



PROPOSED LANDSCAPE NORTH ELEVATION

SCALE: 1/4" = 1'

Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

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NOT FOR CONSTRUCTION

KYLE B FANT ARCHITECT # A989255
INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

Revisions:

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

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PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.1.3

ARC-23-140
ZON-23-118

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

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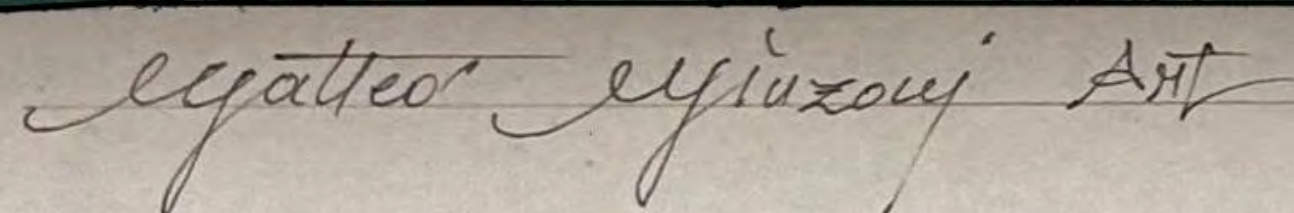
SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER

A2.1.4

ARC-23-140	
ZON-23-118	



Arch. Bartholomew & Partners

PROPOSED STREETVIEW NORTH ELEVATION

SCALE: 1/4" = 1'

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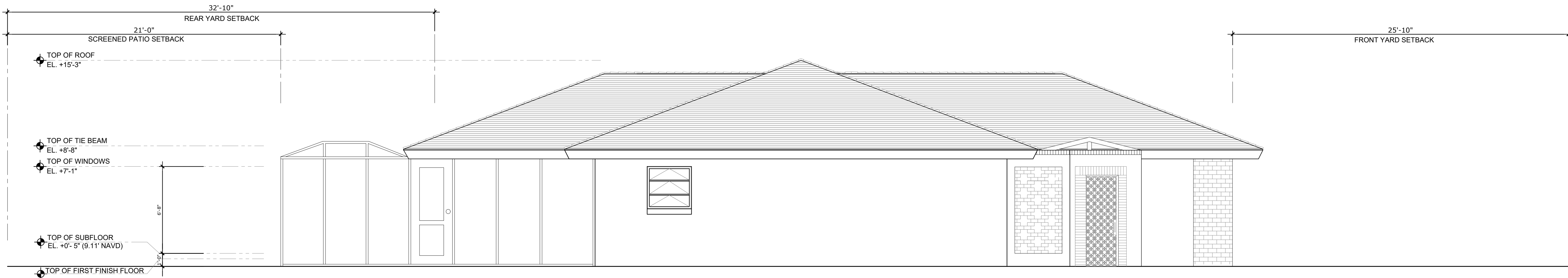
SHEET NAME

EXISTING & PROPOSED
ELEVATIONS

SHEET NUMBER

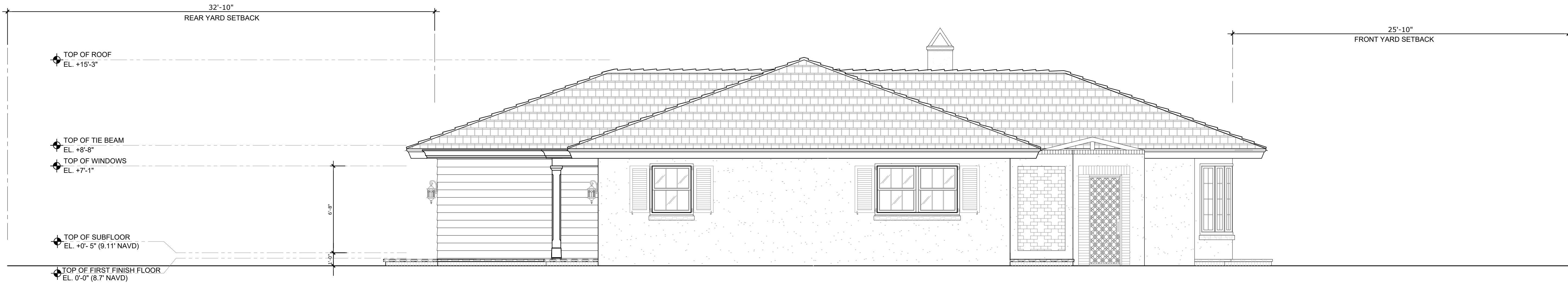
A2.2.0

ARC-23-140
ZON-23-118



EXISTING WEST ELEVATION

SCALE: 1/4" = 1'



PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'

ARCHITECTURE AND DESIGN
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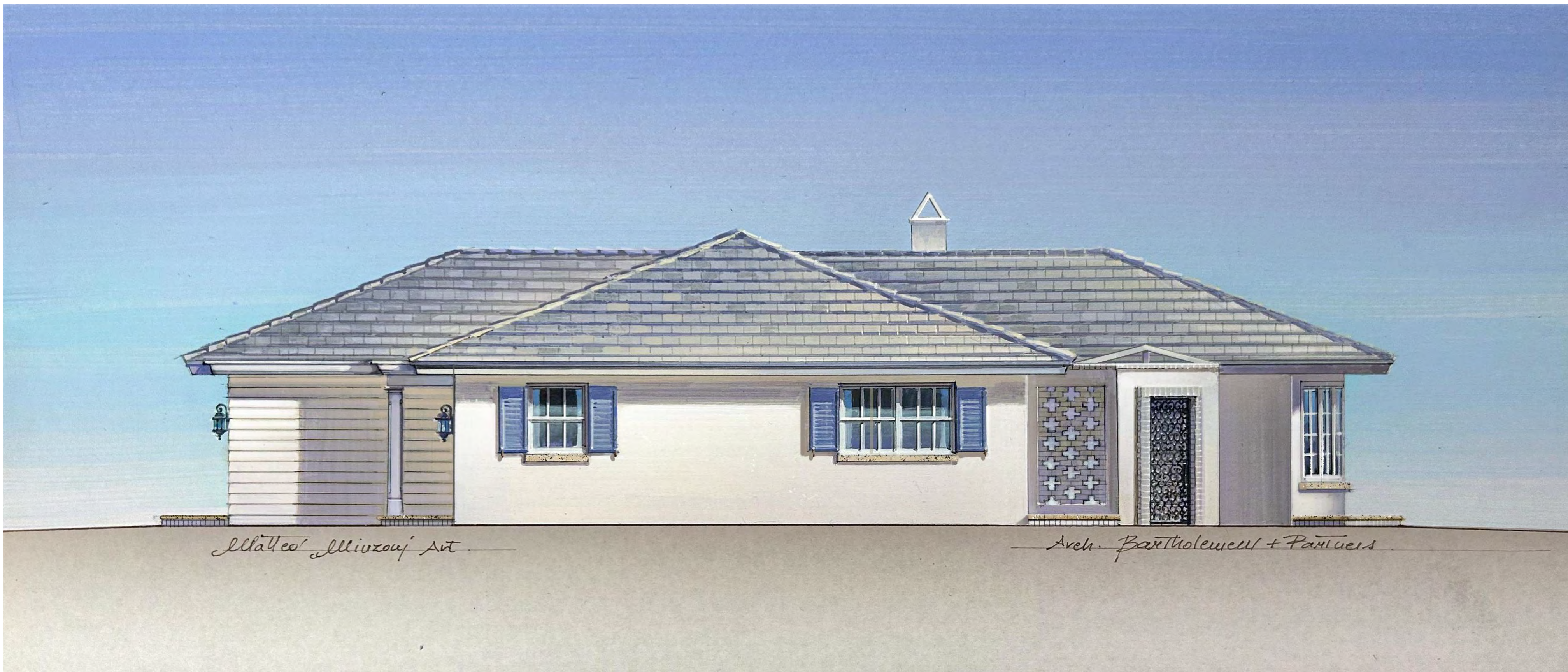
SHEET NAME

**COLOR PROPOSED
ELEVATIONS**

SHEET NUMBER _____

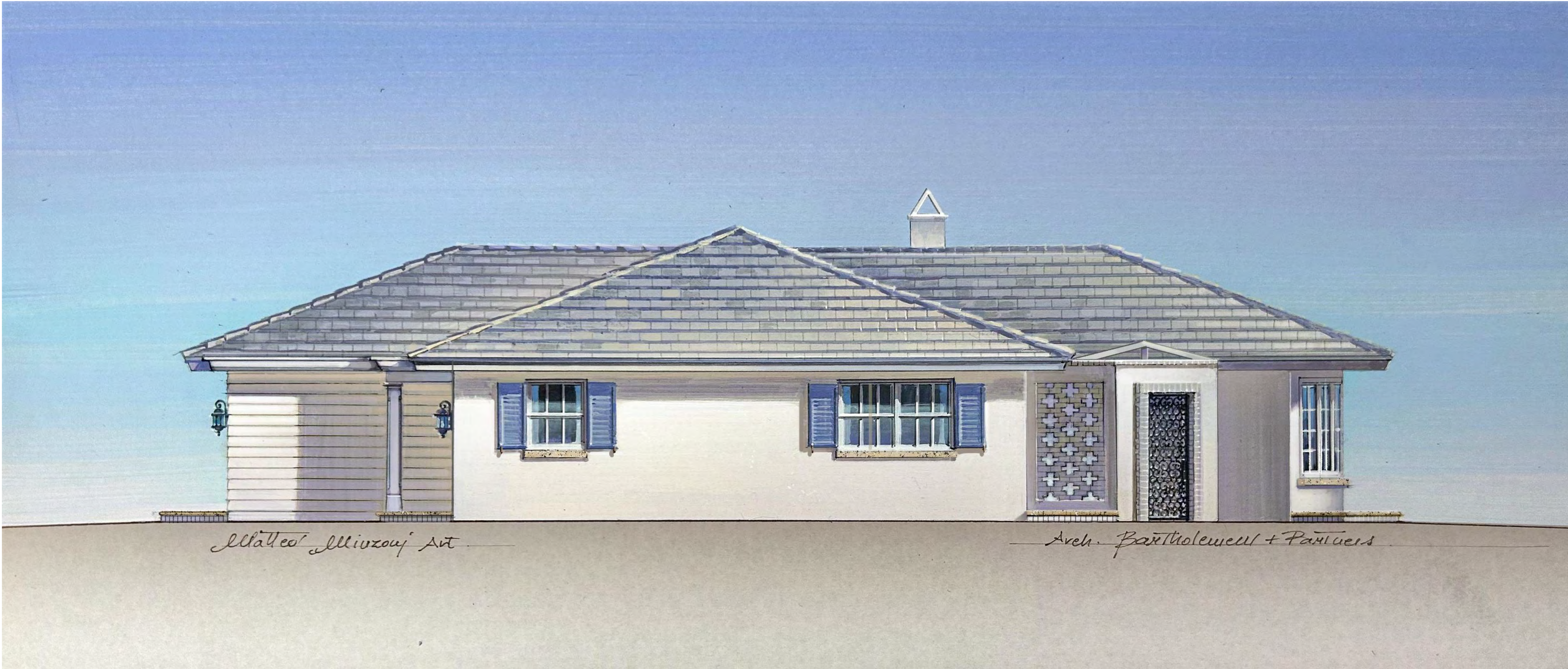
A2.2.1

ARC-23-140
ZON-23-118



PROPOSED COLOR WEST ELEVATION

SCALE: 1/4" = 1'



PROPOSED COLOR WEST ELEVATION

SCALE: 1/4" = 1'

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PALM BEACH, FL 33480

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SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.2.2

ARCHITECTURE AND DESIGN
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KYLE B FANT ARCHITECT # AR99255
 INTERIOR DESIGNER # ID6422
 NA # 30425933 NCARB # 87929

Revisions

[illegible]

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2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED ELEVATIONS

SHEET NUMBER

ARC-23-140
ZON-23-118



SCALE: 1/4" = 1'



PROPOSED STREETVIEW WEST ELEVATION

SCALE: 1/4" = 1'

Bartholemew + Partners

ARCHITECTURE AND DESIGN
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PALM BEACH, FL 33480

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SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.2.4

ARC-23-140
ZON-23-118

CONSULTANTS

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SHEET NAME

EXISTING & PROPOSED
ELEVATIONS

SHEET NUMBER

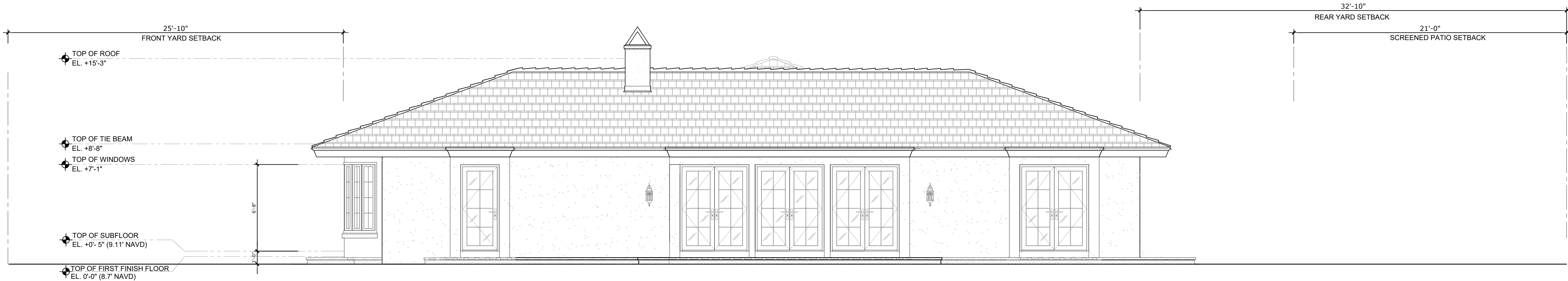
A2.3.0

ARC-23-140
ZON-23-118



EXISTING EAST ELEVATION

SCALE: 1/4" = 1'



PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'

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SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.1



PROPOSED COLOR EAST ELEVATION

SCALE: 1/4" = 1'

Bartholemew
+ Partners

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A2.3.2

ARC-23-140
ZON-23-118



PROPOSED LANDSCAPE EAST ELEVATION

SCALE: 1/4" = 1'

Bartholemew + Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
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E-MAIL: DUSTIN@ENVIRONMENTDESIGNGROUP.COM

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INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.3

ARC-23-140
ZON-23-118



PROPOSED STREETVIEW EAST ELEVATION

SCALE: 1/4" = 1'

Bartholemew
+ Partners

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Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

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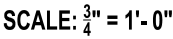
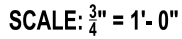
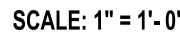
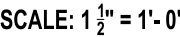
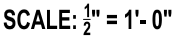
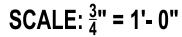
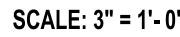
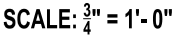
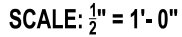
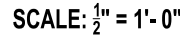
2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

COLOR PROPOSED
ELEVATIONS

SHEET NUMBER

A2.3.4





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Revisions

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

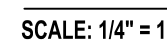
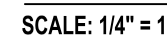
2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

MATERIALS & FINISHES

A3.0

ARC-23-140
ZON-23-118





ARCHITECTURE AND DESIGN
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Revisions:

Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

PROPOSED RENDERINGS

A4.0



ARC-23-140
ZON-23-118



EXISTING BACK RENDERING



PROPOSED BACK RENDERING

Bartholemew
+ Partners

ARCHITECTURE AND DESIGN
PROGETTO DI ARCHITETTURA

THE PLAZA CENTER
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PALM BEACH, FLORIDA 33480
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KYLE B FANT ARCHITECT # AR09255
INTERIOR DESIGNER # ID6422
AIA # 30425933 NCARB # 87929

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

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2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

SHEET NAME

PROPOSED RENDERINGS

SHEET NUMBER

A4.1

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Project no: 23.03.121
Date: 08.01.23
Drawn by: V. Antico
Project Manager: K. Fant

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

2278 IBIS ISLE ROAD E
PALM BEACH, FL 33480

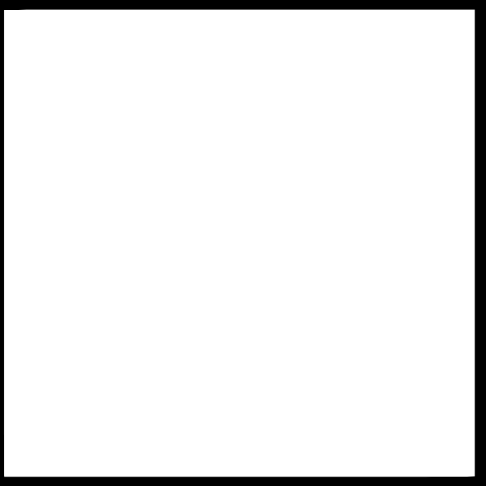
SHEET NAME

MATERIALS & FINISHES

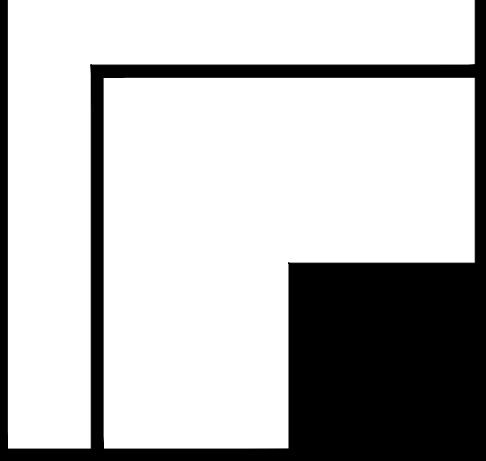
SHEET NUMBER

A5.0

ARC-23-140
ZON-23-118



JOB NUMBER: # 23099.00 LA
DRAWN BY: Lauren Freeman
DATE: 09.07.2023
09.25.2023



Existing South Buffer



Existing East Buffer



Existing West Buffer



Existing North Buffer

ARC-23-140
ZON-23-118

Existing Site Photos

2023
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PHOENIX ROEBELENI
SINGLE PYGMY DATE PALMS - 8' C.T.

DYPSIS LUTESCENS
ARECA PALM - 14'-18' HT.

ADONIDIA MERRILLII
SINGLE ADONIDIA PALM - 10' C.T.

IXORA SPP
IXORA HEDGE - 2' HT.

EXISTING
LAWN

EXISTING CONCRETE
MOTORCOURT

EXISTING
LAWN

EXISTING CONSTRUCTION SCREENING
FENCE

EXISTING RAISED BRICK PLANTER

FICUS NITIDA
FICUS HEDGE - 8' HT.

PHOENIX ROEBELENI
DOUBLE PYGMY DATE PALM - 6'-8' C.T.

FICUS NITIDA
FICUS HEDGE - 3' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.

EXISTING RAISED BRICK PLANTER

IXORA SPP
30" HT.

MURRAYA PANICULATA
ORANGE JASMINE - 6' HT.

ROYSTONIA REGGIA
ROYAL PALM - 10' C.T.

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER

FLORICRAEA FOETIDA
FALSE AGAVE - 2' X 2'

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 10' HT.

EXISTING WALLS & GATE

DYPSIS LUTESCENS
ARECA PALM - 20'-25' HT.

BOUGAINVILLEA SPP
BOUGAINVILLEA VINES - ON WALL, 10' HT.

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 4' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

PHOENIX ROEBELENI
SINGLE PYGMY DATE PALM - 5' C.T.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

EXISTING
LAWN

EXISTING CONCRETE DRIVEWAY

EXISTING
LAWN

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER

PHOENIX ROEBELENI
TRIPLE PYGMY DATE PALM - 5'-8' C.T.

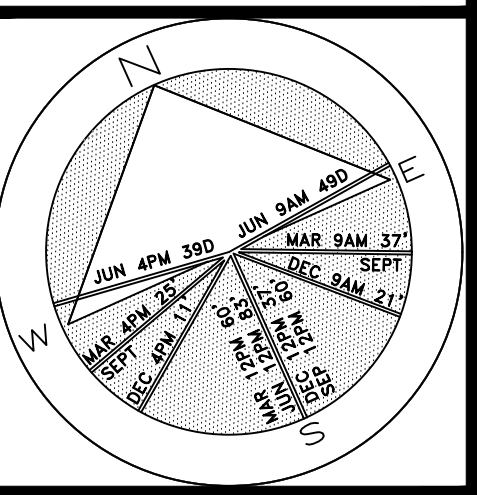
TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER

DRACAENA ARBOREA
DRACAENA - 10' HT.

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.

EXISTING STEPPING STONES

Private Residence
2278 Ibis Isle Road
Palm Beach



JOB NUMBER: # xxxxx.00 LA
DRAWN BY: Lauren Freeman

DATE: 09.07.2023
09.25.2023

SHEET L2.0

64 sf.

AREA IN SQ.FT.

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Existing Vegetation Inventory & Action Plan

ARC-23-140
ZON-23-118

SCALE IN FEET 0' 8' 16' 24'

PHOENIX ROEBELENI
SINGLE PYGMY DATE PALMS - 8' C.T.
TO REMAIN
DYPsis LUTESCENS
ARECA PALM - 14-18' HT.
TO REMAIN
ADONIDIA MERRILLI
SINGLE ADONIDIA PALM - 10' C.T.
TO REMAIN
IXORA SPP
IXORA HEDGE - 2' HT.
TO REMAIN

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 10' HT.
EXISTING A/C
TO BE REMOVED
EXISTING WALLS & GATE
TO REMAIN
DYPsis LUTESCENS
ARECA PALM - 20'-25' HT.
TO BE REMOVED
BOUGAINVILLEA SPP
BOUGAINVILLEA VINES - ON WALL, 10' HT.
TO REMAIN

NEIGHBORING FICUS NITIDA
FICUS HEDGE - 4' HT.
CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.
CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.
PHOENIX ROEBELENI
SINGLE PYGMY DATE PALM - 5' C.T.
TO REMAIN
CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 2' HT.

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED
PHOENIX ROEBELENI
TRIPLE PYGMY DATE PALM - 5'-8' C.T.
TO BE REMOVED
TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED

DRACAENA ARBOREA
DRACAENA - 10' HT.
TO BE REMOVED
CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.
TO BE REMOVED
EXISTING STEPPING STONES
TO REMAIN

EXISTING CONSTRUCTION SCREENING
FENCE

EXISTING RAISED BRICK PLANTER
TO BE MODIFIED

FICUS NITIDA
FICUS HEDGE - 8' HT.
TO BE REMOVED

PHOENIX ROEBELENI
DOUBLE PYGMY DATE PALM - 6'-8' C.T.
TO BE REMOVED

FICUS NITIDA
FICUS HEDGE - 3' HT.
TO BE REMOVED

CHRYSOBALANUS ICACO
COCOPLUM HEDGE - 3' HT.
TO BE REMOVED

EXISTING RAISED BRICK PLANTER
TO BE MODIFIED

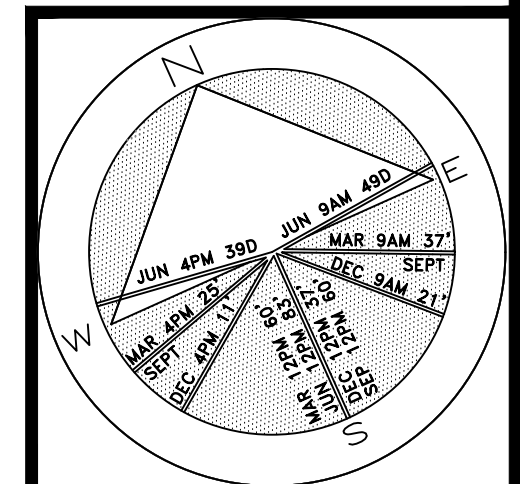
IXORA SPP
30' HT.
TO BE REMOVED

MURRAYA PANICULATA
ORANGE JASMINE - 6' HT.
TO BE REMOVED

ROYSTONEA REGGIA
ROYAL PALM - 10' C.T.
TO BE REMOVED

TRADESCANTIA SPATHACEA
OYSTER PLANT GROUND COVER
TO BE REMOVED
FLORICAEAE FOETIDA
FALSE AGAVE - 2' X 2'
TO BE REMOVED

Private Residence
2278 Ibis Isle Road
Palm Beach



JOB NUMBER: # xxxxx.00 LA
DRAWN BY: Lauren Freeman

DATE: 09.07.2023
09.25.2023

SHEET L3.0

64 sf.

AREA IN SQ.FT.

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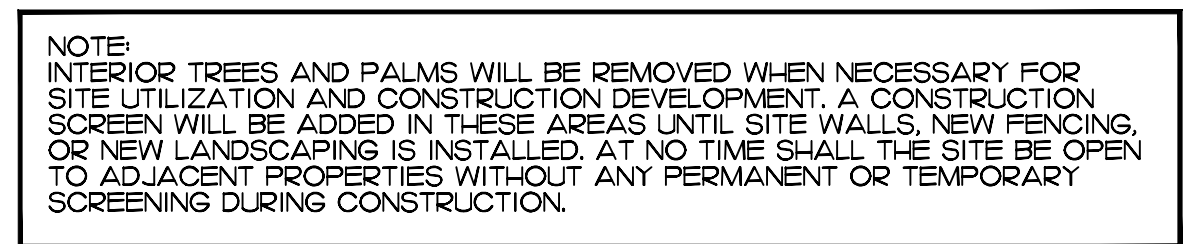
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Demolition and Vegetation Action Plan

ARC-23-140
ZON-23-118
SCALE IN FEET 0' 8' 16' 24'

SHEET L4.C

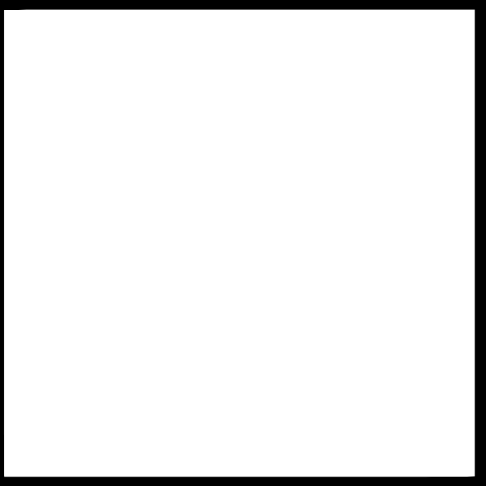
AREA IN SQ.F.



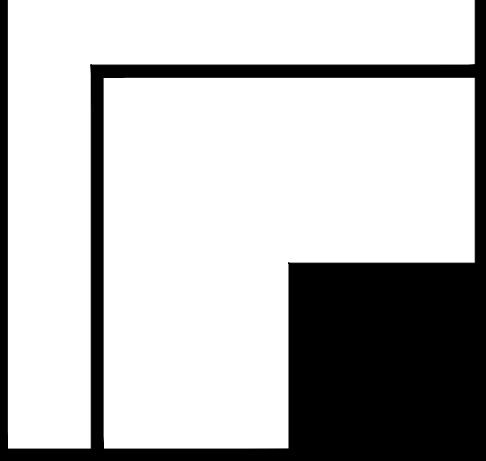
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SCALE IN FEET 0' 8' 16' 24'

ARC-23-140
ZON-23-118



JOB NUMBER: # 23099.00 LA
DRAWN BY: Nick Pastor
DATE: 09.07.2023
09.25.2023



Existing South Buffer



Existing South Buffer



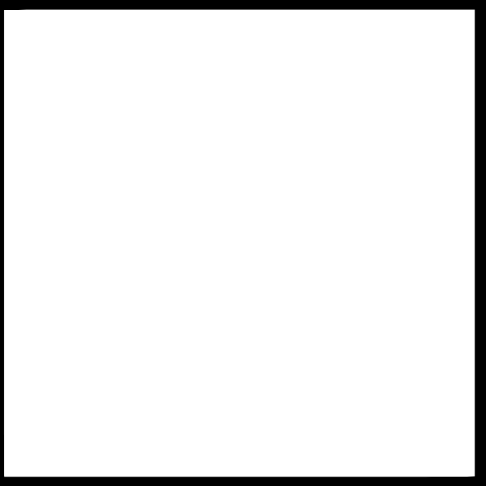
Existing West Buffer



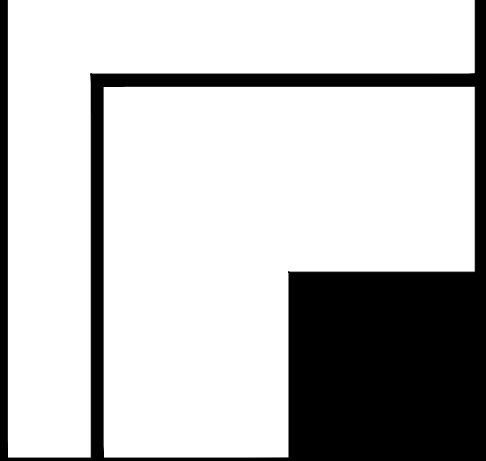
Existing West Buffer

ARC-23-140
ZON-23-118

Existing Landscape Buffer Images



JOB NUMBER: # 23099.00 LA
DRAWN BY: Nick Pastor
DATE: 09.07.2023
09.25.2023



Existing East Buffer



Existing East Buffer



Existing North Buffer



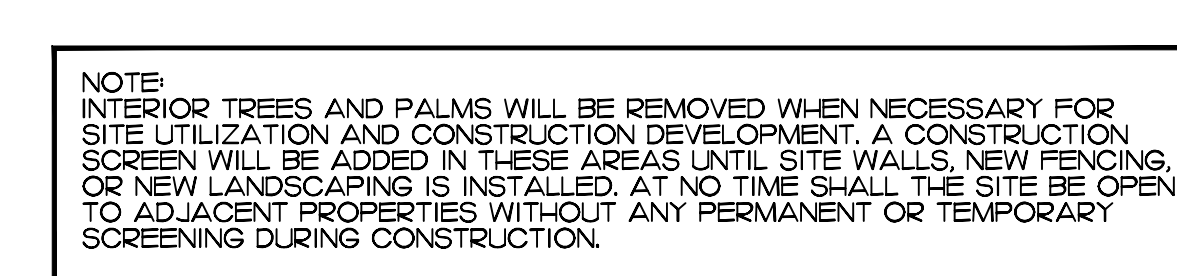
Existing North Buffer

ARC-23-140
ZON-23-118

Existing Landscape Buffer Images

SHEET L5.C

AREA IN SQ.FT.



ARC-23-140
ZON-23-118

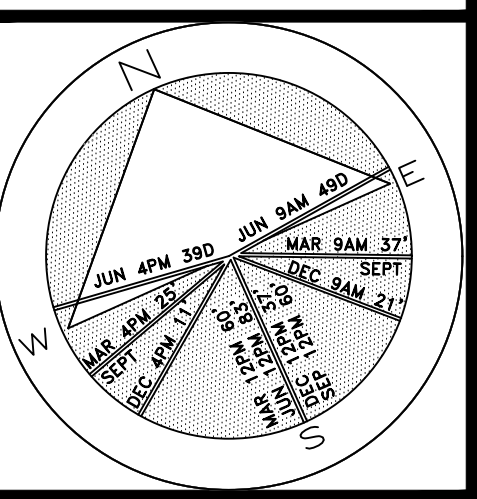
Construction Staging Plan

SHEET L6.C



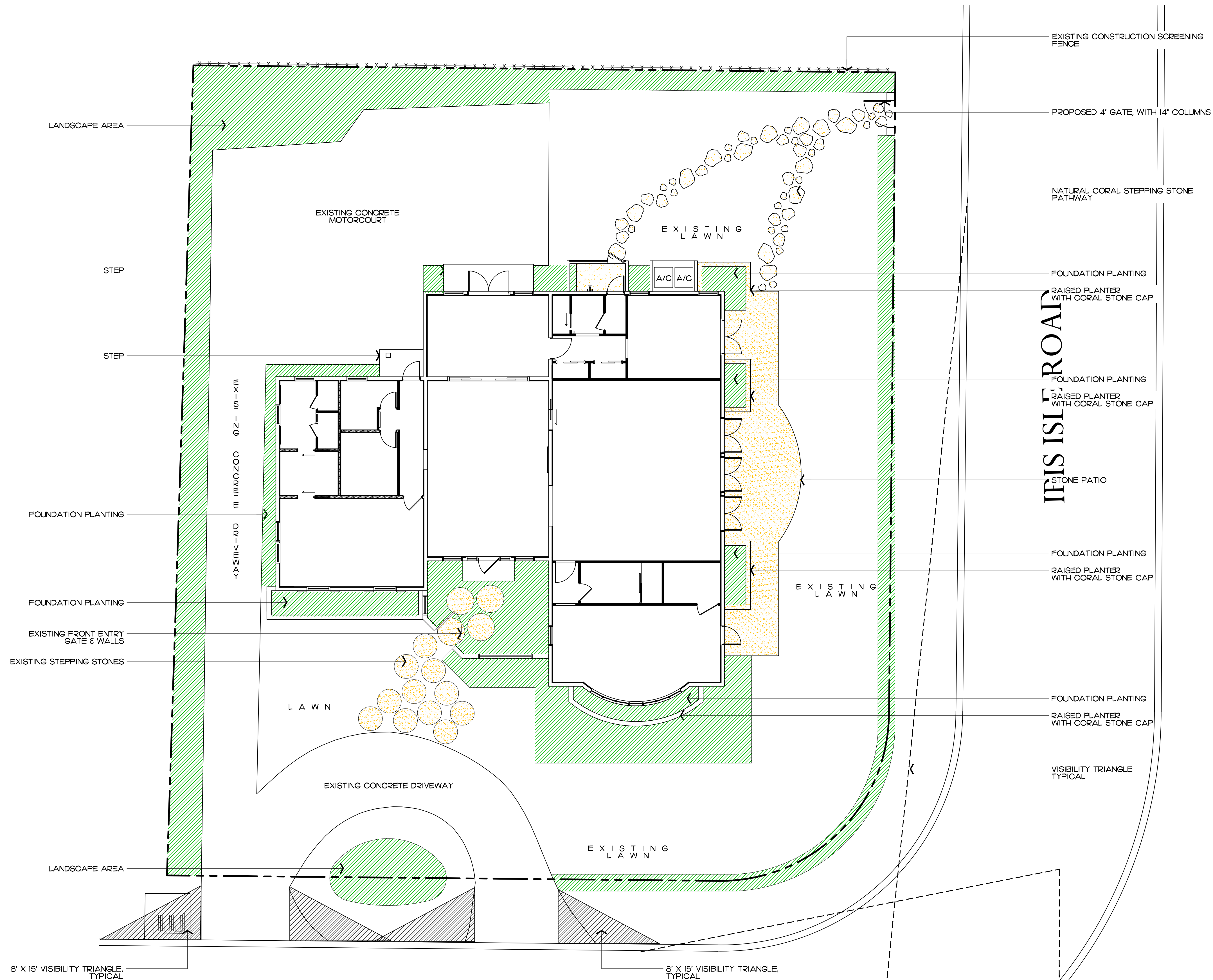
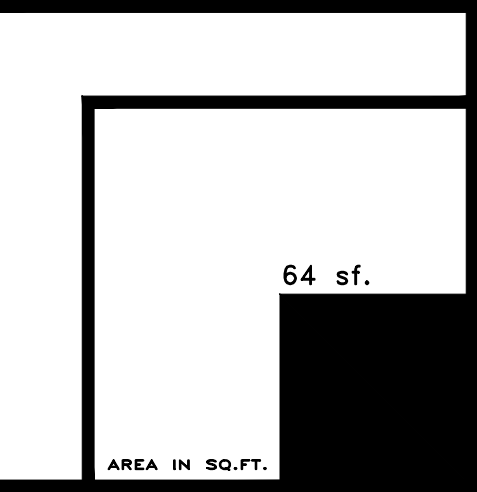
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DATE: 09.07.2023
09.25.2023

SHEET L7.0



IBIS ISLE ROAD

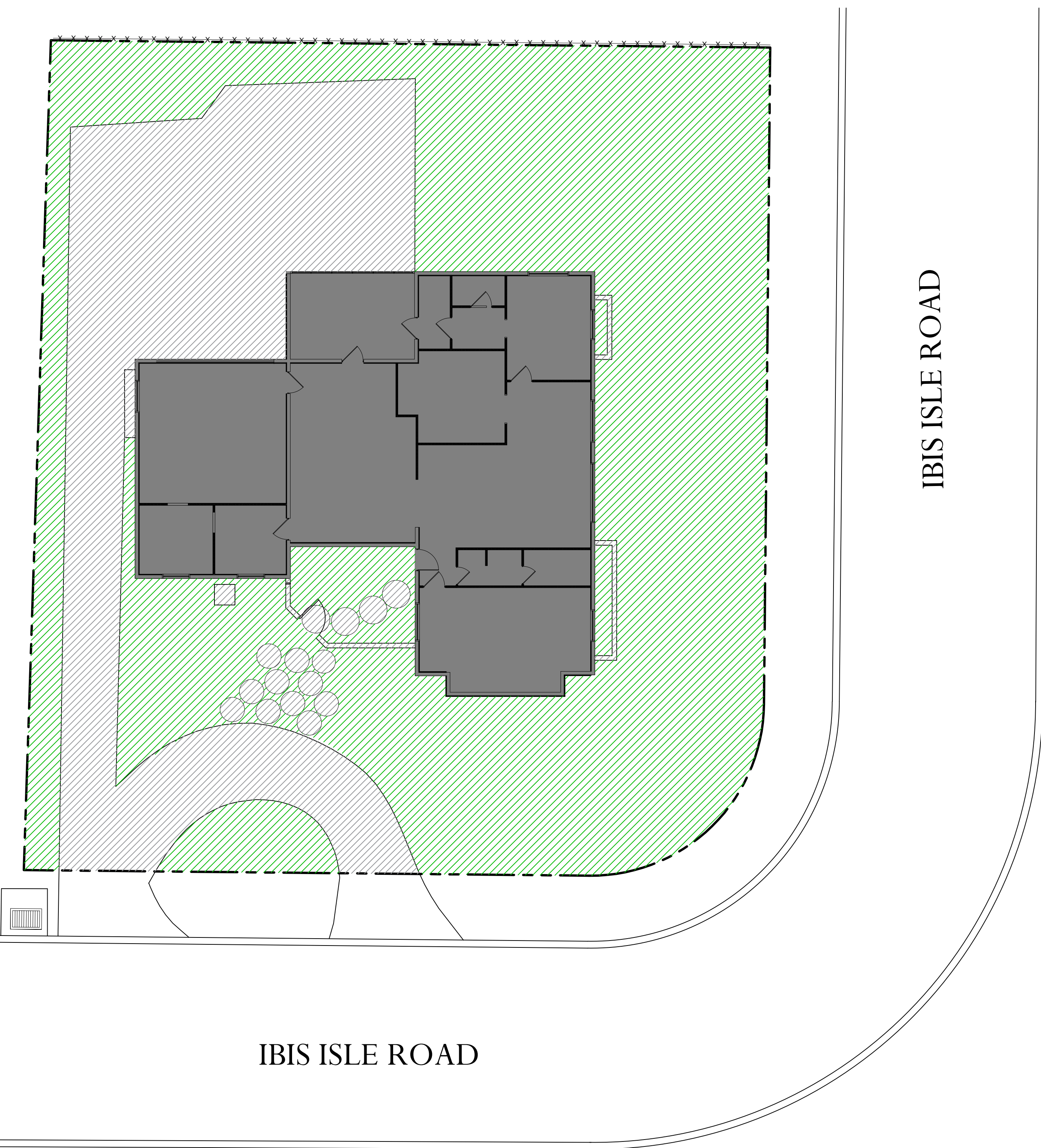
ARC-23-140
ZON-23-118

Site Plan
SCALE IN FEET 0' 8' 16' 24'

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IBIS ISLE ROAD

IBIS ISLE ROAD

Existing Open Space Graphic

Existing Site Data

DESCRIPTION	REQUIRED		EXISTING	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		12,513 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	5,630.85 S.F.	51.8%	6,476 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,960 S.F.	85.3%	4,093 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	2,815 S.F.	75.1%	3,021 S.F.



IBIS ISLE ROAD

IBIS ISLE ROAD

Legend

- IMPERVIOUS AREA (HOUSE/STRUCTURE)
- IMPERVIOUS AREA (HARDSCAPE)
- PERVIOUS AREA / OPEN SPACE

Proposed Open Space Graphic

Proposed Site Data

DESCRIPTION	REQUIRED		PROPOSED	
LOT ZONE			R-B - LOW DENSITY RESIDENTIAL	
LOT AREA	10,000 S.F. MINIMUM		12,513 S.F.	
OPEN / PERMEABLE SPACE	MINIMUM 45%	5,630.85 S.F.	47.3%	5,917 S.F.
FRONT YARD LANDSCAPE	MINIMUM 40% OF FRONT YARD	1,960 S.F.	71.3%	3,493 S.F.
PERIMETER LANDSCAPE WITHIN 10' OF PROPERTY LINE	MINIMUM 50% OF REQ'D OPEN SPACE	2,815 S.F.	72.9%	2,935 S.F.

ENVIRONMENT
DESIGN
GROUP

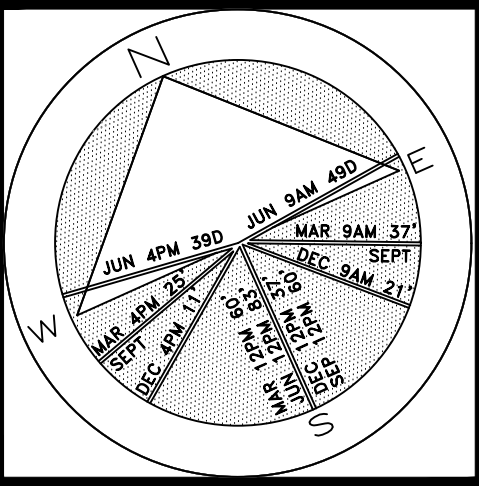
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Palm Beach, FL 33480
Phone: 561.832.4600

Palm Beach, FL 33480
Mobile: 561.313.4424

Landscape Architecture
Land Planning
Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784
Dustin@environmentdesigngroup.com

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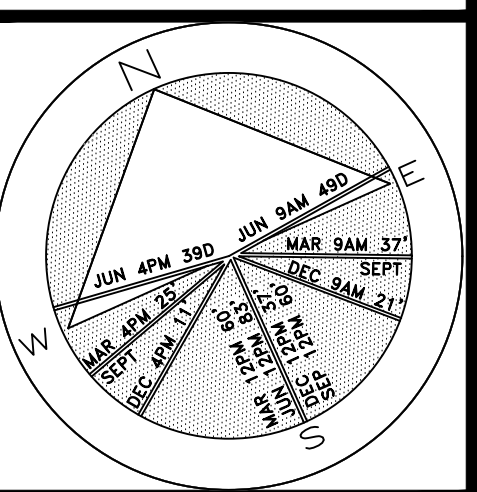
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ARC-23-140
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Site Calculation/Open Space Graphics

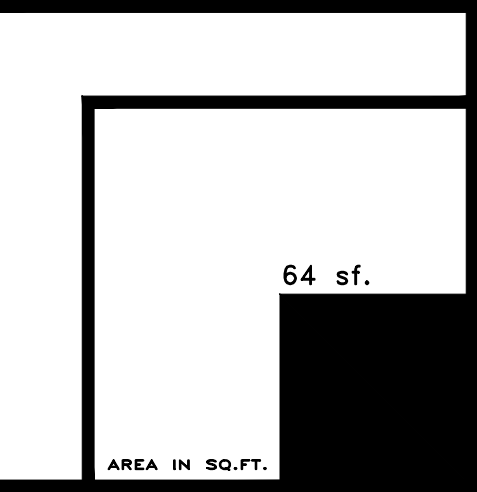
SCALE IN FEET: 3/32"=1'-0"

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DRAWN BY: Dustin Mizell
DATE: 09.07.2023
09.25.2023

SHEET L8.0



EXISTING PHOENIX ROEBELII
SINGLE PYGMY DATE PALMS - 8' C.T.
TO REMAIN

EXISTING DYPsis LUTESCENS
ARECA PALM - 14'-18" HT.
TO REMAIN

EXISTING ADONIDIA MERRILLII
SINGLE ADONIDIA PALM - 10' C.T.
TO REMAIN

(48) TABERNAEMONTANA DIVARICATA
PINWHEEL JASMINE
7 GAL, 18" OC

(65) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC

(3) HELICONIA SPP
HELICONIA - 6' HT.
UNDERPLANT WITH:
(20) PHYLLODENDRON
FROG FRUIT
1 GAL, 8" O.C.

(90) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC

EXISTING FICUS NITIDA
FICUS HEDGE - 10' HT.

(34) PLUMBAGO AURICULATA
BLUE AURICULATA, 7 GAL, 18" OC

BOUGAINVILLEA SPP
BOUGAINVILLEA VINES, 15 GAL,
ON WALL

BURSERIA SIMARUBA,
GUMBO LIMBO,
16' OA, CHARACTER TRUNK

EXISTING BOUGAINVILLEA SPP
BOUGAINVILLEA VINES - ON
WALL, 10' HT.

EXISTING FICUS NITIDA
FICUS HEDGE - 4' HT.

(80) MICROSORLUM SCOLOPENDRIA,
WART FERN, 7 GAL, 18" O.C.

BURSERIA SIMARUBA,
GUMBO LIMBO,
16' OA, CHARACTER TRUNK

(30) CLUSIA ROSEA
CLUSIA HEDGE,
6' HT, 36" OC

(3) ALOCASIA ODORA,
ELEPHANT EAR, 15 GAL, 24" OC,
UNDERPLANTED WITH:
(30) PHYLLODENDRON
FROG FRUIT
1 GAL, 8" O.C.

(8) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC

(50) CLUSIA ROSEA
CLUSIA HEDGE, 6' HT, 36" OC

(12) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC

(160) PHYLLODENDRON
FROG FRUIT
1 GAL, 12" OC

(20) PLUMBAGO AURICULATA
BLUE AURICULATA,
7 GAL, 18" OC

(190) CHRYSOBALANUS ICACO
HORIZONTAL, COCOPLUM,
3 GAL, 12" OC

(125) PHYLLODENDRON
FROG FRUIT
1 GAL, 12" OC

(2) ADONIDIA MERRILLII
ADONIDIA PALM, 12' CT

SIGHT VISIBILITY
TRIANGLE

SIGHT VISIBILITY
TRIANGLE

SIGHT VISIBILITY
TRIANGLE

8' X 15' SIGHT VISIBILITY
TRIANGLE

8' X 15' SIGHT VISIBILITY
TRIANGLE

8' X 15' SIGHT VISIBILITY
TRIANGLE

8' X 15' SIGHT VISIBILITY
TRIANGLE

SIGHT VISIBILITY
TRIANGLE

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Landscape Plan

SCALE IN FEET 0' 8' 16' 24'

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ENVIRONMENT
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Phone: 561.832.4600 Mobile: 561.313.4424

Landscape Architecture

Land Planning

Landscape Management

Dustin M. Mizell, M.L.A. P.L.A. #6666784

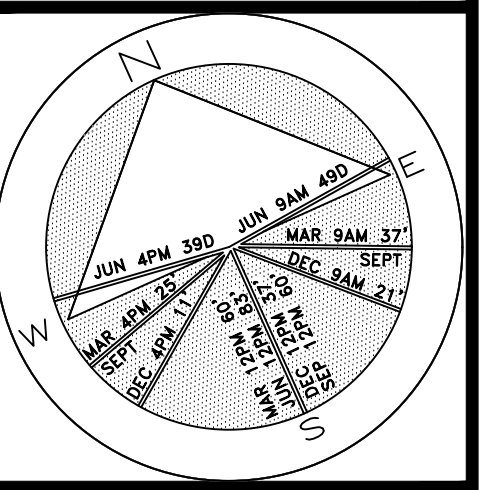
Dustin@environmentdesigngroup.com

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F L O R I D A



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ARC-23-140

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Rendered Landscape Plan

SCALE IN FEET 0' 8' 16' 24'

SHEET L8.1

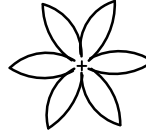
64 sf.

AREA IN SQ.FT.

Trees

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	BURSERA SIMARUBA GUMBO LIMBO TREE	2	16' OA, CHARACTER TRUNK	YES
TOTAL TREES: NATIVE SPECIES:		2 2 (100%)		

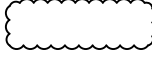

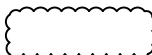

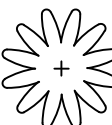



Palms

SYMBOL	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ADONIDIA MERRILLII ADONIDIA PALMS	2	12' C.T.	NO


Lawn & Mulch

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION
LAWN	DIAMOND ZOYSIA LAWN	AS NEEDED	SOD PALLETS
PLANTING BED	SHREDDED EUCALYPTUS MULCH	AS NEEDED	MULCH ALL BEDS 3" MIN. DEPTH

Shrubs & Vines

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	ALOCASIA ODORA ELEPHANT EAR	3	15 GAL 24" OC.	NO
	BOUGAINVILLEA SPP.	1	15 GAL ATTACHED TO WALL	NO
	CLUSIA ROSEA CLUSIA HEDGE	80	6' OA HT., 36" OC, FTB	YES
	CHRYSOBALANUS ICACO 'HORIZONTAL' COCOPLUM	345	8' OA HT. FTB	YES
	HELICONIA SPP HELICONIA	3	6' HT.	NO
	MICROSORUM SCOLOPENDRIA WART FERN	80	7 GAL, 18" OC.	NO
	PLUMBAGO AURICULATA BLUE PLUMBAGO	74	7 GAL, 18" OC.	NO
	TABERNAEMONTANA DIVARICATA PINWHEEL JASMINE	48	7 GAL, 18" OC.	NO
TOTAL: NATIVE SPECIES:		634 425 (67%)		

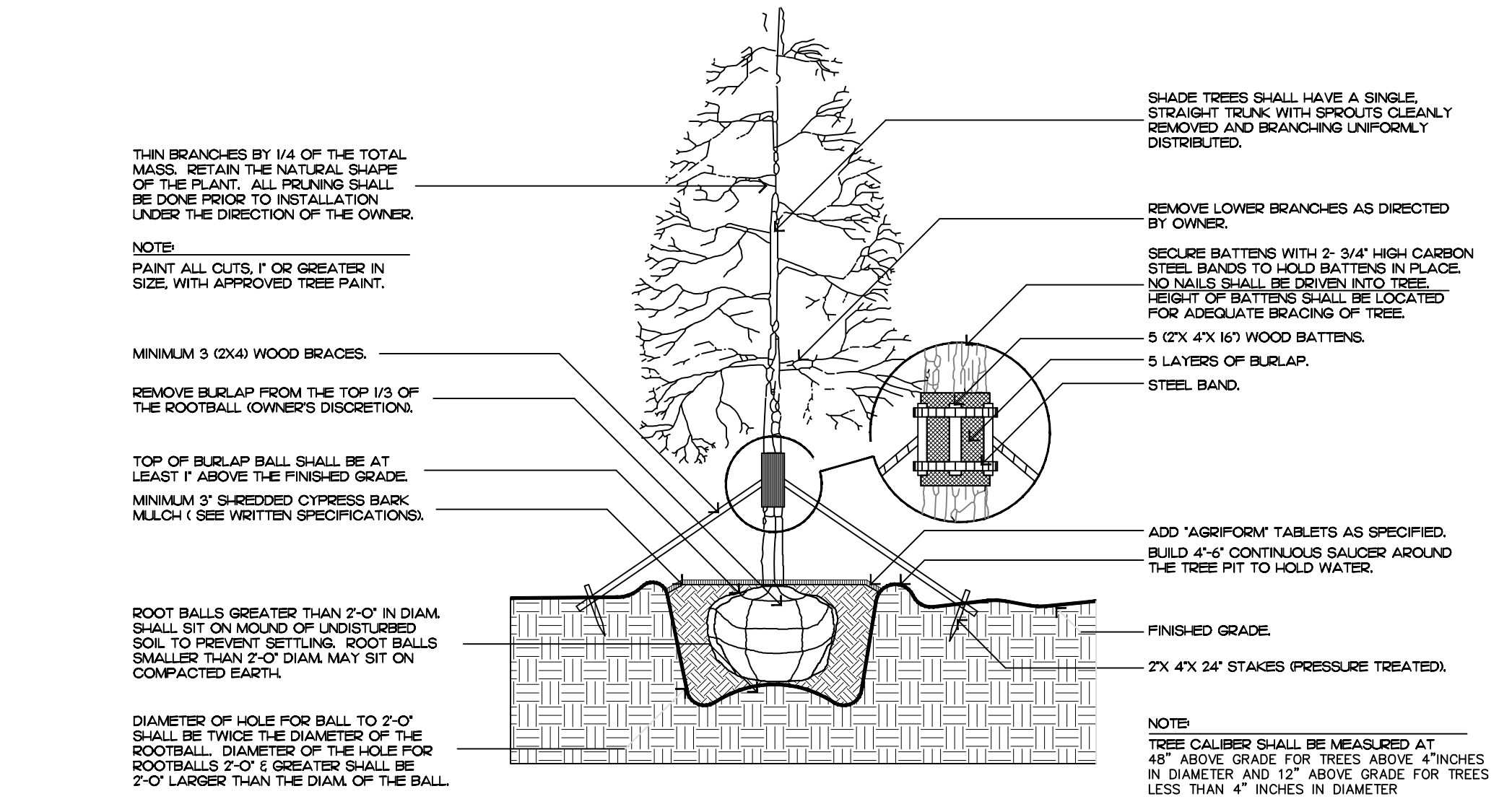
Groundcovers

SYMBOL/KEY	PLANT NAME	QTY.	DESCRIPTION	NATIVE
	PHYLA NODIFLORA FROGFRUIT	335	1 GAL, 12" OC.	YES
TOTAL: NATIVE SPECIES:		335 335 (100%)		

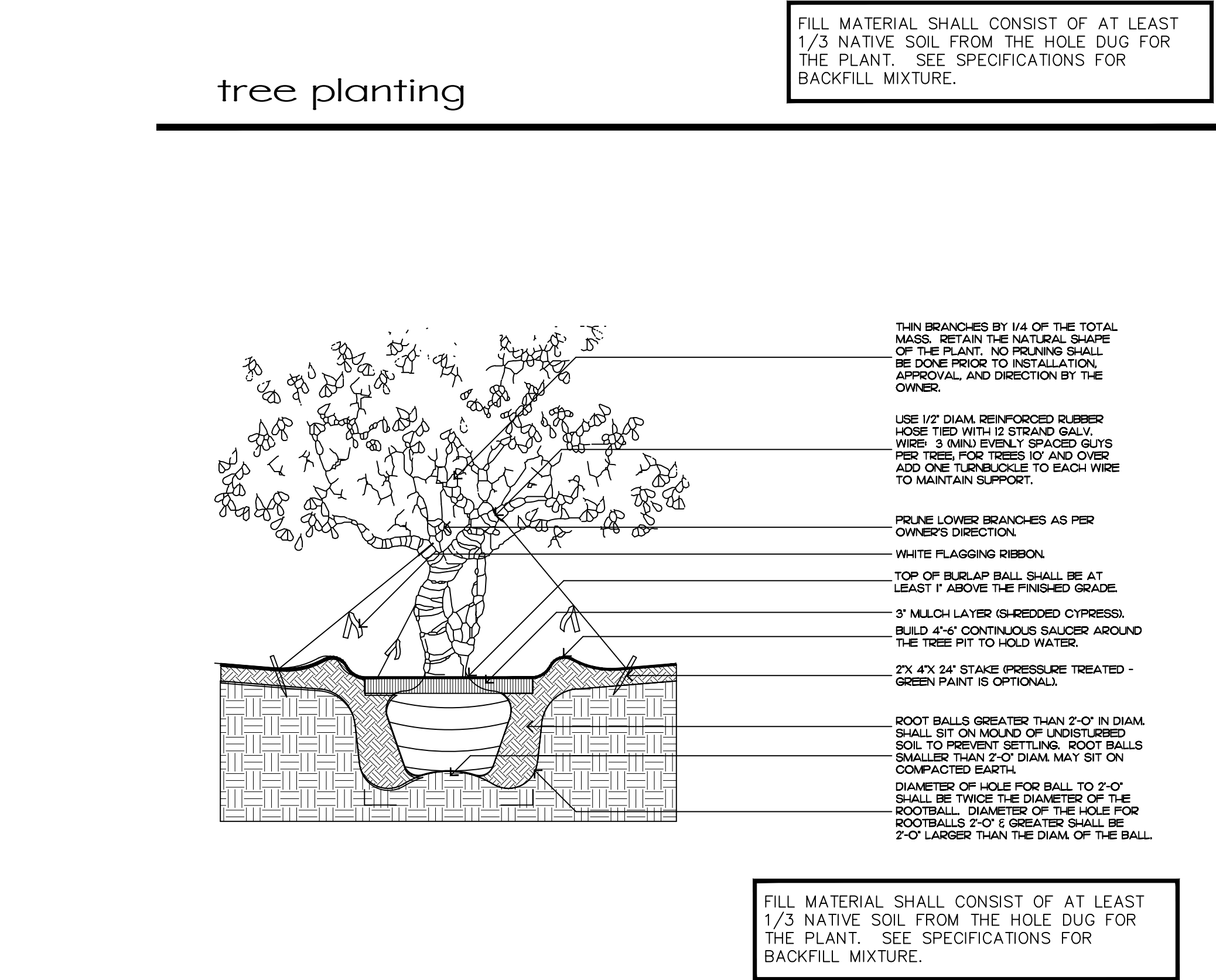
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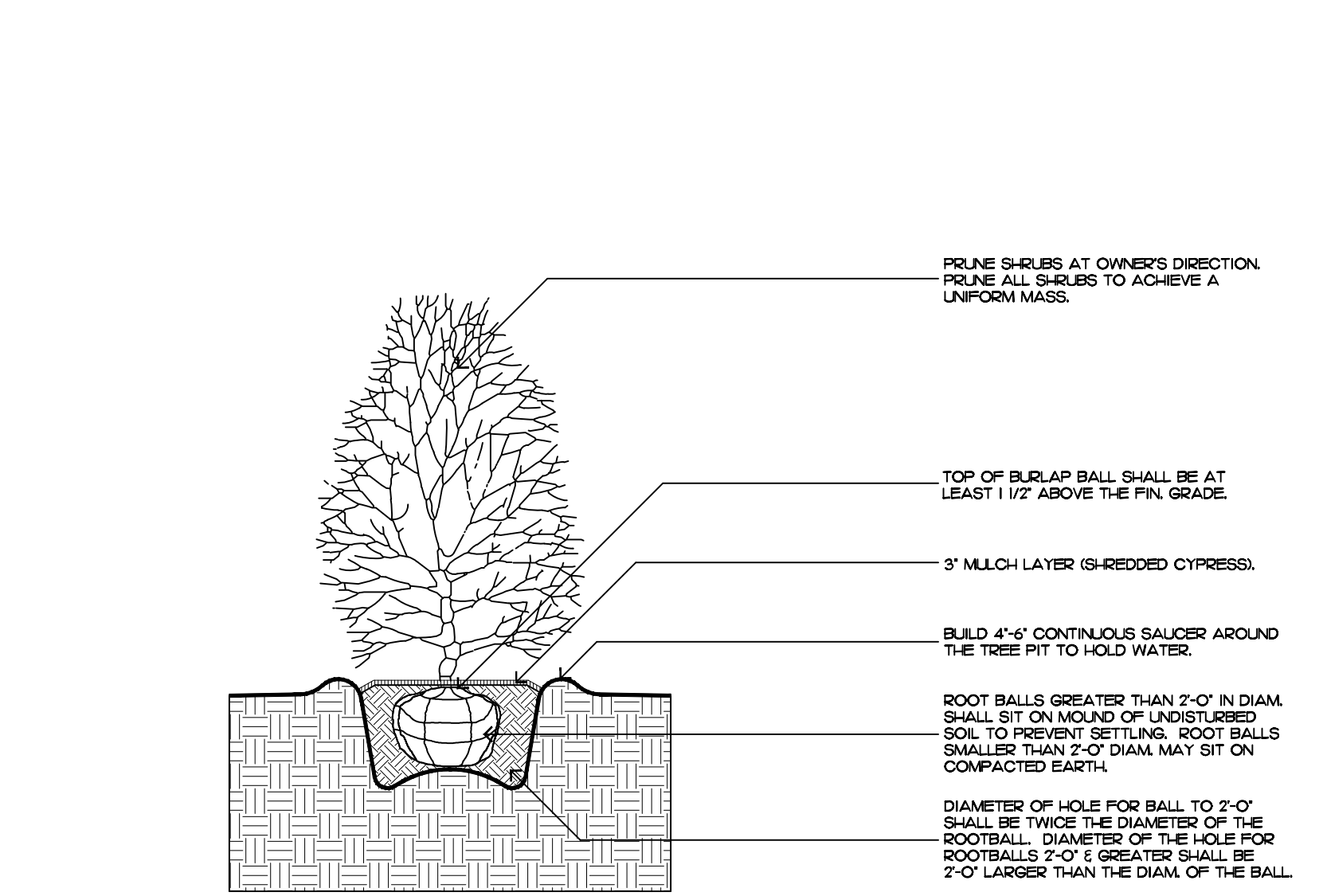
SHEET L8.2



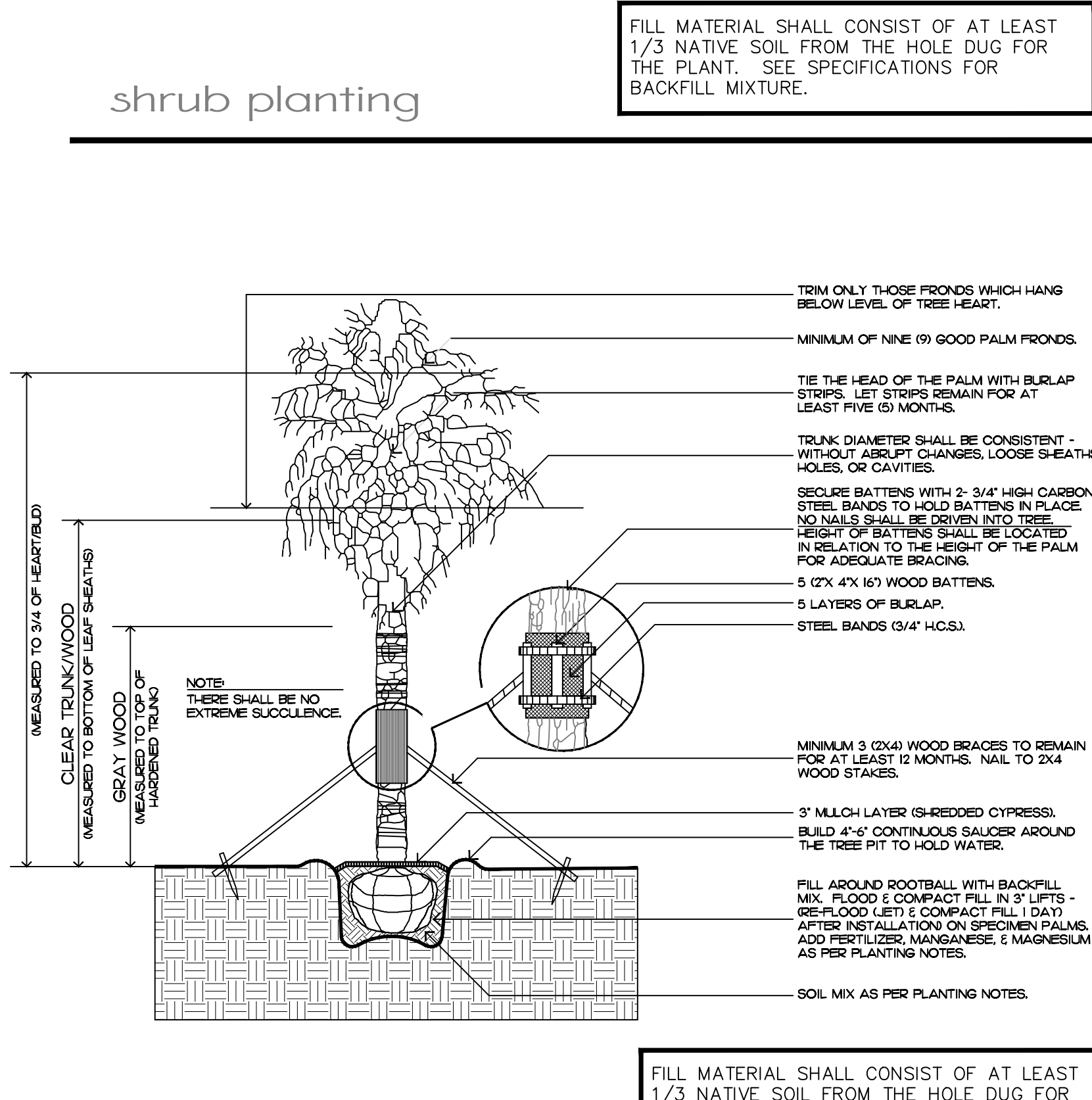
tree planting



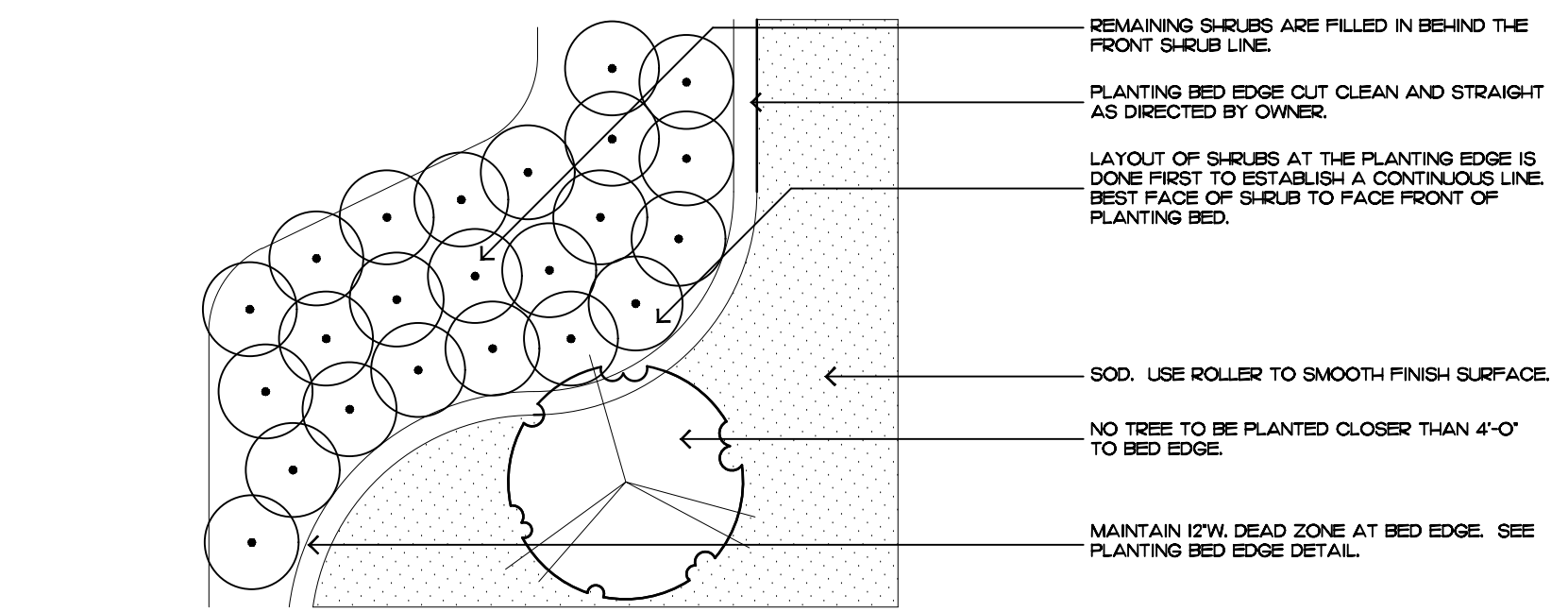
irregular and multi-stem tree



shrub planting



palm tree planting



shrub & ground cover layout

Planting Notes

COMMERCIAL FERTILIZER:

FERTILIZER SHALL BE COMPLETELY ORGANIC, IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS:

- SIX PERCENT (6%) NITROGEN
- SIX PERCENT (6%) PHOSPHOROUS
- SIX PERCENT (6%) POTASSIUM

FERTILIZER SHALL BE APPLIED TO ALL SHRUBS (1/3 LB. PER 3 GAL. POT, 1/4 LB. PER 1 GAL. POT) AND GROUNDCOVER. THE SAME FERTILIZER MIXTURE SHALL BE USED ON SOD AT A RATE OF 15 LBS. PER 1000 SQUARE FEET. A FOURTEEN PERCENT (14%) NITROGEN, FOURTEEN PERCENT (14%) PHOSPHOROUS AND FOURTEEN PERCENT (14%) POTASSIUM IS REQUIRED ON ALL TREES AND SHRUBS OVER 5'-0" IN HEIGHT (1/2 LB. PER 5'-0" OF SPREAD). AGRIFORM TABLETS WITH TWENTY PERCENT (20%) NITROGEN, TEN PERCENT (10%) PHOSPHOROUS, FIVE PERCENT (5%) POTASSIUM IN 21 GRAM SIZES SHALL BE APPLIED ALONG WITH THE FERTILIZER PROCESS (1 WITH 1 GAL. PLANTS, 2 WITH 3 GAL. PLANTS AND 2 TABLETS PER 1" OF TREE TRUNK CALIBER). BACK FILL HALFWAY UP THE ROOT BALL. PLACE ABOUT ONE INCH (1") FROM ROOT TIPS. MAGNESIUM SULFATE SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 1/2 LB. PER INCH OF TRUNK CALIBER. MANGANESE SHALL BE APPLIED AT THE SAME RATE.

MULCH:

MULCH MATERIAL SHALL BE SHREDDED CYPRESS MULCH OR APPROVED EQUAL, MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT. MULCH SHALL BE APPLIED TO A MINIMUM 3" DEPTH IN PLANTING BEDS.

SOD:

THE SOD SHALL BE FREE FROM WEEDS, FUNGUS, INSECTS AND DISEASES OF ANY KIND, CLEAN, STRONGLY ROOTED, UNIFORMLY SIZED STRIPS, MACHINE STRIPPED NOT MORE THAN TWENTY-FOUR (24) HOURS PRIOR TO LAYING.

SUBSTITUTIONS:

NO SUBSTITUTION OF PLANT MATERIAL TYPES OR SIZES WILL BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER. CONTAINER GROWN MATERIAL WILL NOT BE ACCEPTED AS SUBSTITUTE FOR B&B MATERIAL UNLESS PREVIOUSLY APPROVED. INTENDED SUBSTITUTIONS SHALL BE SPELLED OUT IN BID.

MEASUREMENTS:

SHADE TREES: HEIGHT SHALL BE MEASURED FROM GROUND TO THE AVERAGE BRANCH HEIGHT OF CANOPY. SPREAD SHALL BE MEASURED TO THE END OF THE BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF "V" CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.

SHRUBS: HEIGHT SHALL BE MEASURED FROM THE GROUND TO THE AVERAGE POINT WHERE MATURE PLANT GROWTH STOPS. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE SHRUB MASS. MEASUREMENT AREA NOT TO INCLUDE ANY TERMINAL GROWTH.

PALMS: CLEAR TRUNK (C.T.) - SHALL BE MEASURED FROM THE GROUND AT TIME OF INSTALLATION TO THE POINT WHERE THE MATURE AGED TRUNK JOINS THE IMMATURE OR GREEN PORTION OF THE TRUNK OR HEAD. OVERALL HEIGHT (O.A.) - SHALL BE MEASURED FROM THE GROUND AT THE TIME OF INSTALLATION TO THE AVERAGE FROND HEIGHT. PALMS WITH MARRED OR BURNED TRUNKS WILL NOT BE ACCEPTED.

PLANTING SOIL AND BACKFILL:

PLANTING SOIL FOR USE IN PREPARING BACKFILL FOR PLANT PITS SHALL BE A FERTILE, FRIABLE AND NATURAL TOPSOIL, WITHOUT MIXTURE OF SUBSOIL MATERIALS, AND SHALL BE FREE FROM HEAVY CLAY, STONES, LIME, LUMPS, SHELLS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, WEEDS, OR NOXIOUS GRASSES (SUCH AS BERMUDA OR NUT GRASS). IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO THE PLANT GROWTH.

BACKFILL FOR SOD AREAS SHALL BE SUBJECT TO LESSER STANDARDS AT THE DISCRETION AND DECISION OF THE OWNER.

EXISTING TOPSOIL SHALL BE USED IN ALL PLANT MATERIAL PITS EXCEPT SABAL PALMS WHERE THE SOIL SHALL CONSIST OF CLEAN SAND.

PLANTING SOIL FOR USE IN BEDS FOR ANNUALS AND/OR PERENNIALS SHALL CONTAIN ONE-THIRD (1/3) POTTING SOIL OR A BLENDED TOPSOIL, TILL INTO TOP 10" - 12" OF SOIL WITH A TIME-RELEASE FERTILIZER.

PLANT MATERIALS:

PALMS, TREES, SHRUBS, GROUNDCOVERS AND VINES

PLANT SPECIES AND SIZE SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS. NOMENCLATURE SHALL CONFORM TO 'STANDARDIZED PLANT NAMES', 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH 'GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II', LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. UNLESS SPECIFIED OTHERWISE, ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. SPECIMEN WEANS AN EXCEPTIONALLY HEAVY, SYMMETRICAL, TIGHTLY KNIT PLANT, SO TRAINED OR FAVORED IN ITS DEVELOPMENT THAT FIRST APPEARANCE IS UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND FREE OF DISEASE AND INSECT EGGS AND LARVAE AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY AND FLORIDA NUMBER 1. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

CONTAINER GROWN STOCK:

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING CONDITION.

- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

WARRANTY:

WARRANTY PLANTS, SHRUBS AND GROUNDCOVERS FOR A PERIOD OF NINETY (90) DAYS; TREES & PALMS FOR ONE YEAR (1) AGAINST UNHEALTHY CONDITION, EXCEPT AS MAY RESULT FROM NEGLECT BY OWNER, DAMAGE BY OTHERS, ATUNUSALREVIEWMENT, BEYOND INSTALLERS CONTROL. REPLACE AT TIME REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT.

MAINTENANCE:

MAINTAIN LANDSCAPE WORK UNTIL THE LETTER OF SUBSTANTIAL COMPLETION BY THE GENERAL CONTRACTOR. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS, PROTECTION FROM INSECTS AND DISEASES, FERTILIZATION AND SIMILAR OPERATIONS AS NEEDED TO ENSURE NORMAL GOOD HEALTH FOR LIVE PLANT MATERIAL.

ARC-25-140
ZON-23-118

Planting Details & Specifications

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DRAWN BY: Dustin Mizell

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SHEET L8.4