

389 South Lake Drive
Proposed Exterior Renovations

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Project Team

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Three Eighty-Nine Corp Lessee
389 South Lake Drive
Palm Beach, Florida 33480

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PLANNER: Roger Ramdeen Land Use Planner - Shutts & Bowen LLP
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SCOPE OF WORK:
389 S. Lake Drive Condominium is currently in the process of a full exterior renovation including structural repairs and reconstruction. The required renovations include full removal of the existing concrete screen walls, waterproofing repairs, stucco repairs, structural repairs, and reconstruction of existing components. The proposed building improvements include new stucco and paint finishes, deletion of the concrete screen walls, replacement of the windows under the screenwalls with new impact approved products, enhancement of the window openings with new stucco surrounds and sills, new decorative metal grilles, and associated improvements. There are no proposed site improvements.

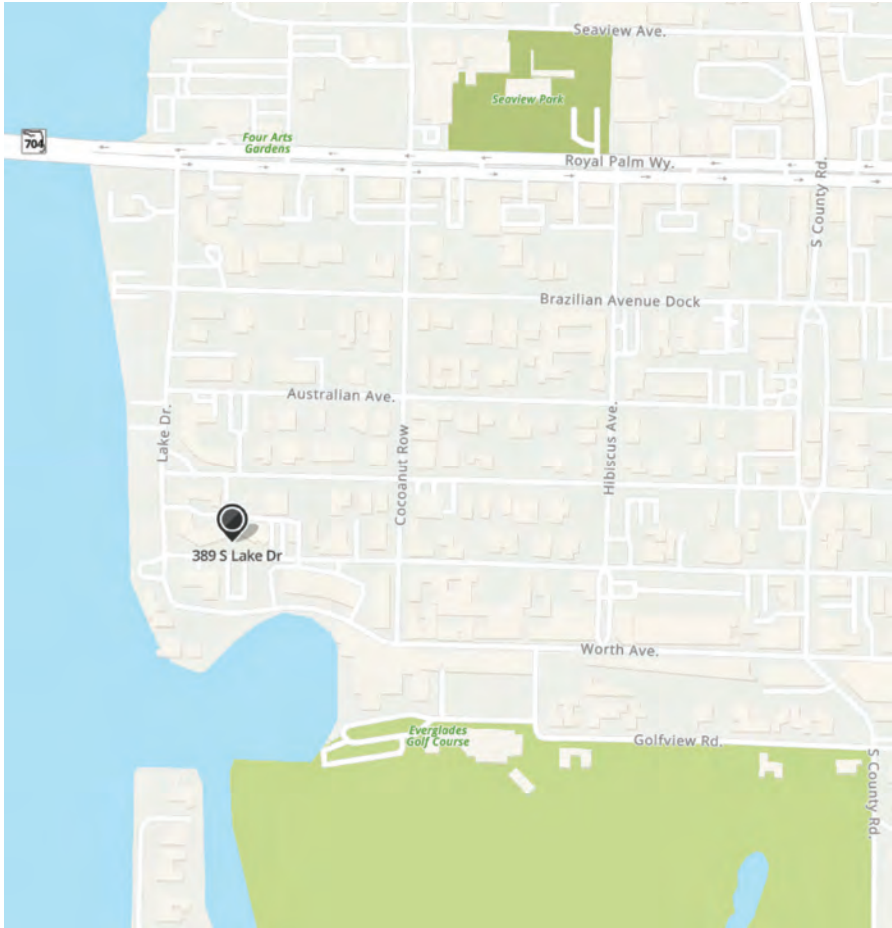
FINAL SUBMITTAL
NOVEMBER 9, 2023

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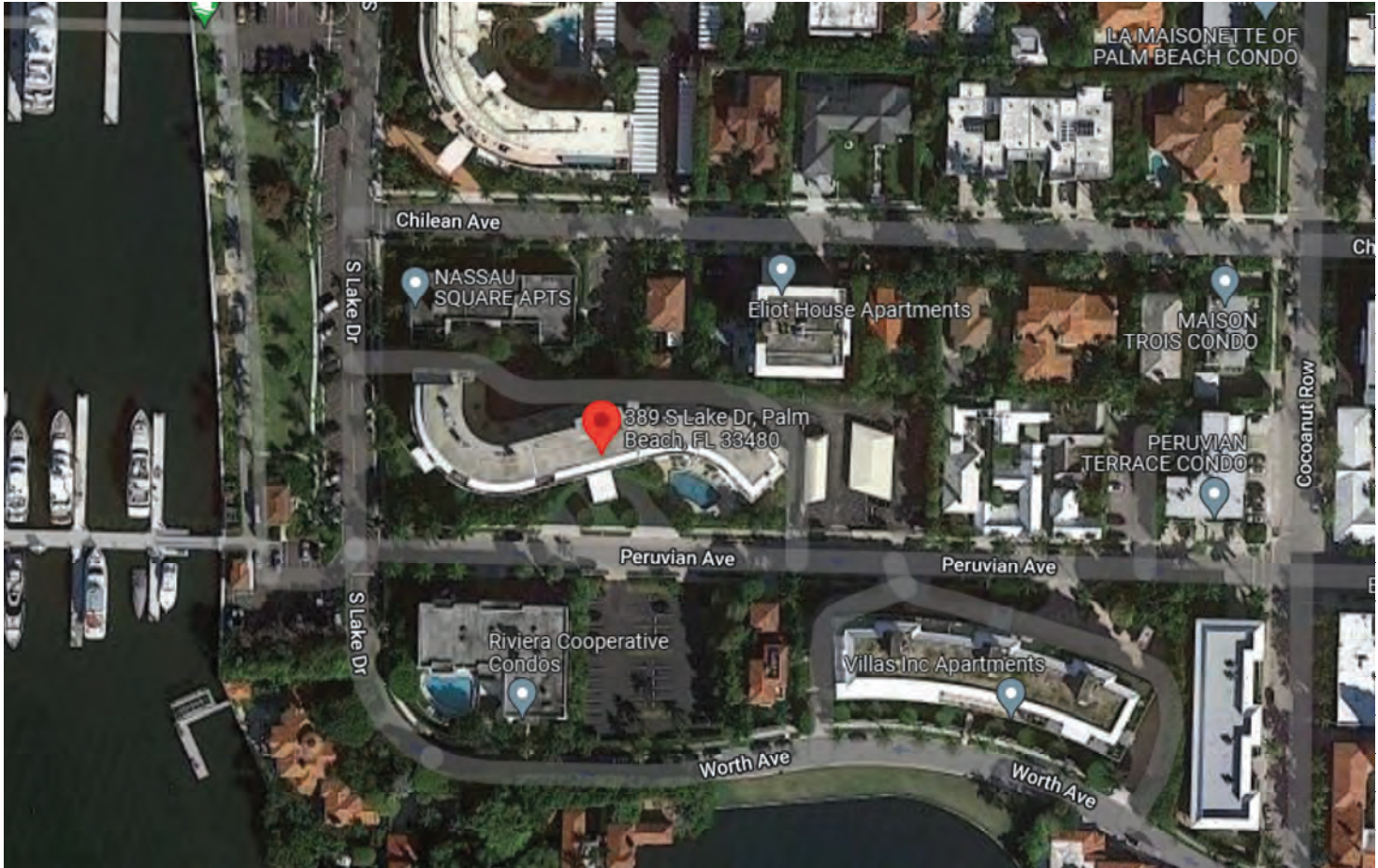
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CS-1
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N.T.S. VICINITY LOCATION MAP



LOCATION PLAN - AERIAL VIEW
N.T.S.

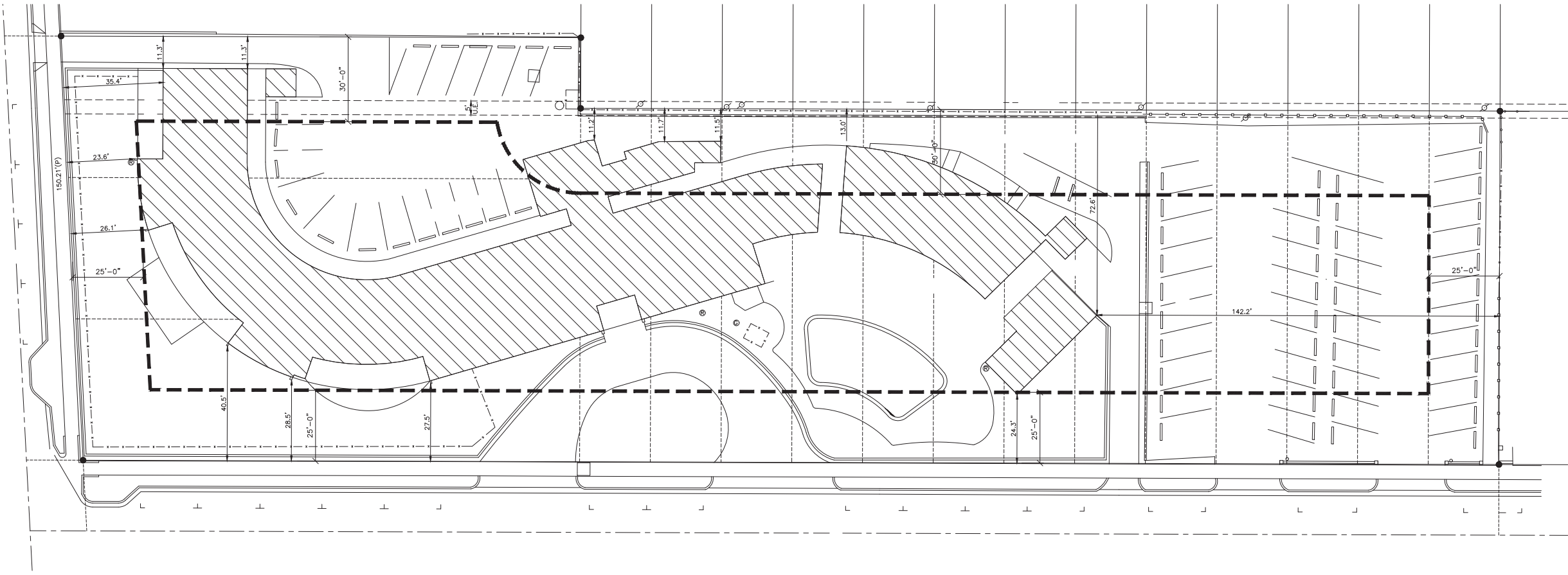
Location Plans

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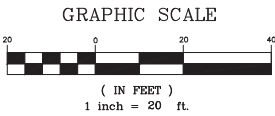
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OVERALL SITE PLAN
1" = 20'



Town of Palm Beach

Planning, Zoning and Building
300 S. County Rd.
Palm Beach, FL 33480
www.townofpalmbeach.gov

Zoning Legend

Line #			
1	Property Address:	389 South Lake Drive	
2	Zoning District:	R-D(2) (Heavy Density Residential)	
3	Structure Type:	Condominium	
4		Required/Allowed	Existing
5	Lot Size (sq ft)	40,000 SF min	67,572 s.f.
6	Lot Depth	200'	500.25'
7	Lot Width	150'	125'
8	Lot Coverage (Sq Ft and %)	40%	
9	Inclined Square Footage		N/A
10	Maximum Lot/Land Area Ratio (LAR)		N/A
11	Cubic Content Ratio (CCR) (ft ³ /Acre)		N/A
12	*Front Yard Setback (Ft.)	25'	24.7'/25.0'
13	*Side Yard Setback (1st Story) (Ft.)	30'	142.2'
14	*Side Yard Setback (2nd Story) (Ft.)	N/A	N/A
15	*Rear Yard Setback (Ft.)	30'	11.3', 11.2'
16	Angle of Vision (Deg.)		N/A
17	Building Height (Ft.)		N/A
18	Overall Building Height (Ft.)		N/A
19	Crown of Road (COR) (NAVD)		N/A
20	Max. Amount of Fill Added to Site (Ft.)		N/A
21	Finished Floor Elev. (FFE)(NAVD)		N/A
22	Zero Datum for point of meas. (NAVD)		N/A
23	FEMA Flood Zone Designation	AE	N/A
24	Base Flood Elevation (BFE)(NAVD)		N/A
25	Landscape Open Space (LOS) (Sq Ft and %)		N/A
26	Perimeter LOS (Sq Ft and %)		N/A
27	Front Yard LOS (Sq Ft and %)		N/A
28	*Native Plant Species %	Please refer to separate landscape legend.	

* Indicate each plant area with cardinal direction (N, S, E, W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per category as required by Ord. 24-2021 on separate table

If value is not changing, enter N/A

REV 01/2020/004

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AERIAL VIEW OF PREVIOUS CONDITIONS - FROM SW

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VIEWS FROM SOUTH LAKE DRIVE



VIEWS FROM PERUVIAN AVENUE

VIEWS OF PREVIOUS CONDITIONS

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VIEWS OF CONCRETE SCREEN WALL REMOVAL



VIEWS OF CONCRETE SCREEN WALL SUPPORT POINTS

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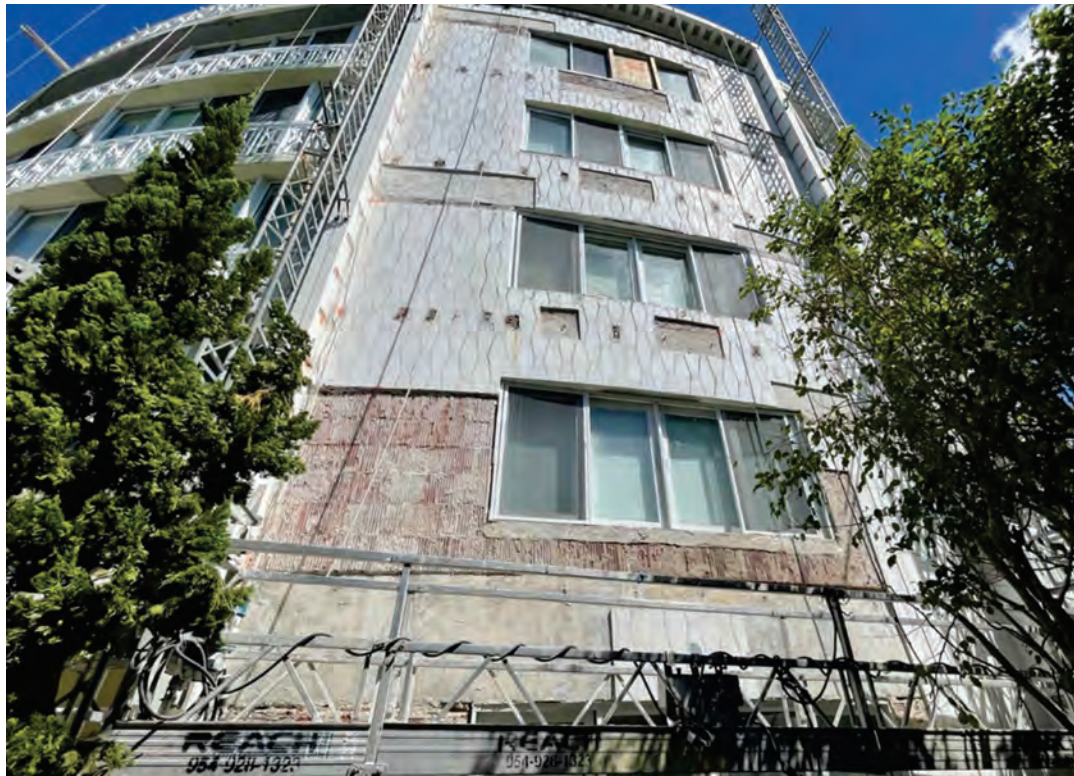
VIEWS OF PREVIOUS CONDITIONS DURING DEMOLITION AND STRUCTURAL REPAIRS

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VIEWS OF EXTERIOR WALL REPAIRS



CONCRETE SCREEN WALL FROM INSIDE MASTER BEDROOM

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VIEWS OF PREVIOUS CONDITIONS DURING DEMOLITION AND STRUCTURAL REPAIRS

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VIEWS FROM SOUTH LAKE DRIVE
EXISTING CONDITIONS

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IEWS FROM PERUVIAN AVENUE
EXISTING CONDITIONS

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VIEWS FROM PERUVIAN AVENUE
OF PORTE COCHERE

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VIEWS FROM PERUVIAN AVENUE
EXISTING CONDITIONS

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VIEWS FROM SOUTH LAKE DRIVE
EXISTING CONDITIONS

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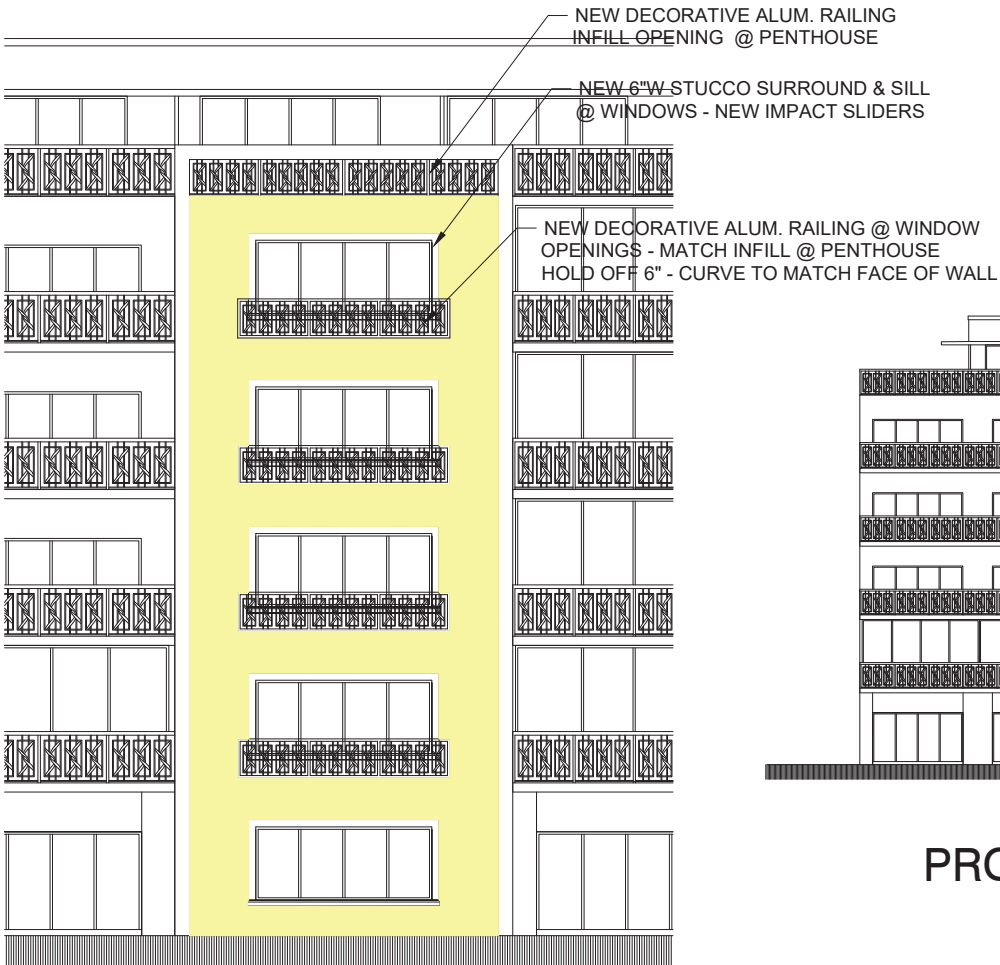
VIEW FROM SOUTH LAKE DRIVE - WITH PRECAST GRILLE



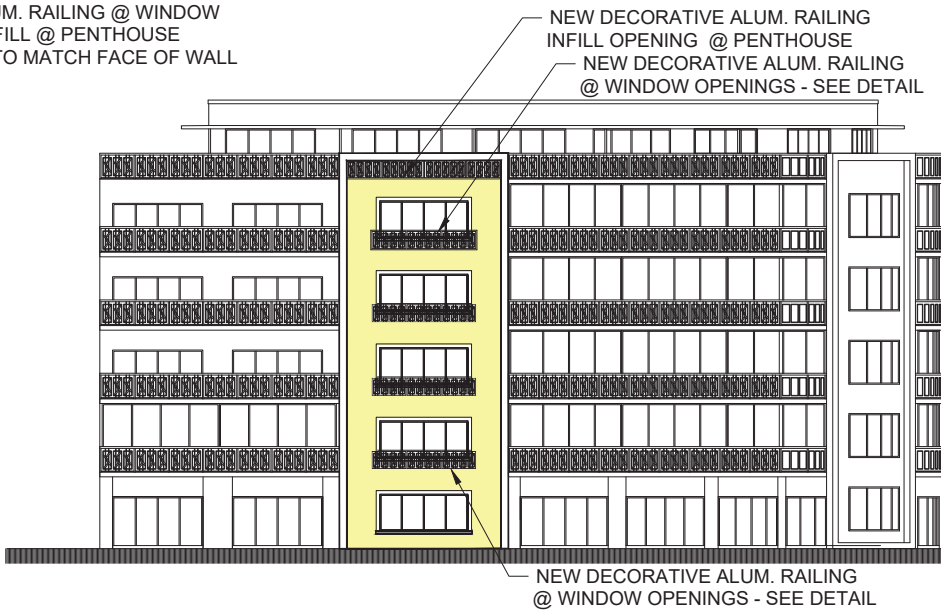
VIEW FROM SOUTH LAKE DRIVE - CURRENT



EXISTING WEST ELEVATION



PROPOSED ELEVATION DETAIL



PROPOSED WEST ELEVATION

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EXISTING & PROPOSED EXTERIOR ELEVATIONS

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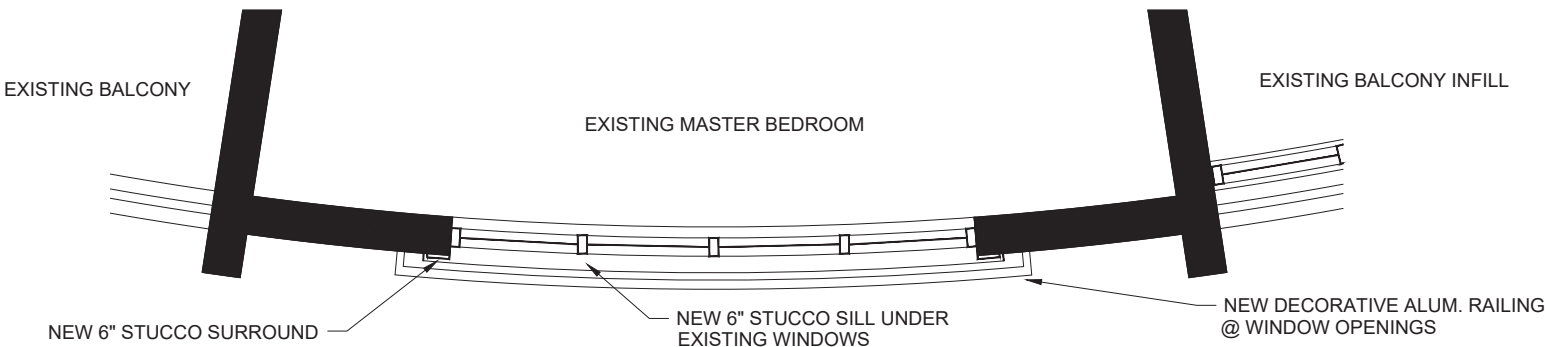
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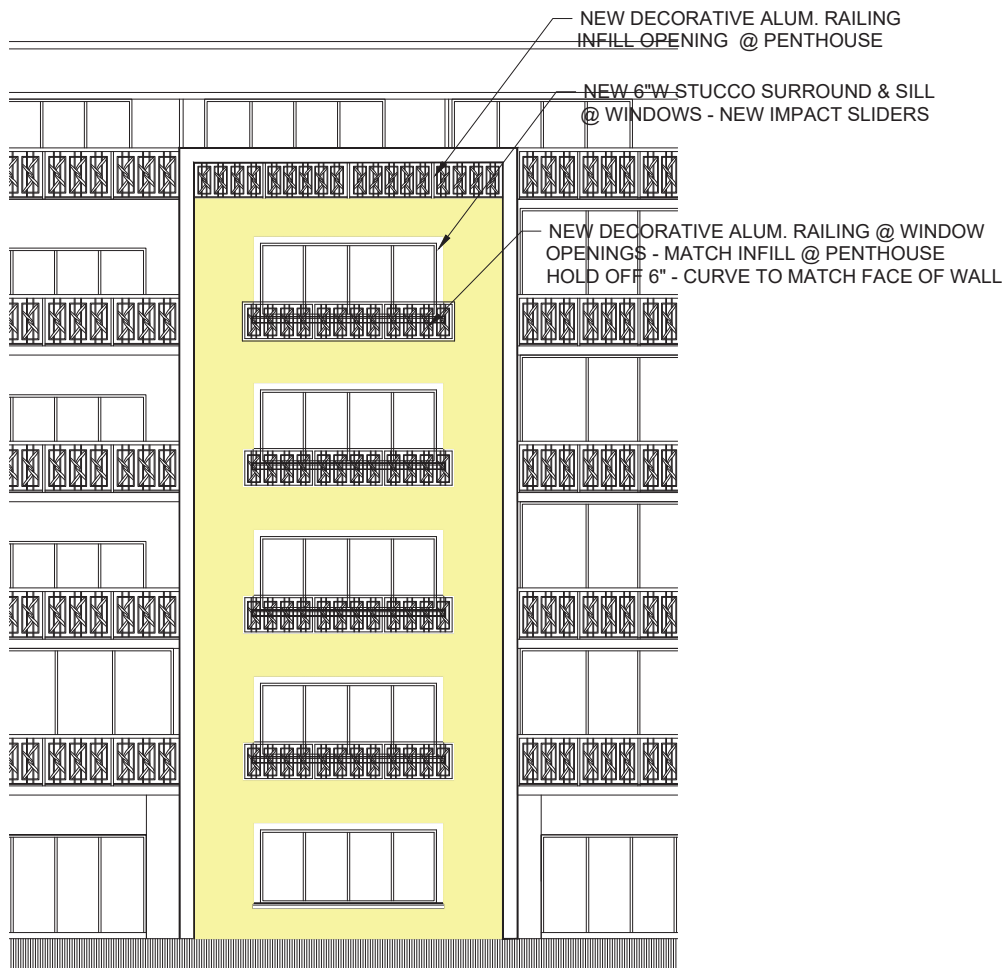
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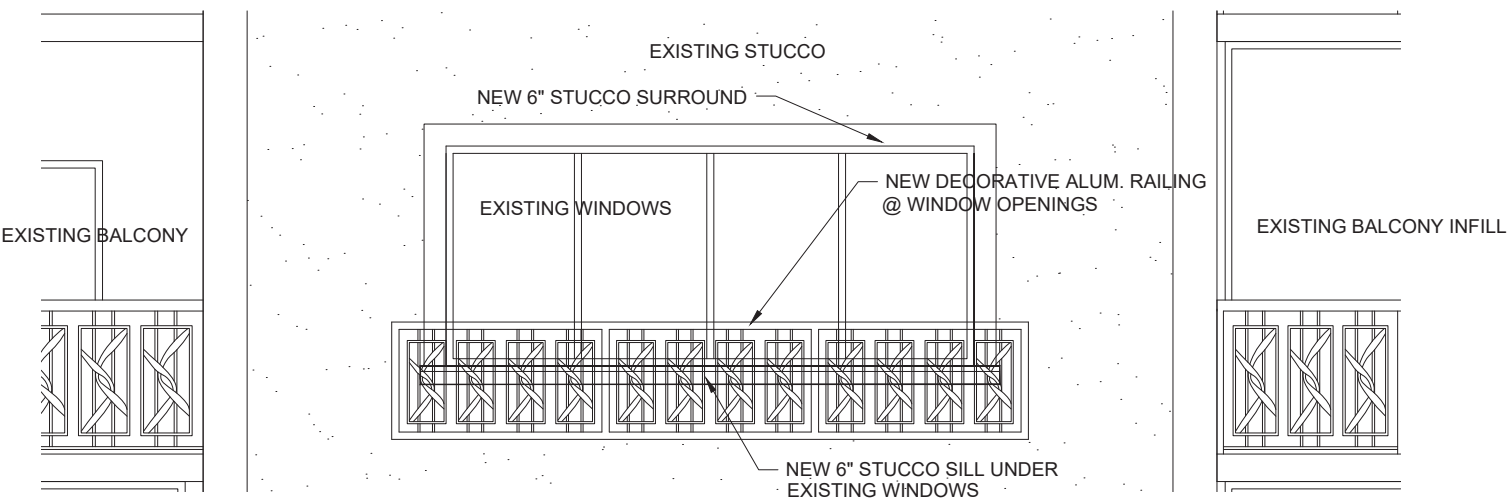
VIEW FROM SOUTH LAKE DRIVE



PLAN DETAIL - NEW DECORATIVE RAILING @ WINDOWS



PROPOSED ELEVATION DETAIL



ELEVATION DETAIL - NEW DECORATIVE RAILING @ WINDOWS

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EXISTING & PROPOSED PLAN & ELEVATION DETAILS

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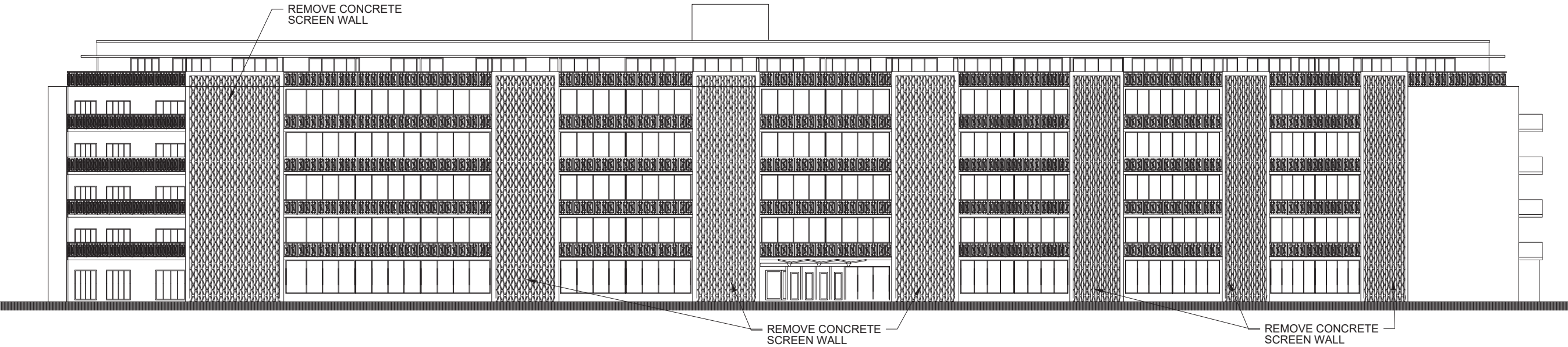
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PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION

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VIEW FROM SOUTH LAKE SIDE DRIVE



DETAILED VIEW

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PROPOSED EXTERIOR MODIFICATIONS - RENDERINGS

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VIEW FROM PERUVIAN AVENUE - PORTE COCHERE



VIEW FROM PERUVIAN AVENUE

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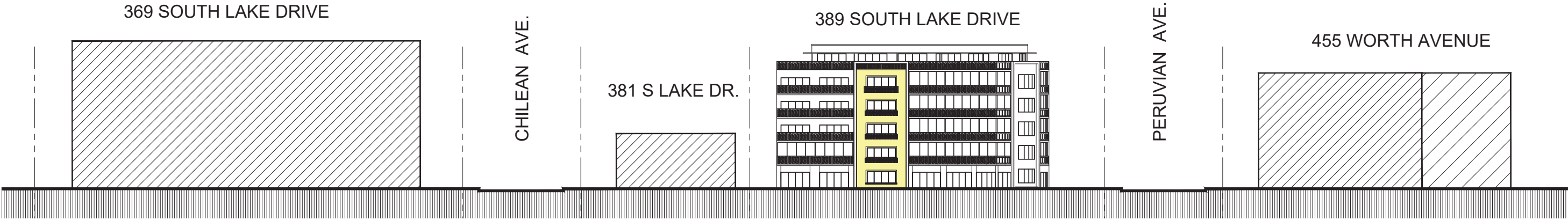
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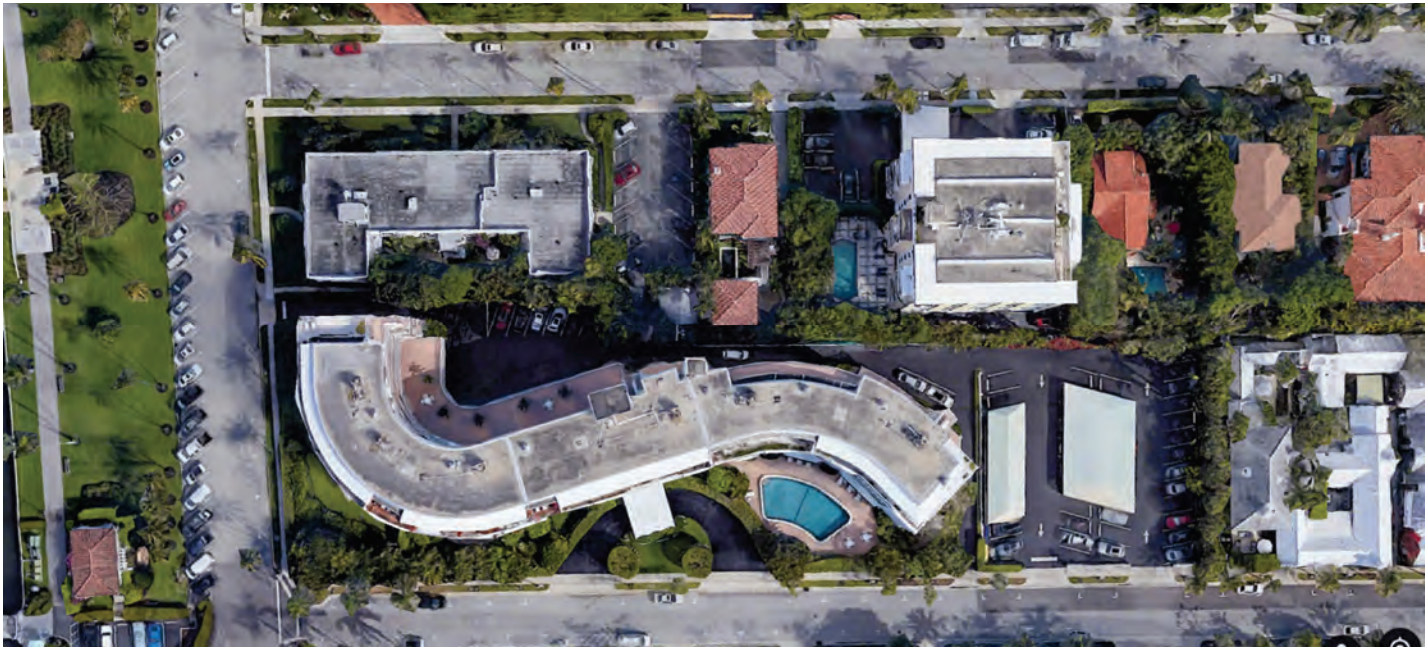
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STREETSCAPE VIEW FROM SOUTH LAKE DRIVE



STREETSCAPE VIEW FROM PERUVIAN AVENUE



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STREETSCAPE ELEVATIONS **A-2**
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