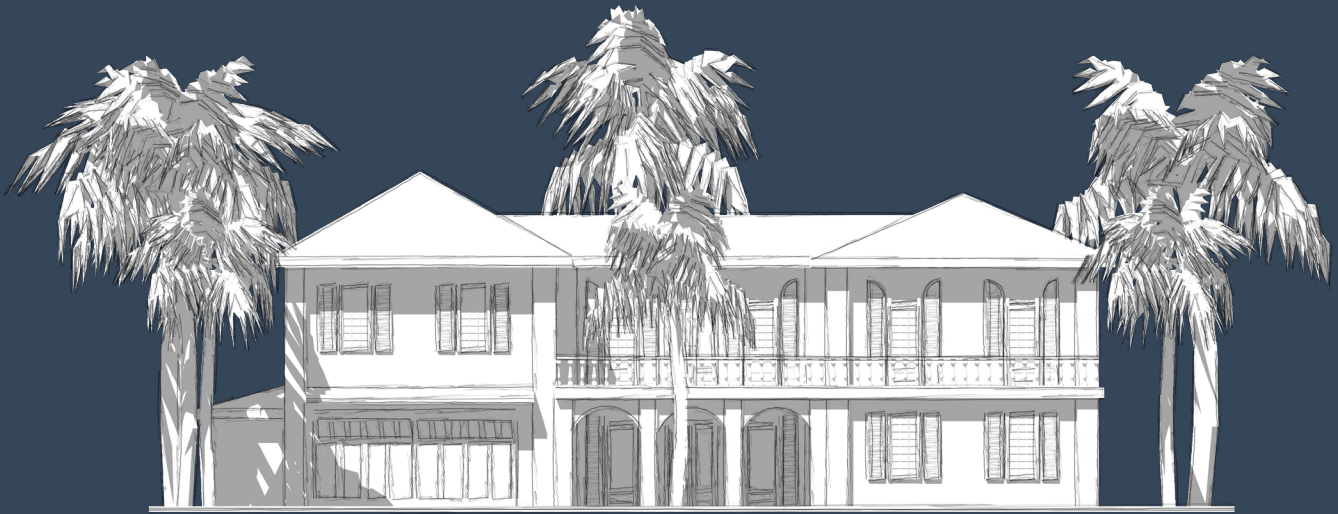

RESIDENTIAL

Districts



TOWN OF PALM BEACH

RESIDENTIAL

Districts



Sec. 134-1 Introduction to Residential Districts.

The following zoning districts shall be established to preserve and promote the desired uses and development patterns within each of the following residential districts.

Table 134-1 (i) — Residential Zoning Districts.

District Name	Symbol
Large Estate Residential District	R-AA
Water-Oriented Estate Residential District	R-A
Single-Family Neighborhood Residential District	R-B
Medium Density Neighborhood Residential District	R-C
Moderate Density Residential District	R-D(1)
Higher Density Residential District	R-D(2)

Sec. 134-2 Additional Regulations.

In addition to the development standards set forth in this Division, additional generally applicable regulations, including those for off-street parking and loading, signage, and air conditioning and generator equipment, may also apply as set forth in Sec. XYZ below.

Sec. 134-3 Accessory Uses and Structures in All Residential Districts.

- (a) Accessory uses determined by the Director to be customarily incidental to a principal use shall be permitted; provided, however beach accessories shall only be permitted if approved by special exception.

- (b)** The following development standards are generally applicable to all new construction of additions to accessory structures in the Residential Districts:

 - (1)** Enclosed accessory structures may be located in any yard or setback so long as no such accessory structure is located no closer than 10 ft. from any lot line.
 - (2)** No enclosed accessory structures shall be located in any front or side yard.
 - (3)** Enclosed accessory structures may be located in the rear yard; provided that no more than 20% of the gross floor area of an enclosed accessory structure may be located within the rear yard setback.
 - (4)** For corner or through lots, the street side yard setback or rear street yard setback shall be the same for unenclosed and enclosed accessory structures as for the principal structure, as is more fully set forth in Section XYZ below.
 - (5)** One accessory dock shall be permitted for all Lake Worth fronting lots, subject to all other applicable approvals and permits, as is more fully set forth in Section XYZ below.
 - (6)** The maximum height of an enclosed accessory structure shall be 25 ft., and 15 ft. for an unenclosed accessory structure; provided, however, all accessory structures in the R-B district shall have a maximum height of 15 ft.
- (c)** In the R-AA, R-A, and R-B districts, the construction of an enclosed accessory structure containing bedrooms with bath, kitchen, and cooking facilities is permitted to be used in connection with and as a part of the principal residence in accordance with the applicable standards of the district. Such enclosed accessory structure shall be used only for occupancy of nonpaying guests of the owners of the primary residence, members of the household, or their household employees.

R-AA

Large Estate Residential District

Sec. 134-4 Purpose.

The purpose of the R-AA Large Estate Residential District is to provide for single-family estate residential uses on lots of one and one-half acres or greater.

Sec. 134-5 Principal Uses.

- (a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-AA District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-5 (i) — Principal Uses.

Uses	Permitted	Special Exception
Single-Family Dwelling	●	

Sec. 134-6 Lot and Development Standards.

The following lot and development standards shall apply to the R-AA District:

Table 134-6 (i) — Lot Standards.

Standard	Numerical Standards
Lot Area	60,000 sq. ft. minimum
Lot Width	150 ft. minimum
Lot Depth	150 ft. minimum

Table 134-6 (ii) — Development Standards.

Standard	Numerical Standards
Front Yard Setback	35 ft. minimum
Side Yard Setback	30 ft. minimum each side
Rear Yard Setback	15 ft. minimum
Building Height	30 ft. maximum; 2 stories maximum
Lot Coverage	25% maximum
Landscaped Open Space	55% minimum in total; minimum 45% of front yard
Accessory Structures	See Sec. 134-3

R-A

Water-Oriented Estate Residential District

Sec. 134-7 Purpose.

The purpose of the R-A Water-Oriented Estate Residential District is to provide for single-family residential uses on water-oriented lots of one-half acre or more together with accessory uses as are harmonious with existing water-oriented residential development patterns.

Sec. 134-8 Principal Uses.

- (a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-A District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-8 (i) — Principal Uses.		
Uses	Permitted	Special Exception
Single-Family Dwelling	<div></div>	

Sec. 134-9 Lot and Development Standards.

The following lot standards shall apply to the R-A District as set forth below.

Table 134-9 (i) — Lot Standards.	
Standard	Numerical Standards
Lot Area	20,000 sq. ft. minimum
Lot Width	125 ft. minimum
Lot Depth	150 ft. minimum

Table 134-9 (ii) — Development Standards.	
Standard	Numerical Standards
Front Yard Setback	35 ft. minimum
Side Yard Setback	15 ft. minimum (30 ft. minimum for lots of 60,000 sq. ft. or more) each side
Rear Yard Setback	15 ft.
Building Height	25 ft. maximum; 2 stories maximum
Lot Coverage	25% maximum
Landscaped Open Space	50% minimum in total. 45% minimum of front yard
Accessory Structures	See Sec. 134-3

R-B

Single-Family Neighborhood Residential District

Sec. 134-10 Purpose.

The purpose of the R-B Single-Family Neighborhood Residential District is to provide for single-family residential uses that promote, protect, and preserve existing single-family residential neighborhood development patterns while providing for context-sensitive development.

Sec. 134-11 Principal Uses.

- (a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-B District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-11 (i) — Principal Uses.

Uses	Permitted	Special Exception
Single-Family Dwelling	●	

Sec. 134-12 Establishment of Subareas.

To respond to the unique neighborhood context and conditions in the R-B District, the following subareas are hereby established (See Diagrams 134 (1) and 134 (2) below):

(a) Subarea A.

Subarea A includes all lots within the area bound by Indian Road to the north, North Ocean Boulevard and North County Road to the east, Wells Road to the south, and North Lake Way and Slope Trail to the west. Lots with frontage on North Ocean Boulevard shall not be included in Subarea A.

(b) Subarea B.

Subarea B shall include all lots with their primary frontage located on Seaview Avenue, Seaspray Avenue, and Seabreeze Avenue.

(c) Subarea C.

Subarea C regulations shall apply to all other areas within the R-B District not included in Subareas A or B.



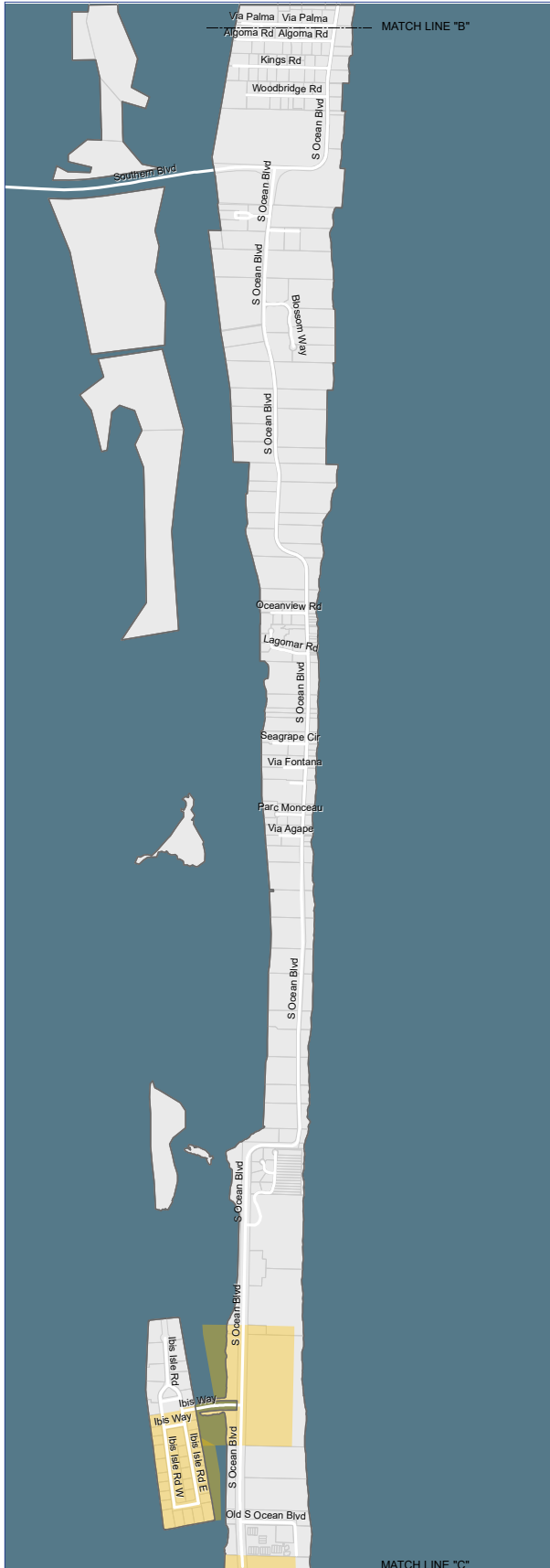


Diagram 134 (2) — Map 2 of Subarea A in **green**, and Subarea B in **blue**, and Subarea C in **yellow**.

Sec. 134-13 Lot Standards by Subarea.

The following lot standards shall apply to each of the R-B subareas.

Table 134-13 (i) — Lot Standards.			
Lot Standard	Subarea A	Subarea B	Subarea C
Lot Area	10,000 sq. ft. minimum 20,000 sq. ft. maximum	7,500 sq. ft. minimum 15,000 sq. ft. maximum	10,000 sq. ft. minimum 20,000 sq. ft. maximum
Lot Width	100 ft. minimum	75 ft. minimum	100 ft. minimum
Lot Depth	100 ft. minimum	100 ft. minimum	100 ft. minimum

- (a) For all corner lots, the development standards are established based on the width of the east-west lateral street; however, for corner lots where the length of the frontage along any east-west lateral street is less than or equal to half of the length of the second frontage, the width of the second street may be used to determine the development standards.
- (b) For all through lots, the applicable development standards as a function of street width shall apply from such frontage to the midpoint of the lot.

Sec. 134-14 Variation of Roof Height in All Subareas.

For all new construction and additions in all subareas of the R-B District, the maximum height of the roof of a building shall be designed as follows:

- (a) At least 30 percent of the height of the ridgeline or parapet wall of a roof shall be a minimum of one foot above or below the ridgeline or parapet wall of the remainder of the roof.
- (b) For buildings with a combination of both sloped and flat roofs, including occupiable rooftop spaces, the difference in maximum height between the ridgeline of a sloped roof and the top of a parapet wall or railing shall be at least three feet.

Sec. 134-15 Subarea A Development Standards.

- (a) Establishment of Residence Area in Subarea A.

The residence area is the area within a lot that is bound by all required yard setbacks. (See Diagram 134 (3) below.)

- (1) The maximum building footprint shall be a percentage of the residence area as determined herein.
- (2) The principal building, and all projections therefrom, shall be located entirely within the residence area, except as provided below:
 - a. Stairs, ramps, lifts, and other means of pedestrian access to a building are permitted to encroach up to six feet into a required setback.

- b. A portion of any permitted accessory structures may be permitted outside of the residence area in accordance with the standards and limitations set forth in Section 134-3 above.

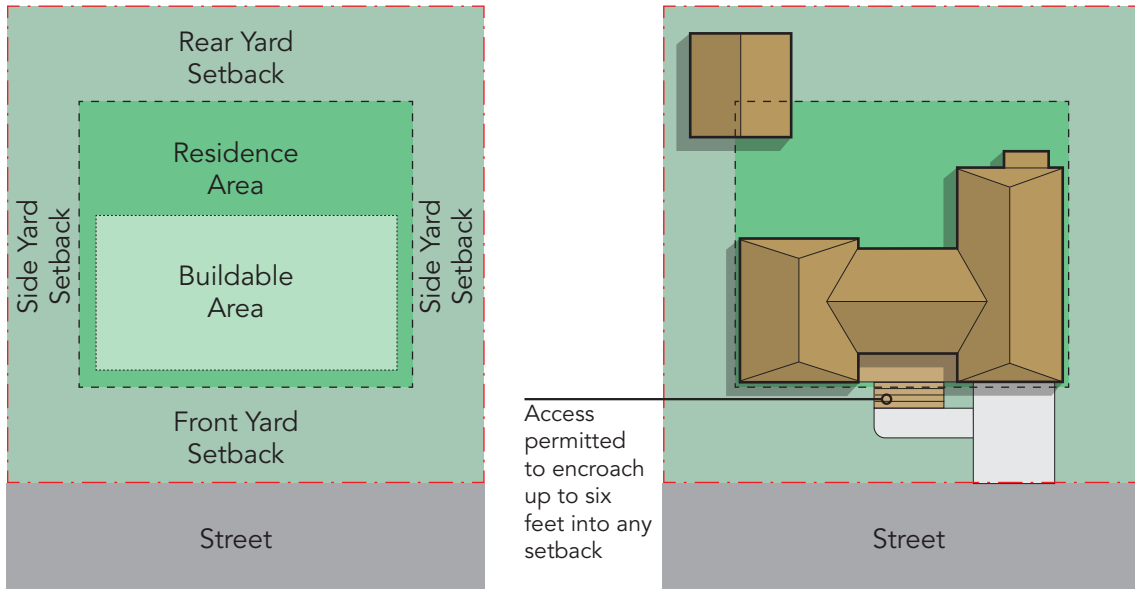


Diagram 134 (3) — Diagram illustrating the residence area (left), and building location and access exceptions outside of the residence area (right).

- (b) Within Subarea A, the development standards of the R-B District are established through a combination of setbacks and maximum building height regulations as a function of the width of the street, as set forth in Table 134-18 (i).

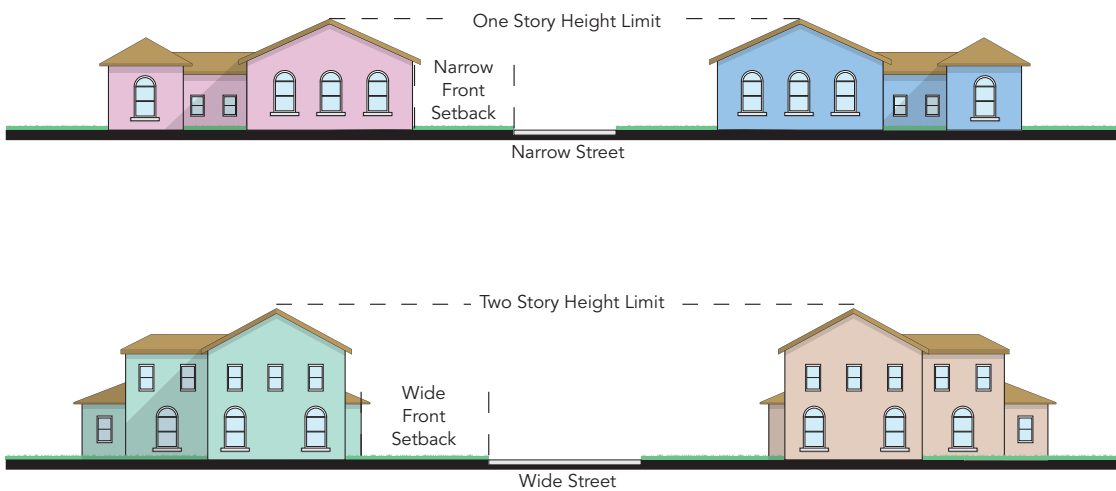


Diagram 134 (4) — Diagram illustrating the relationship between width of street and development standards applicable to Subarea A of the R-B District.

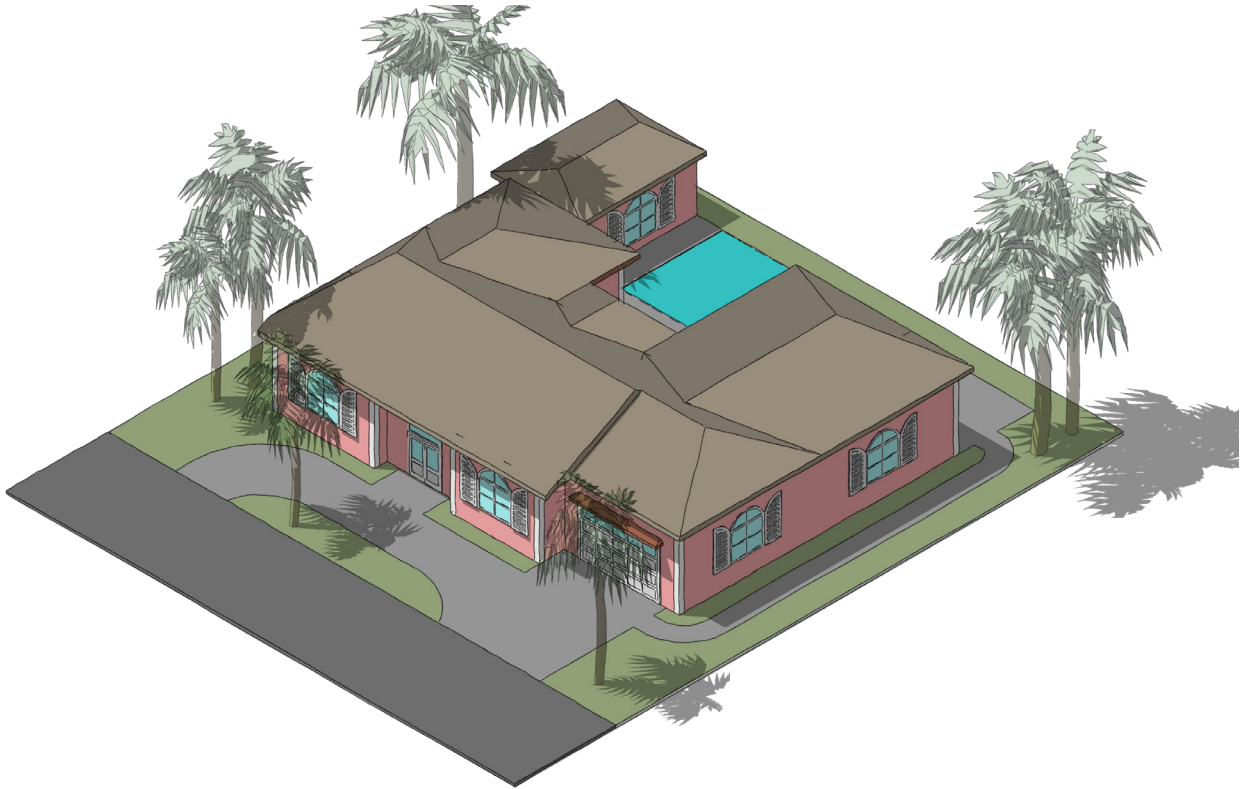


Diagram 134 (5) — *Diagram illustrating a development scenario within Subarea A on a narrow street.*

(c) Lots on Narrow Streets.

The following development standards shall apply to all new construction and additions on all Subarea A lots fronting a street classified as a “narrow street” per Table 134-18 (i).

Table 134-15 (i) — Subarea A Narrow Street Development Standards.	
Lot Standard	Numerical Standards
Front Yard Setback	20 ft. minimum
Side Yard Setback	12.5 ft. minimum each side yard
Rear Yard Setback	20 ft. minimum
Exterior Building Wall Height	14 ft. maximum
Building Height	22 ft. maximum
Building Coverage	85% of residence area maximum
Impervious Surface	70% of lot area maximum
Front Yard Planting	50% of front yard area minimum
Facade Articulation	30% of front elevation minimum
Accessory Structures	See Sec. 134-3

- (1)** ARCOM may approve a two-story residence on a lot fronting a narrow street if an applicant demonstrates by clear and convincing evidence that all of the following are satisfied:

- a. The proposed front yard setback is not less than 35 ft.;
- b. The proposed gross floor area, including both stories, shall not exceed 85% of the residence area;
- c. More than 50% of the existing residences on the street existing at the time of the application are two-story residences; and
- d. The proposed two-story residence would not have a substantial adverse impact on the privacy of neighboring properties.

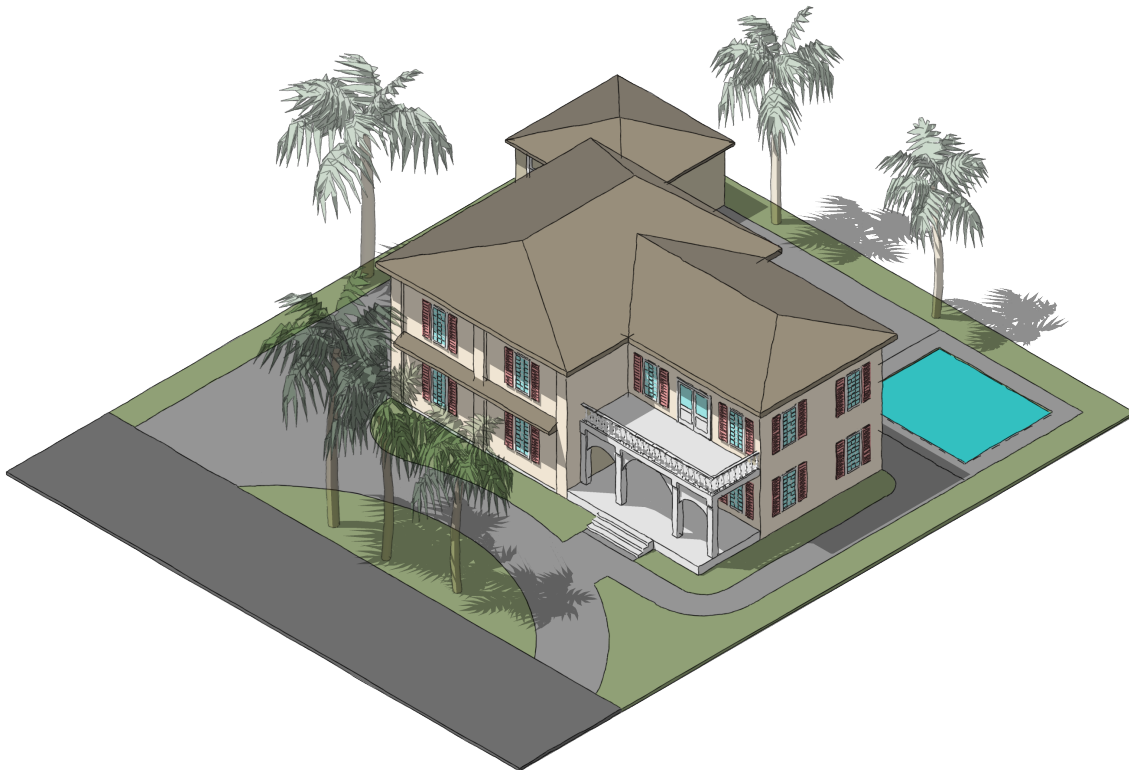


Diagram 134 (6) — *Diagram illustrating a development scenario within Subarea A on a wide street.*

(d) Lots on Wide Streets.

The following development standards shall apply to all new construction and additions on all Subarea A lots fronting a street classified as a “wide street” per Table 134-18 (i); however, the development standards of paragraph (c) of this section may also be used for one-story buildings.

Table 134-15 (ii) — Subarea A Wide Street Development Standards.

Lot Standard	Numerical Standards
Front Yard Setback	30 ft. minimum for two-story dwelling
Side Yard Setback	15 ft. minimum each side yard
Rear Yard Setback	15 ft. minimum
Exterior Building Wall Height	22 ft. maximum

Table 134-15 (ii) — Subarea A Wide Street Development Standards.	
Lot Standard	Numerical Standards
Building Height	30 ft. maximum
Building Coverage, First Story	50% of residence area maximum
Building Coverage, Second Story	35% of residence area maximum
Impervious Surface	65% of lot area maximum
Front Yard Planting	50% of front yard area minimum
Facade Articulation	30% of first story front elevation minimum 45% of second story front elevation minimum
Accessory Structures	See Sec. 134-3

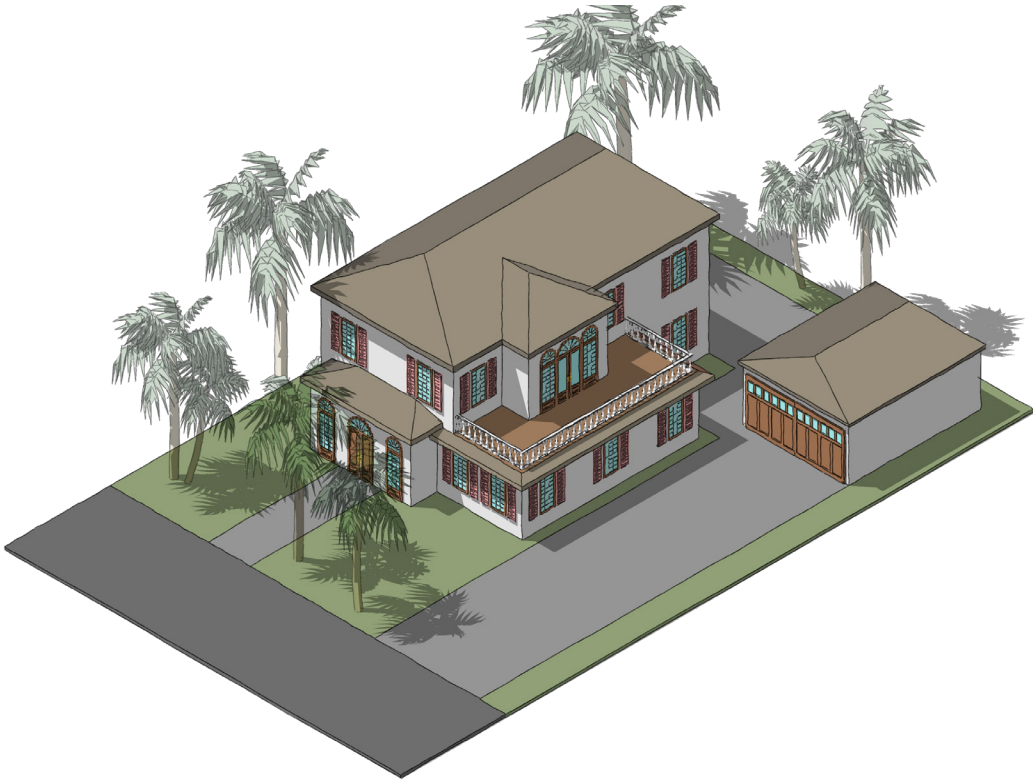


Diagram 134 (7) — *Diagram illustrating a development scenario within Subarea B of the R-B District.*

Sec. 134-16 Subarea B Development Standards.

(a) Development Standards.

The following development standards shall apply to all new construction and additions within Subarea B, except as otherwise provided in subsection (b) below:

Table 134-16 (i) — Subarea B Development Standards.

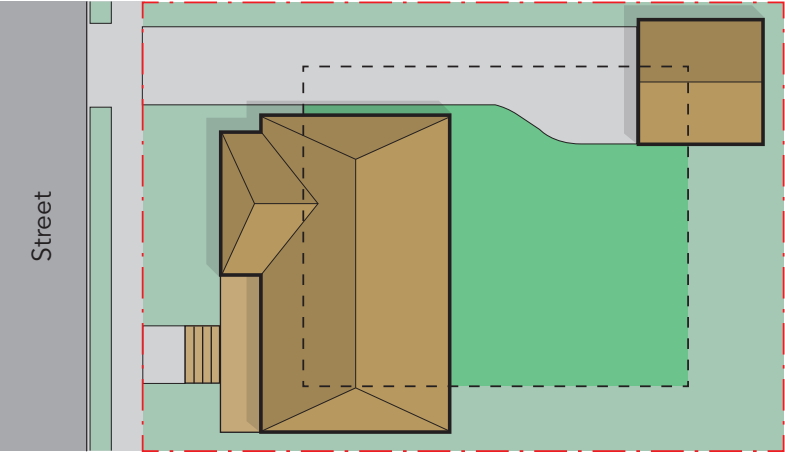
Lot Standard	Numerical Standards
Front Yard Setback	25 ft. minimum
Side Yard Setback	10 ft. minimum each side yard
Rear Yard Setback	15 ft. minimum
Exterior Wall Height	22 ft. maximum
Building Height	30 ft. maximum
Building Coverage, First Story	30% of lot area maximum
Building Coverage, Second Story	20% of lot area maximum
Impervious Surface	65% of lot area maximum
Front Yard Planting	30% of front yard area minimum
Accessory Structures	See Sec. 134-3

(b) Lots Less than 75 Feet Wide.

In order to protect the unique residential character of Subarea B, partial or complete demolition and reconstruction of a single-family dwelling and/or accessory structure on a lot 75 feet or less in width are exempt from the development standards as set forth in this section if redeveloped substantially on the same footprint as existed prior to demolition provided the following conditions are met:

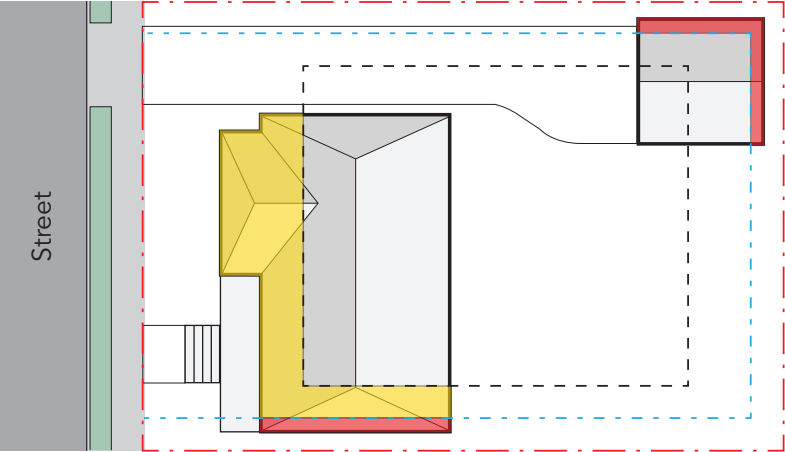
- (1)** The proposed single-family dwelling and/or accessory structure are of an architectural style consistent with the architecture of the single-family dwellings within the R-B zoning district on both sides of the subject street, between both intersecting streets, where the dwelling is situated, as determined by ARCOM.
- (2)** Where the existing footprint of any principal or accessory structures is located within five feet of a side or rear lot line, the replacement footprint shall not be located a minimum of five feet from such lot line, and the principal building shall be located a minimum of ten feet from any neighboring principal building.
- (3)** The proposed exterior wall height and maximum height of any principal or accessory structures are no higher than the respective structures being demolished and replaced.
- (4)** Any square footage added to the proposed structures shall meet all applicable lot, yard and bulk zoning requirements and no variances may be request for any enlargements which add square footage in excess of the area that existed prior to demolition.

In addition to the above conditions of this section, the administrative provisions of Sec. XYZ of this chapter shall apply.



Existing Condition

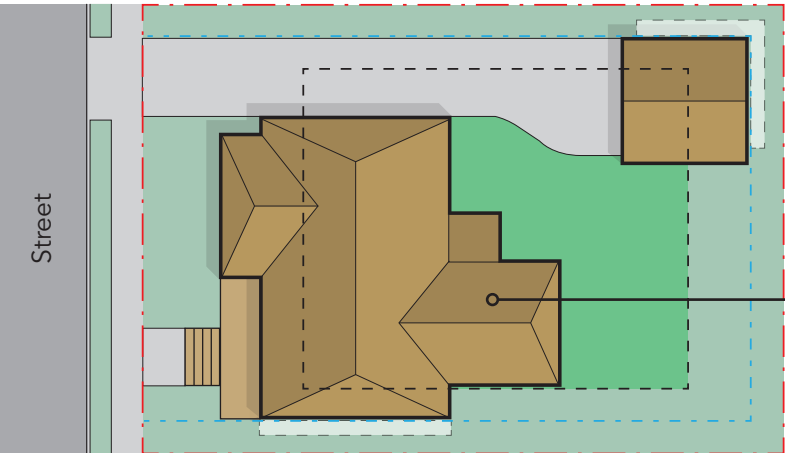
The example shows a lot within Subarea B of the R-B District containing a building constructed prior to the current zoning code. The lot is less than 75 feet in width, and portions of the building are located within a required yard setback.



Nonconformances

The provisions of Section 134-6(b) allow for the new building to be reconstructed within the footprint of the existing building; however, portions of the building within five feet of the lot line must be relocated.

- Portions of building to remain located within required yard setback.
- Portions of building to be removed within five feet of lot line.



New Development

The new development is located largely within the footprint of the existing building. Any new floor area added to the building must comply with the zoning standards of Section 134-6(a).

Enlarged portion of the building footprint.

- Lot line
- Five foot buffer
- Required yard setbacks
- Area defined by yard setbacks
- Building footprint
- Porch/Patio
- Paved driveway

Diagram 134 (8) — Diagram illustrating provisions of Section 134-16(b)



Diagram 134 (9) — *Diagram illustrating a development scenario within Subarea C of the R-B District.*

Sec. 134-17 Subarea C Development Standards.

The following development standards shall apply to all new construction and additions within Subarea C.

Table 134-17 (i) — Subarea C Development Standards.

Lot Standard	Numerical Standards
Front Yard Setback	25 ft. minimum
Side Yard Setback	12.5 ft. minimum each side yard
Rear Yard Setback	10 ft. minimum
Exterior Wall Height	22 ft. maximum
Building Height	30 ft. maximum
Building Coverage, First Story	30% of lot area maximum
Building Coverage, Second Story	20% of lot area maximum
Impervious Surface	65% of lot area maximum
Front Yard Planting	50% of front yard area minimum
Accessory Structures	See Sec. 134-3

Sec. 134-18 Subarea A Street Width Classifications.

The following classifies each street in Subarea A as either "narrow" or "wide" based on data currently available to the Town. In the event that an applicant disagrees with the street width classification as described in Table 134-18 (i), such applicant may commission a survey of the street to be performed by a Florida-licensed surveyor. Such survey of the street may be submitted to the Director, and, where the survey indicates that the street was erroneously classified in Table 134-18 (i), the Director shall reclassify the street appropriately.

Table 134-18 (i) — Subarea A Street Width.		
Street	Narrow Street	Wide Street
Adam Road	●	●
Angler Avenue		●
Arabian Road	●	
Bahama Lane	●	
Cherry Lane	●	
Caribbean Road	●	
Colonial Lane	●	
Coral Lane		●
Country Club Road	●	
Crescent Drive		●
Debra Lane	●	
Dolphin Road		●
East Woods Road		●
Eden Road		●
El Dorado Lane		●
El Pueblo Way	●	
Emerald Lane		●
Esplanade Way	●	
Fairview Road	●	
Garden Road		●
Indian Road	●	
Jamaica Lane	●	
Kawama Lane		●
Kenlyn Road	●	
La Costa Way		●
La Puerta Way	●	
Laurian Lane	●	
Laurie Lane	●	
List Road		●
Manana Lane	●	

Table 134-18 (i) — Subarea A Street Width.

Street	Narrow Street	Wide Street
Mediterranean Road		●
Merrain Road	●	
Miraflores Drive	●	
Mockingbird Trail		●
Monterey Road	●	
Nightingale Trail		●
North County Road		●
North Lake Way	●	
North Ocean Boulevard		●
North Ocean Way	●	
North Woods Road		●
Ocean Terrace	●	
Onondaga Avenue	●	
Orange Grove Road		●
Osceola Way		●
Palmo Way	●	
Plantation Road		●
Queens Lane	●	
Reef Road		●
Ridgeview Drive	●	
Sanford Avenue	●	
Sandpiper Drive		●
Seagate Road		●
Slope Trail	●	
South Woods Road		●
Southland Road		●
Tangier Avenue		●
Tradewind Drive		●
Via Las Brisas		●
Via Linda		●
Via Marila		●
Via Tortuga		●
Wells Road		●
West Indies Drive		●
Windsor Court		●

R-C

Medium Density Neighborhood Residential District

Sec. 134-19 Purpose.

The purpose of the R-C Medium Density Neighborhood Residential District is to provide for a variety of housing types in a walkable neighborhood setting that compliments the walkable commercial areas of Mid-Town as are harmonious with existing single-family residential development patterns.

Sec. 134-20 Principal Uses.

(a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-C District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-20 (i) — Principal Uses.		
Uses	Permitted	Special Exception
Single-Family Dwelling	●	
Two-Family Dwelling	●	
Townhouse Dwelling	●	

Sec. 134-21 Lot and Development Standards.

The following lot and development standards shall apply to the R-C District:

(a) Single-Family Lot and Development Standards.

The following lot and development standards apply to all single-family dwellings in the R-C district:

Table 134-21 (i) — Lot Standards.	
Standard	Numerical Standards
Lot Area	10,000 sq. ft. minimum
Lot Width	75 ft. minimum
Lot Depth	100 ft. minimum

Table 134-21 (ii) — Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum
Side Yard Setback	10 ft. minimum each side
Rear Yard Setback	15 ft. minimum
Building Height	23 ½ ft. maximum; 2 stories maximum
Lot Coverage	30% maximum
Landscaped Open Space	45% minimum in total; minimum 40% of front yard ¹
Density	6 dwelling units per acre maximum
Accessory Structures	See Sec. 134-3

(1) At least half of the required landscaped open space shall be perimeter landscaping within ten feet of the property line. The perimeter landscaping requirement does not apply to lots of 20,000 sq. ft. or greater in area.

(b) Two-Family Lot and Development Standards.

The following lot and development standards apply to all two-family dwellings in the R-C district:

Table 134-21 (iii) — Two-Family Lot Standards.

Standard	Numerical Standards
Lot Area	13,333 sq. ft. minimum
Lot Width	75 ft. minimum
Lot Depth	100 ft. minimum

Table 134-21 (iv) — Two-Family Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum. If garage doors face a street, at least 40% of the entire structure facing said street shall be set back a minimum of 45 ft. minimum from the front lot line
Side Yard Setback	10 ft. minimum for one-story portion and 15 ft. minimum for two-story portion
Rear Yard Setback	15 ft. minimum
Building Height	23 ½ ft. maximum; 2 stories maximum
Lot Coverage	30% maximum
Landscaped Open Space	40% minimum in total; minimum 40% of front yard
Accessory Structures	See Sec. 134-3

(c) Townhouses Lot and Development Standards.

The following lot and development standards apply to all townhouses in the R-C district:

Table 134-21 (v) — Townhouse Lot Standards.

Standard	Numerical Standards
Lot Area	Subdivision X of division X of Sec. XYZ
Lot Width	Subdivision X of division X of Sec. XYZ
Lot Depth	Subdivision X of division X of Sec. XYZ

Table 134-21 (vi) — Townhouses Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum. If garage doors face a street, at least 40% of the entire structure facing said street shall be set back a minimum of 45 ft. minimum from the front lot line
Side Yard Setback	Subdivision X of division X of Sec. XYZ
Rear Yard Setback	15 ft. minimum
Building Height	23 ½ ft. maximum; 2 stories maximum
Lot Coverage	35% maximum
Landscaped Open Space	35% minimum in total; minimum 35% of front yard
Accessory Structures	See Sec. 134-3

R-D(1)

Moderate Density Residential District

Sec. 134-22 Purpose.

The purpose of the R-D(1) Moderate Density Residential District is to provide for residential uses and a variety of housing types of a moderate population density compatible with existing multi-family residential condominiums in Palm Beach.

Sec. 134-23 Principal Uses.

- (a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-D(1) District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-23 (i) — Principal Uses.		
Uses	Permitted	Special Exception
Multi-Family Dwelling	●	
Townhouse Dwelling	●	
Group Dwelling	●	

Sec. 134-24 Incidental Services.

Incidental services used in connection with residential multi-family buildings in the R-D(1) District, including sundry shops, delicatessens and cafes, personal service shops, and similar uses intended to primarily serve the residents of the building, subject to the following conditions:

- (a) At least 25 dwelling units shall be contained within the building group that the incidental services serve.
- (b) Not more than five percent of the total floor area on the property shall be used for any such incidental services.
- (c) All such incidental services shall be situated within the interior of the building so that no part thereof shall be directly accessible to the street or public way.
- (d) No sign or window display shall be discernible from the sidewalk or public way.
- (e) No exterior or external advertising shall be permitted.

Sec. 134-25 Lot and Development Standards.

The following lot standards shall apply to the R-D(1) District as set forth below.

- (a) Multi-Family Lot and Development Standards.

The following lot and development standards apply to all multi-family dwellings in the R-D(1) district:

Table 134-25 (i) — Multi-Family Lot Standards.

Standard	Numerical Standards
Lot Area	40,000 sq. ft. minimum
Lot Width	150 ft. minimum
Lot Depth	200 ft. minimum

Table 134-25 (ii) — Multi-Family Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum or the height of the building, whichever is the greater ¹
Side Yard Setback	30 ft. minimum or the height of the building, whichever is greater
Rear Yard Setback	30 ft. minimum
Building Height	25 ft maximum; 2 stories maximum or 35 ft maximum; 3 stories maximum
Lot Coverage	35% maximum
Landscaped Open Space	35% maximum
Density	10 units per acre maximum
Accessory Structures	See Sec. 134-3

¹ When more than one street yard exists (as provided in sections 134-1576 and 134-1577) and the height of a building exceeds 25 feet, the total amount of street yard setbacks shall equal the height of the building times the number of street yards, and any individual street yard setback shall be not less than 25 feet. See also requirements in sections XYZ and XYZ.

(b) Townhouse Lot and Development Standards.

The following lot and development standards apply to all townhouses in the R-D(1) district:

Table 134-25 (iii) — Townhouse Lot Standards.

Standard	Numerical Standards
Lot Area	See subdivision XX of division XX of Sec. XYZ of this chapter
Lot Width	See subdivision XX of division XX of Sec. XYZ of this chapter
Lot Depth	See subdivision XX of division XX of Sec. XYZ of this chapter

Table 134-25 (iv) — Townhouse Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum
Side Yard Setback	See subdivision XX of division XX of Sec. XYZ of this chapter
Rear Yard Setback	15 ft. minimum
Building Height	25 ft. maximum; 2 stories maximum
Lot Coverage	35%
Landscaped Open Space	35%
Accessory Structures	See Sec. 134-3

R-D(2)

Higher-Density Residential District

Sec. 134-26 Purpose.

The purpose of the R-D(2) Higher-Density Residential District is to provide for multi-family water-oriented developments in Palm Beach.

Sec. 134-27 Principal Uses.

- (a) The following principal uses shall be permitted as-of-right or permitted by special exception within the R-D(2) District, as indicated. All special exception uses require a site plan review and approval, as is more fully set forth in Sec. XYZ below. Additional use standards in Sec. XYZ may apply.

Table 134-27 (i) — Principal Uses.		
Uses	Permitted	Special Exception
Multi-Family Dwelling	●	
Townhouse Dwelling	●	
Group Dwelling	●	

Sec. 134-28 Incidental Services.

Incidental services used in connection with residential multi-family buildings in the R-D(2) District, including sundry shops, delicatessens and cafes, personal service shops, and similar uses intended to primarily serve the residents of the building, subject to the following conditions:

- (a) At least 25 dwelling units shall be contained within the building group that the incidental services serve.
- (b) Not more than five percent of the total floor area on the property shall be used for any such incidental services.
- (c) All such incidental services shall be situated within the interior of the building so that no part thereof shall be directly accessible to the street or public way.
- (d) No sign or window display shall be discernible from the sidewalk or public way.
- (e) No exterior or external advertising shall be permitted.

Sec. 134-29 Lot and Development Standards.

The following lot standards shall apply to the R-D(2) District as set forth below.

- (a) Multi-Family Lot and Development Standards.

The following lot and development standards apply to all multi-family dwellings in the R-D(2) district:

Table 134-29 (i) — Multi-Family Lot Standards.

Standard	Numerical Standards
Lot Area	40,000 sq. ft. minimum
Lot Width	150 ft. minimum
Lot Depth	200 ft. minimum

Table 134-29 (ii) — Multi-Family Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum or the height of the building, whichever is the greater ¹
Side Yard Setback	30 ft. minimum or the height of the building, whichever is greater
Rear Yard Setback	30 ft. minimum
Building Height	25 ft. maximum; 2 stories or 35 ft. maximum; 3 stories maximum
Lot Coverage	35% maximum
Landscaped Open Space	35% maximum
Density	13 units per acre maximum
Accessory Structures	See Sec. 134-3

¹ When more than one street yard exists (as provided in sections 134-XYZ and 134-XYZ) and the height of a building exceeds 25 feet, the total amount of street yard setbacks shall equal the height of the building times the number of street yards, and any individual street yard setback shall be not less than 25 feet. See also requirements in sections XYZ and XYZ.

(b) Townhouse Lot and Development Standards.

The following lot and development standards apply to all townhouses in the R-D(2) district:

Table 134-29 (iii) — Townhouse Lot Standards.

Standard	Numerical Standards
Lot Area	See subdivision XX of division XX of Sec. XYZ of this chapter
Lot Width	See subdivision XX of division XX of Sec. XYZ of this chapter
Lot Depth	See subdivision XX of division XX of Sec. XYZ of this chapter

Table 134-29 (iv) — Townhouses Development Standards.

Standard	Numerical Standards
Front Yard Setback	25 ft. minimum
Side Yard Setback	See subdivision XX of division XX of Sec. XYZ of this chapter

Table 134-29 (iv) — Townhouses Development Standards.	
Standard	Numerical Standards
Rear Yard Setback	15 ft. minimum
Building Height	25 ft. maximum
Stories	2 stories maximum
Lot Coverage	35%
Landscaped Open Space	35%
Accessory Structures	See Sec. 134-3