

PROPOSED NEW CONSTRUCTION AT:

206 CARIBBEAN ROAD

TOWN OF PALM BEACH

PALM BEACH COUNTY, FLORIDA

PRESENTATION SUBMITTAL REVO 1

ARC-23-090
09.27.2023

ZON-23-068
10.11.2023



RECEIVED
By yfigueroa at 1:39 pm, Sep 05, 2023

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD
PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C00174

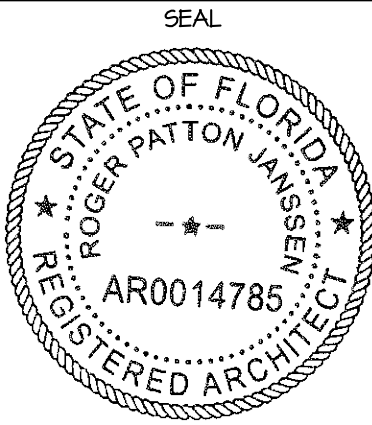
DATE: 07.11.2023

DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

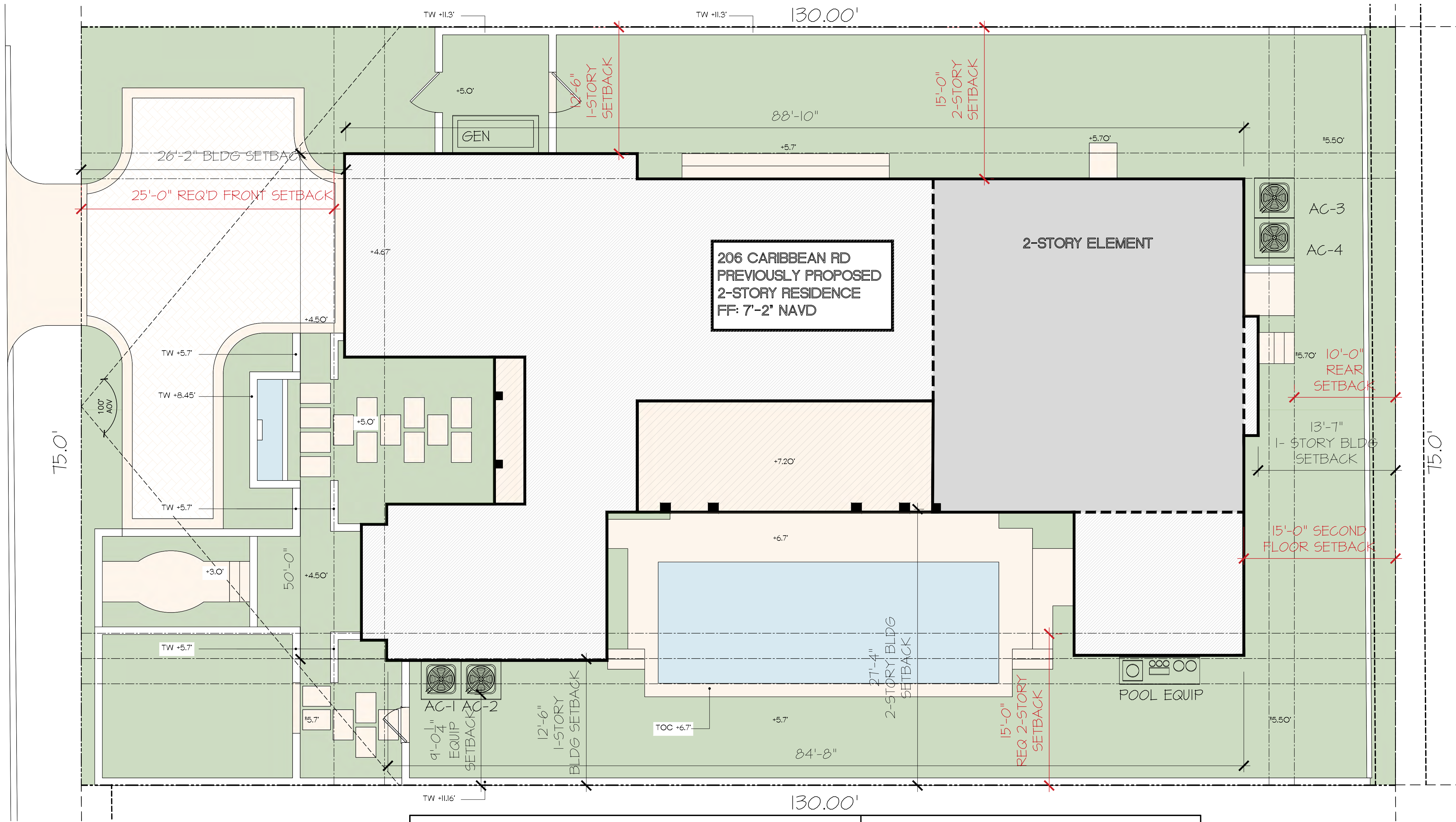
DRAWING NO.

A0.00

JOB NUMBER: 23-109

CONSULTANTS AND ENGINEERS:							
GENERAL CONTRACTOR:	MEP ENGINEER:	STRUCTURAL ENGINEER:	GEOTECHNICAL ENGINEER:	CIVIL ENGINEER:	LANDSCAPE ARCHITECT:	SURVEYOR:	JOB NUMBER: PRESENTATION SUBMITTAL REVO1: 23-109 09.06.23
			ARDAMAN AND ASSOCIATES 2200 N. FLORIDA MANGO ROAD #101 WEST PALM BEACH, FL, 33409 561.687.8200	CIVIL ENGINEERING CONSULTING, INC 8195 WHITE ROCK CIRCLE BOYNTON BEACH, FLORIDA, 33436 561-847-0398	ENVIRONMENTAL DESIGN GROUP THE PARAMOUNT BUILDING 139 N. COUNTY ROAD - SUITE 20-B PALM BEACH FLORIDA, 33480	WALLACE SURVEYING CORP. 5553 VILLAGE BOULEVARD WEST PALM BEACH, FL 33407 561-640-4551	

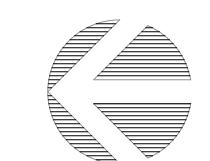
CARIBBEAN ROAD



CUBIC CONTENT CALCULATIONS				
MAX. ALLOWED CCR =		$4+[(10,000-9,750)/10,000]$	<u>4.025</u>	
CUBIC CONTENT CALCS (PROPOSED)				
ENCLOSED AREA	SF	HT	TOTAL	
	TWO STORY AC (A)	1062	20'-0"	21240
	ONE STORY AC (C)	1061	10'-0"	10610
	ONE STORY AC (E)	230	10'-0"	2300
	GARAGE (B)	540	9'-0"	4860
TOTAL ENCLOSED			<u>39010</u>	
UNENCLOSED AREA	ENTRY (F)	32	10'-0"	320
	PERGOLA (D)			270 10'-0" 2700
Pergola CCR does not contribute to CCR of unenclosed areas				
TOTAL UNENCLOSED			<u>320</u>	
CREDIT FOR 5% UNENCLOSED			-1962.19	
ADJUSTED TOTAL			<u>0</u>	
MAX ALLOWABLE 2-STORY		39,244	>	GRAND TOTAL 39010

LOT COVERAGE DATA			
206 CARIBBEAN ROAD	LOT =	9,750	SF
LOT COVERAGE			
FIRST FLOOR AC (A, C, E)			SF
GARAGE (B)			2353
FRONT ENTRY (F)			540
			32
TOTAL COVERED			2925
3% ALLOWANCE FOR PERGOLA =			293
PERGOLA (D)			270
TOTAL			2925
2 STORY MAX COVERAGE 30%			2925
MAX ALLOWABLE 2-STORY			2925
UNDER BY:			0

SITE PLAN - PREVIOUS
SCALE: 3/16"=1'-0"



LOT DATA - PREVIOUS
SCALE: 3/16"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-933-4101, LICENSE #AA-C00174

DATE: 07.11.2023

DRAWN: LGJ

REVISIONS:

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

SEAL

STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER PATTON JANSSEN
AR0014785

ROGER P. JANSSEN AR-14785

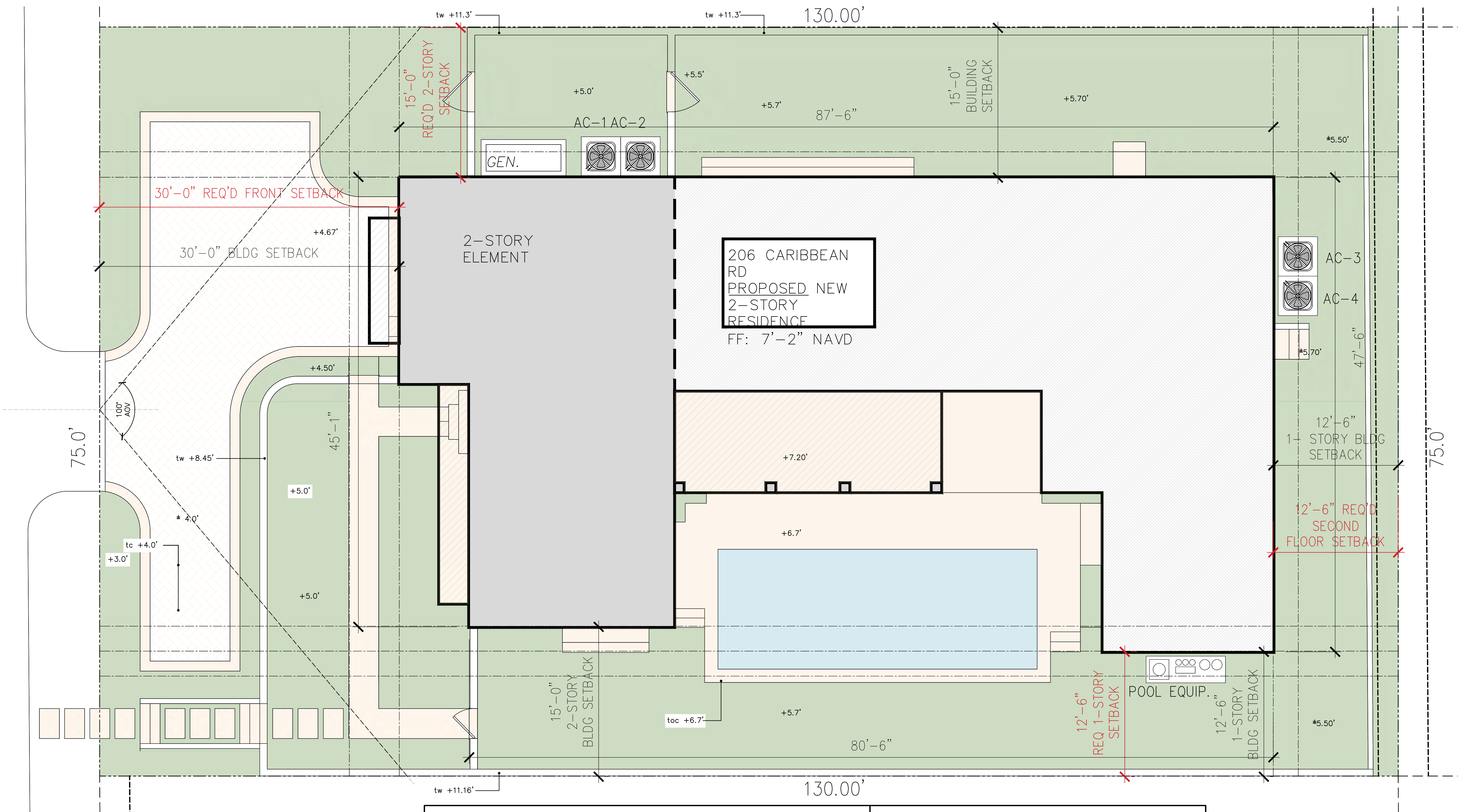
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

SP1.01
PREVIOUS

JOB NUMBER: 23-109

CARIBBEAN ROAD



CUBIC CONTENT CALCULATIONS			
MAX. ALLOWED CCR =	4+[(10,000-9,750)/10,000]		4.025
CUBIC CONTENT CALCS (PROPOSED)			
	SF	HT	TOTAL
ENCLOSED AREA			
TWO STORY AC (A)	1067	19.5	20807
ONE STORY AC (B)	1003	9.5	9529
ONE STORY AC (C)	785	9.5	7458
BALCONY (D)	89	8.0	712
BALCONY (E)	50	8.0	400
	TOTAL ENCLOSED		38905
UNENCLOSED AREA			
AWNING (F)	275	10	2750
(Pergola CCR does not contribute to CCR of unenclosed areas)			
	TOTAL UNENCLOSED		0
CREDIT FOR 5% UNENCLOSED			-1962.19
			-1962
	ADJUSTED TOTAL		0
MAX ALLOWABLE 2-STORY	39,244	>	GRAND TOTAL 38905

LOT COVERAGE DATA		
206 CARIBBEAN ROAD	LOT =	9,750 SF
LOT COVERAGE		
		SF
FIRST FLOOR A		1067
FIRST FLOOR B		1003
FIRST FLOOR C		785
BALCONY (D)		44
BALCONY (E)		25
TOTAL COVERED		2924
3% ALLOWANCE FOR PERGOLA =		293
AWNING (F)		275
TOTAL		2924
2 STORY MAX COVERAGE 30%		
MAX ALLOWABLE 2-STORY		2925
UNDER BY:		-1

SITE PLAN - PROPOSED
SCALE: 3/16"=1'-0"



CUBIC CONTENT CALCULATIONS			
MAX. ALLOWED CCR =	4+[(10,000-9,750)/10,000]		4.025
CUBIC CONTENT CALCS (PROPOSED)			
	SF	HT	TOTAL
ENCLOSED AREA			
TWO STORY AC (A)	1067	19.5	20807
ONE STORY AC (B)	1003	9.5	9529
ONE STORY AC (C)	785	9.5	7458
BALCONY (D)	89	8.0	712
BALCONY (E)	50	8.0	400
	TOTAL ENCLOSED		38905
UNENCLOSED AREA			
AWNING (F)	275	10	2750
(Pergola CCR does not contribute to CCR of unenclosed areas)			
	TOTAL UNENCLOSED		0
CREDIT FOR 5% UNENCLOSED			-1962.19
			-1962
	ADJUSTED TOTAL		0
MAX ALLOWABLE 2-STORY	39,244	>	GRAND TOTAL 38905

LOT COVERAGE DATA		
206 CARIBBEAN ROAD	LOT =	9,750 SF
LOT COVERAGE		
		SF
FIRST FLOOR A		1067
FIRST FLOOR B		1003
FIRST FLOOR C		785
BALCONY (D)		44
BALCONY (E)		25
TOTAL COVERED		2924
3% ALLOWANCE FOR PERGOLA =		293
AWNING (F)		275
TOTAL		2924
2 STORY MAX COVERAGE 30%		
MAX ALLOWABLE 2-STORY		2925
UNDER BY:		-1

Lot DATA - PROPOSED
SCALE: 3/16"=1'-0"

PROPOSED RESIDENCE AT:
206 CARIBBEAN ROAD
PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C001974

DATE: 07.11.2023
DRAWN: LGU
REVISIONS:

DATE: 07.11.2023
DRAWN: LGU
REVISIONS:

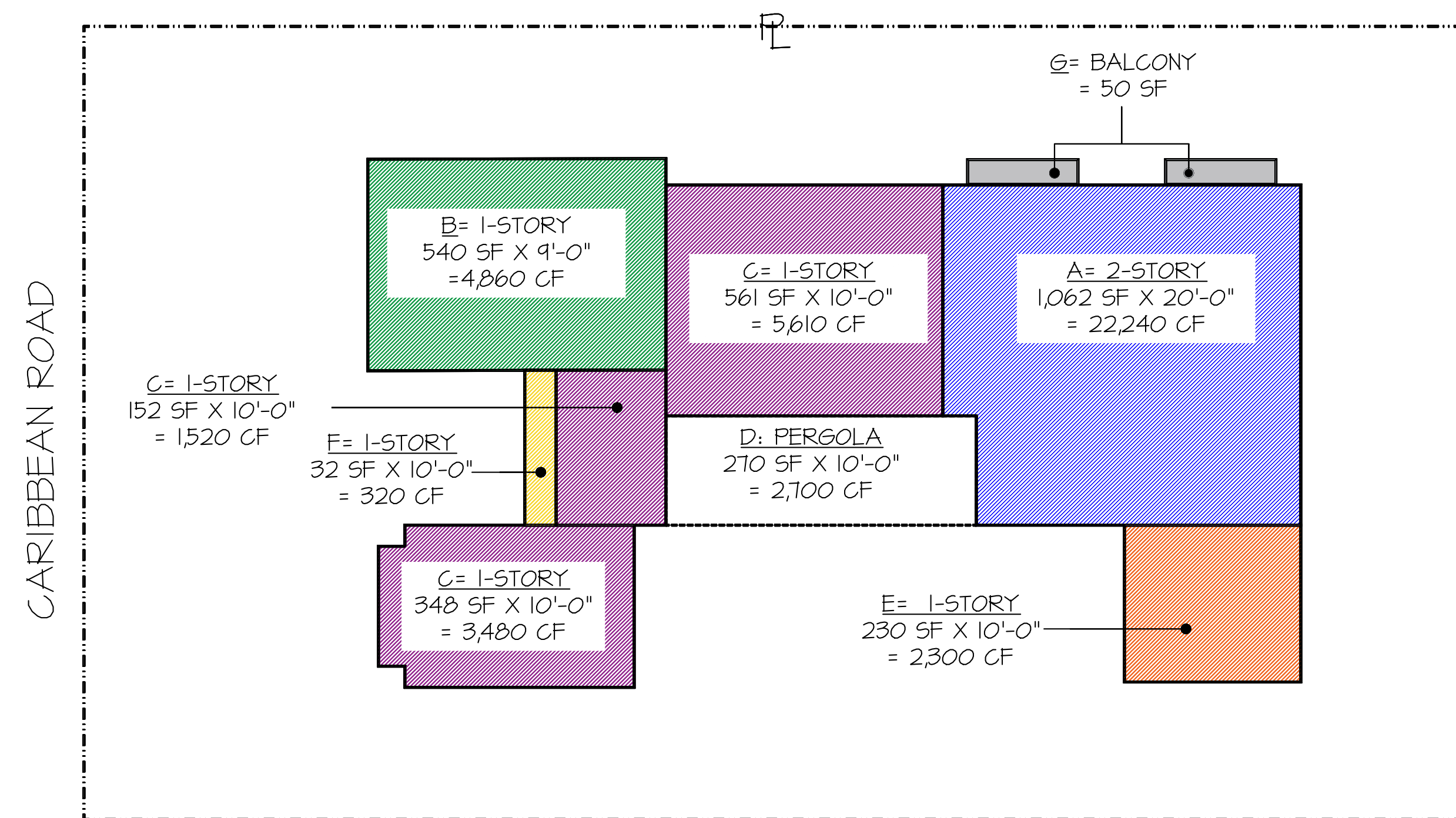
© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

SEAL
STATE OF FLORIDA
REGISTERED ARCHITECT
ROGER P. JANSSEN AR-14785
AR0014785

ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068
DRAWING NO.

SP1.01
PROPOSED
JOB NUMBER: 23-109

DIAGRAM - PREVIOUS CUBIC CONTENT



TOTAL PROPOSED CCR: 39,010 CF
TOTAL ALLOWED CCR: 39,244

AXONOMETRIC - PREVIOUS CUBIC CONTENT

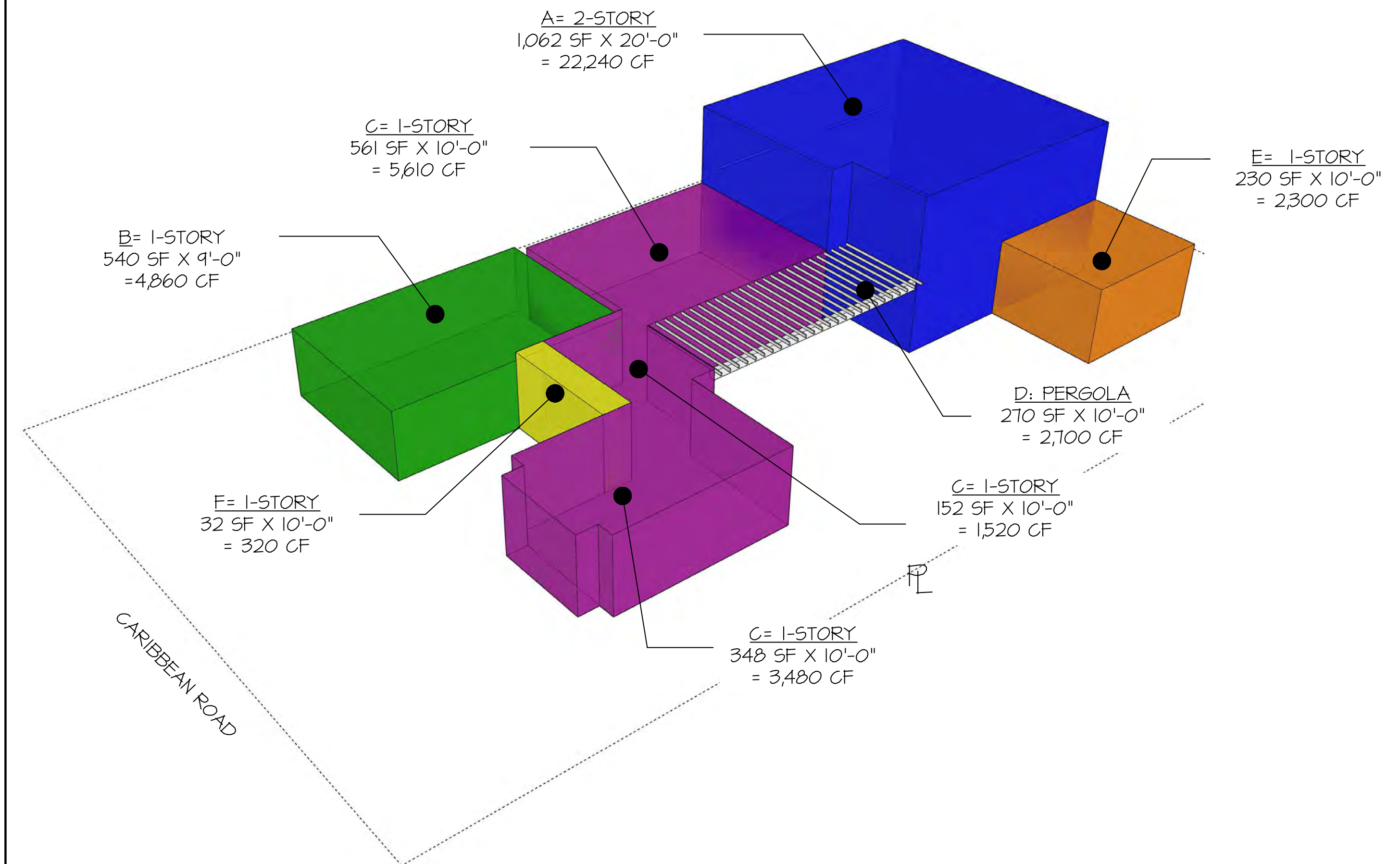
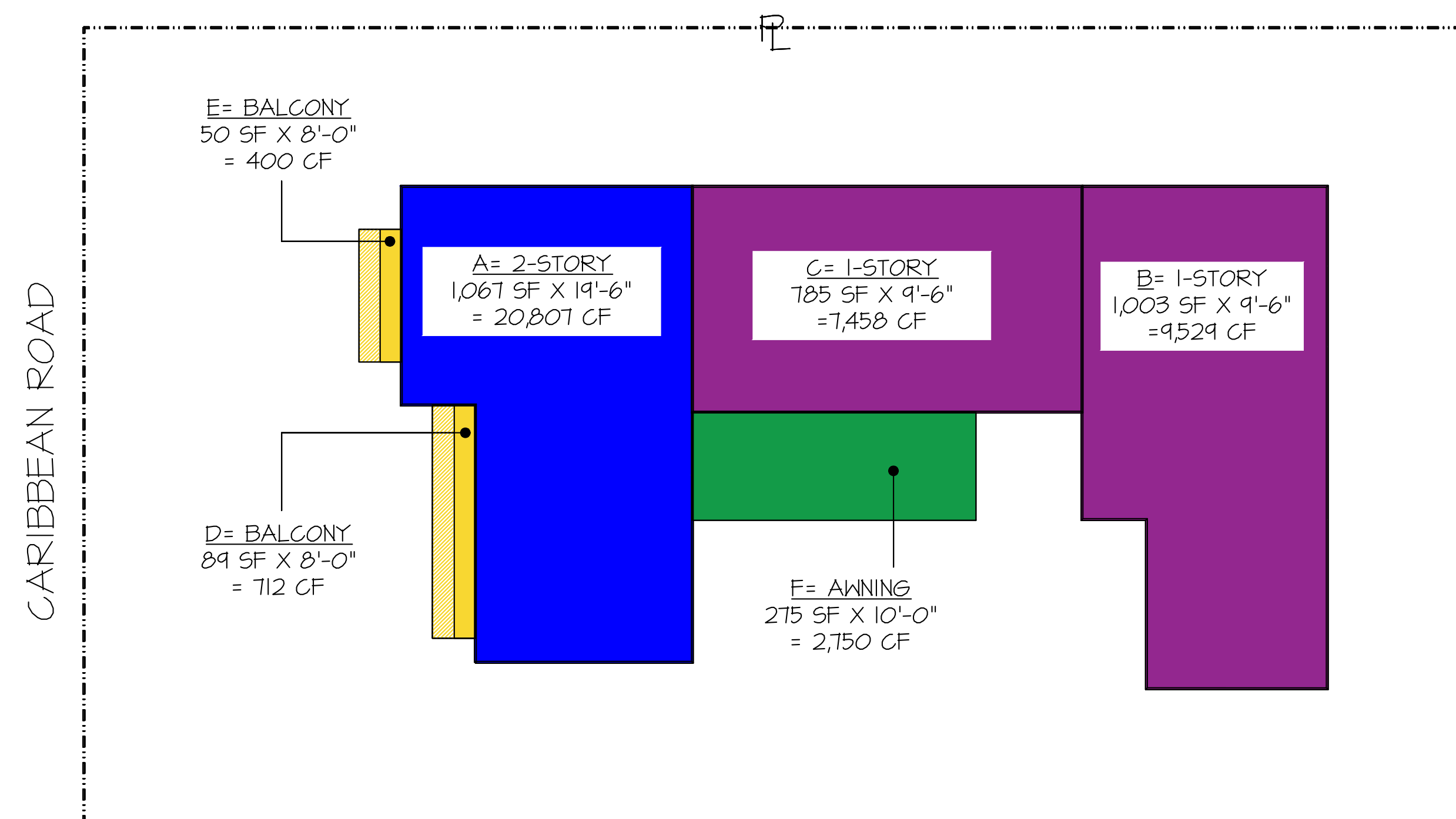
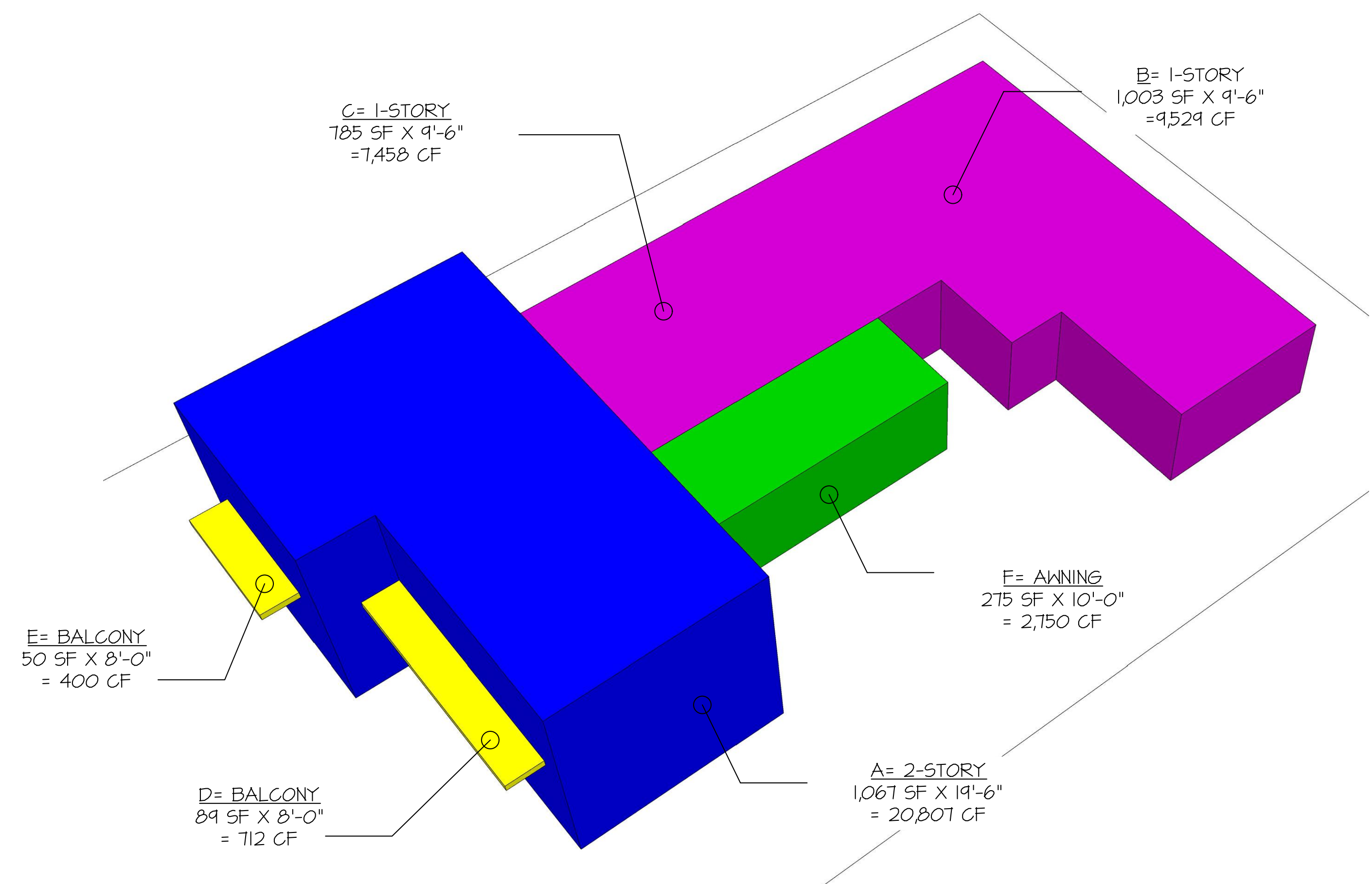


DIAGRAM - CURRENTLY PROPOSED CUBIC CONTENT



TOTAL PROPOSED CCR: 38,905 CF
TOTAL ALLOWED CCR: 39,244 CF

AXONOMETRIC - CURRENTLY PROPOSED CUBIC CONTENT

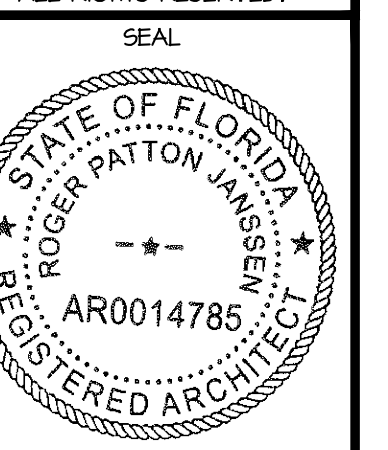


PROPOSED RESIDENCE AT:
206 CARIBBEAN ROAD
PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001474

DATE: 07.11.2023
DRAWN: LGJ
REVISIONS:

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

SP1.02

JOB NUMBER: 23-104



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	206 CARIBBEAN ROAD		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Structure Type:	RESIDENCE		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	10,000 SF MIN.	9,750SF	N/C
6	Lot Depth	100' MIN.	100'	N/C
7	Lot Width	100' MIN.	75'	N/C
8	Lot Coverage (Sq Ft and %)	(30%) 2,925 SF	N/A	(30%) 2,925SF
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl., Accesory Structures, etc)	N/A	N/A	3,987 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	39,244 CF	N/A	39,010 CF
11	*Front Yard Setback (Ft.)	25'-0"	N/A	26'-2"
12	* Side Yard Setback (1st Story) (Ft.)	12'-6"	N/A	12'-6"
13	* Side Yard Setback (2nd Story) (Ft.)	15'-0"	N/A	15'-0"
14	*Rear Yard Setback (Ft.)	10'-0"/15'-0"	N/A	13'-7"/15'-0"
15	Angle of Vision (Deg.)	100°	N/A	84°
16	Building Height (Ft.)	14'-0"/22'-0"	N/A	10'-0"/20'-0"
17	Overall Building Height (Ft.)	30'-0"	N/A	27'-3"
18	Crown of Road (COR) (NAVD)	N/A	2.5NAVD	N/C
19	Max. Amount of Fill Added to Site (Ft.)	2'-4" MAX.	N/A	2' -4" MAX
20	Finished Floor Elev. (FFE)(NAVD)	7'-0" NAVD	N/A	7'-2" NAVD
21	Zero Datum for point of meas. (NAVD)	7'-0" NAVD	N/A	7'-0" NAVD
22	FEMA Flood Zone Designation	AE (6.0 NAVD)	AE (6.0 NAVD)	6'-0" NAVD
23	Base Flood Elevation (BFE)(NAVD)	6.0 NAVD	6.0 NAVD	6.0 NAVD
24	Landscape Open Space (LOS) (Sq Ft and %)	45% (4,387.5 SF)	N/A	45% (4,391) SF
25	Perimeter LOS (Sq Ft and %)	50% (2,193 SF)	N/A	72% (3,184 SF)
26	Front Yard LOS (Sq Ft and %)	40% (750 SF)	N/A	43% (811 SF)
27	**Native Plant Species %	25%	N/A	REFER TO LA

* Indicate each yard area with cardinal
direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per
category as required by Ord. 24-2021 on
separate table

If value is not changing, enter N/C

SITE DATA - PREVIOUS



Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Zoning Legend			
1	Property Address:	206 CARIBBEAN ROAD		
2	Zoning District:	R-B LOW DENSITY RESIDENTIAL		
3	Structure Type:	RESIDENCE		
4		Required/Allowed	Existing	Proposed
5	Lot Size (sq ft)	10,000 SF MIN.	9,750SF	N/C
6	Lot Depth	100' MIN.	100'	N/C
7	Lot Width	100' MIN.	75'	N/C
8	Lot Coverage (Sq Ft and %)	(30%) 2,925 SF	N/A	(30%) 2,924SF
9	Enclosed Square Footage (Basement, 1st Fl, 2nd Fl., Accesory Structures, etc)	N/A	N/A	3,269 SF
10	Cubic Content Ratio (CCR) (R-B ONLY)	39,244 CF	N/A	38,905CF
11	*Front Yard Setback (Ft.)	30'-0"	N/A	30;-0"
12	* Side Yard Setback (1st Story) (Ft.)	12'-6"	N/A	12'-6"
13	* Side Yard Setback (2nd Story) (Ft.)	15'-0"	N/A	15'-0"
14	*Rear Yard Setback (Ft.)	10'-0"/12'-6"	N/A	12'-6"
15	Angle of Vision (Deg.)	100°	N/A	68°
16	Building Height (Ft.)	14'-0"/22'-0"	N/A	9'-6"/19'-6"
17	Overall Building Height (Ft.)	30'-0"	N/A	26'-4"
18	Crown of Road (COR) (NAVD)	N/A	2.5NAVD	N/C
19	Max. Amount of Fill Added to Site (Ft.)	2'-4" MAX.	N/A	2' -4" MAX
20	Finished Floor Elev. (FFE)(NAVD)	7'-0" NAVD	N/A	7'-2" NAVD
21	Zero Datum for point of meas. (NAVD)	7'-0" NAVD	N/A	7'-0" NAVD
22	FEMA Flood Zone Designation	AE (6.0 NAVD)	AE (6.0 NAVD)	6'-0" NAVD
23	Base Flood Elevation (BFE)(NAVD)	6.0 NAVD	6.0 NAVD	6.0 NAVD
24	Landscape Open Space (LOS) (Sq Ft and %)	45% (4,387.5 SF)	N/A	REFER TO LA
25	Perimeter LOS (Sq Ft and %)	50% (2,193 SF)	N/A	REFER TO LA
26	Front Yard LOS (Sq Ft and %)	40% (750 SF)	N/A	REFER TO LA
27	**Native Plant Species %	25%	N/A	REFER TO LA

* Indicate each yard area with cardinal
direction (N,S,E,W)

If value is not applicable, enter N/A

** Provide Native plant species calculation per
category as required by Ord. 24-2021 on
separate table

If value is not changing, enter N/C

SITE DATA - PROPOSED

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

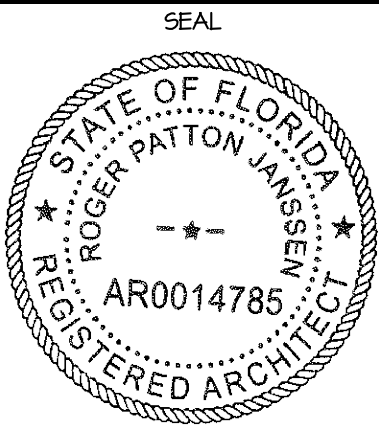
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL.: 561-833-4101, LICENSE #AA-C001714

DATE: 07.11.2023
DRAWN: LEU

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY
JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.

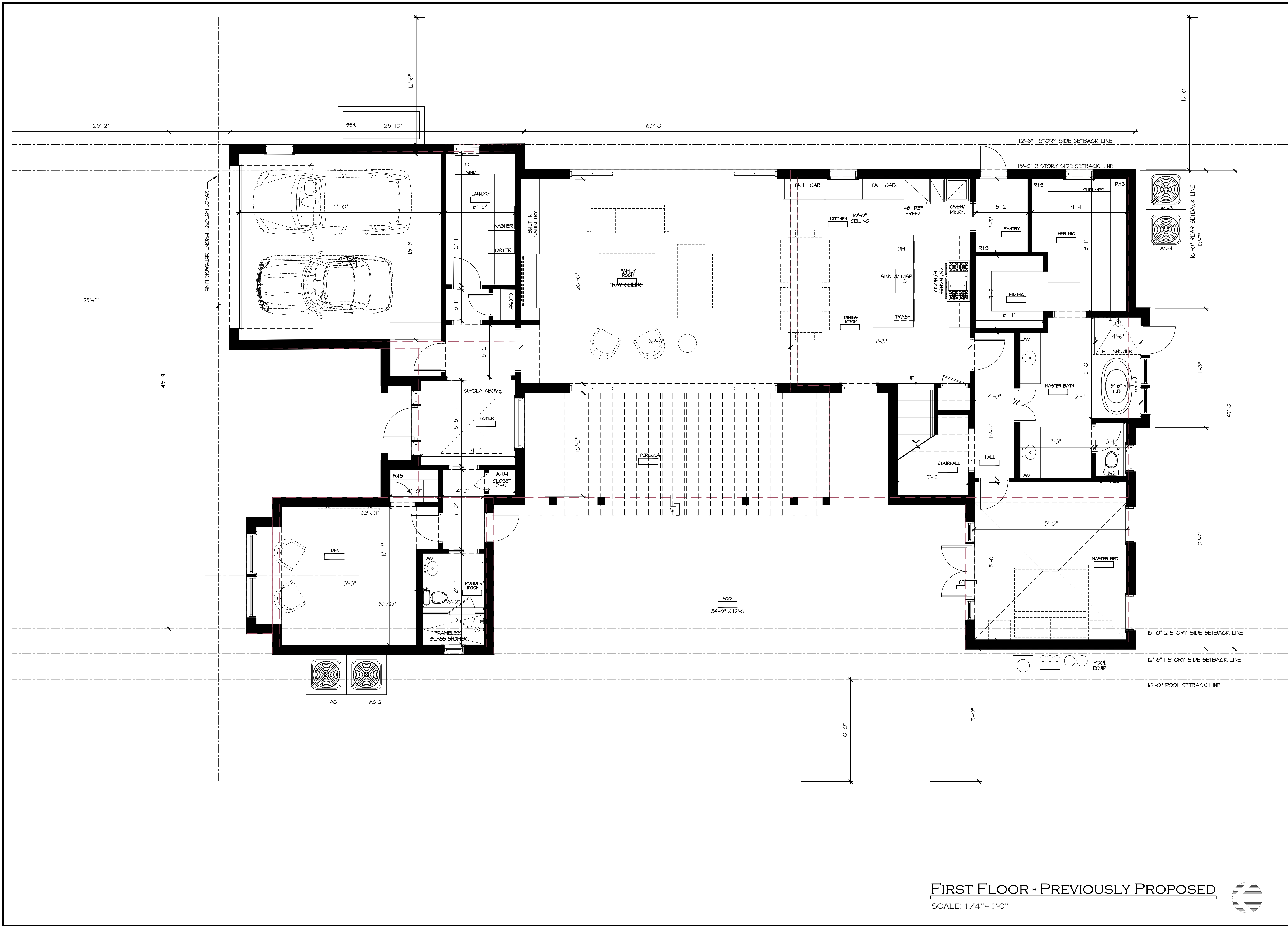


ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

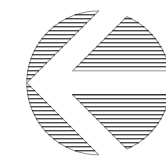
DRAWING NO.

SP1.03

JOB NUMBER: 23-109



FIRST FLOOR - PREVIOUSLY PROPOSED
SCALE: 1/4"=1'-0"



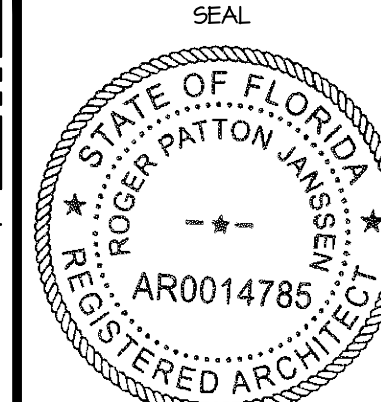
PROPOSED RESIDENCE AT:

DATE: 07/11/2023
DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

A1.01
PREVIOUS

JOB NUMBER: 23-109

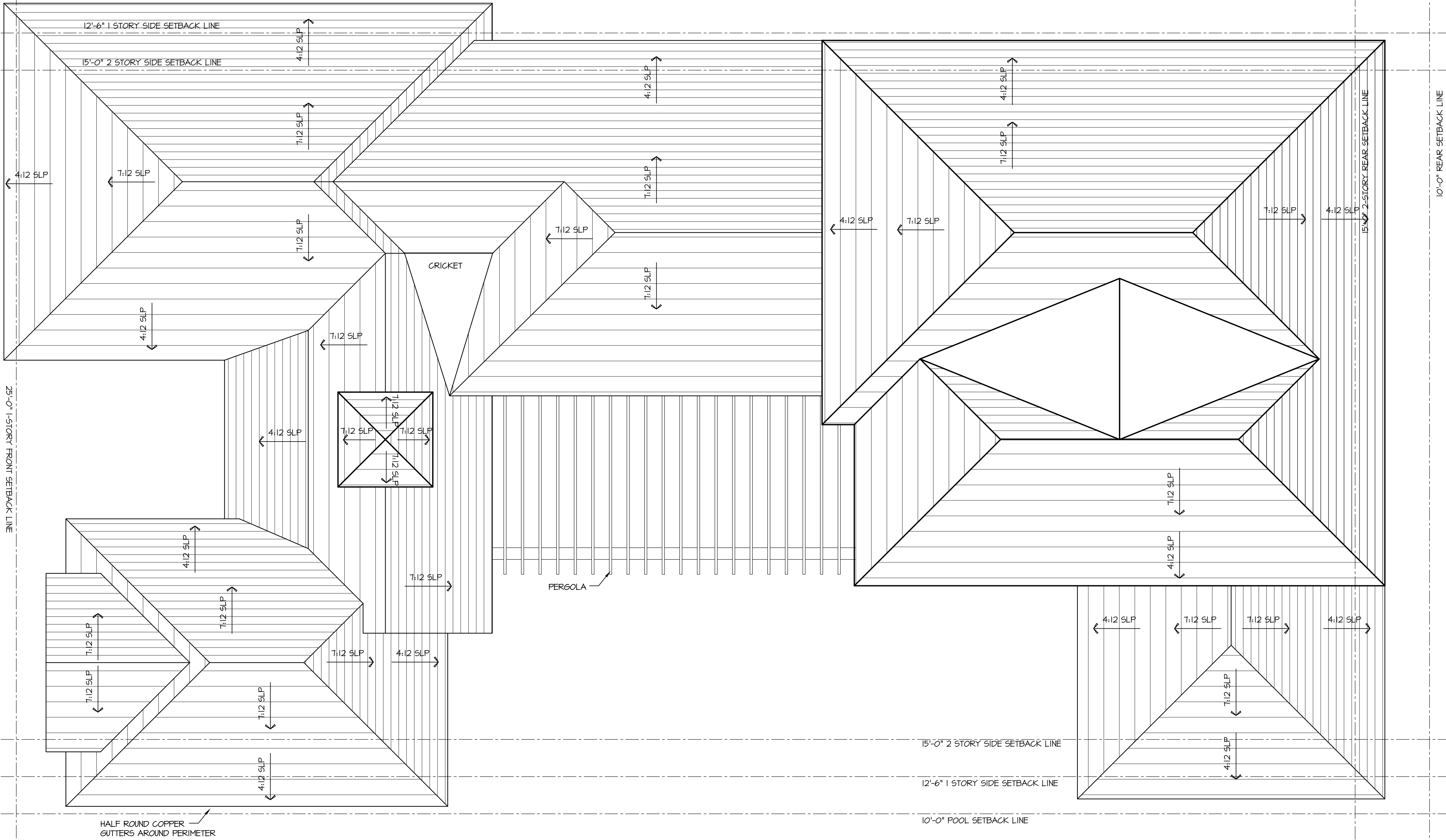
206 CARIBBEAN ROAD
PALM BEACH, FLORIDA
DAILEY JANSSEN ARCHITECTS
PALM BEACH
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914



JOB NUMBER: 23-109

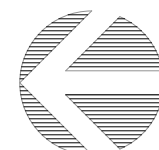
DAILEY JANSSEN ARCHITECTS
PALM BEACH, FLORIDA

- ROOF COVERING TO BE WHITE CEMENT TILE
- 5" HALF ROUND GUTTERS AND 6"Ø DOWNSPOUTS TYPICAL COPPER
- DOUBLE PITCH ROOF 4:12 AND 7:12 MAIN ROOF PITCHES W/ GABLE ENDS
- TYPICAL ROOF OVERHANG 2'-0". REFER TO EAVE DETAILS FOR ROOF OVERHANGS



ROOF PLAN - PREVIOUSLY PROPOSED

SCALE: 1/4"=1'-0"



PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

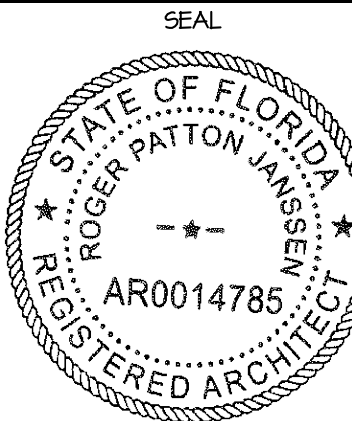
DATE: 07/11/2023

DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

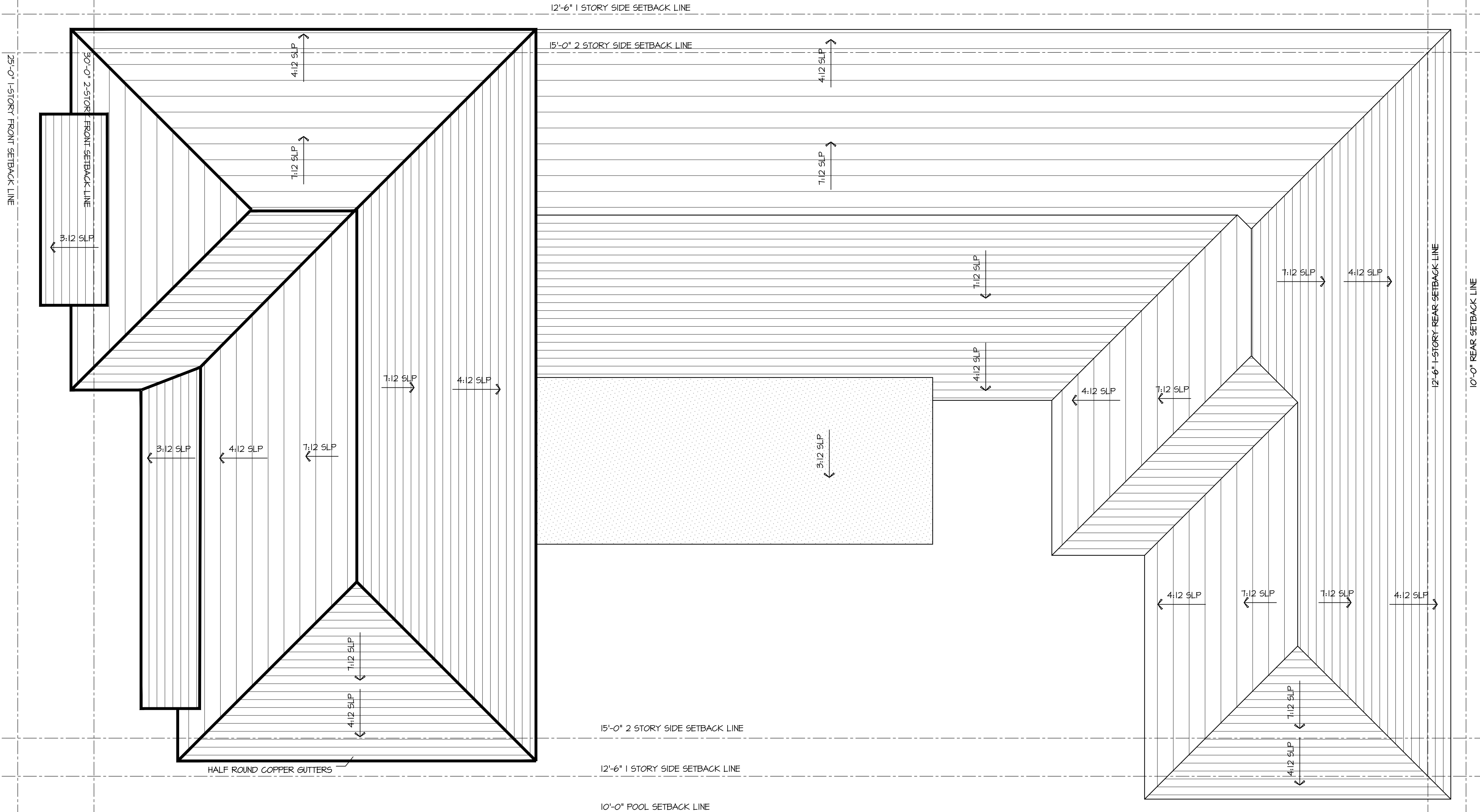
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

A1.03
PREVIOUS

JOB NUMBER: 23-109

- ROOF COVERING TO BE WHITE CEMENT TILE
- 5" HALF ROUND GUTTERS AND 6"Ø DOWNSPOUTS TYPICAL COPPER
- DOUBLE PITCH ROOF 4:12 AND 7:12 MAIN ROOF PITCHES W/ 3:12 SHEDS
- TYPICAL ROOF OVERHANG 1'-6". REFER TO EAVE DETAILS FOR ROOF OVERHANGS



ROOF PLAN - PROPOSED

SCALE: 1/4"=1'-0"



PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

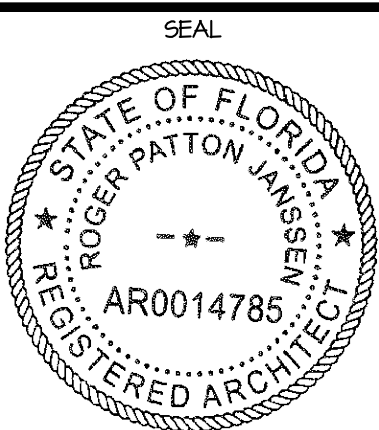
DATE: 07/11/2023

DRAWN: LGJ

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

A1.03
PROPOSED

JOB NUMBER: 23-109



NORTH ELEVATION - PREVIOUS
SCALE: 1/4"=1'-0"



NORTH ELEVATION - CURRENTLY PROPOSED
SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:
206 CARIBBEAN ROAD
PALM BEACH, FLORIDA

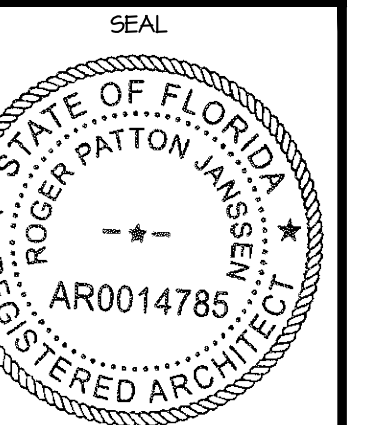
DAILEY JANSSEN ARCHITECTS
400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 07/11/2023
DRAWN: LGJ

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

R2.01

JOB NUMBER: 23-104



WEST ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



WEST ELEVATION - CURRENTLY PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

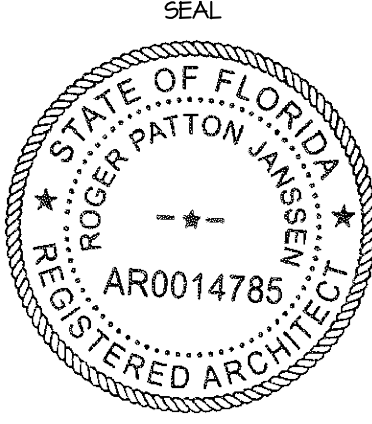
DATE: 07/11/2023

DRAWN: LGJ

REVISIONS:

.....

© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

R2.02

JOB NUMBER: 23-109



SOUTH ELEVATION - PREVIOUS
SCALE: 1/4"=1'-0"



SOUTH ELEVATION - CURRENTLY PROPOSED
SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

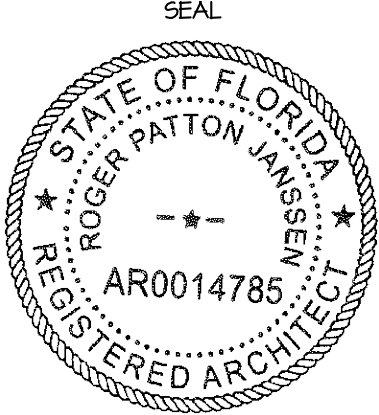
DATE: 07/11/2023

DRAWN: LBJ

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

R2.03

JOB NUMBER: 23-104



EAST ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



EAST ELEVATION - CURRENTLY PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

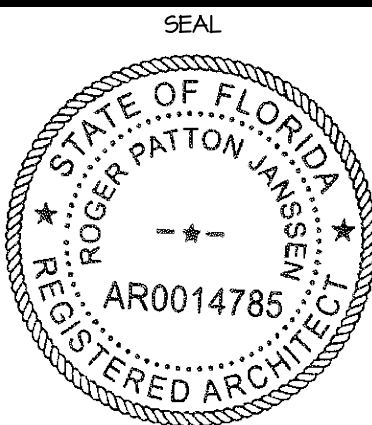
DATE: 07/11/2023

DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090

TC # ZON-23-068

DRAWING NO.

R2.04

JOB NUMBER: 23-104



ENTRY PERSPECTIVE - PREVIOUS

SCALE: 1/4"=1'-0"



ENTRY PERSPECTIVE - PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

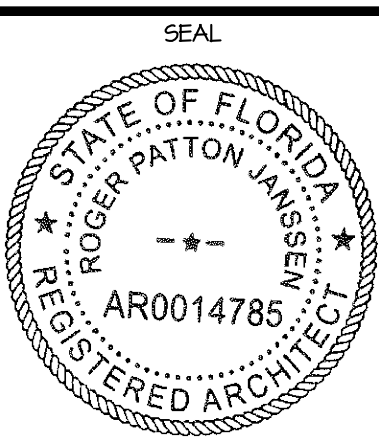
DATE: 07/11/2023

DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090

TC # ZON-23-068

DRAWING NO.

R2.05

JOB NUMBER: 23-104



POOL PERSPECTIVE - PREVIOUS

SCALE: 1/4"=1'-0"



POOL PERSPECTIVE - PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEMATIS STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

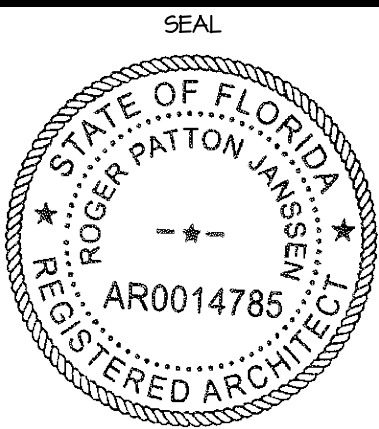
DATE: 07/11/2023

DRAWN: LBJ

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



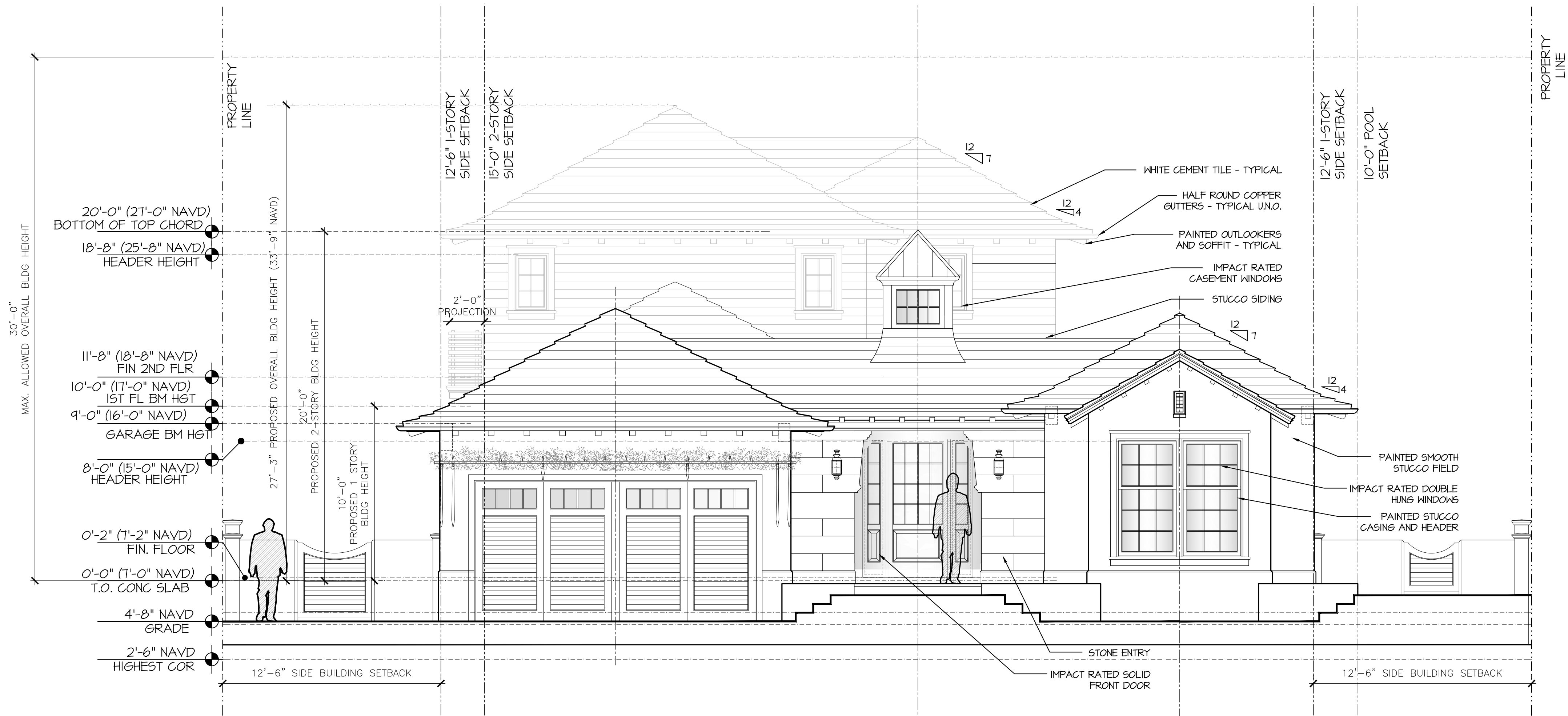
ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

R2.06

JOB NUMBER: 23-104



NORTH ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



NORTH ELEVATION - CURRENTLY PROPOSED

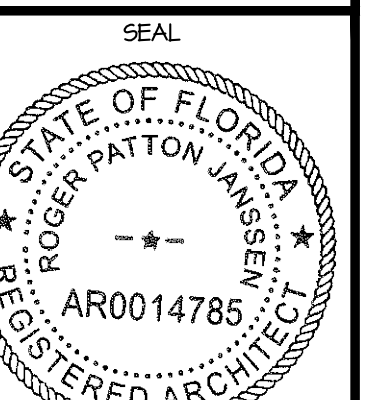
SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:
206 CARIBBEAN ROAD

PALM BEACH, FLORIDA
DAILEY JANSSEN ARCHITECTS
PALM BEACH, FLORIDA 33401 TEL: 561-833-4101, LICENSE #AA-C00174

DATE: 07.11.2023
DRAWN: L6U
REVISIONS:

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

A2.01

JOB NUMBER: 23-109



WEST ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



WEST ELEVATION - CURRENTLY PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

DATE: 07/11/2023
DRAWN: L6U
REVISIONS:

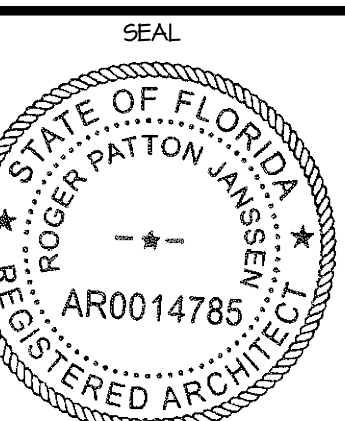
206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C00174

© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

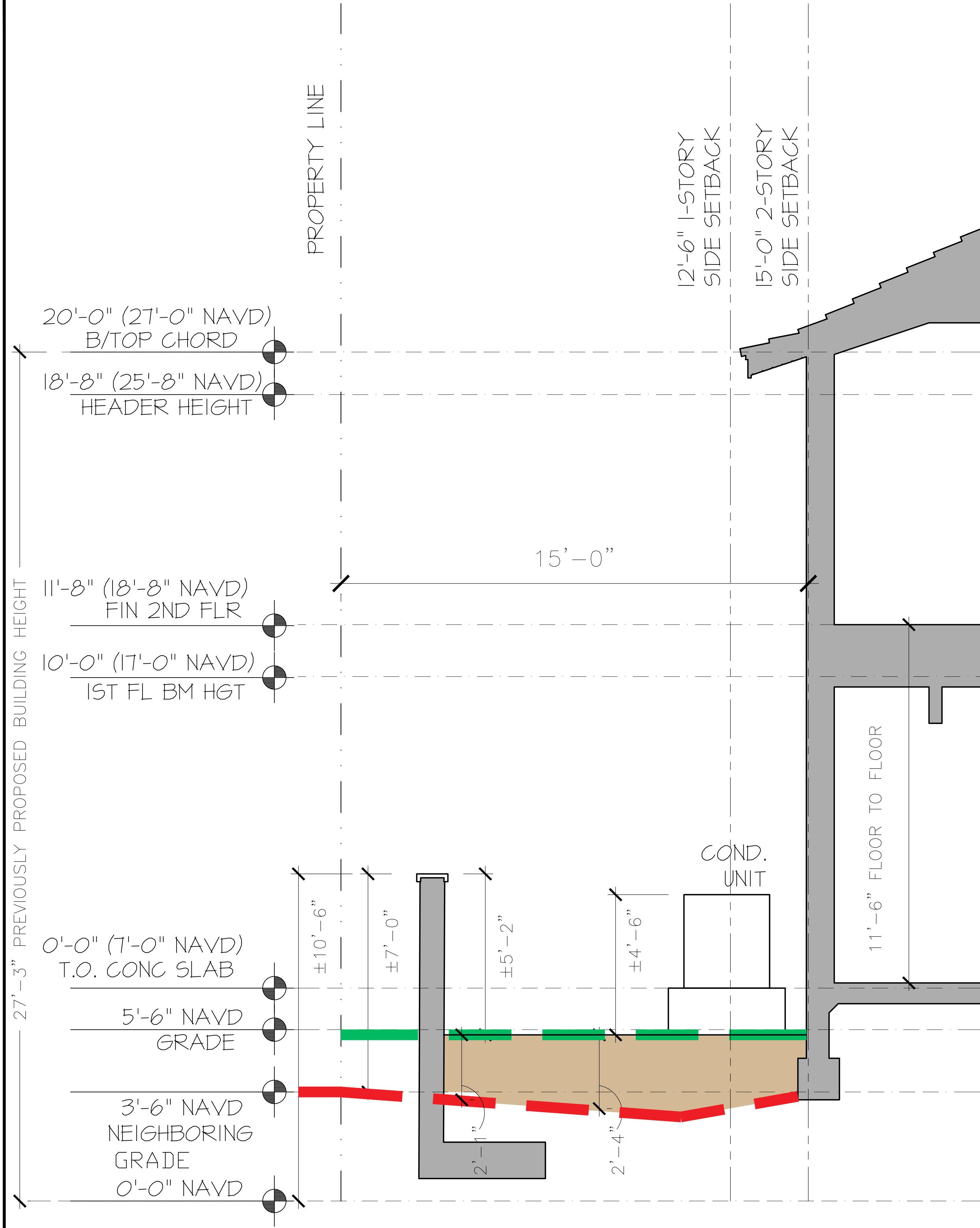


ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

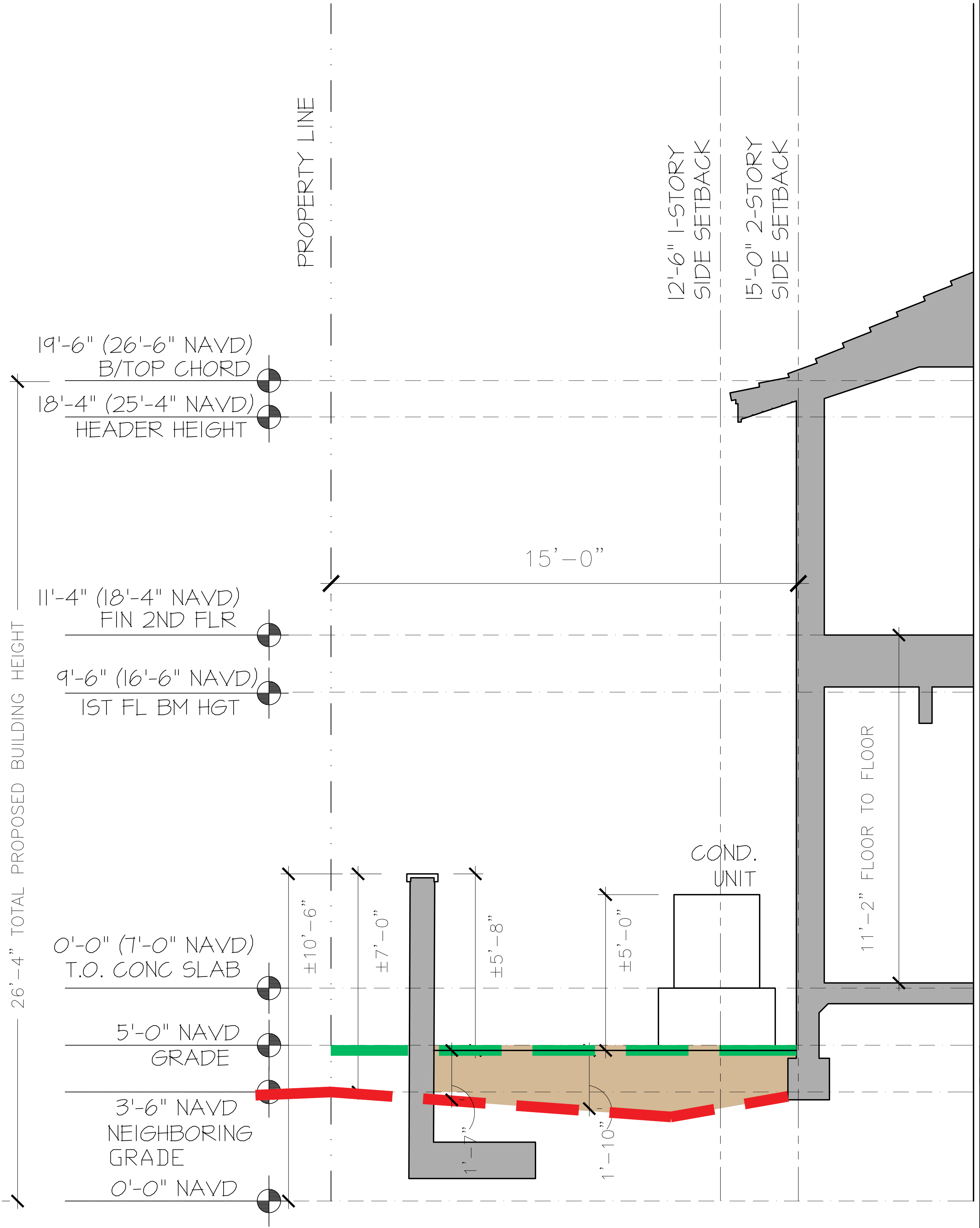
DRAWING NO.

A2.02

JOB NUMBER: 23-109

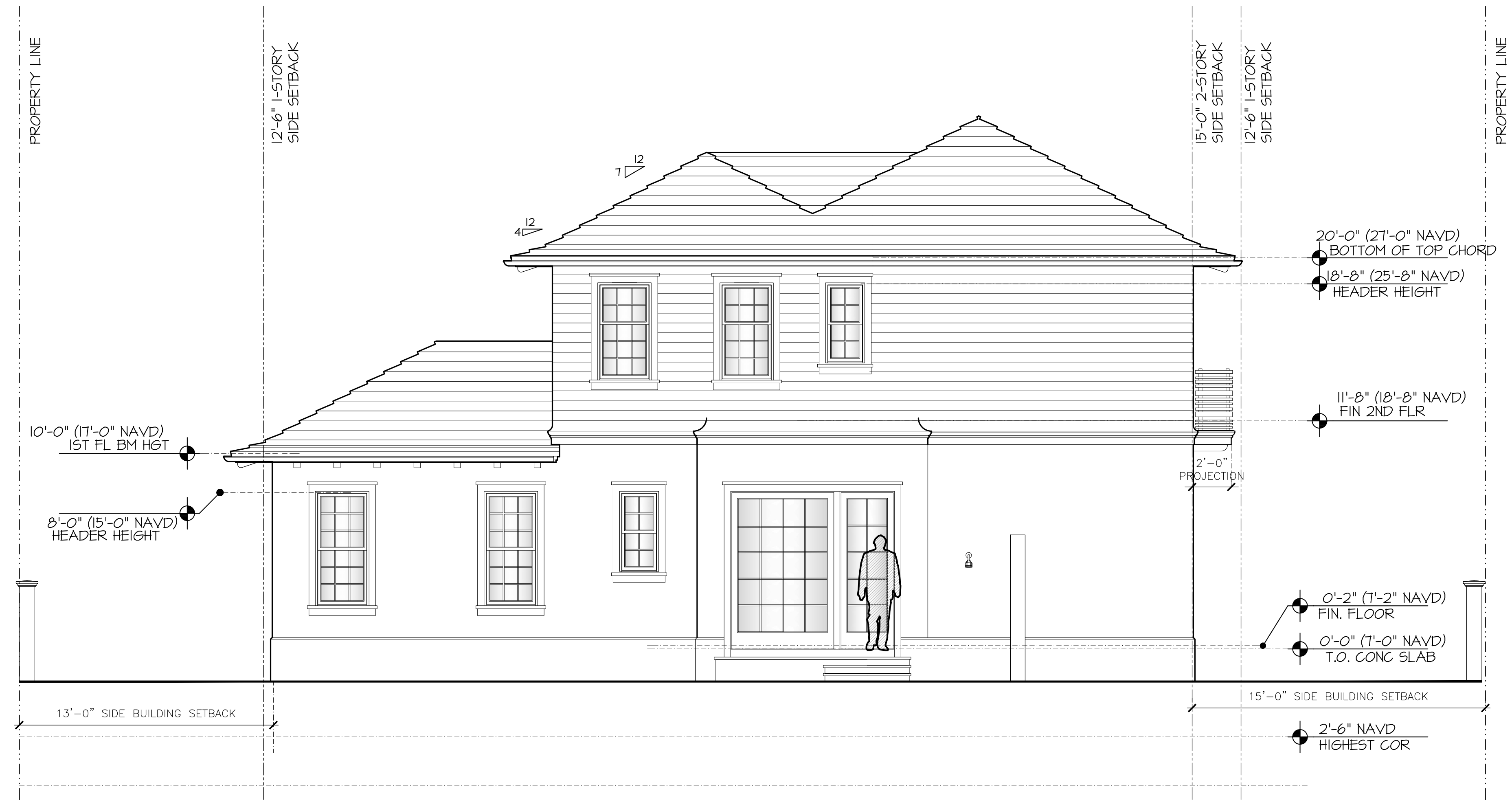


BUILDING SECTION - PREVIOUS
SCALE: 1/4"=1'-0"



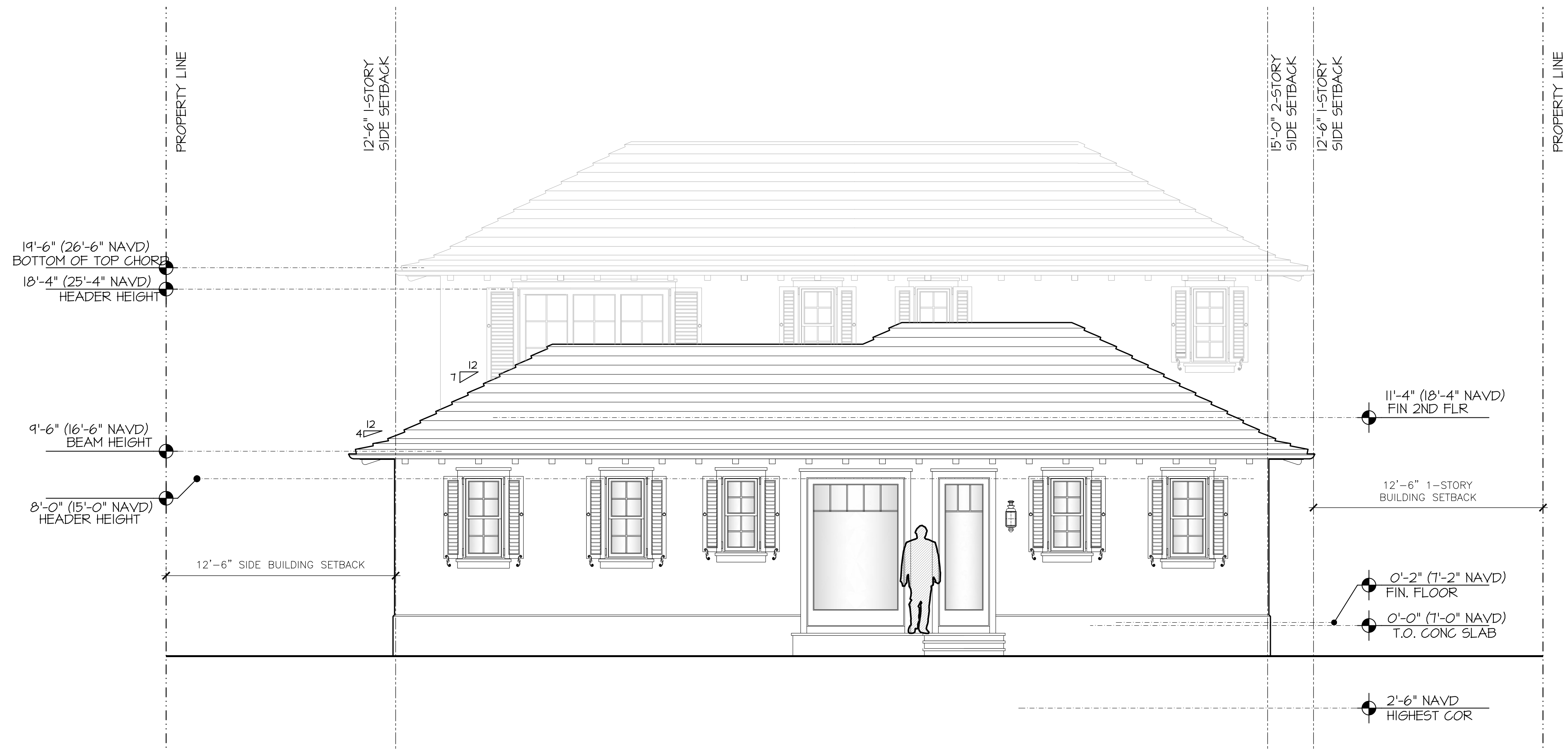
BUILDING SECTION - PROPOSED
SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:	
206 CARIBBEAN ROAD	
PALM BEACH, FLORIDA	PALM BEACH, FLORIDA
DAILEY JANSSEN ARCHITECTS	
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C001914	
DATE: 07.11.2023	
DRAWN: L6J	
REVISIONS:	
.....	
© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.	
SEAL	
STATE OF FLORIDA REGISTERED ARCHITECT ROGER P. JANSSEN AR0014785	
ROGER P. JANSSEN AR-14785	
ARCOM # ARC-23-090 TC # ZON-23-068	
DRAWING NO.	
A3.01	
JOB NUMBER:	23-109



SOUTH ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



SOUTH ELEVATION - CURRENTLY PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4707, LICENSE #AA-C00174

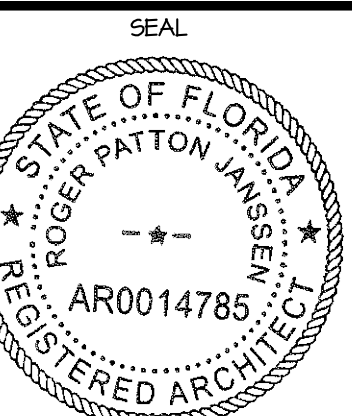
DATE: 07.11.2023

DRAWN: L&J

REVISIONS:

.....

©COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



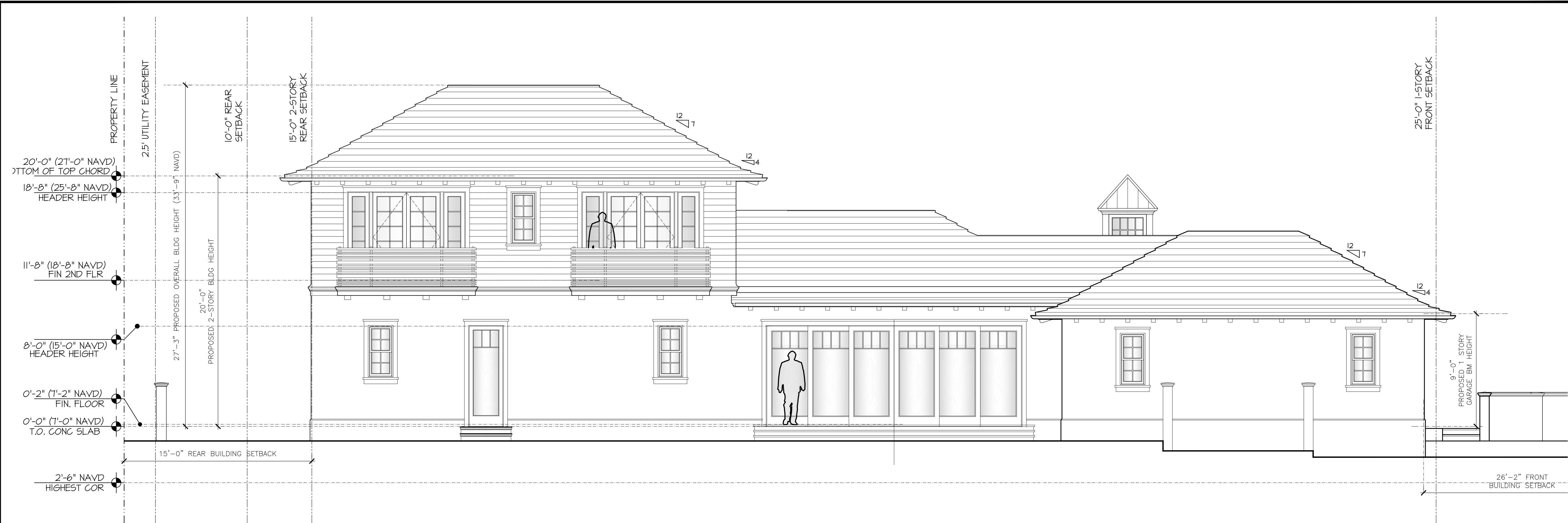
ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

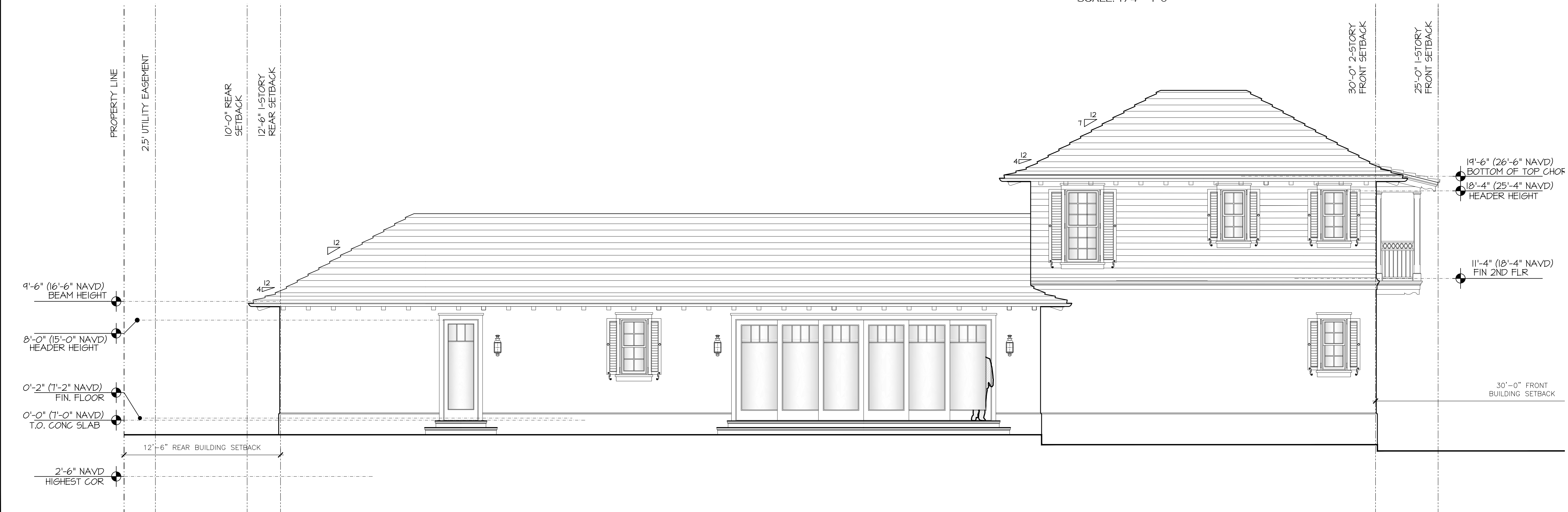
A2.03

JOB NUMBER: 23-109



EAST ELEVATION - PREVIOUS

SCALE: 1/4"=1'-0"



EAST ELEVATION - CURRENTLY PROPOSED

SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

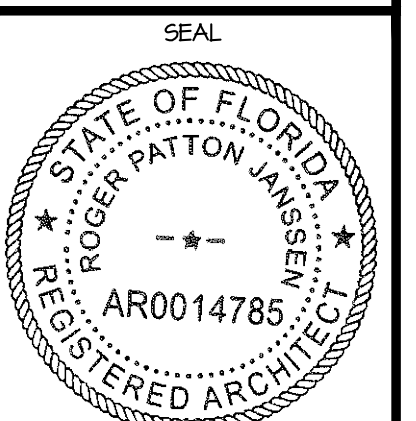
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001914

DATE: 07/11/2023

DRAWN: L6U

REVISIONS:

© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785

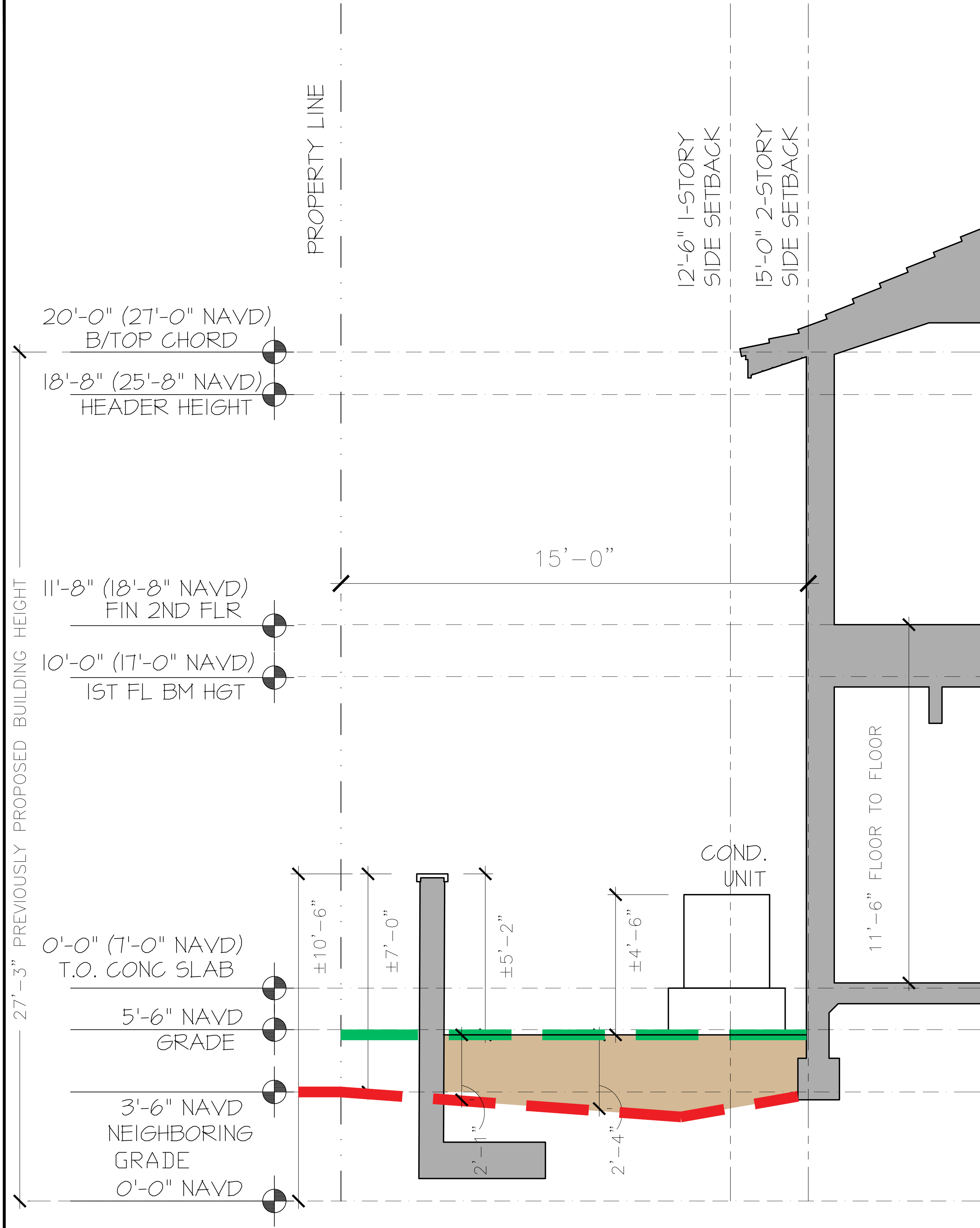
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

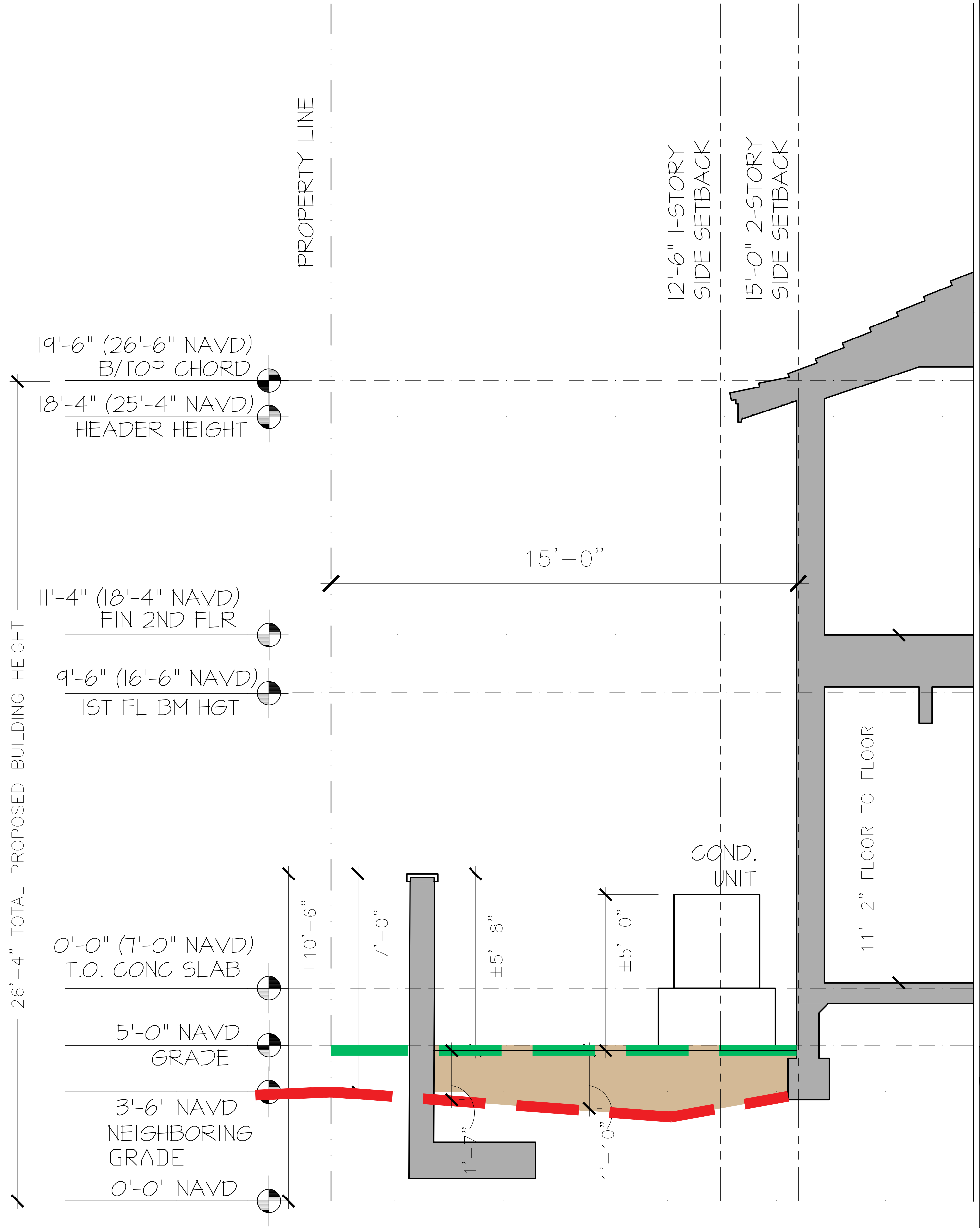
JOB NUMBER:

23-109

A2.04



BUILDING SECTION - PREVIOUS
SCALE: 1/4"=1'-0"



BUILDING SECTION - PROPOSED
SCALE: 1/4"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

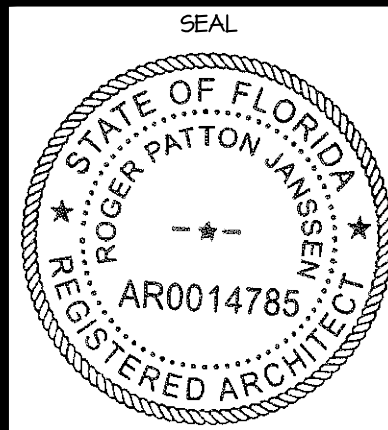
PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33411, TEL: 561-933-4101, LICENSE #AA-C001914

DATE: 07.11.2023
DRAWN: L&J
REVISIONS:

© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.

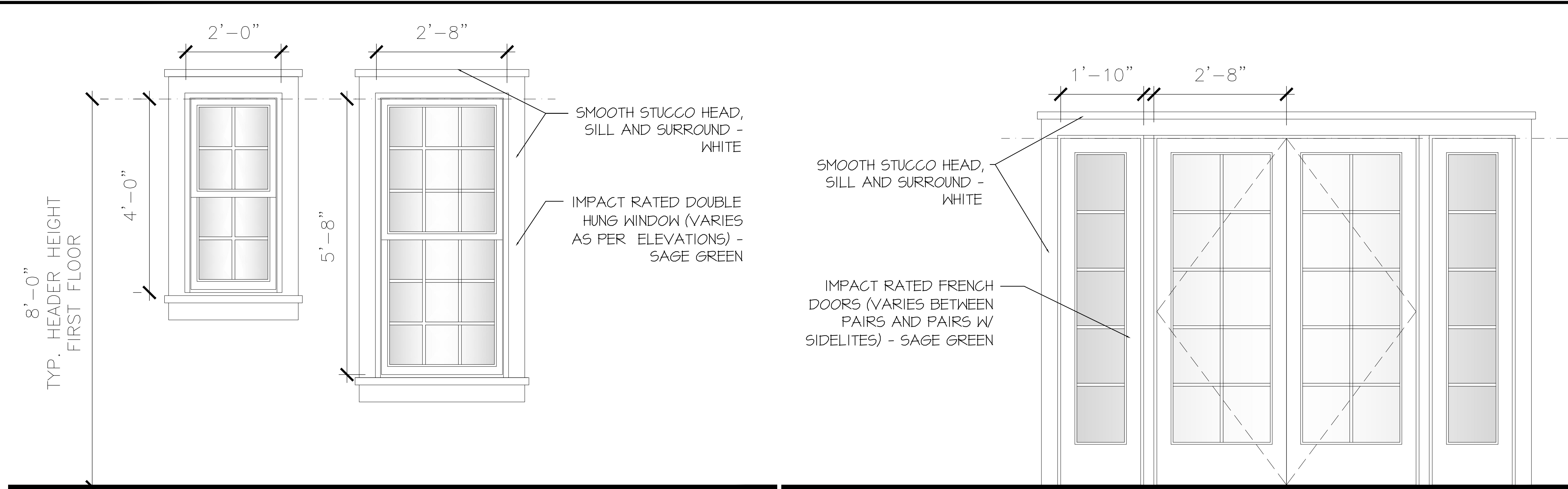


ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

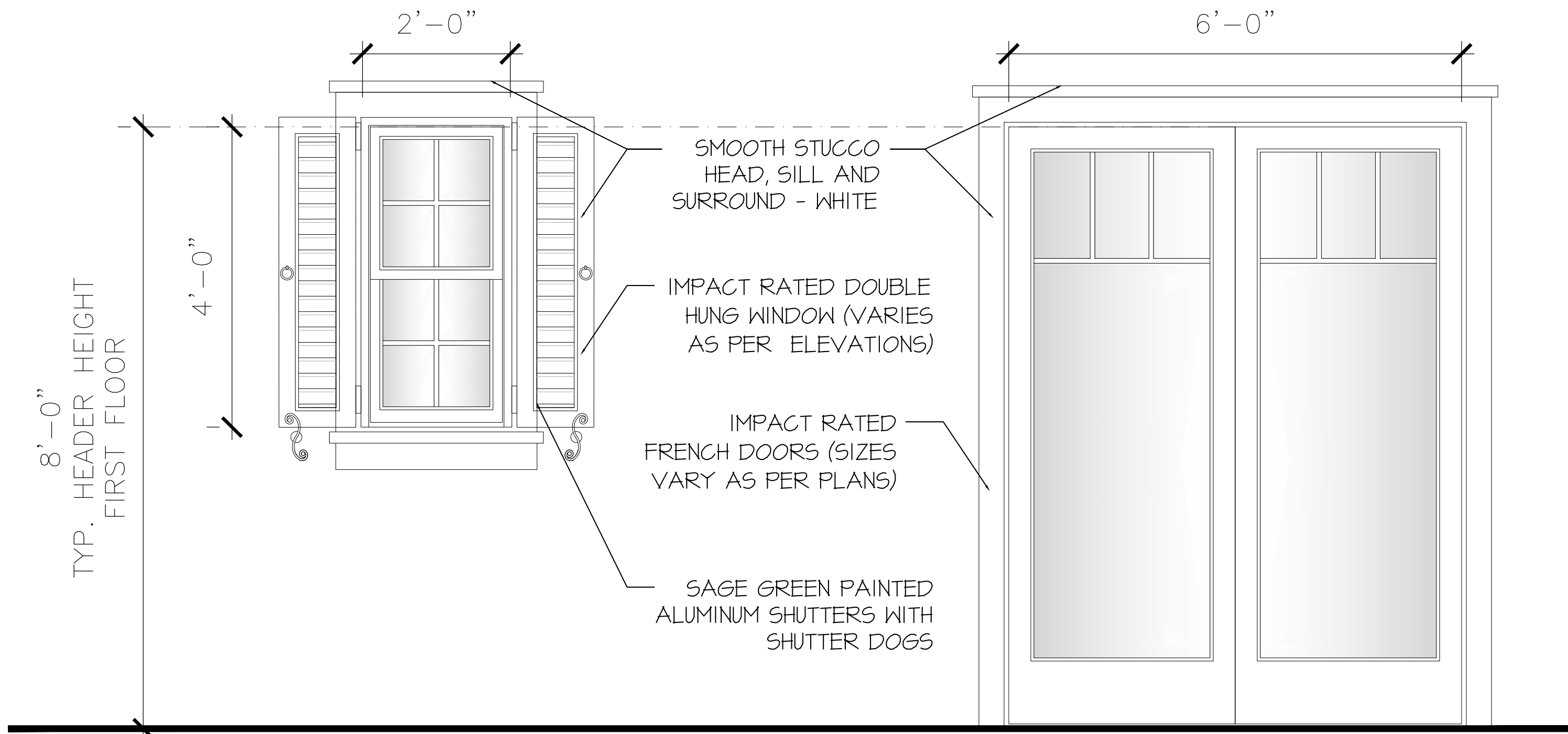
A3.01

JOB NUMBER: 23-109



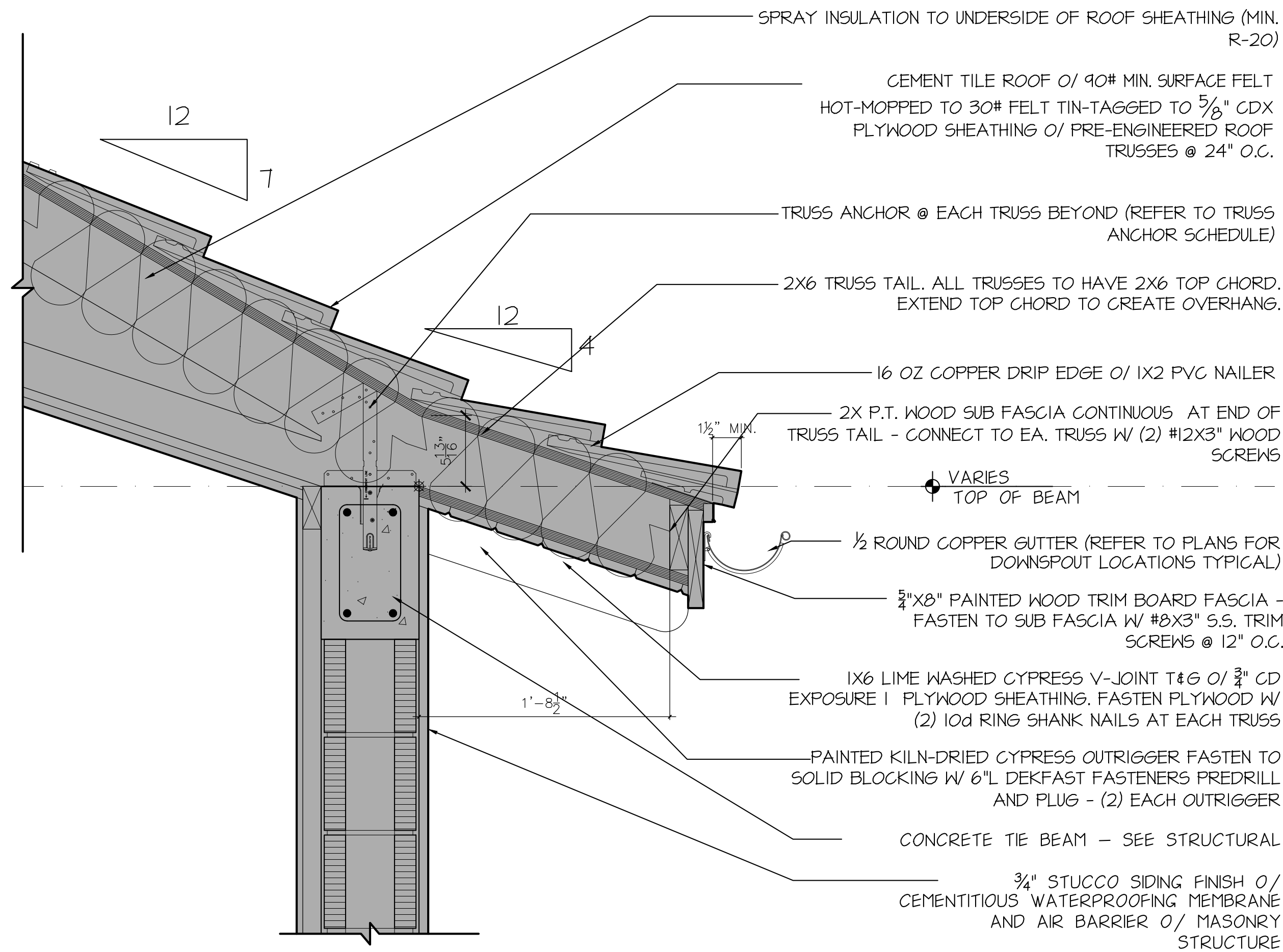
TYPICAL WINDOW & DOOR DETAILS - PREVIOUS

SCALE: 3/4"=1'-0"



TYPICAL WINDOW & DOOR DETAILS - PROPOSED

SCALE: 3/4"=1'-0"



TYPICAL EAVE DETAIL - UNCHANGED

SCALE: 1 1/2"=1'-0"

PROPOSED RESIDENCE AT:

206 CARIBBEAN ROAD

PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS

400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C001414

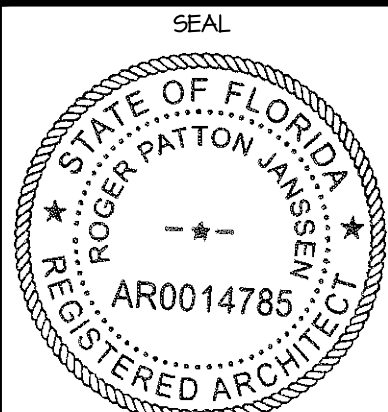
DATE: 01.11.2023

DRAWN: L6J

REVISIONS:

.....

© COPYRIGHT 2022 DAILEY JANSSEN ARCHITECTS, P.A. ALL RIGHTS RESERVED.



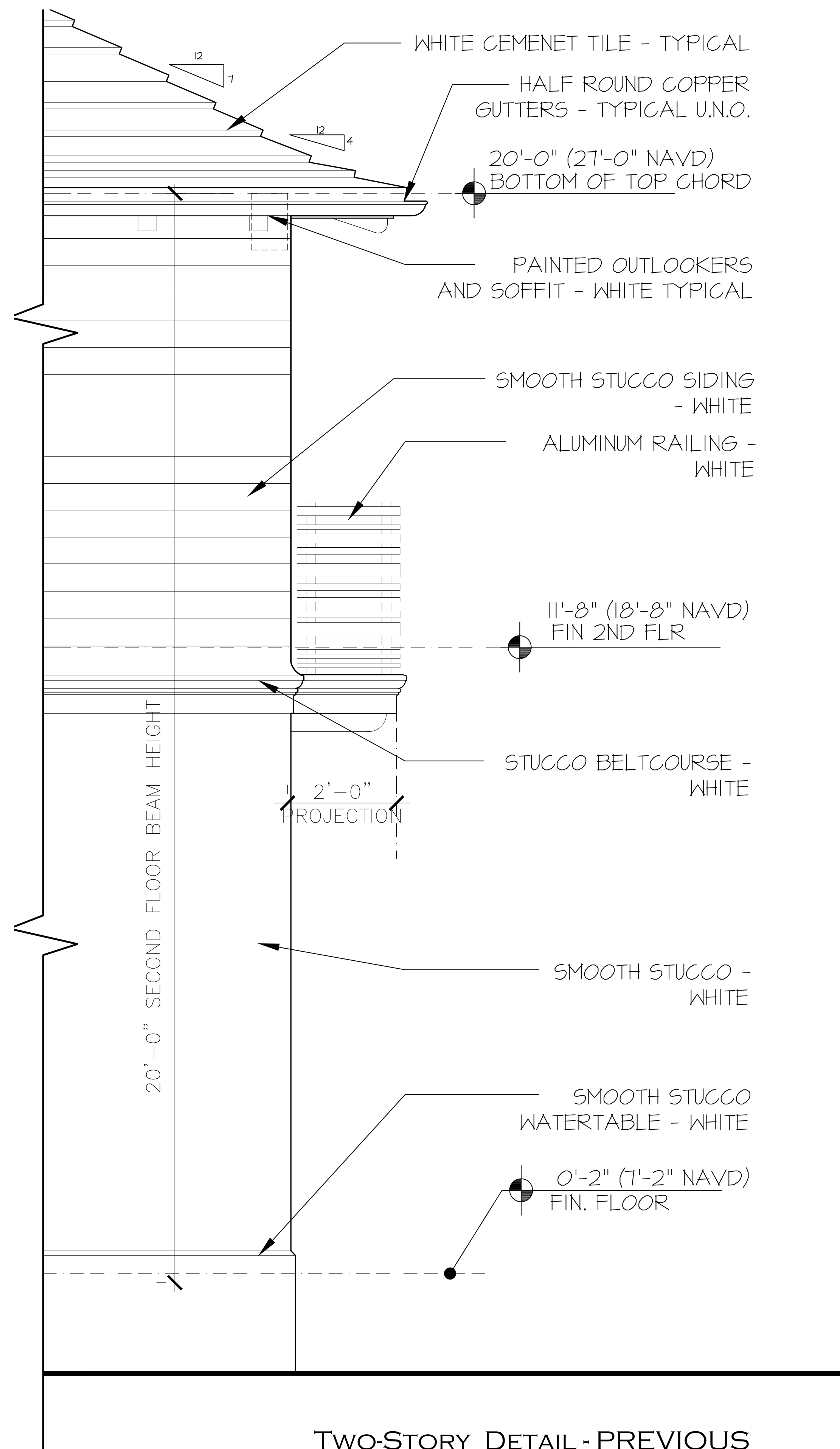
ROGER P. JANSSEN AR-14785

ARCOM # ARC-23-090 TC # ZON-23-068

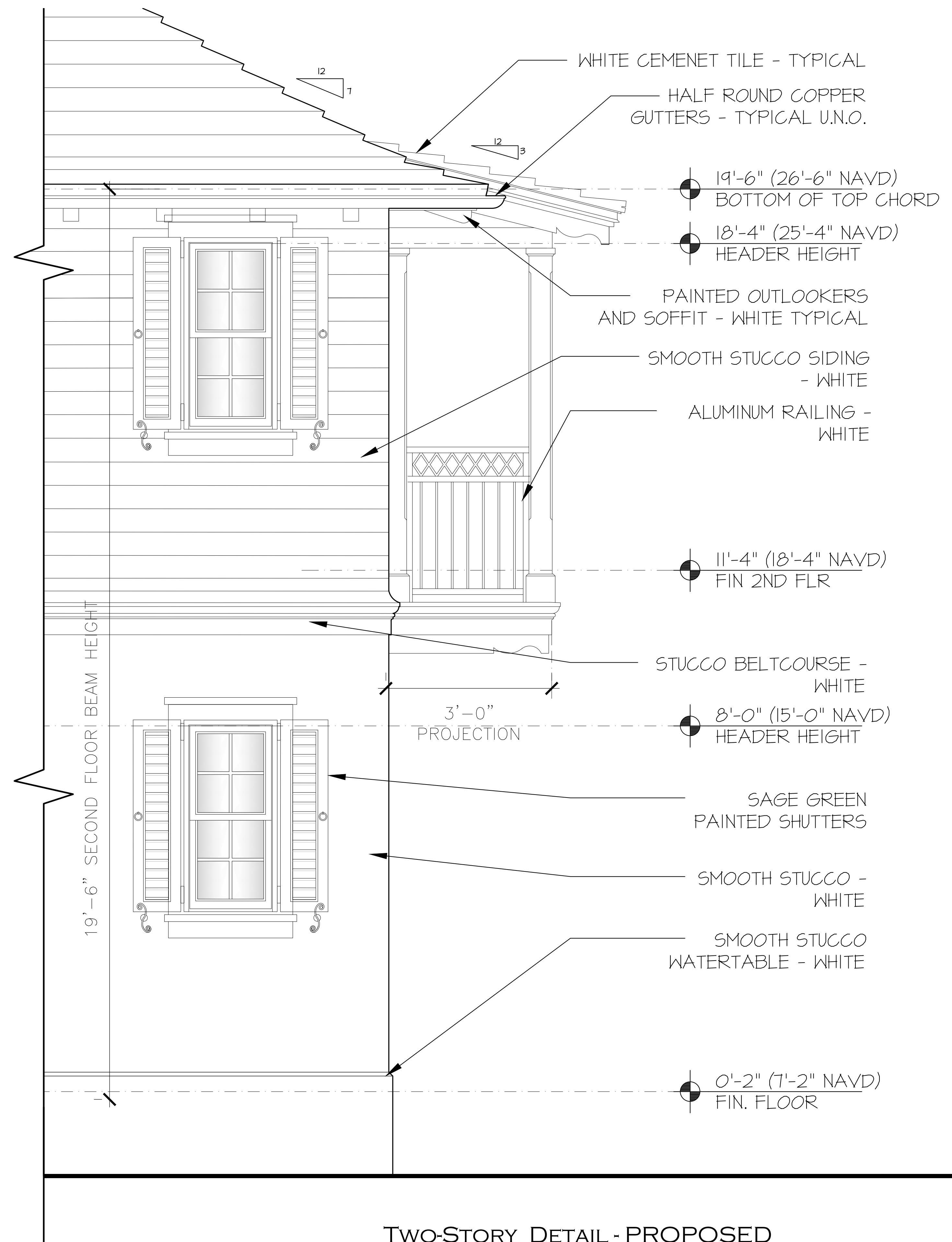
DRAWING NO.

D1.01

JOB NUMBER: 23-104



TWO-STORY DETAIL - PREVIOUS
SCALE: 3/4"=1'-0"



TWO-STORY DETAIL - PROPOSED
SCALE: 3/4"=1'-0"

PROPOSED RESIDENCE AT:

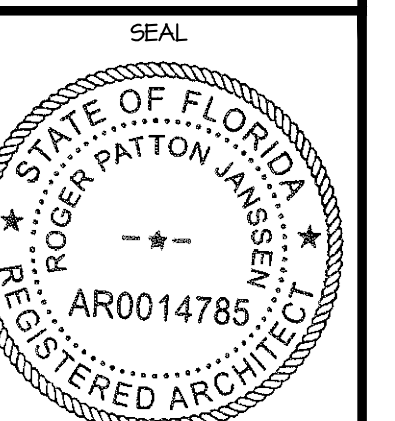
206 CARIBBEAN ROAD
PALM BEACH, FLORIDA

DAILEY JANSSEN ARCHITECTS
PALM BEACH, FLORIDA
400 CLEVELAND STREET, SUITE 200, WEST PALM BEACH, FLORIDA 33401, TEL: 561-833-4101, LICENSE #AA-C00174

DATE: 07.11.2023
DRAWN: L&J
REVISIONS:

.....

©COPYRIGHT 2022 DAILEY
JANSSEN ARCHITECTS, P.A.
ALL RIGHTS RESERVED.



ROGER P. JANSSEN AR-14785
ARCOM # ARC-23-090
TC # ZON-23-068

DRAWING NO.

D1.02

JOB NUMBER: 23-104