

TITLE COMMITMENT REVIEW

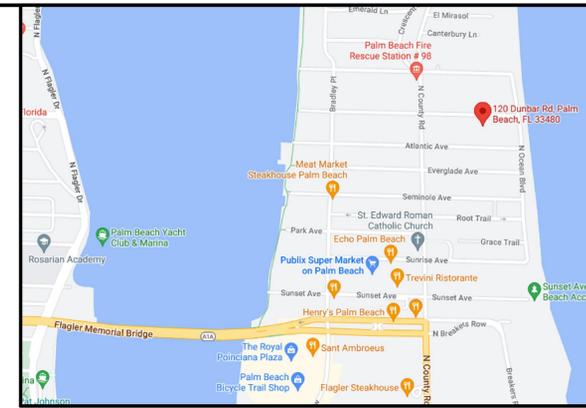
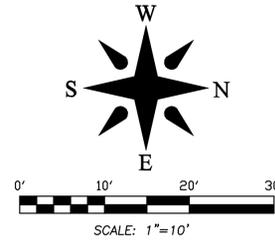
CLIENT: Walter Rodman Ryan and Dianne Ryan	COMMITMENT NO. : 10427424	DATE: 04/12/22				
REVIEWED BY: Craig Wallace	JOB NO. : 22-1152.1					
B2 ITEM NO.	DOCUMENT	DESCRIPTION	AFFECTS AND PLOTTED	AFFECTS AND NOT PLOTTABLE	DOES NOT AFFECT	NOT A SURVEY MATTER
1-5	N/A	Standard Exceptions.				
6	PB 7, PG 68	Restrictions, covenants, conditions, easements and other matter as contained on the Plat of Adams Addition to Palm Beach.	•			•

BOUNDARY SURVEY FOR: 120 DUNBAR ROAD TRUST

This survey is made specifically and only for the following parties for the purpose of a permit on the surveyed property.

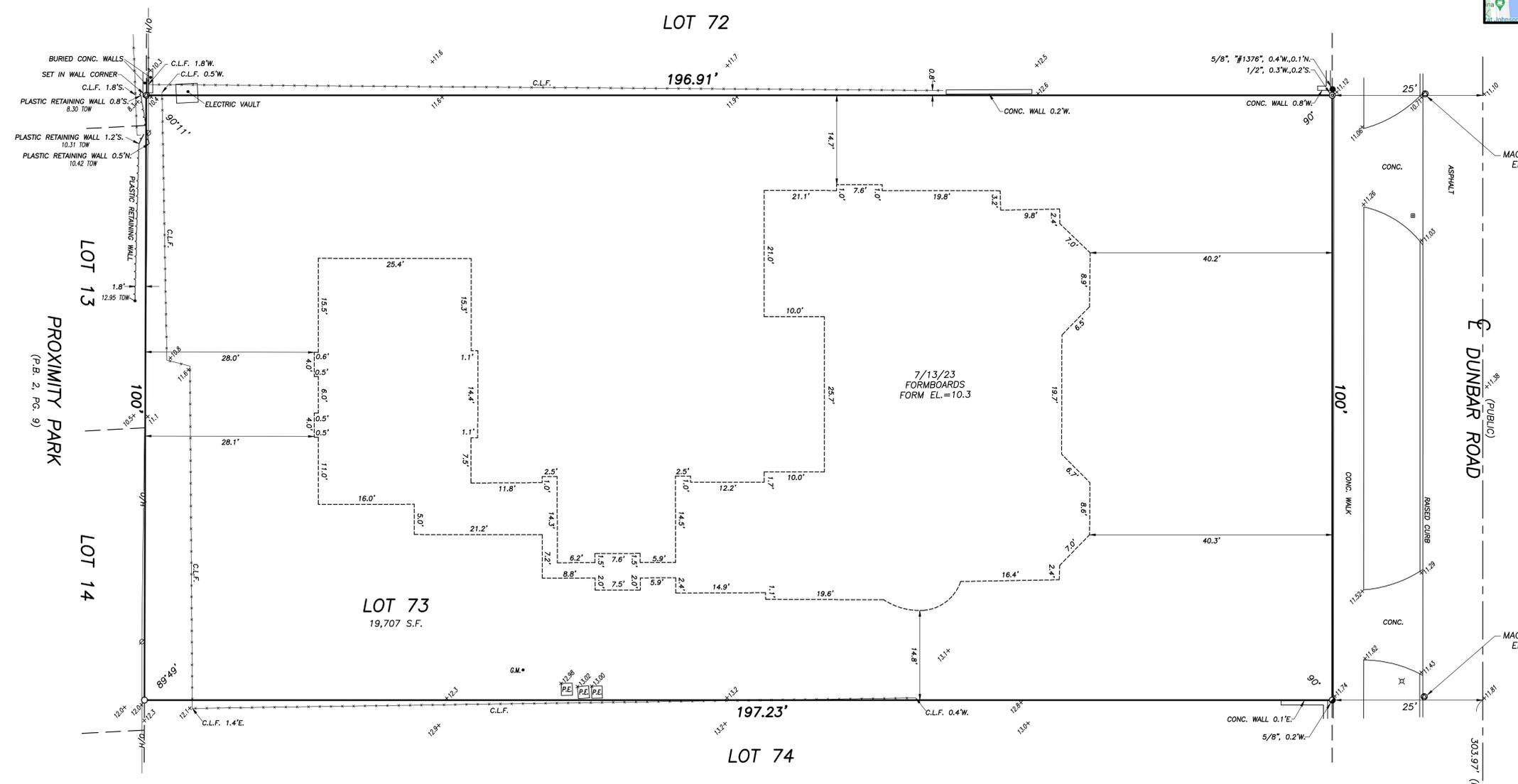
120 Dunbar Road Trust
Chicago Title Insurance Company
Robert Brody, P.A.
Kochman & Ziska PLC

The undersigned surveyor assumes no responsibility or liability for any other purpose or to any other party other than stated above.



VICINITY SKETCH N.T.S.

- LEGEND**
- A = ARC LENGTH
 - A/C = AIR CONDITIONING
 - A.E. = ACCESS EASEMENT
 - A.K.A. = ALSO KNOWN AS
 - ASPH. = ASPHALT
 - BLDG. = BUILDING
 - B.M. = BENCHMARK
 - B.O.C. = BACK OF CURB
 - B.O.W. = BACK OF WALK
 - (C) = CALCULATED
 - CATV = CABLE ANTENNA TELEVISION
 - C.B. = CHORD BEARING
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - C.C.C.L. = COASTAL CONSTRUCTION CONTROL LINE
 - CH = CHORD
 - C.L.F. = CHAIN LINK FENCE
 - CLR. = CLEAR
 - C.M.P. = CORRUGATED METAL PIPE
 - CONC. = CONCRETE
 - (D) = DESCRIPTION DATUM
 - D.B. = DEED BOOK
 - D.E. = DRAINAGE EASEMENT
 - D.H. = DRILL HOLE
 - D.W. = DRIVEWAY
 - EL. = ELEVATION
 - ENC. = ENCROACHMENT
 - E.O.P. = EDGE OF PAVEMENT
 - E.O.W. = EDGE OF WATER
 - ESMT = EASEMENT
 - F.F. = FINISH FLOOR
 - FND. = FOUND
 - F.O.C. = FACE OF CURB
 - G.M. = GAS METER
 - INV. = INVERT
 - I.T.W.C.D. = INDIAN TRAIL WATER CONTROL DISTRICT
 - L.A.E. = LIMITED ACCESS EASEMENT
 - L.B. = LICENSE BOARD
 - L.W.D.D. = LAKE WORTH DRAINAGE DISTRICT
 - (M) = FIELD MEASUREMENT
 - M.H. = MANHOLE
 - M.H.W.L. = MEAN HIGH WATER LINE
 - M.L.W.L. = MEAN LOW WATER LINE
 - N.A.V.D. = NORTH AMERICAN VERTICAL DATUM
 - N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
 - N.P.B.C.I.D. = NORTHERN PALM BEACH COUNTY IMPROVEMENT DISTRICT
 - N.T.S. = NOT TO SCALE
 - O.A. = OVERALL
 - O.D. = OUTSIDE DIAMETER
 - O.H. = OVERHEAD UTILITY LINE
 - O.R.B. = OFFICIAL RECORD BOOK
 - O.S. = OFFSET
 - (P) = PLAT DATUM
 - P.B. = PLAT BOOK
 - P.B.C. = PALM BEACH COUNTY
 - P.C. = POINT OF CURVATURE
 - P.C.C. = POINT OF COMPOUND CURVATURE
 - P.E. = POOL EQUIPMENT
 - PG. = PAGE
 - P.I. = POINT OF INTERSECTION
 - P.O. = PART OF
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF COMMENCEMENT
 - P.R.C. = POINT OF REVERSE CURVATURE
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - PROP. = PROPOSED
 - P.T. = POINT OF TANGENCY
 - P.V.M.T. = PAVEMENT
 - (R) = RADIAL
 - R. = RADIUS
 - RGE. = RANGE
 - R.P.B. = ROAD PLAT BOOK
 - R.W. = RIGHT OF WAY
 - (S) = SURVEY DATUM
 - S.B. = SETBACK
 - SEC. = SECTION
 - S.D. = SUBDIVISION
 - S.F. = SQUARE FEET
 - S.F.W.M.D. = SOUTH FLORIDA WATER MANAGEMENT DISTRICT
 - S.I.R.W.C.D. = SOUTH INDIAN RIVER WATER CONTROL DISTRICT
 - S.R. = STATE ROAD
 - STA. = STATION
 - STY. = STORY
 - TH. = THRESHOLD ELEVATION
 - T.O.B. = TOP OF BANK
 - T.O.W. = TOP OF WALL ELEVATION
 - TWP. = TOWNSHIP
 - TYP. = TYPICAL
 - U.C. = UNDER CONSTRUCTION
 - U.E. = UTILITY EASEMENT
 - U.R. = UNRECORDED
 - W.C. = WITNESS CORNER
 - W.M.E. = WATER MANAGEMENT EASEMENT
 - W.M.M.E. = WATER MANAGEMENT MAINTENANCE EASEMENT
 - W.M.T. = WATER MANAGEMENT TRACT
 - ⊕ = BASELINE
 - ⊕ = CENTERLINE
 - Δ = CENTRAL ANGLE/Delta
 - = CONCRETE MONUMENT FOUND (AS NOTED)
 - = CONCRETE MONUMENT SET (LB #4569)
 - = ROD & CAP FOUND (AS NOTED)
 - = 5/8" ROD & CAP SET (LB #4569)
 - = IRON PIPE FOUND (AS NOTED)
 - = IRON ROD FOUND (AS NOTED)
 - = NAIL FOUND
 - = NAIL & DISK FOUND (AS NOTED)
 - = MAG NAIL & DISK SET (LB #4569)
 - ⊕ = PROPERTY LINE
 - ⊕ = UTILITY POLE
 - ⊕ = FIRE HYDRANT
 - ⊕ = WATER METER
 - ⊕ = WATER VALVE
 - ⊕ = LIGHT POLE



PROPERTY ADDRESS:
120 Dunbar Road Palm Beach FL 33480

LEGAL DESCRIPTION:
Lot 73, of ADAMS ADDITION TO PALM BEACH, according to the map or plat thereof, as recorded in Plat Book 7, Page 68, of the Public Records of Palm Beach County, Florida.

FLOOD ZONE:
This property is located in Flood Zone X, according to F.I.R.M. (Flood Insurance Rate Map) No. 12099C0581F, dated 10/5/2017.

- NOTES:**
- All information regarding record easements, adjoiners, and other documents that might affect the quality of title to tract shown hereon was gained from commitment number 10427424, issued by Chicago Title Insurance Company, dated 04/12/22. This office has made no search of the Public Records.
 - Elevations shown hereon, if any, are in feet and decimal parts thereof and are based on NAVD-88. The expected accuracy of the elevations shown hereon is 0.03' for the hard surface elevations (shown thus x 0.00) and 0.1' (shown thus x 0.0) for the soft surface elevations. Elevations shown hereon are U.S. survey feet unless otherwise noted.
 - Description furnished by client or client's agent.
 - Unless presented in digital form with electronic seal and electronic signature this survey must bear the signature and the original raised seal of a Florida licensed surveyor or mapper this drawing, sketch, plat or map is for informational purposes only and is not valid.
 - This survey cannot be transferred or assigned without the specific written permission of Wallace Surveying Corporation. Certificate of Authorization Number LB4569.
 - Except as shown, underground and overhead improvements are not located. Underground foundations not located.
 - The survey sketch shown hereon does not necessarily contain all of the information obtained or developed by the undersigned surveyor in his field work, office work or research.
 - No responsibility is assumed by this surveyor for the construction of improvements, from building ties shown on this survey.
 - Revisions shown hereon do not represent a "survey update" unless otherwise noted.
 - All dates shown within the revisions block hereon are for interoffice filing use only and in no way affect the date of the field survey stated herein.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate the relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - It is a violation of Rule 5J-17 of the Florida Administrative Code to alter this survey without the express prior written consent of the Surveyor. Additions and/or deletions made to the face of this survey will make this survey invalid.
 - The ownership of fences, perimeter walls and/or hedges shown hereon are not known and thus are not listed as encroachments. Fences, hedges and/or perimeter walls are shown in their relative position to the boundary.
 - The expected horizontal accuracy of the information shown hereon is +/- 0.10'.

CERTIFICATION:
I HEREBY ATTEST that the survey shown hereon conforms to the Standards of Practice set forth by the Florida Board of Professional Surveyors and Mappers adopted in Rule 5J-17, Florida Administrative Code pursuant to Section 472.027, Florida Statutes, effective September 1, 1981.

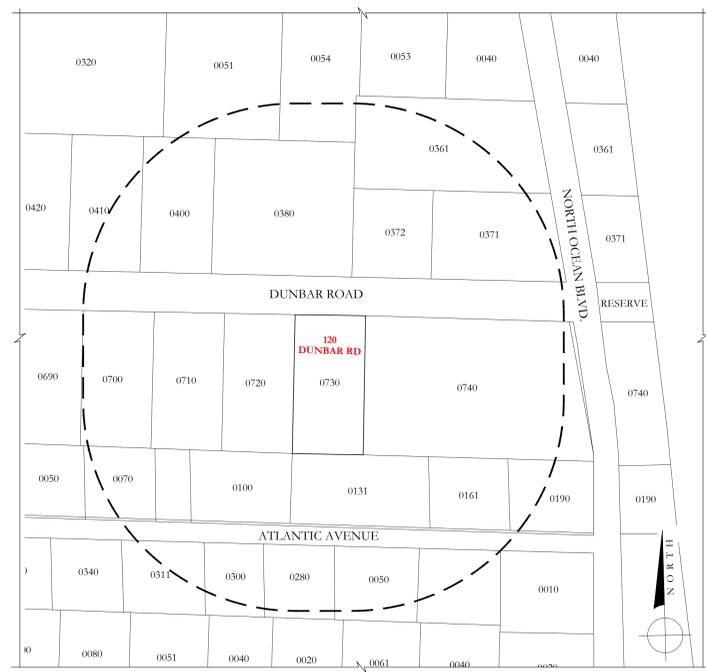
DATE OF LAST FIELD SURVEY: 4/25/2022

Craig L. Wallace
Professional Surveyor and Mapper
Florida Certificate No. 3357

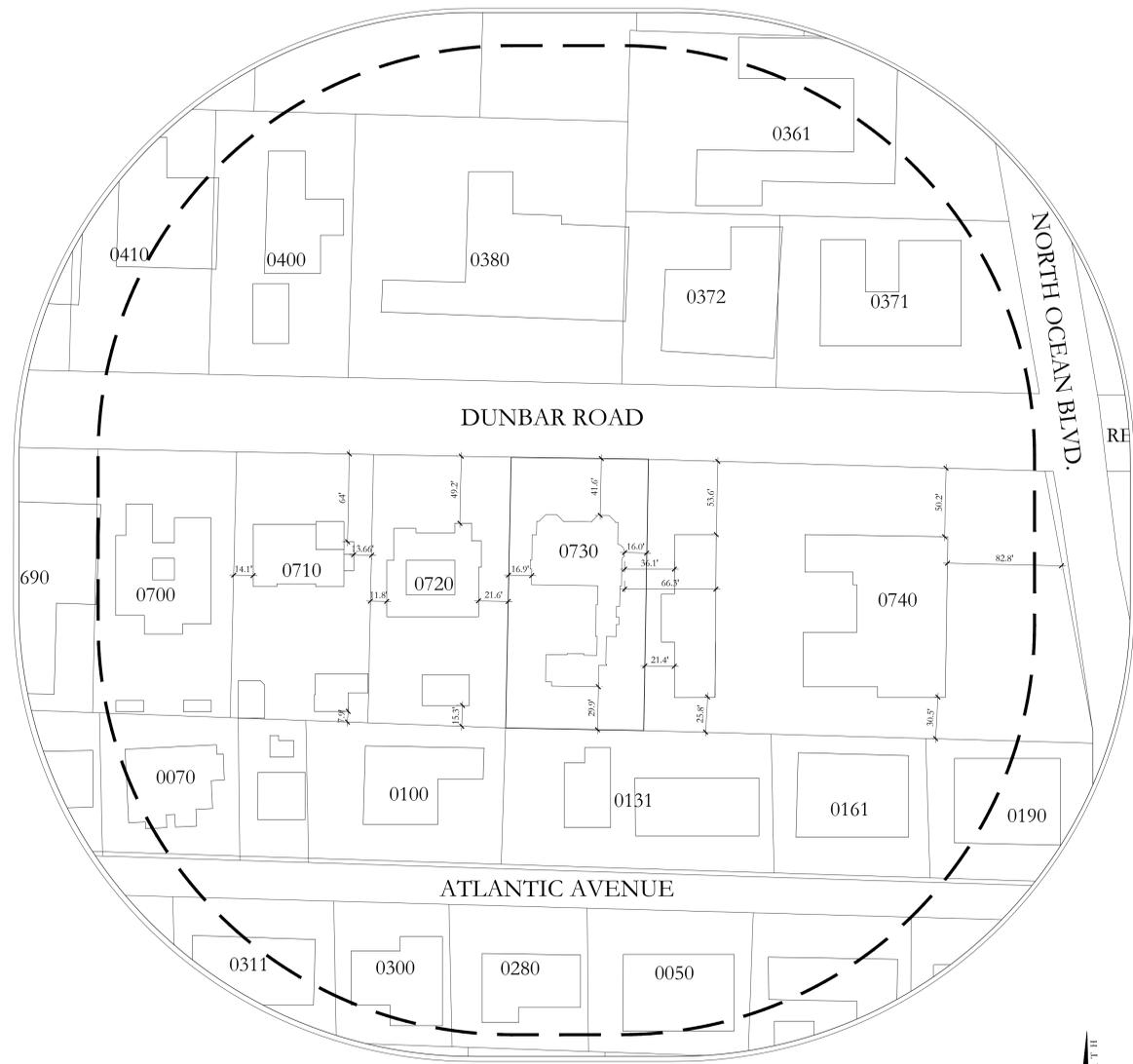
REVISIONS			
07/13/23 FORMBOARD TIE-IN C.E./M.B. 22-1152.9 PB350/70			
05/09/22 TITLE REVIEW M.B. 22-1152.1			
BOUNDARY SURVEY FOR:			
120 DUNBAR ROAD TRUST			
		WALLACE SURVEYING CORP. LICENSED BUSINESS # 4069	
5553 VILLAGE BOULEVARD, WEST PALM BEACH, FLORIDA 33407 • (561) 640-4051			
FIELD:	B.M.	JOB NO:	22-1152
OFFICE:	M.B.	DATE:	4/25/22
C.K.D.	C.W.	REF:	22-1152.DWG
F.B.:	PB331	PG.:	68
DWG. NO.:	22-1152		SHEET
		1	OF 1



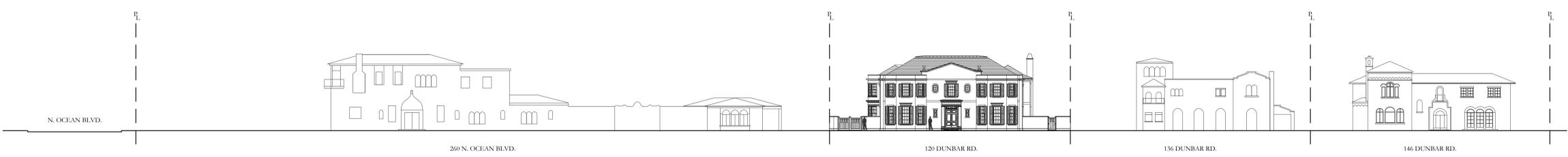
1 AERIAL MAP
1"=300'-0"



2 LOCATION/VICINITY MAP
1"=100'-0"



3 LOCATION SITE PLAN
1"=50'-0"



4 PROPOSED DUNBAR RD. STREETSCAPE ELEVATION, FACING NORTH
1"=20'-0"

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
VICINITY MAP, LOCATION PLAN
& STREETSCAPE ELEVATION

DATE AUGUST 28, 2023	SHEET NO G-001
SCALE AS NOTED	
BY MC	



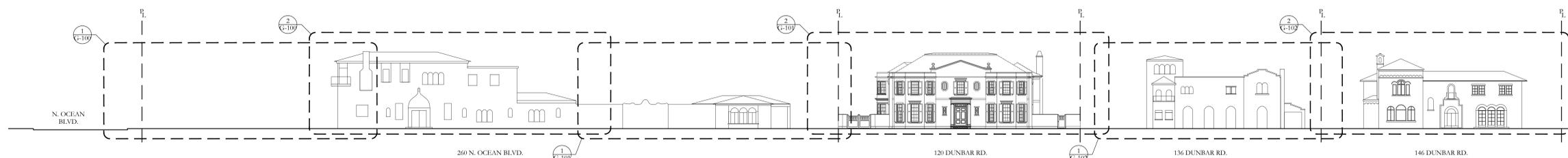
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1 260 N. OCEAN BLVD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 260 N. OCEAN BLVD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

**ARCOM
FILE #:
ARC-23-133**

**120 DUNBAR ROAD
PALM BEACH, FLORIDA**

**SHEET TITLE
EXISTING CONDITIONS
STREETSCAPE PHOTOGRAPHS**

DATE AUGUST 28, 2023	SHEET NO G-100
SCALE N.T.S.	
BY CG	

FAIRFAX & SAMMONS
NEW YORK - PALM BEACH
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2 260 N. OCEAN BLVD. & 120 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 120 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
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D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

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FILE #:
ARC-23-133

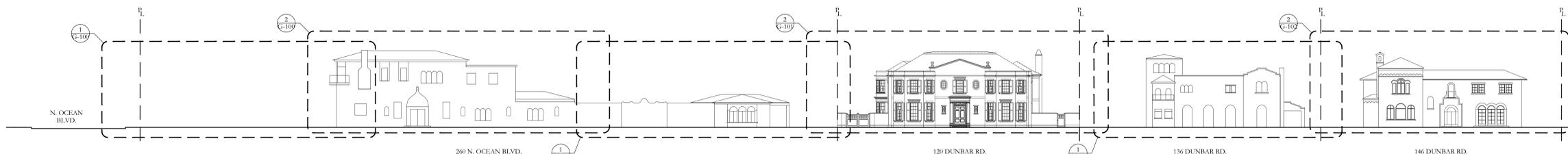
120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
EXISTING CONDITIONS
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 28, 2023	SHEET NO G-101
SCALE N.T.S.	
BY CG	

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NEW YORK - PALM BEACH
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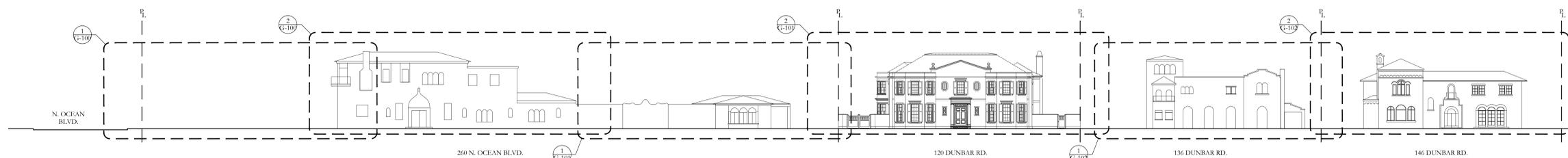
3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH



2 136 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



2 146 DUNBAR RD.: STREETSCAPE PHOTOS FROM EAST TO WEST, LOOKING SOUTH



3 KEY ELEVATION: PROPOSED DUNBAR RD. STREETSCAPE, FACING NORTH

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
EXISTING CONDITIONS
STREETSCAPE PHOTOGRAPHS

DATE AUGUST 28, 2023	SHEET NO G-102
SCALE N.T.S.	
BY CG	

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A



B



C

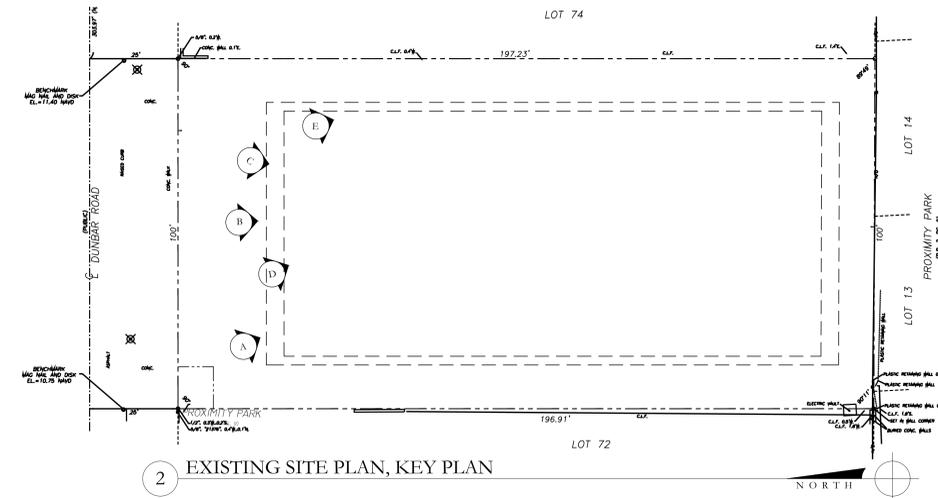


D



E

1 SITE PHOTOS OF CURRENT CONDITIONS



2 EXISTING SITE PLAN, KEY PLAN

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
CURRENT CONDITIONS
SITE PHOTOGRAPHS

DATE
AUGUST 28, 2023

SCALE
N.T.S.

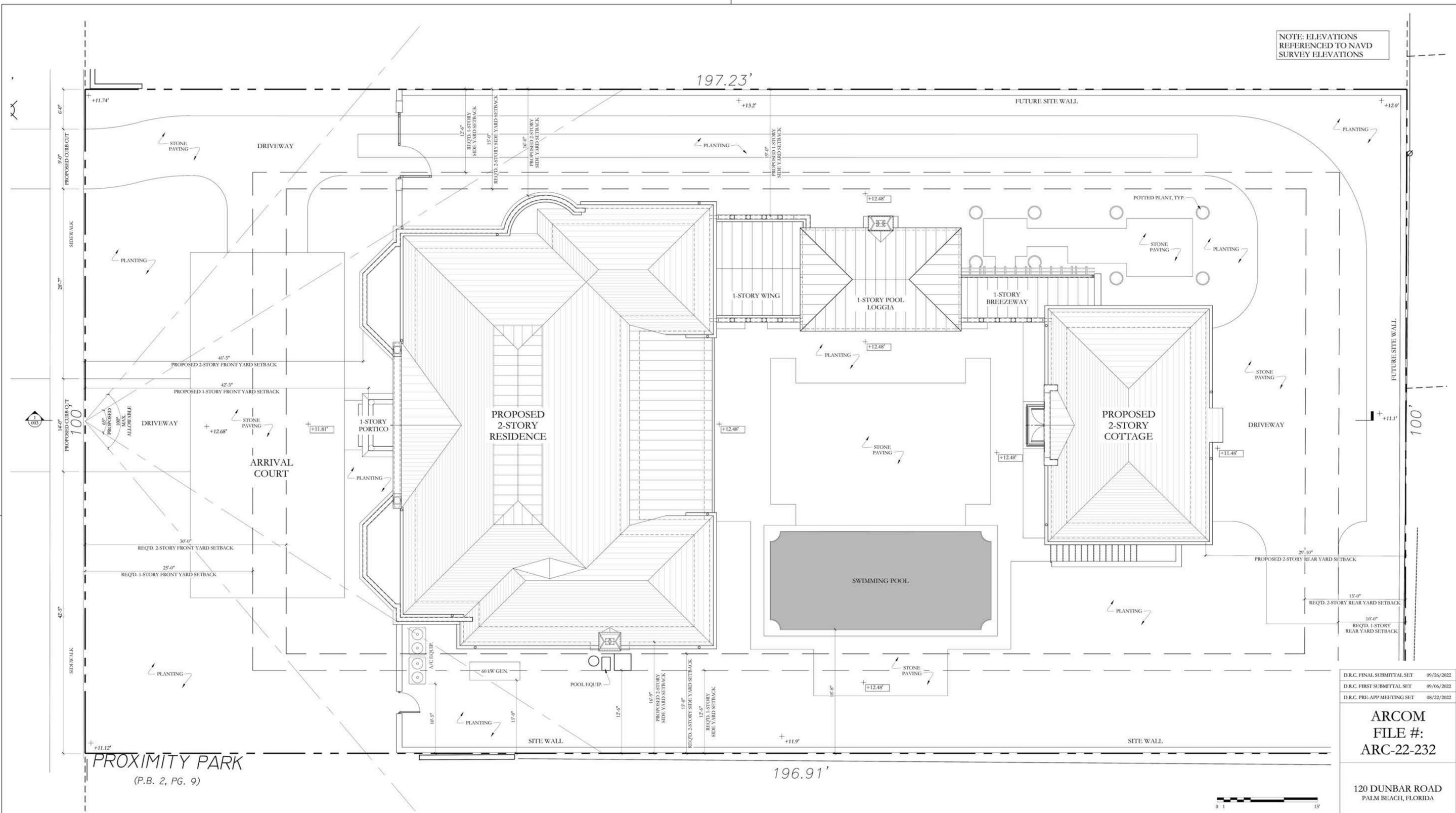
BY
CG

SHEET NO
G-103

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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS



PROXIMITY PARK
(P.B. 2, PG. 9)

1 APPROVED SITE PLAN WITH ROOF PLAN
3/16" = 1'-0"



D.R.C. FINAL SUBMITTAL SET 09/26/2022
D.R.C. FIRST SUBMITTAL SET 09/06/2022
D.R.C. PRE-APP MEETING SET 08/22/2022

ARCOM
FILE #:
ARC-22-232

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED SITE PLAN
ROOF PLAN

DATE
JULY 24, 2023

SCALE
3/16" = 1'-0"

BY
KC, CG

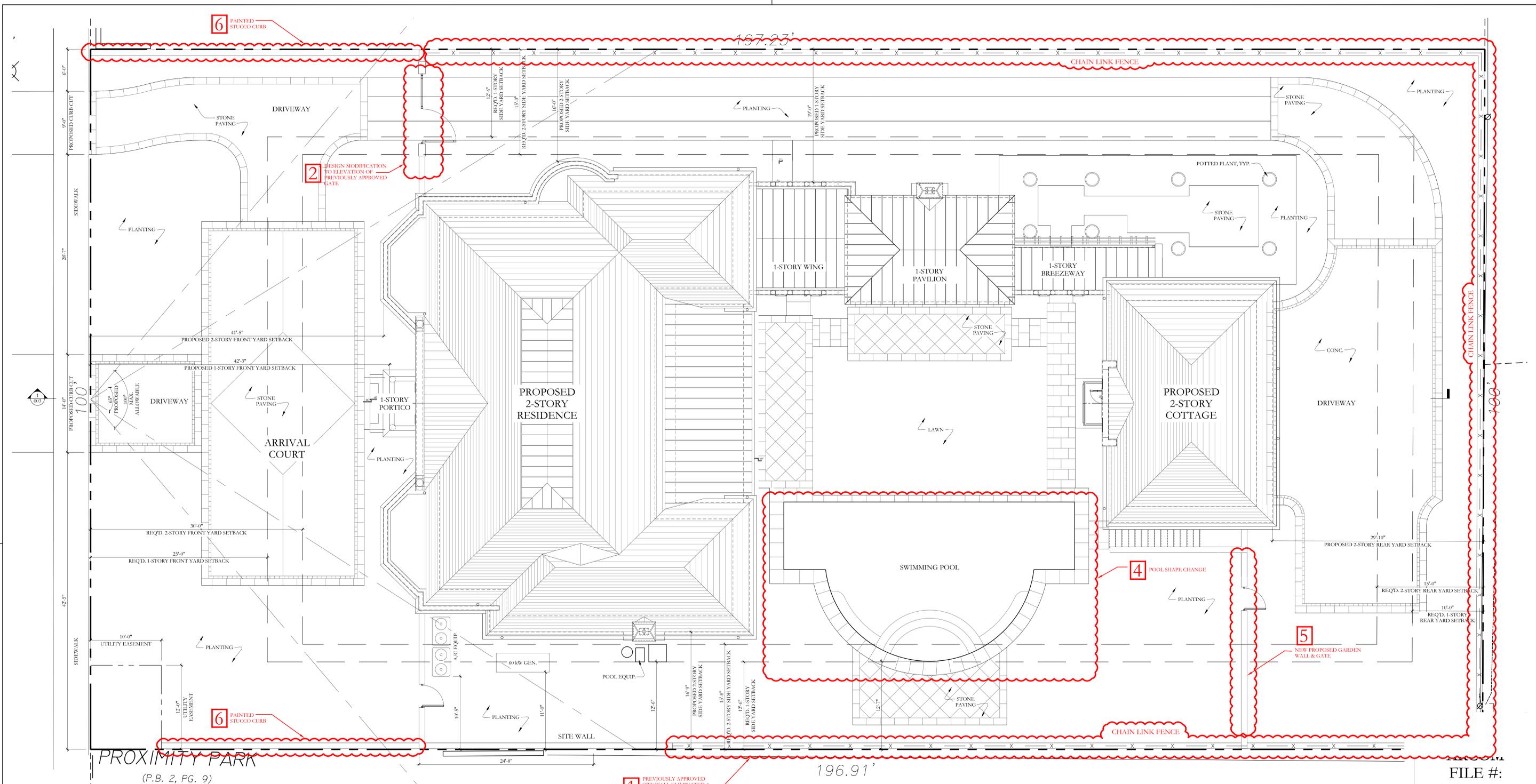
SHEET NO.
A-001

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LEGEND:
+5.30' EXISTING SPOT ELEVATION
+13.6' PROPOSED SPOT ELEVATION

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1 PROPOSED SITE PLAN WITH ROOF PLAN
3/16" = 1'-0"

Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend			
Property Address:	120 Dunbar Road, Palm Beach, FL 33480	Required/Allowed	Previously Approved
Zoning District:	R-B Low Density Residential	Proposed	
Structure Type:	CBS		
1 Lot Size (sq ft)	10,000 s.f. min.	19,707 (N/C)	(N/C)
2 Lot Depth	100' min.	196.91' - 197.23' (N/C)	(N/C)
3 Lot Width	100' min.	100' (N/C)	(N/C)
4 Lot Coverage (Sq Ft and %)	5,921 s.f. (30%) max.	4,714 s.f. (23.92%)	(N/C)
5 Enclosed Square Footage (1st & 2nd Fl., Basement, Accs, Structure, etc.)	N/A	7,496 s.f.	(N/C)
6 Cubic Content Ratio (CCR) (R-B ONLY)	3.90 (76,857 c.f.) max.	3.90 (76,776 c.f.)	(N/C)
7 *Front Yard (North) Setback (1st Story) (Ft.)	25.0' min.	42'-3"	(N/C)
8 *Front Yard (North) Setback (2nd Story) (Ft.)	30.0' min.	41'-5"	(N/C)
9 *Side Yard (East) Setback (1st Story) (Ft.)	12.5' min.	19'-0"	(N/C)
10 *Side Yard (East) Setback (2nd Story) (Ft.)	15.0' min.	16'-0"	(N/C)
11 *Side Yard (West) Setback (2nd Story) (Ft.)	15.0' min.	16'-9"	(N/C)
12 *Rear Yard (South) Setback (2nd Story) (Ft.)	15.0' min.	29'-10"	(N/C)
13 Angle of Vision (Deg.)	100 deg. max.	65 deg.	(N/C)
14 Building Height (1-story) (Ft.)	14' max.	10'-0"	(N/C)
15 Building Height (2-story) (Ft.)	22' max.	19'-8"	(N/C)

Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Zoning Legend			
Property Address:	120 Dunbar Road, Palm Beach, FL 33480	Required/Allowed	Previously Approved
Zoning District:	R-B Low Density Residential	Proposed	
Structure Type:	CBS		
1 Overall Building Height (1-story) (Ft.)	22' max. (pitched roof)	16'-8" (pitched roof)	(N/C)
2 Overall Building Height (2-story) (Ft.)	30' max. (pitched roof)	30'-0"	(N/C)
3 Highest Crown of Road (COR) (NAVD)	N/A	+11.81' NAVD	(N/C)
4 Max. Amount of Fill Added to Site (Ft.)	0.75	0.75	(N/C)
5 Finished Floor Elev. (FFE) (NAVD)	N/A	+13.31' NAVD	(N/C)
6 Zero Datum for point of meas. (NAVD)	N/A	+13.31' NAVD	(N/C)
7 FEMA Flood Zone Designation	N/A	Flood Zone X	(N/C)
8 Base Flood Elevation (BFE) (NAVD)	N/A	N/A	(N/C)
9 Landscape Open Space (LOS) (Sq Ft and %)	8,868 s.f. (45%) min.	9,084 s.f. (46%)	8,957 s.f. (45%)
10 Perimeter LOS (Sq Ft and %)	4,433.5 s.f. (50%) min.	4,447 s.f. (50%)	4,439 s.f. (50%)
11 Front Yard LOS (Sq Ft and %)	1,000 s.f. (40%) min.	1,100 s.f. (44%)	(N/C)
12 ** Native Plant Species %	Please refer to separate landscape legend.		



FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED SITE PLAN WITH ROOF PLAN

DATE
AUGUST 28, 2023

SCALE
3/16" = 1'-0"

BY
KC, CG

SHEET NO
A-001

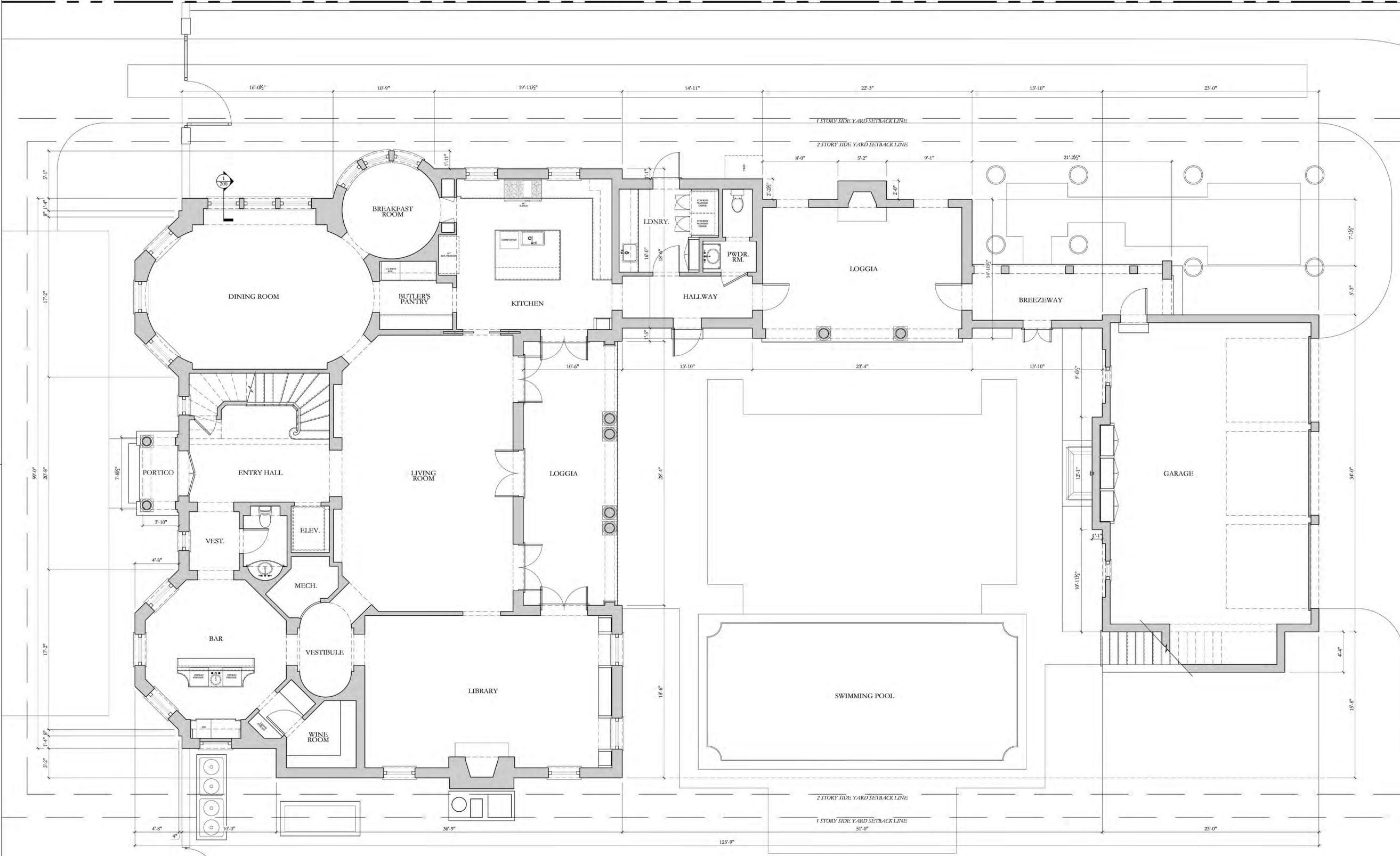
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TELEPHONE (888) 886-8888
FAIRFAX@SAMMONS.COM
LICENSE NO. AAB000046

LEGEND:
EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION

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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

197.23'



1 APPROVED FIRST FLOOR PLAN
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET 09/26/2022
D.R.C. FIRST SUBMITTAL SET 09/06/2022
D.R.C. PRE-APP MEETING SET 08/22/2022

ARCOM
FILE #:
ARC-22-232

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED
FIRST FLOOR PLAN

DATE
JULY 24, 2023
SCALE
1/4" = 1'-0"
BY
KC

SHEET NO
A-100

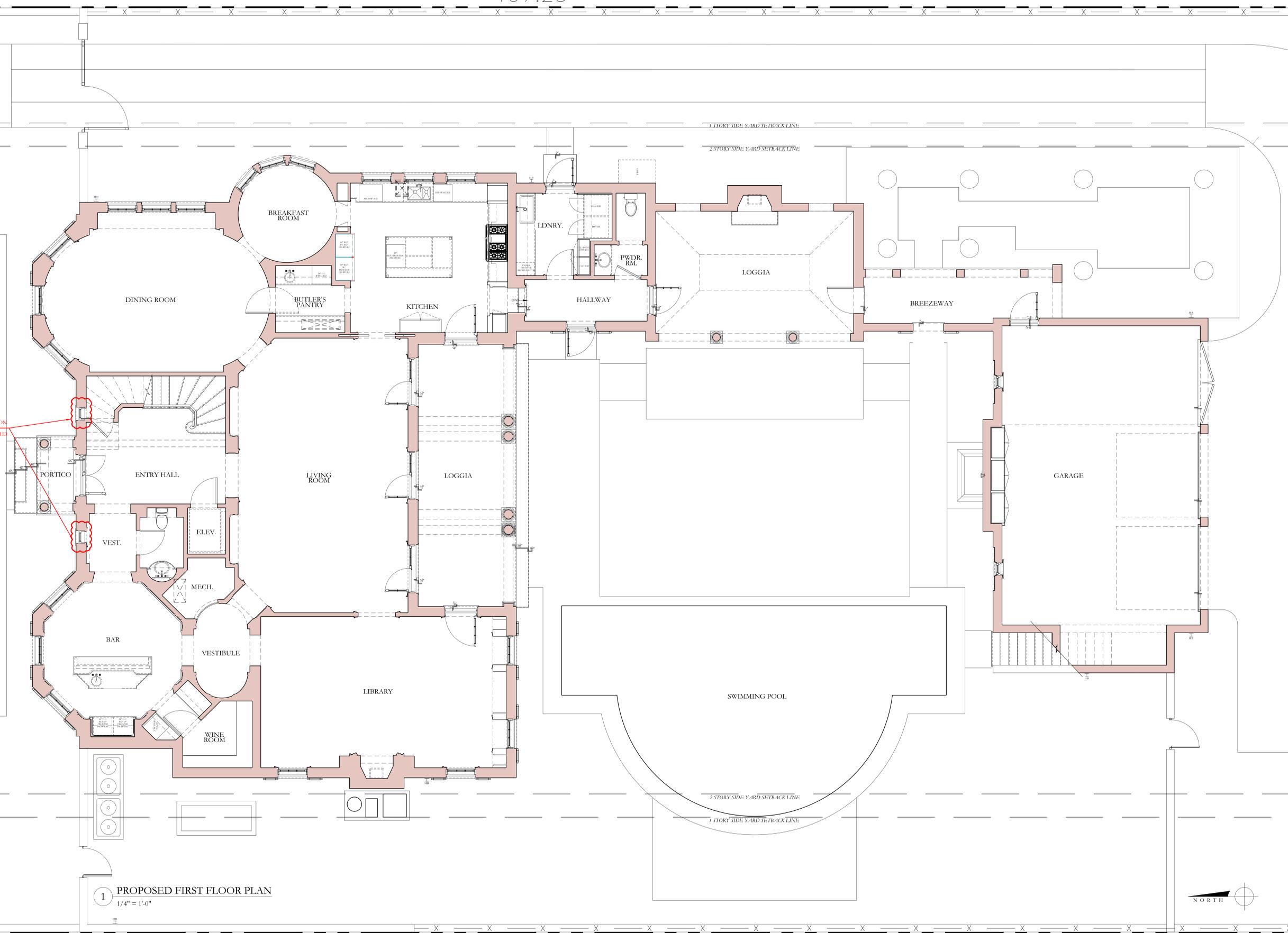
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197.23'

3 DESIGN MODIFICATION TO ELEVATIONS OF PREVIOUSLY APPROVED WINDOWS



1 PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED
FIRST FLOOR PLAN

DATE	AUGUST 28, 2023	SHEET NO
SCALE	1/4" = 1'-0"	A-100
BY	KC	

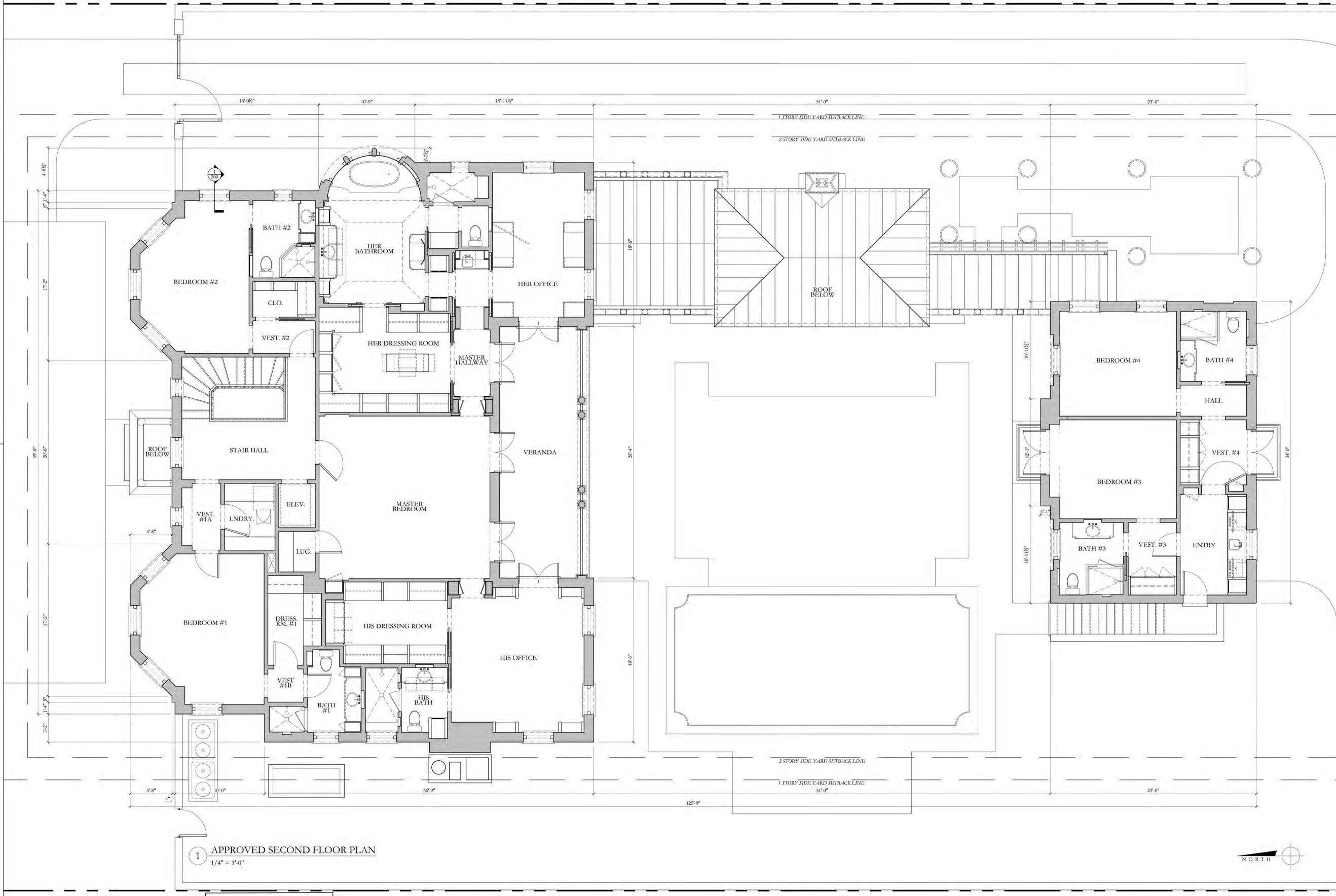
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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS

197.23'



1 APPROVED SECOND FLOOR PLAN
1/4" = 1'-0"

D.R.C. FINAL SUBMITTAL SET 09/26/2022
D.R.C. FIRST SUBMITTAL SET 09/06/2022
D.R.C. PRE-APP MEETING SET 08/22/2022

ARCOM
FILE #:
ARC-22-232

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED
SECOND FLOOR PLAN

DATE JULY 24, 2023 SHEET NO
SCALE 1/4" = 1'-0" A-101
BY KC

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C.L.F. 0.4'W.

197.23'

C.L.F.

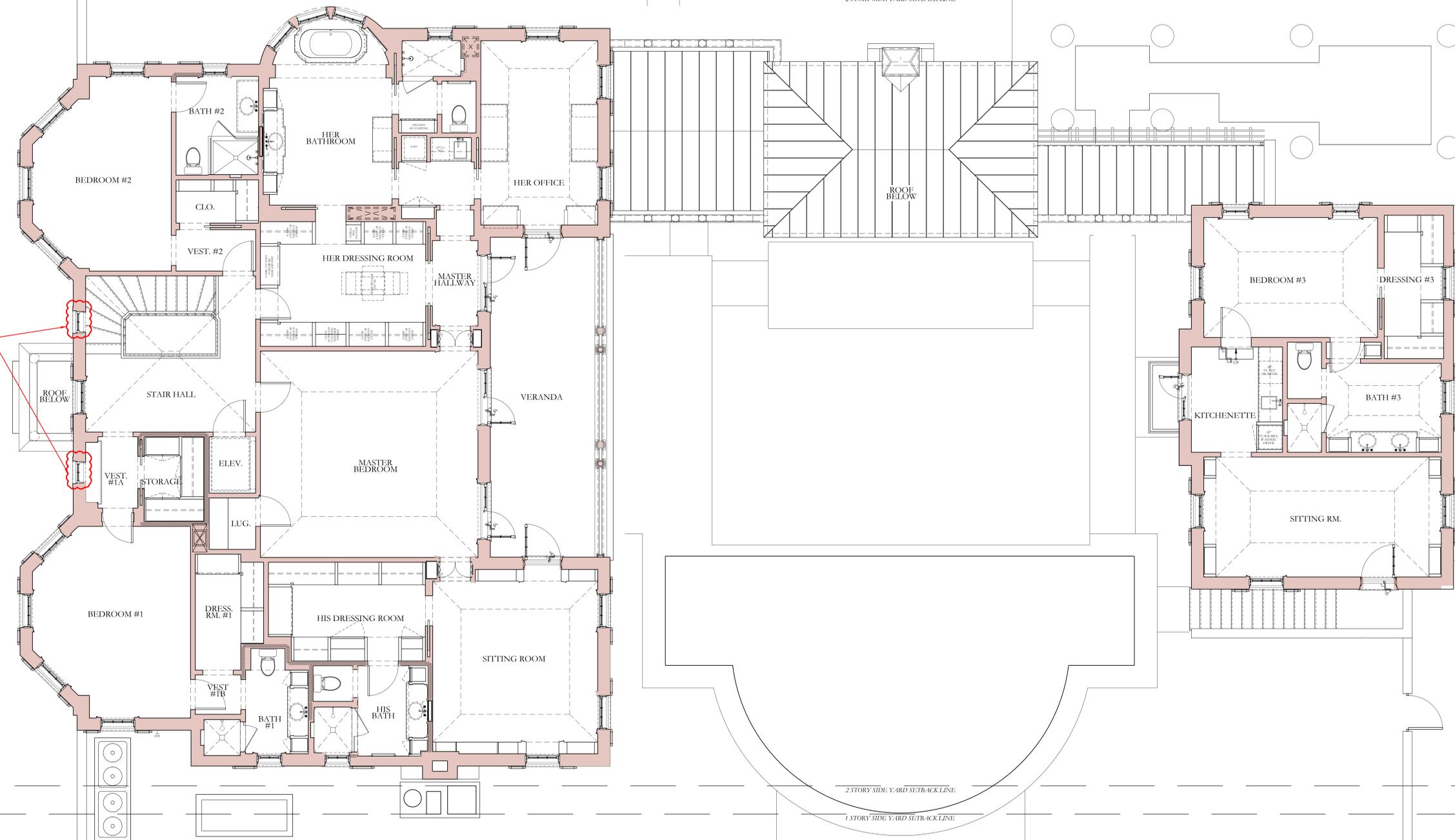
1 STORY SIDE YARD SETBACK LINE

2 STORY SIDE YARD SETBACK LINE

2 STORY SIDE YARD SETBACK LINE

1 STORY SIDE YARD SETBACK LINE

3 DESIGN MODIFICATION TO ELEVATIONS OF PREVIOUSLY APPROVED WINDOWS



1 PROPOSED SECOND FLOOR PLAN
1/4" = 1'-0"



D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PROPOSED
SECOND FLOOR PLAN

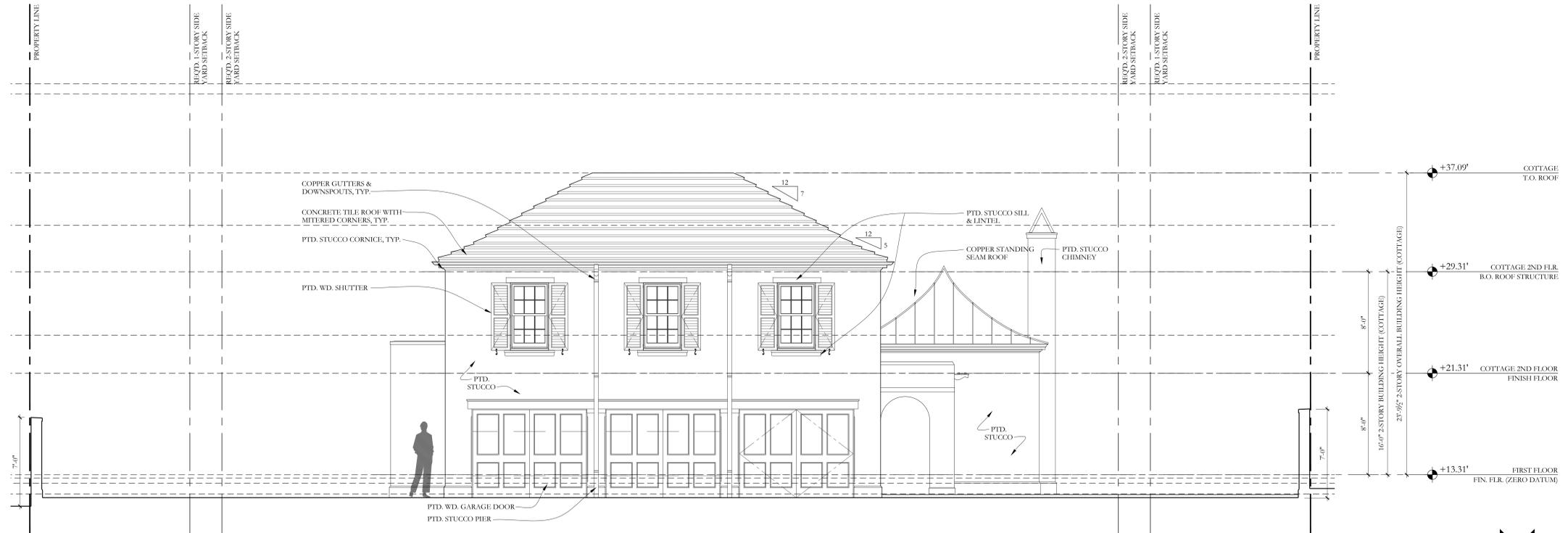
DATE	AUGUST 28, 2023	SHEET NO	A-101
SCALE	1/4"=1'-0"		
BY	KC		

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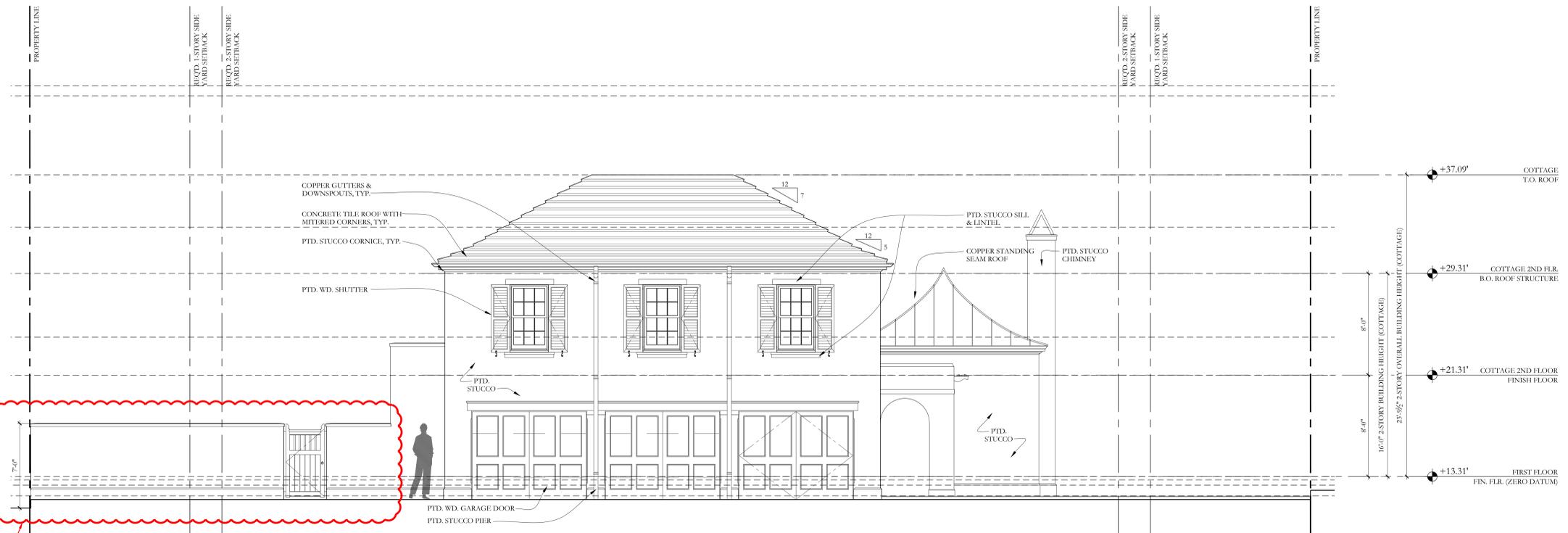
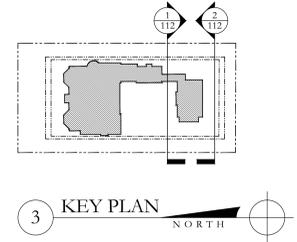
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NOTE: ELEVATIONS REFERENCED TO NAVD SURVEY ELEVATIONS



1 COTTAGE SOUTH ELEVATION : PREVIOUSLY APPROVED
1/4" = 1'-0"



2 COTTAGE SOUTH ELEVATION : CURRENTLY PROPOSED
1/4" = 1'-0"

5 NEW PROPOSED GARDEN WALL & GATE

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
PREVIOUSLY APPROVED
PROP. COTTAGE SOUTH ELEV.

DATE
AUGUST 28, 2023

SHEET NO
A-111

SCALE
1/4"=1'-0"

BY
KC

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1 PREVIOUSLY APPROVED VIEW FROM STREET TOWARDS HOUSE



2 CURRENTLY PROPOSED VIEW FROM STREET TOWARDS HOUSE

D.R.C. FINAL SUBMITTAL SET	08/28/2023
D.R.C. FIRST SUBMITTAL SET	08/10/2023
ARCOM STAFF APPROVAL	07/26/2023
D.R.C. PRE-APP MEETING SET	07/24/2023
D.R.C. FINAL SUBMITTAL SET	09/26/2022
D.R.C. FIRST SUBMITTAL SET	09/06/2022
D.R.C. PRE-APP MEETING SET	08/22/2022

ARCOM
FILE #:
ARC-23-133

120 DUNBAR ROAD
PALM BEACH, FLORIDA

SHEET TITLE
VIEW FROM STREET
TOWARD HOUSE

DATE
AUGUST 28, 2023

SCALE
N/A

BY
SB

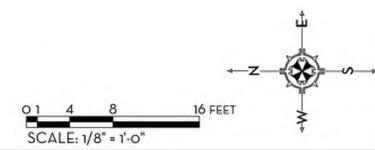
SHEET NO
V-002



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MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
666856

OVERALL SITE PLAN
120 DUNBAR
PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

25 AUGUST 2023 - SECOND SUBMITTAL

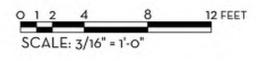


NIEVERA WILLIAMS
DESIGN

625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM





MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 3/16" = 1'-0"

NORTH ELEVATION
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



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EL1



0 4 8 16 FEET
SCALE: 1/8" = 1'-0"

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

EAST ELEVATION
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



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EL2



0 1 2 4 8 12 FEET
SCALE: 3/16" = 1'-0"

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 3/16" = 1'-0"

SOUTH ELEVATION
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



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EL3



0 4 8 16 FEET
SCALE: 1/8" = 1'-0"

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

WEST ELEVATION
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



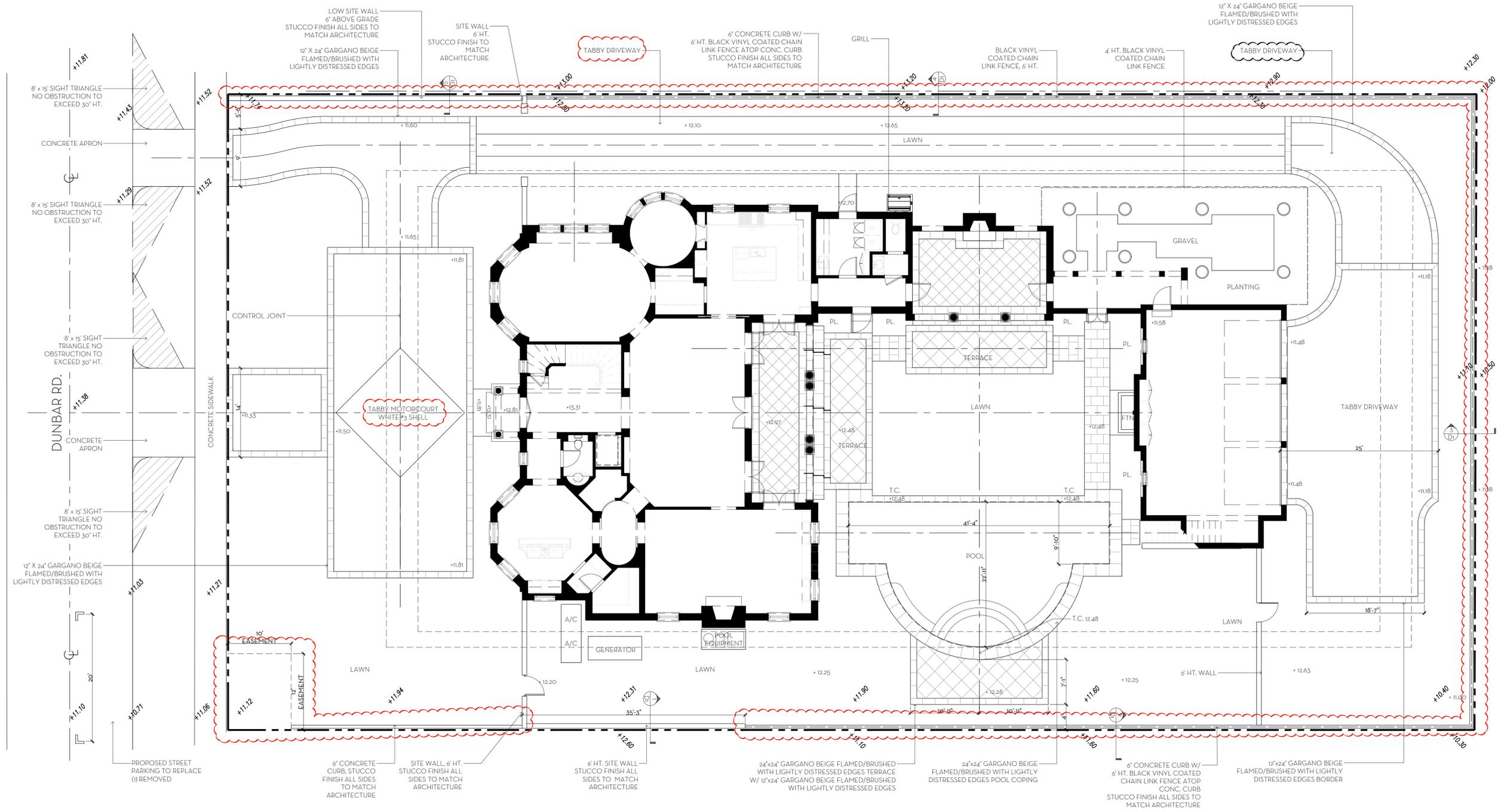
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EL4

△ MODIFY POOL SHAPE AND SIZE
 CHANGE OF MOTORCOURT MATERIAL FROM CORAL PAVERS TO TABBY INCLUDING ADDED UNDERGROUNDING EASEMENT



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT
MINIMUM LANDSCAPE (50% OF 8,867 SF) =	4,433 SQ FT REQUIRED
PROPOSED =	4,439 SQ FT

LEGEND

+7.40	PROPOSED ELEVATION
x 2.5	EXISTING ELEVATION

MARIO F. NIEVERA

State of Florida
 Landscape Architect
 Registration No.
 6666856

HARDSCAPE PLAN
120 DUNBAR
 PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

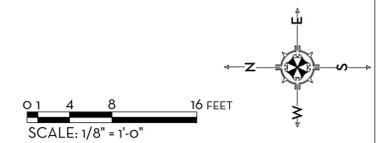
25 AUGUST 2023 - SECOND SUBMITTAL



NIEVERA WILLIAMS
 DESIGN

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MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

HARDSCAPE PLAN
120 DUNBAR
PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

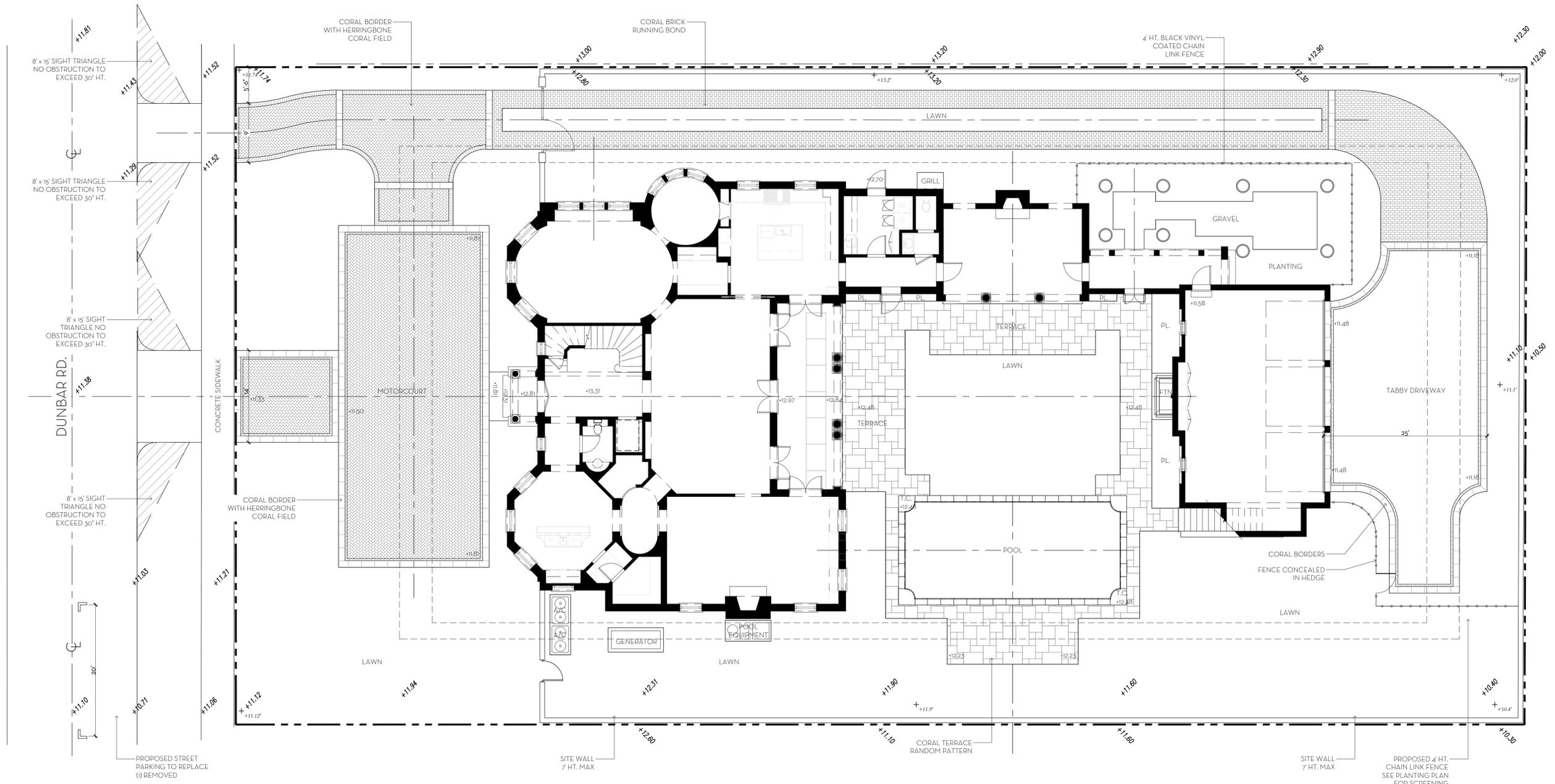
26 SEPTEMBER 2022 - FINAL SUBMITTAL
02 SEPTEMBER 2022 - FIRST SUBMITTAL



NIEVERA WILLIAMS
DESIGN

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West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	9,084 SQ FT	46%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

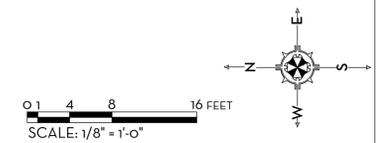
10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,867 SF) = 4,433.5 REQUIRED	
PROPOSED =	4,447 SQ FT

LEGEND

+7.40	PROPOSED ELEVATION
x2.5	EXISTING ELEVATION

PREVIOUSLY ARCOM APPROVED



SITE AREA -



CORAL STONE
(PREVIOUSLY APPROVED DRIVEWAY MATERIAL)



TABBY CONCRETE
(PROPOSED DRIVEWAY MATERIAL)



BLACK VINYL COATED CHAIN LINK FENCE
(TO BE CONCEALED IN PLANTING)

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
666856

HARDSCAPE MATERIALS
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL



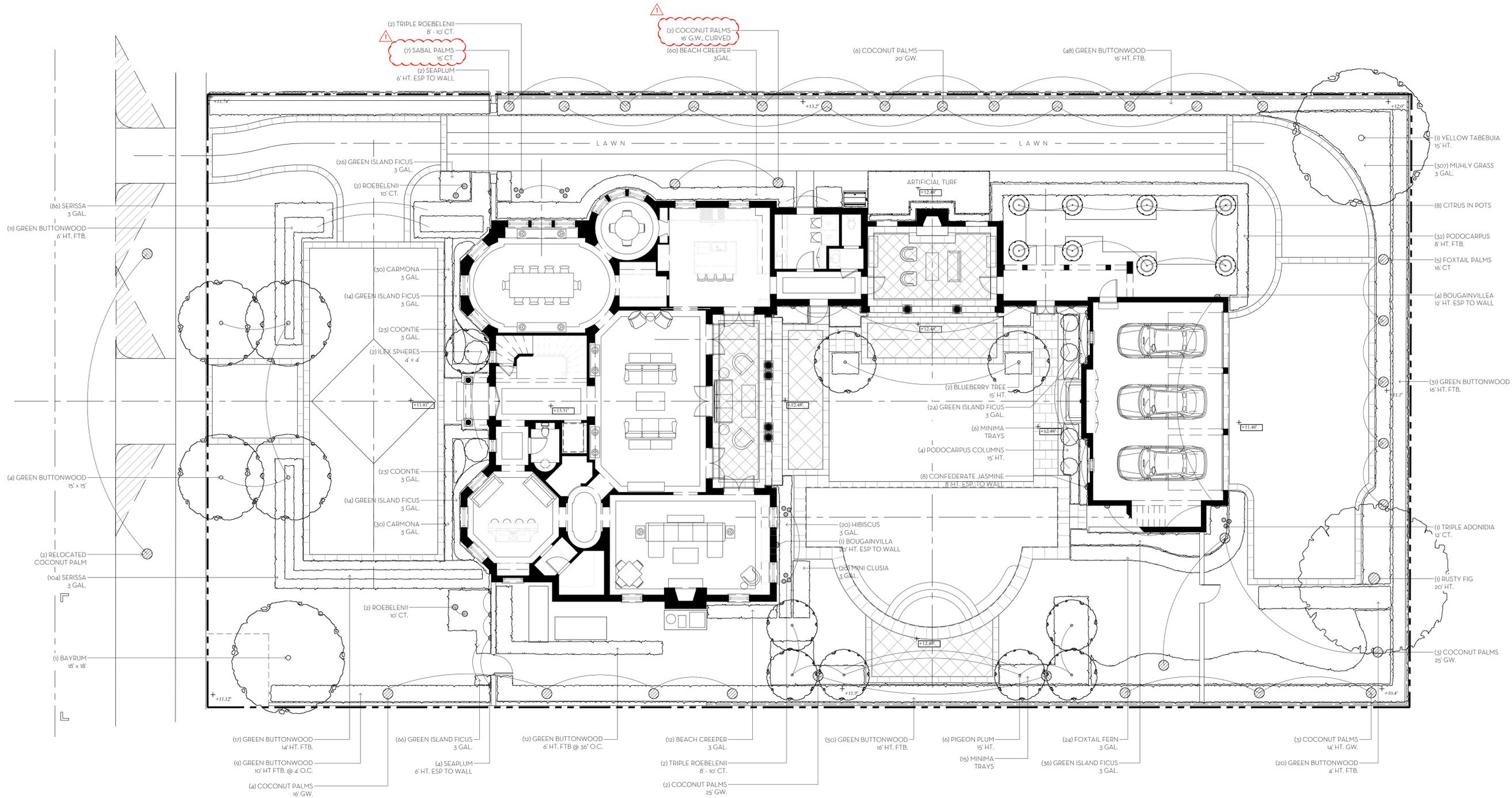
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L2

INCREASE SABAL PALM HEIGHT FOR SCREENING
ADD ADDITIONAL COCONUT PALMS FOR SCREENING



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,867 SF) = 4,433.5 REQUIRED	
PROPOSED =	4,439 SQ FT

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
666856

LANDSCAPE PLAN
120 DUNBAR
PALM BEACH, FLORIDA

SCALE: 1/8" = 1'-0"

25 AUGUST 2023 - SECOND SUBMITTAL

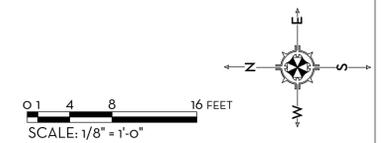


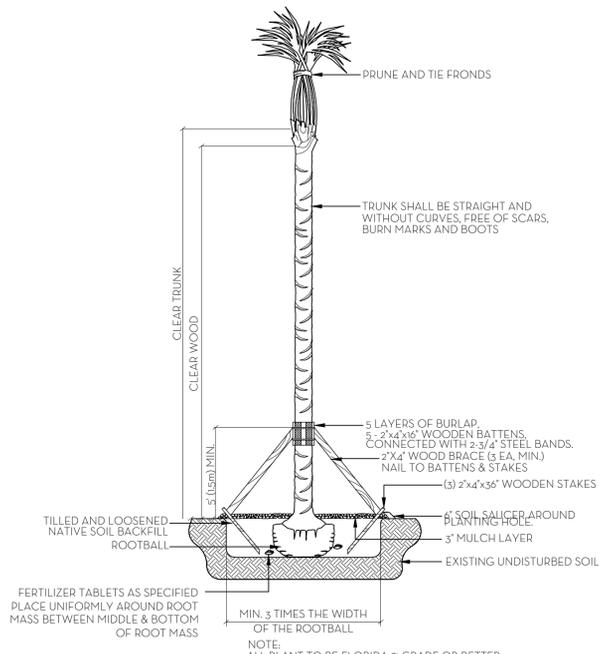
NIEVERA WILLIAMS
DESIGN

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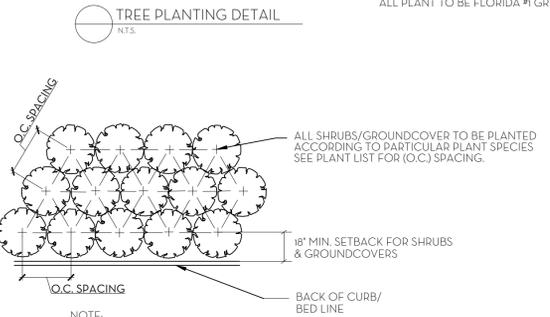
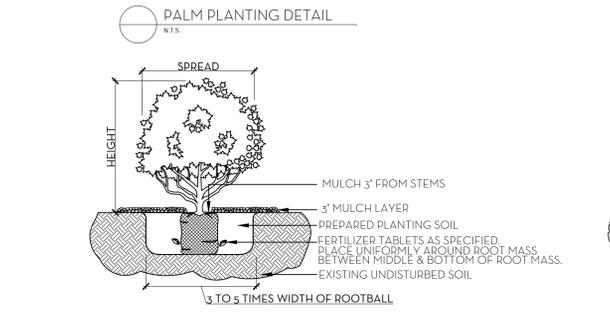
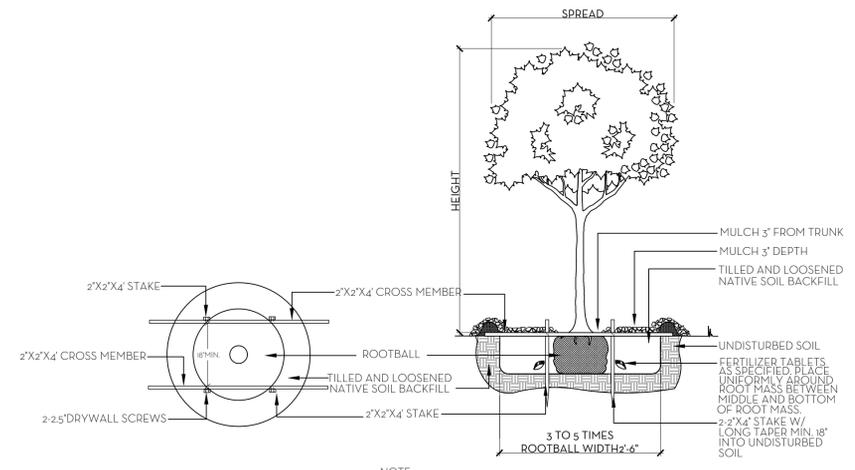
NIEVERAWILLIAMS.COM

LP1

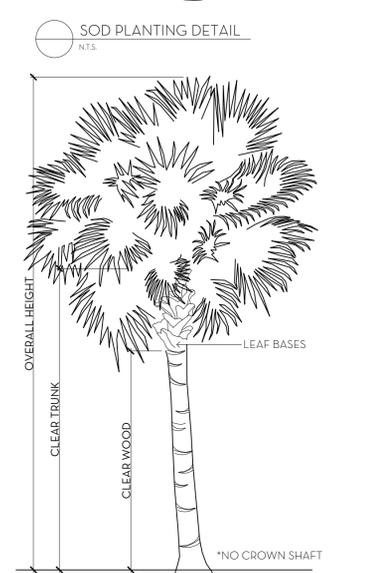
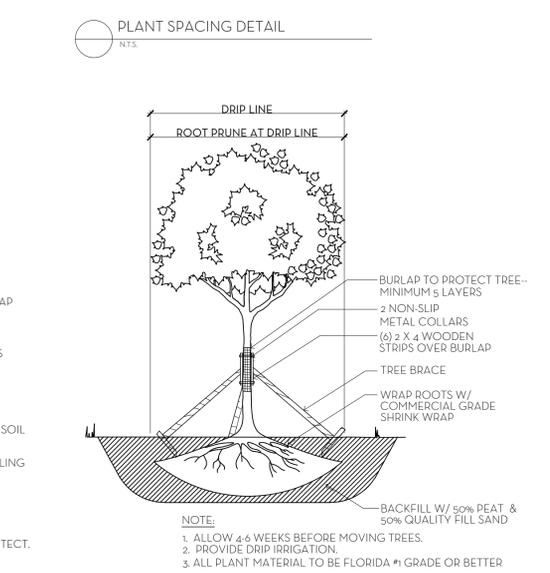
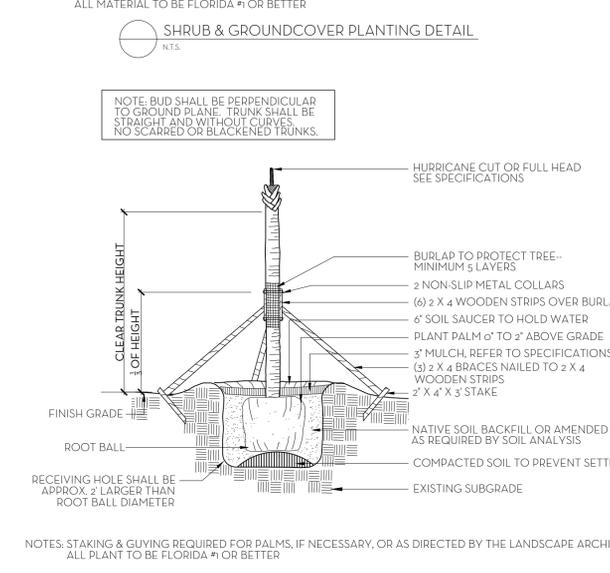
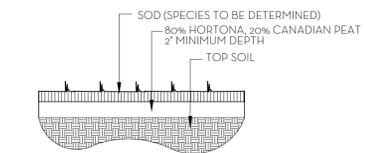




- NOTES:**
1. ALL WOOD SHALL BE SPRUCE OR PINE-NOT PRESSURE TREATED.
 2. CROSS TIES SHALL NOT CROSS OVER WOODY ROOTS.
 3. REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
 4. REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
 5. REMOVE ALL BURLAP &/OR WIRE FROM THE TOP OF THE ROOTBALL.
 6. TOP OF ROOTBALL TO BE SET 2' BELOW FINISH SURROUNDING FINISH GRADE.



- SOD NOTES:**
1. ROUGH GRADE PROVIDED BY CONTRACTOR 4'-5" BELOW GRADE
 2. RAKE AND REMOVE ALL CONSTRUCTION DEBRIS
 3. PRIOR TO LAYING SOD ADD 80% HORTONA AND 20% CANADIAN PEAT, 2" MIN.
 4. AFTER LAYING SOD APPLY NECESSARY PESTICIDES AND FUNGICIDES.
 5. IRRIGATE REGULARLY, REFER TO IRRIGATION DRAWINGS



FERTILIZATION

SHRUBS AND TREES

ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH "AGRIFORM" 20-10-15 PLANTING TABLETS AT TIME OF INSTALLATION AND PRIOR TO COMPLETION OF PIT BACKFILLING. TABLETS SHALL BE PLACED UNIFORMLY AROUND THE ROOT MASS OF A DEPTH THAT IS BETWEEN THE MIDDLE AND BOTTOM OF THE ROOT MASS.

APPLICATION RATE:

1 GALLON CAN:	1 - 21 GRAM TABLET
3 GALLON CAN:	2 - 21 GRAM TABLETS
5 GALLON CAN:	3 - 21 GRAM TABLETS
7 GALLON CAN:	4 - 21 GRAM TABLETS

TREES: 3 - 21 GRAM TABLETS EACH 1/2" OF CALIPER

PALMS: 7 - 21 GRAM TABLETS

GROUND COVER AREAS

ALL GROUND COVER AREAS SHALL RECEIVE FERTILIZATION WITH "OZMOCOTE" TIME RELEASE FERTILIZER AS PER MANUFACTURER'S SPECIFICATIONS.

NW

120 Dunbar Rd, Palm Beach, FL

NIEVERA WILLIAMS DESIGN

AUGUST 09, 2023

Landscape Material Schedule

Item No.	Common Name	Botanical Name	Qty	Native	Specification
TREES					
1	BAYRUM	Dimenla racemosa	1		18' x 18'
2	PIGEON PLUM	Coccoloba diversifolia	6	✓	15' HT.
3	RUSTY FIG	Ficus rubiginosa	1		20' HT.
4	BLUEBERRY TREE	Elaeocarpus decipiens	2		15' HT.
5	GREEN BUTTONWOOD	Conocarpus erectus	4	✓	15' x 15'
6	YELLOW TABEBUIA	Tabebuia chrysantha	1		15' HT.
			15	67%	
PALMS					
7	SABAL PALMS	Sabal palmetto	7	✓	16' CT.
8	TRIPLE ADONIDIA	Adonidia merrillii	1		12' CT.
9	TRIPLE ROEBELENI	Phoenix roebelenii	4		8' - 10' CT.
10	SINGLE ROEBELENI	Phoenix roebelenii	4		10' CT.
11	COCONUT PALM	Cocos nucifera	6		20' GW.
12	COCONUT PALM	Cocos nucifera	5		25' GW.
13	COCONUT PALM	Cocos nucifera	4		16' GW.
13	COCONUT PALM	Cocos nucifera	2		16' GW. CURVED
14	COCONUT PALM	Cocos nucifera	3		14' GW.
15	FOXTAIL PALM	Wodyetia bifurcata	5		16' CT.
			41		77%
HEDGE/SHRUB					
16	GREEN BUTTONWOOD	Conocarpus erectus	10	✓	10' HT. FTB
17	GREEN BUTTONWOOD	Conocarpus erectus	23	✓	6' HT. FTB
18	GREEN BUTTONWOOD	Conocarpus erectus	20	✓	4' HT. FTB
19	GREEN BUTTONWOOD	Conocarpus erectus	129	✓	16' HT. FTB
20	GREEN BUTTONWOOD	Conocarpus erectus	17	✓	14' HT. FTB
21	PODOCARPUS	Podocarpus macrophyllus	32		8 HT. FTB.
22	PODOCARPUS COLUMNS	Podocarpus macrophyllus	4		10' HT.
23	CITRUS	Citrus spp	8		POTS
24	ILEX SPHERE	Ilex cassine	2		4'x4'
25	SEAPLUM	Coccoloba diversifolia	6	✓	6' HT. Exp to Wall
26	CONFEDERATE JASMINE	Trachelospermum jasminoides	8		8 HT. Exp to Wall
27	BOUGAINVILLEA	Bougainvillea Allerglow	1		20' HT. Exp to Wall
28	BOUGAINVILLEA	Bougainvillea Allerglow	4		12 HT. Exp to Wall
			264	78%	
GROUND COVER/VINES					
25	GREEN ISLAND FICUS	Ficus microcarpa (green island)	180		3 GAL. @ 12" O.C.
26	GARMONA	Carmona microphylla	60		3 GAL. @ 12" O.C.
27	SERISSA	Serissa japonica	120		3 GAL. @ 12" O.C.
28	COONTE	Zamia pumila	46	✓	3 GAL. @ 12" O.C.
29	BEACH CREEPER	Ernodea littoralis	72	✓	3 GAL. @ 12" O.C.
30	MUHLY GRASS	Muhlenbergia capillaris	307	✓	3 GAL. @ 18" O.C.
31	HIBISCUS	Hibiscus spp	20		3 GAL. @ 12" O.C.
32	MINI CLUSIA	Clusia rosea 'nana'	20		3 GAL. @ 12" O.C.
33	FOXTAIL FERN	Asparagus densiflorus	24		3 GAL. @ 18" O.C.
34	MINIMA	Trachelospermum asiaticum	21		TRAYS
			700	36%	
SOD					
39	ZOYSIA				Contractor to (V/F)

Town of Palm Beach
Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Landscape Legend

Line #	Property Address:	120 Dunbar	
		Required	Proposed
5	Lot Size (sq ft)	10,000	19,706
6	Landscape Open Space (LOS) (Sq Ft and %)	8,867 (45%)	8,957 (45%)
7	Perimeter LOS (Sq Ft and %)	4,433 (50%)	4,439 (50%)
8	Front Yard LOS (Sq Ft and %)	1,000 (40%)	1,100 (44%)
9	Native* Trees %	30%	67%
10	Native* Palms %	N/A	N/A
11	Native* Shrubs / Vines %	30%	78%
12	Native* Ground Cover %	30%	36%

**To determine appropriate native vegetation, the Institute for Regional Conservation ("IRC"), Natives for Your Neighborhood guide shall be used.*

This table shall be included on the landscape species index sheet as prepared by a licensed landscape architect

REV BF 20230304

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

PLANT LIST AND DETAILS

120 DUNBAR

PALM BEACH, FLORIDA

NW

NIEVERA WILLIAMS
DESIGN

625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

LP2

25 AUGUST 2023 - SECOND SUBMITTAL

MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SITE WALL DETAILS
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

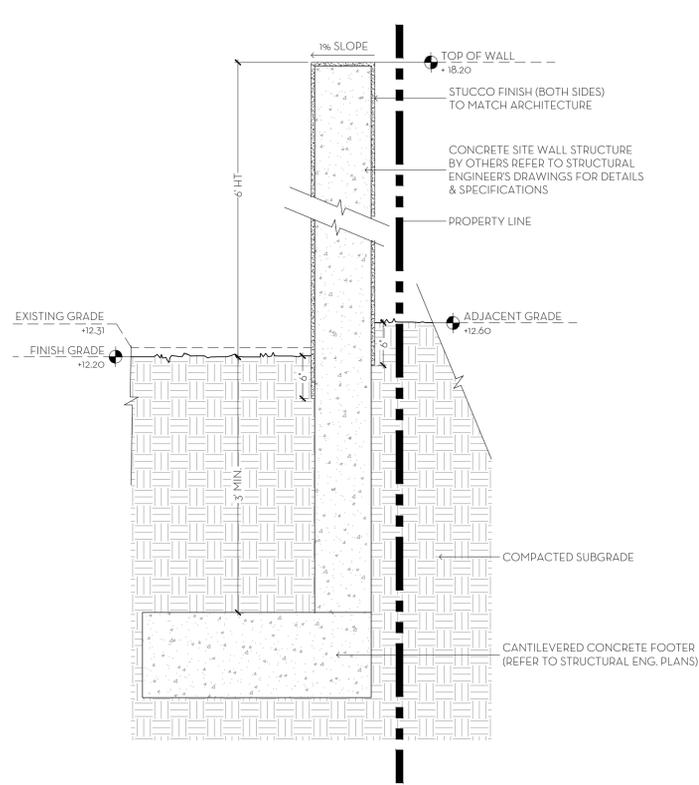


NIEVERA WILLIAMS
DESIGN

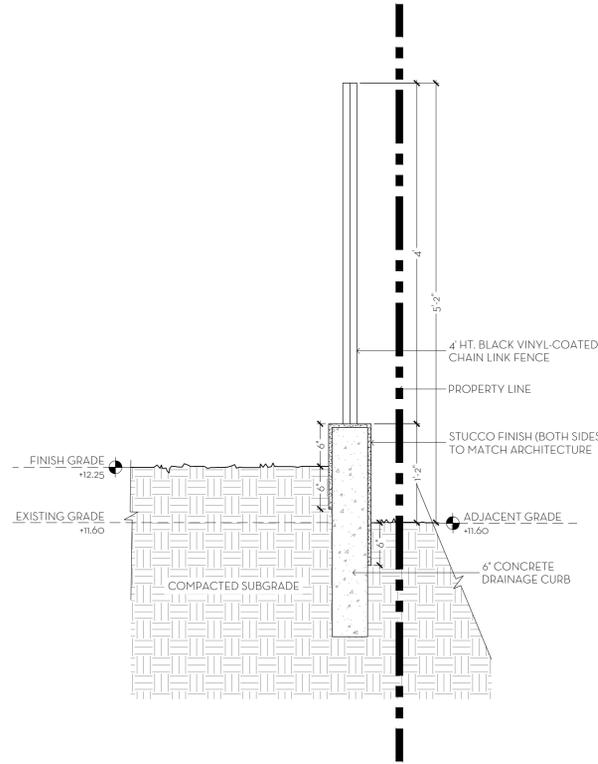
625 N. Flagler Drive
Suite 502
West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

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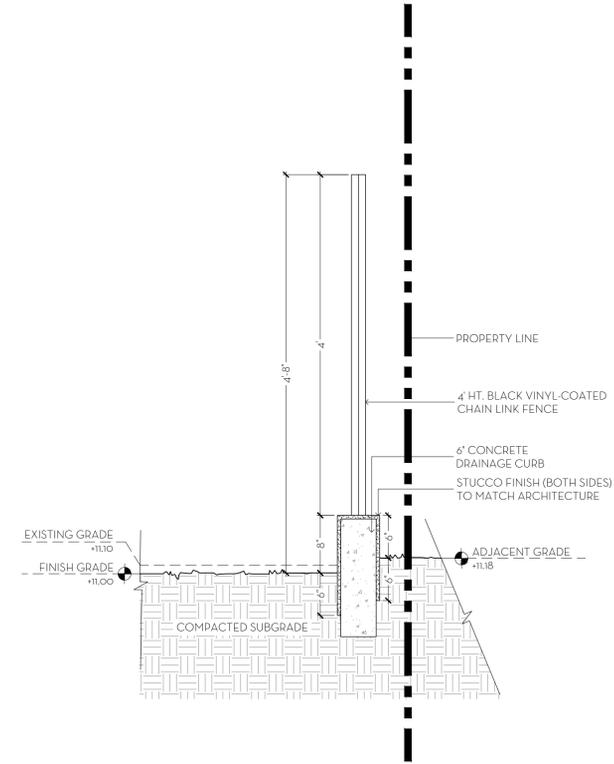
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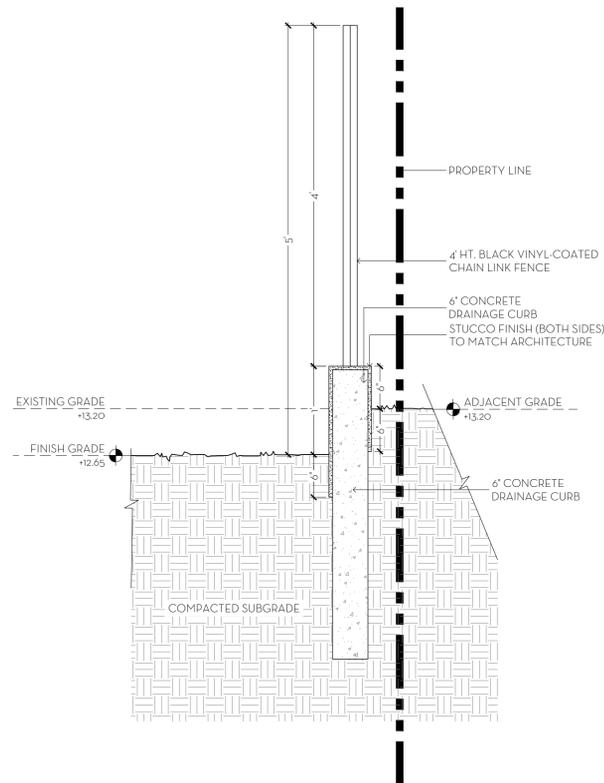
1 SITE WALL DETAIL- SECTION A (TYP.)
SCALE: 1" = 1'-0"



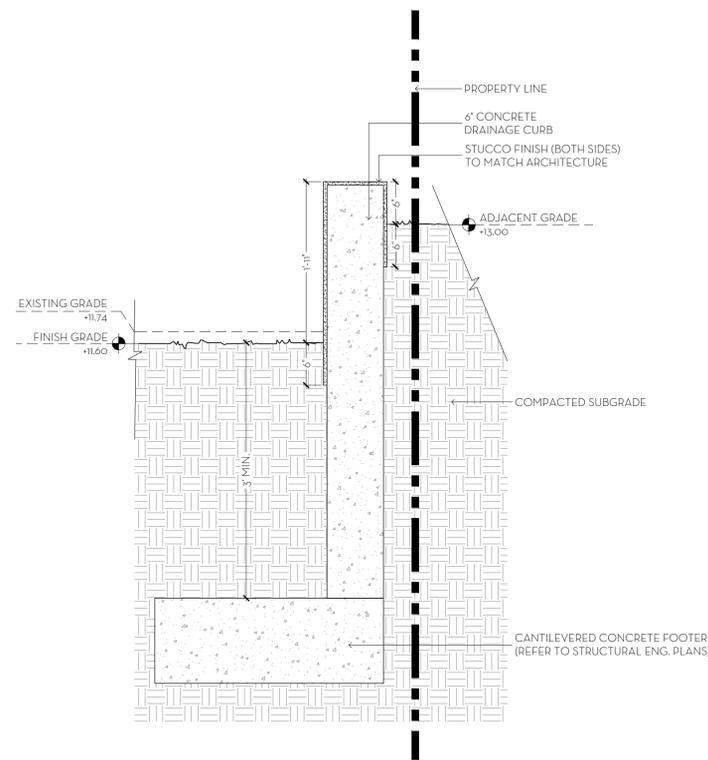
2 CURB WALL DETAIL- SECTION B (TYP.)
SCALE: 1" = 1'-0"



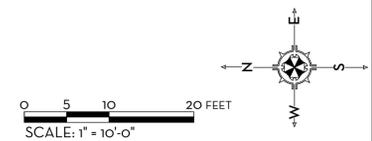
3 CURB WALL DETAIL- SECTION C (TYP.)
SCALE: 1" = 1'-0"



4 CURB WALL DETAIL- SECTION E (TYP.)
SCALE: 1" = 1'-0"



5 SITE WALL DETAIL- SECTION D (TYP.)
SCALE: 1" = 1'-0"



SCALE: 1" = 1'-0"

MARIO F. NIEVERA

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6666856

CONSTRUCTION SCREENING PLAN
PRIVATE RESIDENCE

120 DUNBAR ROAD, PALM BEACH, FL

25 AUGUST 2023 - SECOND SUBMITTAL

SCALE: 1/8" = 1'-0"

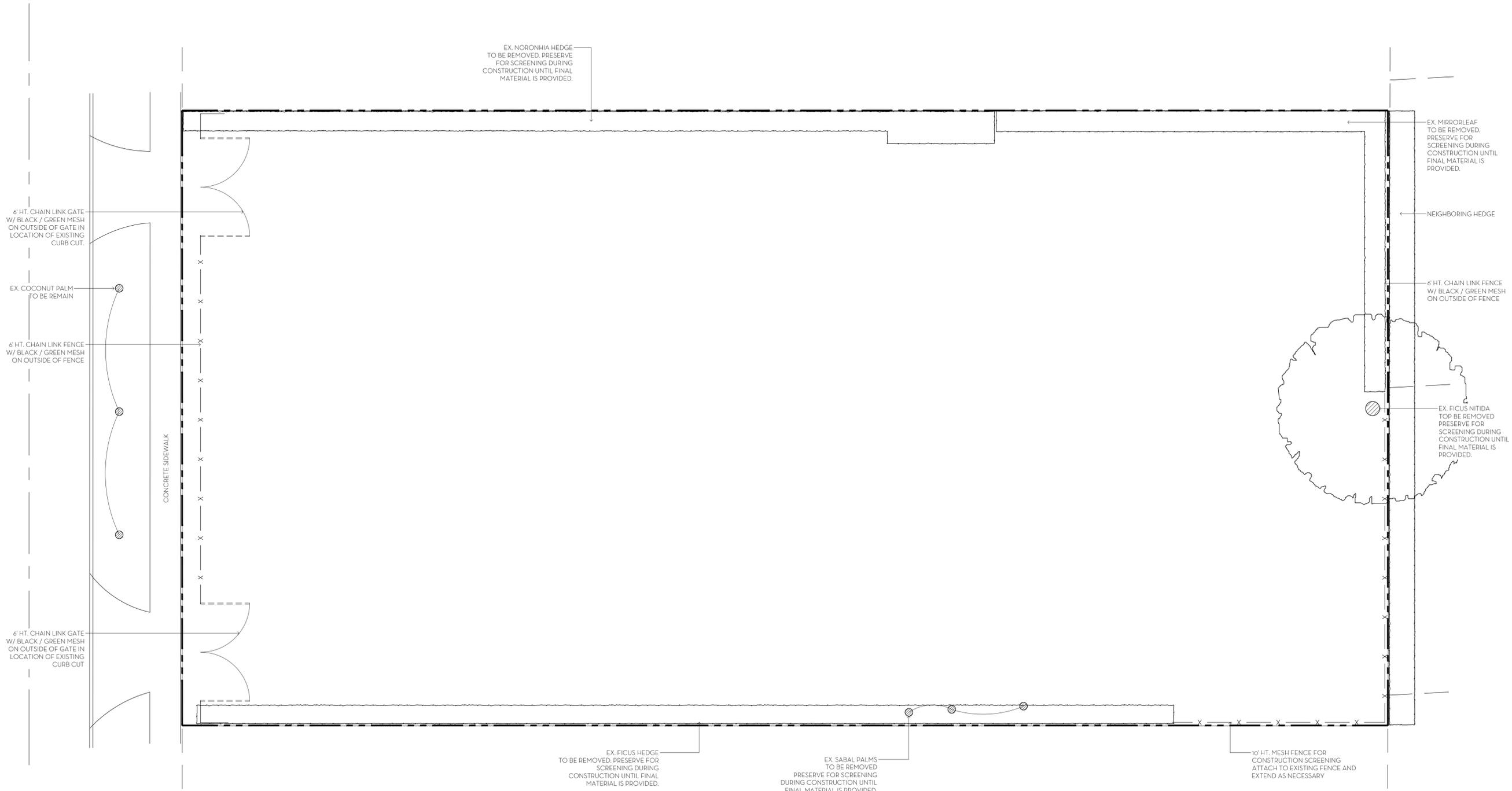


NIEVERA WILLIAMS
DESIGN

223 Sunset Avenue
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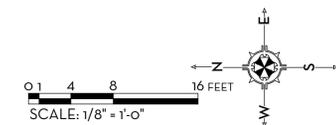
NIEVERAWILLIAMS.COM

CSP



NOTES:

- CONSTRUCTION SCREENING TO BE MAINTAINED AT ALL TIMES
- SCREENING SHALL BLOCK THE VIEW OF ALL WORK FROM THE RIGHT OF WAY AND ADJACENT PROPERTIES, INCLUDING VIEWS FROM NEIGHBORING SECOND FLOOR WINDOWS AND BALCONIES.
- ADD ADDITIONAL HEIGHT TO SCREENING AS NEEDED WHILE CONSTRUCTION PROGRESSES TO ENSURE FULL COVERAGE.
- COORDINATE ANY WORK THAT MAY DISTURB SCREENING WITH NEIGHBOR PRIOR TO COMMENCING WORK.



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

OPEN SPACE PLAN - OVERALL LANDSCAPE

120 DUNBAR

PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

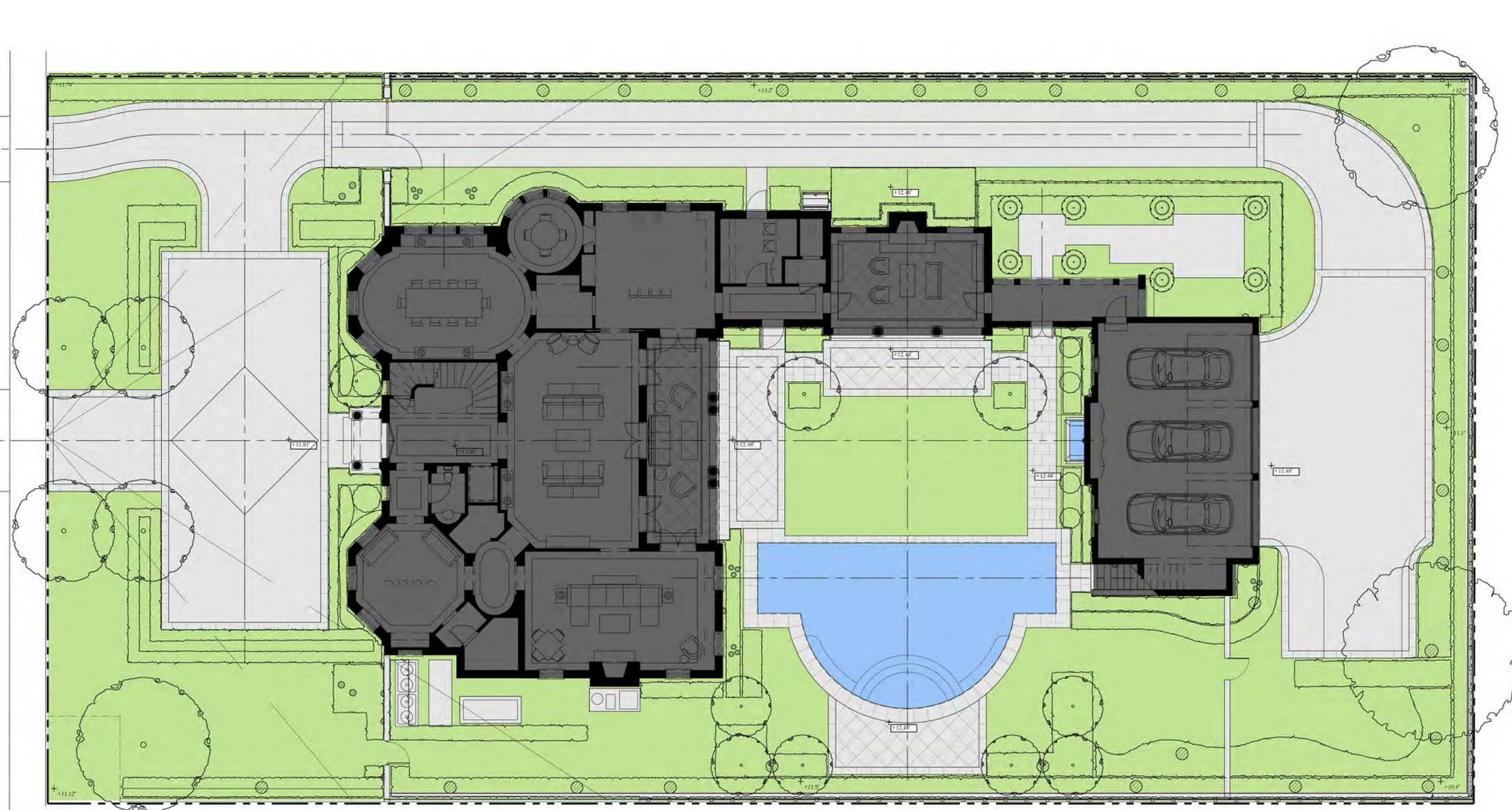


NIEVERA WILLIAMS
DESIGN

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OS1



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

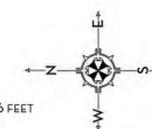
10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,867 SF) = 4,433.5 REQUIRED	
PROPOSED =	4,439 SQ FT

OPEN SPACE LEGEND

- LANDSCAPE
- HARDSCAPE
- WATER
- HOUSE

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

OPEN SPACE PLAN - 25' FRONT SETBACK
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

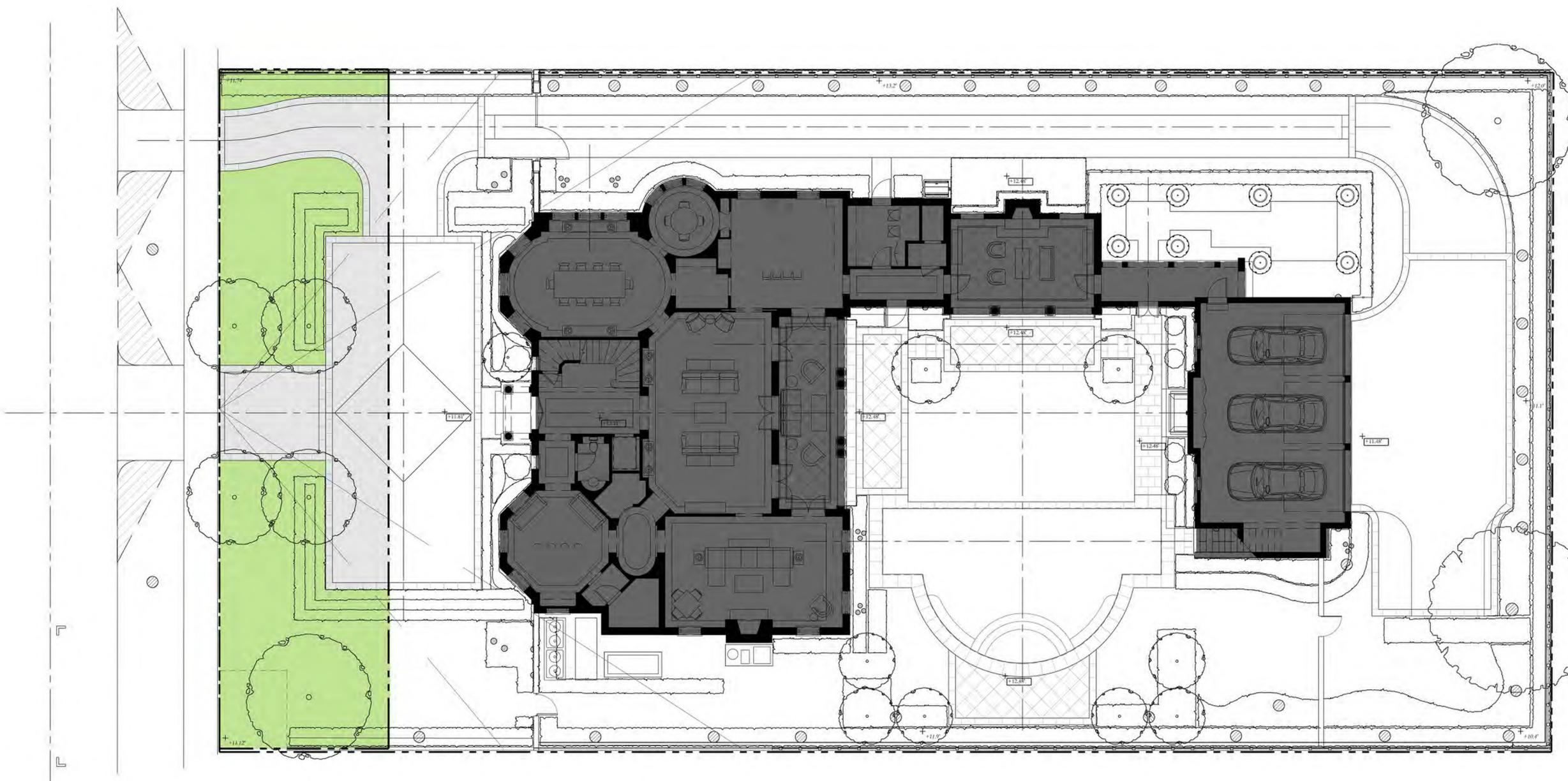


NIEVERA WILLIAMS
DESIGN

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West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

OS2



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

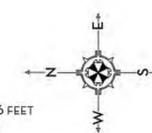
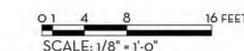
25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT
MINIMUM LANDSCAPE:	
(50% OF 8,867 SF) = 4,433.5 REQUIRED	
PROPOSED =	4,439 SQ FT

OPEN SPACE LEGEND

- LANDSCAPE
- HARDSCAPE
- WATER
- HOUSE



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

OPEN SPACE PLAN - 10' PERIMETER
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

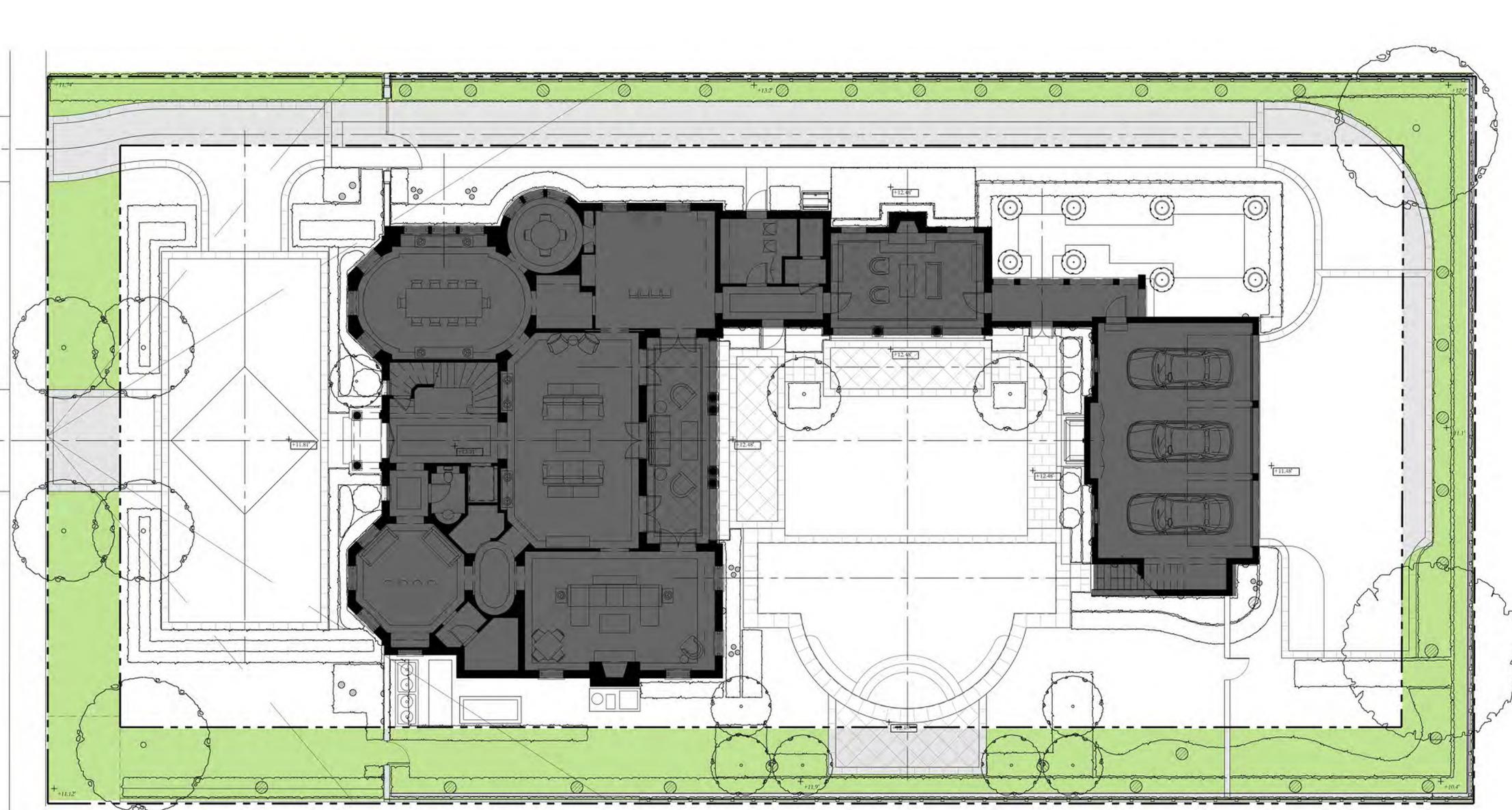


NIEVERA WILLIAMS
DESIGN

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West Palm Beach, FL 33401
P: 561-659-2820
F: 561-659-2113

NIEVERAWILLIAMS.COM

OS3



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

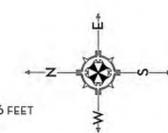
10' PERIMETER SITE CALCULATIONS:

PERIMETER AREA =	5,541 SQ FT	
MINIMUM LANDSCAPE:		
(50% OF 8,867 SF) = 4,433.5 REQUIRED		
PROPOSED =	4,439 SQ FT	

OPEN SPACE LEGEND

- LANDSCAPE
- HARDSCAPE
- WATER
- HOUSE

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"



MARIO F. NIEVERA

State of Florida
Landscape Architect
Registration No.
6666856

SCALE: 1/8" = 1'-0"

OPEN SPACE PLAN - NATIVE LANDSCAPE
120 DUNBAR
PALM BEACH, FLORIDA

25 AUGUST 2023 - SECOND SUBMITTAL

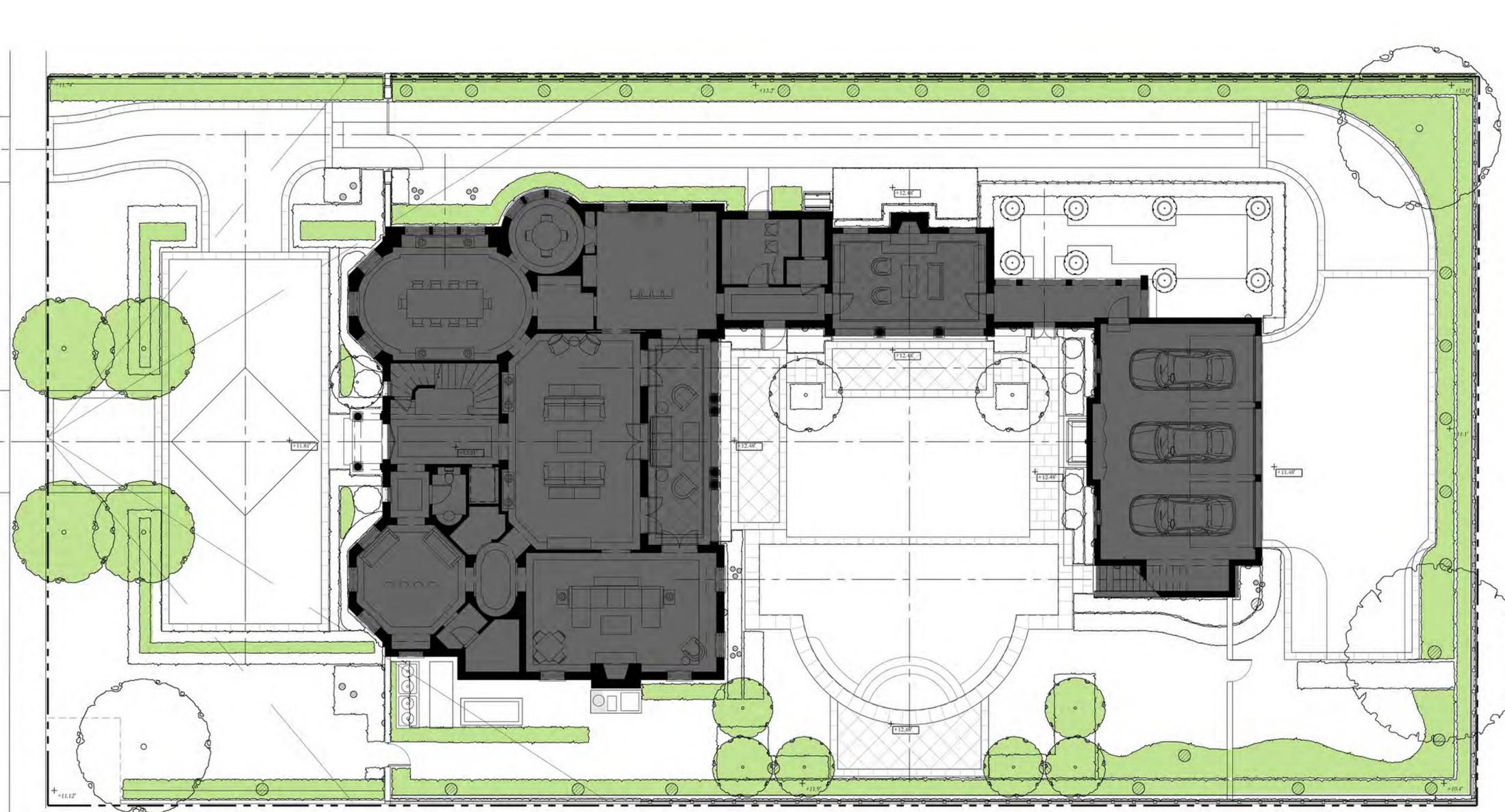


NIEVERA WILLIAMS
DESIGN

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OS4



OVERALL R-B SITE CALCULATIONS:

SITE AREA =	19,706 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	8,867 SQ FT	45%
PROPOSED =	8,957 SQ FT	45%

FRONT SETBACK SITE CALCULATIONS:

25' SETBACK AREA =	2,500 SQ FT	100%
MINIMUM LANDSCAPE:		
REQUIRED =	1,000 SQ FT	40%
PROPOSED =	1,100 SQ FT	44%

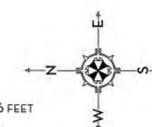
10' PERIMETER SITE CALCULATIONS:

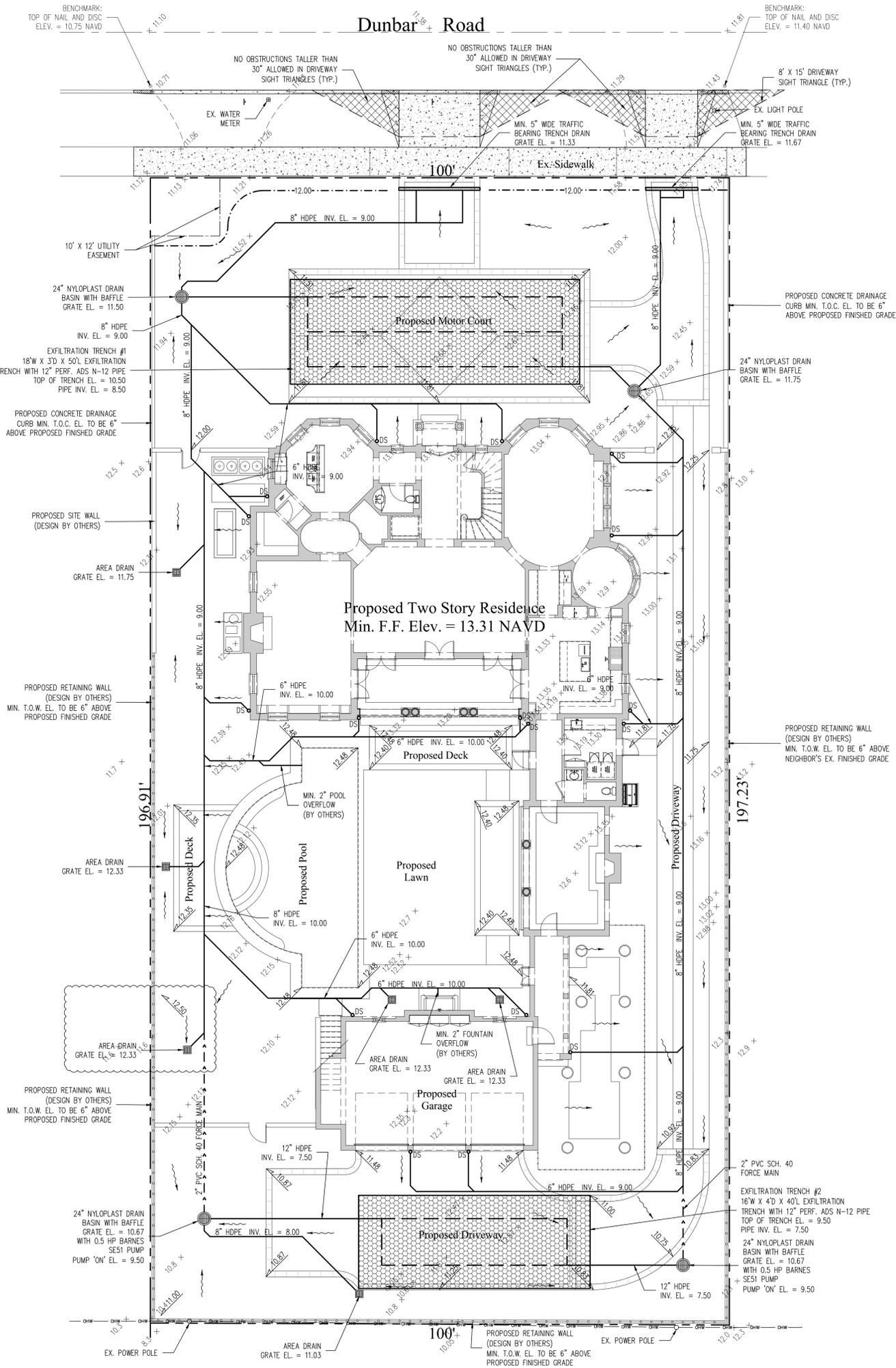
PERIMETER AREA =	5,541 SQ FT	
MINIMUM LANDSCAPE:		
(50% OF 8,867 SF) = 4,433.5 REQUIRED		
PROPOSED =	4,439 SQ FT	

OPEN SPACE LEGEND

- LANDSCAPE
- HARDSCAPE
- WATER
- HOUSE

0 4 8 16 FEET
SCALE: 1/8" = 1'-0"





STORMWATER RETENTION CALCULATIONS

- A. SITE INFORMATION**
 Total Property Area = 19,707 sq.ft.
 Drainage Area Impervious Surface = 10,839 sq.ft.
 Drainage Area Pervious Surface = 8,868 sq.ft.*
 * Minimum required by zoning code without a variance.
- B. ESTIMATED STORMWATER RETENTION VOLUME**
 The retention volume is estimated using the Rational Method (Q=CiA) where:
 C = 1.0 (impervious surface)
 C = 0.2 (pervious surface)
 i = 2 in/hr
 Impervious Surface Runoff Volume:
 1.0 x 2 in/hr x 10,839 sq.ft. x 1 ft/12 in. = 1,807 cu.ft.
 Pervious Runoff Volume:
 0.2 x 2 in/hr x 8,868 sq.ft. x 1 ft/12 in. = 296 cu.ft.
 Total Volume to be Retained = 2,103 cu.ft.
- C. PROPOSED EXFILTRATION TRENCH SIZING**
- Exfiltration Trench #1
 L = Total Length of Trench Provided = 50 ft
 W = Trench Width = 18 ft
 K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. of head
 H2 = Depth to Water Table = 6.00 ft
 DU = Un-Saturated Trench Depth = 3.00 ft
 DS = Saturated Trench Depth = 0.00 ft
 V = Volume Treated = 2,587 cu.ft.
- Exfiltration Trench #2
 L = Total Length of Trench Provided = 40 ft
 W = Trench Width = 16 ft
 K = Hydraulic Conductivity = 0.00005 cfs/sq.ft. of head
 H2 = Depth to Water Table = 6.00 ft
 DU = Un-Saturated Trench Depth = 4.00 ft
 DS = Saturated Trench Depth = 0.00 ft
 V = Volume Treated = 2,220 cu.ft.
- Total Volume Retained in Exfiltration Trenches = 4,807 cu.ft.

Notes:

- Exfiltration trenches and storm piping to be protected from roots with a root barrier.
- Roof drain downspouts are to be connected to the proposed drainage system. Contractor to provide engineer with downspout locations prior to installation of drainage system.
- Exfiltration trench design uses an assumed value of hydraulic conductivity. Client may obtain a site specific test for hydraulic conductivity prior to exfiltration trench installation.
- Contractor shall mill and overlay all roadway cuts a minimum of 50 ft. on either side of the excavation the entire width of each affected lane.
- Contractor is responsible for installing and maintaining erosion control measures during construction.
- Video inspection of storm drainage system required prior to installation of sod.

48 HOURS BEFORE DIGGING CALL
 1-800-432-4770
SUNSHINE STATE ONE CALL OF FLORIDA, INC.
 Contractor is responsible for obtaining location of existing utilities prior to commencement of construction activities.



Gruber Consulting Engineers, Inc.
 5475 W. PALM BEACH BLVD., SUITE 305
 WEST PALM BEACH, FL 33409
 PHONE: 561.312.2841
 office@gruberengineers.com

Project Information

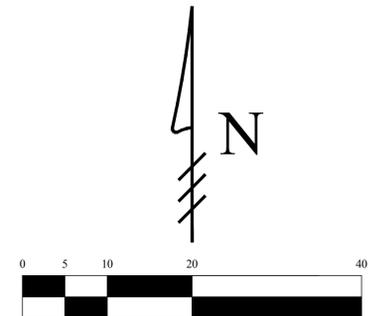
Project No.	2023-0099
Issue Date	09/25/2023
Scale	1" = 10'
Drawn By	KM
Checked By	CG



Location Map
N.T.S.

Legend

- 5.7 + EXISTING ELEVATION PER WALLACE SURVEYING CORP. (NAVD-88)
- 6.00 PROPOSED ELEVATION (NAVD-88)
- - 7.00 - - PROPOSED ELEVATION CONTOUR (NAVD-88)
- FLOW DIRECTION
- EXFILTRATION TRENCH
- AREA DRAIN
- 24" NYLOPLAST DRAIN BASIN WITH BAFFLE



Scale: 1" = 10'

- 1 02/22/23 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE
- 2 08/09/23 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE; ADD UTILITY EASEMENT
- 3 08/24/23 UPDATE PLAN BACKGROUND; REVISE PROPOSED GRADING AND DRAINAGE

Site Grading & Drainage Plan For:
Proposed Residence
 Palm Beach, Florida
 120 Dunbar Road

Revisions

1	02/22/2023
2	08/09/2023
3	08/24/2023
4	
5	
6	
7	
8	
9	
10	

Chad M. Gruber
 FL P.E. No. 57466

Sheet No.
C-1

This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

General Notes & Specifications:

- The contractor shall check all drawings furnished immediately upon their receipt and shall promptly notify the engineer in writing of any discrepancies. Anything shown on the drawings and not mentioned in the specifications or mentioned in the specifications and not shown on the drawings, shall be of like effect as if shown or mentioned in both.
- Figure marked on drawings shall, in general, be followed in preference to scale measurements. Large scale drawings shall in general, govern small scale drawings. The contractor shall compare all drawings and verify the figures before laying out the work and will be responsible for any errors which might have been avoided thereby. When dimensions on the drawings are affected by the type of equipment selected, the contractor shall adjust such dimensions as conditions may require.
- If the contractor, in the course of the work, finds any discrepancy between the drawings and the physical conditions of the locality, or any error or omissions in the drawings or in the layout as given by points and instructions, or discovers unforeseen underground or above ground conditions or any other unexpected conditions requiring additional work by the contractor, it shall be his duty to immediately inform the engineer, in writing, and the engineer shall promptly check the accuracy of the information. Any work done after such discovery, until any necessary changes are authorized, will be done at the contractor's risk.
- If any part of the contractor's work depends, for proper execution or results, upon the work of any other contractor, the contractor shall inspect and measure work already in place and shall at once report to the engineer any discrepancies between the executed work and the drawings.
- The engineer or his authorized representative shall have free access to the work of the contractor at any time for the purpose of inspection. The contractor shall furnish the facilities to determine, as best as can reasonably be done, the nature and quality of the work performed. Such assistance of the contractor shall, if necessary, include the uncovering, testing or removal of portions of the finished work.
- All debris shall be removed from the area and legally disposed. Debris may be burned upon obtaining proper burning permit but any unburned remains are to be disposed of as directed by the owner or his representatives.
- The contractor shall be responsible for protecting all buildings, structures, and utilities that are underground, above ground, or on the surface against construction operations that may be hazardous to said facilities and shall hold and save the owner harmless against all claims of damage. The contractor shall, by repair or replacement, return to equal or better condition all pavement, sidewalk, lawns, utilities and other items damaged by this construction activity.
- The contractor shall be responsible for obtaining all required tests and shall submit reports by an independent testing laboratory approved by the engineer. Should any test fail to meet specification as shown herein, the contractor shall, at his expense, correct all deficient work and submit laboratory test results showing compliance with these specifications.
- All work shall be performed in a workman like manner and shall conform with all applicable City, County, State and Federal regulations and/or Codes. The contractor shall obtain all permits and licenses required to begin work.
- The contractor shall visually examine the construction site to determine the amount of clearing and existing facilities to be replaced, removed and/or relocated which may be required in order to complete the work.
- The contractor shall give the engineer 48 hours notice prior to requesting required inspections and shall supply all equipment necessary to properly test and inspect the completed work.
- The contractor shall guarantee all work and materials for a period of one year from the date of project acceptance, during which all faulty construction and/or materials shall be corrected at the contractor's expense.
- All work shall be accomplished in a safe and workmanlike manner. The contractor shall comply with all applicable laws and regulations of any public and/or private body having jurisdiction for the safety of persons or property or to protect them from damage, injury or loss and shall erect and maintain all necessary safeguards for such safety and protection. The responsibility for project safety rests solely and specifically with the contractor. Local agencies and their employees and agents are specifically indemnified and held harmless from any actions of the contractor relating to the safety procedures implemented during construction and from any claims brought by any persons regarding safety, personal injury or property damage.
- Minimum Construction Inspection Checkpoints: 1) Prior to any major deviation from the approved plans 2) Prior to backfilling of any trenches containing hydraulic conduits so that jointing may be mutually approved 3) Upon completion of subgrade compacting 4) At the time of delivery of base material 5) Upon completion of the base and prior to priming 6) Immediately prior to and upon the first and second applications of the plant mixed wearing course 7) Upon completion of construction, a final inspection will be made with project representative.
- All unsuitable material such as muck, marl and debris shall be removed from the limits of construction and legally disposed. At the engineer's direction, muck may be stockpiled on the site at designated locations for use in landscaping.
- All material and equipment to be furnished and/or installed by the contractor for this project shall be guaranteed for a period of one year from the date of final acceptance thereof, against defective materials, design and workmanship. Upon receipt of notice from the owner of failure of any part of the guaranteed equipment or materials during the guarantee period, the affected part, parts or materials shall be replaced promptly with new parts or materials by the contractor at no expense to the owner. In the event the contractor fails to make the necessary replacement or repairs within seven (7) days after notification by the owner, the owner may accomplish the work at the expense of the contractor.
- The contractor shall complete "as-built" information relative to pipe lengths, materials and any deviation from plans and provide a copy of such to the owner and engineer for final acceptance of the contractor's work.

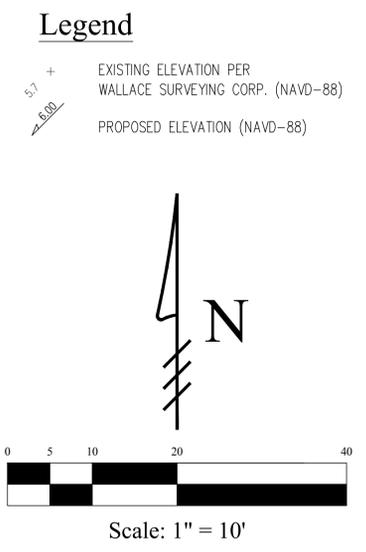
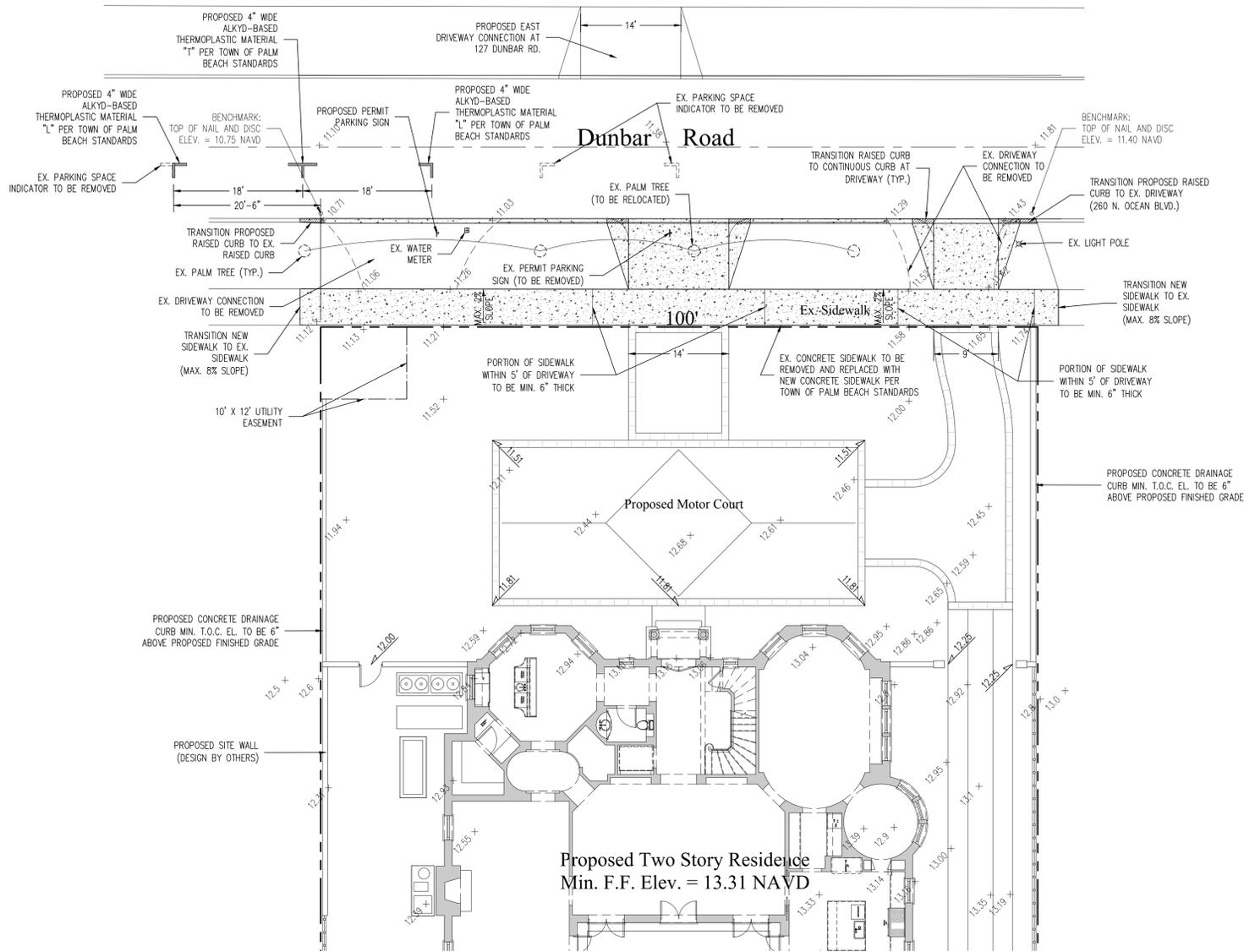
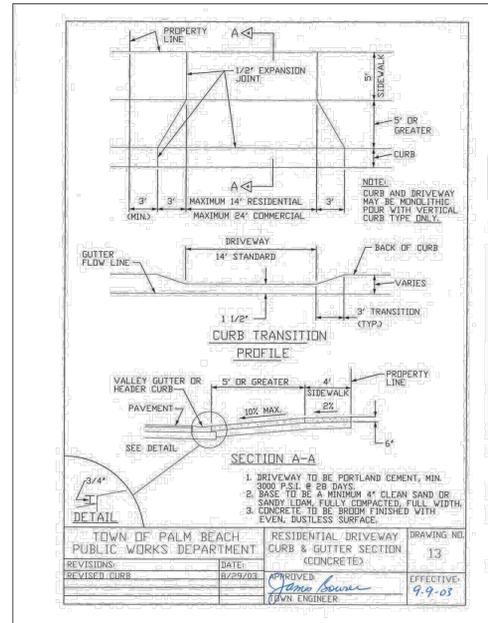
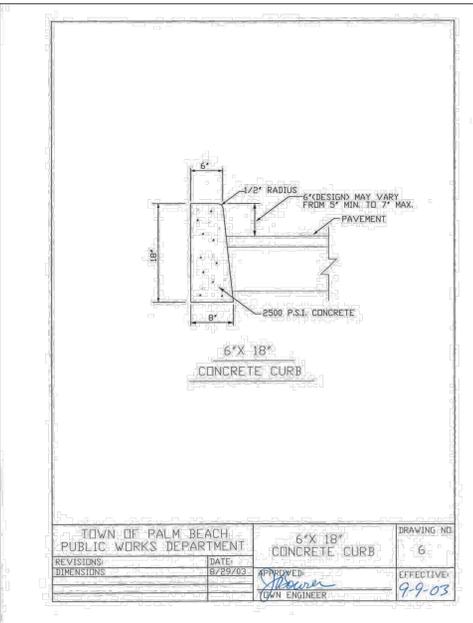


TABLE 100
TABLE OF MATERIALS AND CONSTRUCTION STANDARDS
RESIDENTIAL ACCESS AND LOCAL STREETS

COMPONENT (1)	DESCRIPTION OF MATERIALS	CONSTRUCTION STANDARDS (MINIMUM IN SIZES) DEPTHS (2) METHOD (3)	NOTES
A	TYPE 1 ASPHALTIC CONCRETE	1-1/2"	ONE (1) LIFT
	TYPE 2-3 ASPHALTIC CONCRETE	1-1/2"	TWO (2) EQ. LIFTS
B	LIMEROCK	6"	COMPACTED
	CRUSHED CONCRETE	6"	COMPACTED
C	SUBGRADE	12"	COMPACTED

(1) A = PAVEMENT
B = BASE
C = SUBGRADE
(2) ALL DIMENSIONS REFER TO FINISHED THICKNESS.
(3) COMPACTED TO AT LEAST 98% MAXIMUM DENSITY PER A.A.S.H.T.O. T-180.

TOWN OF PALM BEACH PUBLIC WORKS DEPARTMENT	TABLE 100	DRAWING NO. 2
APPROVED: <i>[Signature]</i>	EFFECTIVE: 7-4-74	
TOWN ENGINEER		



48 HOURS BEFORE DIGGING
CALL
1-800-432-4770
SUNSHINE STATE ONE CALL
OF FLORIDA, INC.
Contractor is responsible for obtaining
location of existing utilities prior to
commencement of construction activities.



Gruber Consulting
Engineers, Inc.
5725 WILBER AVE., SUITE 305
WEST PALM BEACH, FL 33401
PHONE: 561-312-2041
office@gruberengineers.com

Project Information

Project No.	2022-0099
Issue Date	06/05/2023
Scale	1" = 10'
Drawn By	KM
Checked By	CG

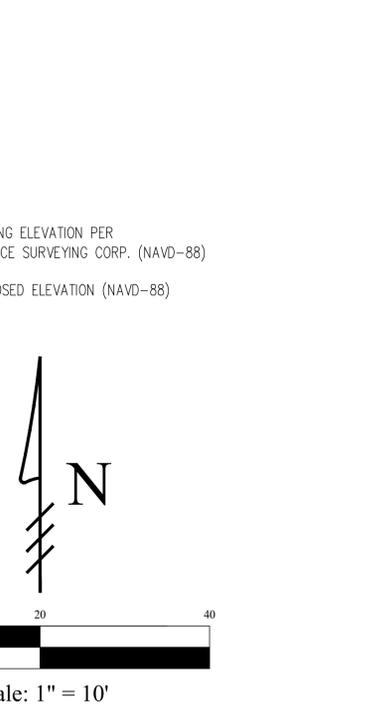
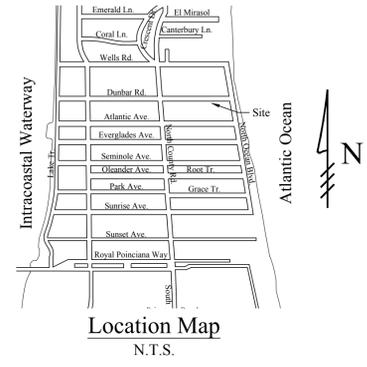
Curb & Sidewalk Replacement Plan For:
Proposed Residence
120 Dunbar Road
Palm Beach, Florida

Revisions

1	
2	
3	
4	
5	
6	
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8	
9	
10	

Chad M. Gruber
FL P.E. No. 57466

Sheet No.
CB-1



This item has been electronically signed and sealed by Chad M. Gruber on the date adjacent to the seal using a SHA authentication code. Printed copies of this document are not considered signed and sealed and the SHA authentication code must be verified on any electronic copies.

Plan Background from Hardscape Plan by
Nievera Williams Design Received 8/24/23
ARC-23-133
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