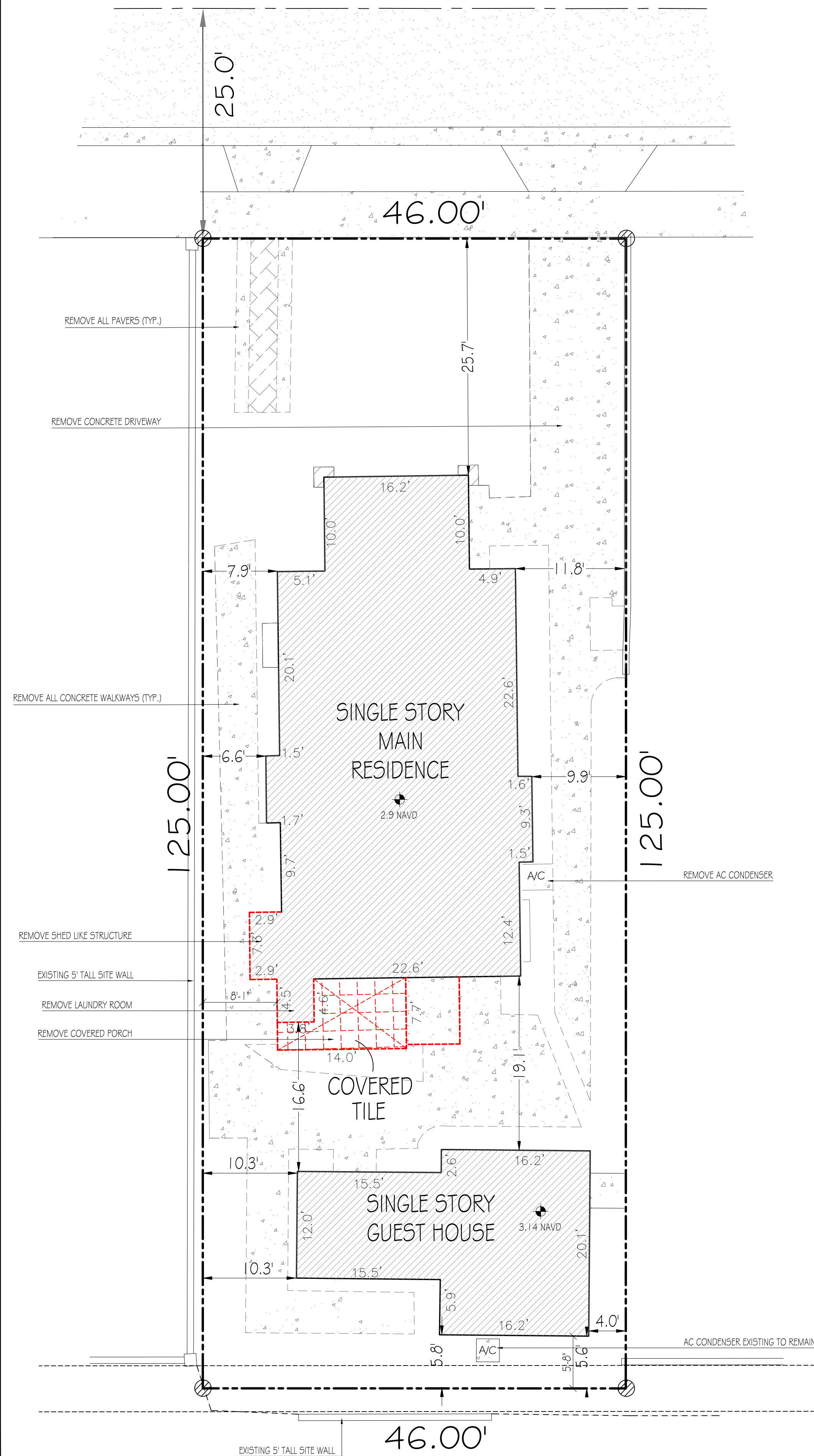
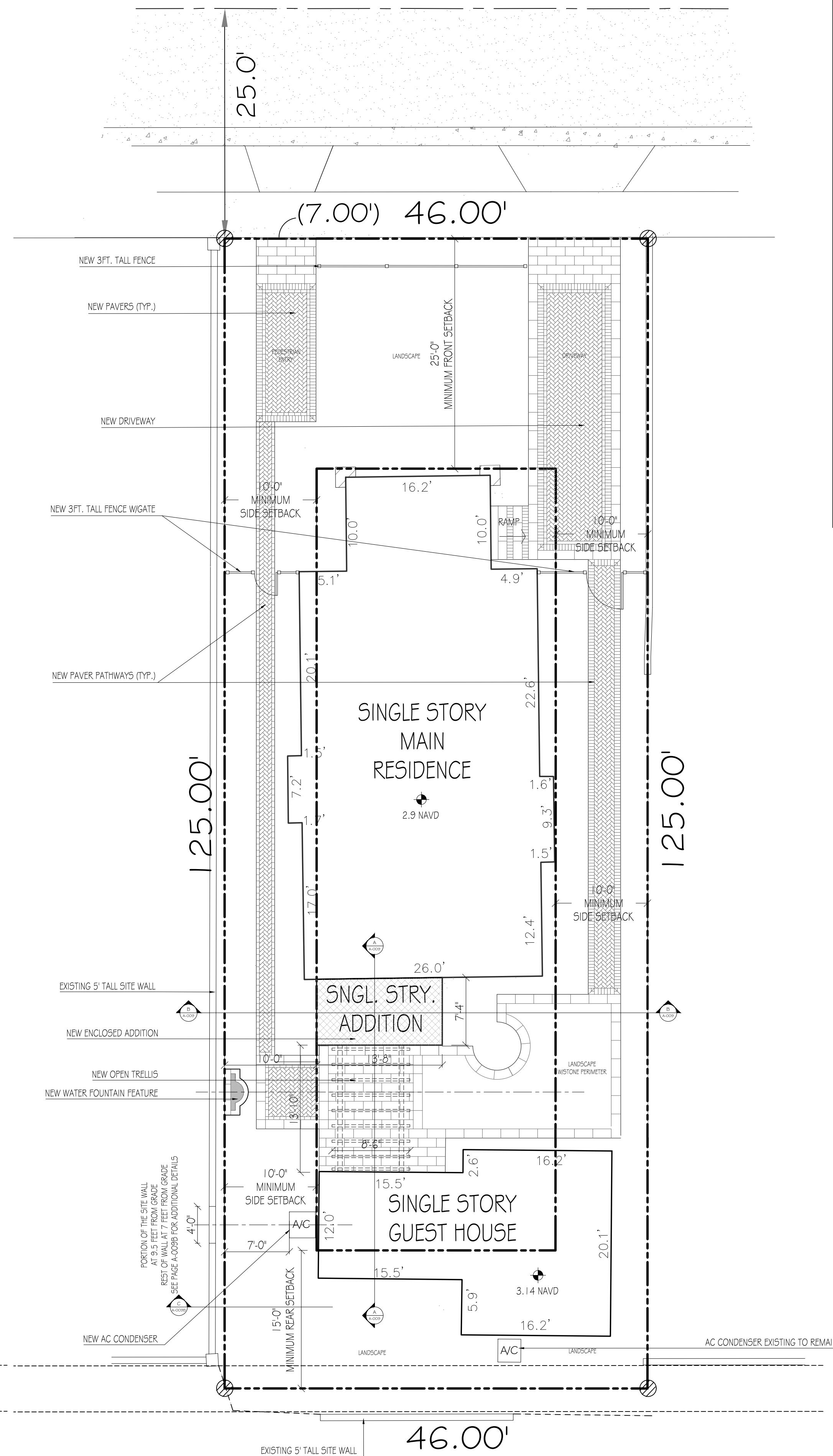


AUSTRALIAN AVENUE
50' R/W



1 EXISTING SITE PLAN
1/8" = 1'-0"

AUSTRALIAN AVENUE
50' R/W



2 PROPOSED SITE PLAN
1/8" = 1'-0"

TOPB Zoning Legend			
Property Address:	318 Australian Avenue		
Zoning District:	R-C		
Structure Type:	WOOD FRAME		
	Required/Allowed	Existing	Proposed
Lot Size (sq ft)	10,000	5,750	5,750
Lot Depth	100'	125'	125'
Lot Width	75'	46'	46'
Lot Coverage (Sq Ft and %) for single story + 3% Trellis exception	30%	34.3%	**35.74%**
Max total:	30% = 1,725 sq.ft.	1,972 sq. ft.	2,055 sq. ft.
Enclosed Square Footage		1,882.7 sq. ft.	1,937.4 sq. ft.
Cubic Content Ratio (CCR) (R-B ONLY)	n/a	n/a	n/a
*Front Yard Setback (Ft.)	25' N	25.7' N	25.7' N
* Side Yard Setback (1st Story) (Ft.)	10' E,W	3.9' E	3.9' E
* Side Yard Setback (2nd Story) (Ft.)	n/a	n/a	n/a
*Rear Yard Setback (Ft.)	15' S	5.7 S	5.7 S
Angle of Vision (Deg.)	n/a	n/a	n/a
Building Height (Ft.)	22'	17'-10"	17'-10"
Overall Building Height (Ft.)	30'	22'-4"	22'-4"
Crown of Road (COR) (NAVD)	TBD	TBD	TBD
19 MINIMUM Amount of Fill Added to Site (Ft.)	0'	n/a	n/a
Finished Floor Elev. (FFE)(NAVD)	TBD	TBD	TBD
Zero Datum for point of meas. (NAVD)			
FEMA Flood Zone Designation	AE	AE	AE
Base Flood Elevation (BFE)(NAVD)	BFE=7 FT NAVD	BFE=2.90 FT	BFE=2.90 FT
Landscape Open Space (LOS) (Sq Ft and %)	45.0%: 2,585.47 sq. ft.	34.76%: 1,998.93	45.80%: 2,631.55
Penimeter LOS (Sq Ft and %)	50.0%: 1,293.75 sq. ft.	52.1%: 1,350	64.4%: 1,667
Front Yard LOS (Sq Ft and %)	40.0%: 460 sq. ft.	67.3%: 774	66%: 759
**Native Plant Species %	Please refer to separate landscape legend.		



VARNAVA DESIGN
STUDIO
AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

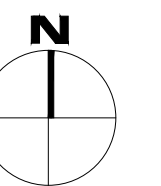
FORT LAUDERDALE
1706 NE 18TH ST.
RT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

[illegible]

EXISTING & PROPOSED SITE PLAN

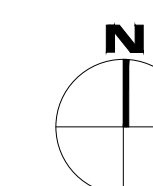
SP-001

LOT COVERAGE CALCULATIONS		
ALLOWABLE	EXISTING	PROPOSED
SINGLE STORY 30% 5750 X.3= <u>1725 SQ. FT.</u> TOTAL: <u>1725 SQ. FT.</u>	MAIN HOUSE: 1375.7 SQ. FT. COVERED PORCH: 89.3 SQ. FT. GUEST HOUSE: 507 SQ. FT. TOTAL: 1972 SQ. FT. <u>EXISTING LOT COVER : 34.30%</u>	MAIN HOUSE: 1331.4 SQ. FT. ENCLOSED ADDITION: 99.0 SQ. FT. GUEST HOUSE: 507 SQ. FT. OPEN TRELLIS: 117.6 SQ. FT. TOTAL: 2055 SQ. FT. <u>PROPOSED LOT COVER : 35.74%</u>

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

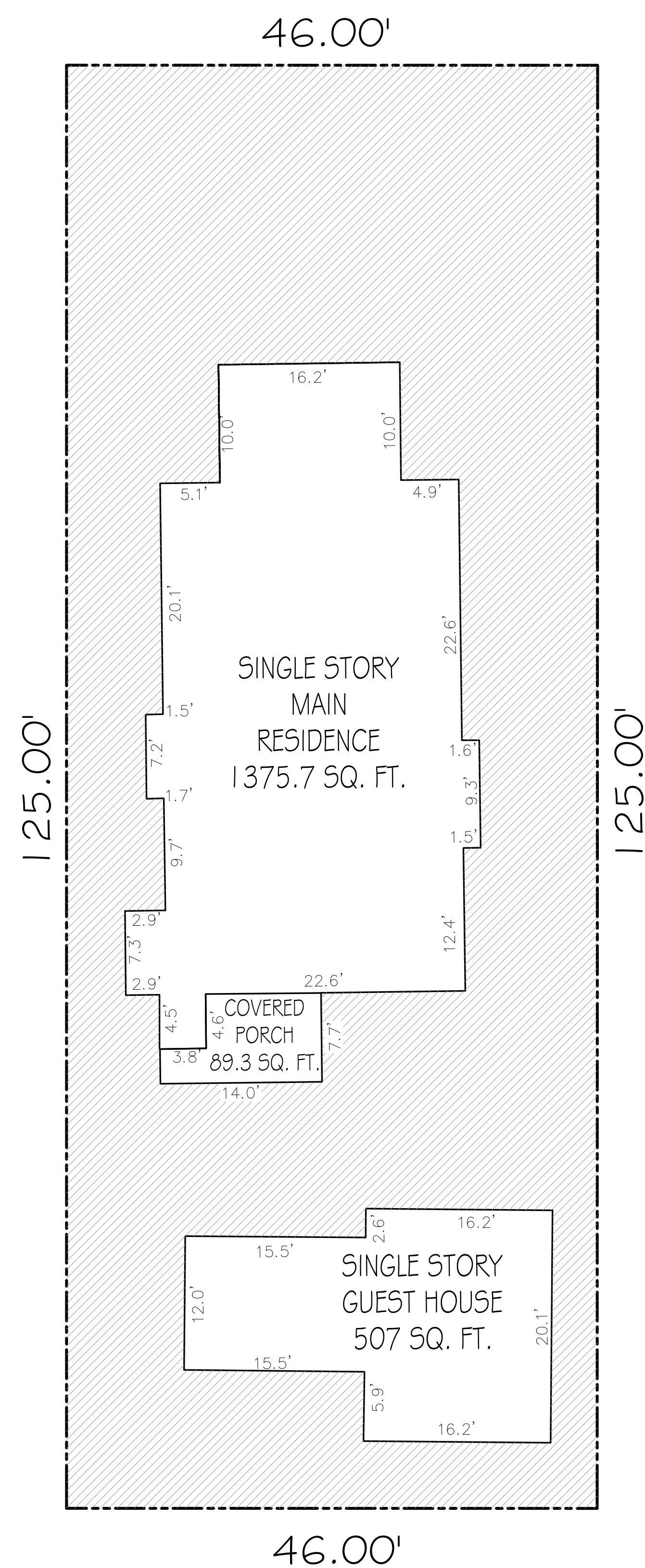
COA-23-038
ZON-23-106

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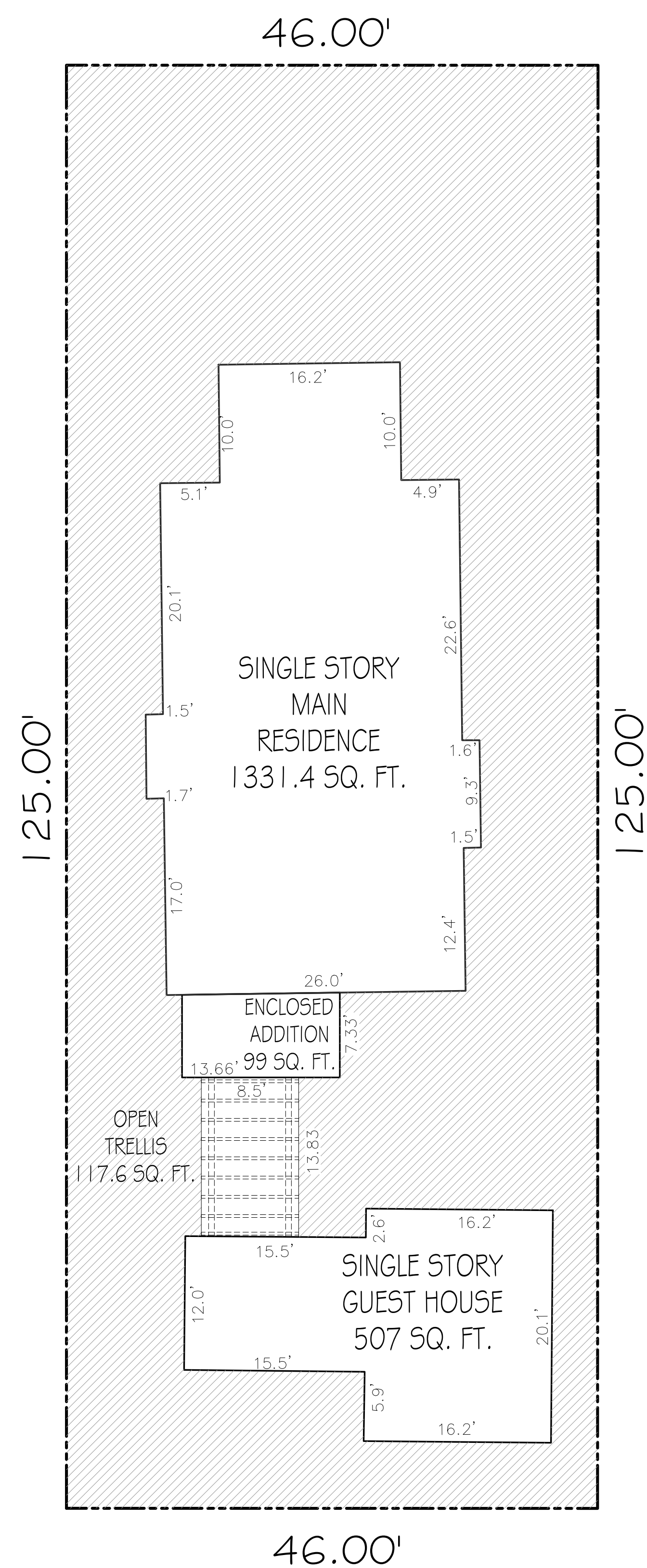
LOT COVERAGE CALCULATIONS

SP-002

EXISTING LOT COVERAGE
DIAGRAM

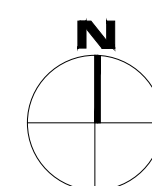
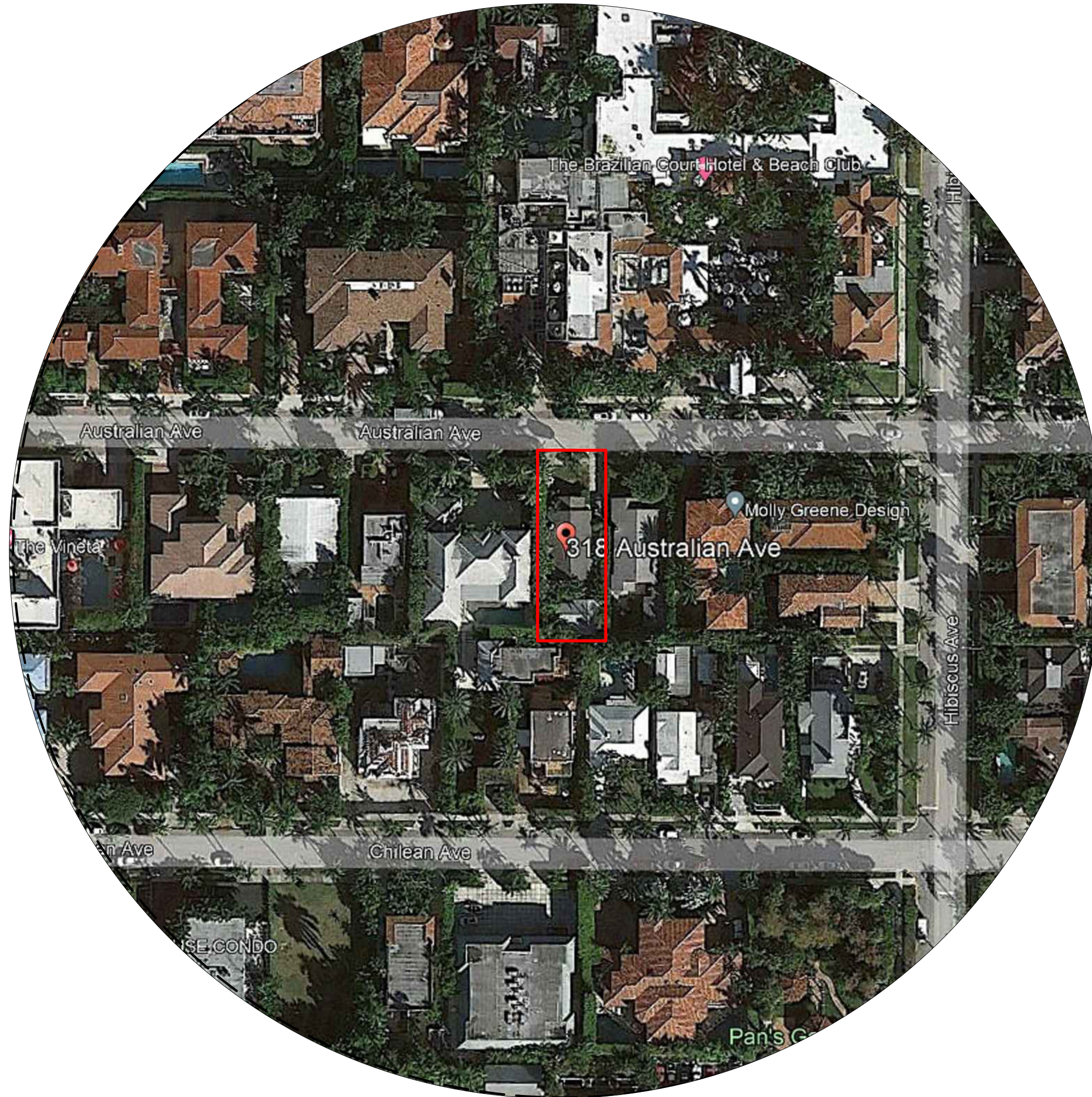


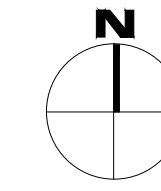
PROPOSED LOT COVERAGE DIAGRAM





COA-23-038
ZON-23-106





310 AUSTRALIAN AVENUE



314 AUSTRALIAN AVENUE



318 AUSTRALIAN AVENUE
SUBJECT PROPERTY



322 AUSTRALIAN AVENUE



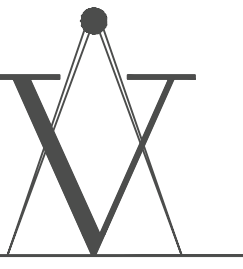
328 AUSTRALIAN AVENUE



329 331 333 AUSTRALIAN AVENUE



- 301 THE BRAZILIAN COURT



VARNAVA DESIGN

AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

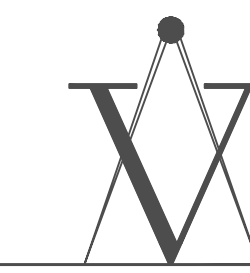
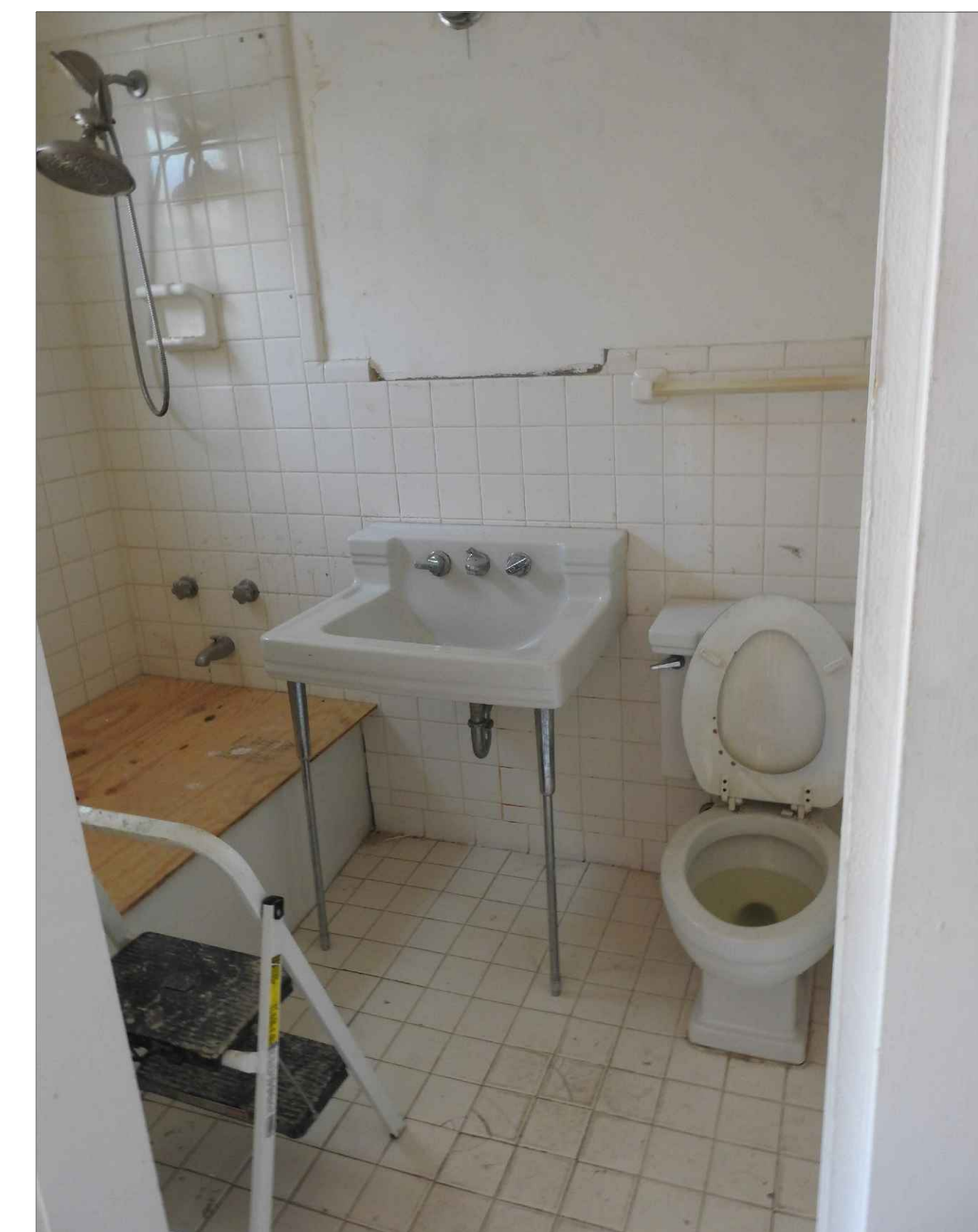
COA-23-038
ZON-23-106

[illegible]

NEIGHBORING HOUSES

PH-001





VARNAVA DESIGN
STUDIO
AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305
TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

[illegible]

PH-003



AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

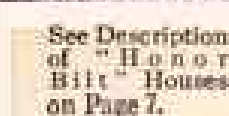
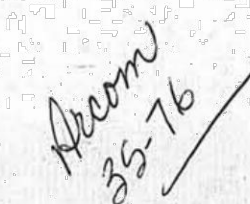
FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL 33480

COA-23-038
ZON-23-106



The ARGYLE

No. 17018 "Already Cut" and Fitted

Honor Roll

\$2,349⁰⁰



THE ARGYLE Modern Home is a bungalow whose exterior appearance suggests extra fine interior arrangement and furnishings. The front elevation, as you glance at it, bespeaks richness and comfort on the inside. A glance at the illustrations of the living room and dining room proves this conclusively. Note the bookcase colonnade, the beamed ceiling, the massive brick mantel with the built-in bookcase on the side. Note also the extra depth of the living room and dining room, nearly 30 feet long. "A \$6,500.00 house," you might say, and you would not be very far wrong, if it were built in the ordinary way. Yet by our modern merchandising methods we are able to furnish the materials so that you can build it for a great deal less.

Read Complete Description on the Opposite Page

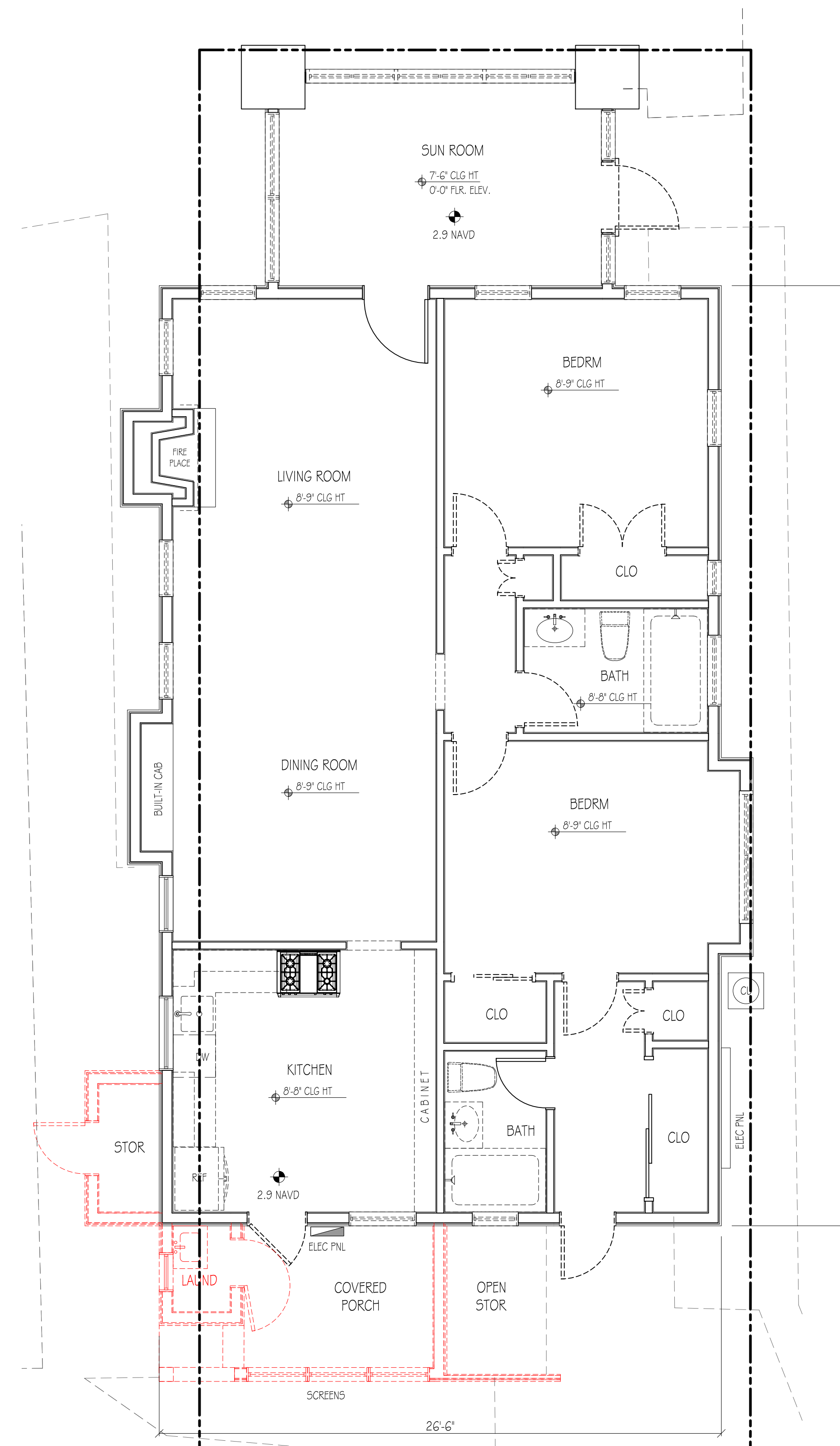
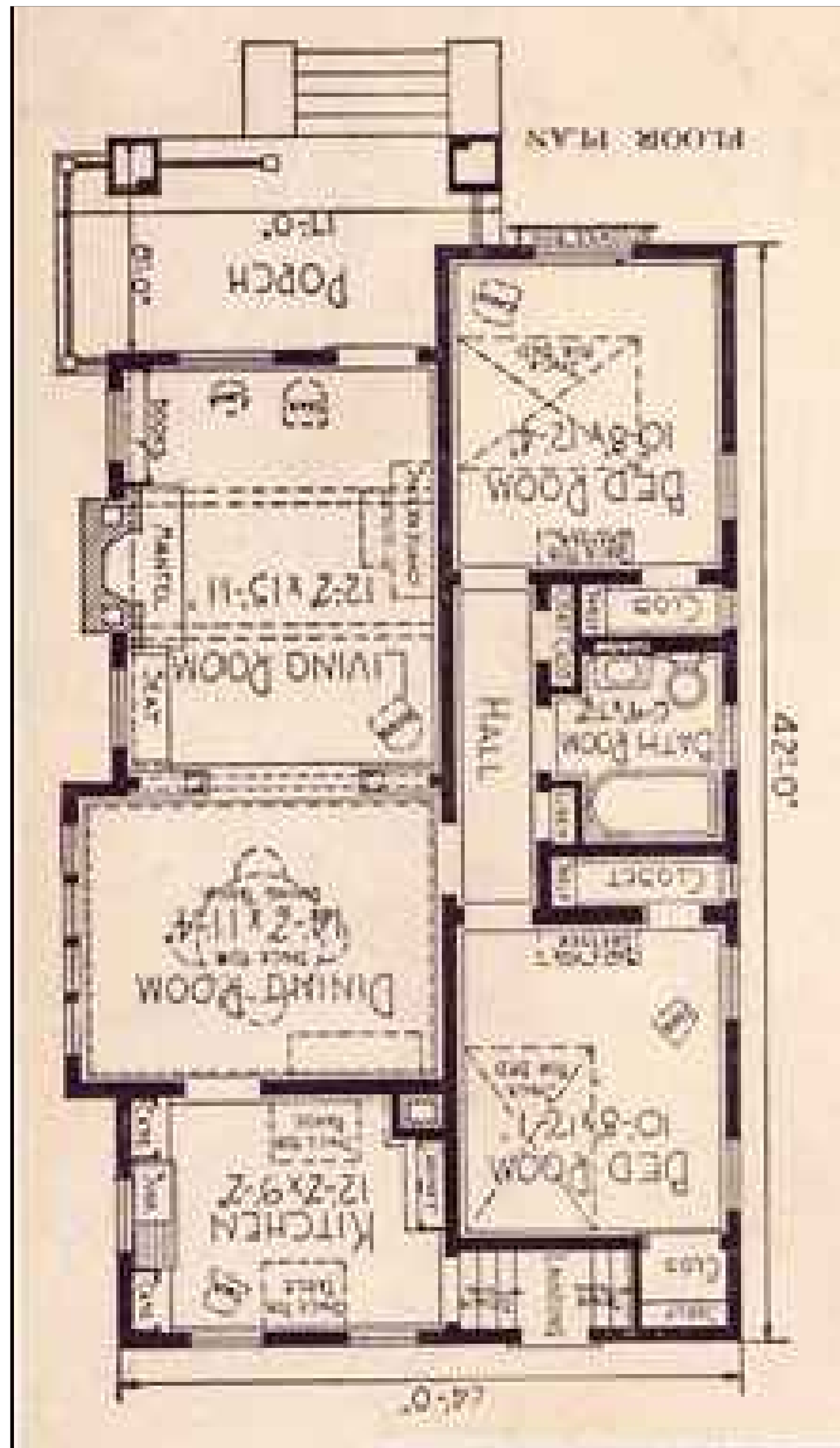
1 DRAWING RECORD OF FRONT PORCH ENCLOSURE
N.T.S

2 SEARS CATALOG MODEL THAT HOUSE WAS BASED ON
N.T.S

[illegible]

DRAWING RECORDS

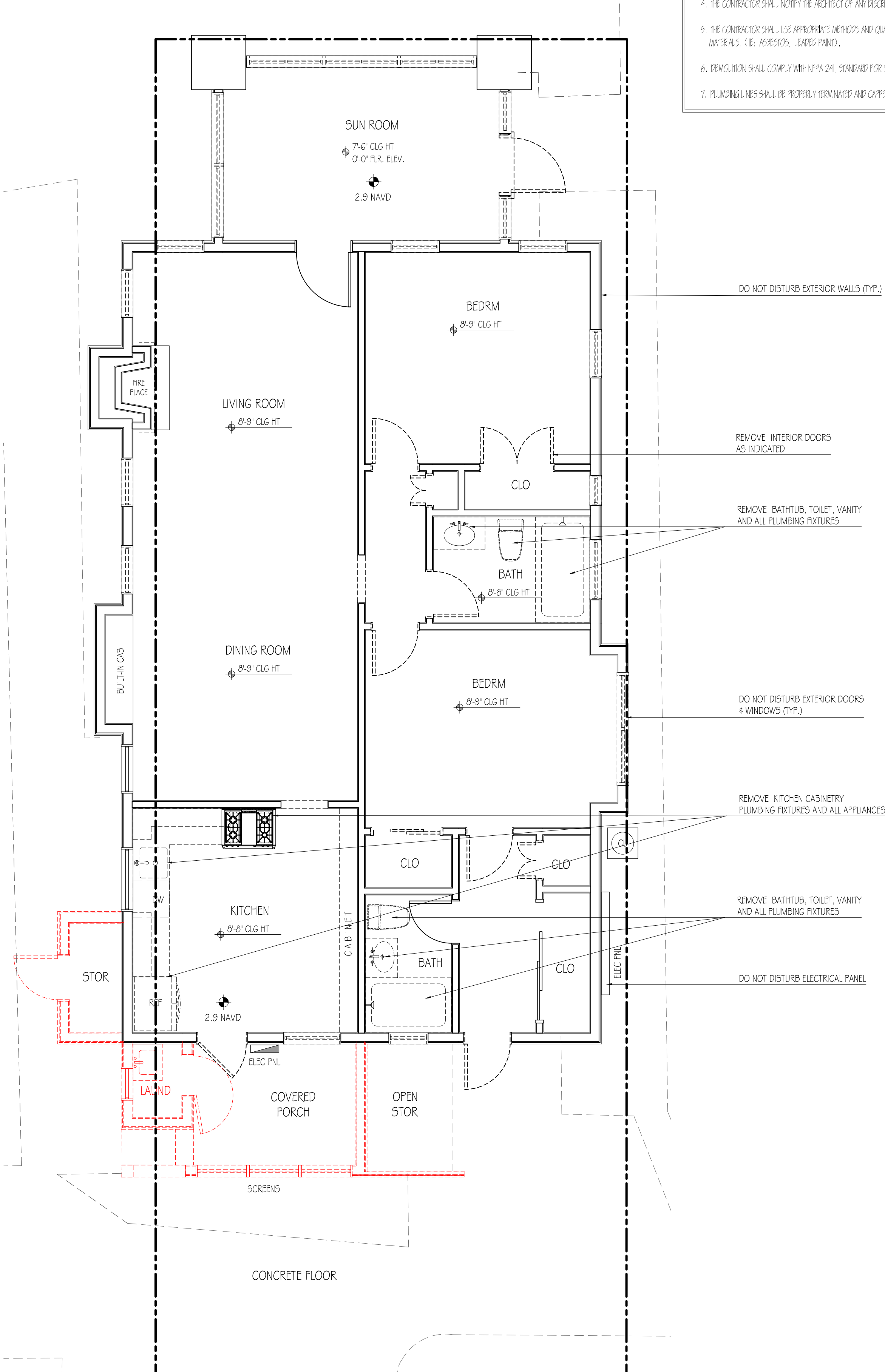
DR-001

[illegible]

KEY:
EXISTING EXTERIOR WALLS TO REMAIN
EXISTING INTERIOR PARTITIONS TO REMAIN

DEMOLITION NOTES

1. ALL WORK SHALL COMPLY WITH THE RESIDENTIAL 2020 FLORIDA BUILDING CODE, THE TOWN OF PALM BEACH AMENDMENTS & ALL OTHER PERTINENT CODES & ORDINANCES.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROPER SEQUENCE OF REMOVAL DURING DEMOLITION, INCLUDING ELECTRICAL AND PLUMBING DISCONNECTS, VERIFY THAT PARTITIONS ARE NON-LOAD BEARING BEFORE THEIR REMOVAL.
3. PROTECT ALL FINISHES AND SURFACES NOT SCHEDULED FOR REMOVAL.
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL USE APPROPRIATE METHODS AND QUALIFIED TRADES FOR THE REMOVAL OF ALL HAZARDOUS MATERIALS. (E. ASBESTOS, LEADED PAINT).
6. DEMOLITION SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING.
7. PLUMBING LINES SHALL BE PROPERLY TERMINATED AND CAPPED FOR THOSE NOT TO BE REUSED.



1 MAIN HOUSE DEMOLITION PLAN

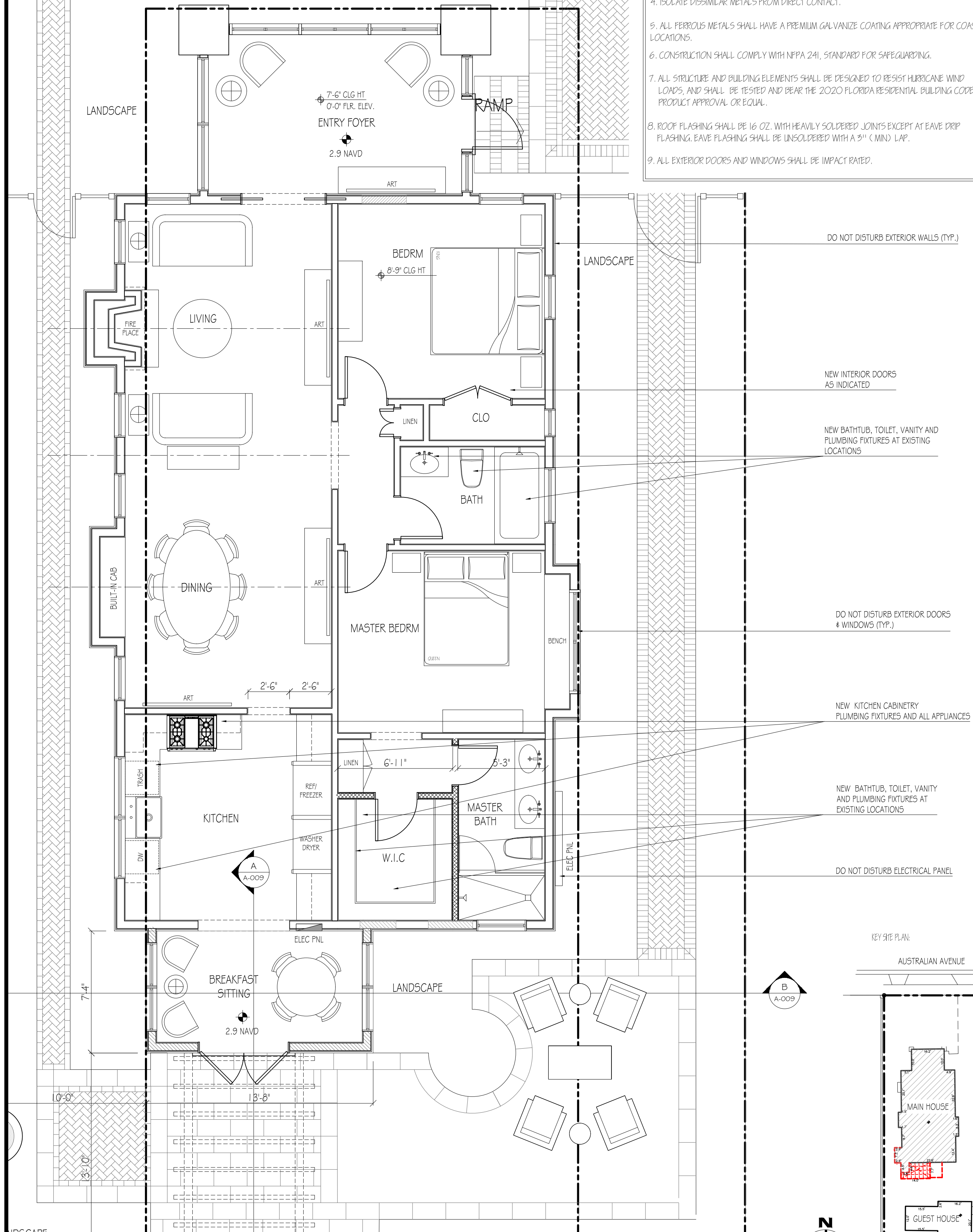
1/4" = 1'-0"

KEY:
EXISTING EXTERIOR WALLS TO REMAIN
EXISTING INTERIOR PARTITIONS TO REMAIN

GENERAL NOTES

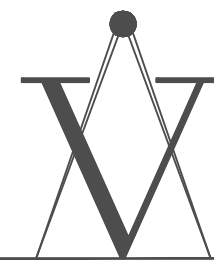
OCCUPANCY GROUP: RESIDENTIAL (R-3)
ALTERATION - LEVEL 2

1. ALL WORK SHALL COMPLY WITH THE RESIDENTIAL 2020 ED. FLORIDA BUILDING CODE, THE TOWN OF PALM BEACH AMENDMENTS AND ALL OTHER PERTINENT CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
3. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
4. ISOLATE DISSIMILAR METALS FROM DIRECT CONTACT.
5. ALL FERROUS METALS SHALL HAVE A PREMIUM GALVANIZE COATING APPROPRIATE FOR COASTAL LOCATIONS.
6. CONSTRUCTION SHALL COMPLY WITH NFPA 241, STANDARD FOR SAFEGUARDING.
7. ALL STRUCTURE AND BUILDING ELEMENTS SHALL BE DESIGNED TO RESIST HURRICANE WIND LOADS AND SHALL BE TESTED AND BEAR THE 2020 FLORIDA RESIDENTIAL BUILDING CODE PRODUCT APPROVAL OR EQUAL.
8. ROOF FLASHING SHALL BE 16 OZ. WITH HEAVILY SOLDERED JOINTS EXCEPT AT EAVE DROP FLASHING. EAVE FLASHING SHALL BE UNSOLDERED WITH A 3" (MIN) LAP.
9. ALL EXTERIOR DOORS AND WINDOWS SHALL BE IMPACT RATED.



2 MAIN HOUSE PROPOSED PLAN

1/4" = 1'-0"



VARNAVA DESIGN
STUDIO

ARI01023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

MARK DATE DESCRIPTION

PROJECT NO: 000

CAD DWG FILE: 318 AUSTRALIAN AVENUE - LANDMARK PRESERVATION.DWG

DRAWN BY: R.S. Y.V. M.C.

CHECKED BY: Y.V. M.C.

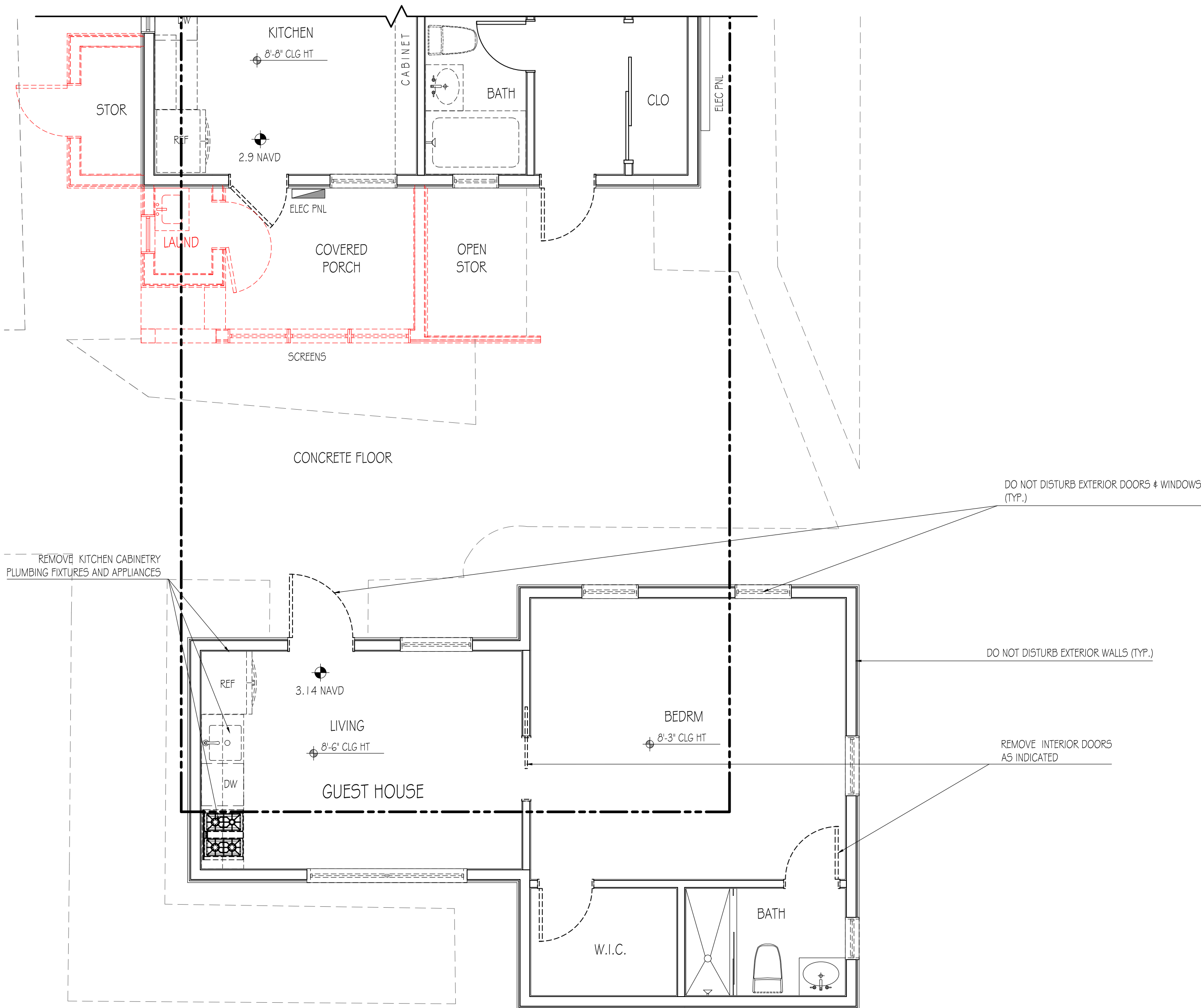
PLOT DATE: 10.10.23

SHEET TITLE

MAIN HOUSE FLOOR
DEMOLITION & PROPOSED PLAN

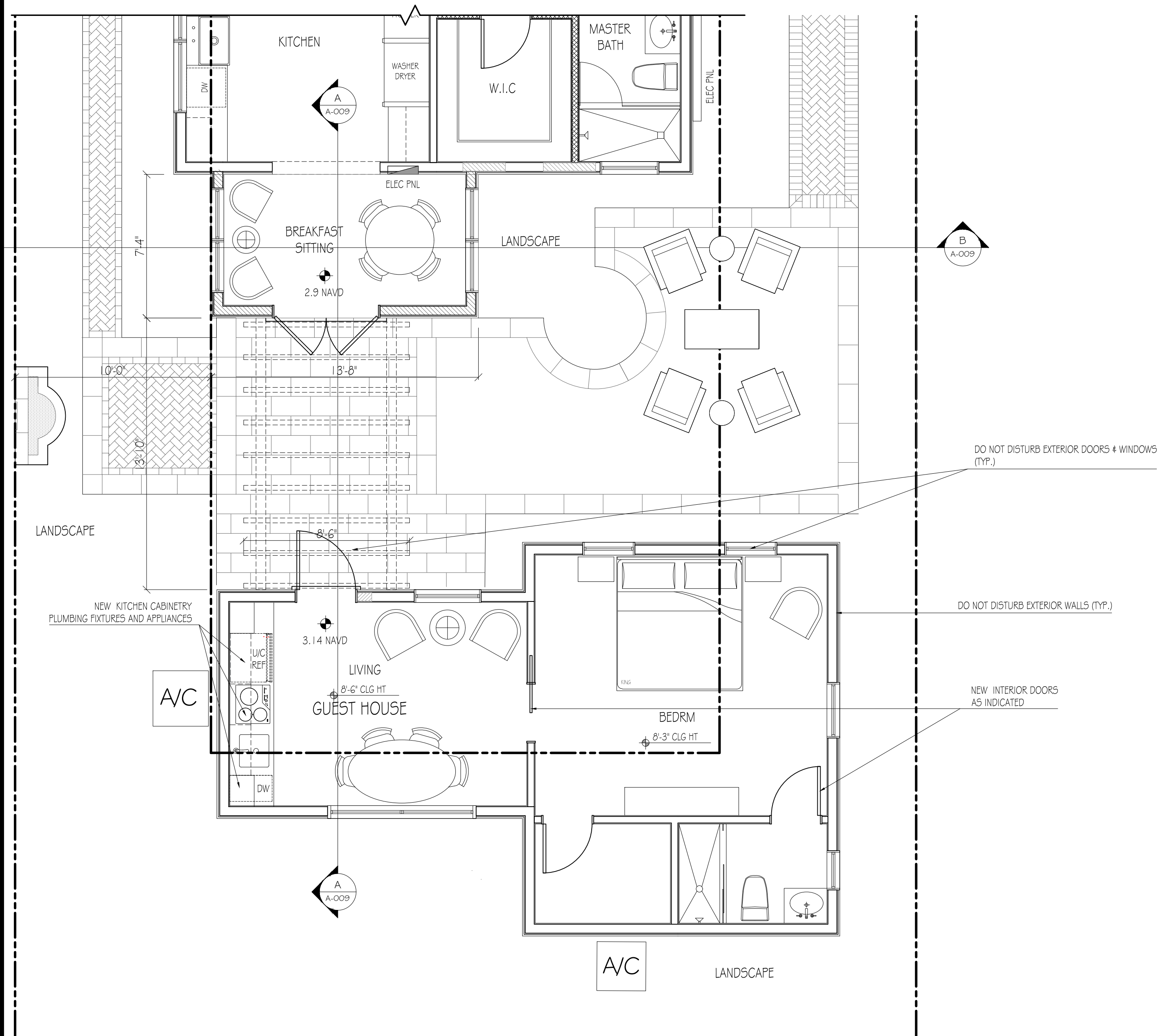
A-001

KEY:
EXISTING EXTERIOR WALLS TO REMAIN
EXISTING INTERIOR PARTITIONS TO REMAIN



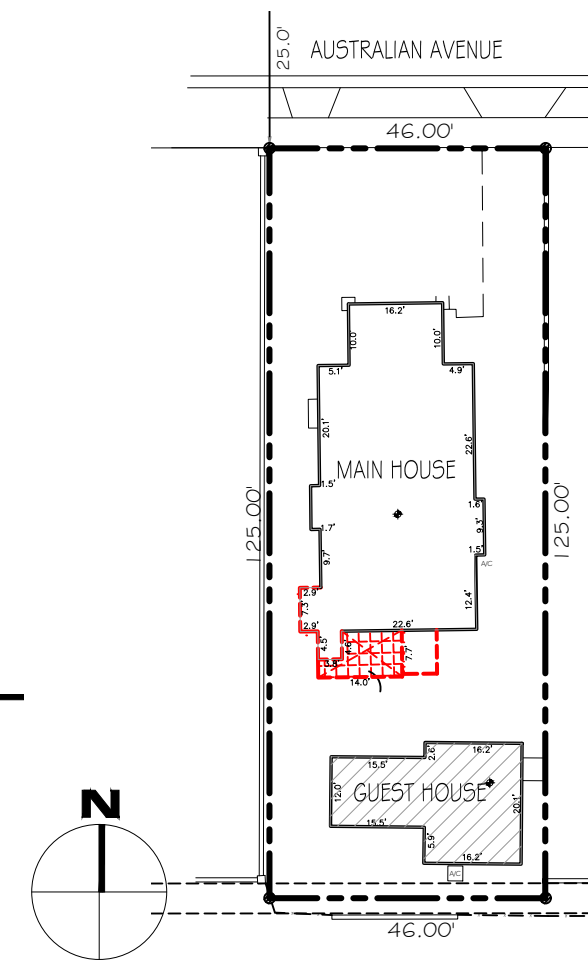
1 GUEST HOUSE DEMOLITION PLAN
1/4" = 1'-0"

KEY:
EXISTING EXTERIOR WALLS TO REMAIN
EXISTING INTERIOR PARTITIONS TO REMAIN



2 GUEST HOUSE PROPOSED PLAN
1/4" = 1'-0"

KEY SITE PLAN



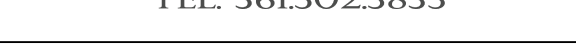
VARNAVA DESIGN
STUDIO
ARI01023
PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480
FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305
TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

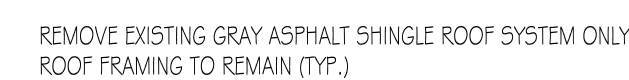
COA-23-038
ZON-23-106

	</	



318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106



REMOVE FLAT ROOF OVER PORCH AND SHED

REMOVE EXISTING GRAY ASPHALT SHINGLE ROOF SYSTEM ONLY
ROOF FRAMING TO REMAIN (TYP.)

EXISTING ROOF PLAN
3/16" = 1'-0"



NEW GABLE ROOF OVER NEW SITTING/BREAKFAST ROOM

NEW OPEN TRELLIS

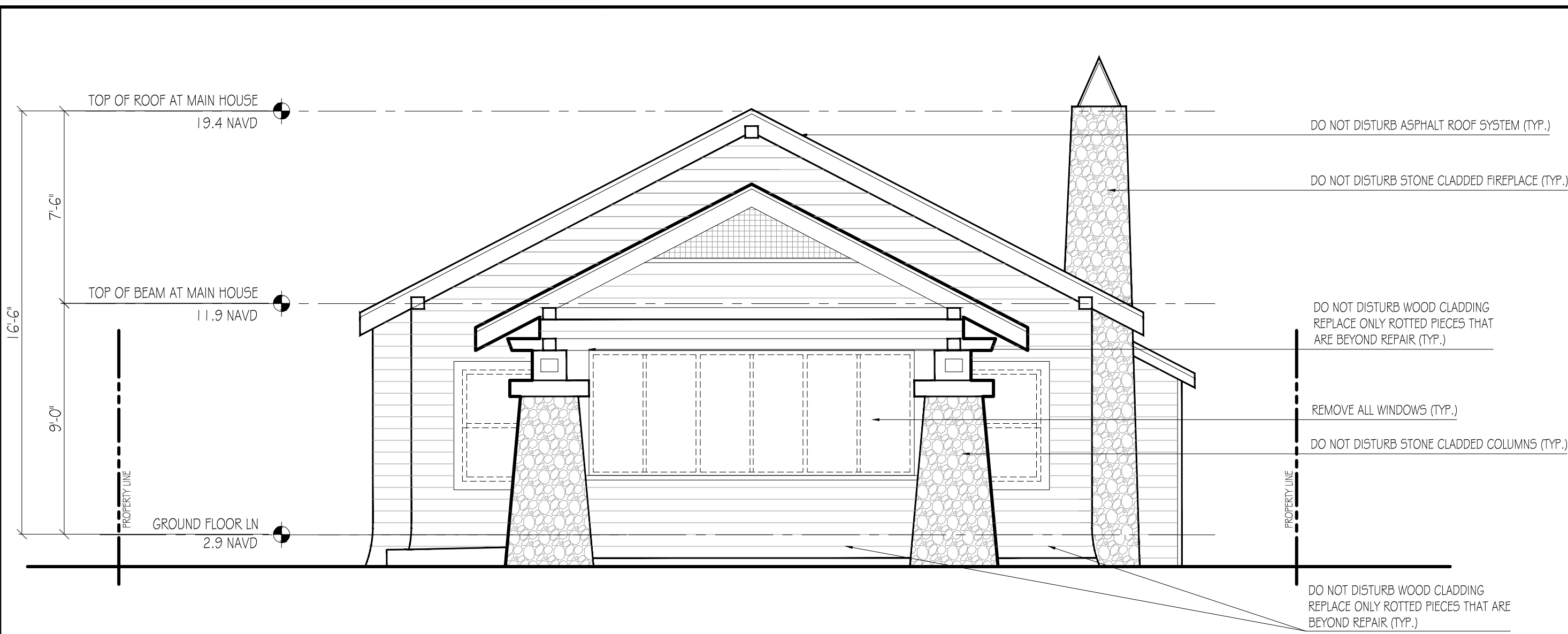
NEW ASPHALT SHINGLE ROOF SYSTEM (TYP.)

2 PROPOSED ROOF PLAN
3/16" = 1'-0"

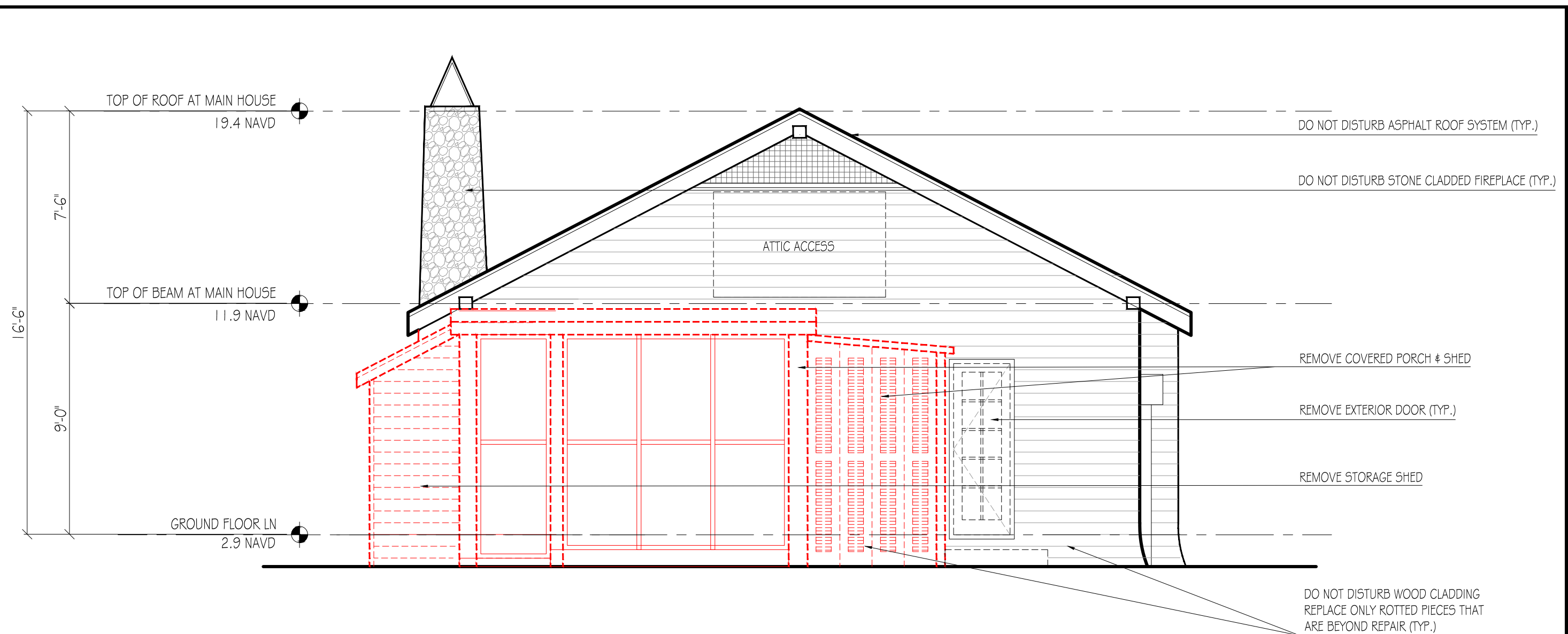
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EXISTING AND PROPOSED ROOF PLANS

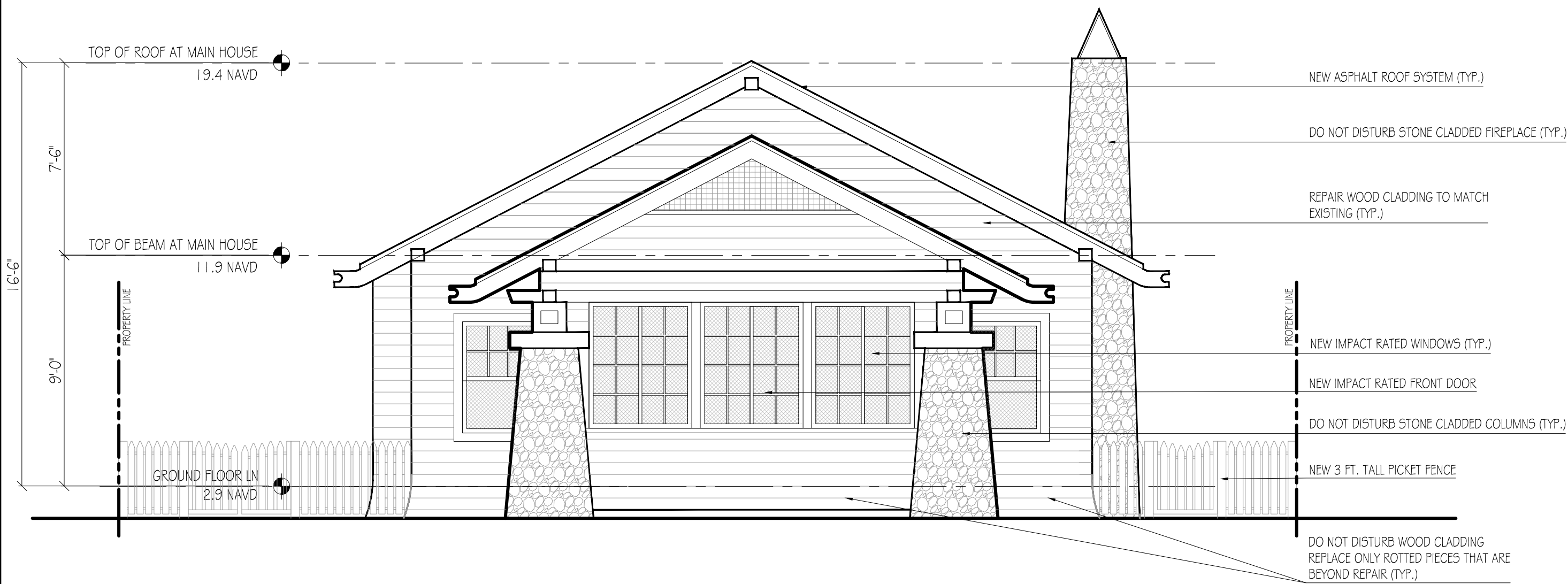
A-003



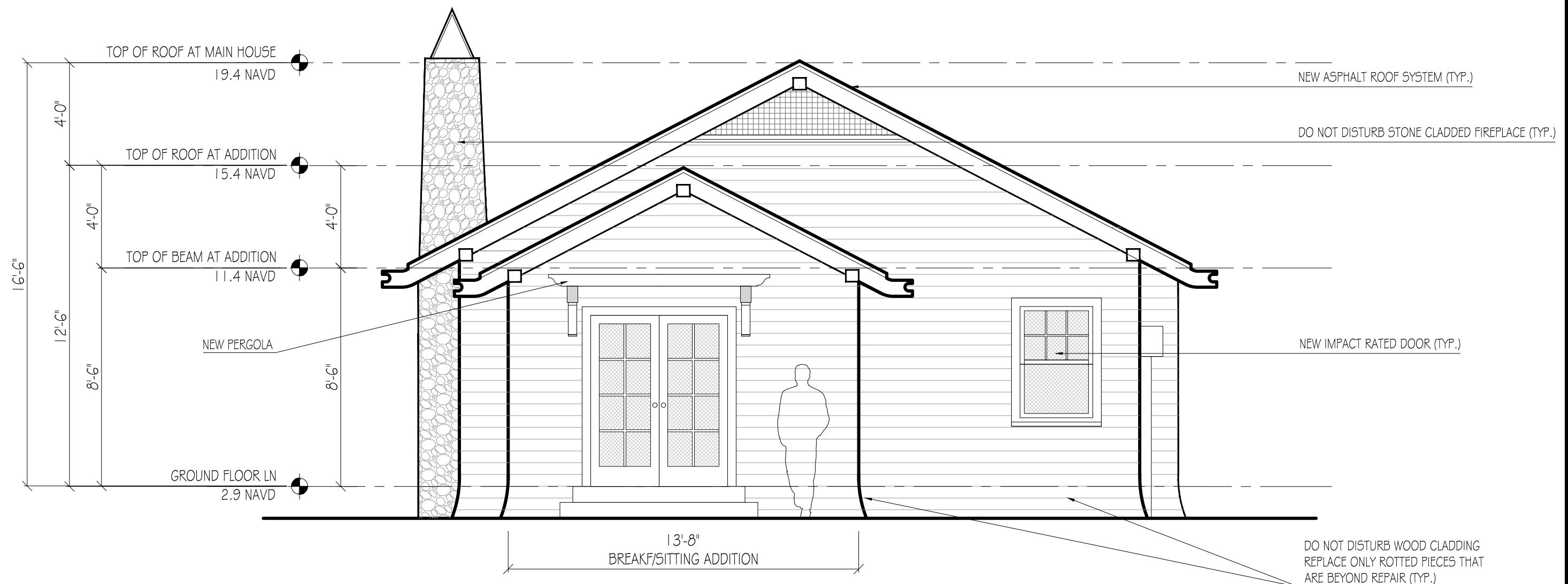
1 EXISTING NORTH ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



3 EXISTING SOUTH ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



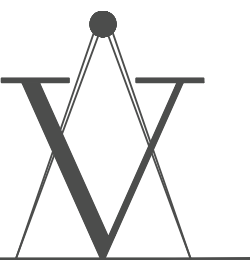
4 PROPOSED SOUTH ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



4 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



VARNAVA DESIGN
STUDIO

ARI01023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

MARK DATE DESCRIPTION

PROJECT NO: 000
CAD DWG FILE: 318 AUSTRALIAN AVENUE - LANDMARK PREDEVELOPMENT.DWG
DRAWN BY: R.S. Y.V. M.C.
CHKD BY: Y.V. M.C.
PLOT DATE: 10.10.23

SHEET TITLE

EXISTING & PROPOSED
NORTH & SOUTH ELEVATIONS

A-004



PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

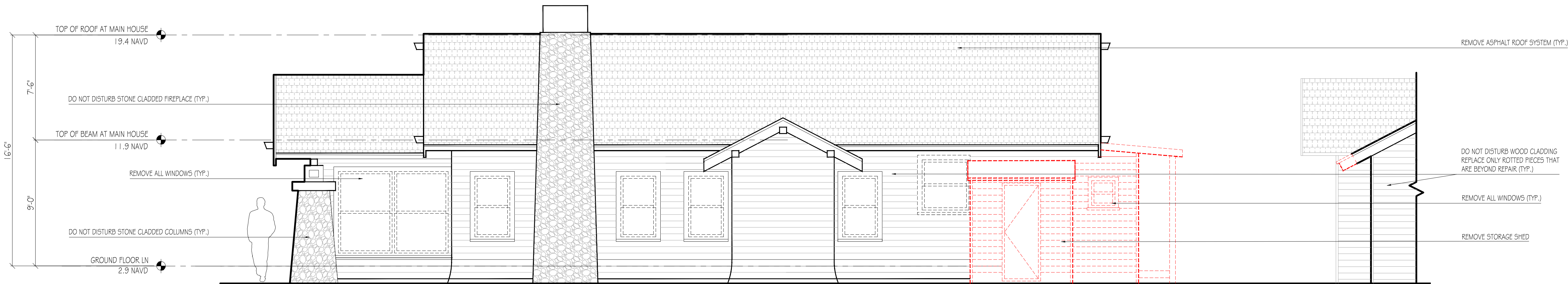
COA-23-038
ZON-23-106



MARK	DATE	DESCRIPTION
PROJECT NO: <i>HH</i>		
CAD DWG FILE: D:\8\NOTRUAL INFLUE - LARGEDAM PREDESIGN.DWG		
DRAWN BY:	R.S.	Y.Y. M.C.
CHECK BY:		Y.Y. M.C.
PLOT DATE:	10 / 0 23	
<i>Customer Initial</i>		

EXISTING & PROPOSED
EAST ELEVATION

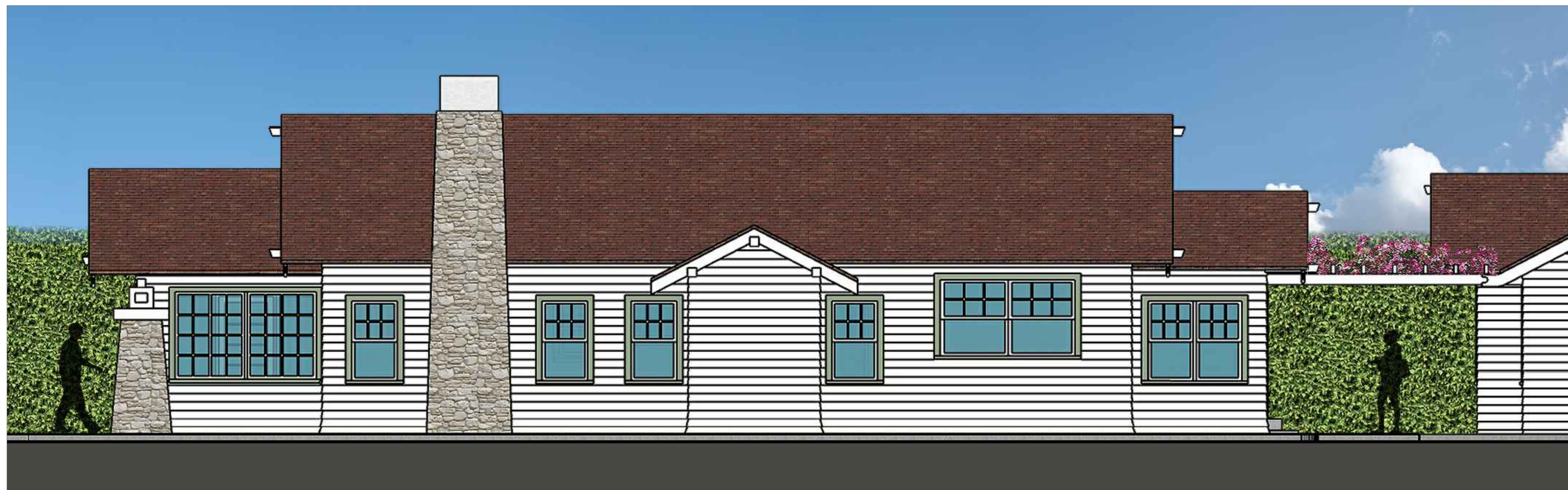
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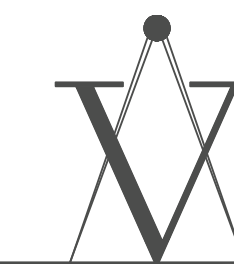
1 EXISTING WEST ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION OF MAIN HOUSE
1/4" = 1'-0"



3 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



VARNAVA DESIGN
STUDIO

ARI01023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

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318 AUSTRALIAN

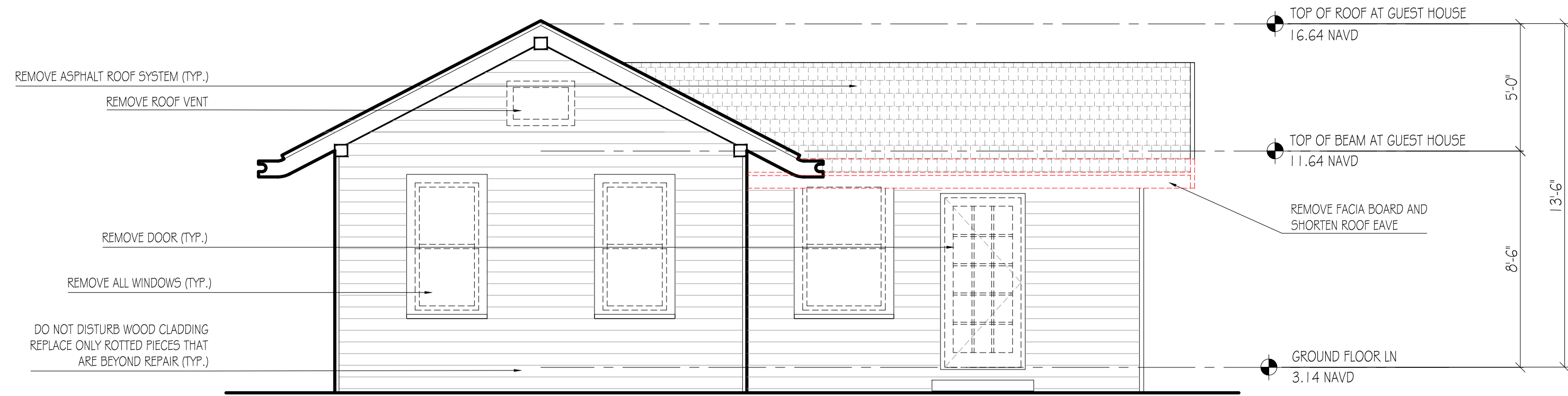
318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

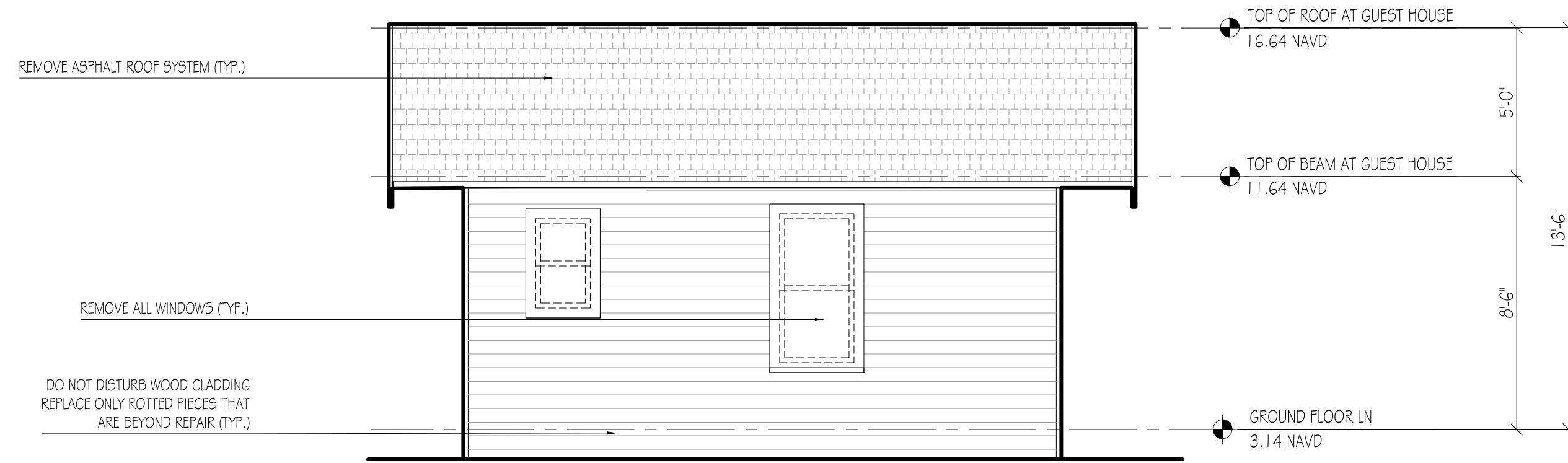
MARK	DATE	DESCRIPTION
PROJECT NO.	000	
CAD DWG FILE:	318 AUSTRALIAN AVENUE - LANDMARK PREPARATION.DWG	
DRAWN BY:	R.S. Y.V. M.C.	
CHKD BY:	Y.V. M.C.	
PLOT DATE:	10.10.23	
SHEET TITLE:		

EXISTING & PROPOSED
WEST ELEVATIONS

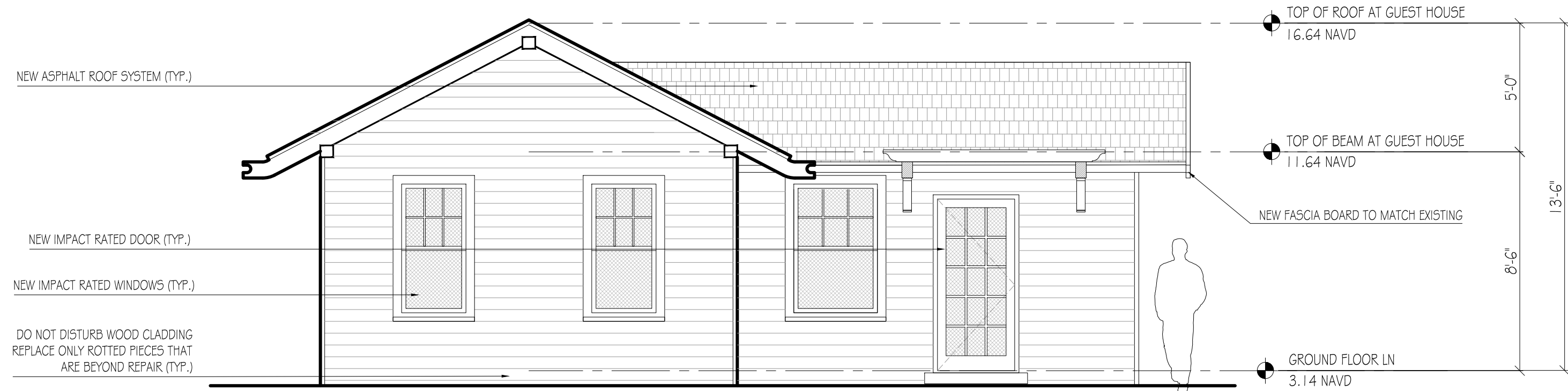
A-006



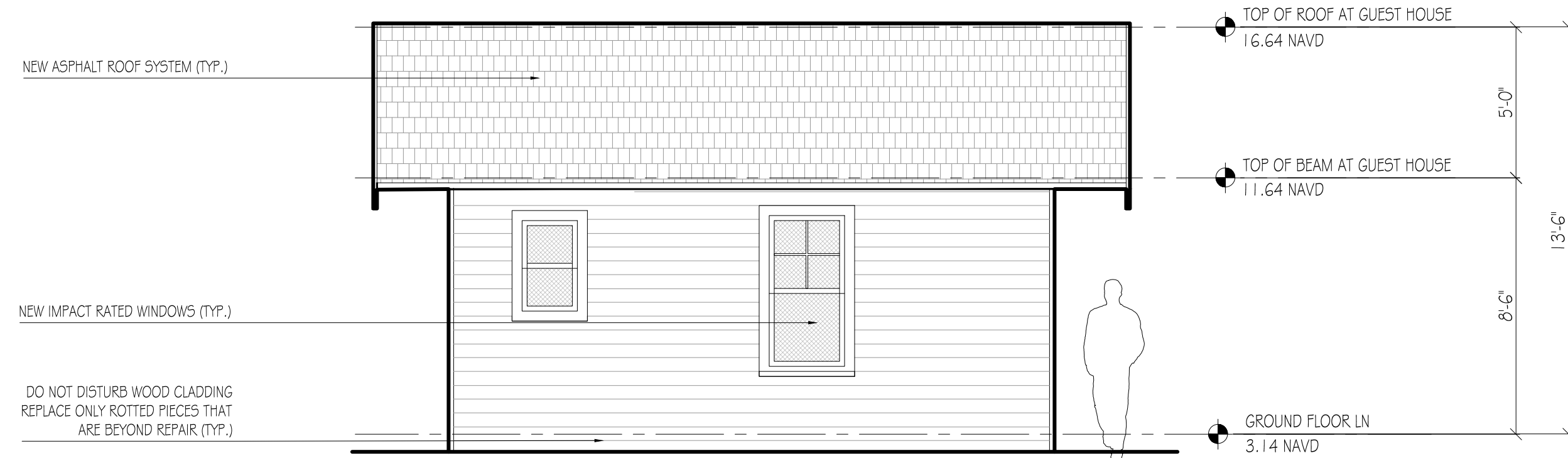
1 EXISTING NORTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



4 EXISTING EAST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



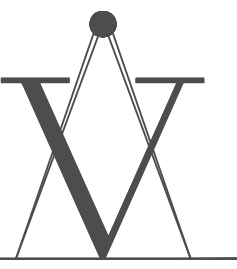
5 PROPOSED EAST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



3 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



6 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



VARNAVA DESIGN
STUDIO
ARI01023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480
FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305
TEL. 561.302.5853

318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106

MARK DATE DESCRIPTION

PROJECT NO: 000
CAD DWG FILE: 318 AUSTRALIAN AVENUE - LANDMARK PREPARATION.DWG
DRAWN BY: R.S. Y.V. M.C.
CHKD BY: Y.V. M.C.
PLOT DATE: 10.10.23
SHEET TITLE:

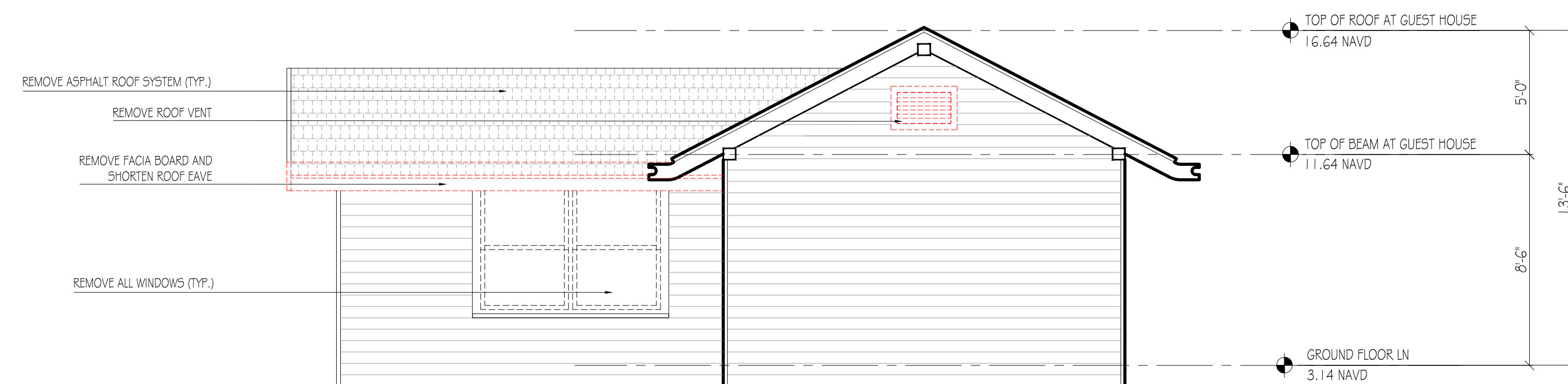
EXISTING & PROPOSED
ELEVATIONS FOR GUEST
HOUSE

A-007

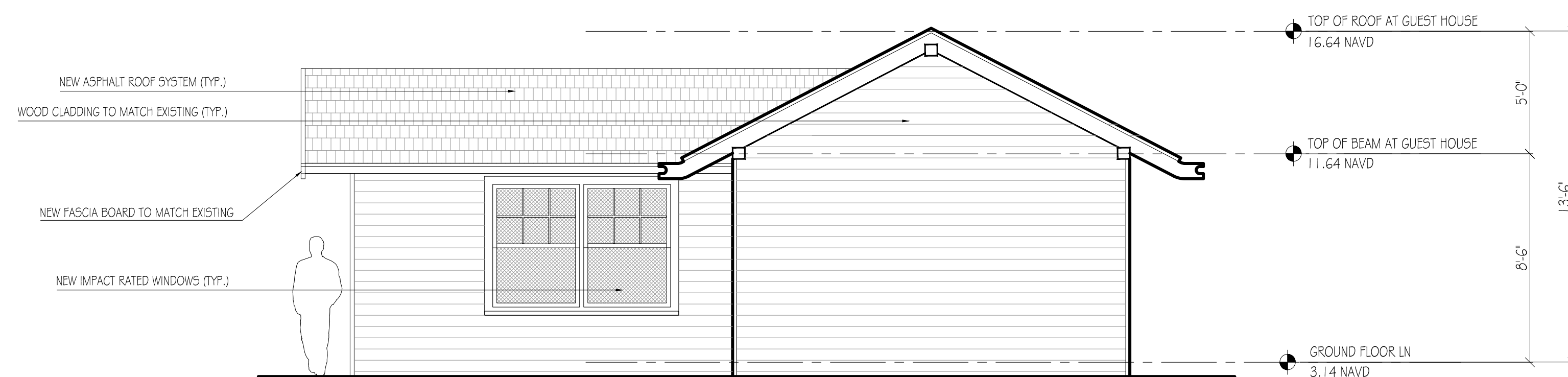
318 AUSTRALIAN

318 AUSTRALIAN AVENUE
PALM BEACH, FL, 33480

COA-23-038
ZON-23-106



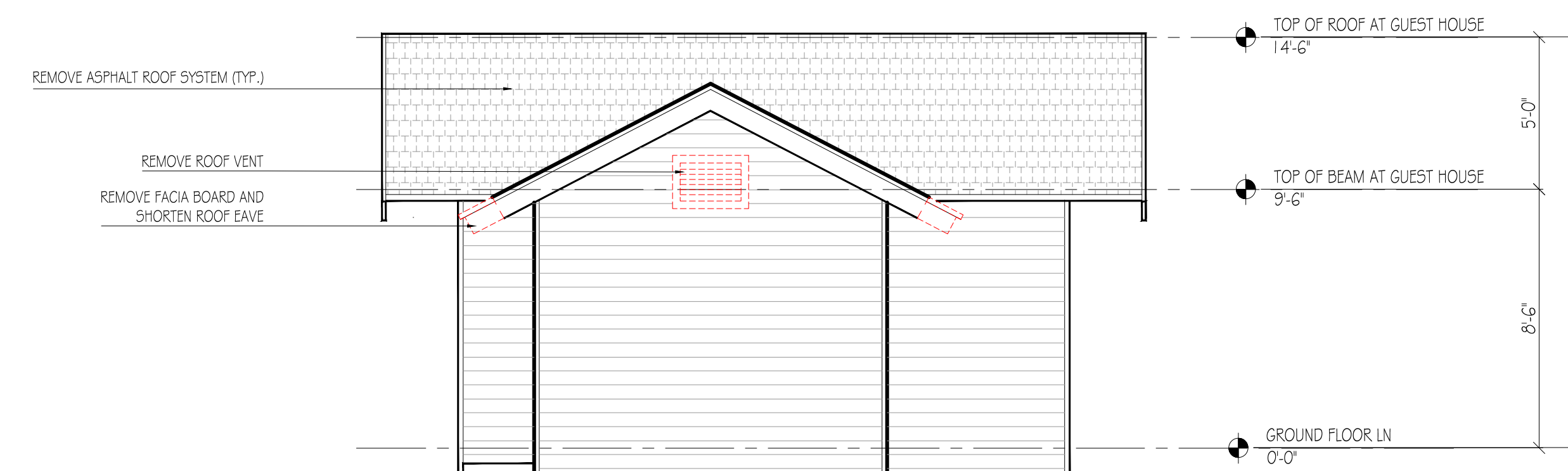
EXISTING SOUTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



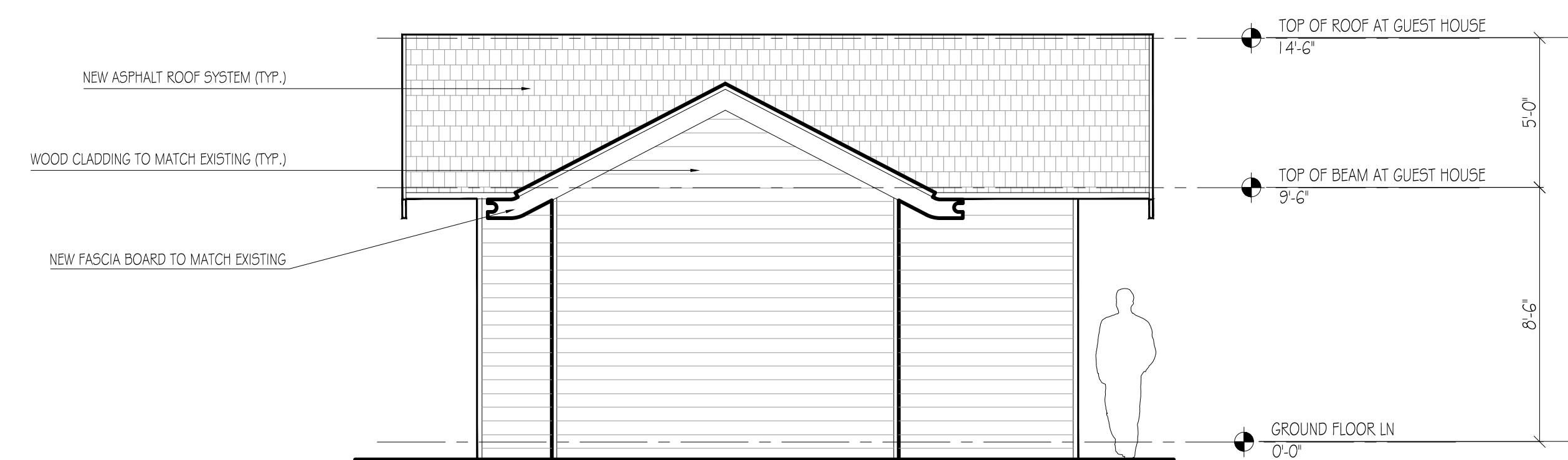
2 PROPOSED SOUTH ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



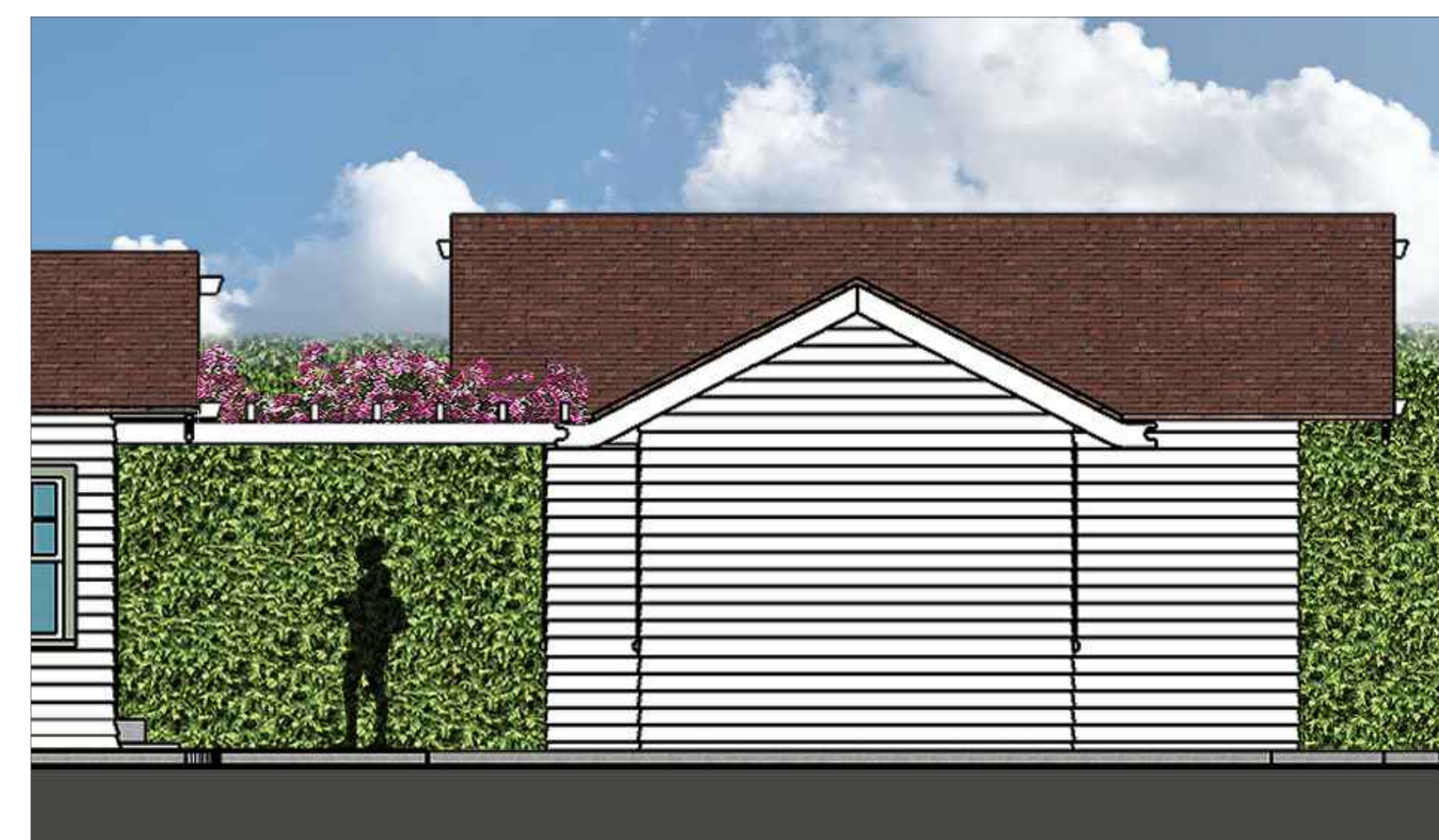
3 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"



4 EXISTING WEST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



5 PROPOSED WEST ELEVATION OF GUEST HOUSE
1/4" = 1'-0"



6 PROPOSED RENDERED ELEVATION
1/4" = 1'-0"

MARK	DATE	DESCRIPTION
PROJECT NO: ###		
CAD DWG FILE: T:\P\KUSTELA\RULETLE_ JASDANENS PROJEKTOWALING		
DRAWN BY: R.S. Y.V. M.C.		
CHK'D BY: Y.V. M.C.		
PLOT DATE: I.Q. / O.23		
SHEET TIME		

EXISTING & PROPOSED ELEVATIONS FOR GUEST HOUSE

A-008

AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

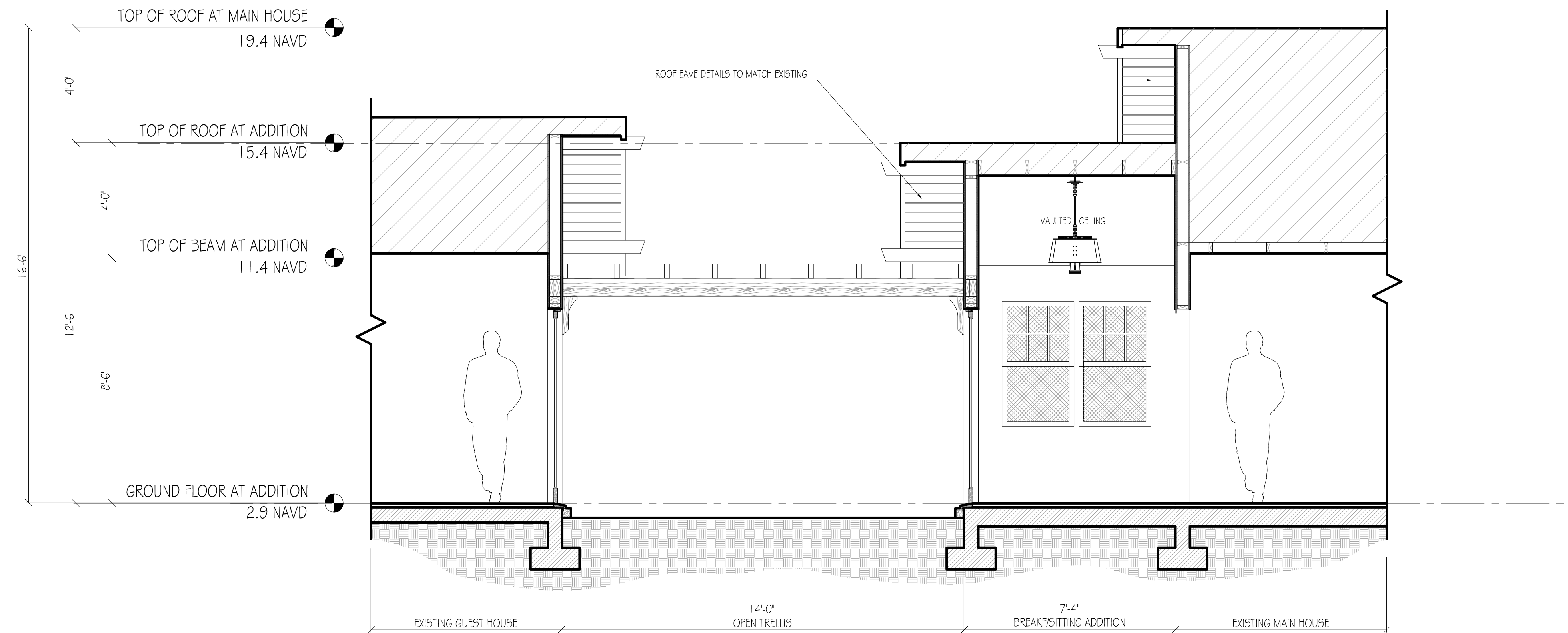
FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

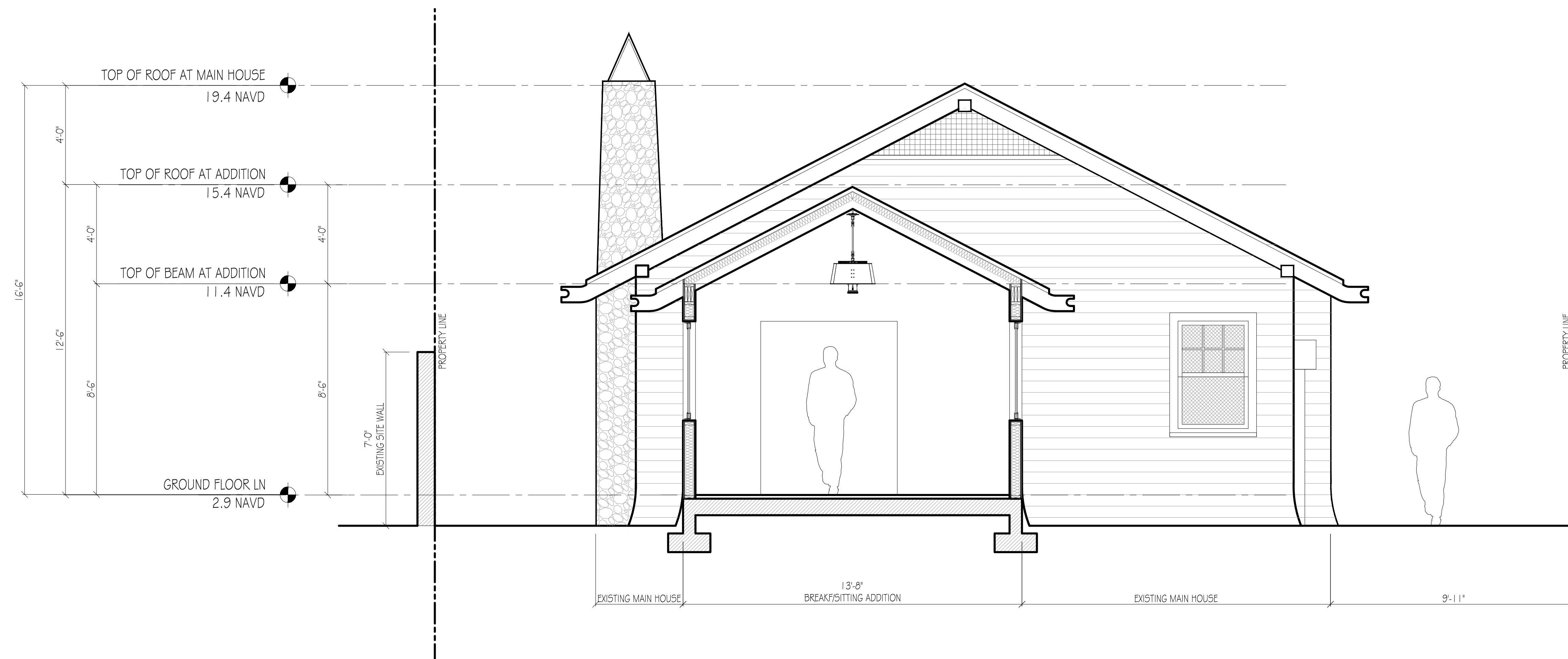
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PALM BEACH, FL, 33480

COA-23-038
ZON-23-106



SECTION A-A
3/8" = 1'-0"



2 SECTION B-B
3/8" = 1'-0"

[illegible]

BUILDING SECTIONS

A-009

AR101023

PALM BEACH
2875 SOUTH OCEAN BLVD
SUITE 200-33
PALM BEACH, FLORIDA 33480

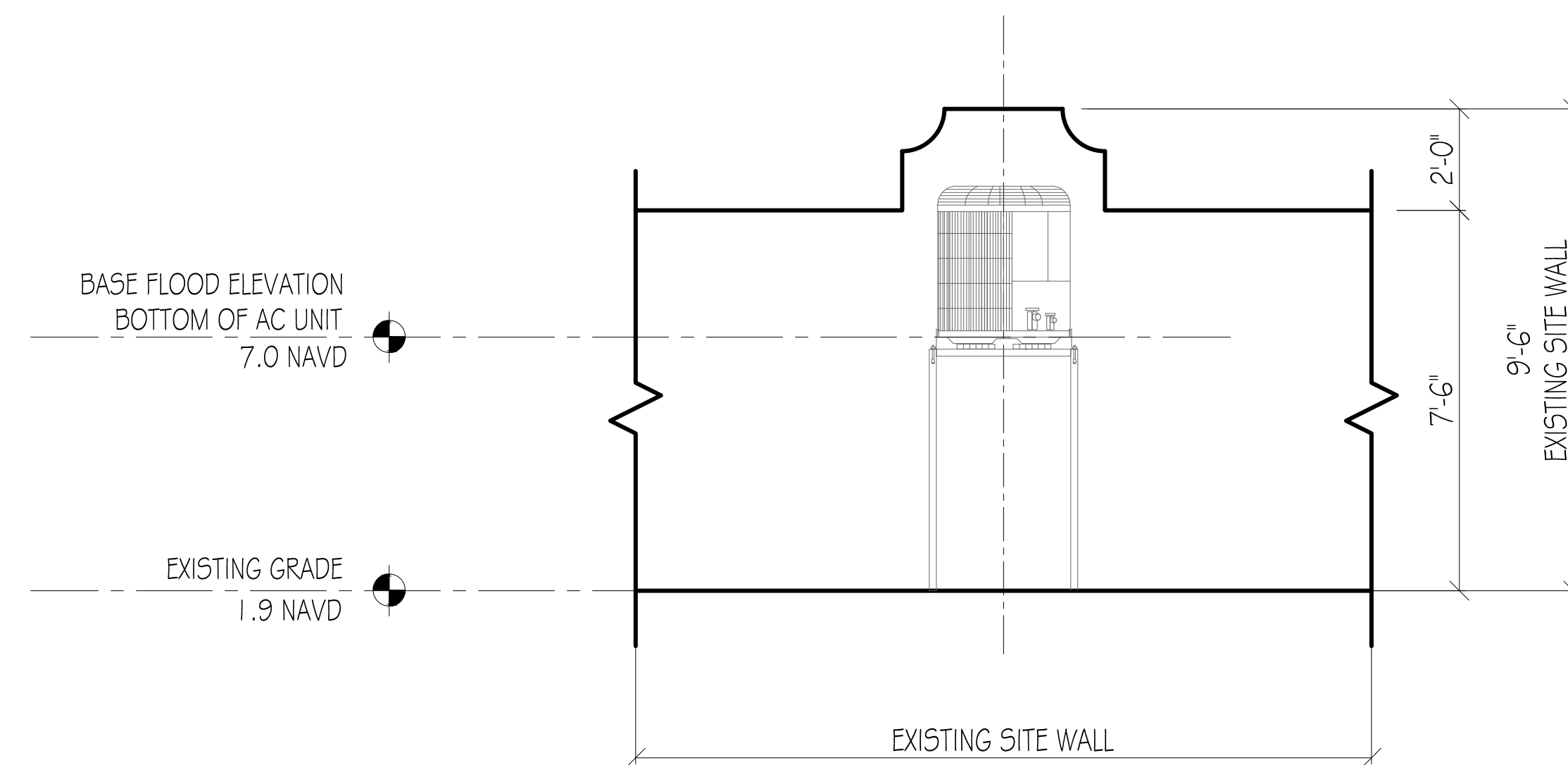
FORT LAUDERDALE
1706 NE 18TH ST.
FORT LAUDERDALE, FLORIDA 33305

TEL. 561.302.5853

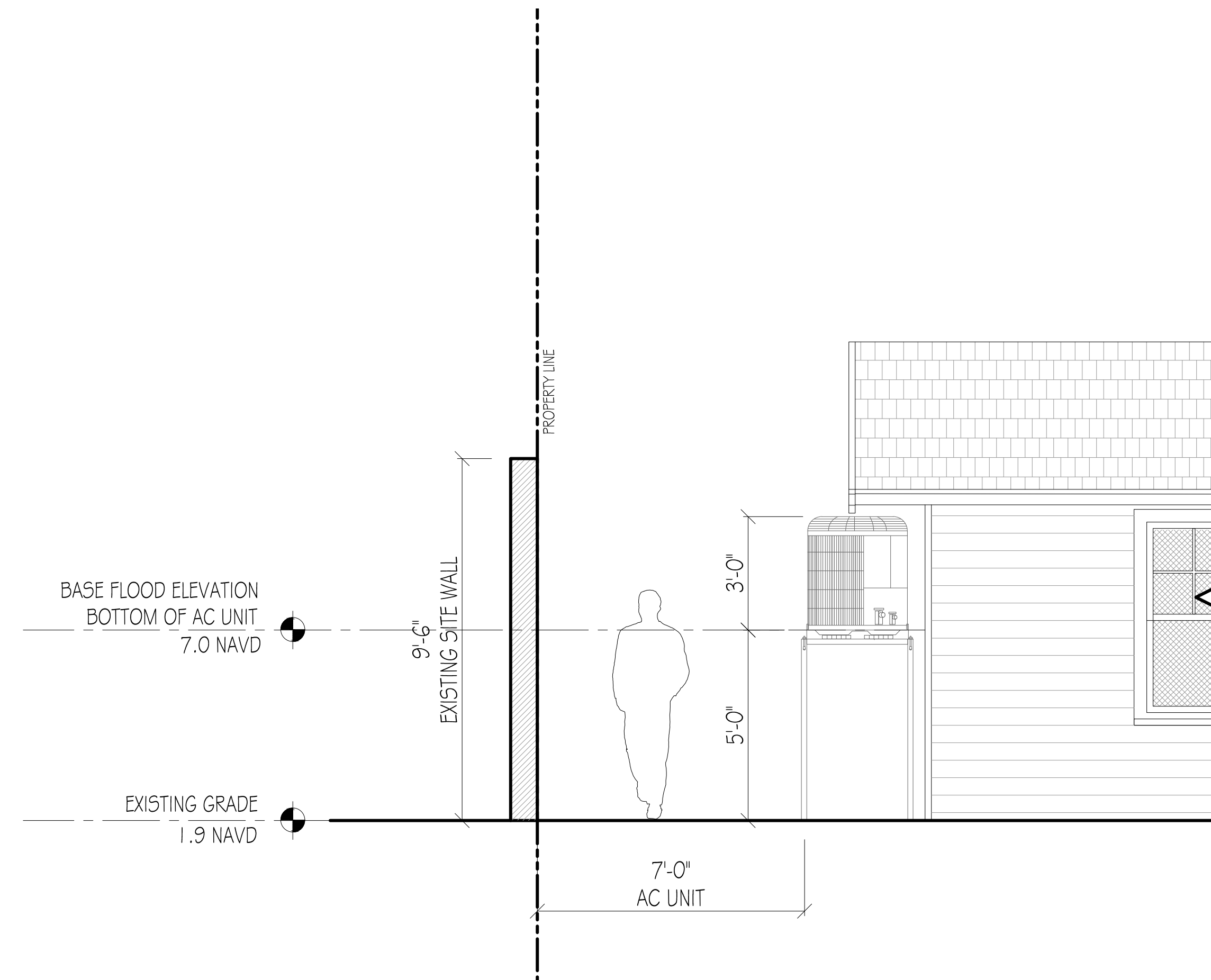
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COA-23-038
ZON-23-106



1 ELEVATION OF EXISTING NEIGHBORING WALL
3/8" = 1'-0"

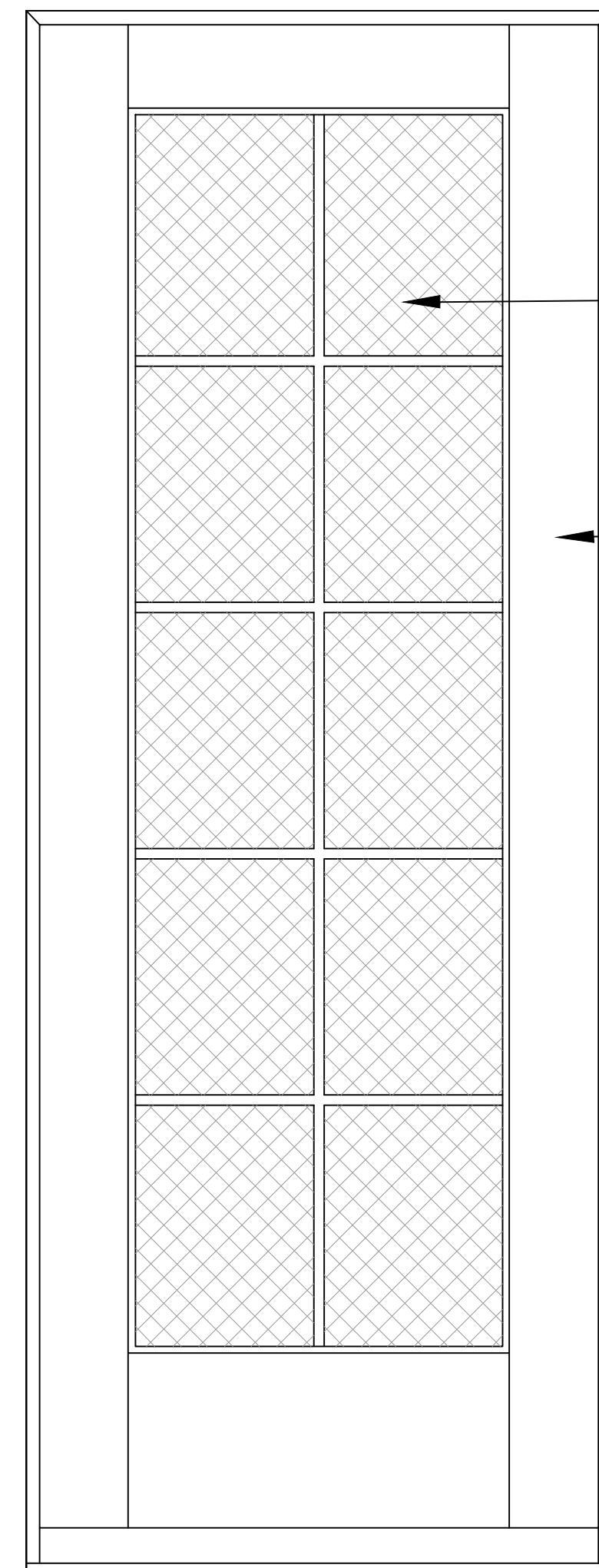


2 SECTION C
3/8" = 1'-0"

MARK	DATE	DESCRIPTION
PROJECT NO: ##		
CAD DWG FILE: 3-D BLOTTING RIDDLE - LANDMARKS PREDEFINITION.DWG		
DRAWN BY:	R.S Y.V M.C	
CHECKD BY:	Y.V M.C	
PLOT DATE:	10 / 10 / 23	
SHEET TITLE		

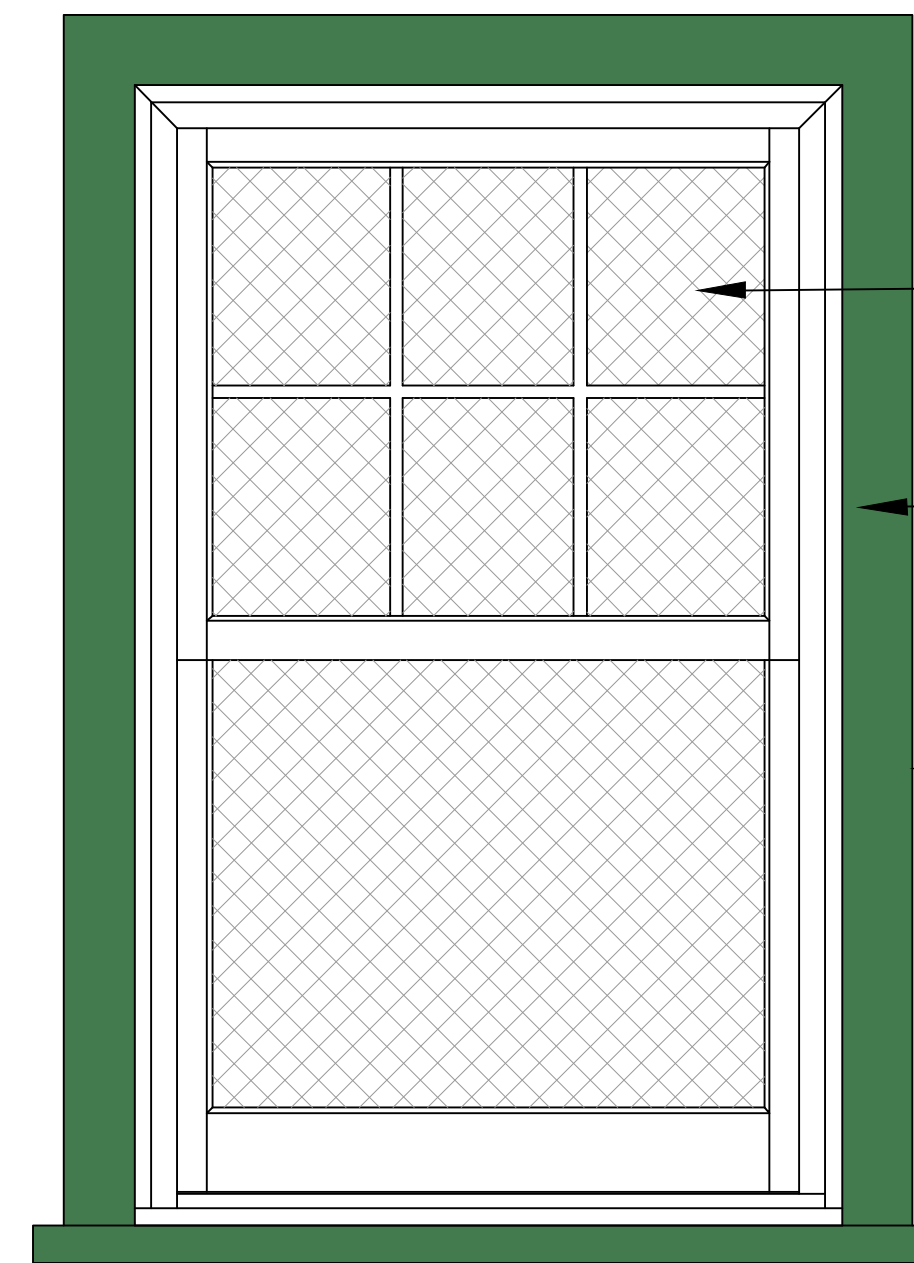
SITE SECTION

A-010



DOOR TO BE SINGLE GLAZED
GLASS TO BE CLEAR LOW-E

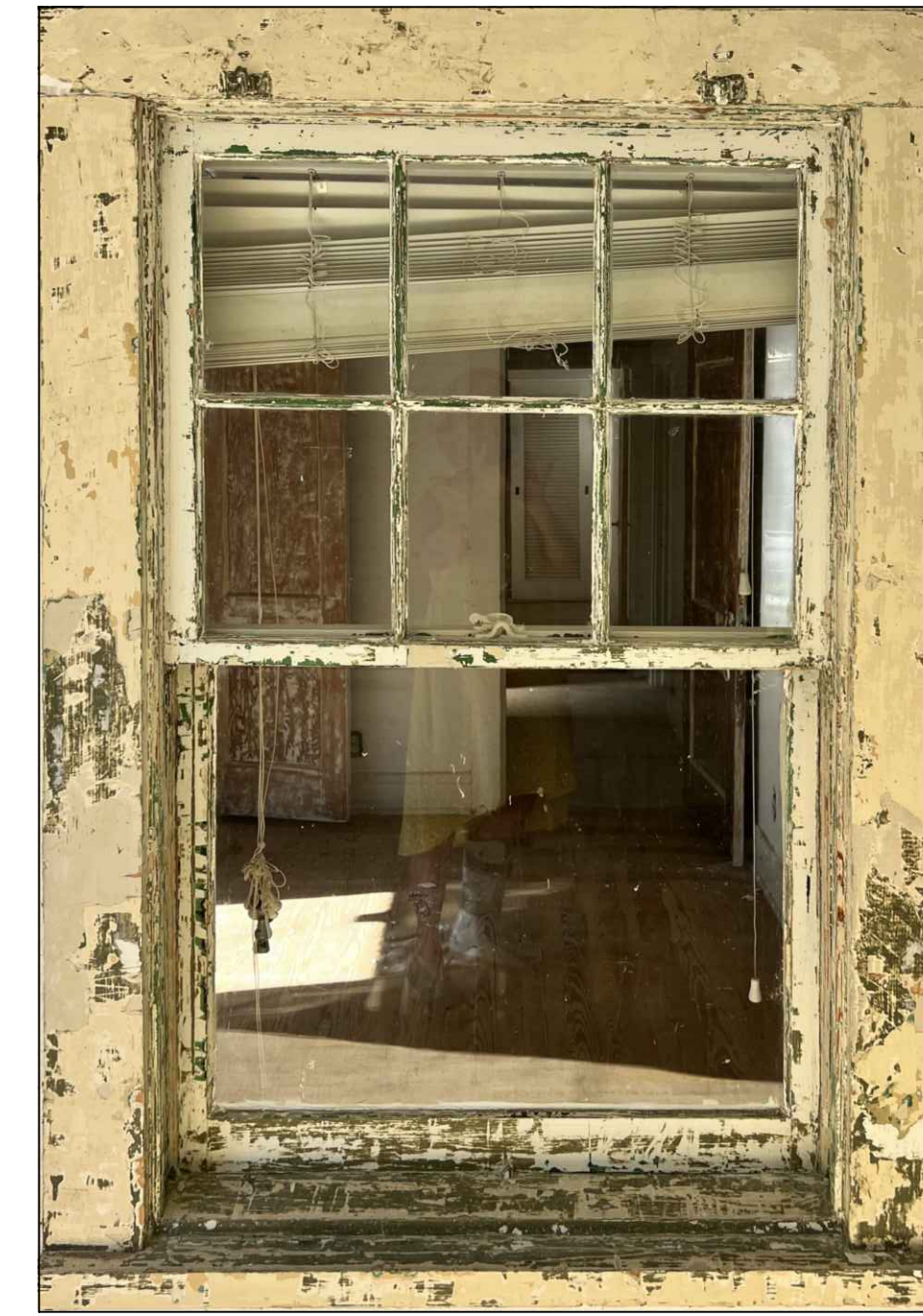
DOOR EXTERIOR FINISH
TO BE WHITE



WINDOW TO BE SINGLE GLAZED
GLASS TO BE CLEAR LOW-E

WINDOW EXTERIOR FINISH TO BE WHITE

WINDOW TRIM SURROUND TO BE
PAINTED IRISH MOSS BY
BENJAMIN MORE



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PROPOSED EXTERIOR DOORS
N.T.5

N.T.S.

2 PROPOSED WINDOWS

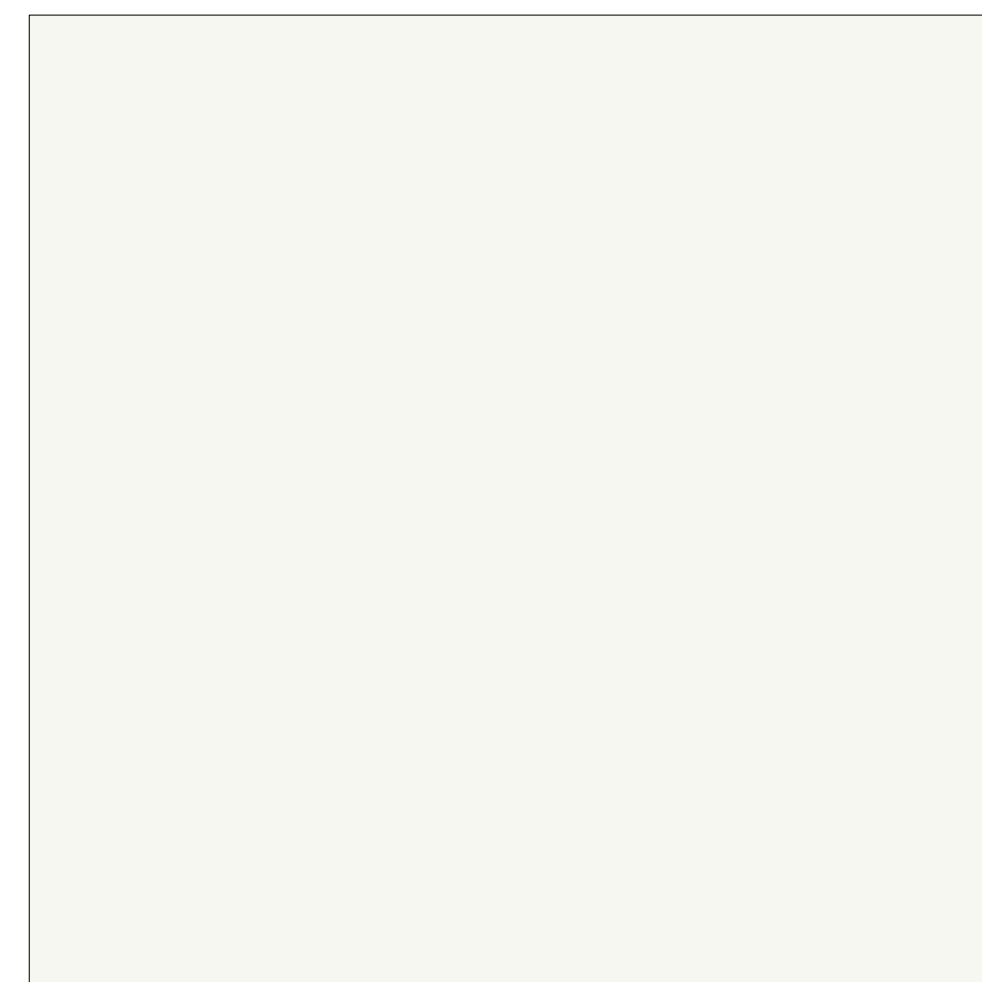
N.T.S.

3 ORIGINAL WINDOW MUNTIN LAYOUT

N.T.

4 ORIGINAL WINDOW TRIM FINISH

N.T.



DOOR AND WINDOW FINISH TO BE
WHITE



CLAPBOARD FINISH TO BE WHITE
BY BENJAMIN MOORE



WINDOW SURROUND TRIM FINISH TO
BE IRISH MOSS BY BENJAMIN MOORE



ROOF FINISH TO BE
OWENS CORNING DURATION
TERRA COTTA ASPHALT SHINGLE

[illegible]

MATERIALS AND FINISHES









