

McKENNA RESIDENCE

152 CHILEAN AVENUE, PALM BEACH, FLORIDA

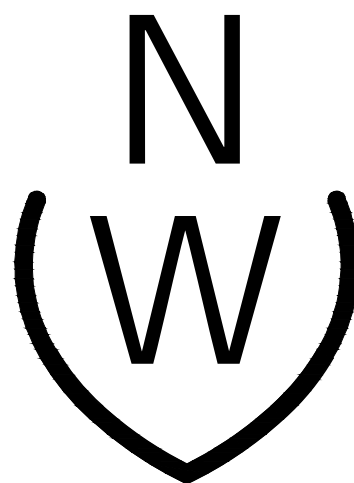
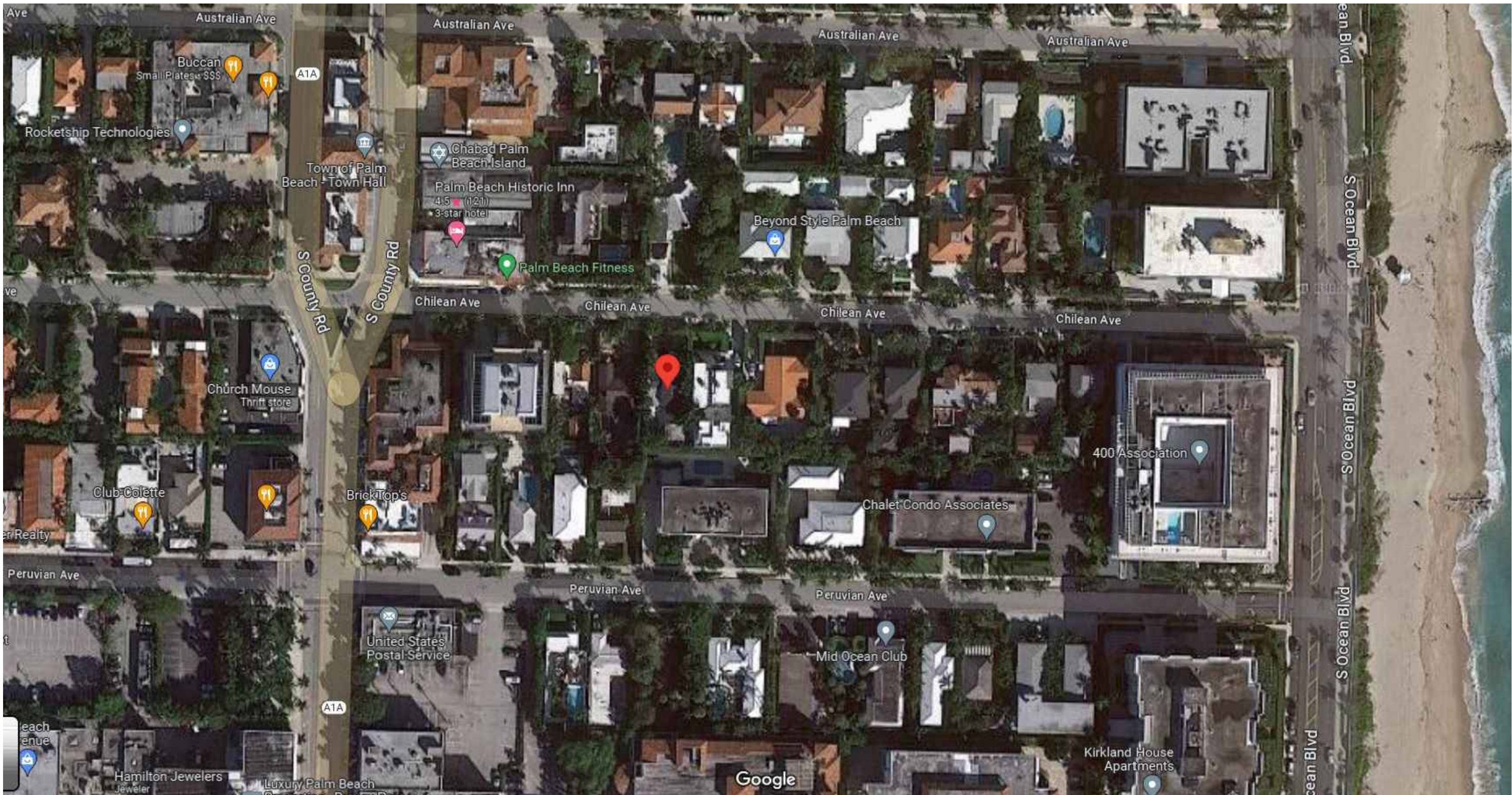
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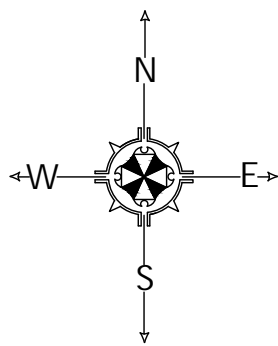
MEETING: DECEMBER 15, 2023

SHEET LEGEND:
EX1: LOCATION PLAN
EX2: EXISTING CONDITIONS
EX3: EXISTING SITE PHOTOS
CSP: CONSTRUCTION SCREENING PLAN AND TRUCK LOGISTICS
SITE: SITE PLAN RENDERING
LP1: PROPOSED LANDSCAPE PLAN
LP2: PLANT LIST, DETAILS, NATIVE AND SITE CALCULATIONS
LP3: PROPOSED MATERIAL IMAGES
OS1: OPEN SPACE DIAGRAM
OS2: LANDSCAPE ALTERATION DIAGRAM
SURVEY

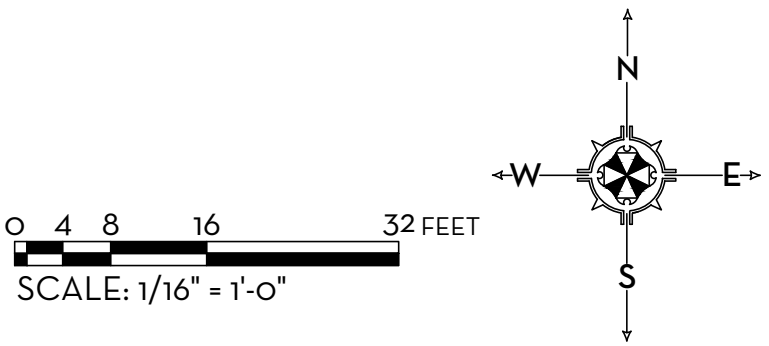
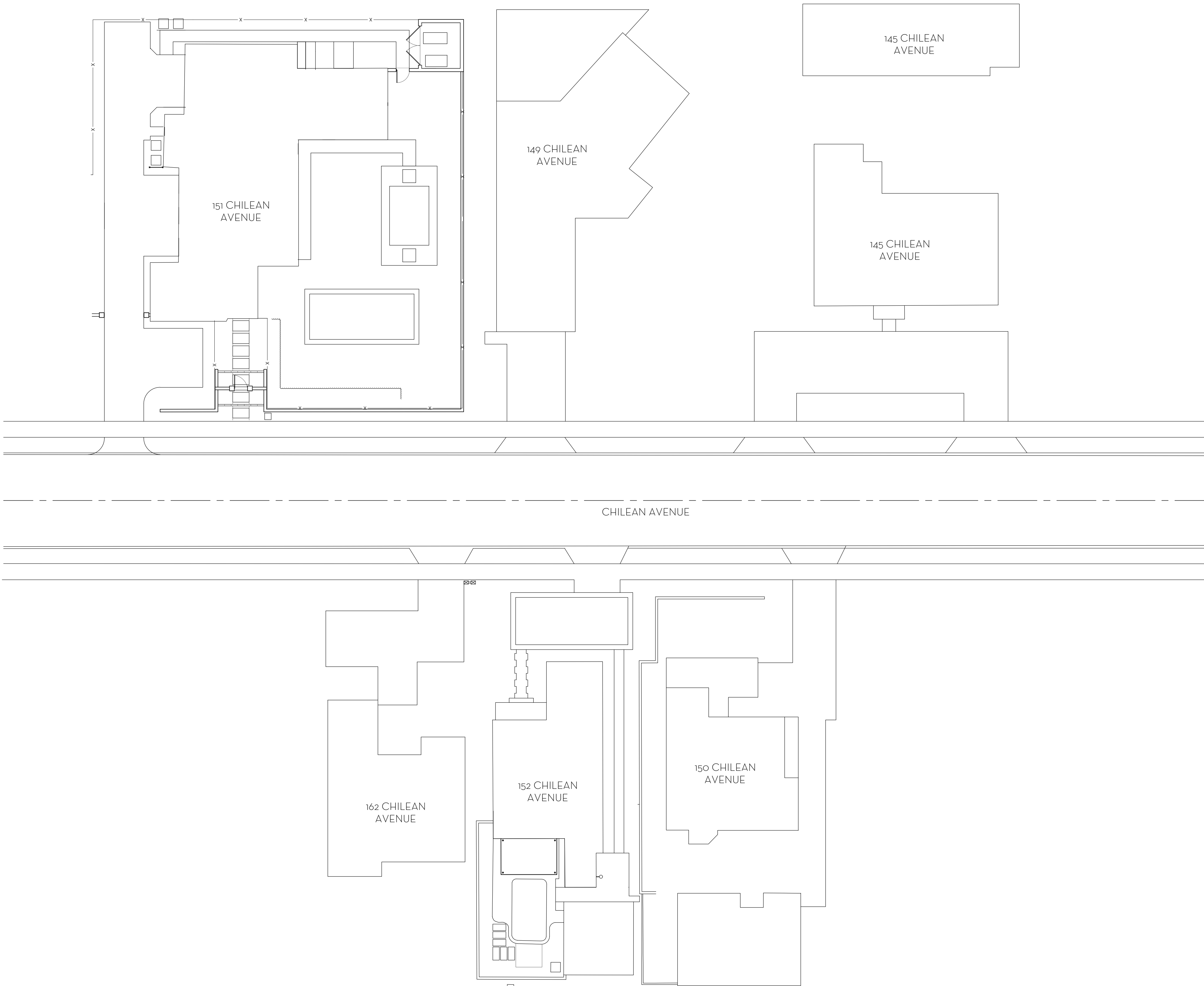
SCOPE:
· NEW DRIVEWAY
· NEW FRONT HEDGE
· PLANTING UPDATES



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VICINITY MAP



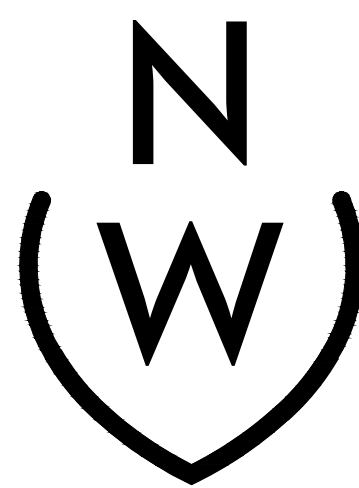
MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

LOCATION PLAN
MCKENNA RESIDENCE

152 CHILEAN AVENUE, PALM BEACH, FL.
23 OCTOBER 2023 SECOND SUBMITTAL
05 OCTOBER 2023 - FIRST SUBMITTAL

SCALE: 1/16" = 1'-0"

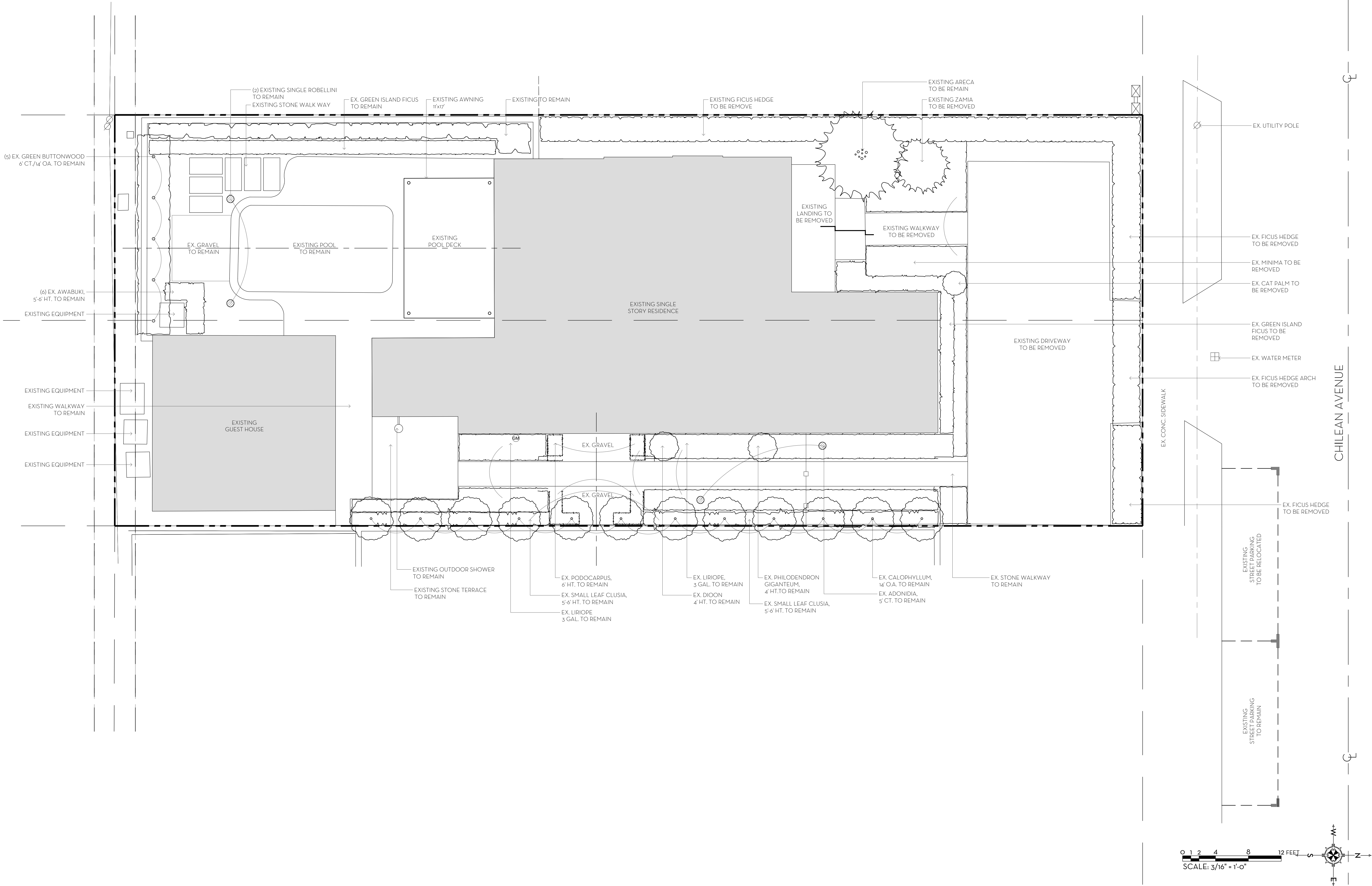


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EX1



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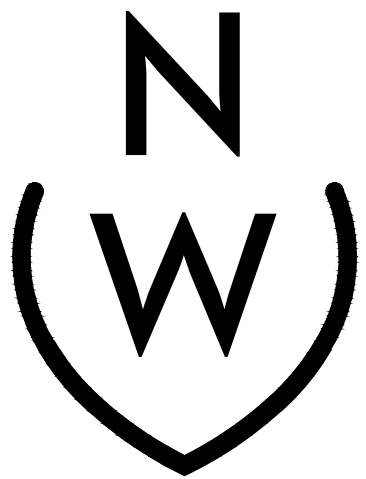
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EXISTING CONDITIONS

MCKENNA RESIDENCE

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EX2

SCALE: 3/16" = 1'-0"



FRONT VIEW FROM STREET



EXISTING DRIVEWAY LOOKING WEST



EXISTING DRIVEWAY LOOKING EAST



EXISTING FRONT ENTRY

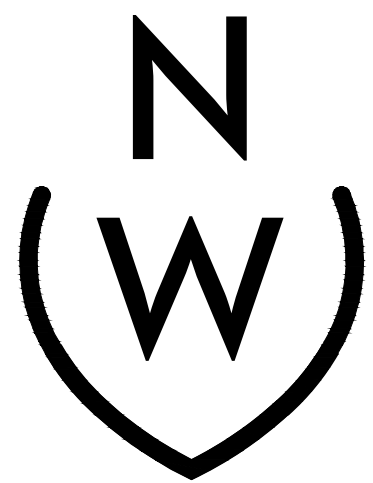
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EXISTING SITE PHOTOS

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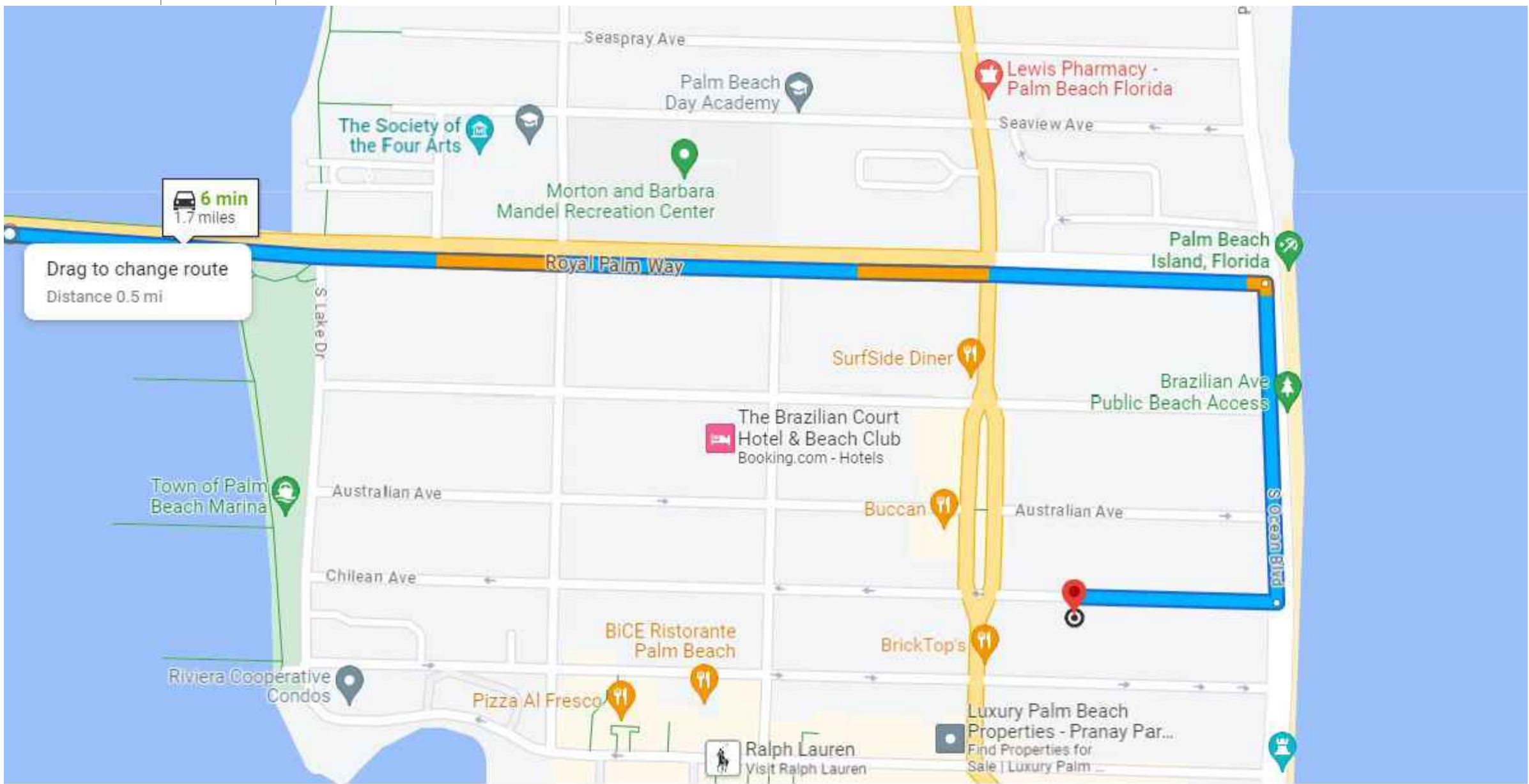
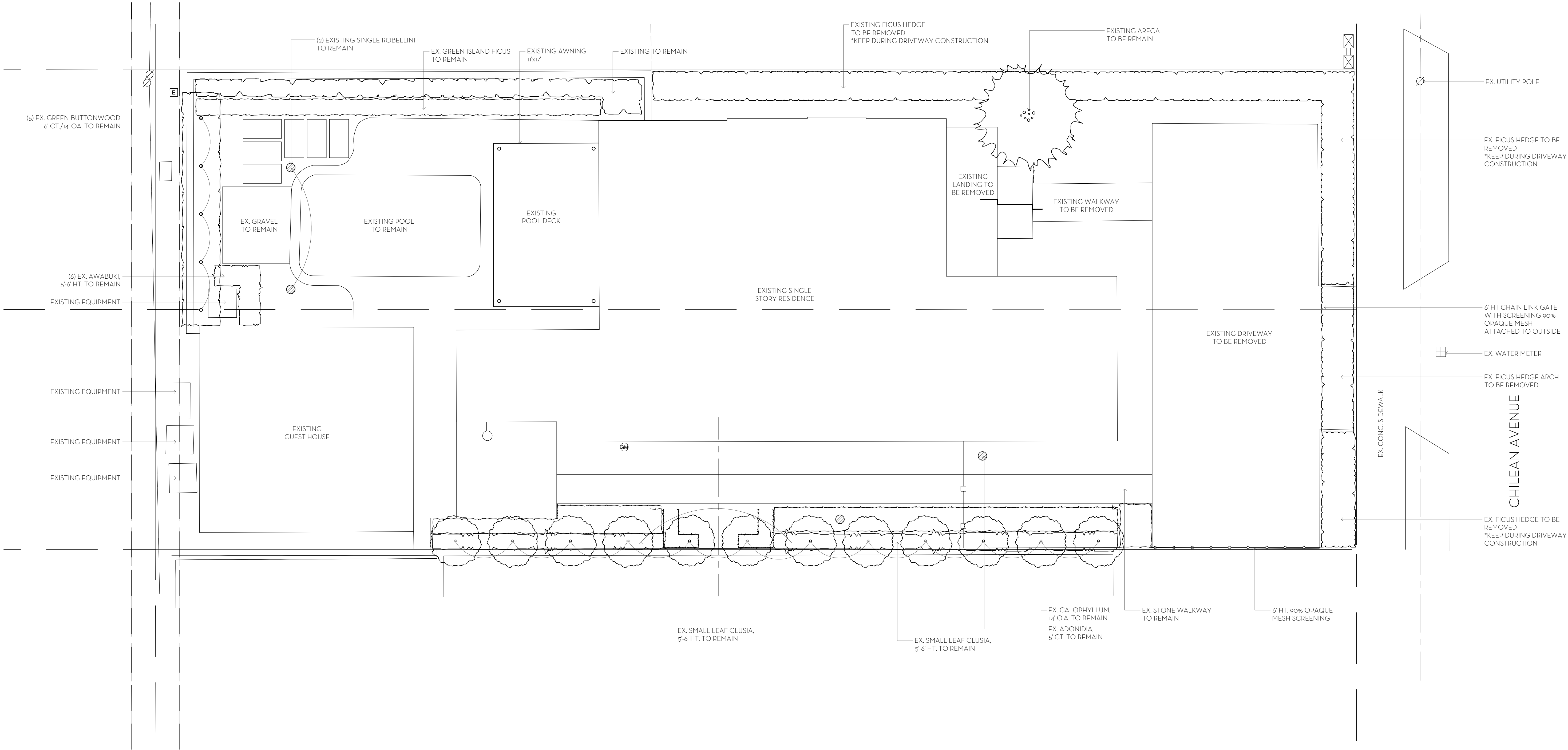


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EX3



TRUCK ROUTE

MAXIMUM TRUCK SIZE: 30 FEET

ESTIMATED NUMBER OF TRUCK TRIPS: 10-12
(DEMOLITION, BASE INSTALLATION, NEW DRIVEWAY, PLANTING INSTALLATION)

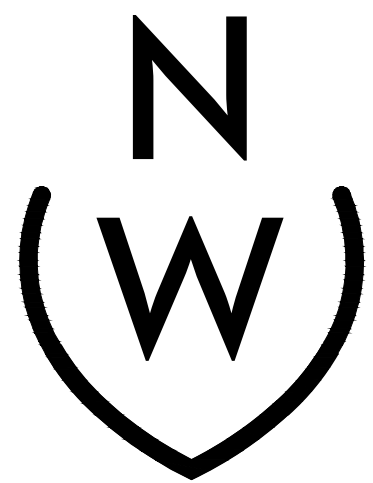


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CONSTRUCTION SCREENING PLAN
MCKENNA RESIDENCE

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CSP

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SITE PLAN RENDERING
MCKENNA RESIDENCE

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SITE

OVERALL R-B SITE CALCULATIONS:

SITE AREA = 6,250 SQ FT 100%

MINIMUM LANDSCAPE:
REQUIRED = 2,813 SQ FT 45%
EXISTING = 1,922 SQ FT 30.75%
PROPOSED = 2,059 SQ FT 32.9%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA = 1,250 SQ FT 100%

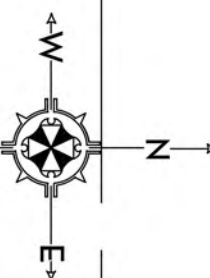
MINIMUM LANDSCAPE:
REQUIRED = 500 SQ FT 40%
EXISTING = 399 SQ FT 31.92%
PROPOSED = 715 SQ FT 46.1%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA = 3,100 SQ FT

MINIMUM LANDSCAPE:
(50% OF 2,813 SF) = 1,406.5 REQUIRED
EXISTING = 1,608 SQ FT
PROPOSED = 1,686 SQ FT

0 1 2 4 8 12 FEET
SCALE: 3/16" = 1'-0"



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152 CHILEAN AVENUE, PALM BEACH, FL.

152 CH
23 OCTOBER 2023 SECOND SUBMITTAL
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SCALE: 3/16" = 1'-0"

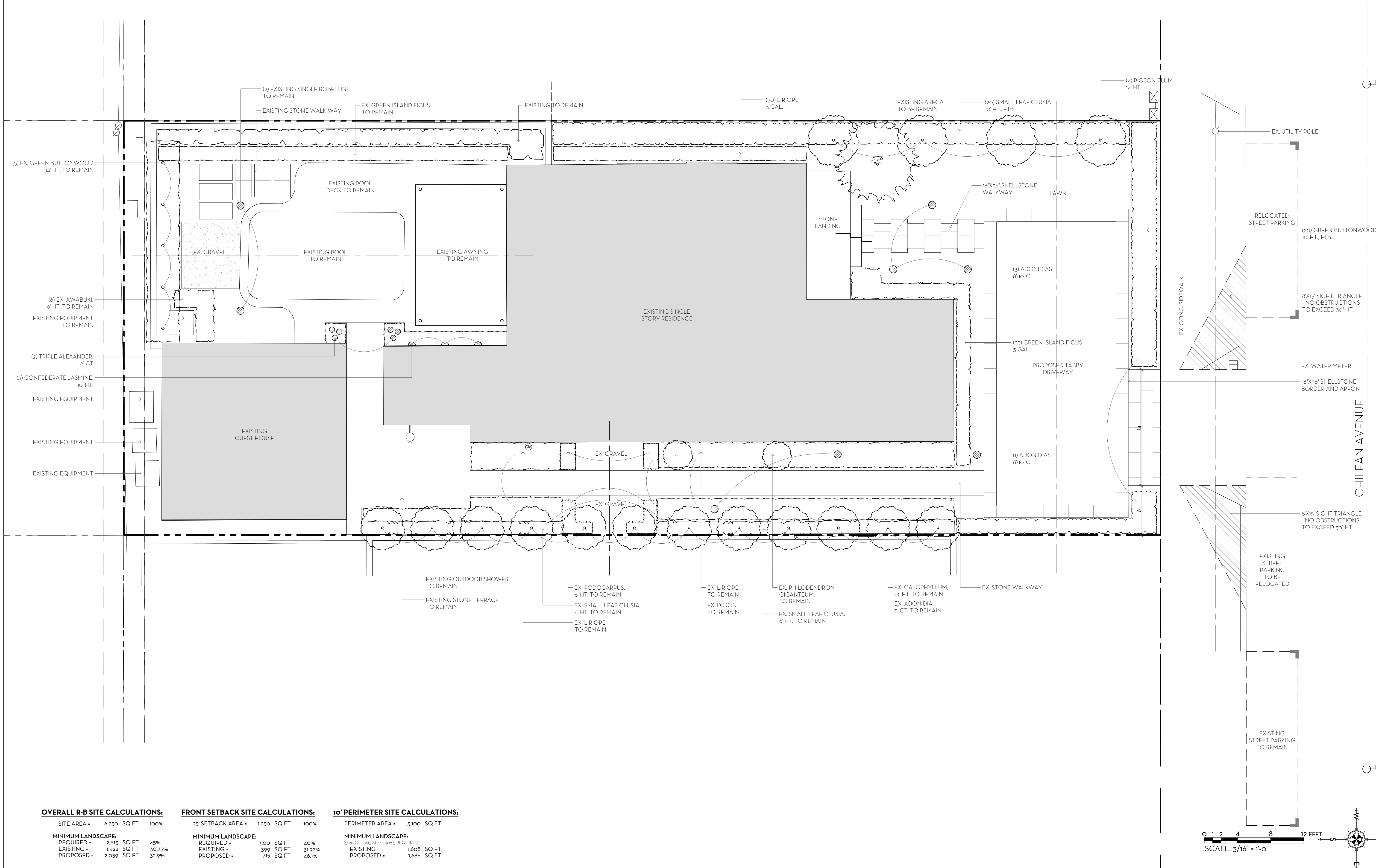


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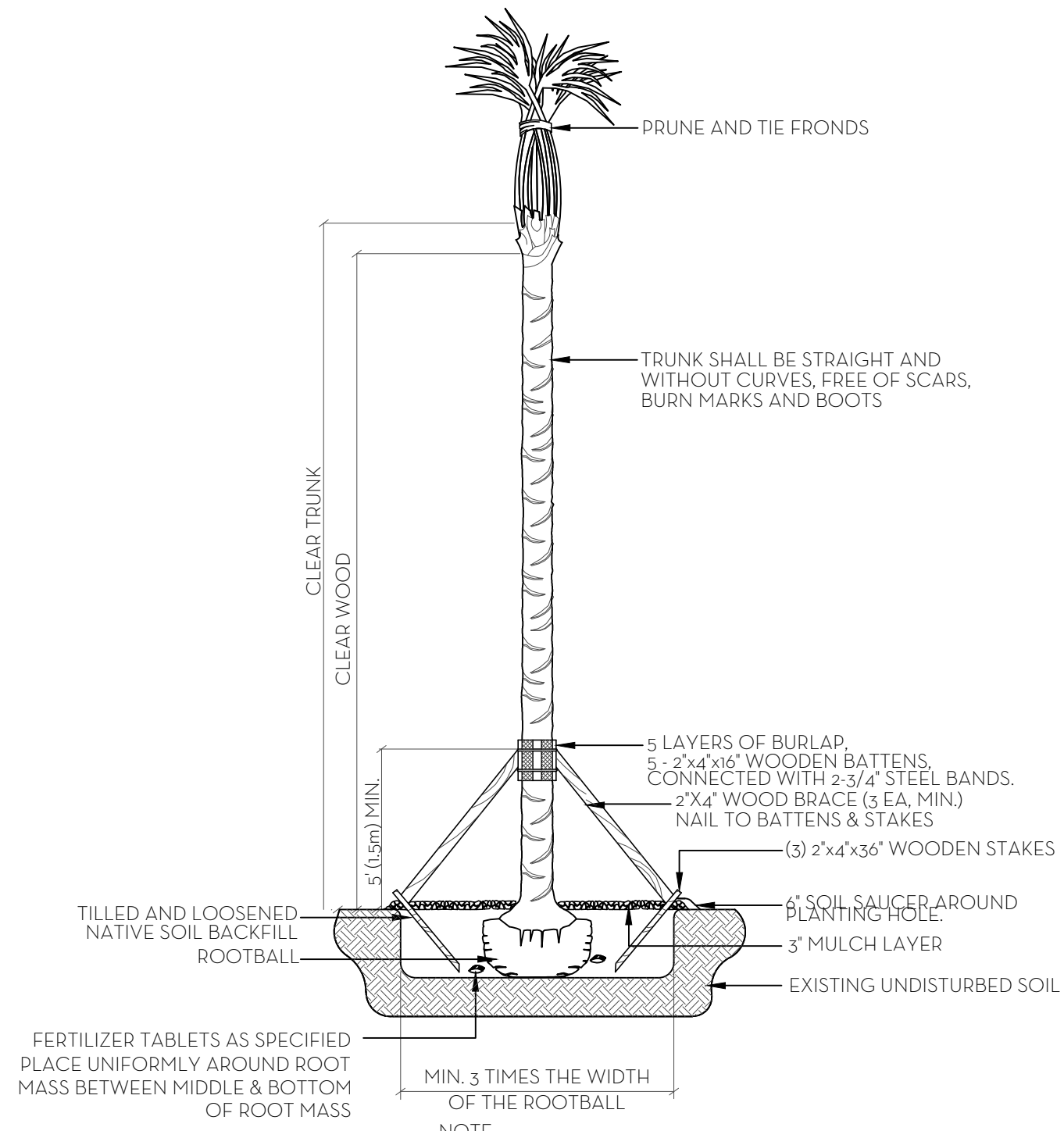
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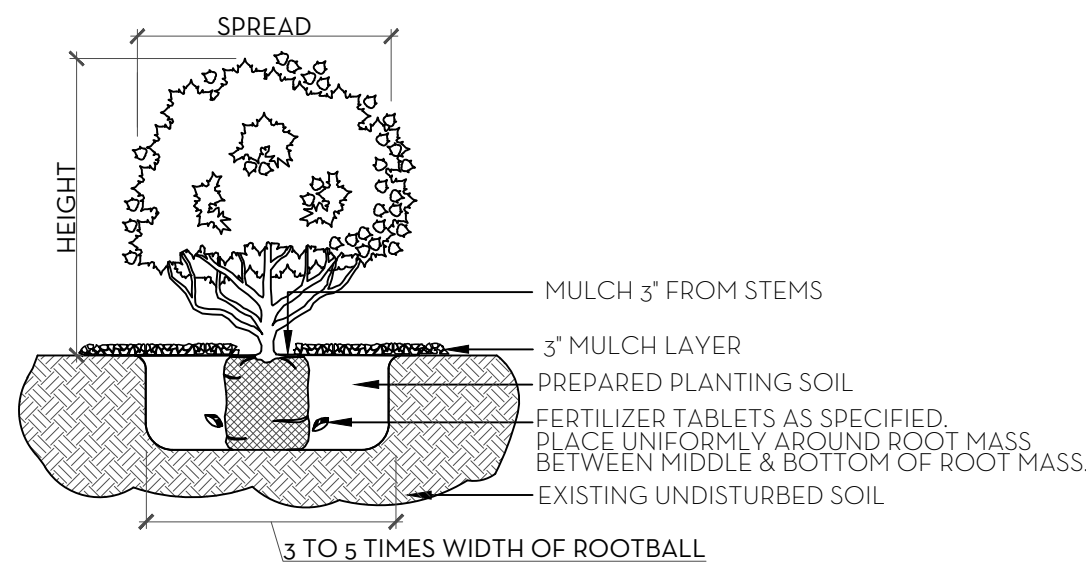
LP1



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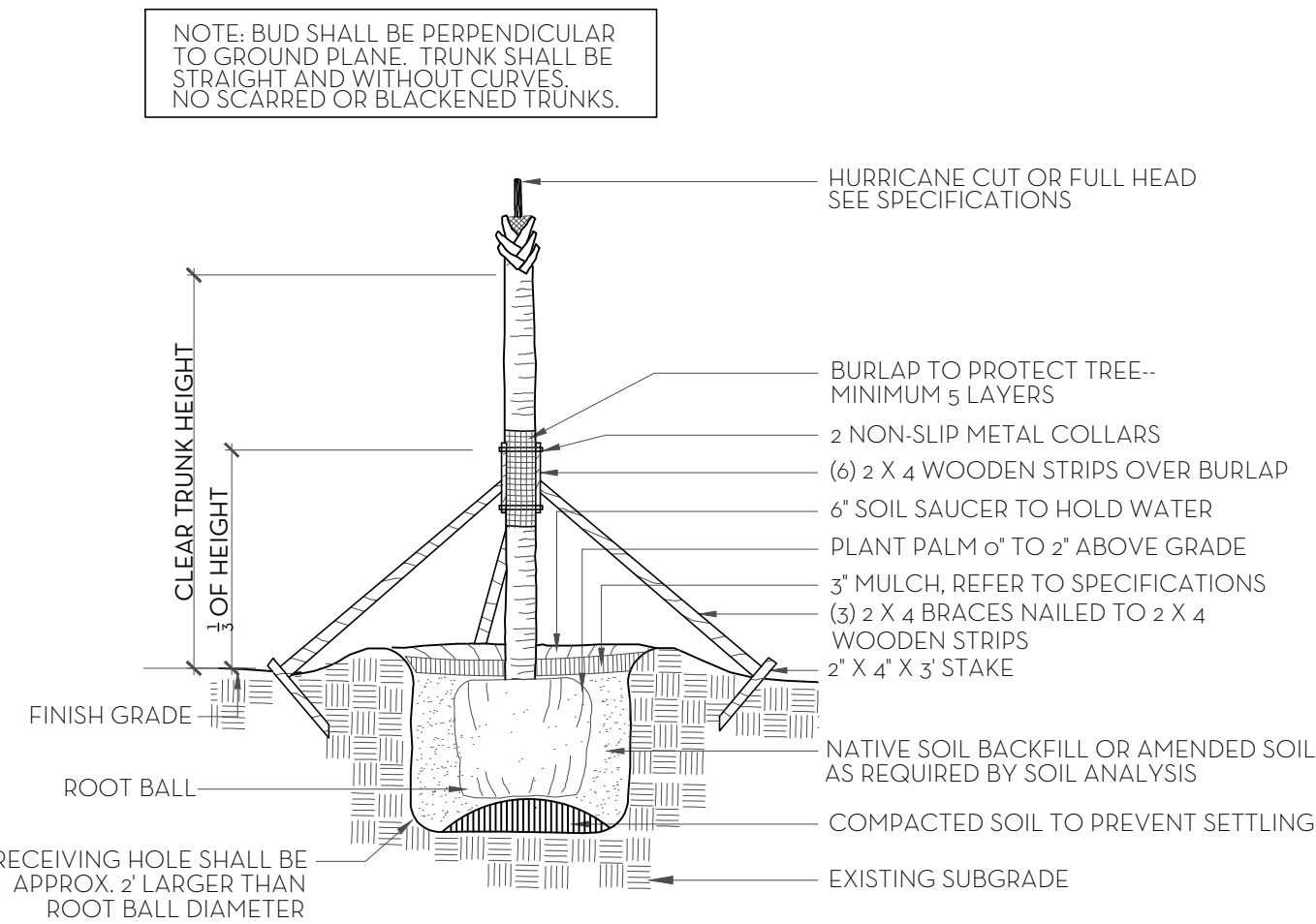


PALM PLANTING DETAIL
N.T.S.



NOTE:
ALL MATERIAL TO BE FLORIDA #1 OR BETTER

SHRUB & GROUNDCOVER PLANTING DETAIL
N.T.S.

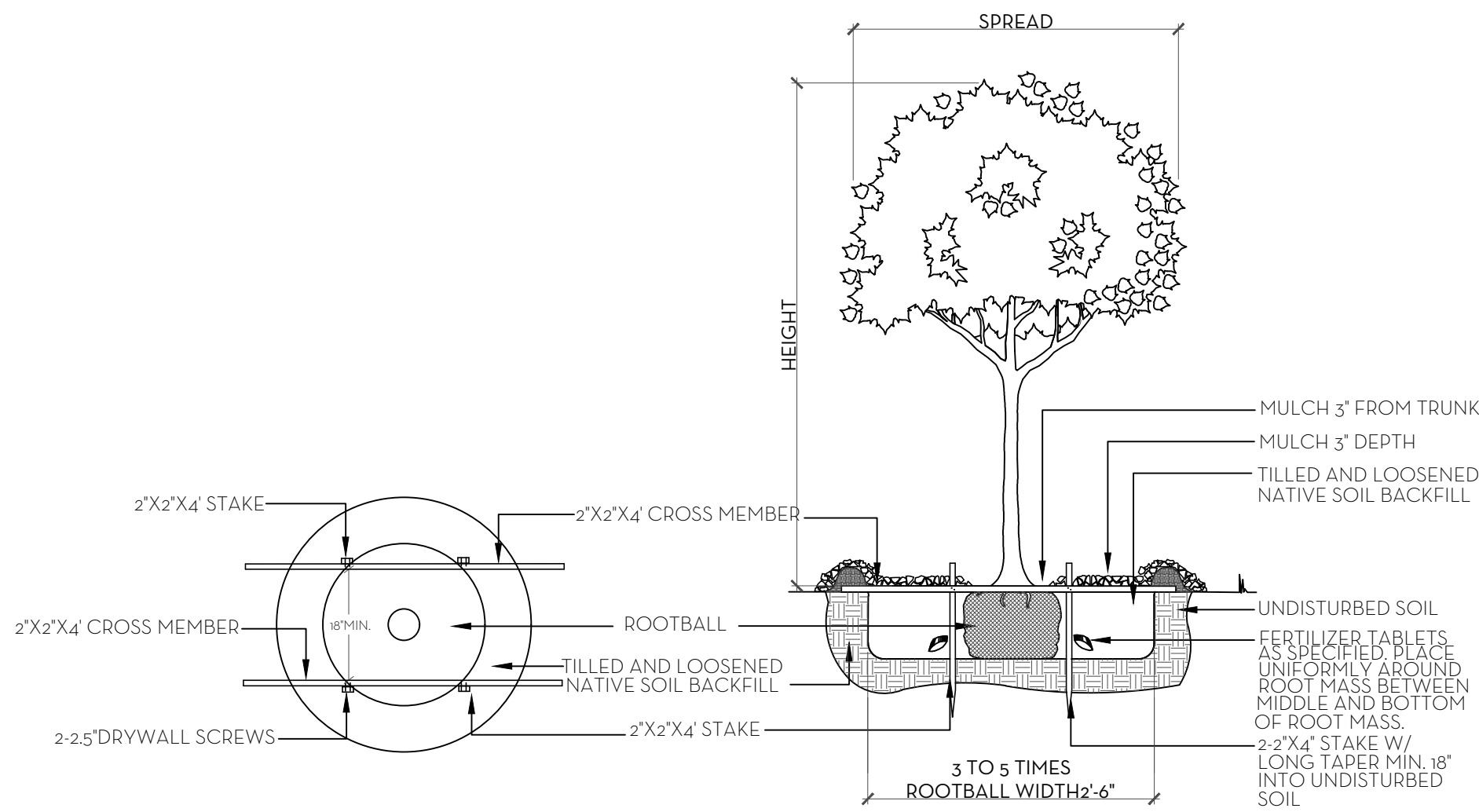


NOTES: STAKING & GUYING REQUIRED FOR PALMS, IF NECESSARY, OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.
ALL PLANT TO BE FLORIDA #1 OR BETTER

PALM TREE PLANTING AND STAKING DETAIL
N.T.S.

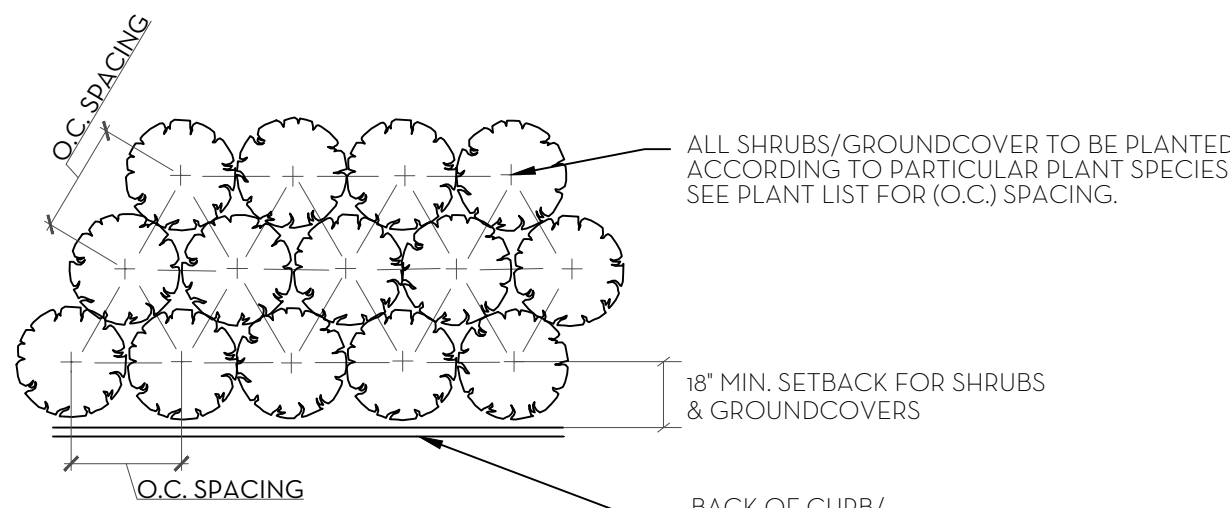
FERTILIZATION
SHRUBS AND TREES
ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-15-5 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFOMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.
APPLICATION RATE:
1 GALLON CAN: 1 - 21 GRAM TABLET
3 GALLON CAN: 2 - 21 GRAM TABLETS
5 GALLON CAN: 3 - 21 GRAM TABLETS
7 GALLON CAN: 4 - 21 GRAM TABLETS
TREES: 3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER
PALMS: 7 - 21 GRAM TABLETS
GROUNDCOVER AREAS
ALL GROUNDCOVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURERS SPECIFICATIONS.

NOTES:
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOT BALL.
6. TOP OF ROOTBALL TO BE SET 2" BELOW FINISH SURROUNDING FINISH GRADE.



NOTE:
ALL PLANT TO BE FLORIDA #1 GRADE OR BETTER

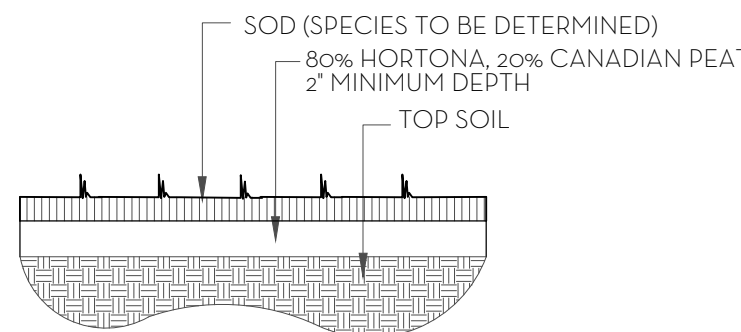
TREE PLANTING DETAIL
N.T.S.



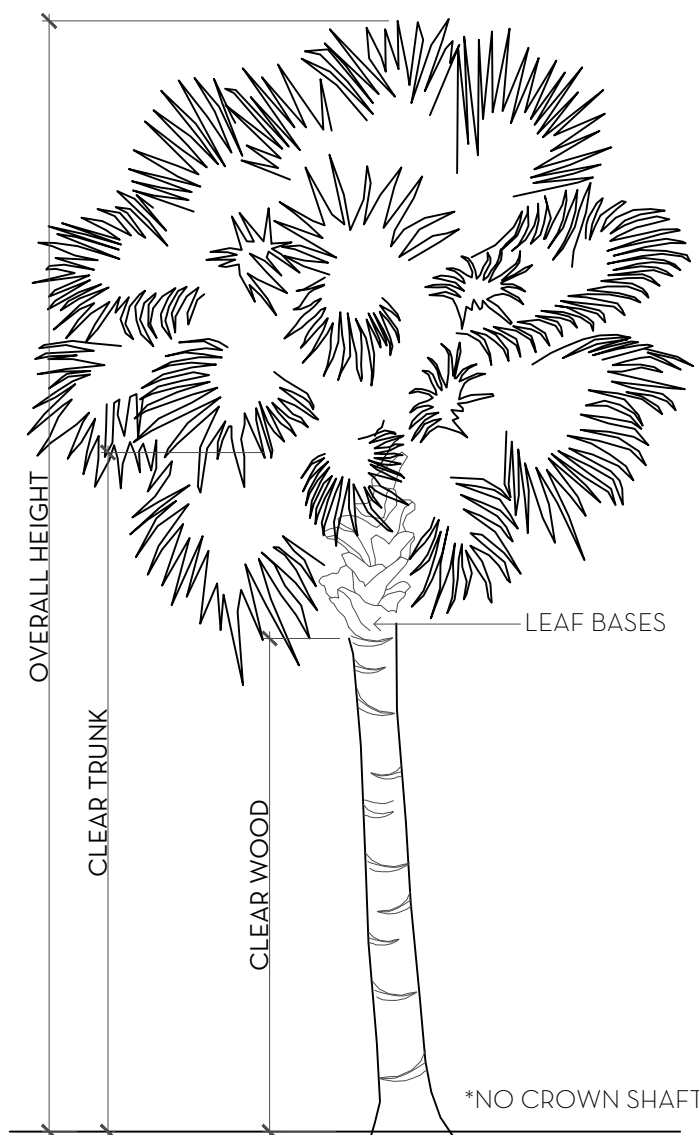
NOTE:
ALL PLANT TO BE FLORIDA #1 OR BETTER

PLANT SPACING DETAIL
N.T.S.

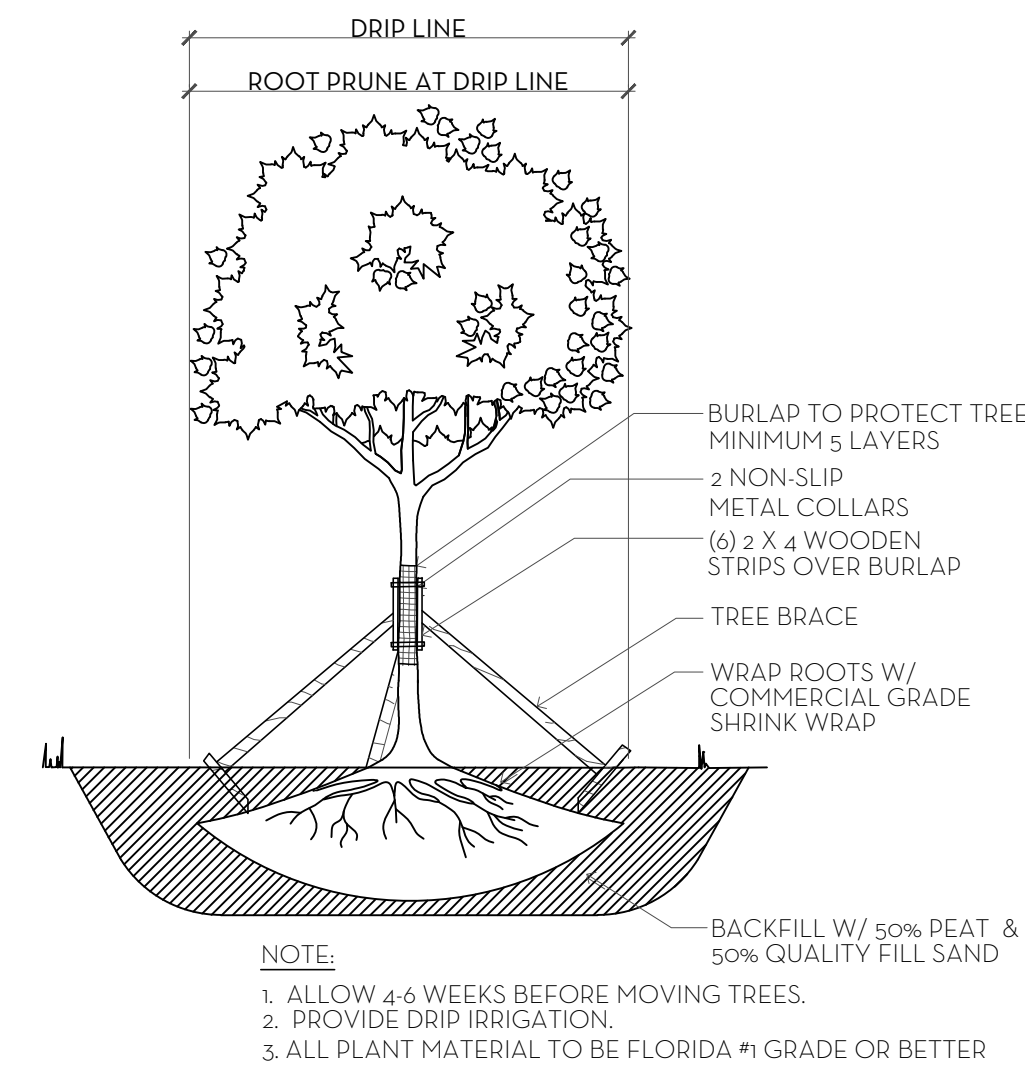
SOD NOTES:
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE
2. BAKE AND REMOVE ALL CONSTRUCTION DEBRIS
3. PRIOR TO LAYING SOD ADD 80% HORTANA AND 20% CANADIAN PEAT, 2" MIN.
4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



SOD PLANTING DETAIL
N.T.S.



PALM SPECIFICATION DETAIL
N.T.S.



NOTE:
1. ALLOW 4-6 WEEKS BEFORE MOVING TREES.
2. PROVIDE DRIP-IRRIGATION.
3. ALL PLANT MATERIAL TO BE FLORIDA #1 GRADE OR BETTER

TREE ROOT PRUNING DETAIL
N.T.S.

McKenna Residence					
October 4 2023					
Landscape Material Schedule					
ITEM NO.	PLANT NAME	BOTANICAL NAME	QTY.	NATIVE	SPECIFICATION
1	Trees				
2	Pigeon Plum	Coccoloba diversifolia	4	✓	14' HT.
3			4	100%	
4	Palms				
5	Triple Alexander	Ptychosperma elegans	2		6' CT.
6	Adonidia	Veitchia merrillii	4		8'-10' CT.
7			6		
8	Shrubs / Vine				
9	Green Buttonwood	Conocarpus erectus	20	✓	10' HT., FTB.
10	Small leaf Clusia	Clusia guttifera	26		5-6' HT.
11	Confederate Jasmine	Trachelospermum jasminoides	3		10' HT.
12			49	41%	
13	Groundcovers				
14	Liriope	Ophiopogon intermedius	30		3 GAL.
15	Beach Creeper	Ernodea littoralis	35	✓	3 GAL.
16			65	46%	



Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend			
1	Property Address: 152 Chilean Avenue		
2	Zoning District: R-B		
3	Lot Area (sq. ft.): 6,250 SF		
4	Lot Width (W) & Depth (D) (ft.): 50' W x 125' D		
5	Structure Type: Single Family		
6	FEMA Flood Zone Designation:		
7	Zero Datum for point of meas. (NAVD)		
8	Crown of Road (COR) (NAVD)		
9	REQ'D / PERMITTED	EXISTING	PROPOSED
10	Lot Coverage (Sq Ft and %)	N/A	N/A
11	Enclosed Square Footage (1st & 2nd Fl., Basement, Accs. Structure, etc.)	N/A	N/A
12	*Front Yard Setback (Ft.)	N/A	N/A
13	*Side Yard Setback (1st Story) (Ft.)	N/A	N/A
14	*Side Yard Setback (2nd Story) (Ft.)	N/A	N/A
15	*Rear Yard Setback (Ft.)	N/A	N/A
16	Angle of Vision (Deg.)	N/A	N/A
17	Building Height (Ft.)	N/A	N/A
18	Overall Building Height (Ft.)	N/A	N/A
19	Cubic Content Ratio (CCR) (R-B ONLY)	N/A	N/A
20	** Max. Fill Added to Site (Ft.)	N/A	N/A
21	Finished Floor Elev. (FFE)(NAVD)	N/A	N/A
22	Base Flood Elevation (BFE)(NAVD)	N/A	N/A
23	Landscape Open Space (LOS) (Sq Ft and %)	2,813 (45%)	1,922 (30.75%)
24	Perimeter LOS (Sq Ft and %)	1,406.5(50%)	1,608 (57.16%)
25	Front Yard LOS (Sq Ft and %)	500 SF (40%)	399 (31.92%)
26	*** Native Plant Species %	Please refer to TOPB Landscape Legend.	

* Indicate each yard area with cardinal direction (N,S,E,W)

** Difference of Fin. Floor Elev. (FFE) and highest Crown of Rd (COR) divided by two. (FFE - COR) / 2 = Max. Fill [Sec. 134-1600]

*** Provide Native plant species info per category as required by Ord. 003-2023 on separate TOPB Landscape Legend

Enter N/A if value is not applicable.
Enter N/C if value is not changing.

REV BF 20230626



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Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Landscape Legend		
1	Property Address: 152 Chilean Ave	
2	Lot Area (sq. ft.): 6,250	
3	REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	2,813 (45%)
5	LOS to be altered (Sq FT and %)	N/A
6	Perimeter LOS (Sq Ft and %)	1,406.50
7	Front Yard LOS (Sq Ft and %)	500 (40%)
8	Native Trees %	30% (number of trees)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)
10	Native Groundcover %	30% (groundcover area)

To determine qualifying native vegetation use either:

the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List

OR

the Florida Native Plant Society Native Plants for Your Area List

Note: Modification of >50% of existing landscape/greenscape are subject to minimum native plant requirements and must submit a landscape and irrigation plan for review.

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect and landscape openspace data shall be incorporated on to corresponding zoning legend.

See Ord. 003-2023

REV BF 20230727

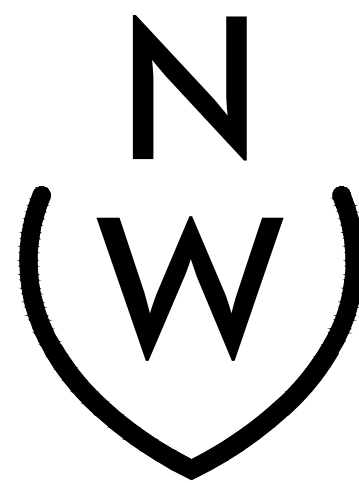
MARIO F. NIEVERA

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PLANT LIST AND DETAILS

MCKENNA RESIDENCE

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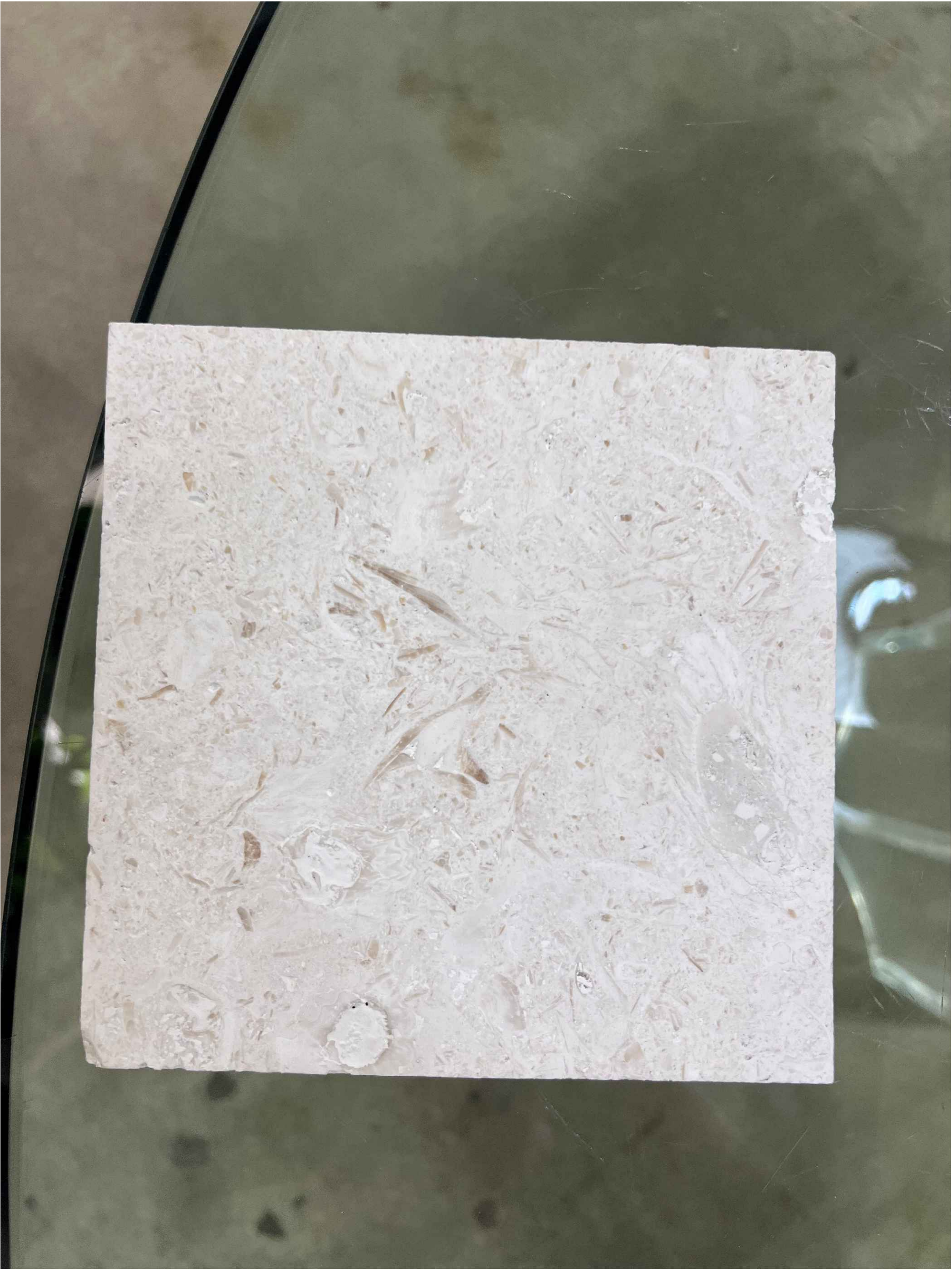
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LP2



TABBY CONCRETE



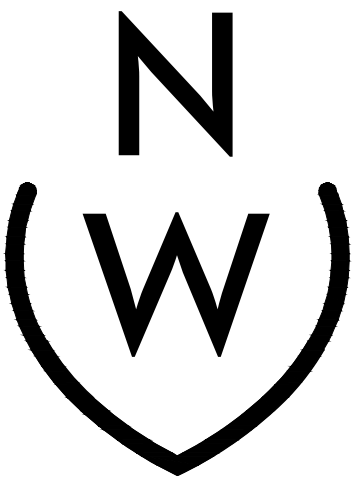
SHELLSTONE

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MATERIAL IMAGES
MCKENNA RESIDENCE

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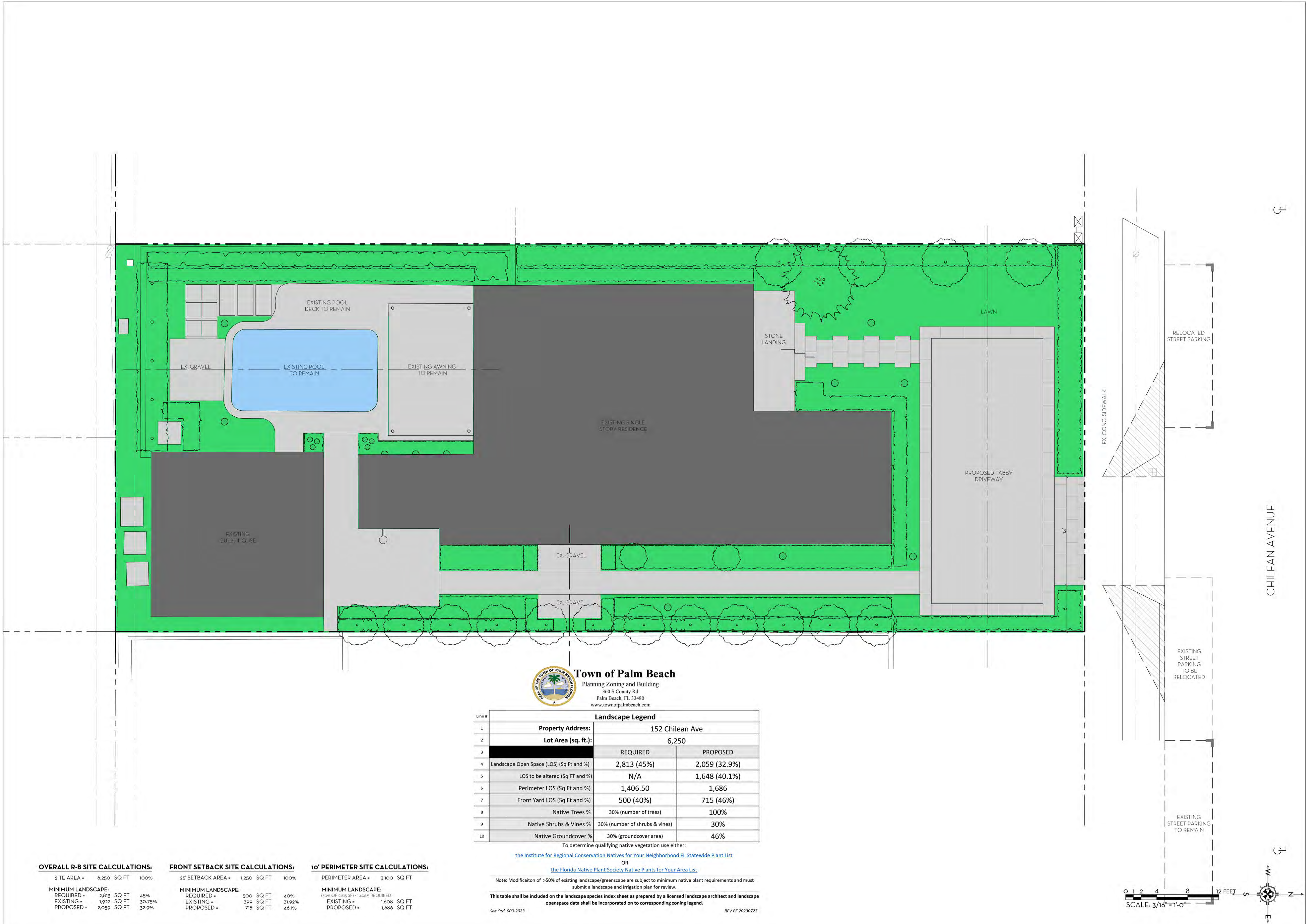


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LP3



OVERALL R-B SITE CALCULATIONS:

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MINIMUM LANDSCAPE:		
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EXISTING =	1,922 SQ FT	30.75%
PROPOSED =	2,059 SQ FT	32.9%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	1,250 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	500 SQ FT	40%
EXISTING =	399 SQ FT	31.92%
PROPOSED =	715 SQ FT	46.1%

10' PERIMETER SITE CALCULATIONS:

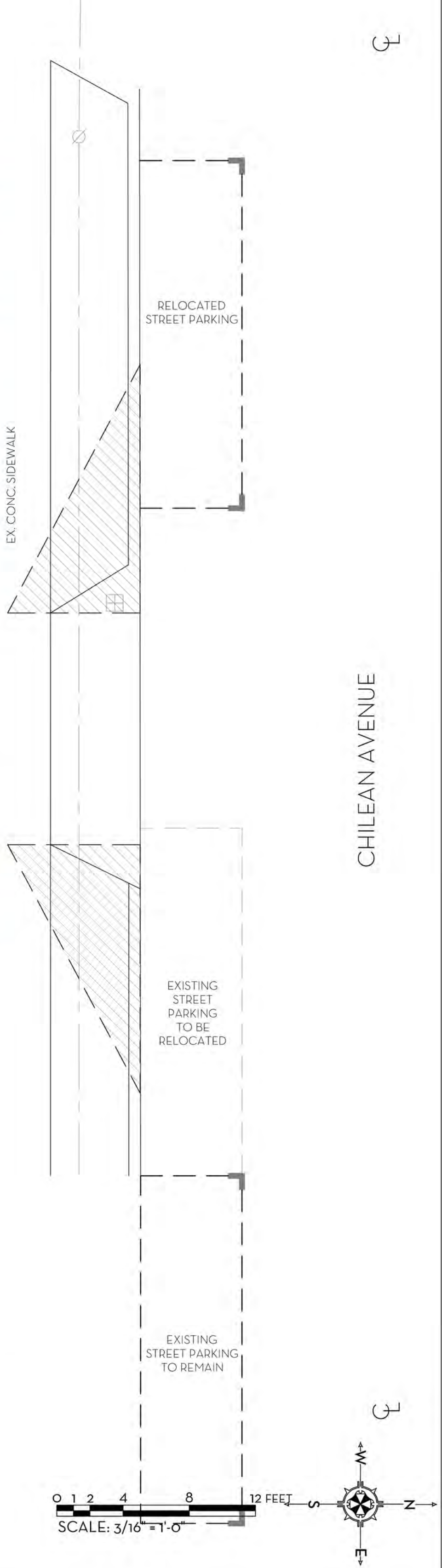
PERIMETER AREA =	3,100 SQ FT	
MINIMUM LANDSCAPE:		
REQUIRED =	1,406.5 SQ FT	
EXISTING =	1,608 SQ FT	
PROPOSED =	1,686 SQ FT	

Line #	Landscape Legend		
1	Property Address:	152 Chilean Ave	
2	Lot Area (sq. ft.):	6,250	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	2,813 (45%)	2,059 (32.9%)
5	LOS to be altered (Sq Ft and %)	N/A	1,648 (40.1%)
6	Perimeter LOS (Sq Ft and %)	1,406.50	1,686
7	Front Yard LOS (Sq Ft and %)	500 (40%)	715 (46%)
8	Native Trees %	30% (number of trees)	100%
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	30%
10	Native Groundcover %	30% (groundcover area)	46%

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See Ord. 003-2023
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LANDSCAPE PLAN
MCKENNA RESIDENCE

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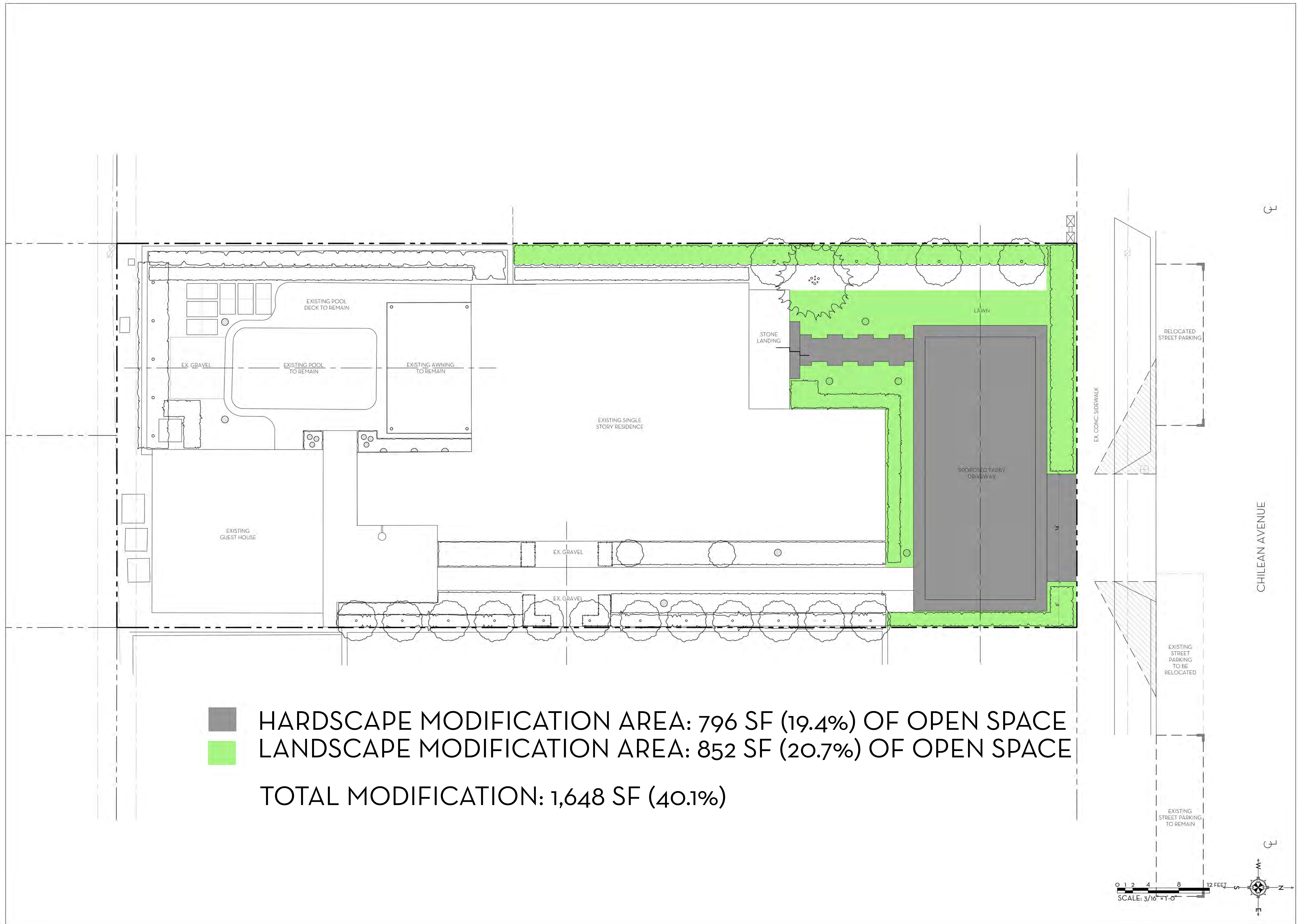


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OS1



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LANDSCAPE ALTERATION DIAGRAM
MCKENNA RESIDENCE

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OS2

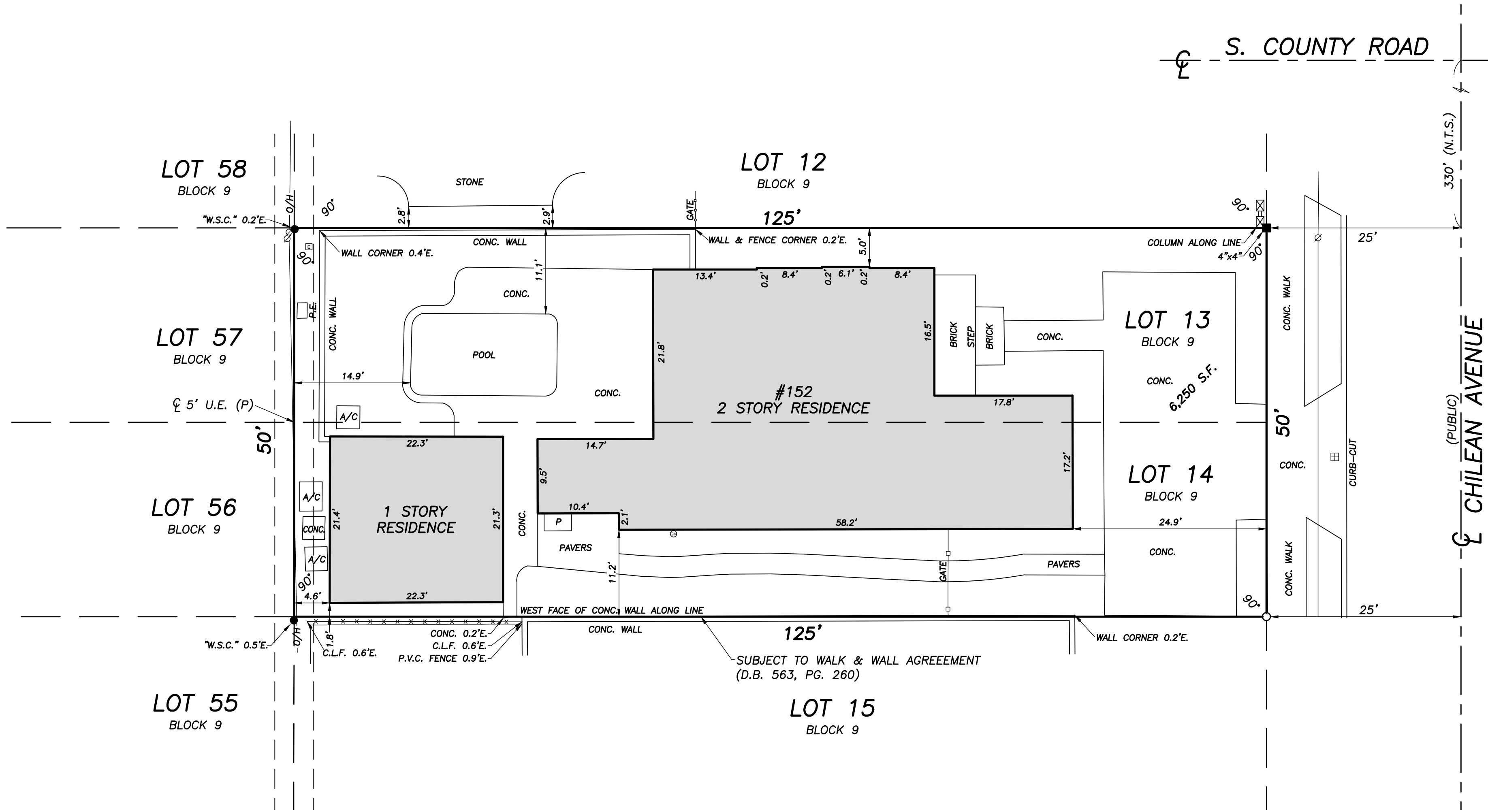
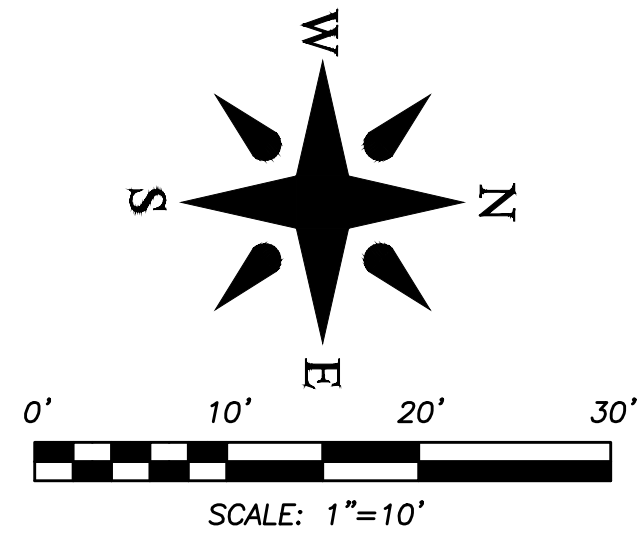
SCALE: 3/16" = 1'-0"

LEGEND

A = ARC LENGTH
A/C = AIR CONDITIONING
A.E. = ACCESS EASEMENT
A.K.A. = ALSO KNOWN AS
ASPH. = ASPHALT
B.F.P. = BACKFLOW PREVENTOR
BLDG. = BUILDING
B.M. = BENCHMARK
B.O.C. = BACK OF CURB
B.O.W. = BACK OF WALK
(C) = CALCULATED
CATV = CABLE ANTENNA TELEVISION
C.B. = CHORD BEARING
C.B.S. = CONCRETE BLOCK STRUCTURE
C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
CH = CHORD
C.L.F. = CHAIN LINK FENCE
CLR. = CLEAR
C.M.P. = CORRUGATED METAL PIPE
CONC. = CONCRETE
(D) = DESCRIPTION DATUM
D.B. = DEED BOOK
D.C.D.A. = DOUBLE CHECK DETECTOR ASSEMBLY
D.E. = DRAINAGE EASEMENT
D.H. = DRILL HOLE
D/W = DRIVEWAY
EL. = ELEVATION
ENC. = ENCROACHMENT
E.O.P. = EDGE OF PAVEMENT
E.O.W. = EDGE OF WATER
ESMT = EASEMENT
F.D.C. = FIRE DEPARTMENT CONNECTION
F.F. = FINISHED FLOOR
FND. = FOUND
F.O.C. = FACE OF CURB
I.D. = INSIDE DIAMETER
INV. = INVERT
I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
L.A.E. = LIMITED ACCESS EASEMENT
L.B. = LICENSE BOARD
L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
(M) = FIELD MEASUREMENT
M.H. = MANHOLE
M.H.W.L. = MEAN HIGH WATER LINE
MIN. = MINIMUM
M.L.W.L. = MEAN LOW WATER LINE
N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
N.T.S. = NOT TO SCALE
O.A. = OVERALL
O.D. = OUTSIDE DIAMETER
O/H = OVERHEAD UTILITY LINE
O.R.B. = OFFICIAL RECORDS BOOK
O/S = OFFSET
P = PLANTER
(P) = PLAT DATUM
P.B. = PLAT BOOK
P.B.C. = PALM BEACH COUNTY
P.C. = POINT OF CURVATURE
P.C.C. = POINT OF COMPOUND CURVATURE
P.E. = POOL EQUIPMENT
PG. = PAGE
P.I. = POINT OF INTERSECTION
P/O = PART OF
P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
P.R.C. = POINT OF REVERSE CURVATURE
P.R.M. = PERMANENT REFERENCE MONUMENT
PROP. = PROPOSED
P.T. = POINT OF TANGENCY
P.V.M.T. = PAVEMENT
(R) = RADIAL
R = RADIUS
RGE. = RANGE
R.P.B. = ROAD PLAT BOOK
R.P.Z. = REDUCED PRESSURE ZONE
R/W = RIGHT OF WAY
(S) = SURVEY DATUM
S.B. = SETBACK
SEC. = SECTION
S/D = SUBDIVISION
S.F. = SQUARE FEET
S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
S.R. = STATE ROAD
STA. = STATION
STY. = STORY
S/W = SIDEWALK
T.O.B. = TOP OF BANK
T.O.C. = TOP OF CURB
T.O.W. = TOP OF WALL
TWP. = TOWNSHIP
TYP. = TYPICAL
UIC = UNDER CONSTRUCTION
U.E. = UTILITY EASEMENT
U.R. = UNRECORDED
W.C. = WITNESS CORNER
W.M.E. = WATER MANAGEMENT EASEMENT
W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
W.M.T. = WATER MANAGEMENT TRACT
YD = YARD DRAIN
B = BASELINE
C = CENTERLINE
Δ = CENTRAL ANGLE/DELTA
■ = CONCRETE MONUMENT FOUND (AS NOTED)
▣ = CONCRETE MONUMENT SET (LB #4569)
● = ROD & CAP FOUND (AS NOTED)
○ = 5/8" IRON ROD & CAP SET (LB #4569)
○ = IRON PIPE FOUND (AS NOTED)
● = IRON ROD FOUND (AS NOTED)
● = NAIL FOUND (AS NOTED)
● = NAIL & DISK FOUND (AS NOTED)
● = MAG NAIL & DISK SET (LB #4569)
P = PROPERTY LINE
P = UTILITY POLE
P = FIRE HYDRANT
P = WATER METER
P = WATER VALVE
P = LIGHT POLE
P = CABLE TV RISER
P = ELECTRIC BOX
P = GAS METER
P = SANITARY MANHOLE

Boundary Survey For:

WILLIAM MCKENNA AND MOLLY MCKENNA



NOTES:

- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 1009371, issued by Old Republic National Title Insurance Company, dated January 5, 2021. This office has made no search of the Public Records.
- Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations and 0.1' for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
- Description furnished by client or client's agent.
- Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
- This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. This survey is not transferable by Owners Affidavit of Survey or similar instrument.
- Except as shown, underground and overhead improvements are not located. Underground foundations not located.
- The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
- No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
- Revisions shown hereon do not represent a "survey update" unless otherwise noted.
- All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
- In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
- It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
- The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
- The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

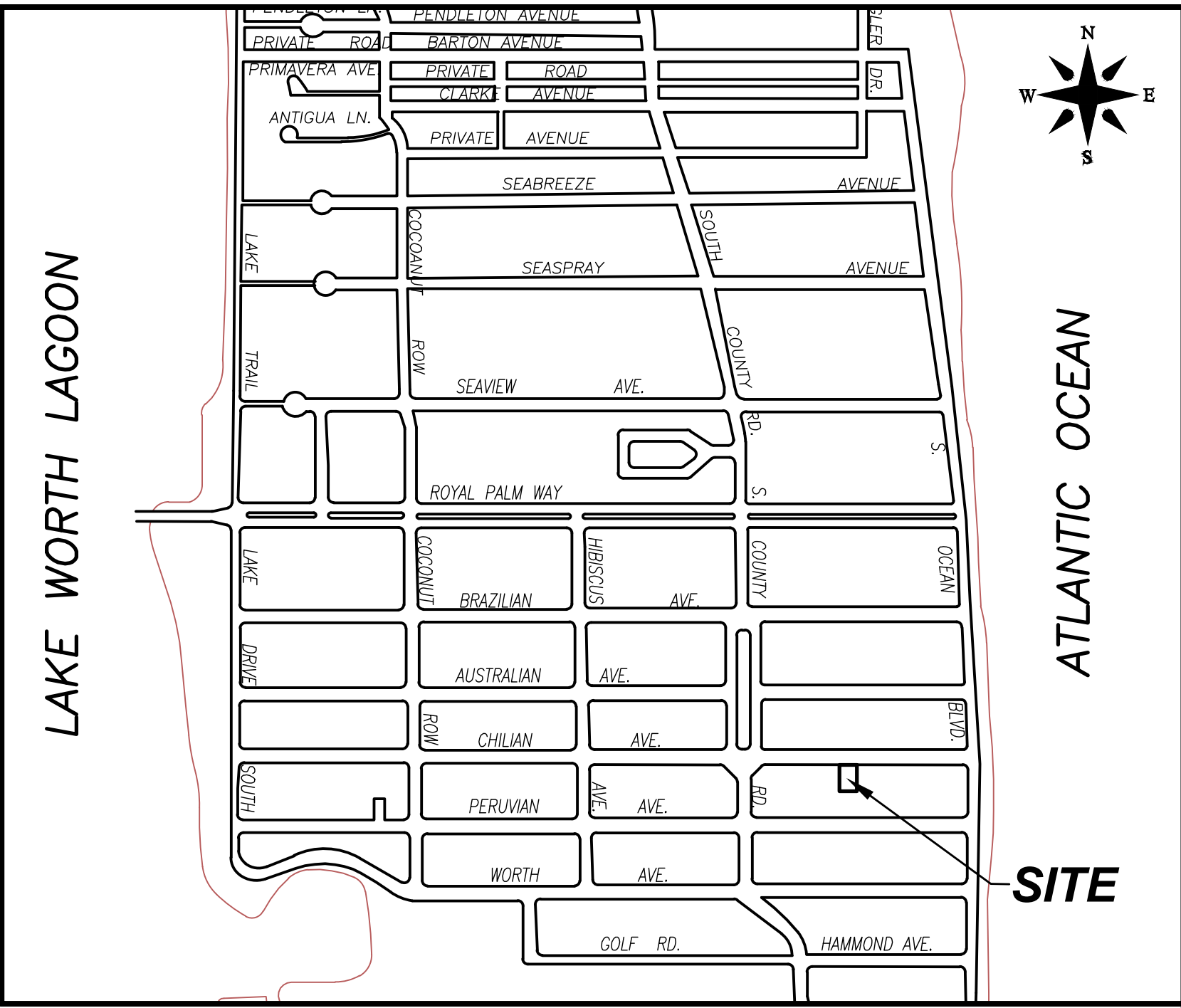
CERTIFICATION:

I HEREBY ATTEST that the survey shown hereon meets the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

DATE OF LAST FIELD SURVEY: 02/25/2021



Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357



VICINITY SKETCH
(NOT TO SCALE)

This survey is made specifically and only for the following parties for the purpose of a closing on the surveyed property.

William McKenna And Molly McKenna
Rabideau Klein
Old Republic National Title Insurance Company

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.

PROPERTY ADDRESS:
152 Chilean Road
Palm Beach, FL 33480

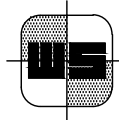
LEGAL DESCRIPTION:
Lots 13 and 14, Block 9, REVISED MAP OF ROYAL PARK ADDITION TO PALM BEACH, FLORIDA, according to the Plat thereof as recorded in Plat Book 4, Page(s) 1, of the Public Records of Palm Beach County, Florida.

FLOOD ZONE:
This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C 0583F, dated 10/05/2017.

TITLE COMMITMENT REVIEW						
CLIENT: William McKenna and Molly McKenna		COMMITMENT NO. : 1009371	DATE: January 5, 2021			
REVIEWED BY: Craig Wallace		JOB NO. : 99-1090.4				
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTT-ABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-4	N/A	Standard Exceptions.				•
5	PB 4, PG 1	All matters contained on the Plat of Revised Map of Royal Park Addition to Palm Beach, Florida.	•			
6	D.B. 563, PG 260	Terms and conditions of Agreement for party walk and party wall on the East boundary.	•			
7	ORB 31267, PG 35	Any lien or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement.				•
8	ORB 31434, PG 1735	Any lien or claim of lien for services, labor or materials which may take priority over the estate or interest insured by reason of that certain Notice of Commencement.				•
9	N/A	Standard Exceptions.				•

Boundary Survey For:

WILLIAM MCKENNA AND
MOLLY MCKENNA



WALLACE SURVEYING
CORP. LICENSED BUSINESS #4599
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 * (561) 840-4551

FIELD: B.M. & J.O.	JOB No.: 99-1090.4	F.B. PB307 PG. 39
OFFICE: S.W.	DATE: 05/08/18	DWG. No.: 99-1090
C'KD.: C.W.	REF.: 99-1090.DWG	SHEET: 1 OF 1