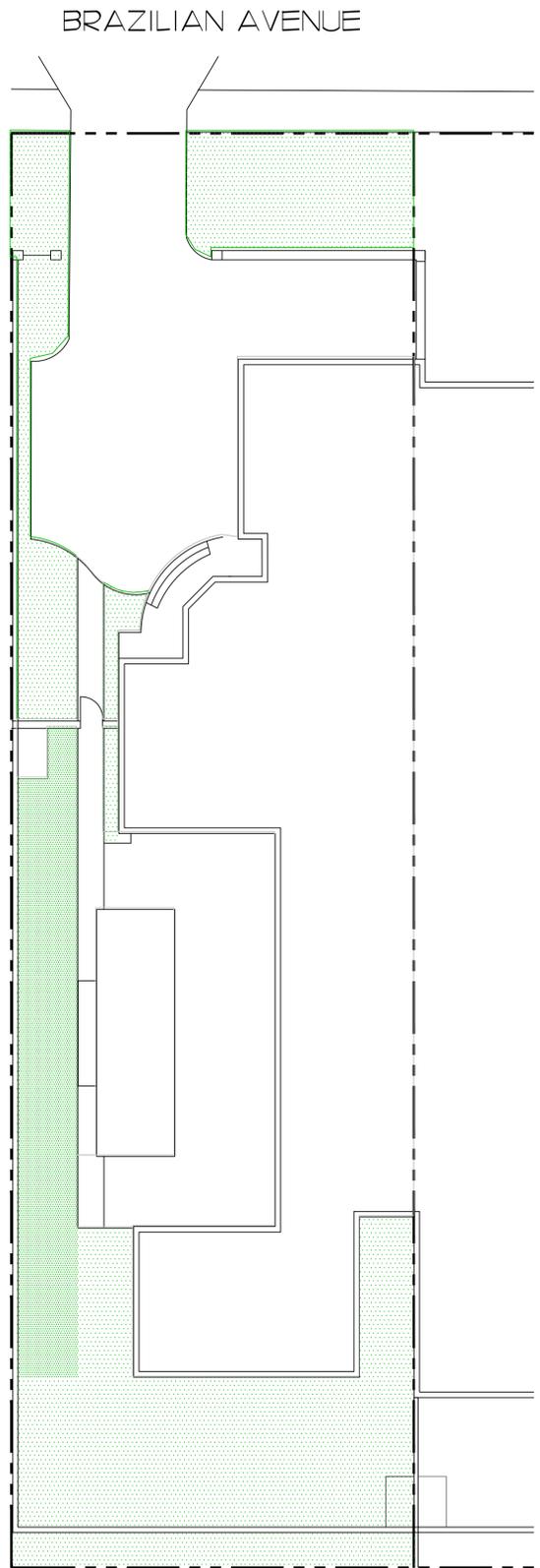
**SHEET L2.1**

64 sf.  
 AREA IN SQ.FT.

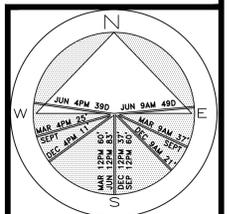
**Landscape Alteration Calculations**

	TOTAL LANDSCAPE OPEN SPACE	2,656 S.F.
	EXISTING SITE LANDSCAPING TO BE ALTERED	533 S.F. (20%)

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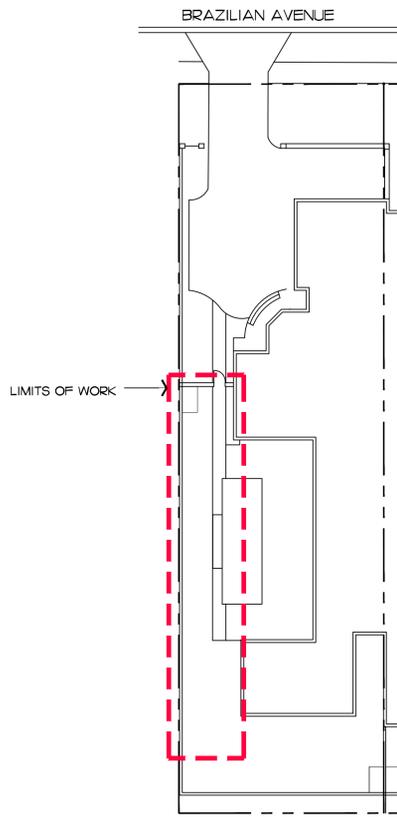
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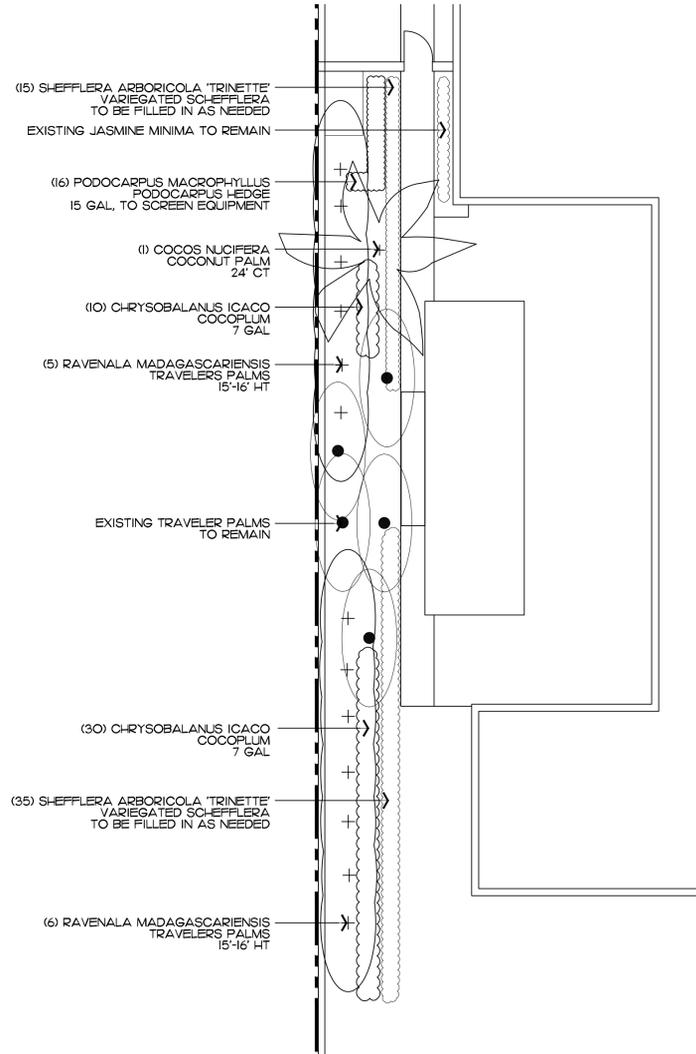
**Landscape Alteration diagram**  
 SCALE IN FEET 0' 10' 20' 30'

**SHEET L2.2**  
 64 sf.  
 AREA IN SQ.FT.



Site Plan  
LIMITS OF WORK  
SCALE 1" = 20'

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## Palms

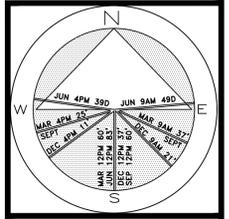
SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	COCOS NUCIFERA COCONUT PALM	I	24' CT	NO
	RAVENALA MADAGASCARIENSIS TRAVELERS PALM	II	15'-16' HT	NO

## Shrub

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	SHEFFLERA ARBORICOLA 'TRINETTE' VARIEGATED SCHEFFLERA	50	3 GAL	NO
	PODOCARPUS MACROPHYLLUS PODOCARPUS HEDGE	16	15 GAL	NO
	CHRYSOBALANUS ICACO COCOPLUM	40	7 GAL	YES
TOTAL TREES:		106		
NATIVE SPECIES:		40 (37.7%)		

**ENVIRONMENTAL DESIGN GROUP**  
139 North County Road 5909-B Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424  
Landscape Architecture  
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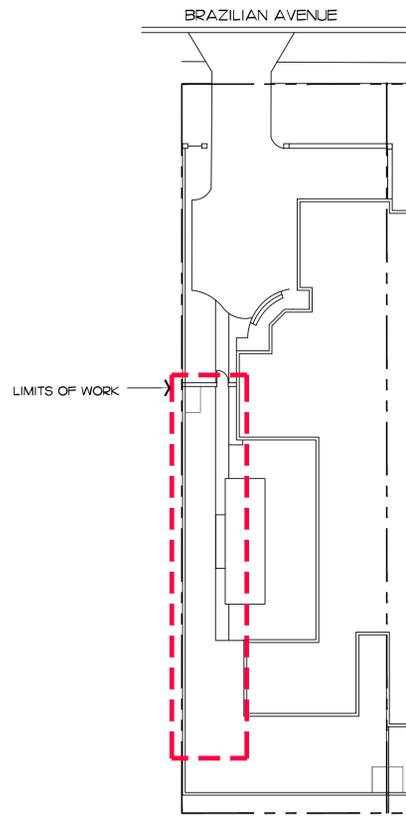
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FLORIDA STATE ONE CALL  
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ARC-24-013  
**Landscape Plan**  
SCALE IN FEET 0' 8' 16' 24'

SHEET L3.0  
64 sf.  
AREA IN SQ.FT.



Site Plan  
LIMITS OF WORK  
SCALE 1" = 20'

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Rendered Plan

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Existing Conditions



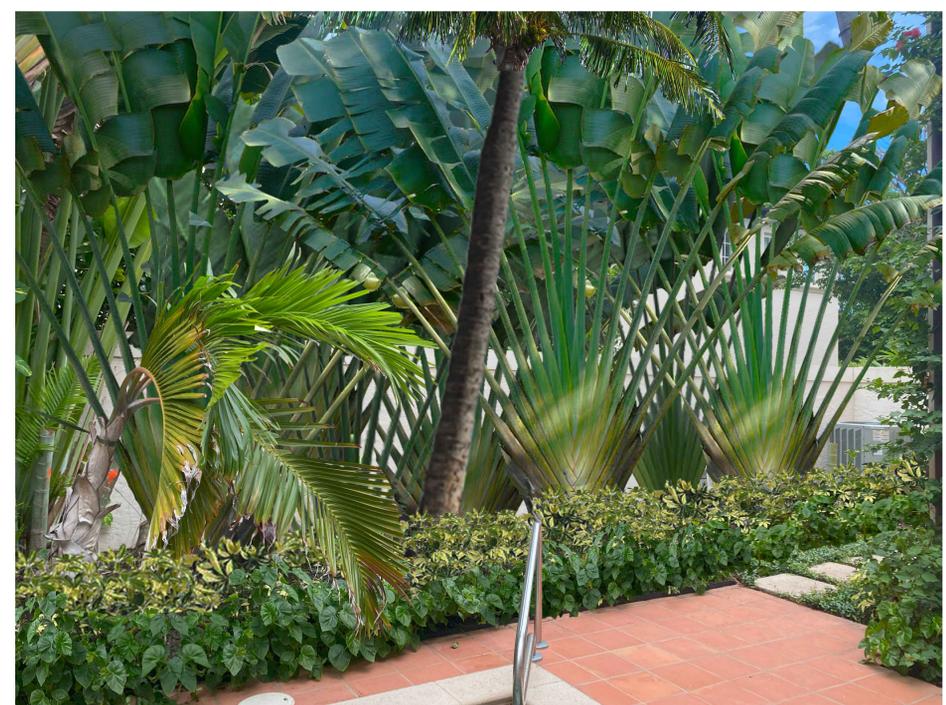
Existing Conditions

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Proposed Improvements



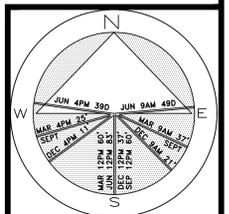
Proposed Improvements

# Landscape Renderings

NOT TO SCALE

**ENVIRONMENT  
DESIGN  
GROUP**  
130 North County Road 5900-8 Palm Beach, FL 33480  
Phone: 561.832.4600 Mobile: 561.313.4424  
Landscape Architecture  
Land Planning  
Landscape Management  
Dustin M. Mizell, M.L.A. P.L.A. #6666784  
Dustin@environmentdesigngroup.com

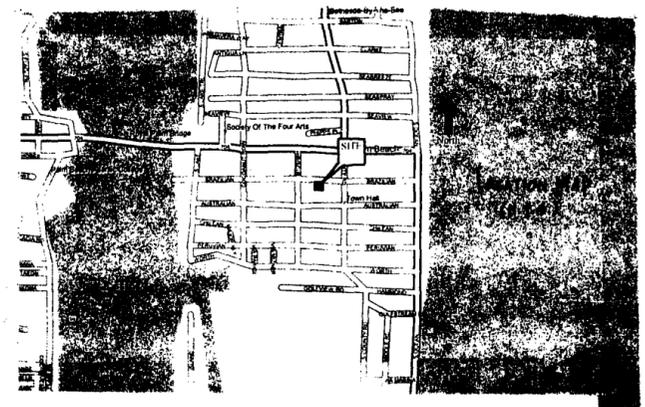
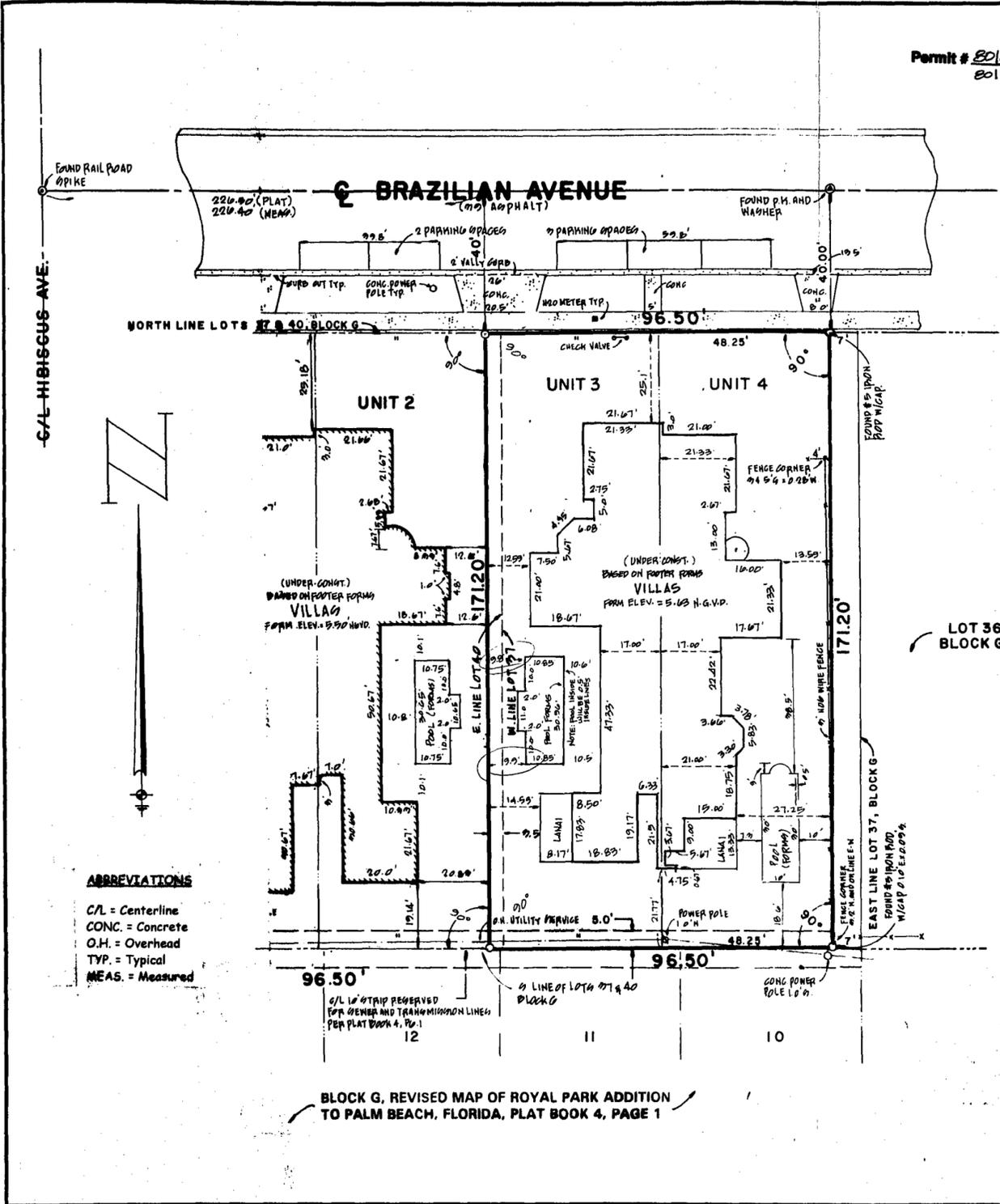
Private Residence  
230 Brazilian Ave  
Town of Palm Beach  
L O C A L I T Y



JOB NUMBER: # 23134.00 LA  
DRAWN BY: Allison Padilla  
DATE: 11.20.2023

SHEET L4.0

Permit # 8018917  
8016632



**LEGAL DESCRIPTION**

**UNIT 3**

THE EAST 3.50 FEET OF LOT 40, BLOCK G AND THE WEST 44.75 FEET OF LOT 37, BLOCK G, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**UNIT 4**

THE EAST 48.25 FEET OF THE WEST 93.00 FEET OF LOT 37, BLOCK G, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 1, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**SUREYOR'S CERTIFICATION**

BOUNDARY SURVEY  
CERTIFIED TO: Brazilian Avenue Villas of Palm Beach

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Minimum Technical Standards as set forth by the Florida Professional Surveyors and Mappers in Chapter 61A, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

NOTE: 1. Not Valid without the signature and the original raised seal of a Florida licensed surveyor and mapper

Donald D. Daniels, Inc. is a State of Florida licensed surveying & mapping business under Certificate No. 124165, effective date: August 1, 1996.

Surveyor's Report of review of provided documents in Schedule B, Title Insurance Policy # A 02 097906 issued by Commonwealth Land Title Insurance Company effective date: August 1, 1996.

1. Restrictions, dedications and easements on plat of Revised Map of Royal Park Addition to Palm Beach, Florida in Plat Book 4, Page 1. "This item does affect subject property and is plotted hereon".

2. Easements contained in Deed Book 59, Page 183, Deed Book 74, Page 81 and Deed Book 48, Page 474. "These items are restrictions and set backs for property, however are only in full force and effect until Jan. 1st 1935, and therefore are not plotted hereon".

3. There are no other recorded restrictions, rights-of-way or easements indicated by this title search.

This Instrument was prepared by:  
REVISED 5-14-97 FROM THE-11 (REVISED)  
REV 7-19-97 FROM THE-11 (REVISED)  
REV 7-1-97 SURVEYORS NOTES

REVIEWED  
APR 13 1998  
DONALD D. DANIELS  
PROFESSIONAL LAND SURVEYOR  
FLORIDA CERTIFICATE NO. 24008

**ABBREVIATIONS**  
C/L = Centerline  
CONC. = Concrete  
O.H. = Overhead  
TYP. = Typical  
MEAS. = Measured

**BLOCK G, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, PLAT BOOK 4, PAGE 1**

REF. 4-1	<b>Donald D. Daniels, Inc.</b>	SCALE 1" = 20'
OFFICE DEP	<b>PROFESSIONAL LAND SURVEYORS</b>	NO. 96-1061
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