

PROJECT TEAM	
ARCHITECT:	McALPINE 1133 BROADWAY, SUITE 1416 NEW YORK, NY 10010 212.414.1272
LANDSCAPE ARCHITECT:	NIEVERA WILLIAMS DESIGN 625 FLAGLER DRIVE SUITE 502 WEST PALM BEACH, FL 33401 561.659.2820
CIVIL ENGINEER:	GRUBER CONSULTING ENGINEERS, INC. 2474 MERCER AVENUE SUITE 305 WEST PALM BEACH, FL 33401 561.312.2041

SCOPE OF WORK
<ul style="list-style-type: none"> - CONSTRUCT NEW TWO-STORY, 5 BEDROOM, 5 FULL BATH, 2 HALF-BATH MAIN HOUSE - NEW HARDSCAPE AND FOUNTAIN - NEW LANDSCAPE AND PLANTINGS - CIVIL - STORM WATER MANAGEMENT PLAN

VARIANCE REQUESTS

FIRST DEFERRAL REVISIONS REQUIRE
NO VARIANCES

A0.0	TITLE SHEET
-----	PROPERTY SURVEY
A0.1	VICINITY LOCATION MAP & LOCATION PLAN
A0.2	NEIGHBORHOOD PLAN AND MASSING
A0.3	NEIGHBORHOOD CONTEXT
A0.4	NEIGHBORHOOD CONTEXT
A0.5	NEIGHBORHOOD CONTEXT
A0.6	NEIGHBORHOOD CONTEXT
A0.7	SIMILAR HOUSES/MIZNER INSPIRATION KEY PLAN
A0.8	SIMILAR HOUSES
A0.9	MIZNER INSPIRATION
A0.10	ZONING DIAGRAMS - LOT COVERAGE
A0.11a	ZONING DIAGRAMS - CCR DIAGRAMS
A0.11b	ZONING DIAGRAMS - CCR DIAGRAMS
A0.12	VARIANCE DIAGRAMS - POOL EQUIPMENT & POOL HEATER
A0.13	VARIANCE DIAGRAMS - CHIMNEY HEIGHT
A0.14	CONSTRUCTION STAGING AND TRUCK LOGISTICS
A1.0A	EXISTING SITE PLAN
A1.0B	PROPOSED SITE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN
A2.1	BUILDING ELEVATIONS
A2.2	BUILDING ELEVATIONS
A2.3	BUILDING ELEVATIONS
A2.4	BUILDING ELEVATIONS
A2.4B	STREETSCAPE ELEVATIONS
A2.5	BUILDING SECTION DIAGRAMS
A2.6	BUILDING SECTION DIAGRAMS
A2.7	YARD SECTION DIAGRAMS
A2.8	YARD SECTION DIAGRAMS
A2.9	---VOID----
A2.10	COLOR RENDERINGS
A2.11	COLOR RENDERINGS
A2.12	COLOR RENDERINGS
A2.13	COLOR RENDERINGS
A2.14	COLOR RENDERINGS
A2.15	COLOR RENDERINGS
A2.16	COLOR RENDERINGS
A2.17	COLOR RENDERINGS
A3.1	ARCHITECTURAL DETAILS
A3.2	ARCHITECTURAL DETAILS
A3.3	GATE, WALL, AND GUARDRAIL DETAILS
EX1	EXISTING CONDITIONS/DEMOLITION PLAN
EX2	EXISTING CONDITIONS LANDSCAPE SCHEDULE
EX3	EXISTING SITE PHOTOS
CSP	CONSTRUCTION SCREENING PLAN
SITE	OVERALL SITE PLAN - RENDERED
SITE	OVERALL SITE PLAN - LINWORK
OS1	OPEN SPACE DIAGRAM - OVERALL
OS2	OPEN SPACE DIAGRAM-SETBACK
OS3	OPEN SPACE DIAGRAM-PERIMETER SETBACK
L1	HARDSCAPE PLAN
LP1	LANDSCAPE PLANS
LP2	PLANT LIST AND DETAILS
EL1	NORTH ELEVATION (FRONT)
EL2	EAST ELEVATION (RIGHT)
EL3	WEST ELEVATION (LEFT)
EL4	SOUTH ELEVATION (REAR)
C-1	CONCEPTUAL SITE GRADING & DRAINAGE PLAN
EC-1	CONCEPTUAL CONSTRUCTION STAGING & PARKING AND EROSION PLAN

a proposed new home for

1186 N. Ocean Way

Palm Beach, FL 33480

ARCOM #: 23-123
ZON-23-105

- ARCOM PRESENTATION - PRE-APP SUBMITTAL - 06/30/2023
- ARCOM PRESENTATION - FIRST SUBMITTAL - 08/10/2023
- ARCOM PRESENTATION - SECOND SUBMITTAL - 09/25/2023
- ARCOM PRESENTATION - FINAL DROP-OFF - 10/12/2023
- ARCOM PRESENTATION - 11/20/2023
- ARCOM PRESENTATION - FIRST DEFERRAL - 12/15/2023



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ZON 23-105

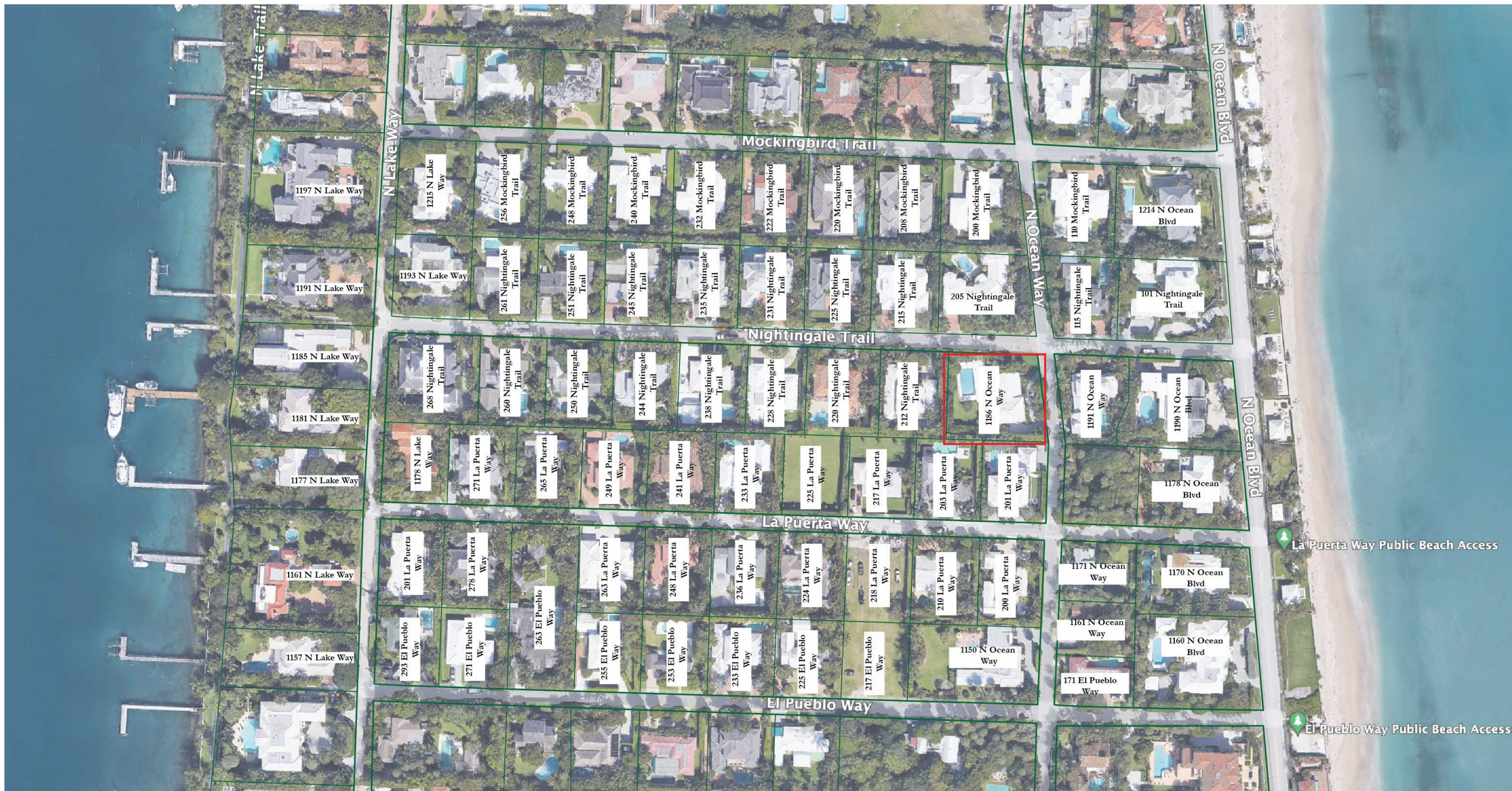
PROJECT
PRE-APP 06/30/2023
FIRST 08/10/2023
SECOND 09/25/2023
FINAL 10/12/2023
FIRST DEFERRAL 12/15/2023
COVER SHEET

TITLE
A0.0
SHEET No



→ SUBJECT PROPERTY
LOCATION

vicinity location map
N.T.S.



location plan
N.T.S.



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ARC 23-123

PRE-APP 06/30/2023

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FINAL 10/12/2023

VICINITY LOCATION MAP
& LOCATION PLAN

TITLE

A0.1

SHEET NO



200 Mockingbird Trail



110 Mockingbird Trail



1193 N Lake Way



220 Nightingale Trail



251 Nightingale Trail



245 Nightingale Trail



235 Nightingale Trail



231 Nightingale Trail



225 Nightingale Trail



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FINAL 10/12/2023

NEIGHBORHOOD
CONTEXT

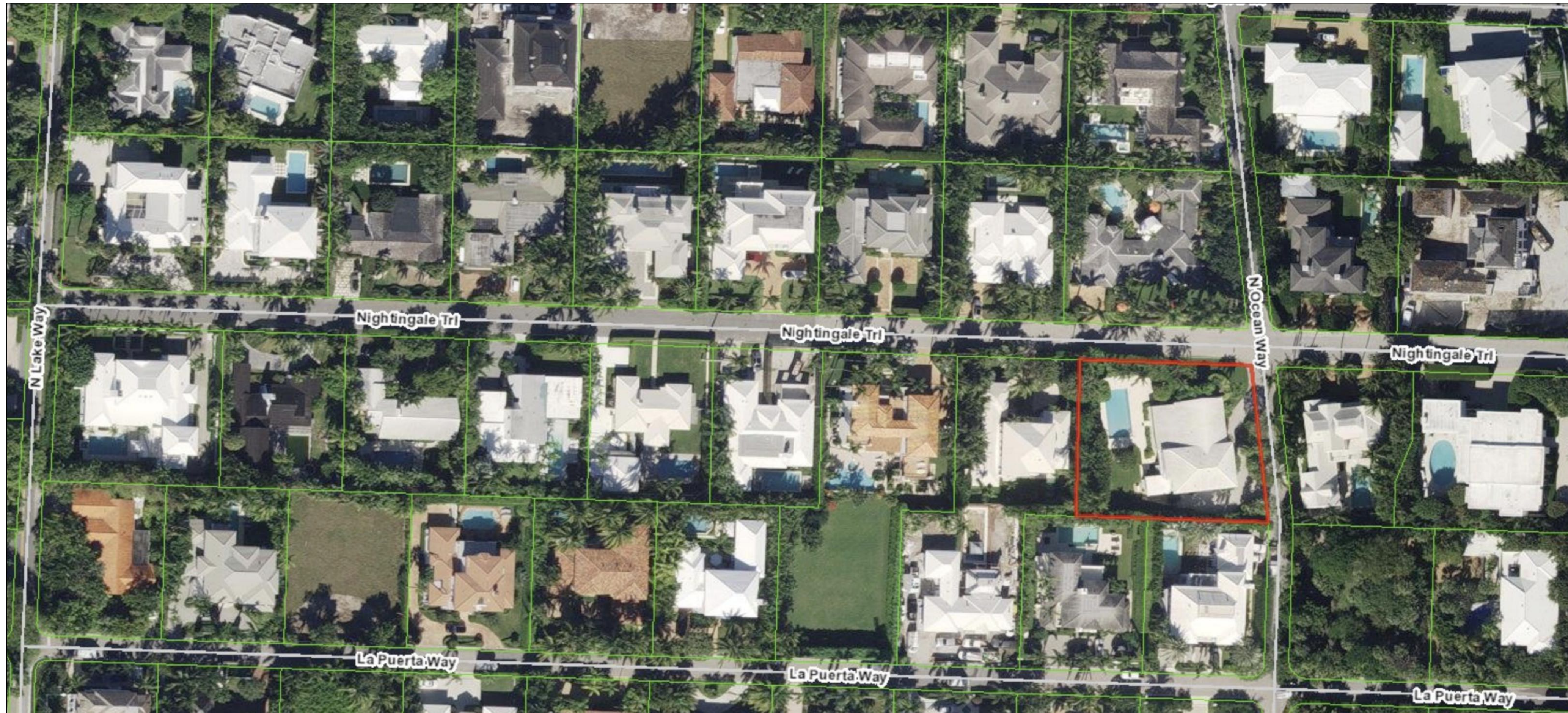
A0.2

PROJECT

DATE

TITLE

SHEET No



neighborhood plan photo
1" = 60'-0"

1



neighborhood plan massing diagram
1" = 60'-0"

1



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for

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ARC 23-123
ZON 23-105

PRE-APP 06/30/2023

FIRST 08/10/2023

SECOND 09/25/2023

FINAL 10/12/2023

FIRST DEFERRAL
12/15/2023

NEIGHBORHOOD
PLAN

A0.2



215 Nightingale Trail



205 Nightingale Trail



115 Nightingale Trail



101 Nightingale Trail



268 Nightingale Trail



260 Nightingale Trail



250 Nightingale Trail



244 Nightingale Trail



238 Nightingale Trail



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for*

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ARC 23-123

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SECOND 09/25/2023

FINAL 10/12/2023

NEIGHBORHOOD
CONTEXT

A0.3

PROJECT

DATE

TITLE

SHEET No



228 Nightingale Trail



220 Nightingale Trail



212 Nightingale Trail



*1186 N Ocean Way



1191 N Ocean Way



1190 N Ocean Blvd



1178 N Lake Way



271 La Puerta Way



265 La Puerta Way



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FINAL 10/12/2023

NEIGHBORHOOD
CONTEXT

A0.4

PROJECT

DATE

TITLE

SHEET No



249 La Puerta Way



241 La Puerta Way



233 La Puerta Way



225 La Puerta Way



217 La Puerta Way



203 La Puerta Way



201 La Puerta Way



1178 N Ocean Blvd



200 La Puerta Way



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 PROJECT
 ARC 23-123

DATE
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FIRST 08/10/2023
SECOND 09/25/2023
FINAL 10/12/2023

NEIGHBORHOOD CONTEXT
 TITLE

A0.5
 SHEET No



1171 N Ocean Way



1161 N Ocean Blvd



171 El Pueblo Way



1150 N Ocean Way



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FINAL 10/12/2023	

NEIGHBORHOOD
 CONTEXT

A0.6

PROJECT

TITLE

SHEET No



268 Nightingale Trail



1021 N Ocean Blvd



235 Sunrise Ave



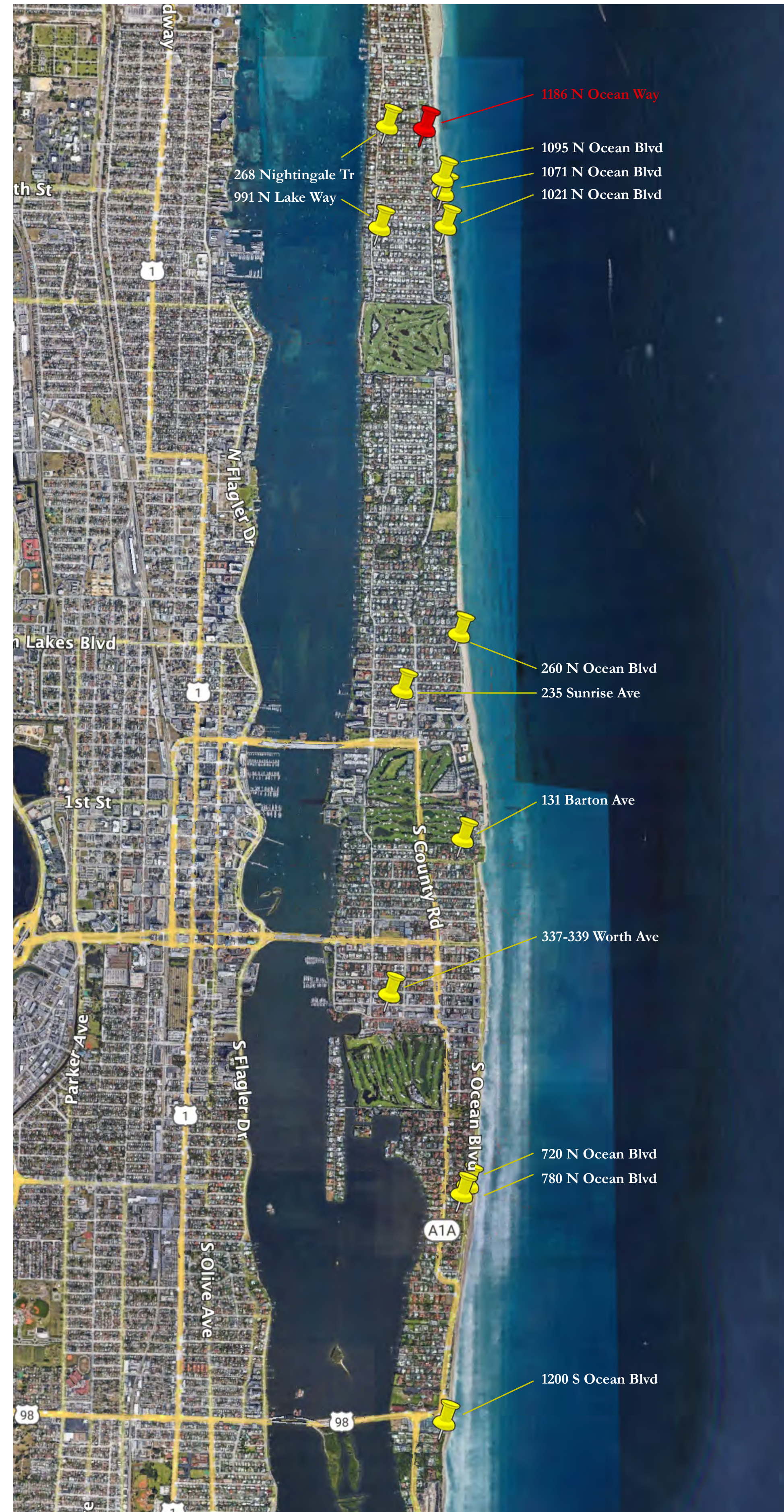
1071 N Ocean Blvd



131 Barton Ave



991 N Lake Way



inspiration location key plan
N.T.S.

neighborhood inspiration

examples of homes of a similar style, materiality and ornamentation, and/or formal expression



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FINAL 10/12/2023

SIMILAR HOUSES & MIZNER INSPIRATION
KEY PLAN

A0.7



260 N Ocean Blvd
Villa Flora



1095 N Ocean Blvd
La Guerida



780 S Ocean Blvd
Casa Nana



neighborhood inspiration

examples of Addison Mizner homes that effectively combine different historical architectural styles with decorative arts



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MIZNER INSPIRATION

TITLE

A0.8

PROJECT

DATE

TITLE

SHEET NO



720 S Ocean Blvd
El Solano



337-339 Worth Ave
Villa Mizner



1200 S Ocean Blvd
Louwana



neighborhood inspiration

examples of Addison Mizner homes that effectively combine different historical architectural styles with decorative arts



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MIZNER INSPIRATION

A0.9

PROJECT

DATE

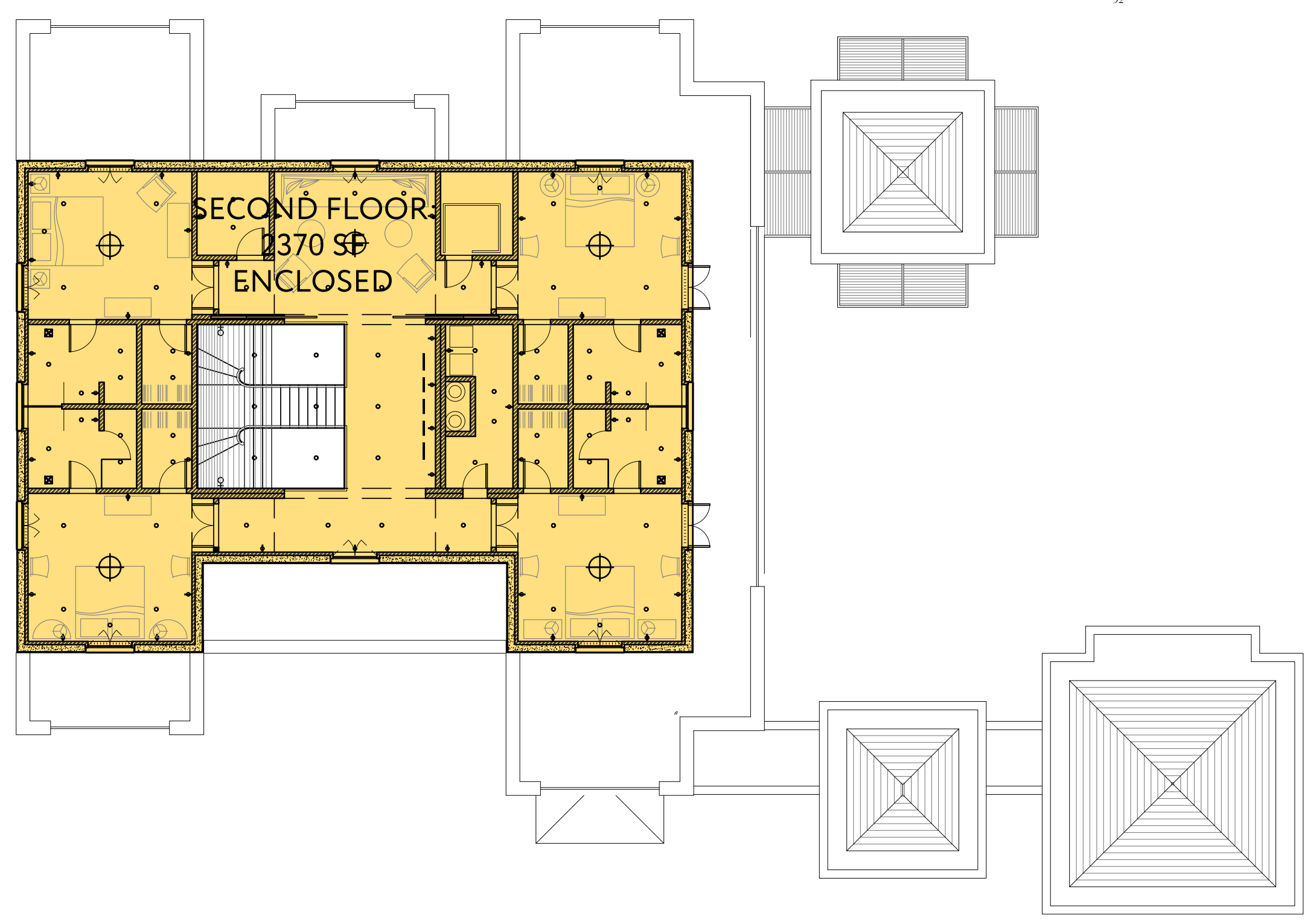
TITLE

SHEET No



first floor lot coverage / enclosed area and angle of vision

1
A0.10



second floor enclosed area

2
A0.10

Lot Coverage Calculations:

Allowable Coverage:	30%
Lot Area:	18,754 sf
Allowable Area:	(18,742 sf) (.3) = 5626 sf

Main House Coverage:	5106 sf
Awning:	211 sf
Covered Cabana:	286 sf
Total Coverage:	5106 + 211 + 286 = 5603 sf

Enclosed Area:

First Floor Enclosed Area:	5106 sf
Second Floor Enclosed Area:	2370 sf
Total Enclosed Area:	5106 sf + 2370 sf = 7476 sf



Town of Palm Beach
 Planning Zoning and Building
 360 S County Rd
 Palm Beach, FL 33480
 www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	1186 N. Ocean Way		
2	Zoning District:	R-B		
3	Lot Area (sq. ft.):	18,754		
4	Lot Width (W) & Depth (D) (ft.):	139' W x 127.92' D		
5	Structure Type: <small>(Single-Family, Multi-Family, Comm., Other)</small>	SINGLE FAMILY		
6	FEMA Flood Zone Designation:	AE		
7	Zero Datum for point of meas. (NAVD)	+ 7.00 (AE6 + 1' FREEBOARD)		
8	Crown of Road (COR) (NAVD)	+ 5.49		
9		REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	5626 SF (30%)	N/A	5603 SF (29.9%)
11	Enclosed Square Footage <small>(1st & 2nd Fl., Basement, Accs. Structure, etc)</small>	N/A	N/A	7476 SF
12	*Front Yard Setback (Ft.)	25 FT / 30 FT N	N/A	34'-6" / 47'-5" N
13	* Side Yard Setback (1st Story) (Ft.)	12.5 FT W / 18 FT E	N/A	NA / 18'-9.5" E
14	* Side Yard Setback (2nd Story) (Ft.)	15 FT W / 30 FT E	N/A	15 FT W / 67'-11" E
15	*Rear Yard Setback (Ft.)	10 FT S	N/A	10 FT S
16	Angle of Vision (Deg.)	104 DEG.	N/A	100 DEG.
17	Building Height (Ft.)	22 FT	N/A	20'-11.25"
18	Overall Building Height (Ft.)	30 FT	N/A	28'-4.75"
19	Cubic Content Ratio (CCR) (R-B ONLY)	73508 CF / 3.91	N/A	73,194 CF/3.89
20	** Max. Fill Added to Site (Ft.)	7 - 5.49 = 1.51/2 = 0.76	N/A	0.76
21	Finished Floor Elev. (FFE)(NAVD)	+7.00 FT	N/A	+7.00 FT
22	Base Flood Elevation (BFE)(NAVD)	+ 6.00 FT	N/A	+6.00 FT
23	Landscape Open Space (LOS) (Sq Ft and %)	8,440 SF / 45%	N/A	8693 SF / 46.3%
24	Perimeter LOS (Sq Ft and %)	2523 SF / 50%	N/A	4029 SF / 79 %
25	Front Yard LOS (Sq Ft and %)	1408 SF / 40%	N/A	2167 SF / 63.8%
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.		

* Indicate each yard area with cardinal direction (N, S, E, W)
 ** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill [Sec. 134-1600]
 *** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

REV BF 20230626



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a proposed new house for
 1186 N. OCEAN WAY
 PALM BEACH, FL 33480

ARC 23-123
 ZON 23-105

PROJECT

PRE-APP 06/30/2023

FIRST 08/10/2023

SECOND 09/25/2023

FINAL 10/12/2023

FIRST DEFERRAL 12/15/2023

ZONING DIAGRAMS - LOT COVERAGE

TITLE

A0.10
 SHEET NO.

CCR CALCULATIONS

MAX CCR + VOLUME ALLOWED: $60,000 - 18,800 \text{ sf lot} = 41,300/50,000 = (.82)(.5) = .41$
 $+3.5 = 3.91 \text{ CCR}$

$(3.91)(18,800 \text{ sf}) = 73,508 \text{ cubic feet}$

5% LOGGIA CREDIT:

$(73,508)(.05) = 3,675 \text{ cubic feet}$

ENCLOSED AREA

-MAIN HOUSE FIRST FLOOR EXTERIOR WALL HEIGHT = 10'-0"
 -MAIN HOUSE FIRST FLOOR AREA = 4072 sf
 -MAIN HOUSE FIRST FLOOR VOLUME = $(4072 \text{ sf})(10 \text{ ft}) = 40,720 \text{ cubic feet}$

-CONNECTOR EXTERIOR WALL HEIGHT = 8'-0"
 -CONNECTOR AREA = 316 sf
 -CONNECTOR VOLUME = $(316 \text{ sf})(8 \text{ ft}) = 2,528 \text{ cubic feet}$

-GARAGE EXTERIOR WALL HEIGHT = 9'-0" (10' - 1'-0" BELOW FFE)
 -GARAGE AREA = 624 sf
 -GARAGE VOLUME = $(624 \text{ sf})(9 \text{ ft}) = 5,616 \text{ cubic feet}$

-PLENUM HEIGHT = 1' - 11 1/2"
 -FLOOR AREA = 2544 sf
 -PLENUM VOLUME = $(2544 \text{ sf})(1.875 \text{ ft}) = 4,770 \text{ cubic feet}$

-MAIN HOUSE SECOND FLOOR EXTERIOR WALL HEIGHT @ PRIMARY ROOF SLOPE = 6'-0"
 -MAIN HOUSE SECOND FLOOR AREA = 1196 sf
 MAIN HOUSE SECOND FLOOR VOLUME = $(1196 \text{ sf})(6 \text{ ft}) = 7,176 \text{ cubic feet}$

MAIN HOUSE DORMER EXTERIOR WALL HEIGHT = 9'-0"

MAIN HOUSE DORMER FLOOR AREA = 1376 sf
 MAIN HOUSE DORMER VOLUME = $(1376 \text{ sf})(9 \text{ ft}) = 12,384 \text{ cubic feet}$

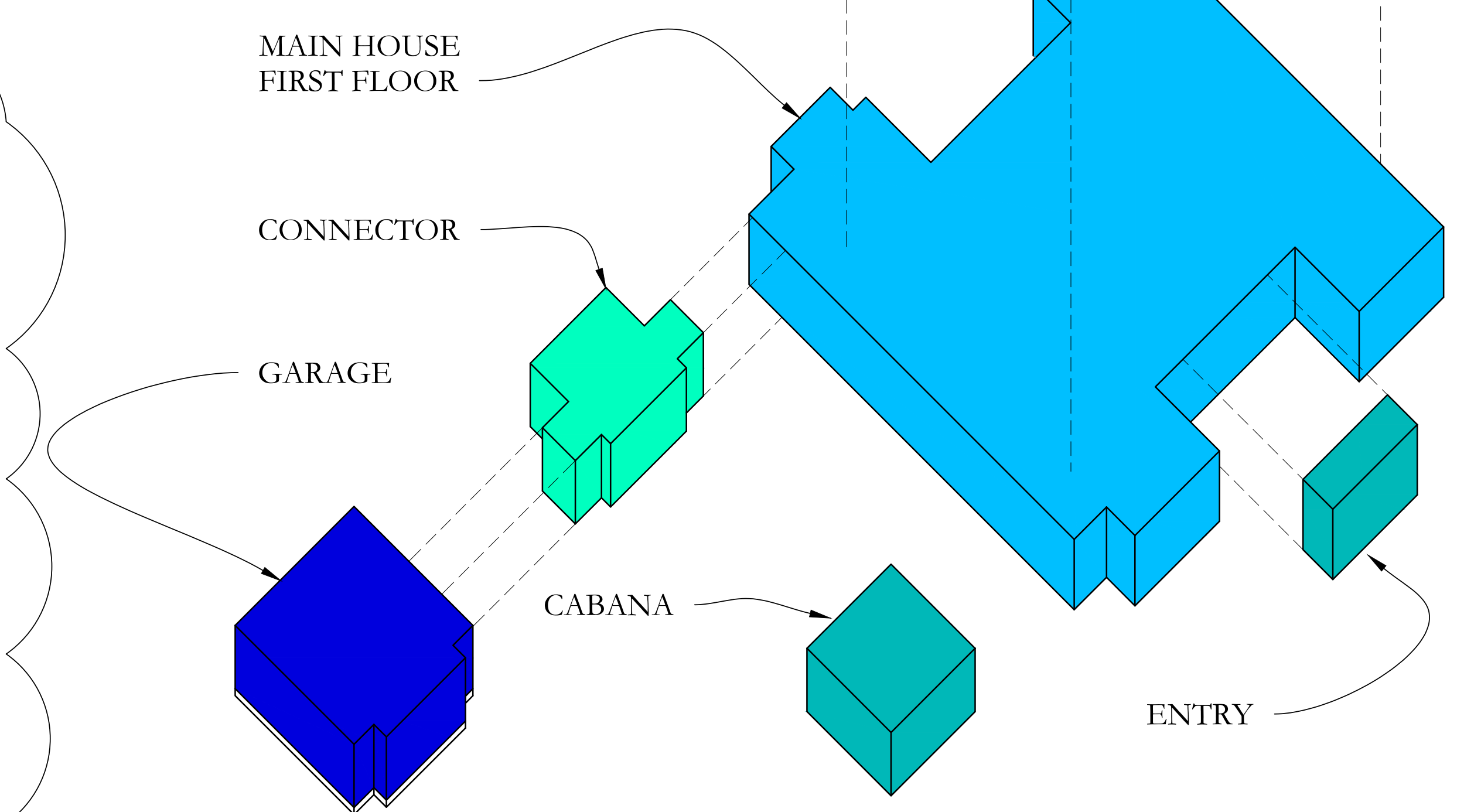
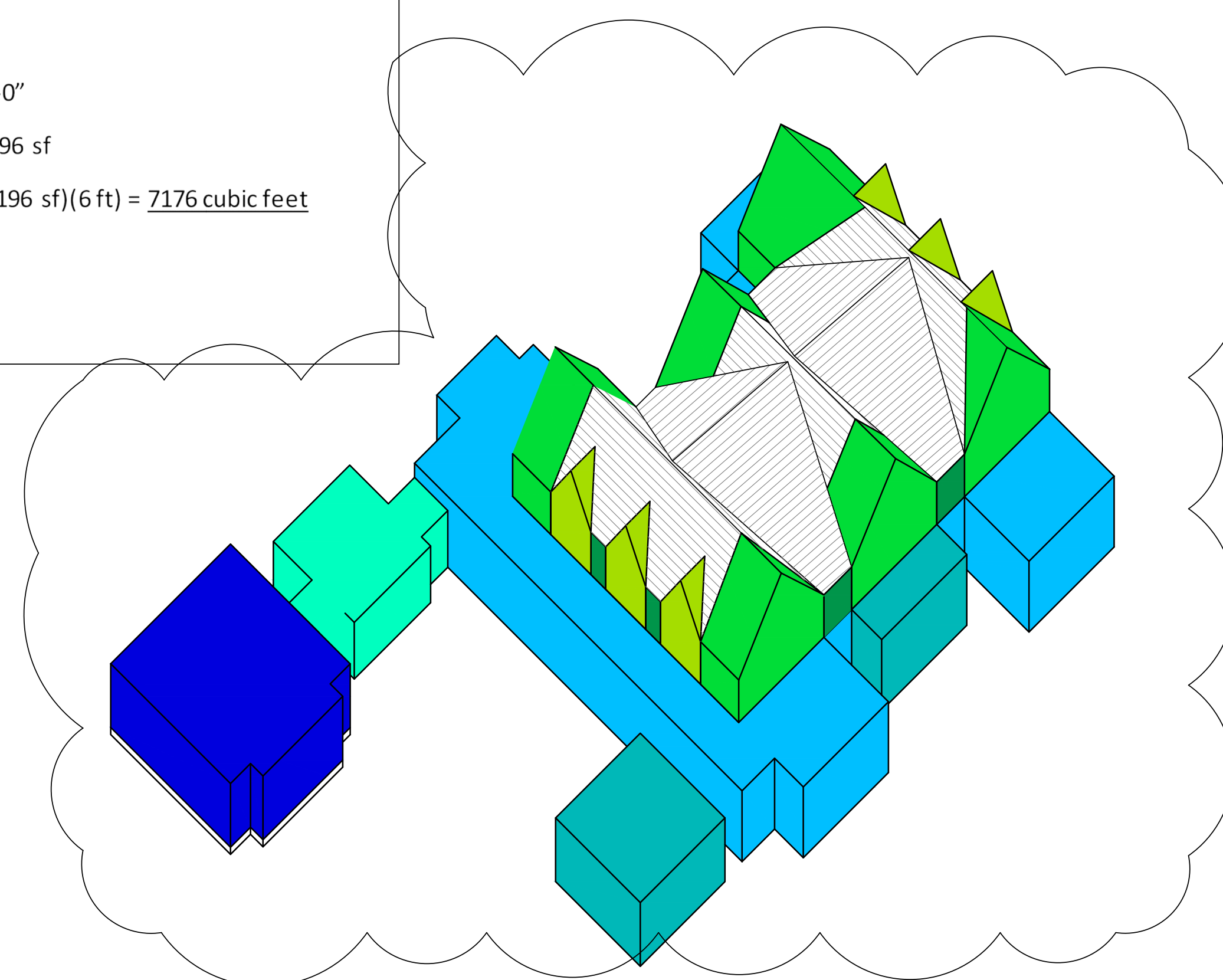
UNENCLOSED AREA

ENTRY EXTERIOR WALL HEIGHT = 10'-0"
 ENTRY AREA = 102 sf
 ENTRY VOLUME = $(102 \text{ sf})(10 \text{ ft}) = 1,020 \text{ cubic feet}$

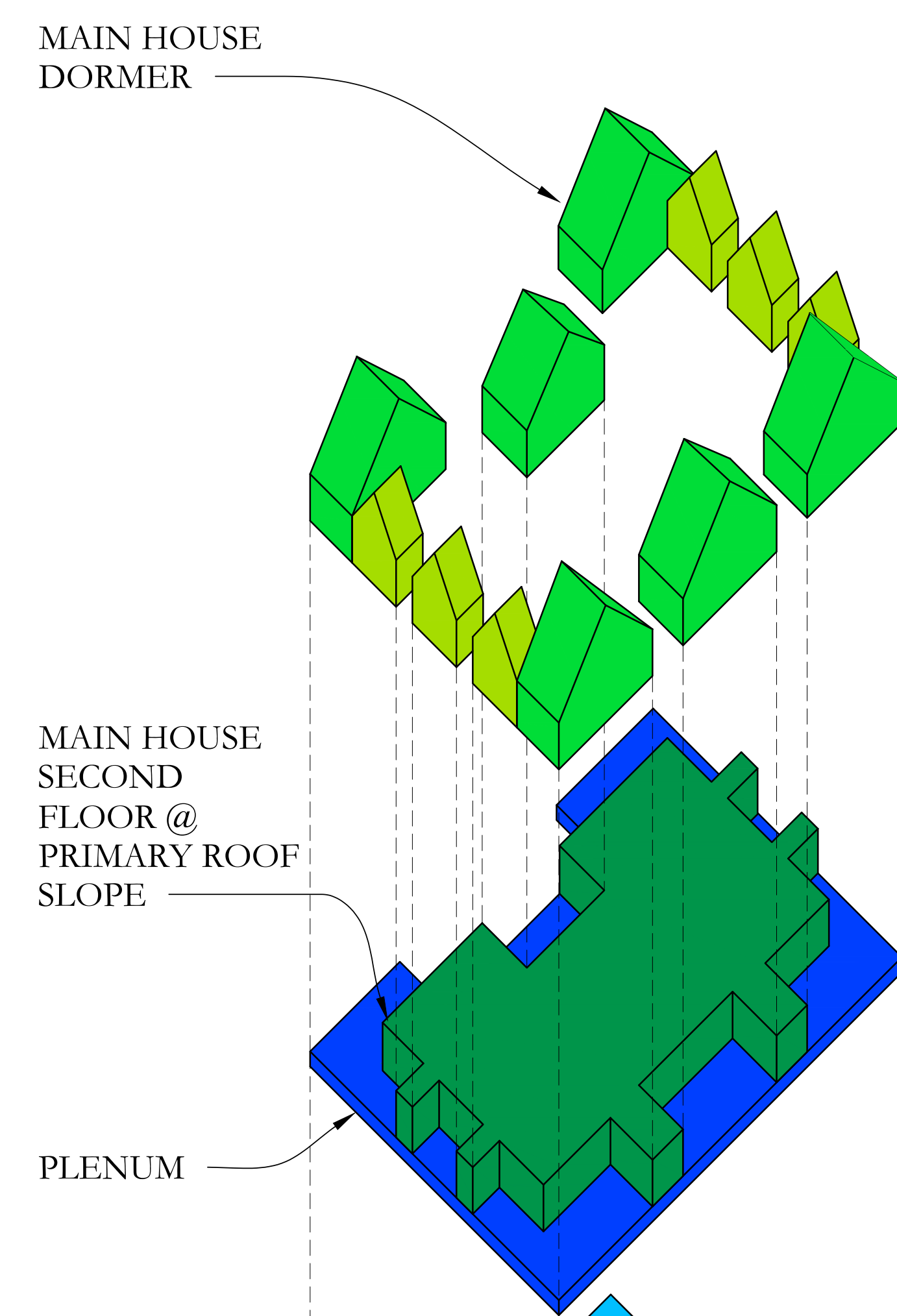
CABANA EXTERIOR WALL HEIGHT = 9'-0"
 CABANA AREA = 286 sf
 CABANA VOLUME = $(286 \text{ sf})(9 \text{ ft}) = 2,574 \text{ cubic feet}$

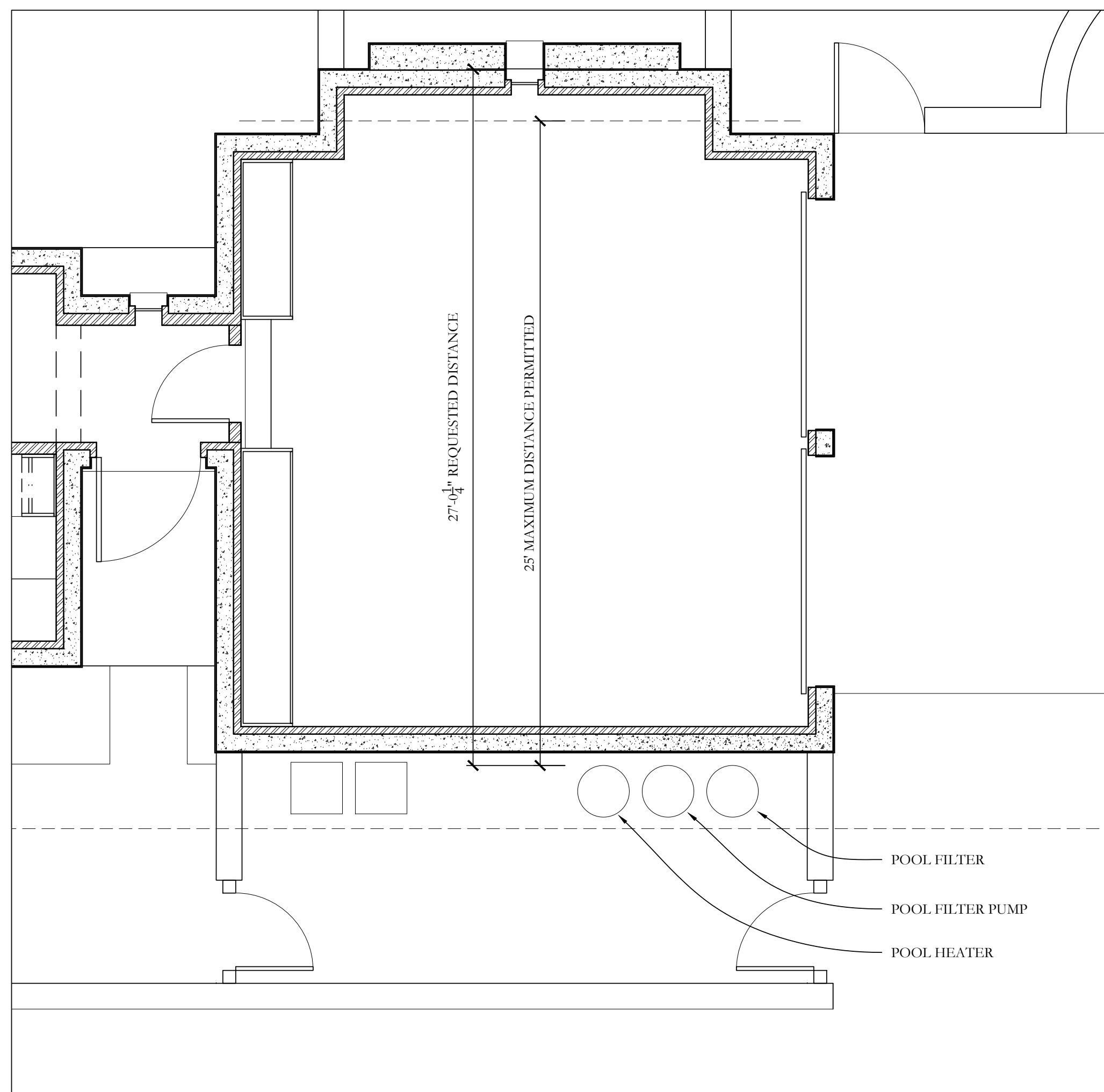
TOTALS

ENCLOSED VOLUME = 73,194 cubic feet
 UNENCLOSED VOLUME = 3,594 cubic feet
 73,194 interior volume proposed + 3,594 unenclosed volume proposed = 76,788 total proposed
 76,788 total volume - 3,594 unenclosed credit = 73,194 total proposed volume
 73,194 cubic feet proposed < 73,508 cubic feet allowed
 CCR = $73,194/18,800 = 3.89$



ROOF OMITTED FOR CLARITY

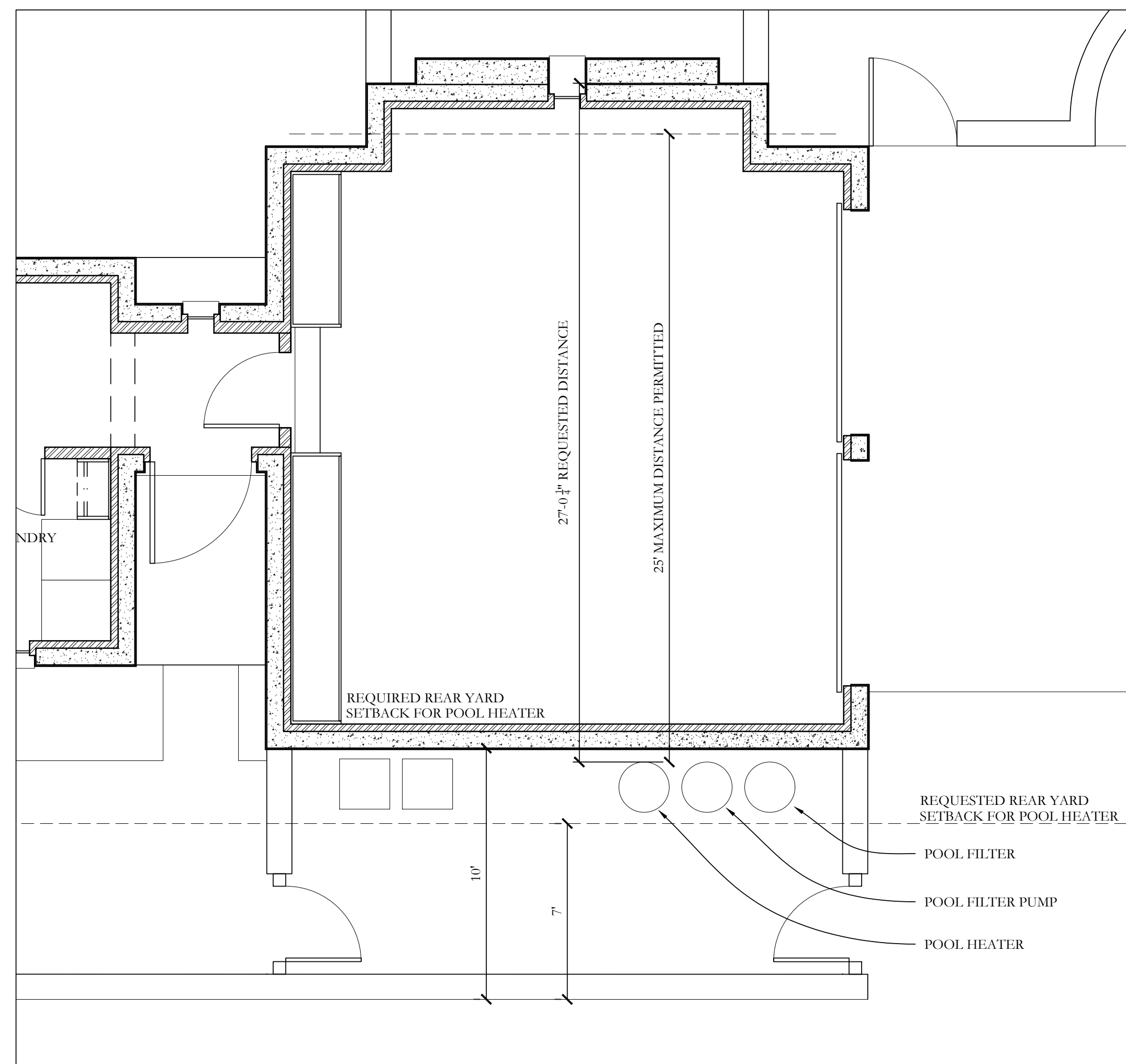




variance 1 diagram

1/4" = 1'-0"

1
A0.12

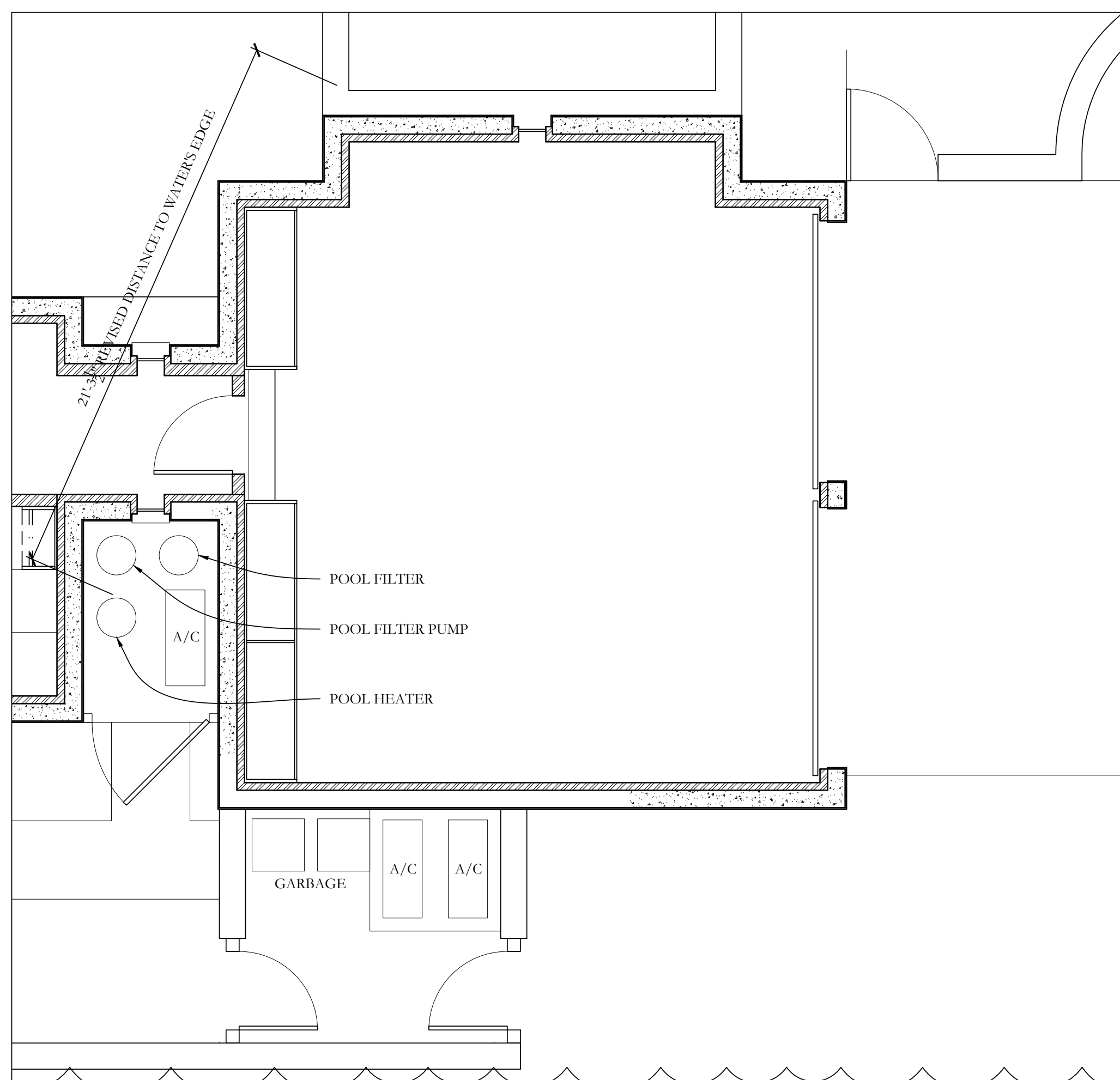


variance 2 diagram

1/4" = 1'-0"

2
A0.12

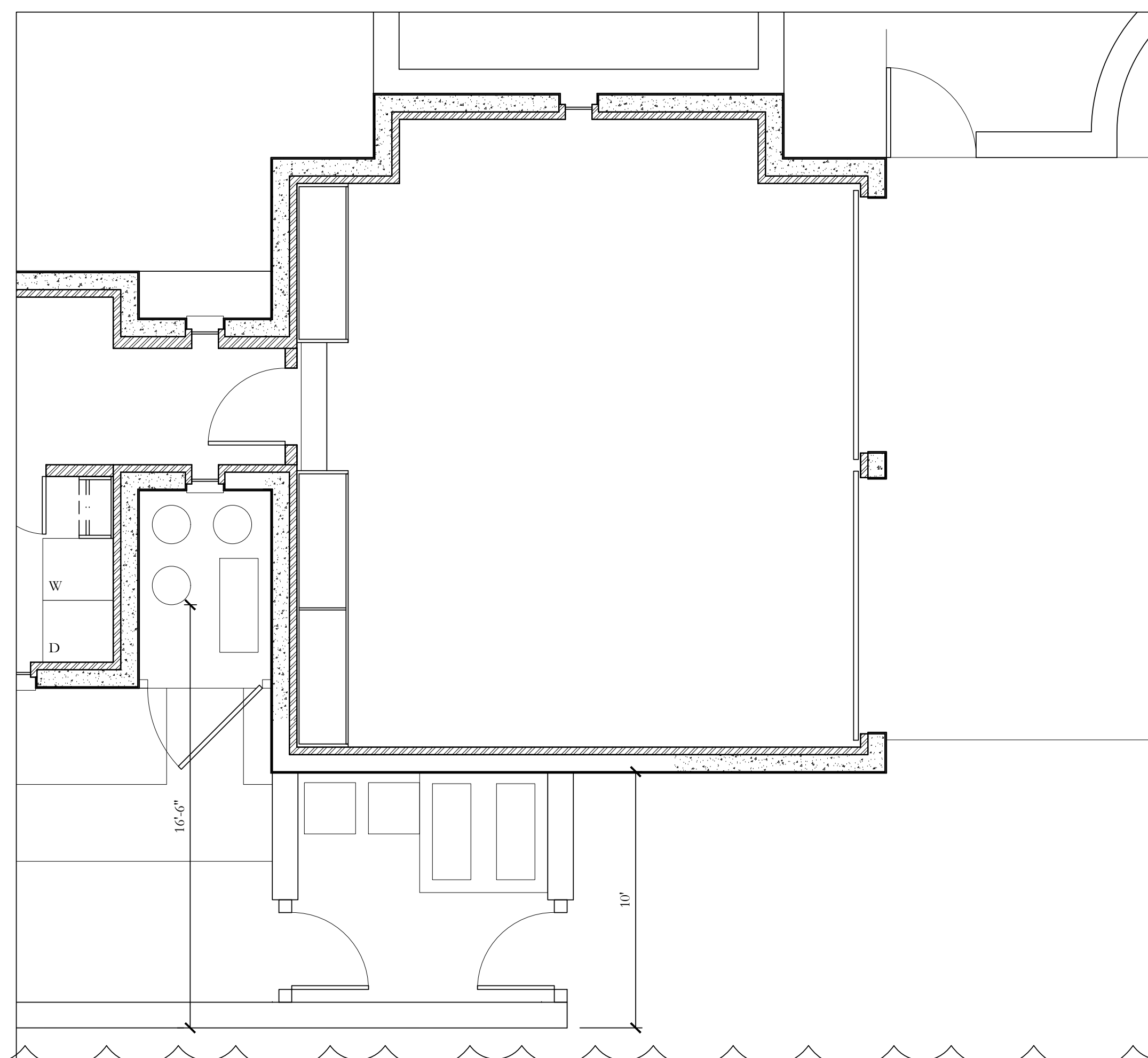
- VARIANCE 1: SEC. 134-1728(c)(1) A VARIANCE TO ALLOW A SWIMMING POOL PUMP AND FILTER WITHIN THE REAR YARD SETBACK AT A DISTANCE OF 27'-1/4" FROM THE POOL WATER'S EDGE IN LIEU OF THE 25' MAXIMUM PERMITTED.
- VARIANCE 2: SEC. 134-1728(c)(2) A VARIANCE TO ALLOW A POOL HEATER WITH A REAR YARD SETBACK OF 7' IN LIEU OF THE 10' REQUIRED AND AT A DISTANCE OF 27'-1/4" FROM THE POOL WATER'S EDGE IN LIEU OF THE 25' MAXIMUM PERMITTED.
- VARIANCE 3: SEC. 134-896(a) A VARIANCE TO CONSTRUCT A CHIMNEY AT A HEIGHT OF 32.79' IN LIEU OF THE 30.8' MAXIMUM HEIGHT PERMITTED.



revised pool heater/pool equipment distances to water's edge

1/4" = 1'-0"

3
A0.12



revised pool heater/pool equipment location

1/4" = 1'-0"

4
A0.12

REVISED PLAN REQUIRES NO VARIANCES



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a proposal was based
for

1186 N. OCEAN WAY
PALM BEACH, FL 33480

ARC 23-123
ZON 23-105

PROJECT

PRE-APP 06/30/2023

FIRST 08/10/2023

SECOND 09/25/2023

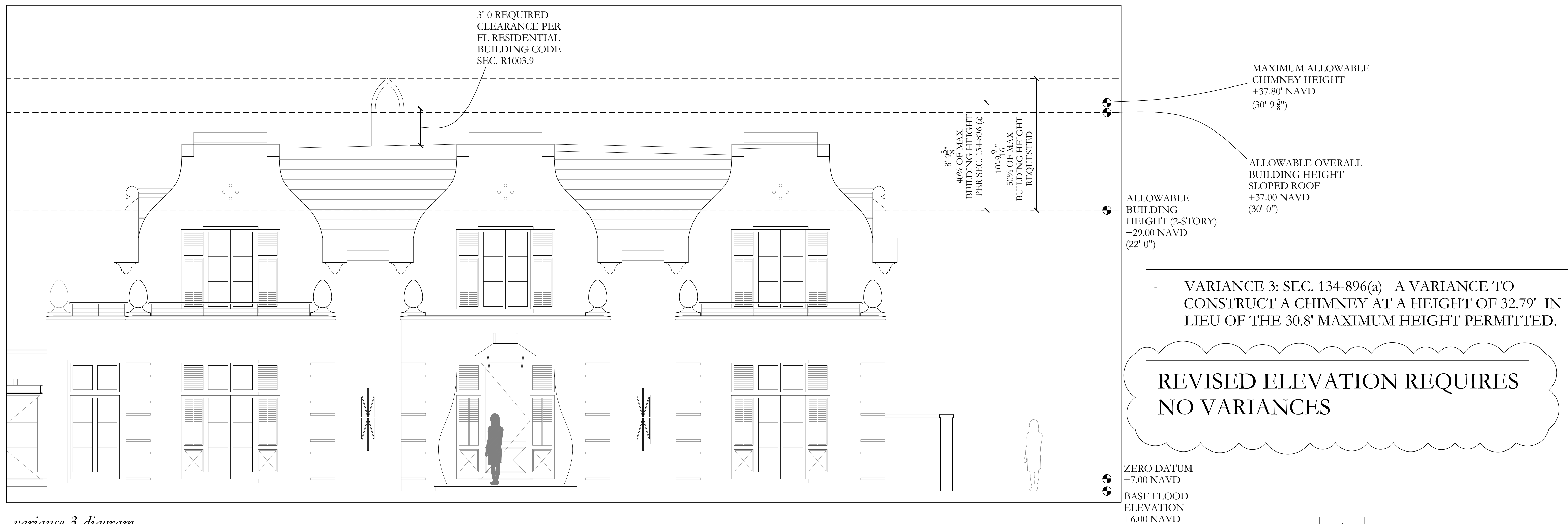
FINAL 10/12/2023

FIRST DEFERRAL
12/15/2023

VARIANCE DIAGRAMS -
POOL EQUIPMENT AND
POOL HEATER

TITLE

A0.12
SHEET No



variance 3 diagram

1/4" = 1'-0"

1
A0.13



variance 3 diagram

1/4" = 1'-0"

2
A0.13

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NEW YORK ATLANTA NASHVILLE MONTGOMERY

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PROJECT

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FINAL 10/12/2023
FIRST DEFERRAL 12/15/2023
VARIANCE DIAGRAMS - CHIMNEY HEIGHT

TITLE

A0.13
SHEET NO.



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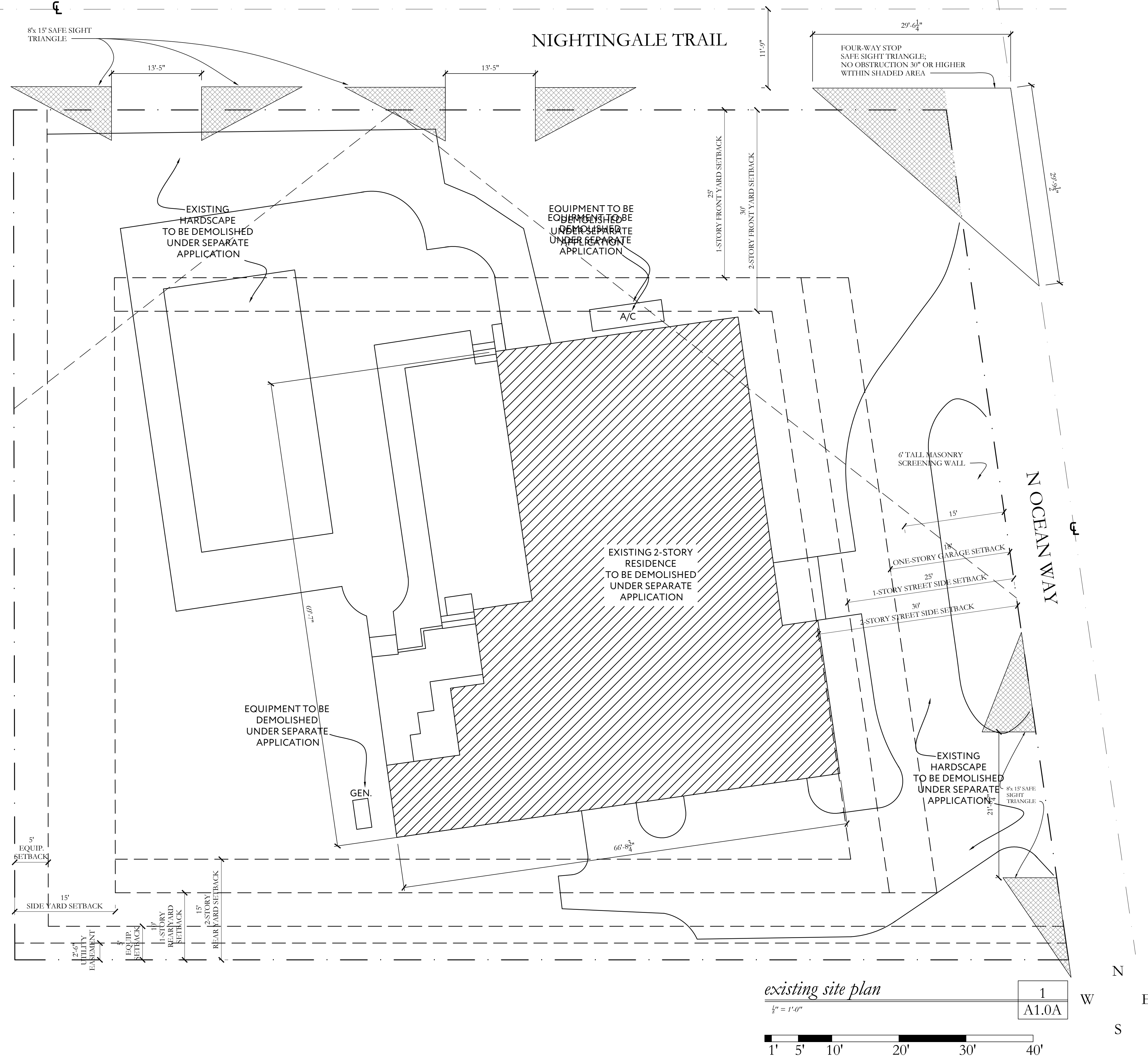
FINAL 10/12/2023

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EXISTING SITE PLAN

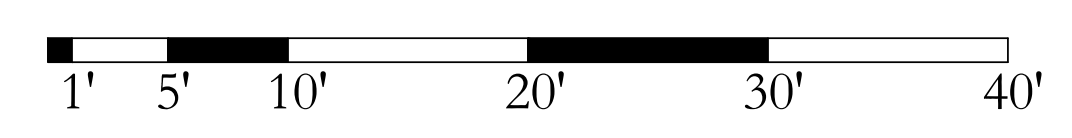
TITLE

A1.0A
 SHEET NO.

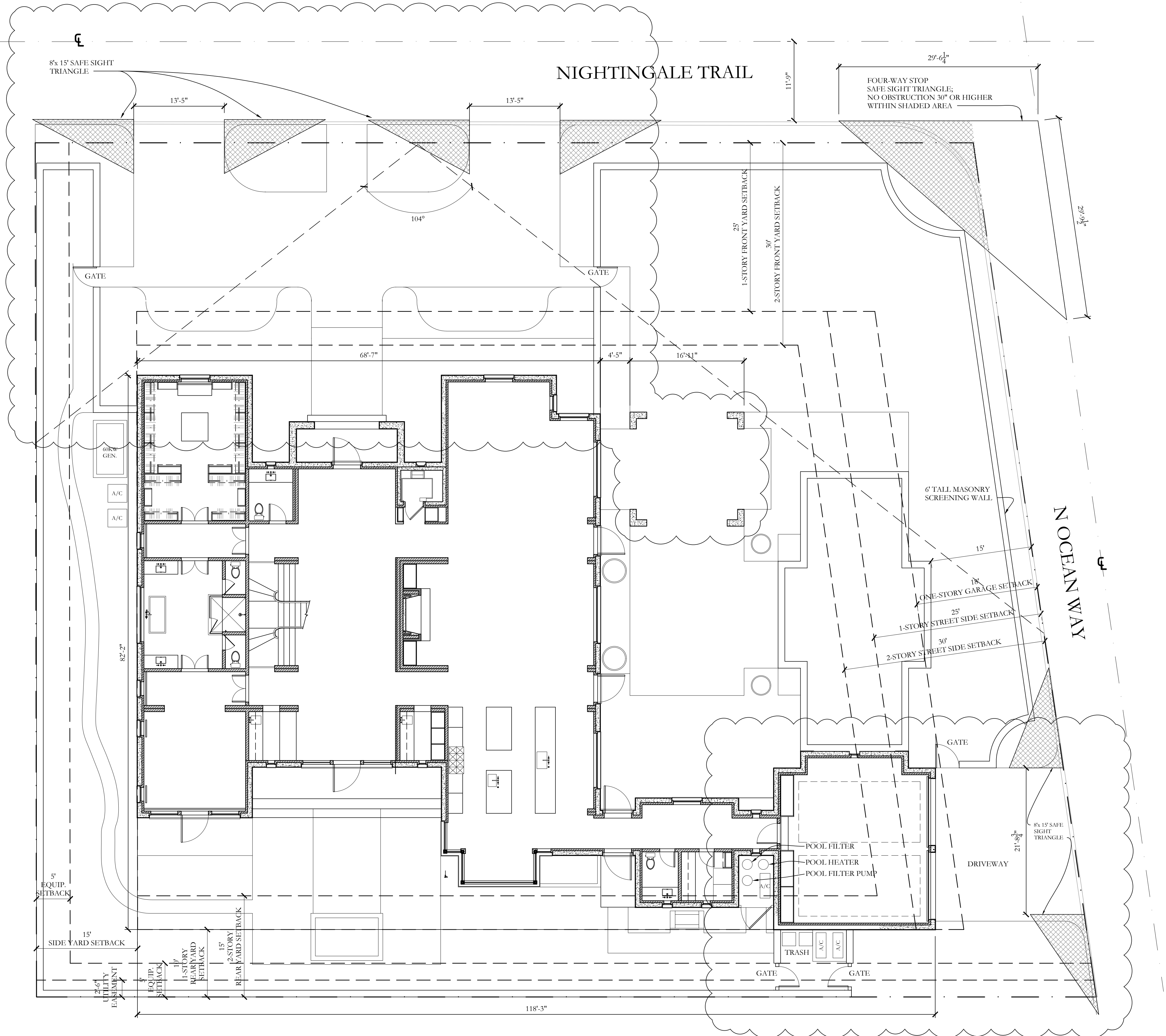


existing site plan

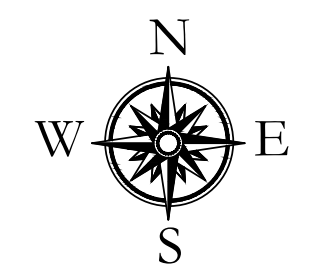
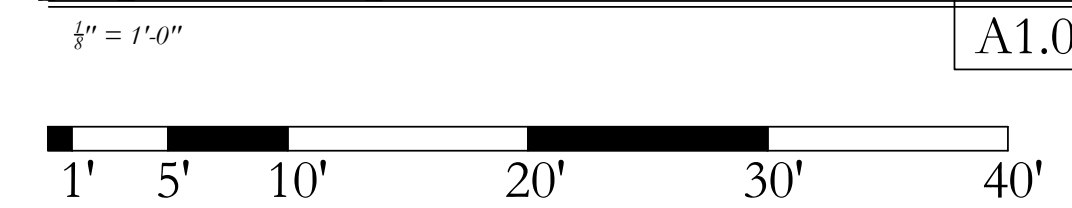
1/8" = 1'-0"



1
 A1.0A



proposed site plan



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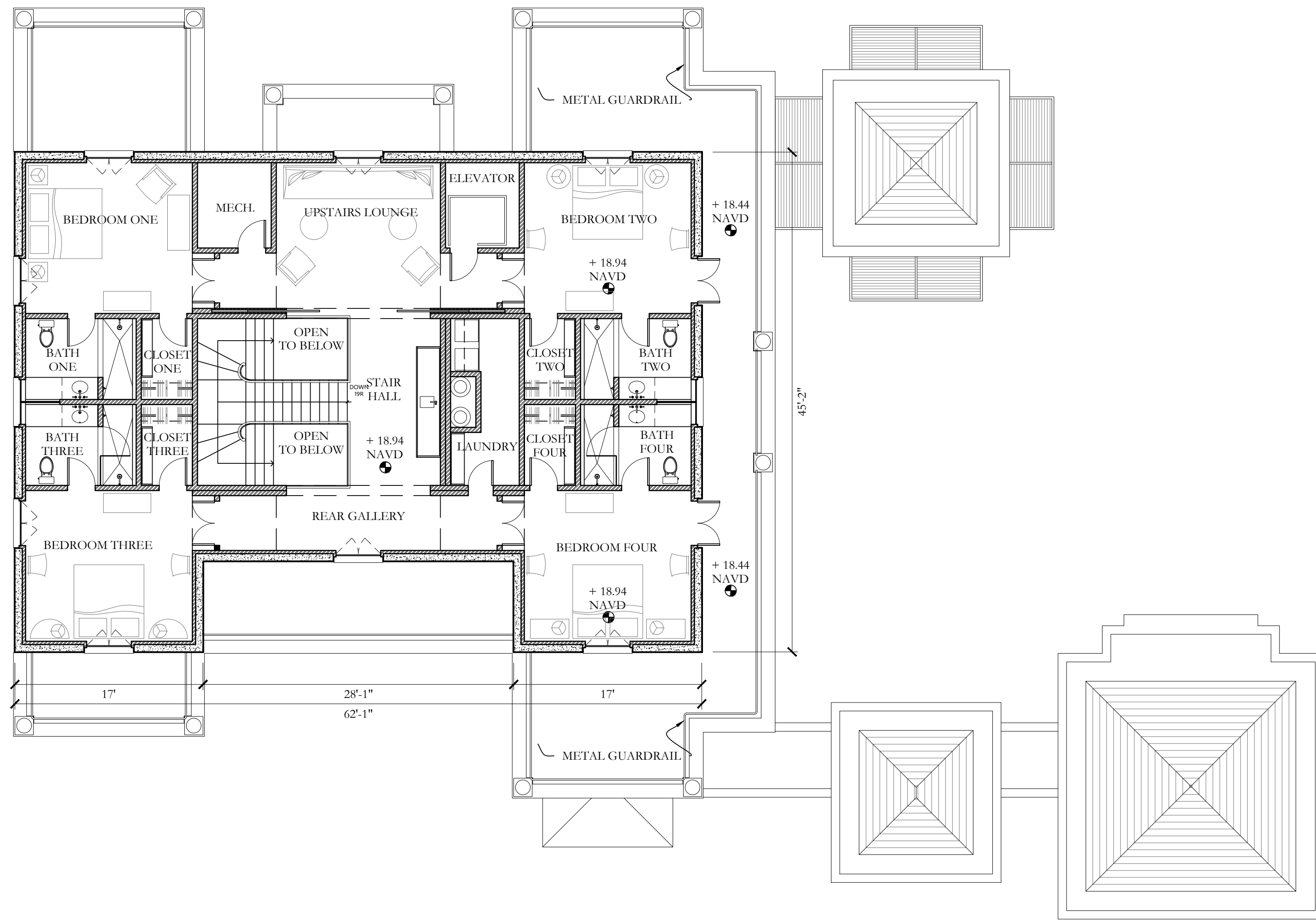
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ARC 23-123
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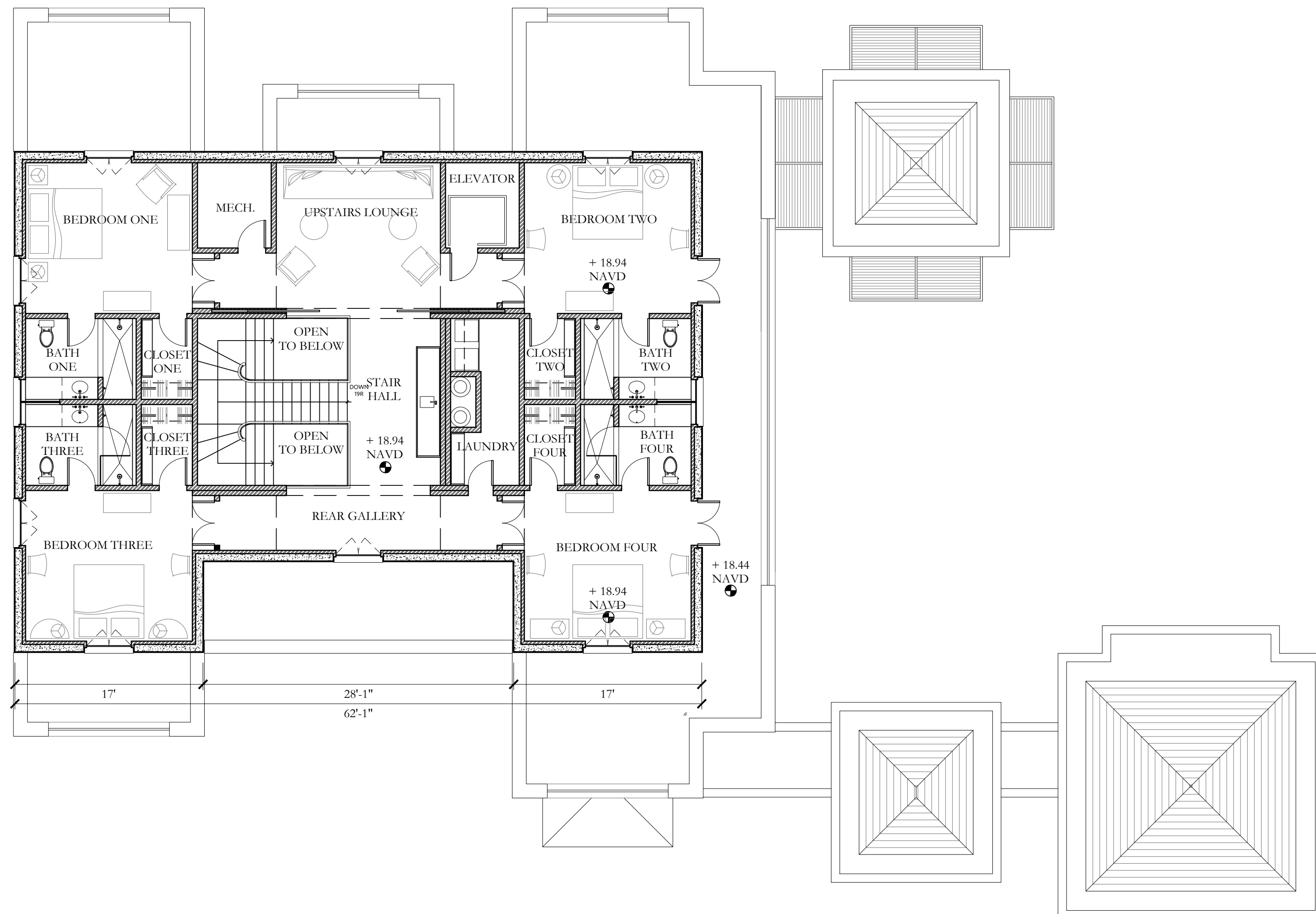
PROPOSED SITE PLAN



originally proposed second floor plan

$\frac{1}{8}'' = 1'-0''$

1	
A1.2	



revised second floor plan

$\frac{1}{8}'' = 1'-0''$

2	
A1.2	



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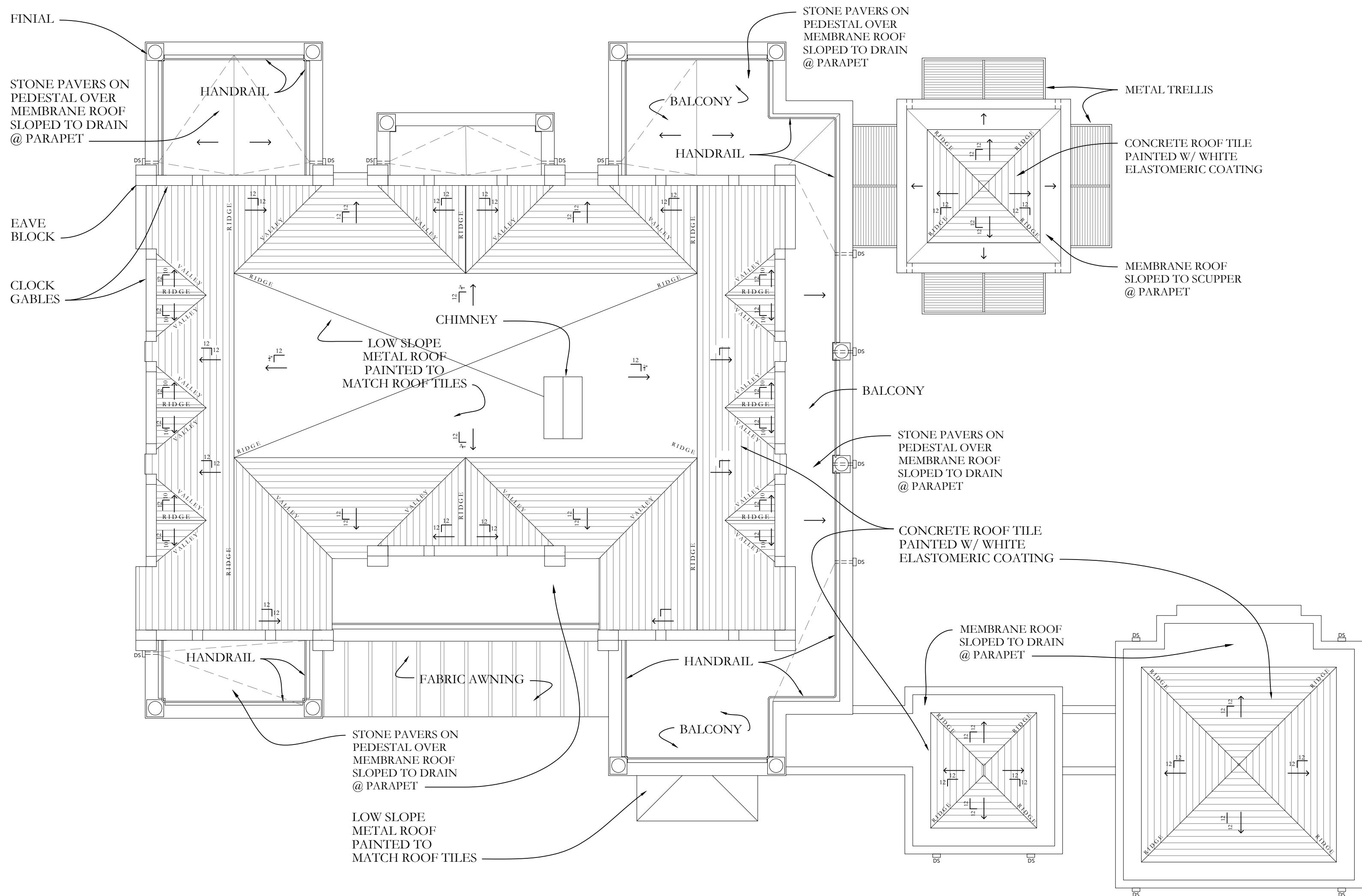
SECOND FLOOR PLAN

A1.2

SHEET NO.

PROJECT

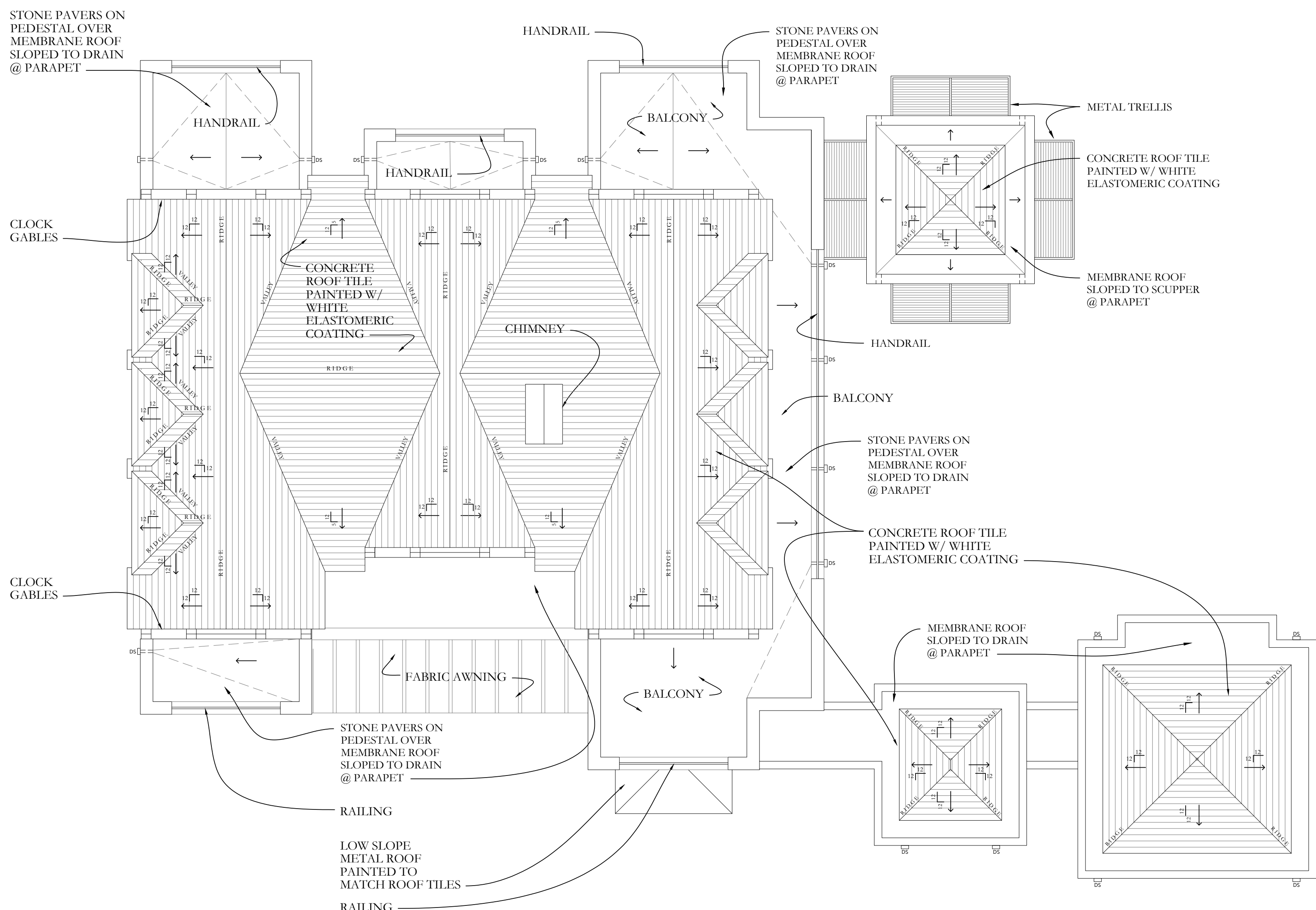
TITLE



originally proposed roof plan

1/4" = 1'-0"

1
A1.3



revised roof plan

1/4" = 1'-0"

2
A1.3



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PROJECT
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FINAL 10/12/2023
FIRST DEFERRAL 12/15/2023
ROOF PLAN

TITLE

A1.3

SHEET NO



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PROJECT
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 FINAL 10/12/2023
 FIRST DEFERRAL 12/15/2023

ELEVATIONS

TITLE

A2.1

SHEET NO

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009

ROOF: BORAL ROOFING, BERMDA SMOOTH, NATURAL GRAY, PAINTED W/ WHITE ELASTOMERIC ROOF COATING

SHUTTERS: SHERWIN WILLIAMS PEARLY WHITE SW-7009

HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009

WINDOW BARS: BRONZE-COLORED IRON

CABANA TRELLISES: BRONZE-COLORED STEEL

ENTRY LANTERN: CUSTOM COPPER LANTERN BY HACENDA LIGHTS

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET, 27" STANDARD COPPER FINISH

COLOR SWATCHES

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009



ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING



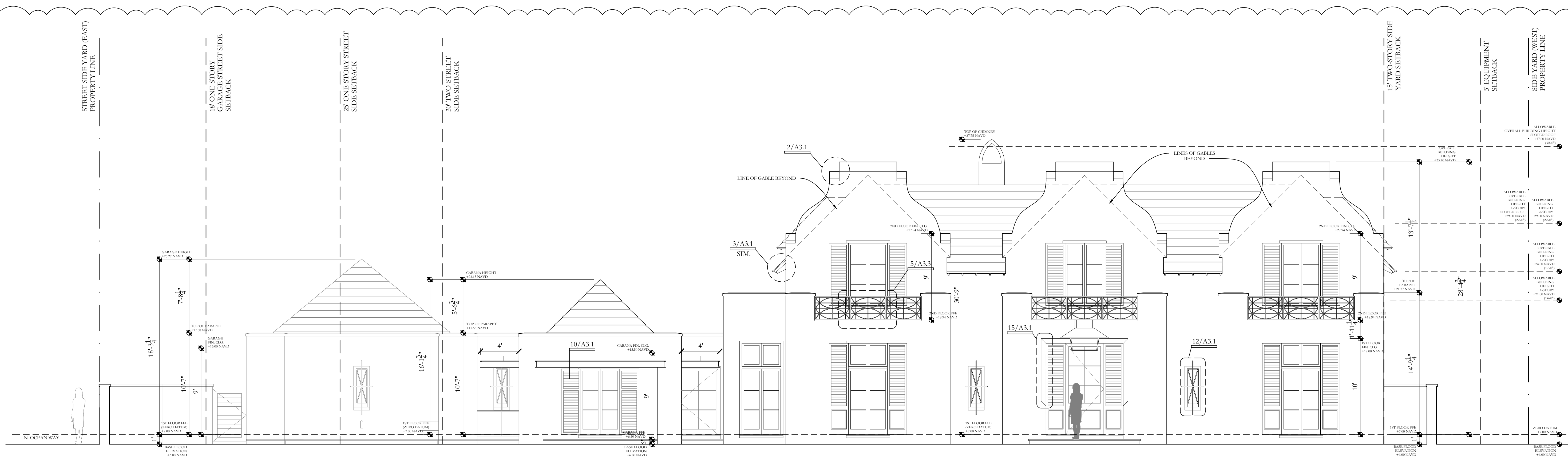
SHUTTERS AND HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009



originally proposed entry elevation (north)

1/8" = 1'-0"

1
 A2.1



revised entry elevation (north)

1/8" = 1'-0"

2
 A2.1



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FIRST 08/10/2023

SECOND 09/25/2023

FINAL 10/12/2023

FIRST DEFERRAL
 12/15/2023

ELEVATIONS

TITLE

A2.2

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009

ROOF: BORAL ROOFING, BERMUDA SMOOTH, NATURAL GRAY, PAINTED W/ WHITE ELASTOMERIC ROOF COATING

SHUTTERS: SHERWIN WILLIAMS PEARLY WHITE SW-7009

HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009

WINDOW BARS: BRONZE-COLORED IRON

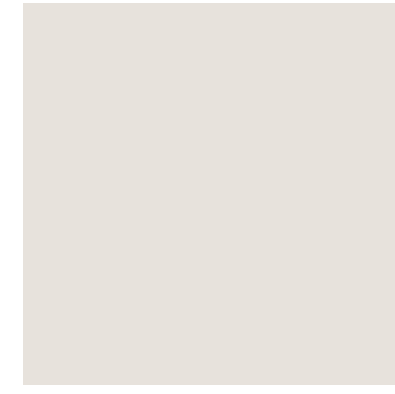
CABANA TRELLISES: BRONZE-COLORED STEEL

ENTRY LANTERN: CUSTOM COPPER LANTERN BY HACIENDA LIGHTS

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET, 27" STANDARD COPPER FINISH

COLOR SWATCHES

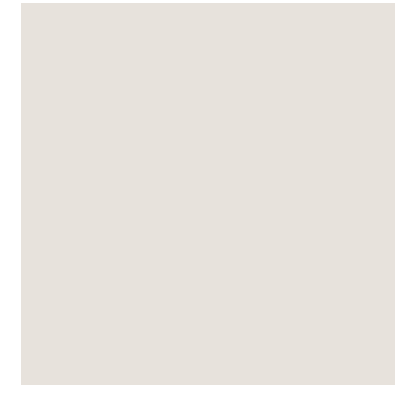
STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009



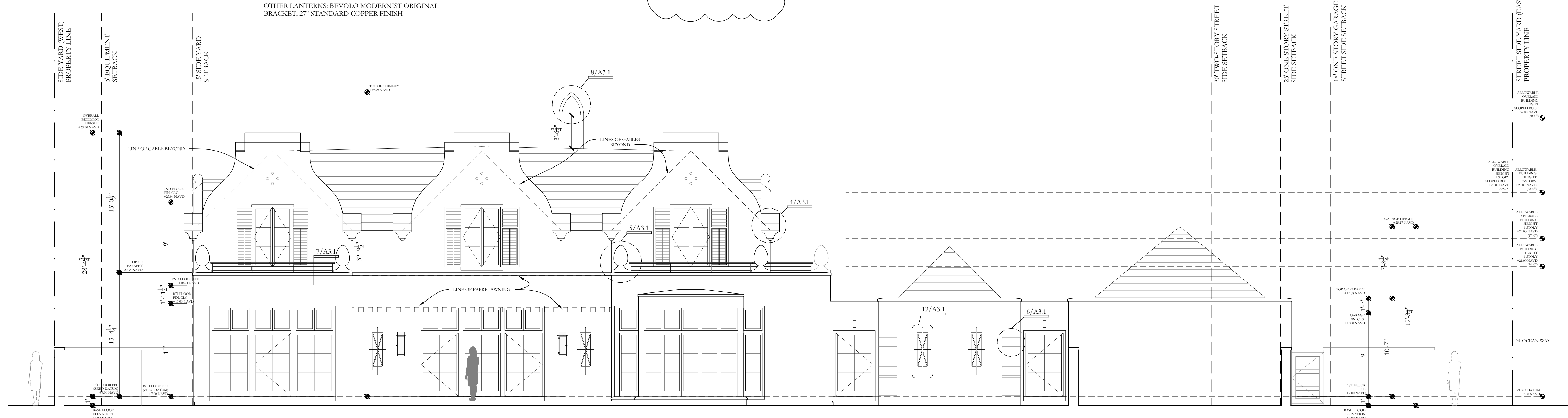
ROOF: SMOOTH FLAT CONCRETE ROOF-TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING



SHUTTERS AND HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009



AWNING: SUNBRELLA MAXIM HEATHER BEIGE



originally proposed rear elevation (south)

1/4" = 1'-0"

1
 A2.2



revised rear elevation (south)

1/4" = 1'-0"

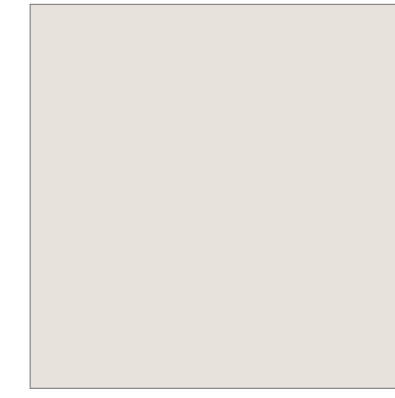
2
 A2.2

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009
 ROOF: BORAL ROOFING, BERMUDA SMOOTH, NATURAL GRAY, PAINTED W/ WHITE ELASTOMERIC ROOF COATING
 SHUTTERS: SHERWIN WILLIAMS PEARLY WHITE SW-7009
 HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009
 WINDOW BARS: BRONZE-COLORED STRAP IRON
 CABANA TRELLISES: BRONZE-COLORED STEEL
 ENTRY LANTERN: CUSTOM COPPER LANTERN BY HAGENDA LIGHTS
 OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET, 27" STANDARD COPPER FINISH

COLOR SWATCHES

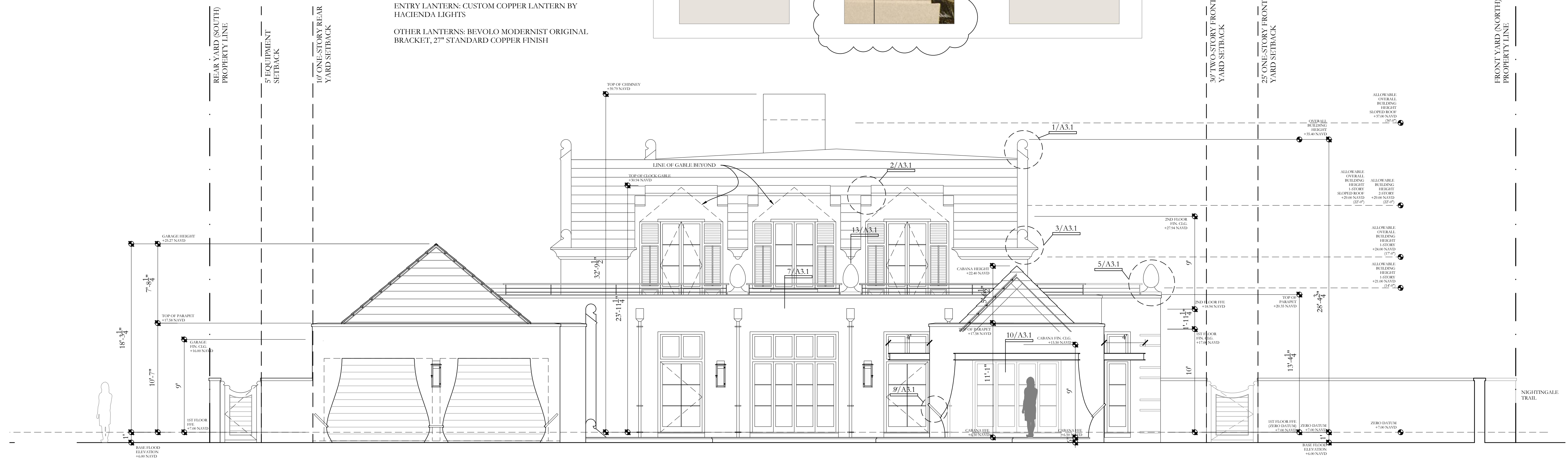
STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009



ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING



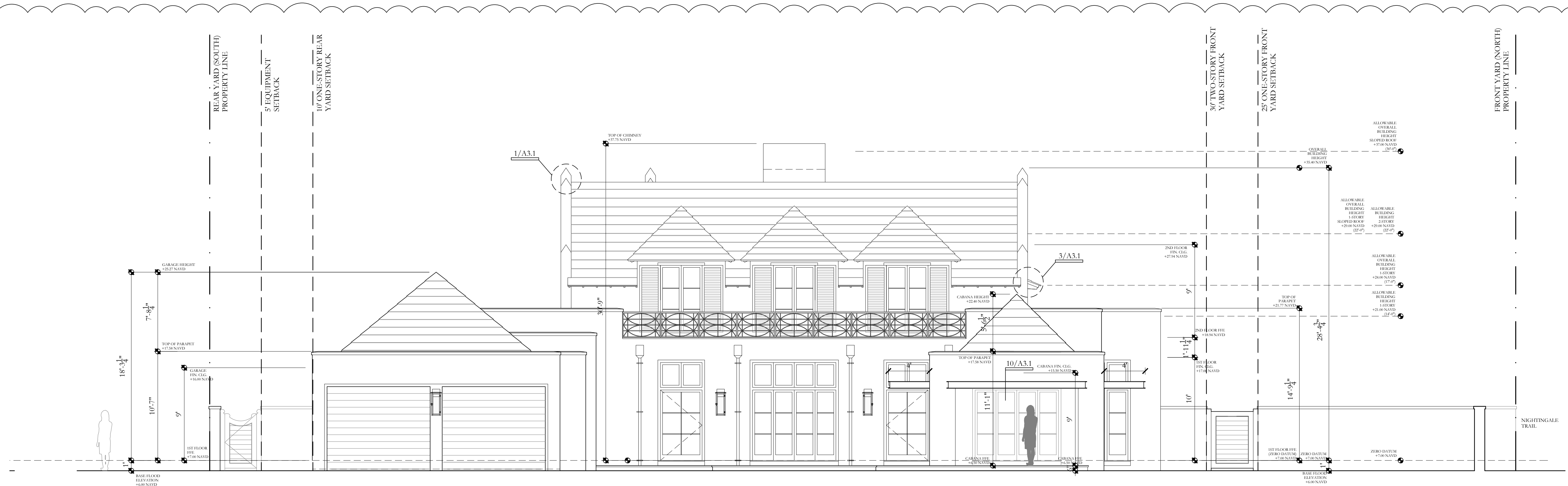
SHUTTERS AND HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009



originally proposed street side elevation (east)

1/8" = 1'-0"

1
A2.3



revised street side elevation (east)

1/8" = 1'-0"

2
A2.3



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 for
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ARC 23-123
 ZON 23-105

PRE-APP 06/30/2023
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ELEVATIONS

A2.3

FINISHES:

STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009

ROOF: BORAL ROOFING, BERMUDA SMOOTH, NATURAL GRAY, PAINTED W/ WHITE ELASTOMERIC ROOF COATING

SHUTTERS: SHERWIN WILLIAMS PEARLY WHITE SW-7009

HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009

WINDOW BARS: BRONZE-COLORED IRON

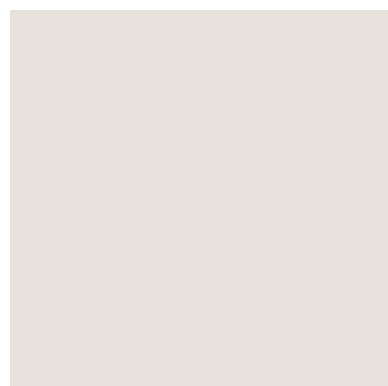
CABANA TRELLISES: BRONZE-COLORED STEEL

ENTRY LANTERN: CUSTOM COPPER LANTERN BY HACIENDA LIGHTS

OTHER LANTERNS: BEVOLO MODERNIST ORIGINAL BRACKET, 27" STANDARD COPPER FINISH

COLOR SWATCHES

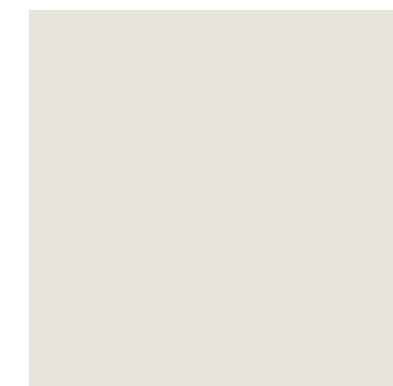
STUCCO: INHERENT COLOR TO MATCH SHERWIN WILLIAMS PEARLY WHITE SW-7009



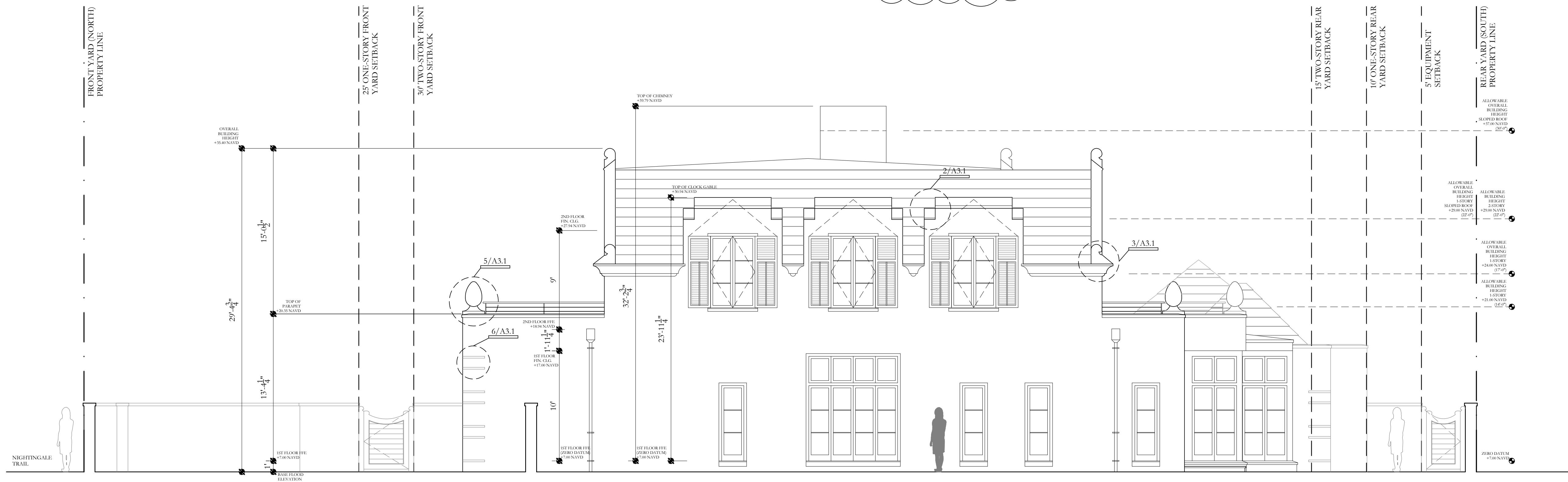
ROOF: SMOOTH FLAT CONCRETE ROOF TILE, PAINTED W/ WHITE ELASTOMERIC ROOF COATING



SHUTTERS AND HANDRAIL: SHERWIN WILLIAMS PEARLY WHITE SW-7009

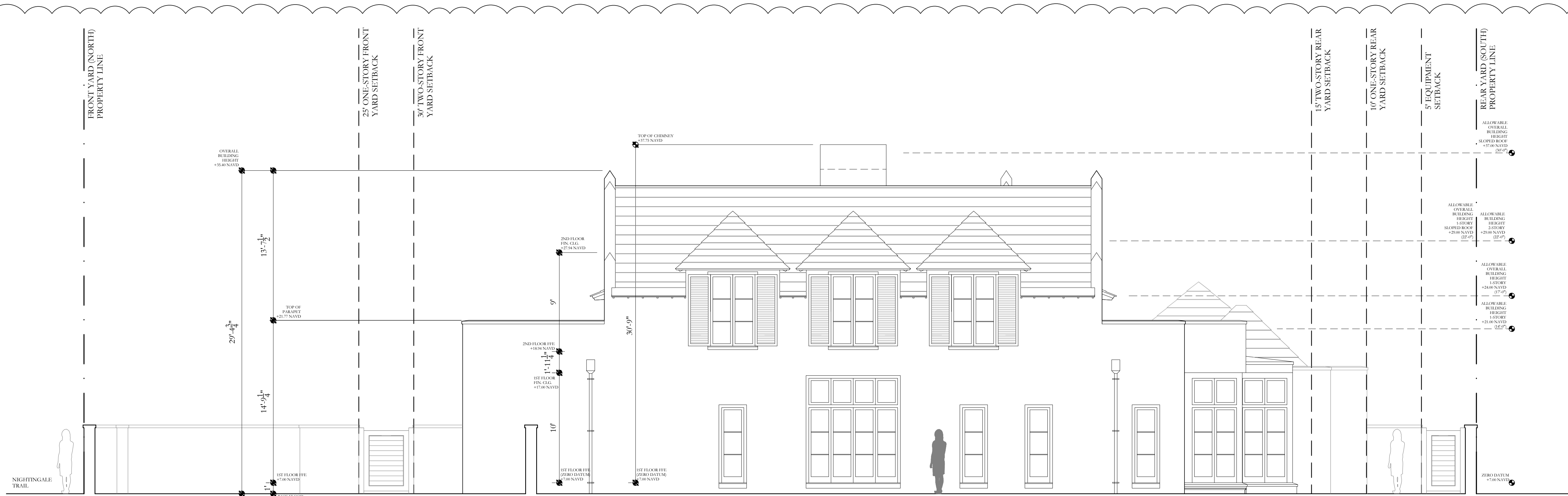


AWNING: SUNBRELLA MAXIM HEATHER BEIGE



originally proposed side elevation (west)

1
A2.4



revised side elevation (west)

2
A2.4



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ELEVATIONS

A2.4



nightingale trail street elevation

$\frac{1}{8}'' = 1'-0''$

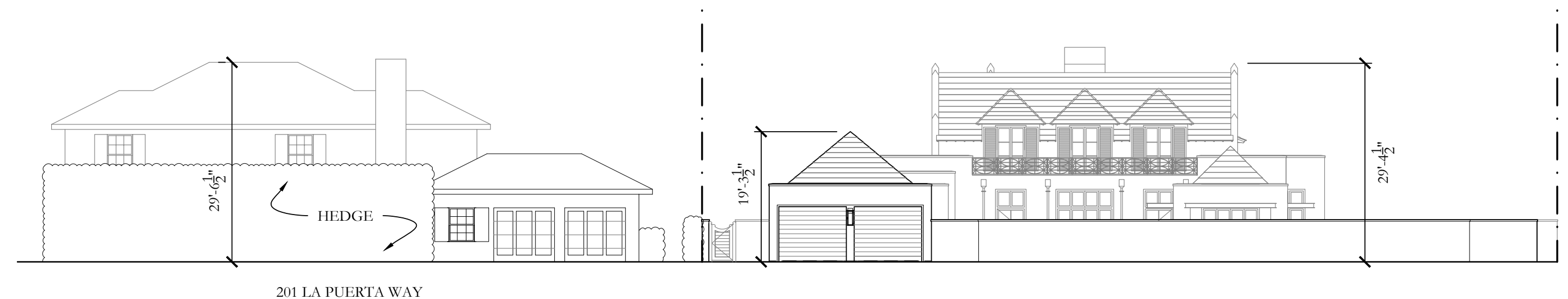
1
A2.4b



nightingale trail street elevation

$\frac{1}{8}'' = 1'-0''$

2
A2.4b

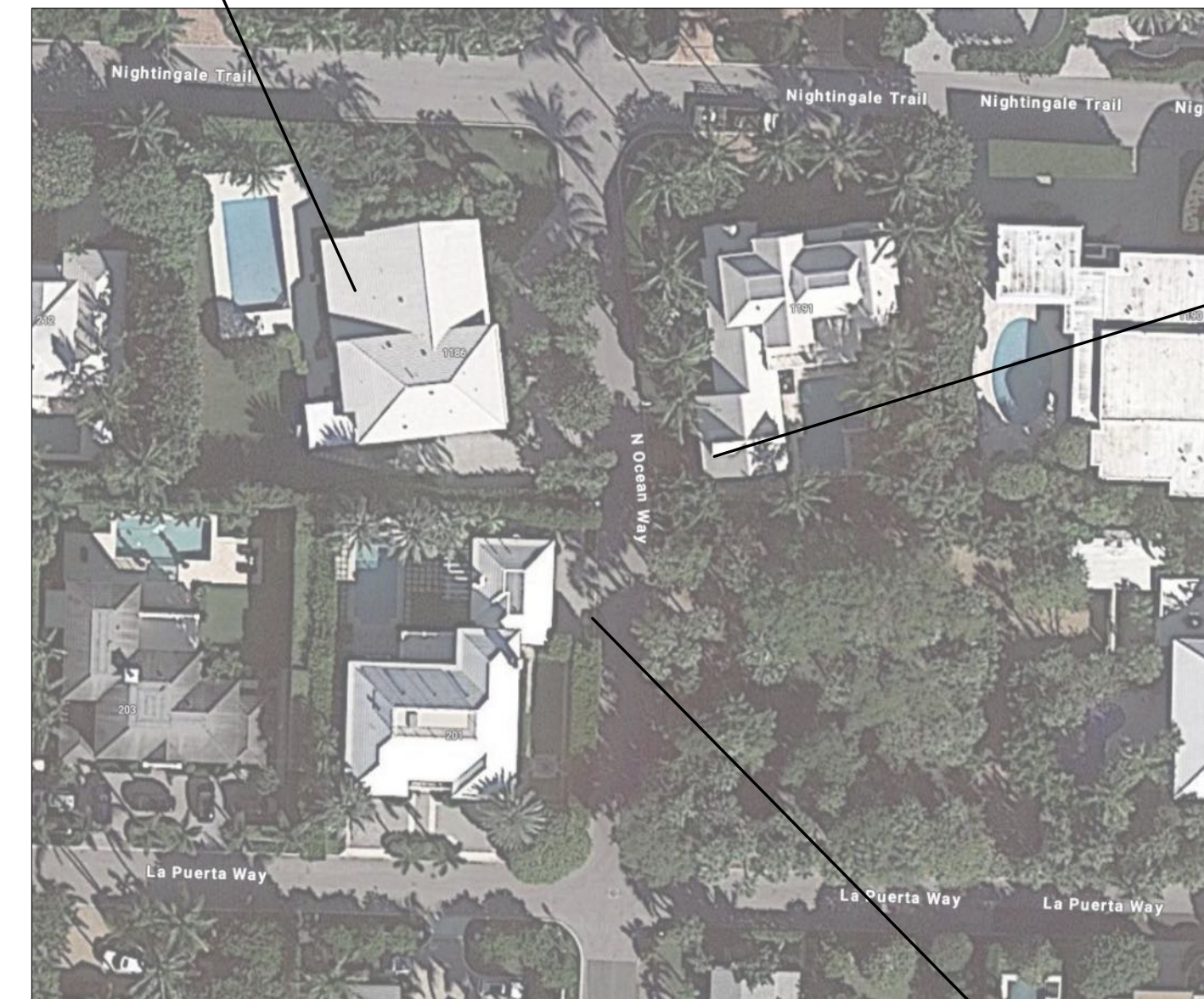


n. ocean way street elevation

$\frac{1}{16}'' = 1'-0''$

3
A2.4b

1186 N. OCEAN WAY



CORNER OF NIGHTINGALE TRAIL AND N. OCEAN WAY



DRIVEWAY @ 1191 N OCEAN WAY



DRIVEWAY @ 201 LA PUERTA WAY

n. ocean way driveway precedent

NTS

4
A2.4b



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PROJECT
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STREETSCAPE ELEVATIONS & NEIGHBORHOOD DRIVEWAY EXAMPLES

TITLE
A2.4b
SHEET NO.



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PROJECT

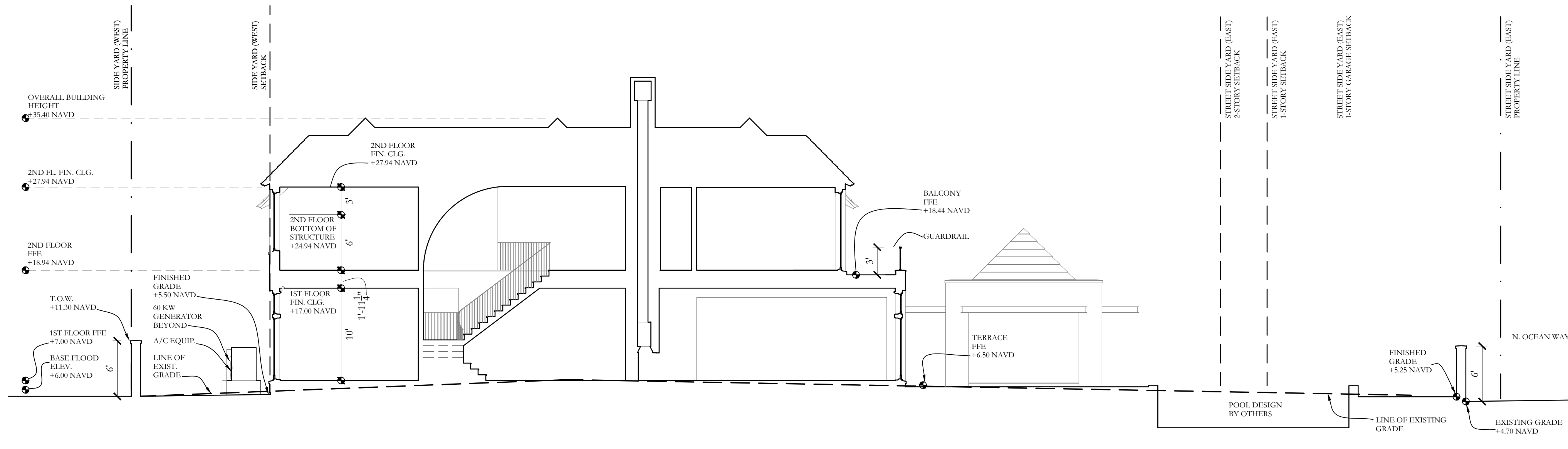
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BUILDING SECTIONS

TITLE

A2.5

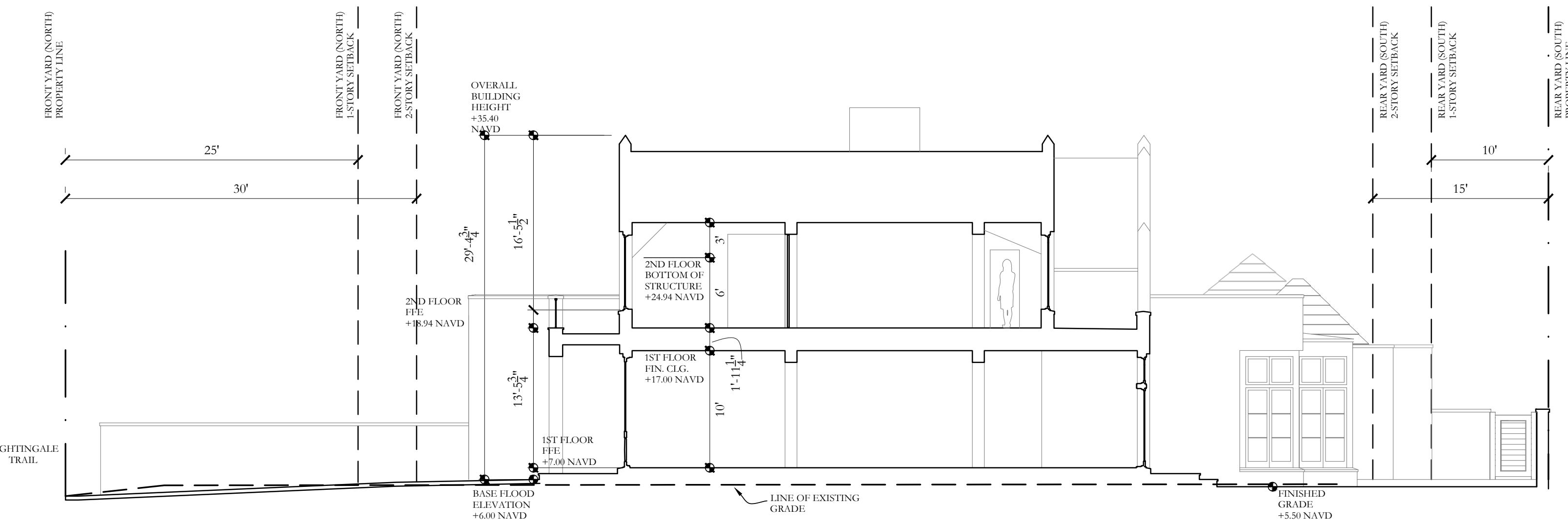
SHEET NO.



west-east building section

$\frac{1}{4}'' = 1'-0''$

1
A2.5



north-south building section

$\frac{1}{4}'' = 1'-0''$

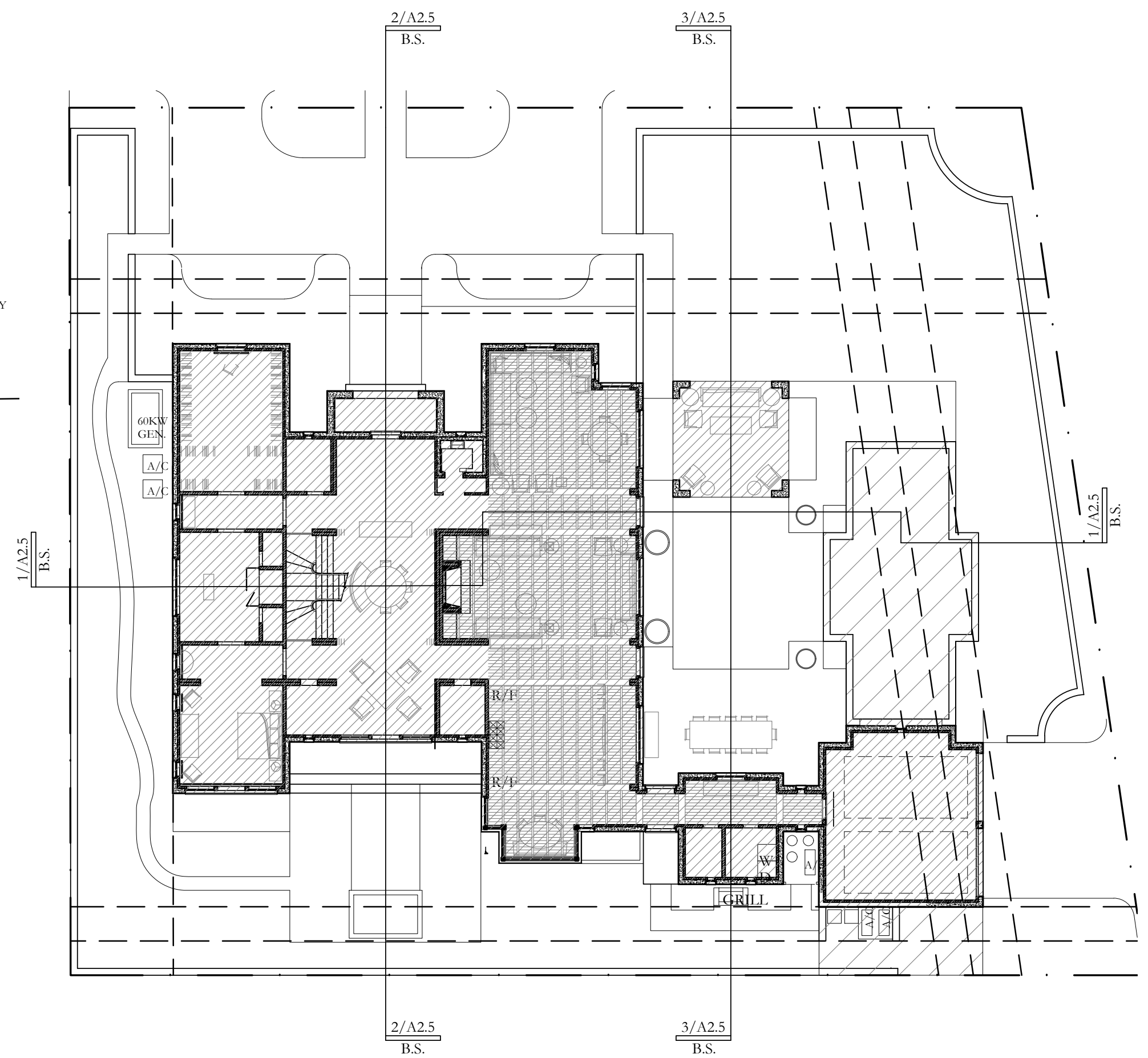
2
A2.5



south-north building section

$\frac{1}{4}'' = 1'-0''$

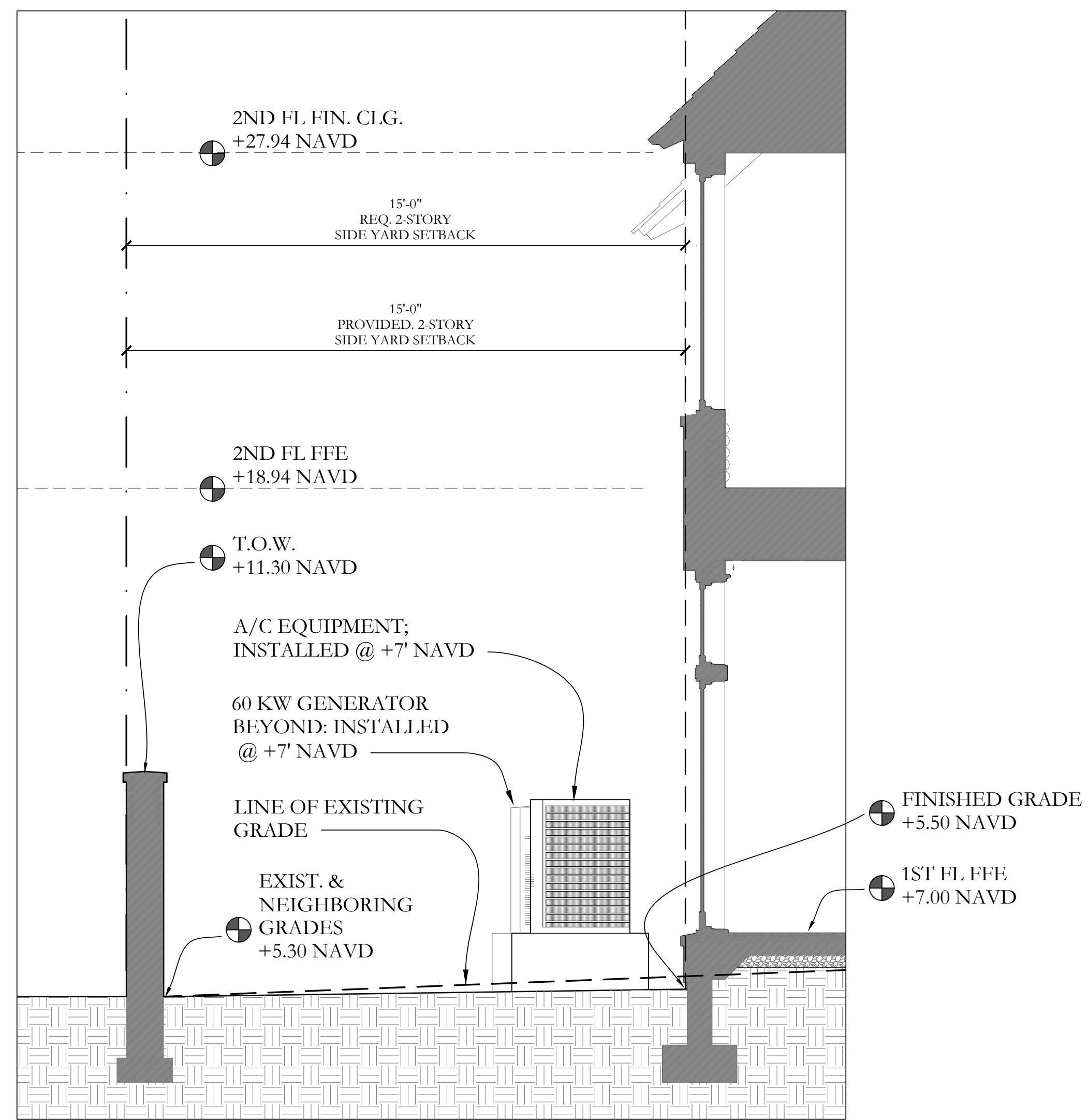
3
A2.5



key plan

$\frac{1}{16}'' = 1'-0''$

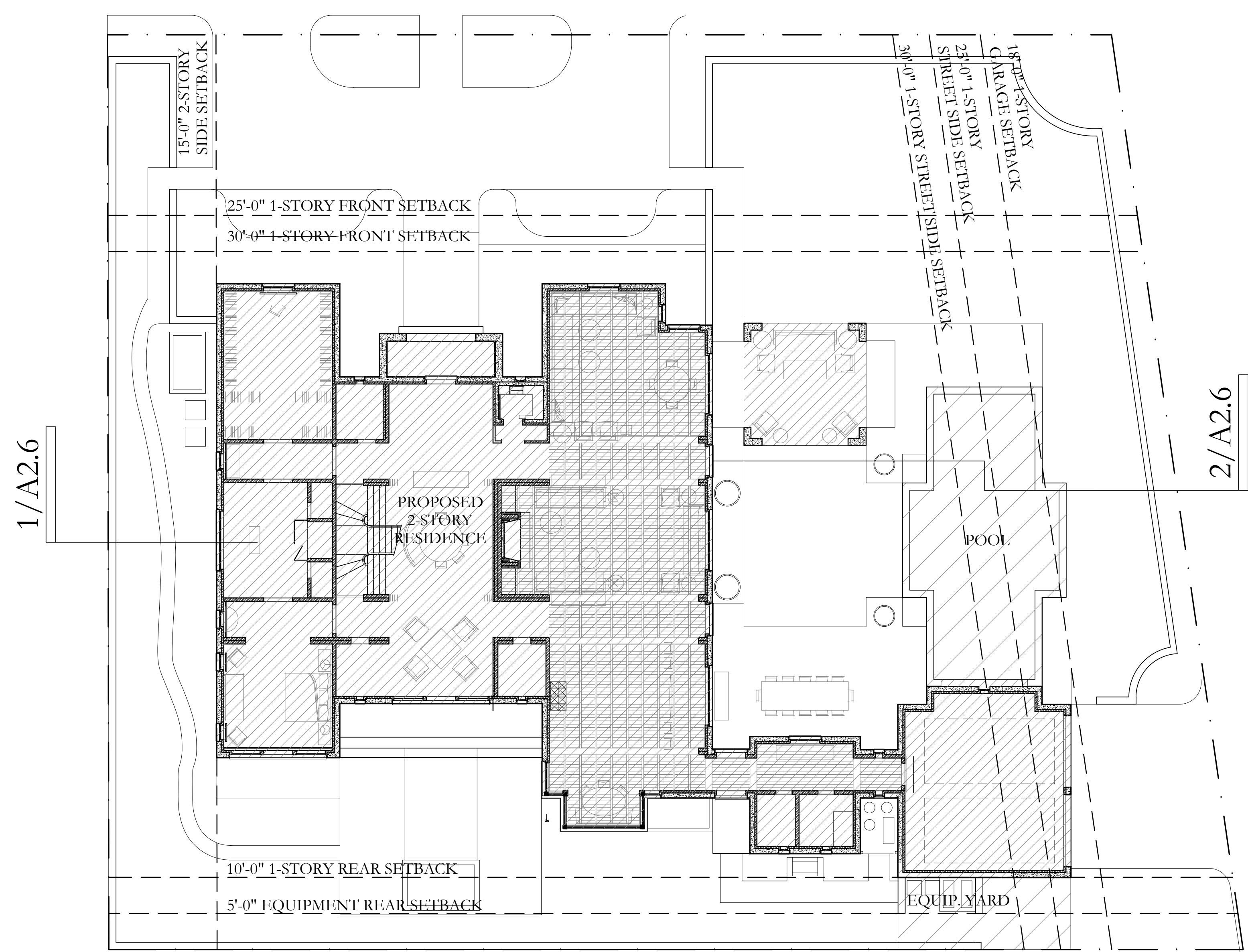
4
A2.5



west side yard section

1
A2.6

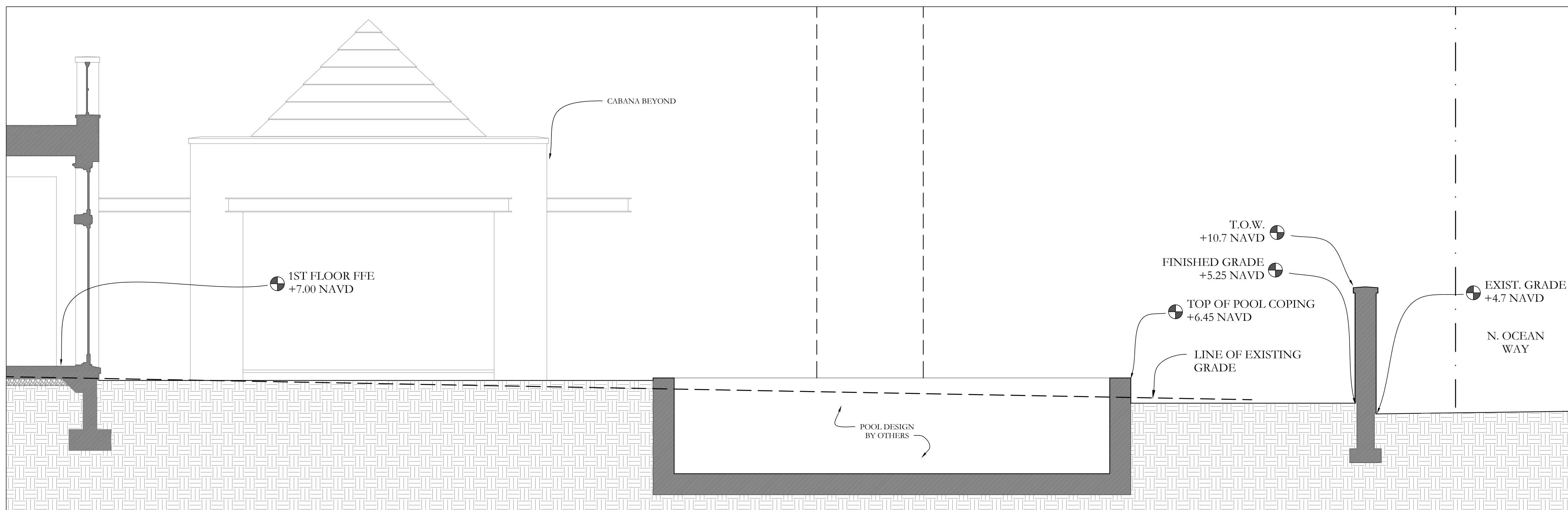
3/8" = 1'-0"



key plan

1/A2.6

2/A2.6



east street side yard section

2
A2.6

3/8" = 1'-0"



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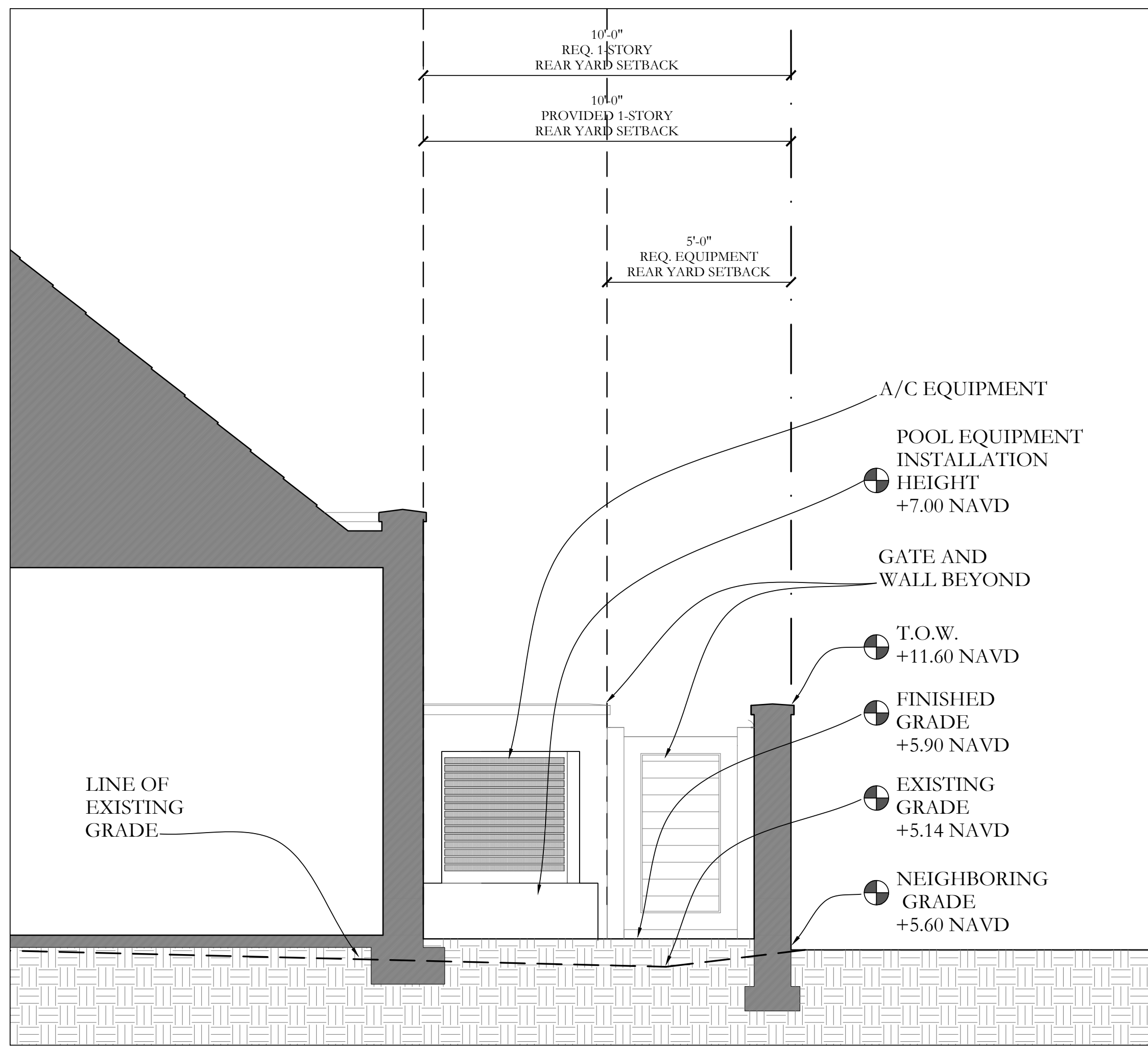
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YARD SECTIONS

TITLE

A2.6

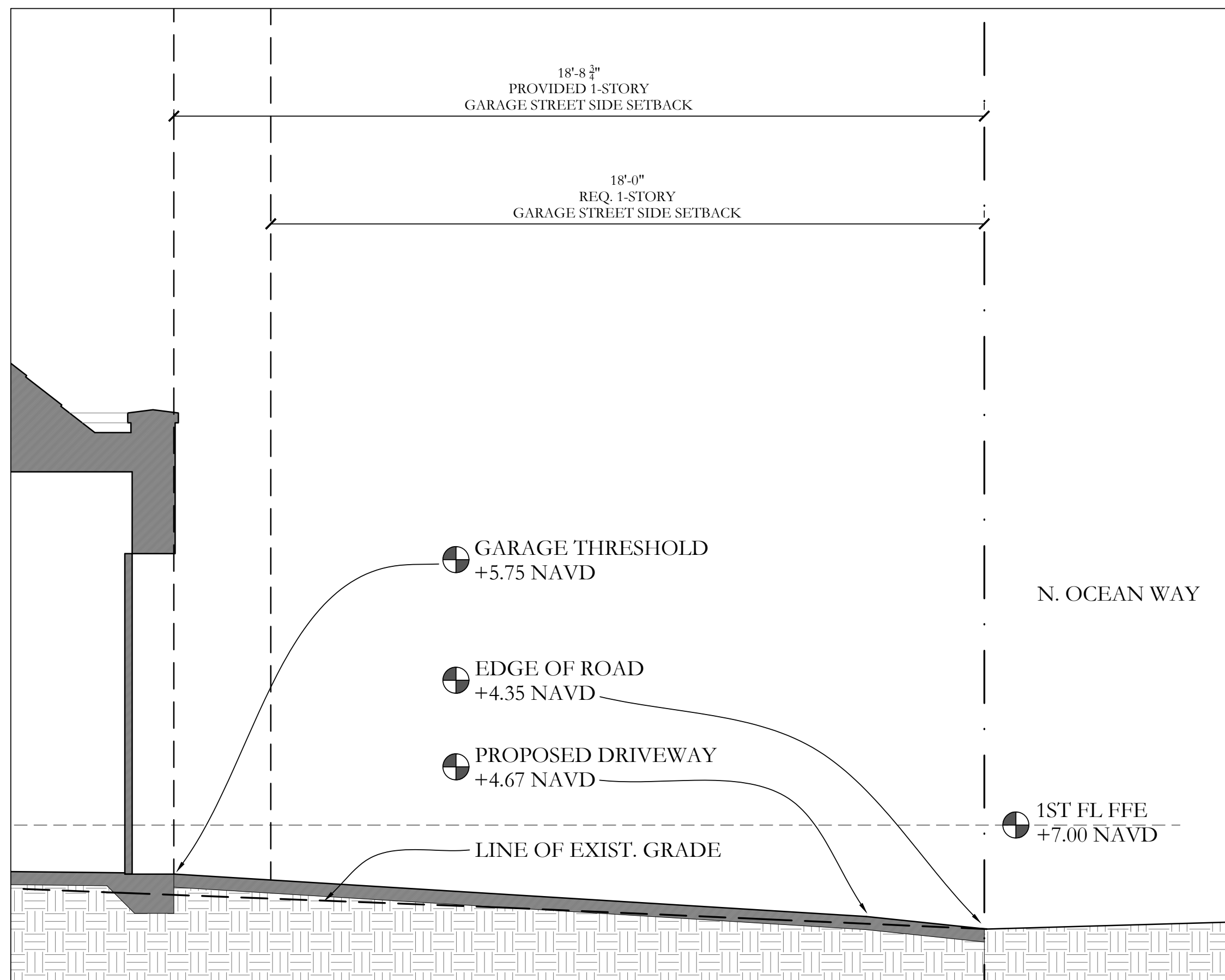
SHEET NO.



south rear yard section

3/8" = 1'-0"

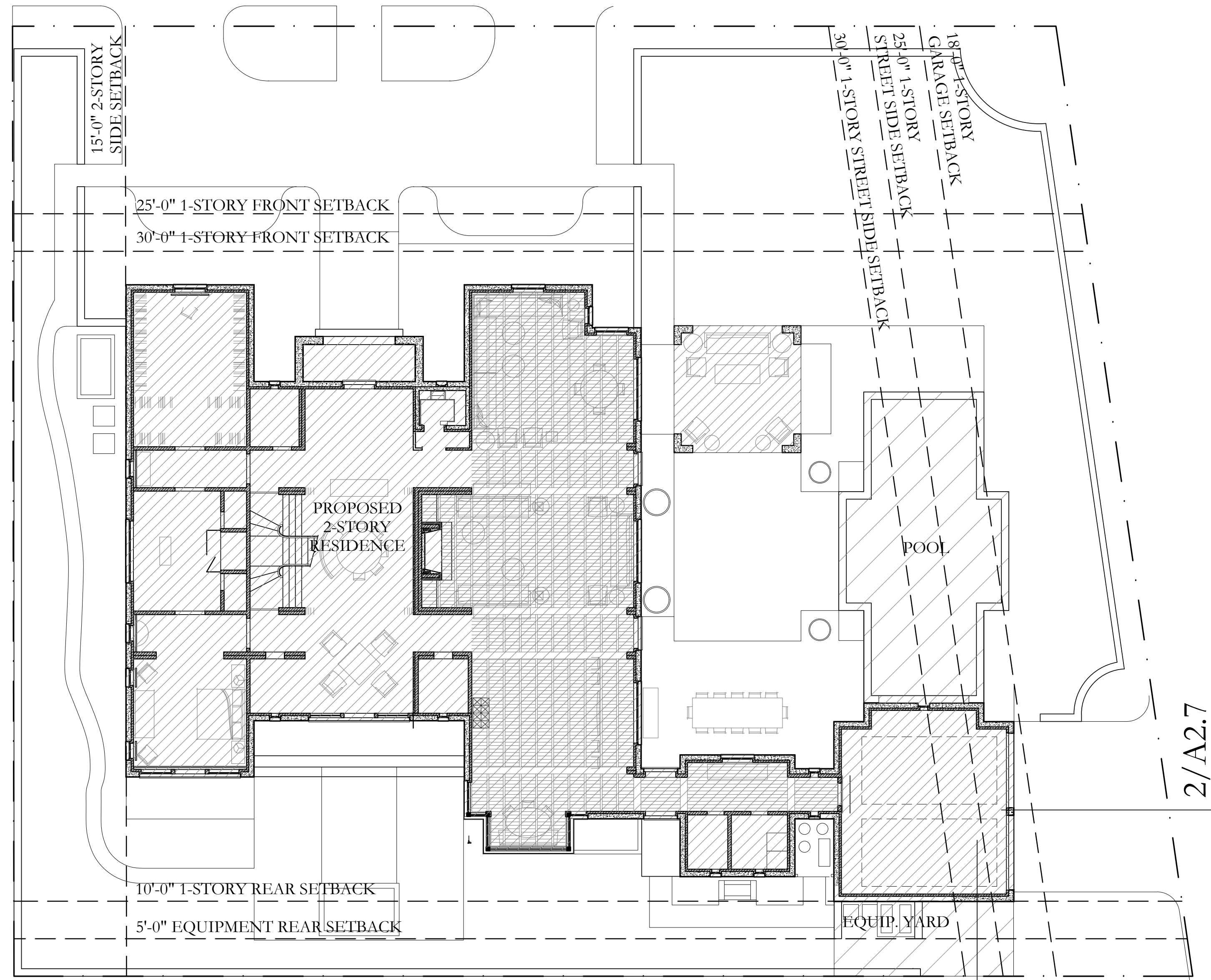
1
A2.7



east street side yard section

3/8" = 1'-0"

2
A2.7



key plan

1/8" = 1'-0"

1/A2.7

2/A2.7



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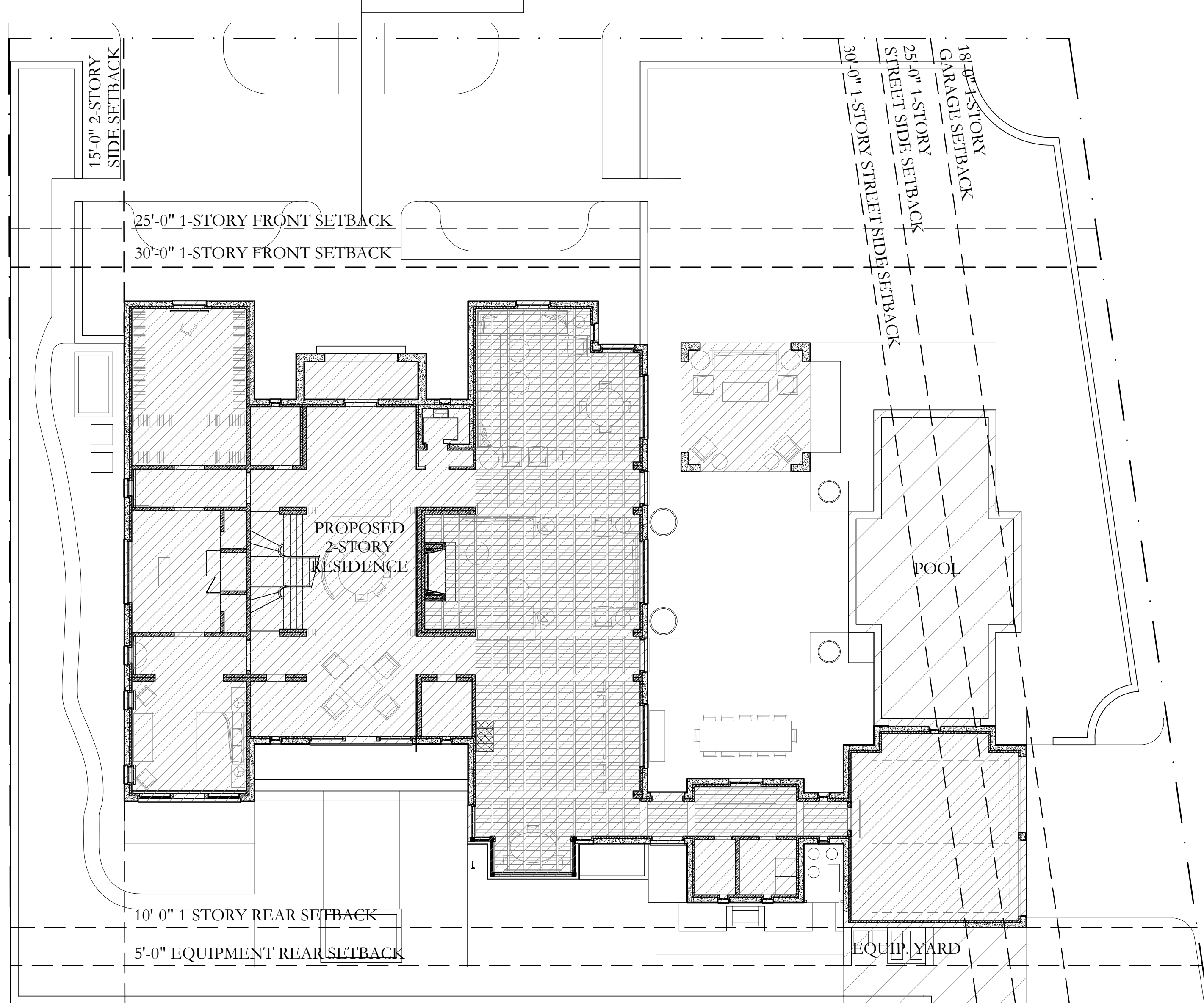
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 ZON 23-105

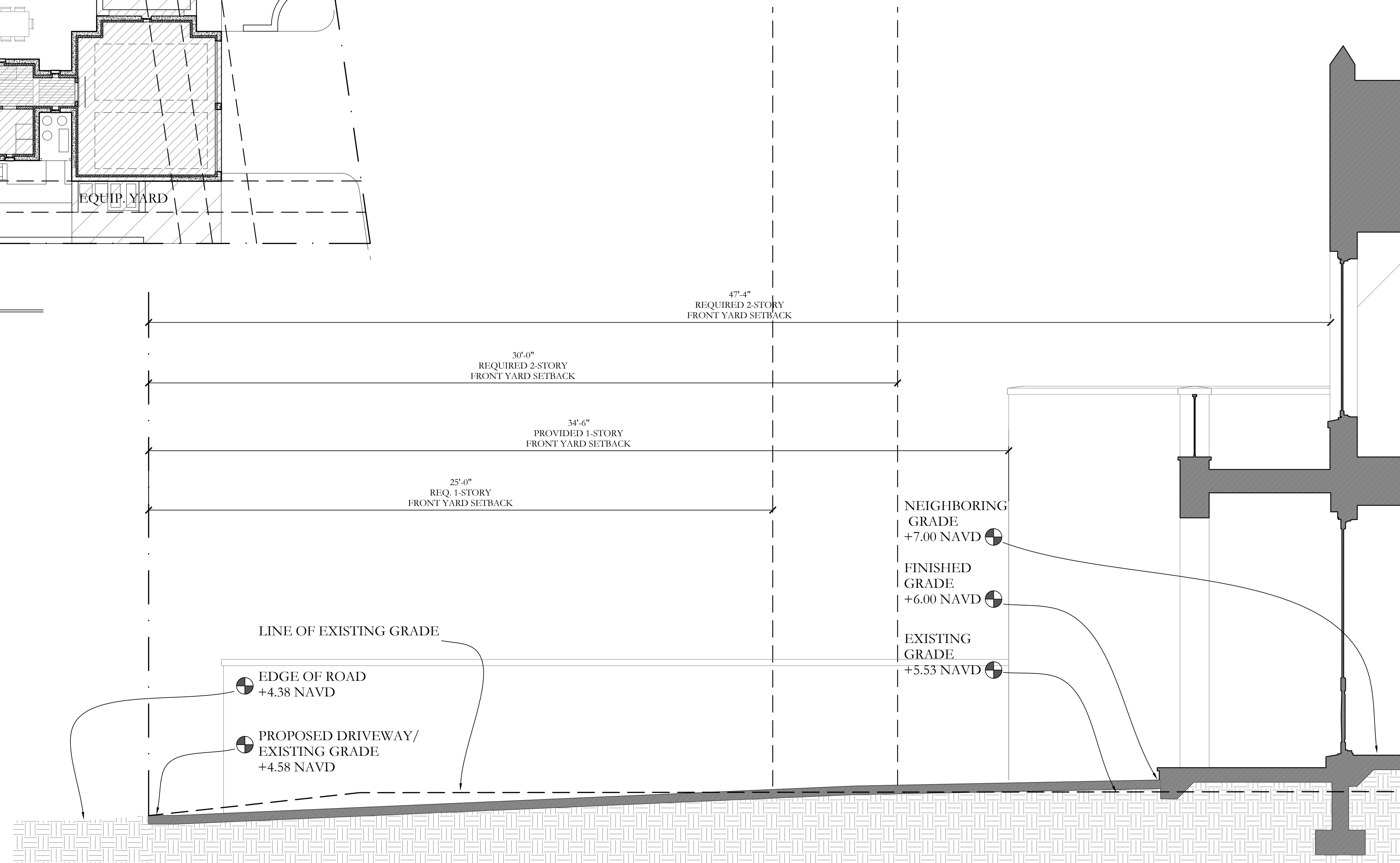
PRE-APP 06/30/2023
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 YARD SECTIONS

A2.7



key plan

1/2" = 1'-0"



north front yard section

2/3" = 1'-0"



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YARD SECTIONS

TITLE



northwest view from nightingale trail

not to scale

1
A2.10



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SECOND 09/25/2023
FINAL 10/12/2023
FIRST DEFERRAL 12/15/2023
COLOR RENDERINGS

TITLE

A2.10
SHEET NO.



entry view from nightingale trail

not to scale

1
A2.11



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COLOR RENDERINGS

TITLE

A2.11
 SHEET NO.



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FINAL 10/12/2023

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COLOR RENDERINGS

TITLE

A2.12

SHEET NO



northeast corner view from nightingale trail

not to scale

1
A2.12



view of northeast corner of roof

not to scale

1
A2.13



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 COLOR RENDERINGS

TITLE

A2.13
 SHEET NO.



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 COLOR RENDERINGS

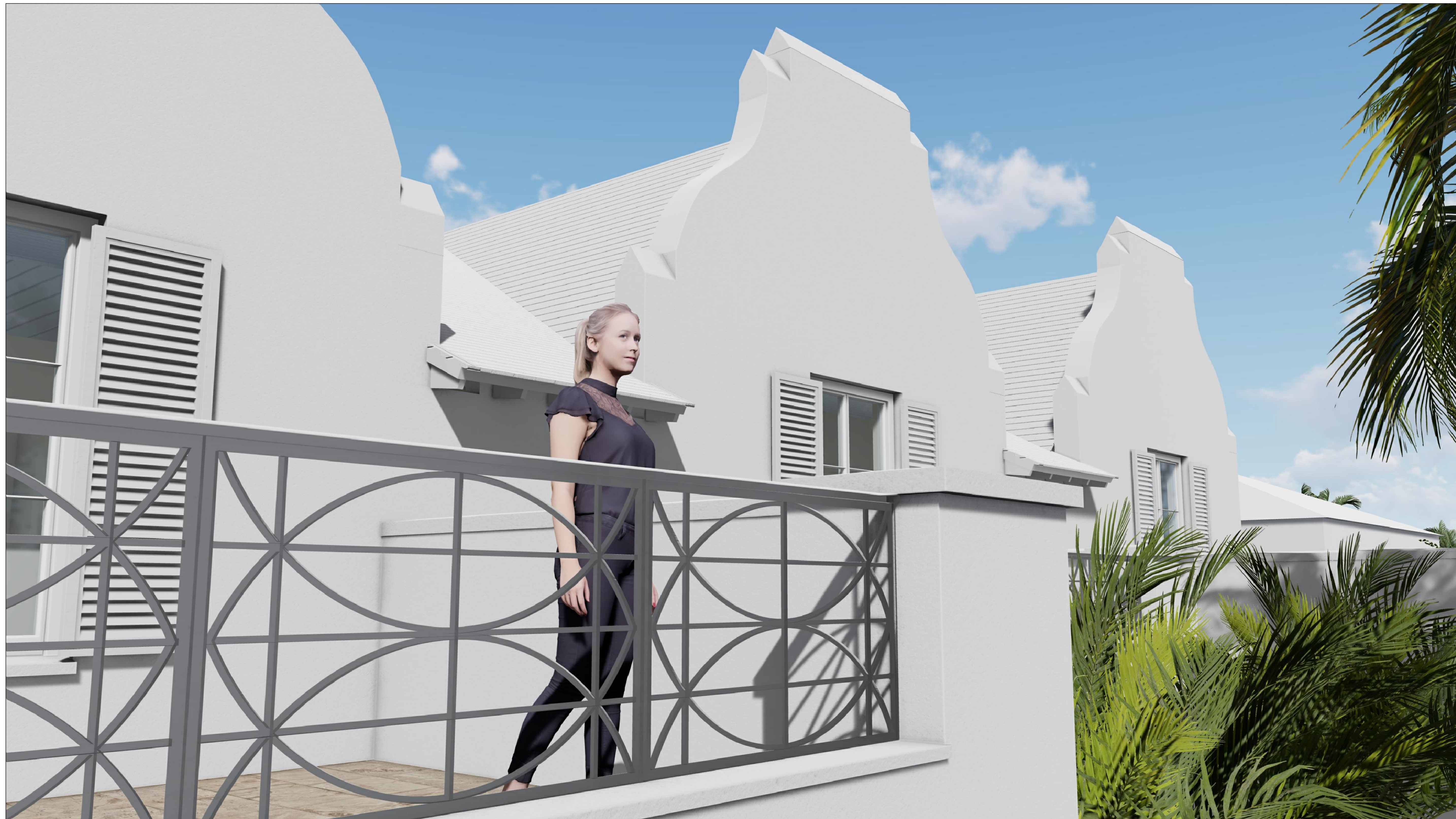
TITLE
 A2.14
 SHEET NO.



southwest view from rear yard

not to scale

1
A2.14



detail view of guardrail

not to scale

1
A2.15



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 FIRST DEFERRAL 12/15/2023
 COLOR RENDERINGS

TITLE

A2.15
 SHEET NO.



view of rear yard fountain

not to scale

1
A2.16



view of west side yard

not to scale

2
A2.16



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 FIRST DEFERRAL 12/15/2023
 COLOR RENDERINGS

TITLE
 A2.16
 SHEET NO.



north-to-south view of pool

not to scale

1
A2.17



west-to-east view of pool

not to scale

2
A2.17



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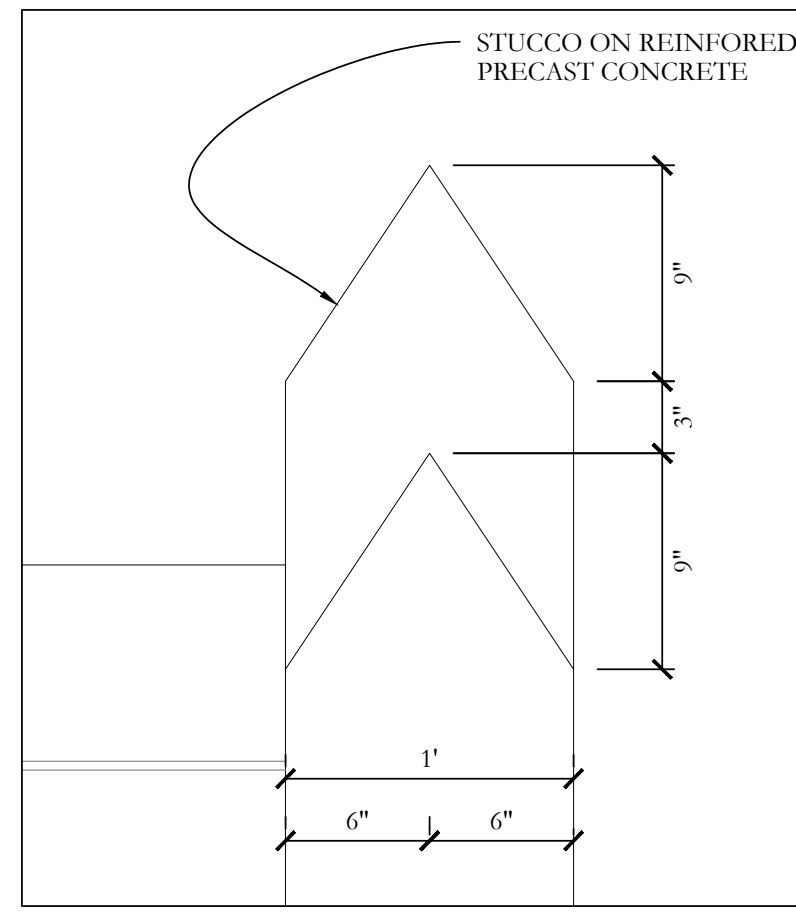
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COLOR RENDERINGS

TITLE

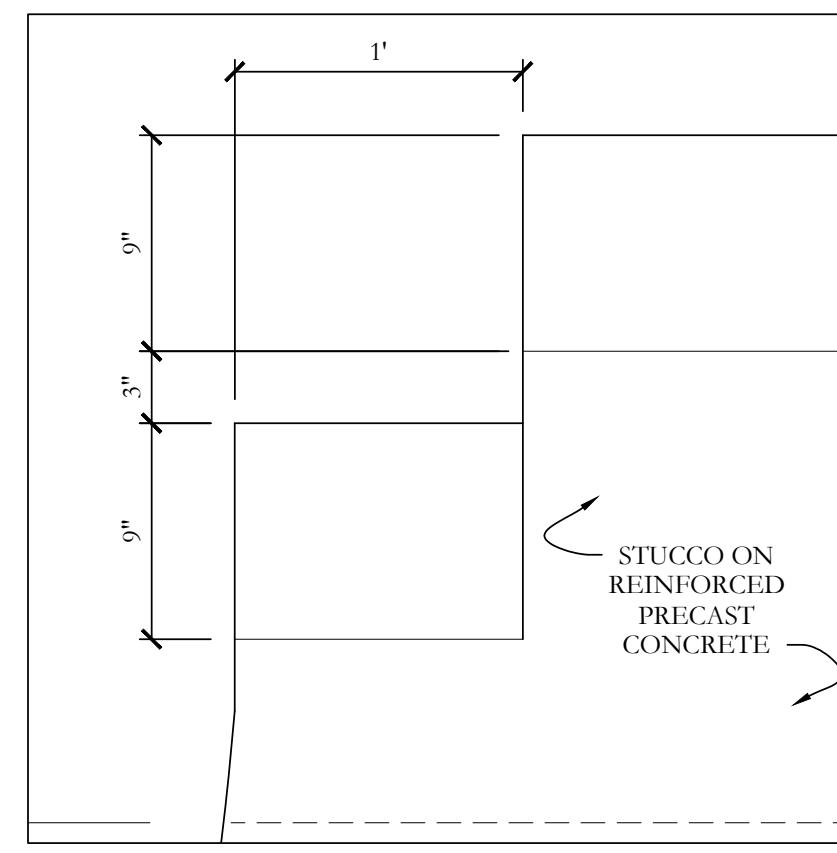
A2.17
 SHEET NO.



clock gable section det.

1/2" = 1'-0"

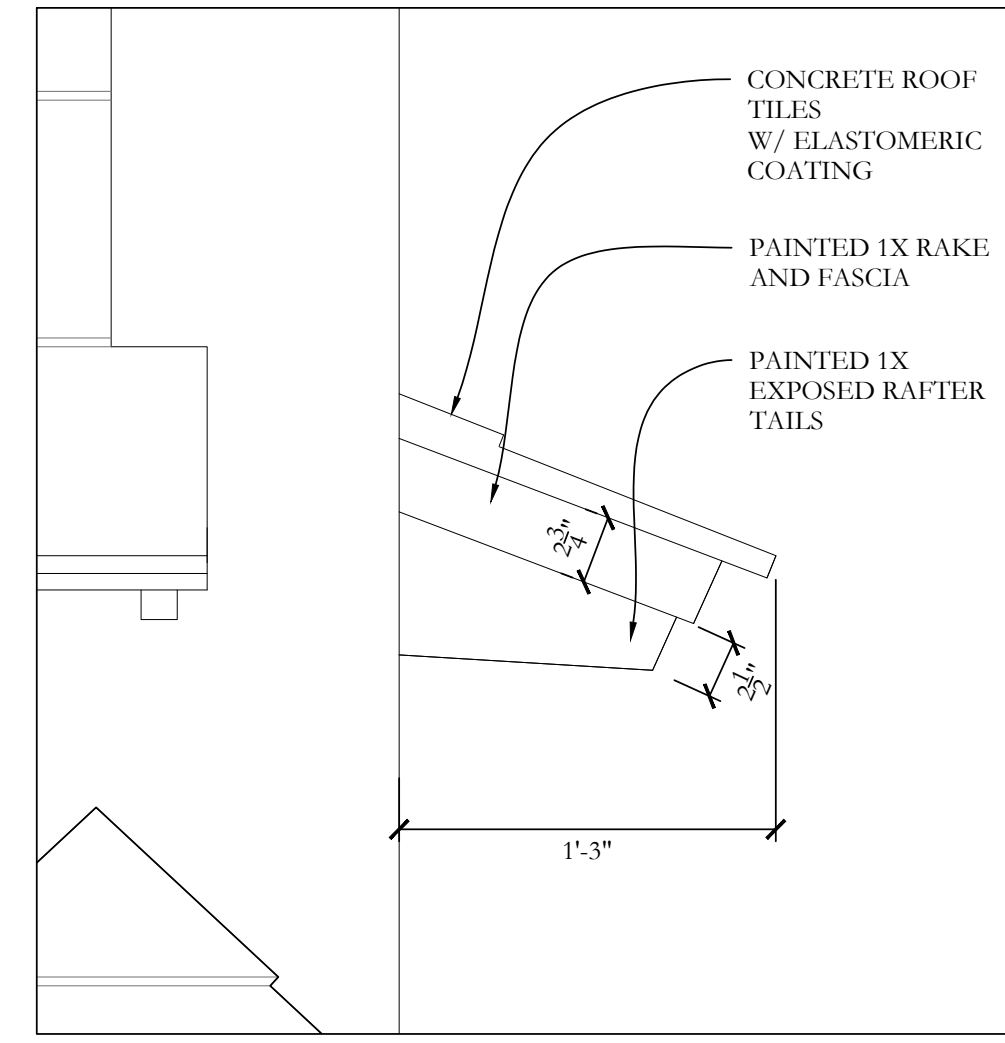
1
A3.1



clock gable elevation det.

1/2" = 1'-0"

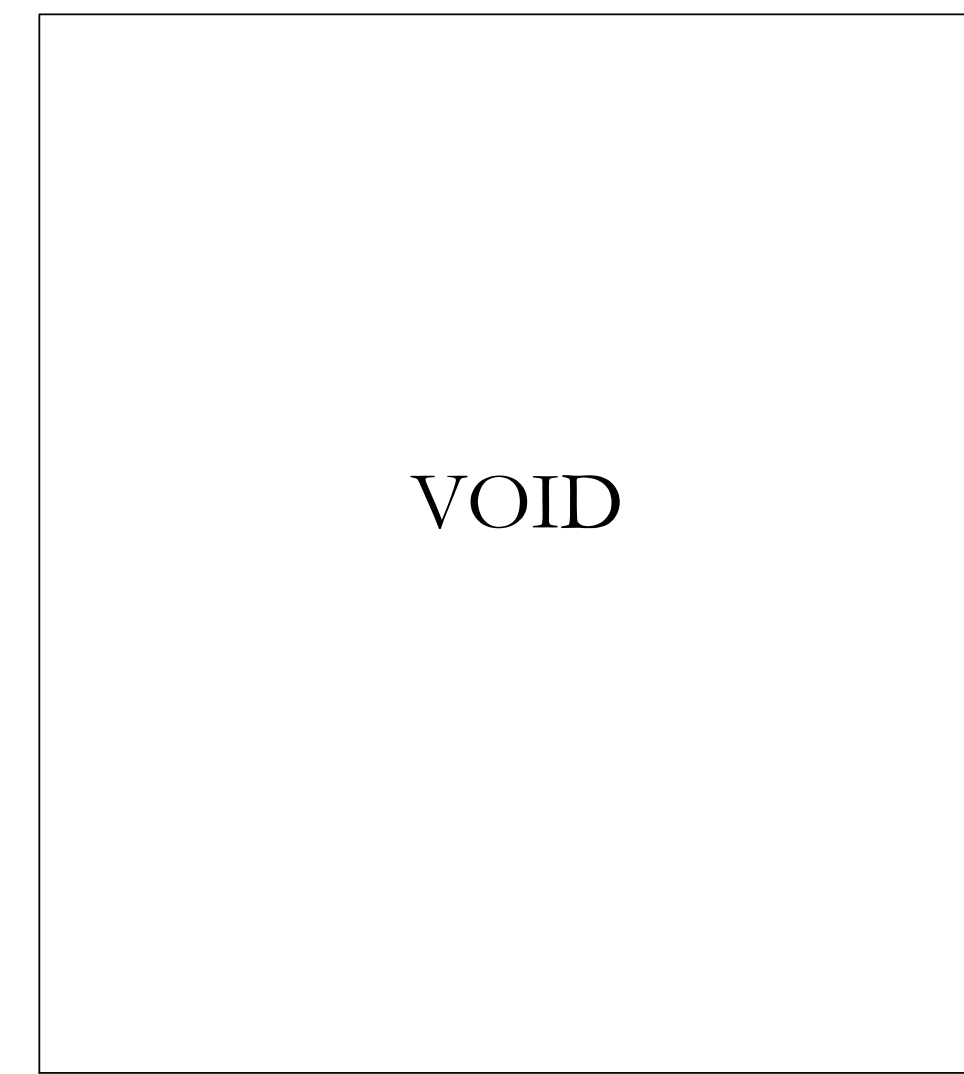
2
A3.1



eave elevation det.

1/2" = 1'-0"

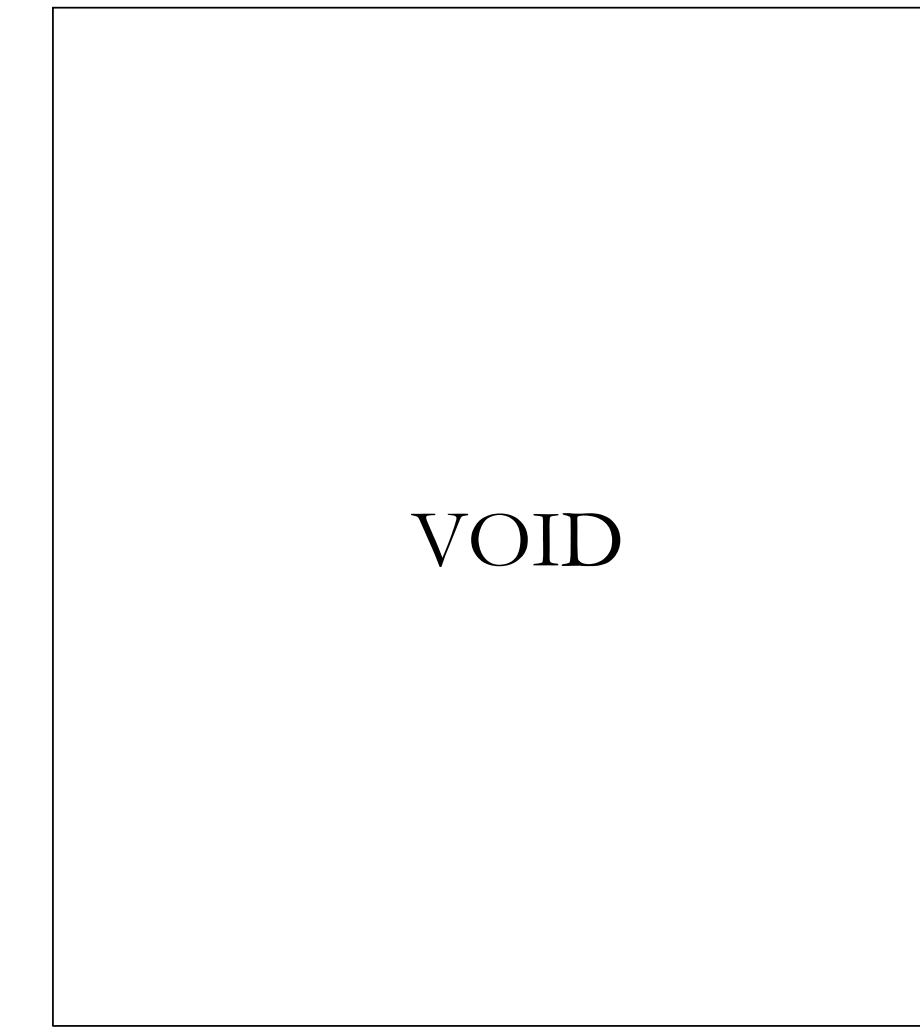
3
A3.1



eave elevation det.

1/2" = 1'-0"

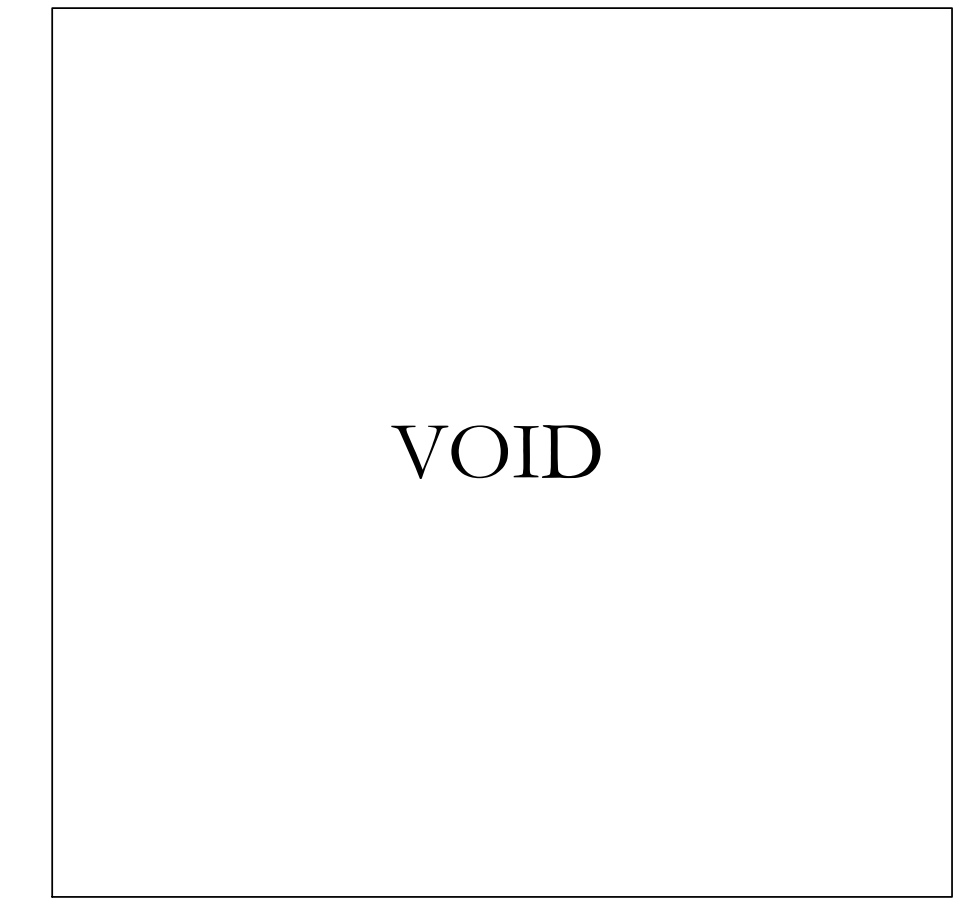
4
A3.1



finial elevation det.

1/2" = 1'-0"

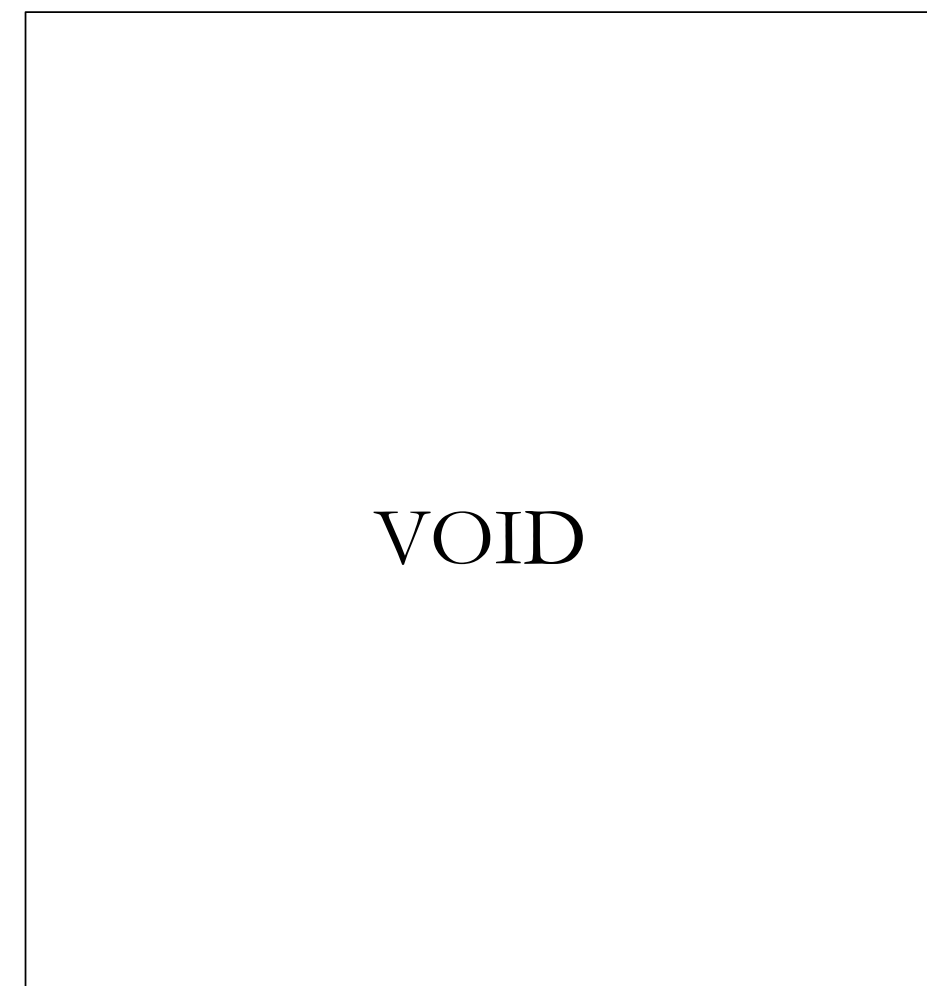
5
A3.1



quoin elevation det.

1/2" = 1'-0"

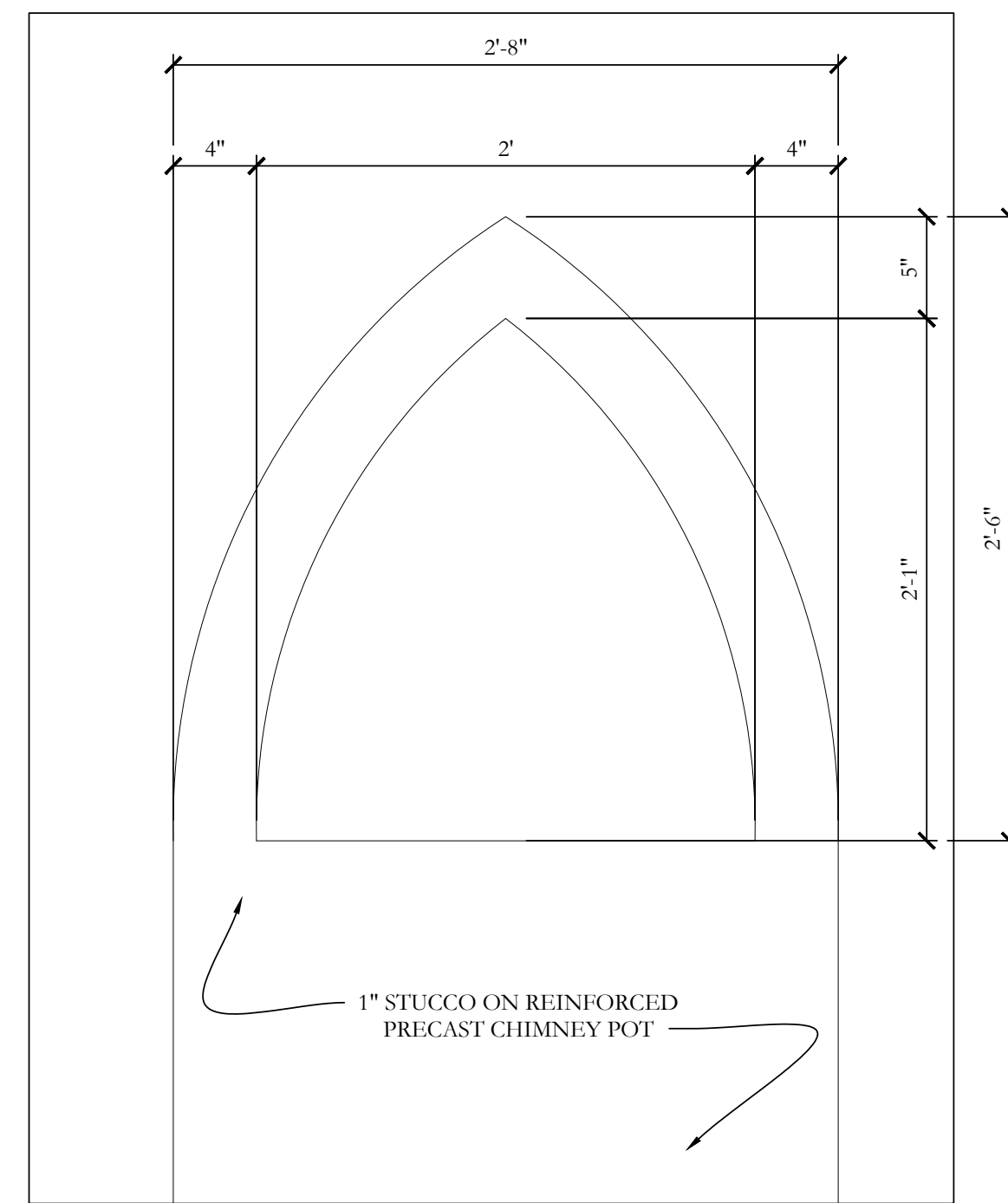
6
A3.1



balcony handrail section det.

1/2" = 1'-0"

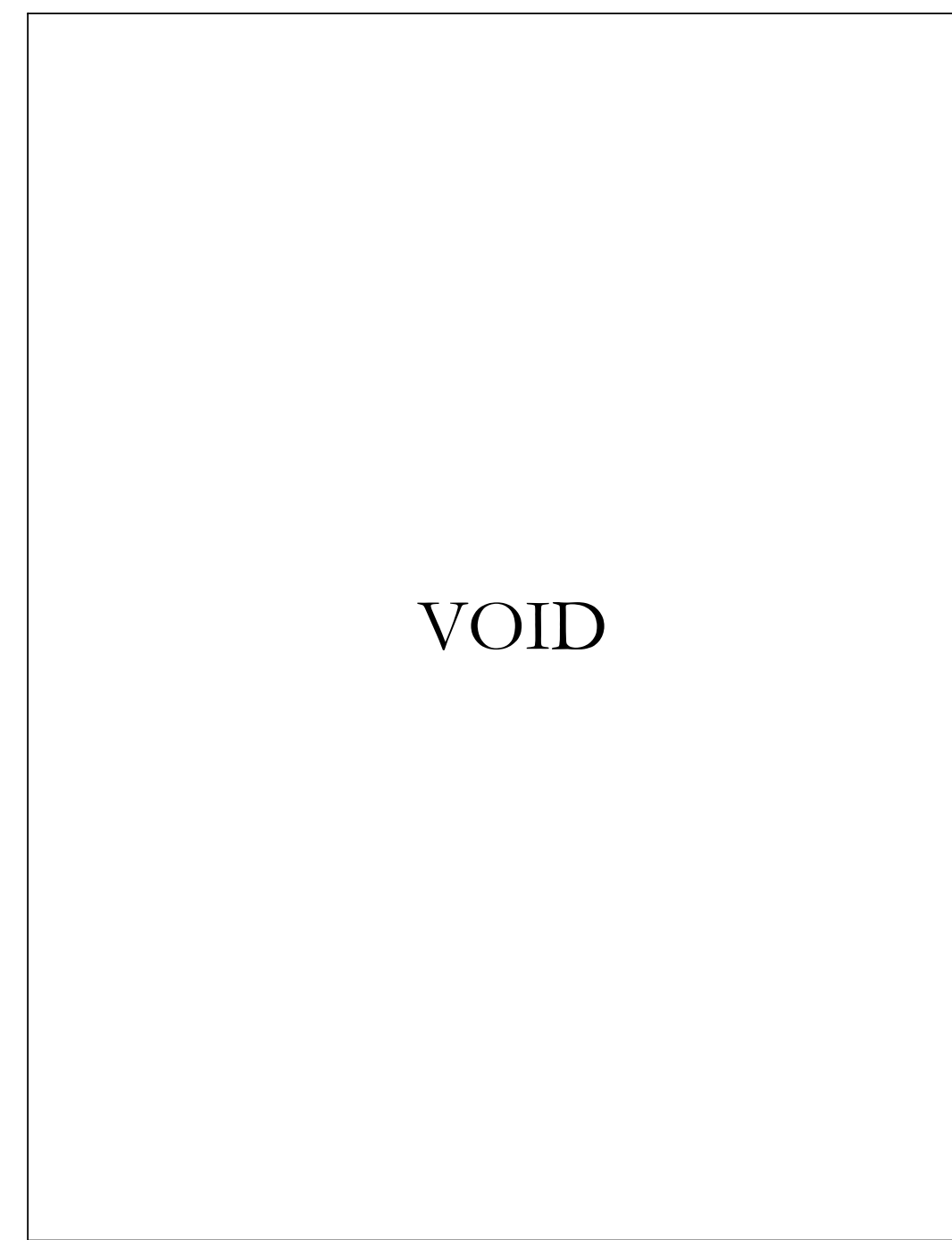
7
A3.1



chimney pot elevation det.

1/2" = 1'-0"

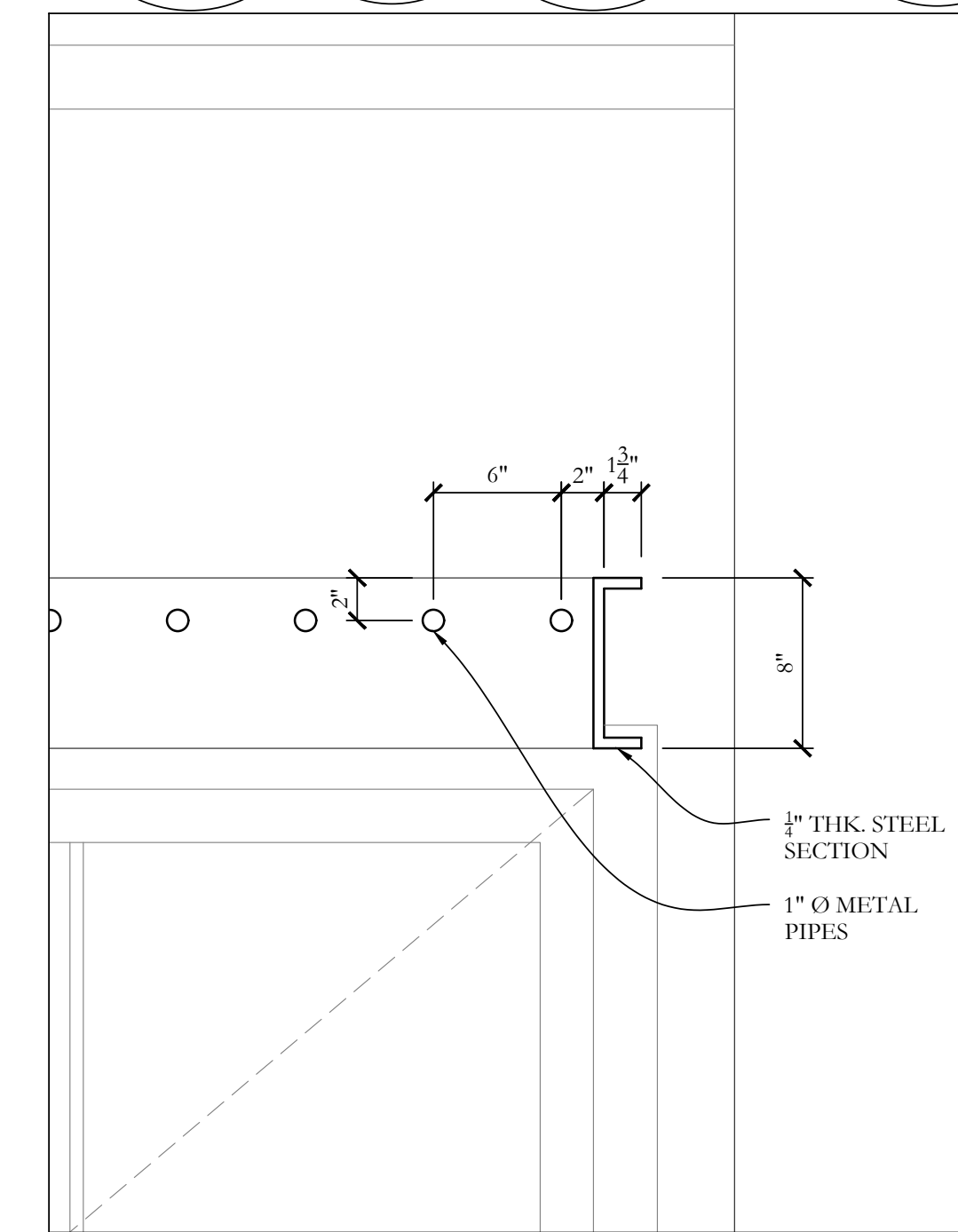
8
A3.1



cabana corner elevation det.

1/2" = 1'-0"

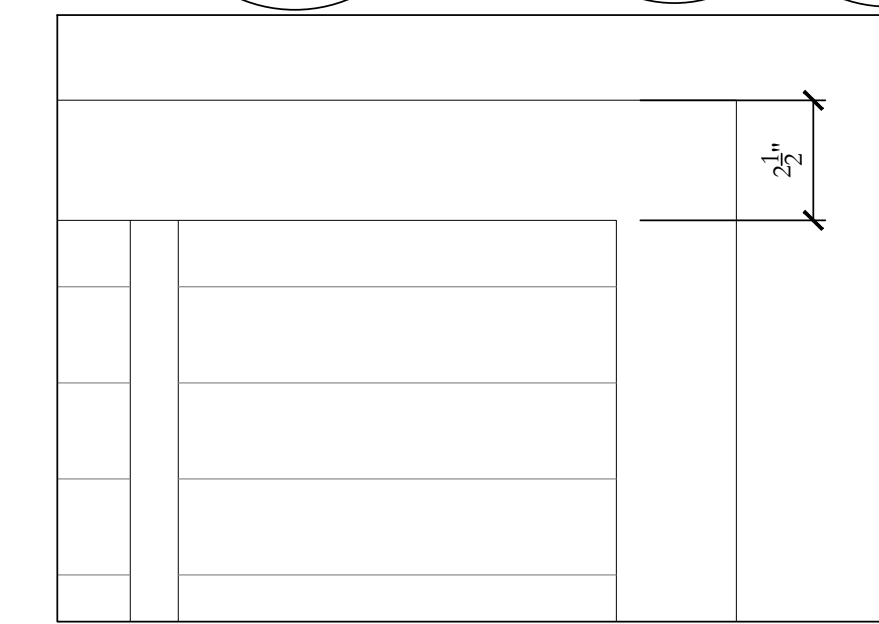
9
A3.1



cabana trellis section det.

1/2" = 1'-0"

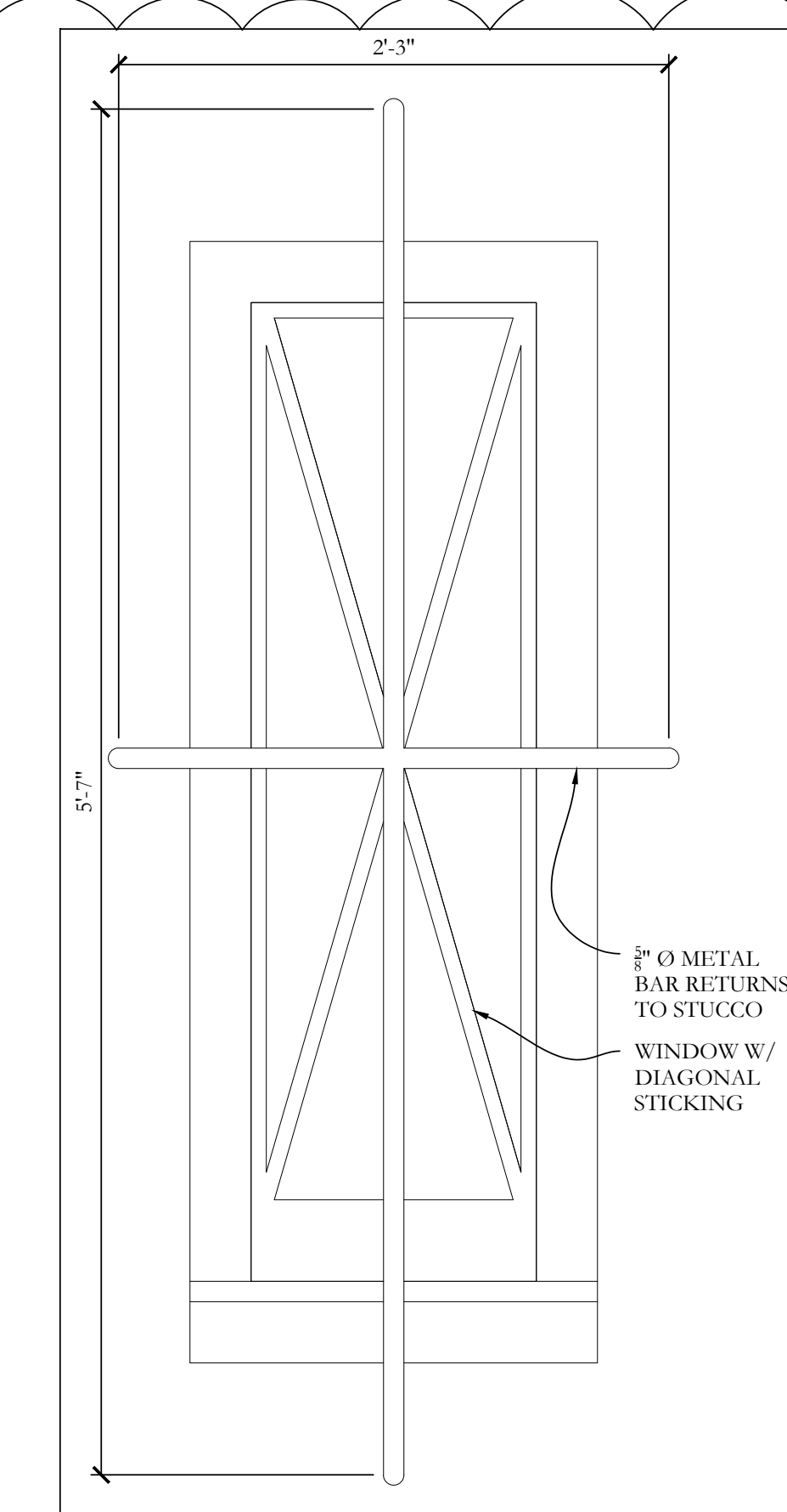
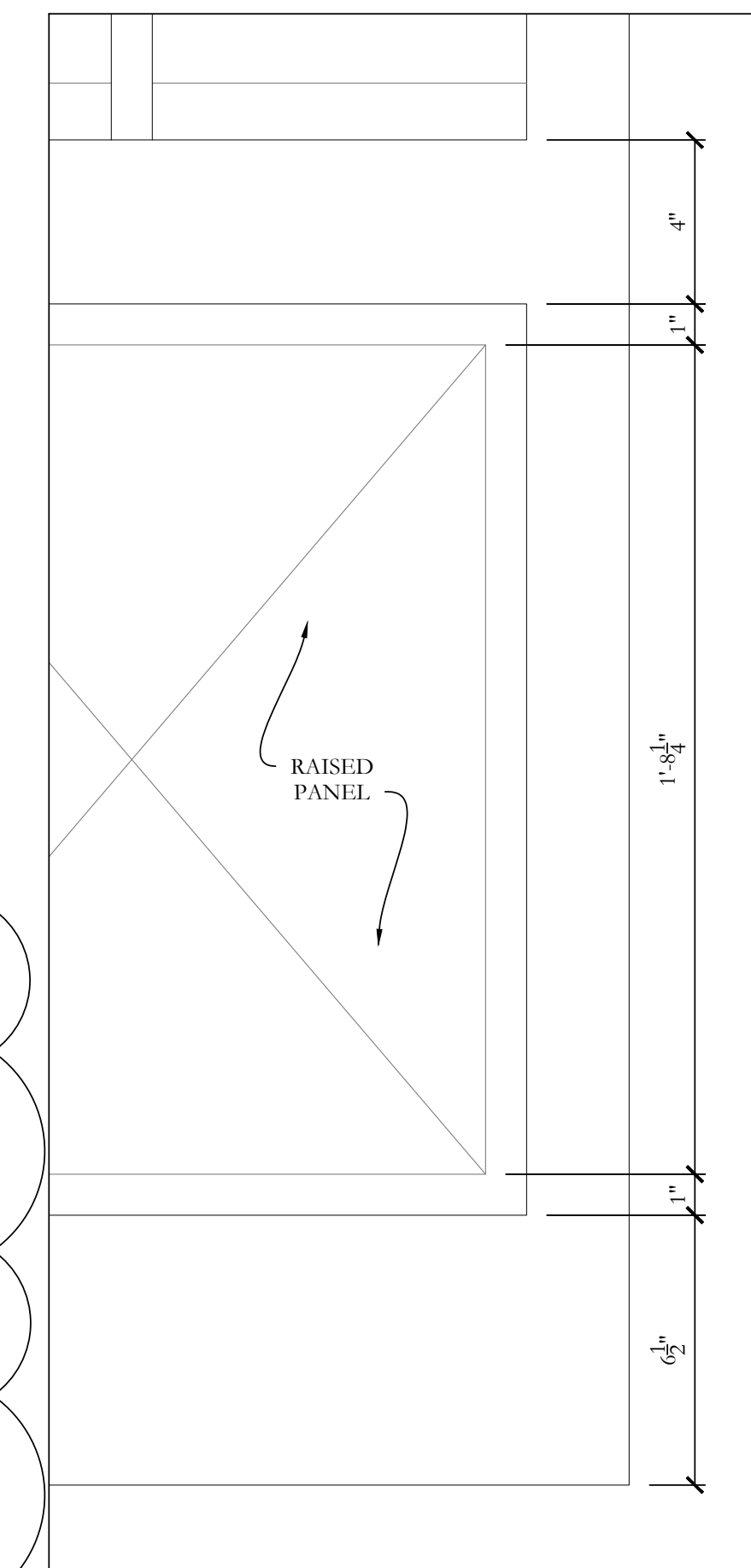
10
A3.1



shutter elevation det.

1/2" = 1'-0"

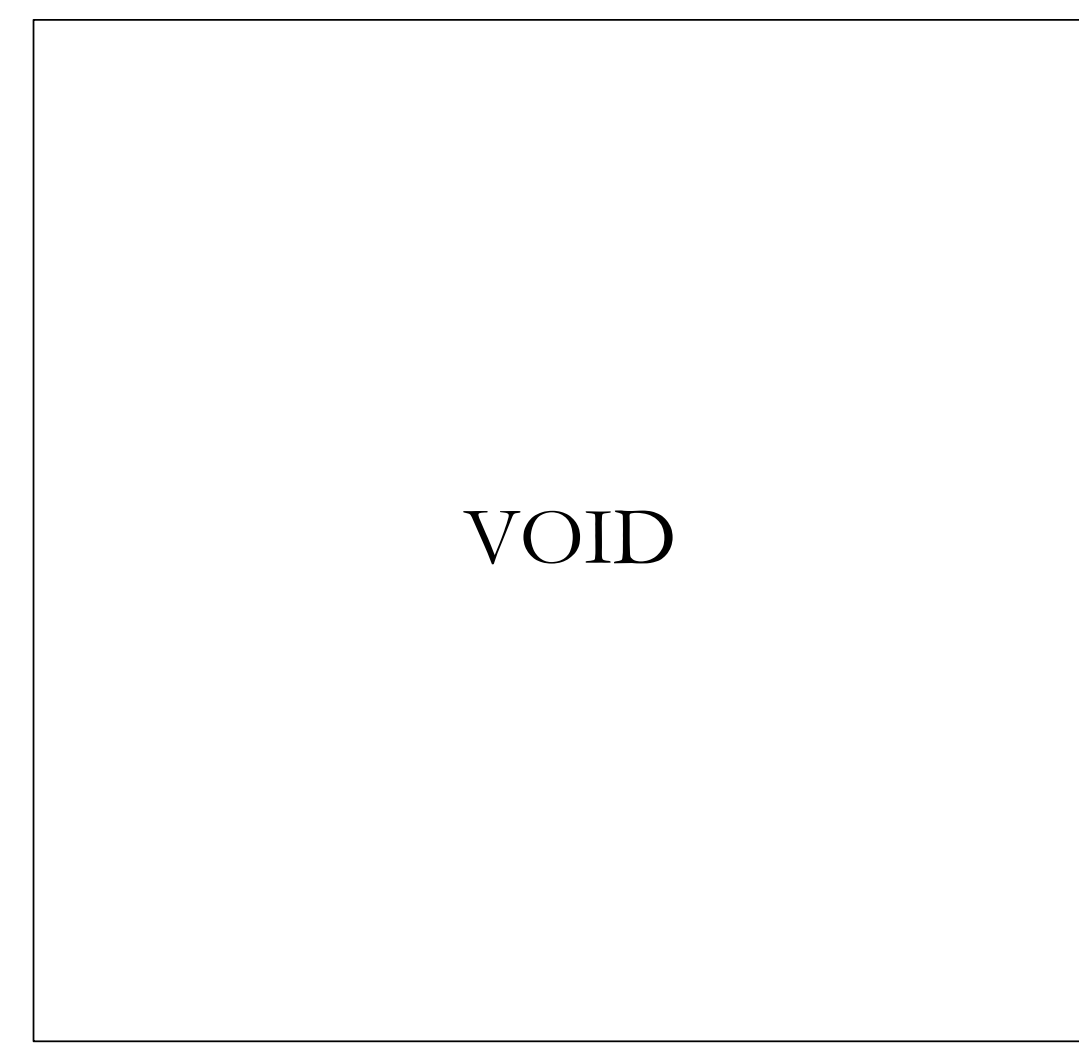
11
A3.1



window bars elevation det.

1/2" = 1'-0"

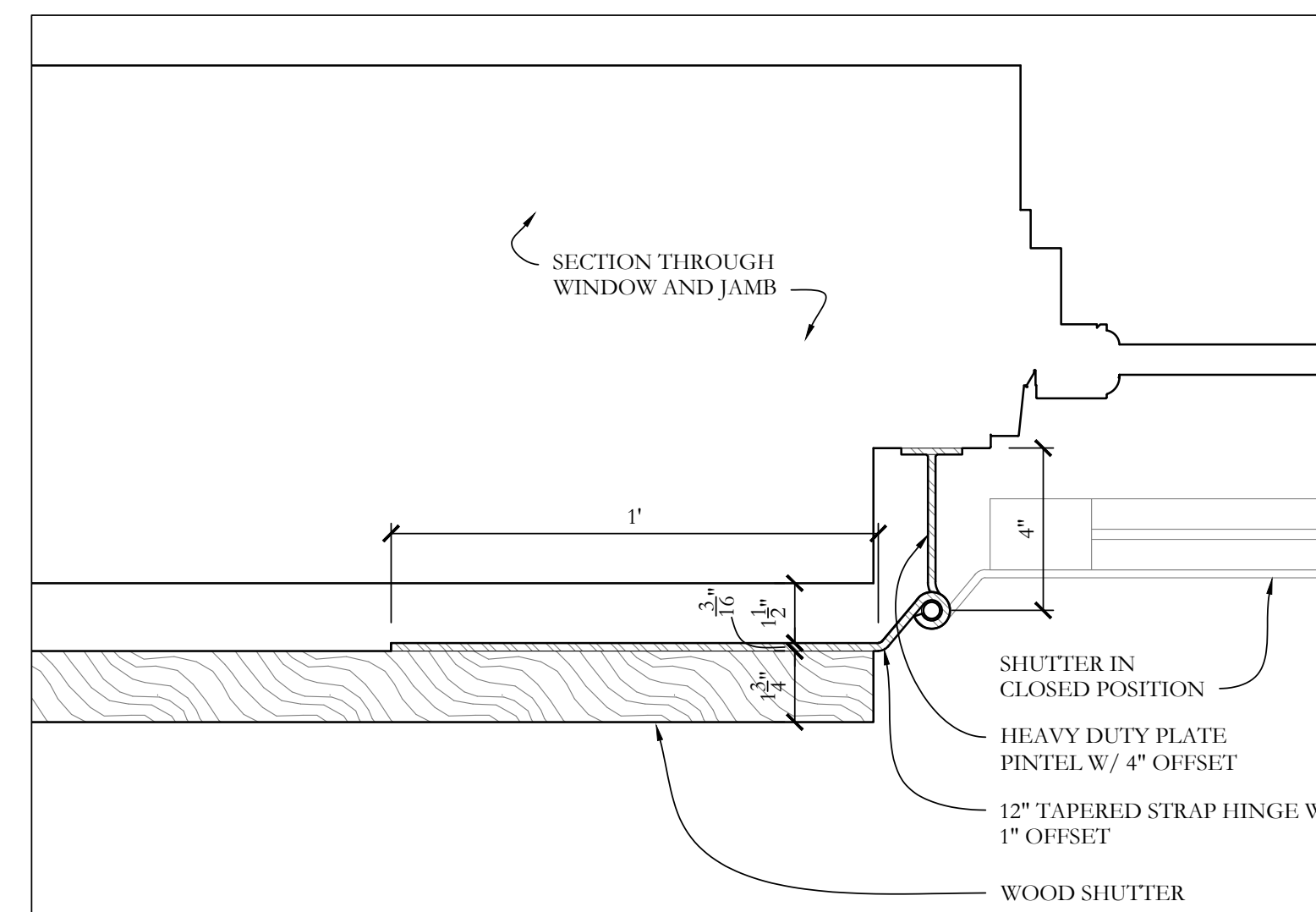
12
A3.1



eave section det.

1/2" = 1'-0"

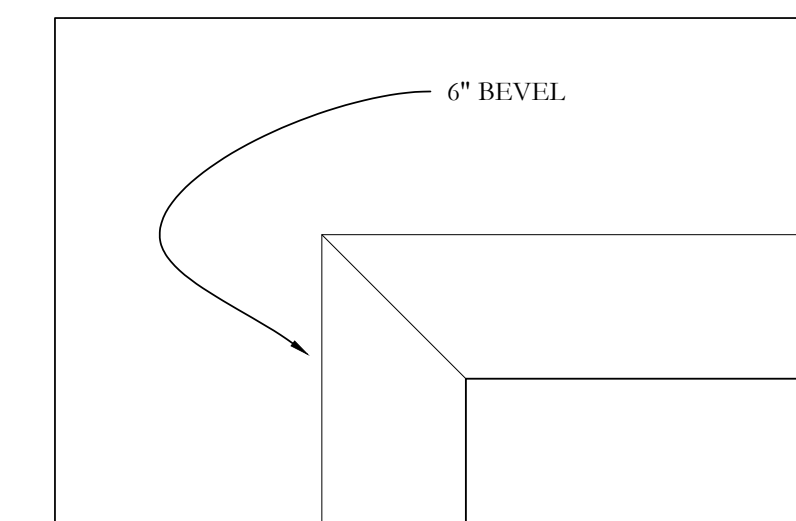
13
A3.1



shutter operability plan detail

3" = 1'-0"

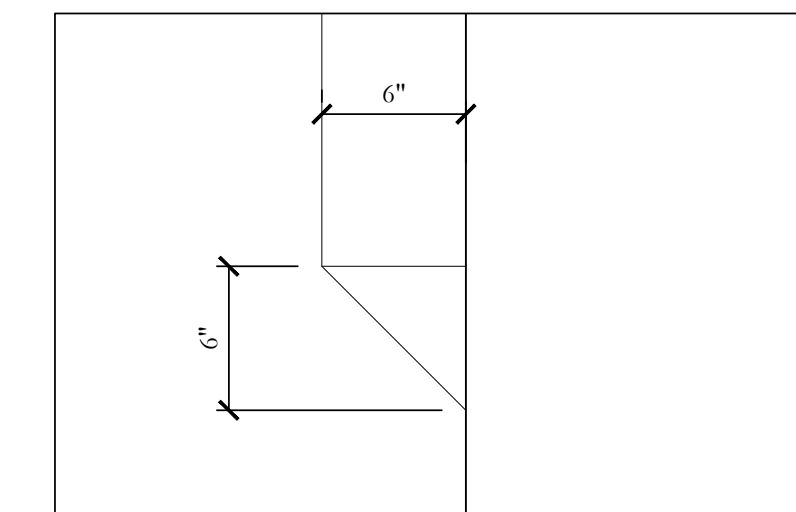
14
A3.1



entry bevel detail

1/2" = 1'-0"

15
A3.1



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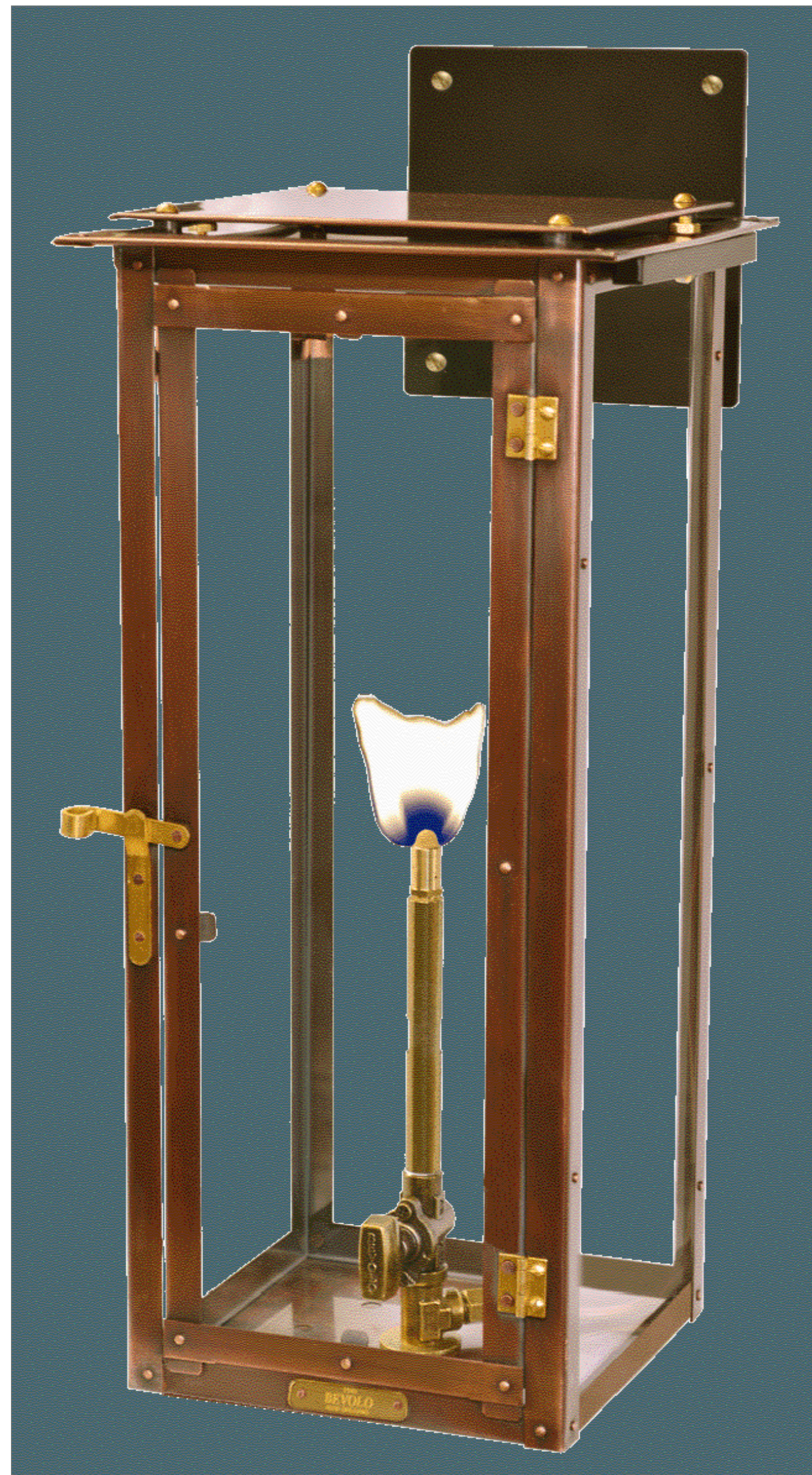
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ZON 23-105

PROJECT
PRE-APP 06/30/2023
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FIRST DEFERRAL 12/15/2023
ARCHITECTURAL DETAILS

TITLE
A3.1
SHEET NO.



*typ. exterior lantern-
27" Bevolo Modernist lantern on shelf bracket*

1
A3.2

n.l.s.



*entry lantern-
custom lantern similar to Hacienda Lights PN-050
hand forged iron seven light*

2
A3.2

n.l.s.



*awning fabric-
Sunbrella maxim heather beige*

3
A3.2

n.l.s.



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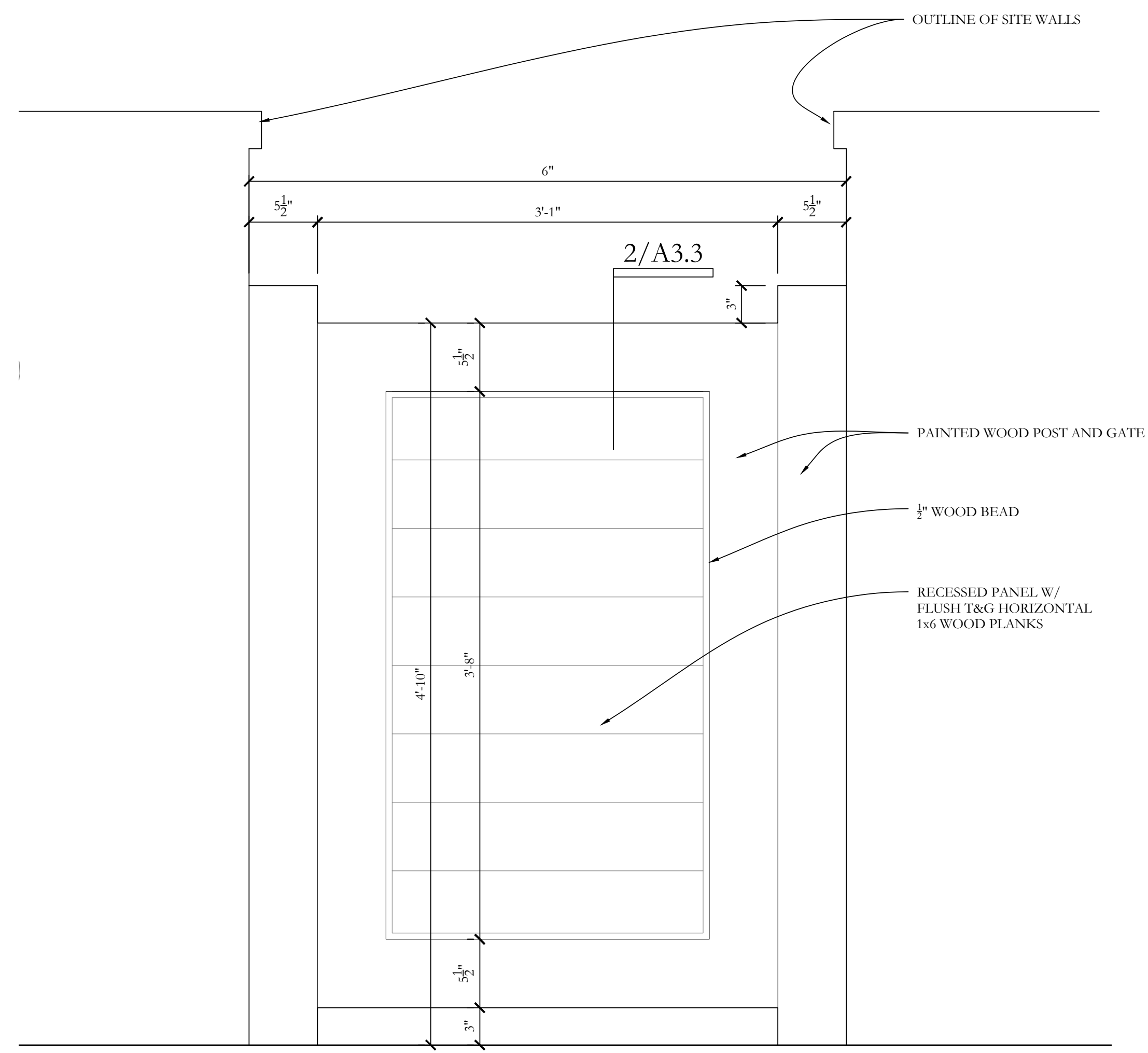
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ARCHITECTURAL
DETAILS

TITLE

A3.2

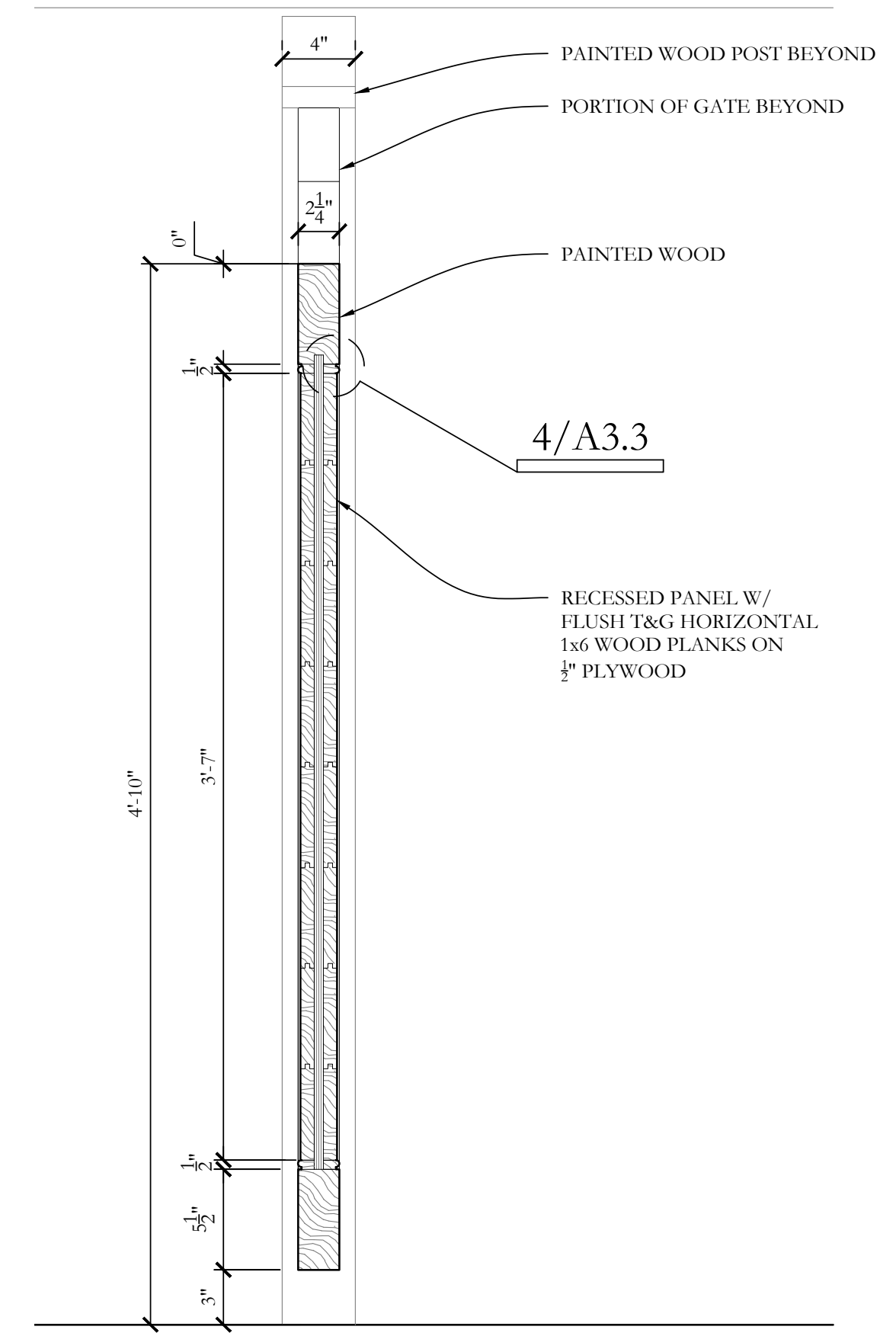
SHEET NO



gate elevation

1 1/2" = 1'-0"

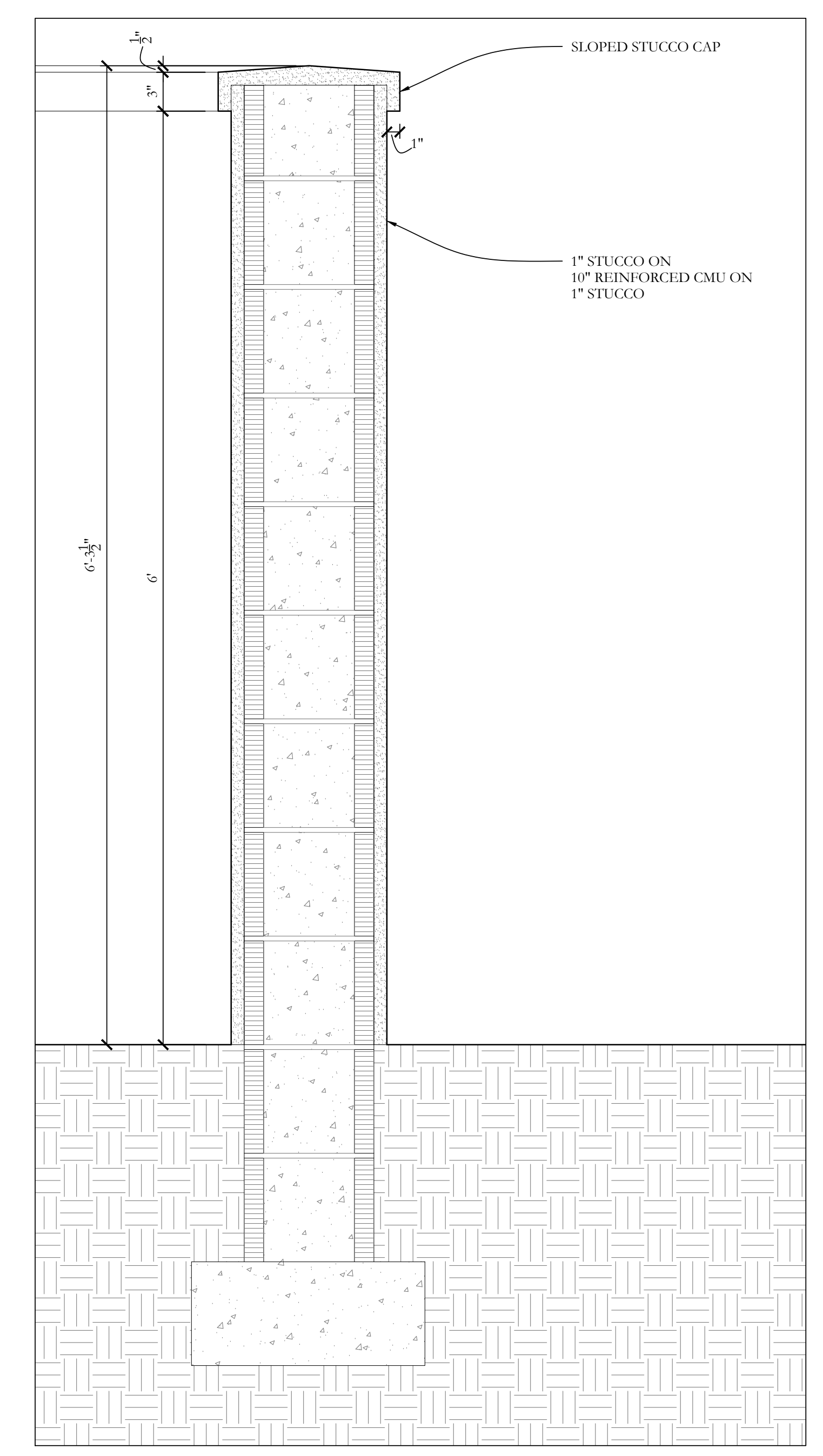
1
A3.3



gate elevation

1 1/2" = 1'-0"

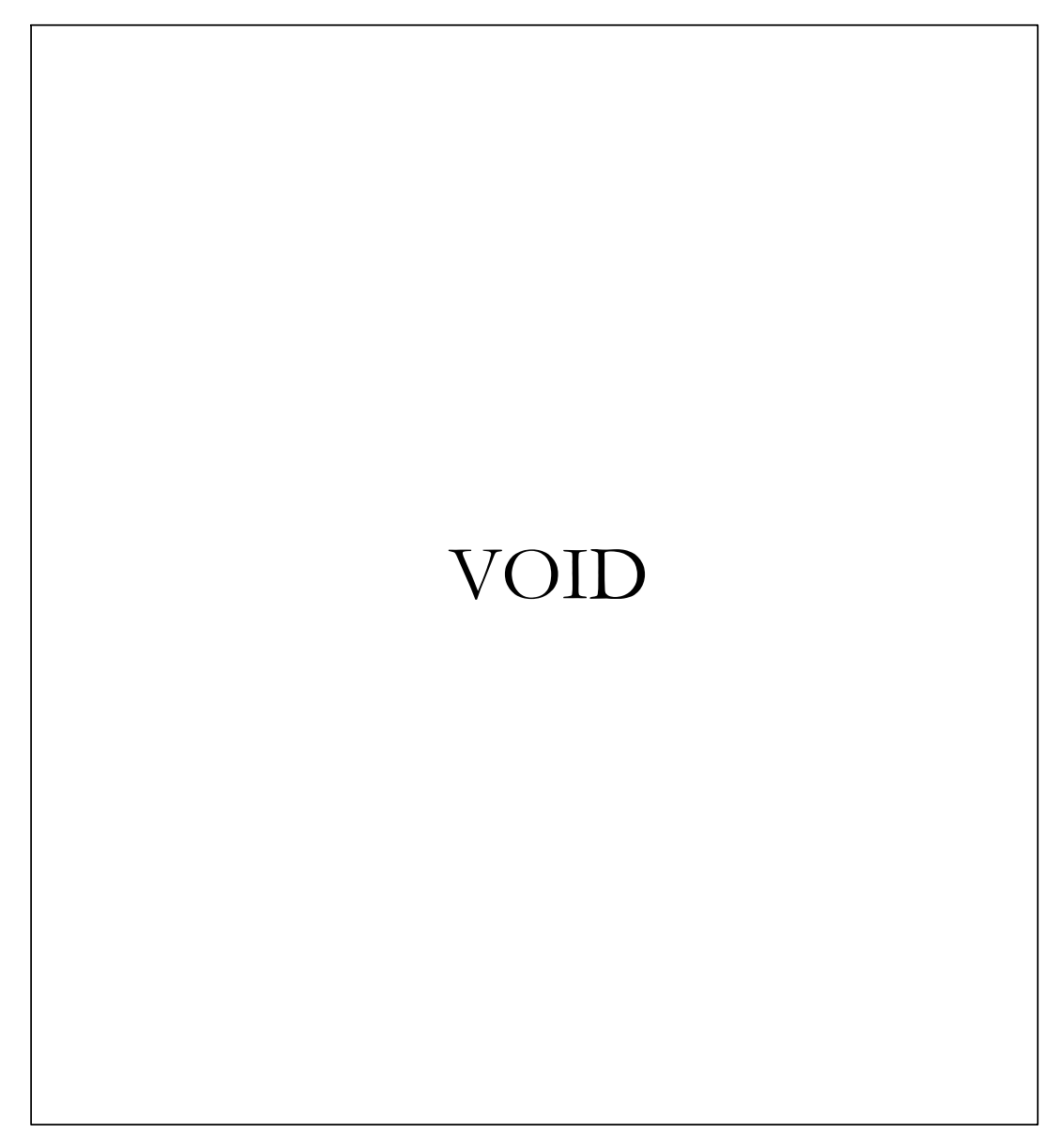
2
A3.3



gate section

1 1/2" = 1'-0"

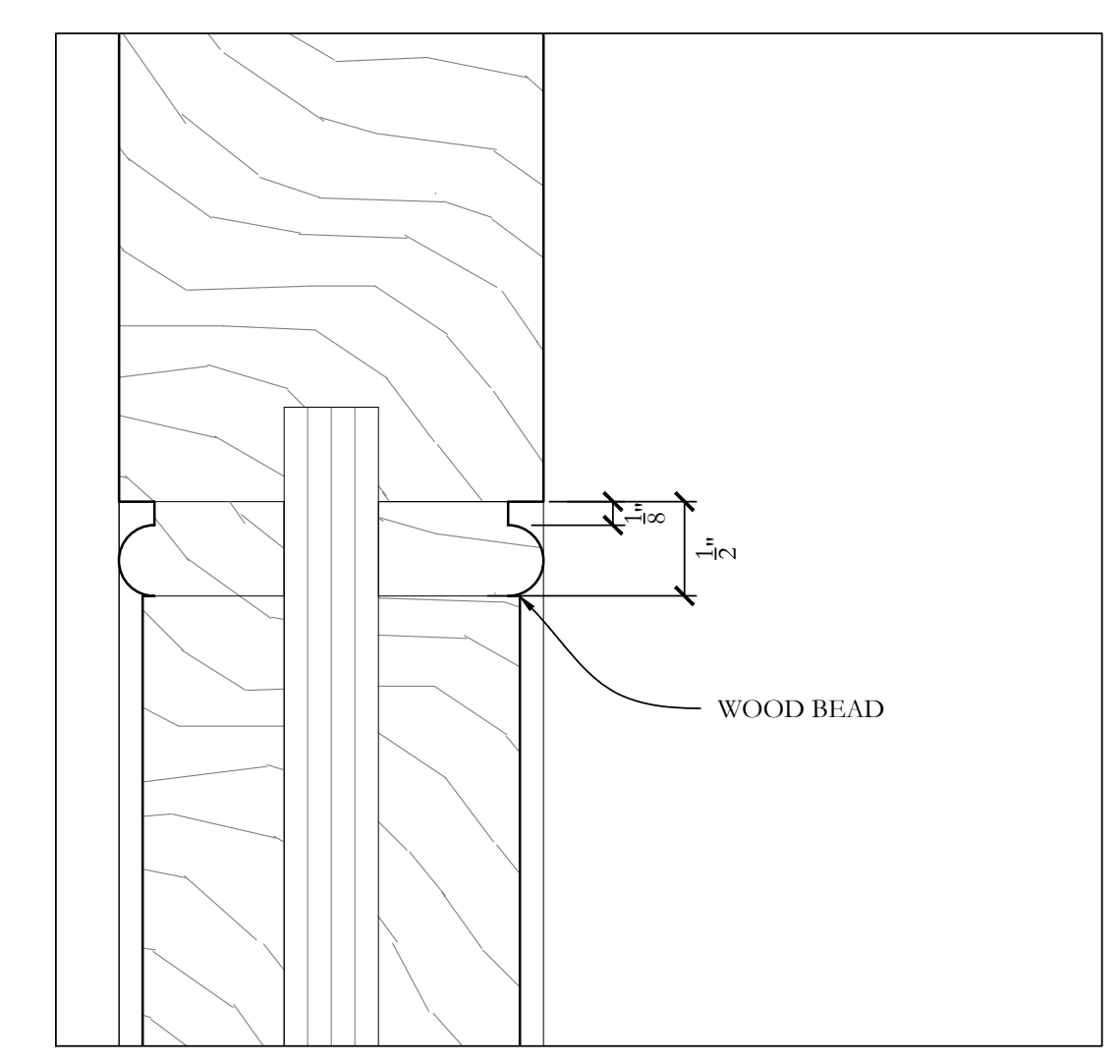
5
A3.3



gate detail

full scale

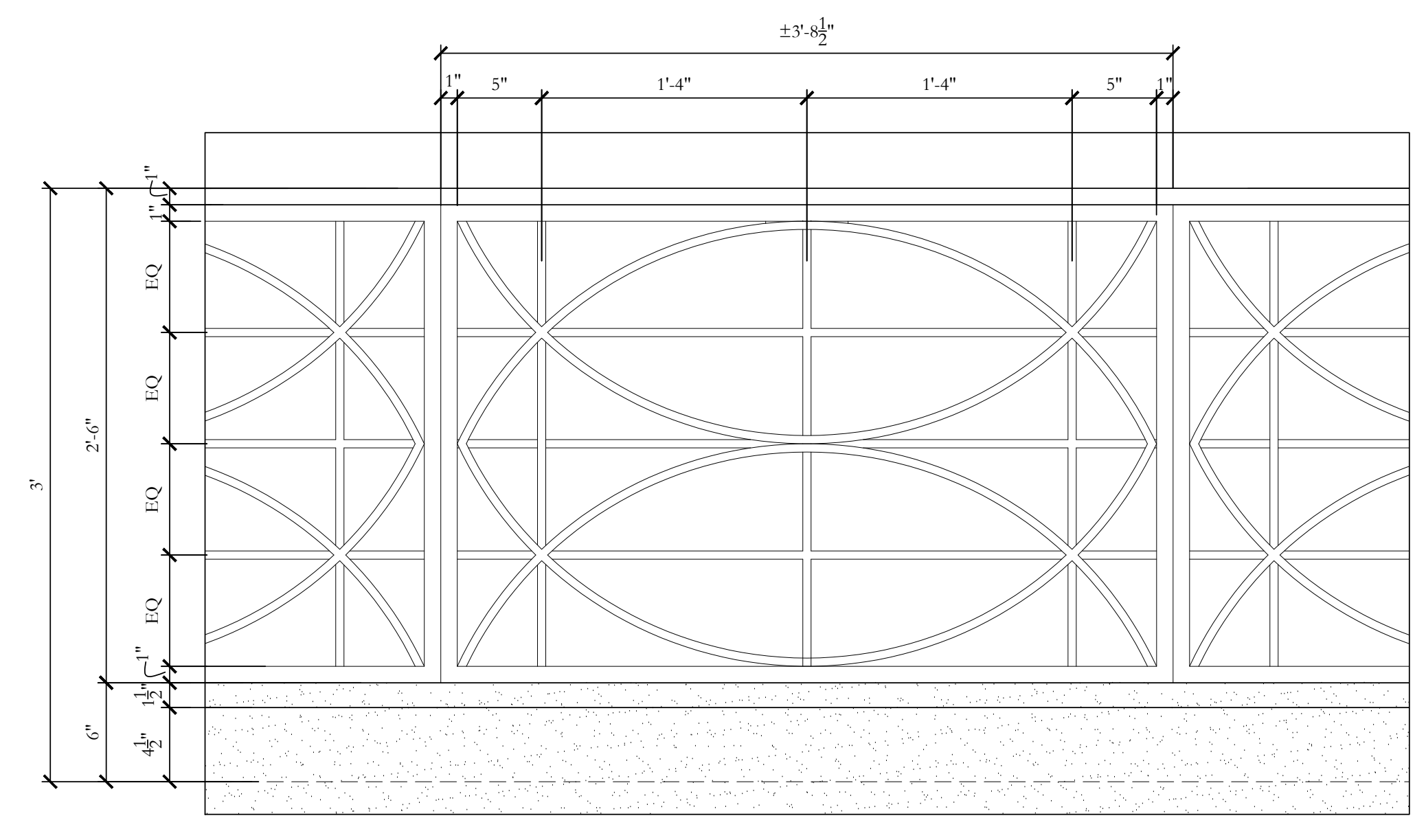
3
A3.3



gate elevation

full scale

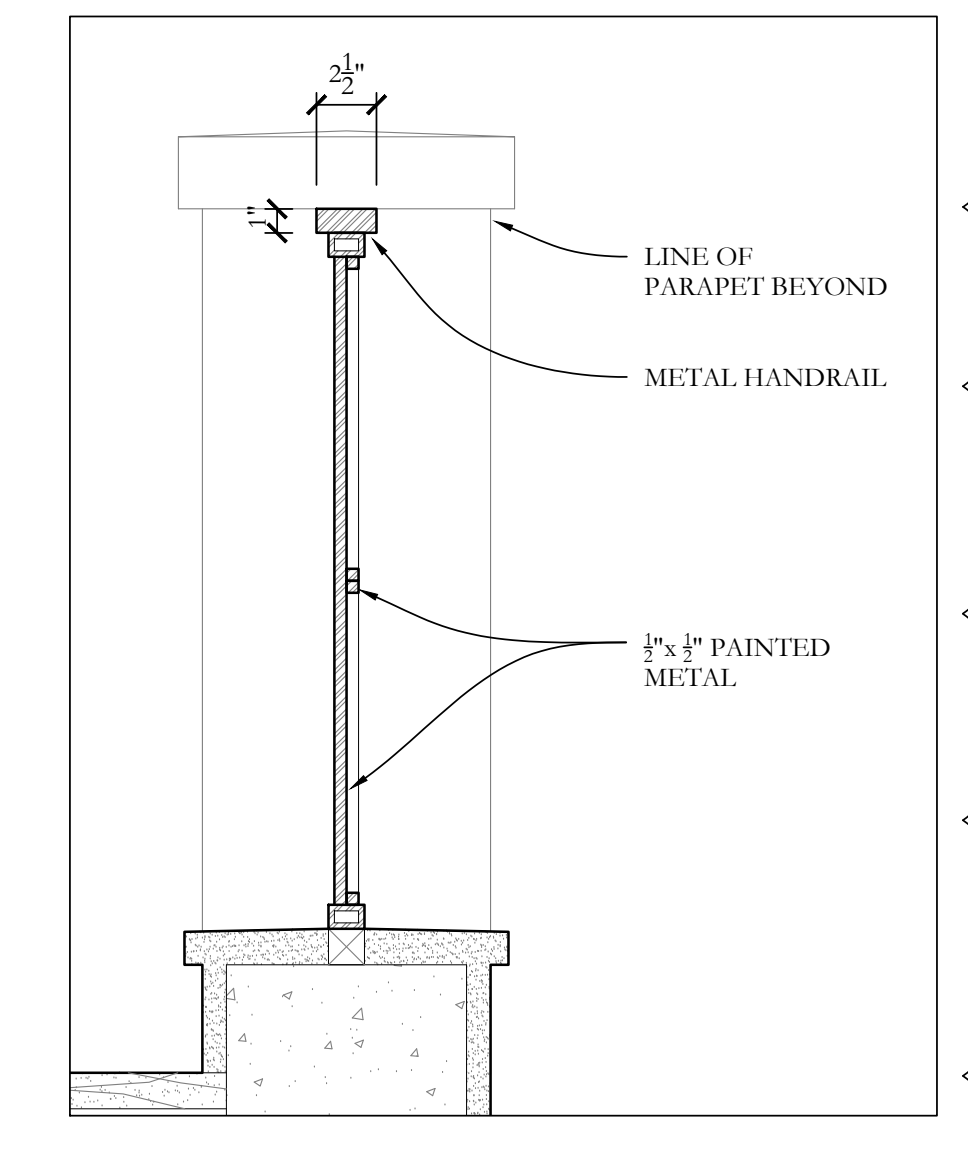
4
A3.3



guardrail elevation

full scale

5
A3.3



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GATE/WALL/GUARDRAIL DETAILS

TITLE

SHEET NO
A3.3