

FINAL SUBMITTAL FOR
PROPOSED RENOVATIONS AND ALTERATIONS AT:

SEPTEMBER 27th, 2023
ARC-23-124

111 REEF RD
PALM BEACH, FLORIDA

RECEIVED

By yfigueroa at 1:08 pm, Aug 15, 2023



TRALONGO & TAYLOR - ARCHITECTURE + DESIGN

435 SOUTHERN BLVD.

WEST PALM BEACH, FLORIDA 33405

TEL: 561-659-3134

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PROJECT DESCRIPTION

Please find in this booklet a presentation for proposed renovations and alterations at 111 Reef Road

Proposed amendments to the existing residence and the site are as follows:

- Extend the Foyer to replace the covered entry
- Replace all windows and doors with simulated divided light windows and doors
- Add light blue louvered shutters throughout
- Change house paint color from light blue to white
- Replace the metal roof with a light gray concrete tile

South Elevation Alterations:

- Replace and redesign garage doors- painted white finish
- Remove the covered entry and extend the Foyer
- Replace front door with radius bleached Mahogany door
- Move window and door on second floor balcony to center on columns
- Add window to second floor balcony
- Replace and redesign railing

North Elevation Alterations:

- Add new window to second floor Master Bath
- Reconfigure windows in existing locations
- New Loggia design in existing Loggia footprint
- New fireplace and Chimney in Loggia

West Elevation Alterations:

- Delete window in Kitchen
- Move door in Kitchen
- New Loggia design in existing Loggia footprint
- New fireplace and Chimney in Loggia
- Delete window in second floor master bath
- New window in Foyer extension

East Elevation Alterations:

- Replace windows in existing locations
- New railing design

Site Alterations:

- New Hardscape and Landscape throughout
- New Pool with fountains
- New site walls and light blue gates to match shutters
- New 27kw generator

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WEST PALM BEACH, FLORIDA 33405

RENOVATIONS TO
111 REEF RD
PALM BEACH, FLORIDA

SHEET TITLE
DRAWING INDEX
SCALE
AS NOTED
DATE
July 31, 2023
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MEGHAN FORD



PAGE NO.
2



MAP OF PALM BEACH



AREA OF DETAIL MAP



NEIGHBORING PROPERTY MAP



STREETSCAPE ELEVATION



1420 N OCEAN BLVD.



119 REEF RD.



127 REEF RD.



130 REEF RD.



135 REEF RD.



136 REEF RD.



143 REEF RD.



144 REEF RD.



151 REEF RD.



152 REEF RD.



153 REEF RD.

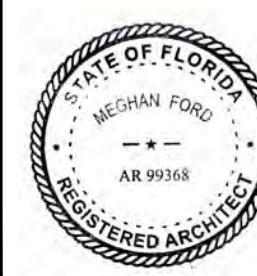


160 REEF RD.

TRALONGO & TAYLOR
435 SOUTHERN BLVD.
WEST PALM BEACH, FLORIDA 33405

RENOVATIONS TO
111 REEF RD
PALM BEACH, FLORIDA

SHEET TITLE
NEIGHBORING PROPERTY
PHOTOS
SCALE
AS NOTED
DATE
July 31, 2023
DRAWN BY
MEGHAN FORD

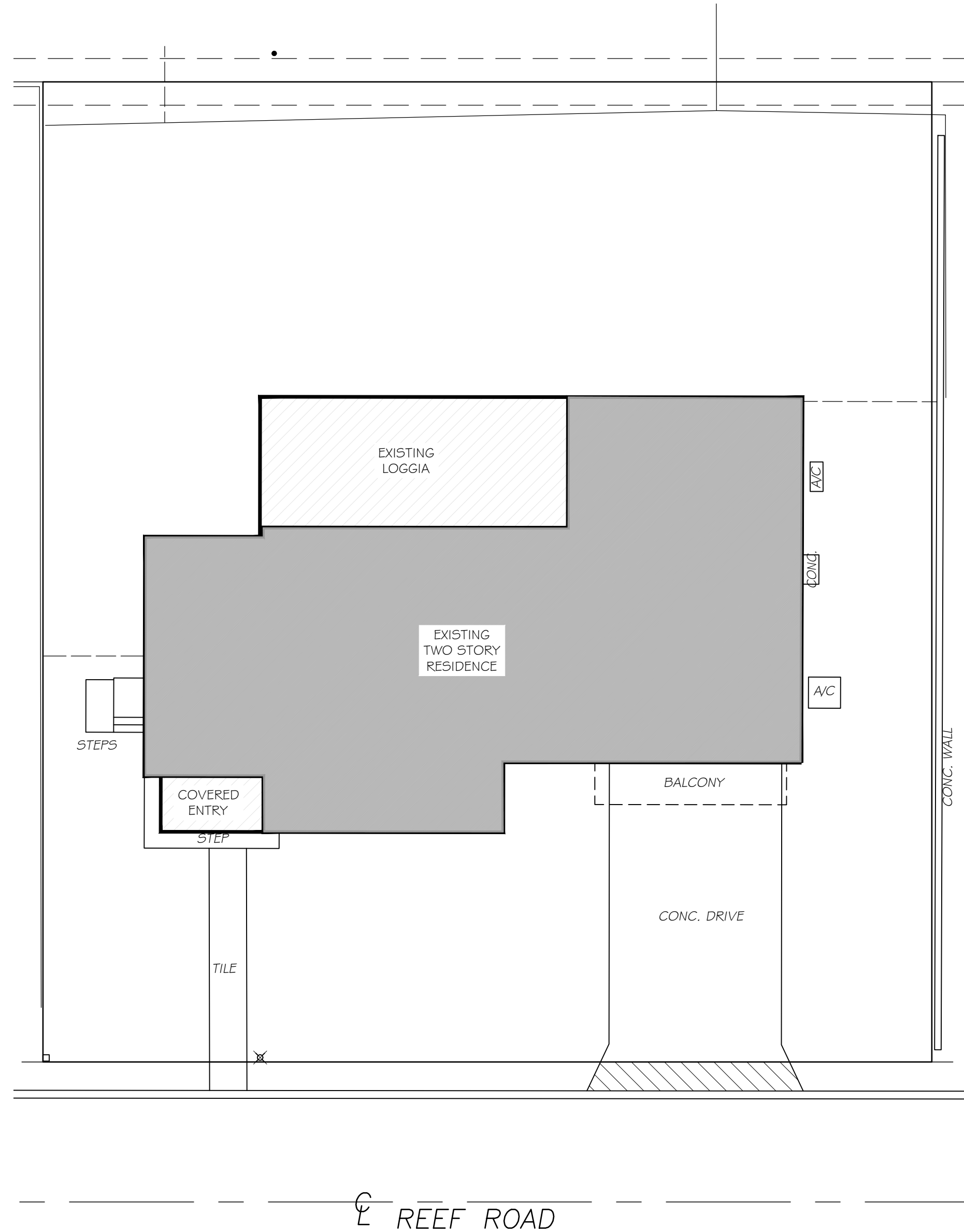


NORTH ELEVATION



SOUTH ELEVATION

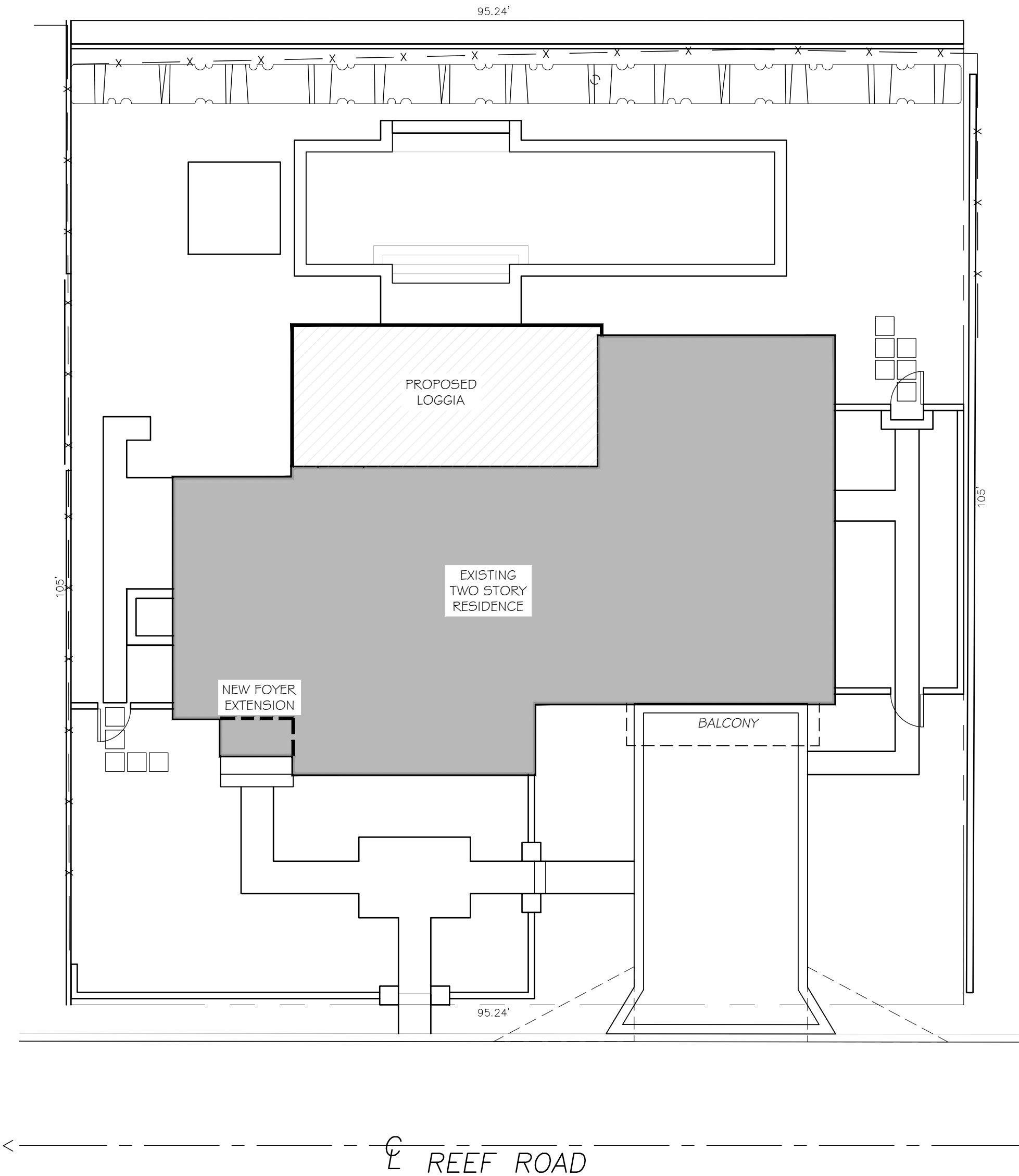
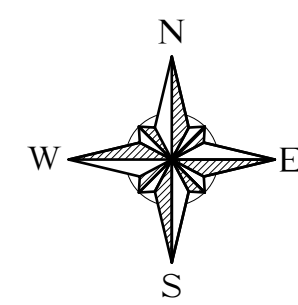




Existing Site Plan

Scale

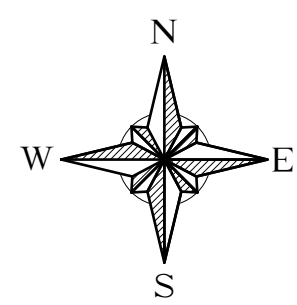
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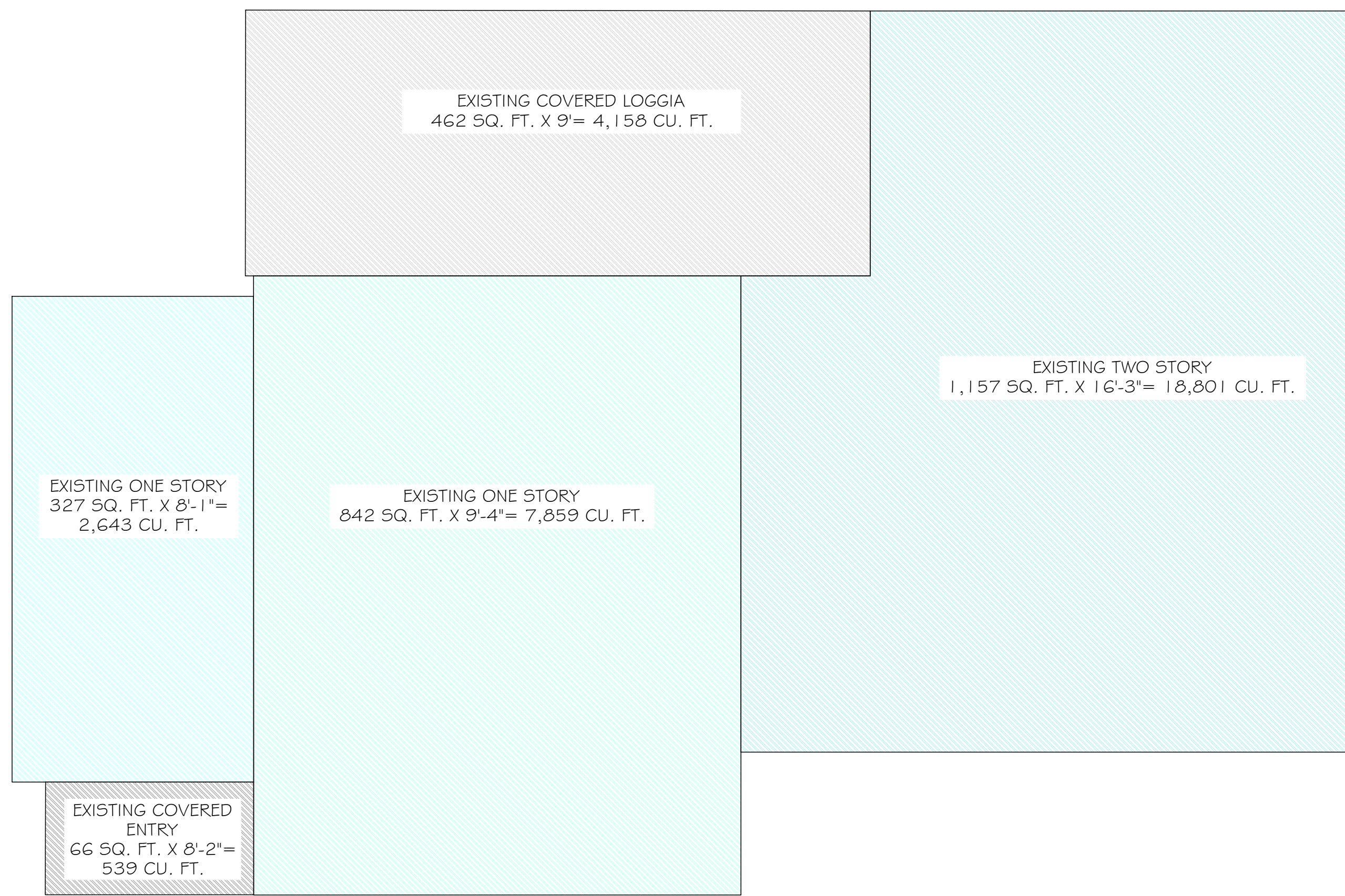
Proposed Site Plan

Scale

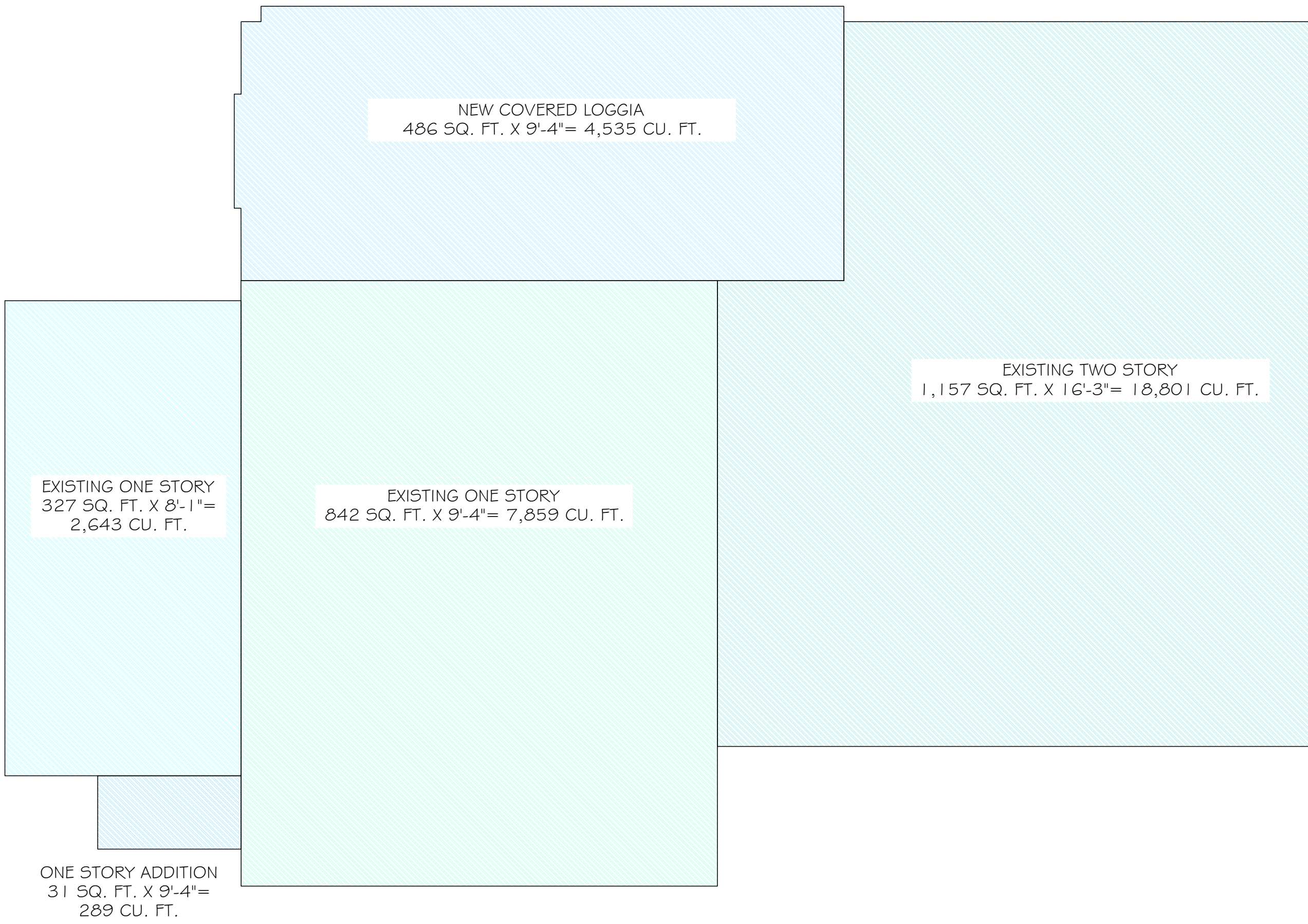
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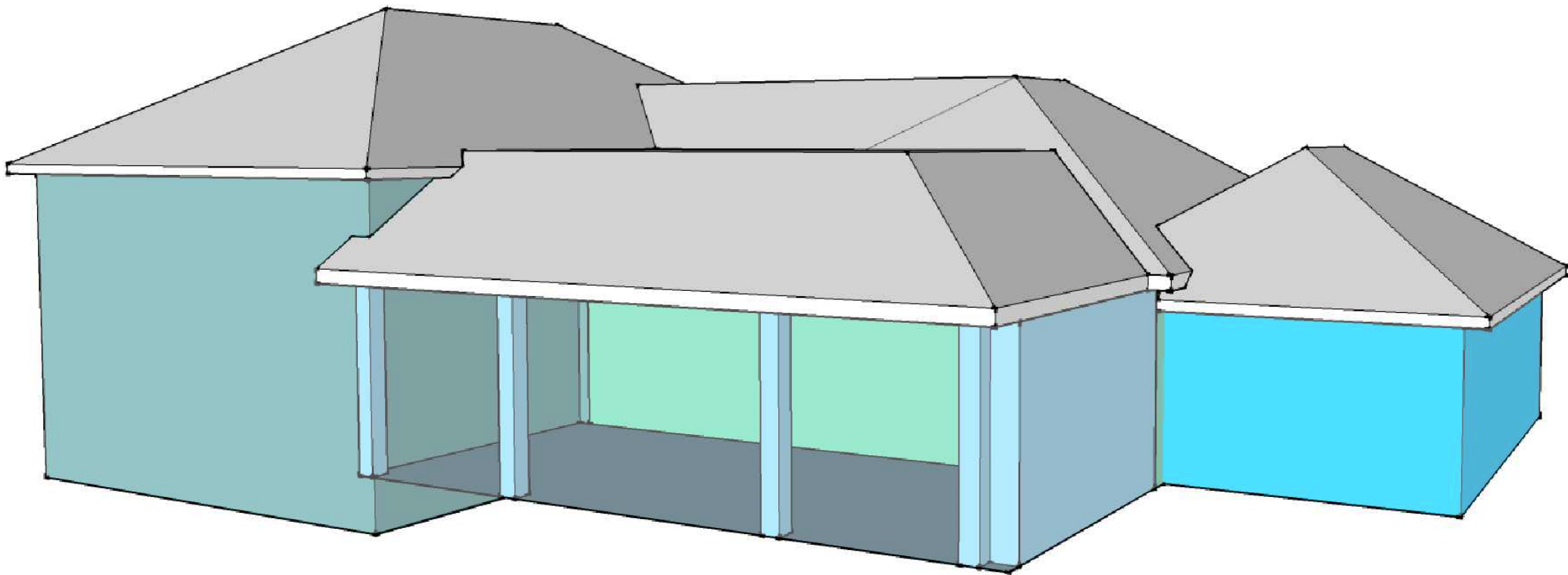
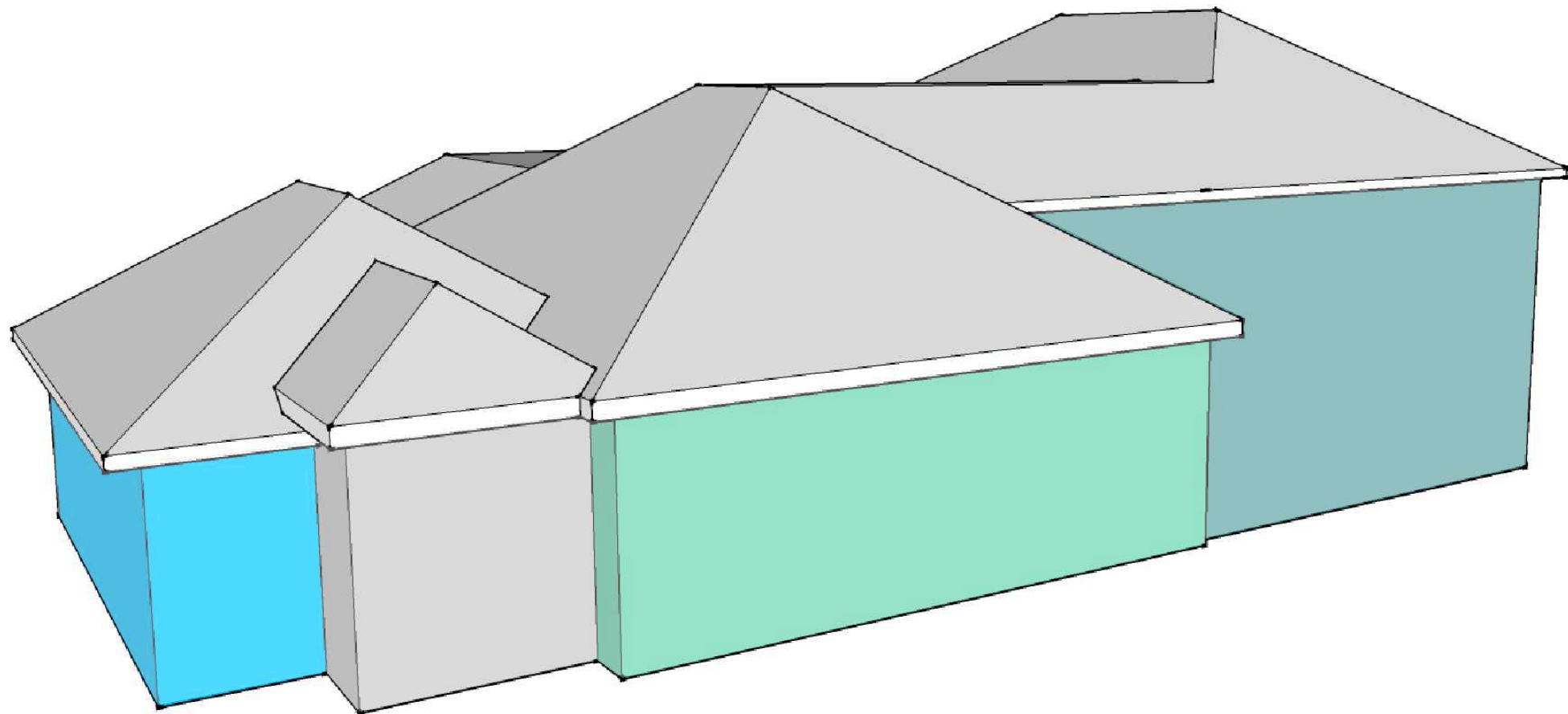
LOT COVERAGE ANALYSIS		
ALLOWABLE LOT COVERAGE FOR TWO STORY STRUCTURE = 30%		
LOT AREA= 10,000.2 SF		
ALLOWABLE LOT COVERAGE = 3,000 SF		
	EXISTING SF	PROPOSED SF
ENCLOSED AREA	2,326 SF	2,357 SF
UNENCLOSED LOGGIA / PORCH	528 SF	486 SF
TOTAL LOT COVERAGE	2,854 SF (28.5%)	2,843 SF (28.4%)



Existing CCR



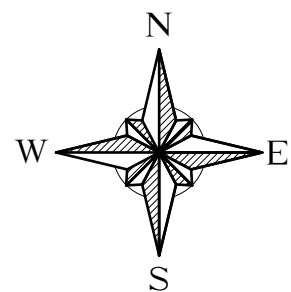
Proposed CCR



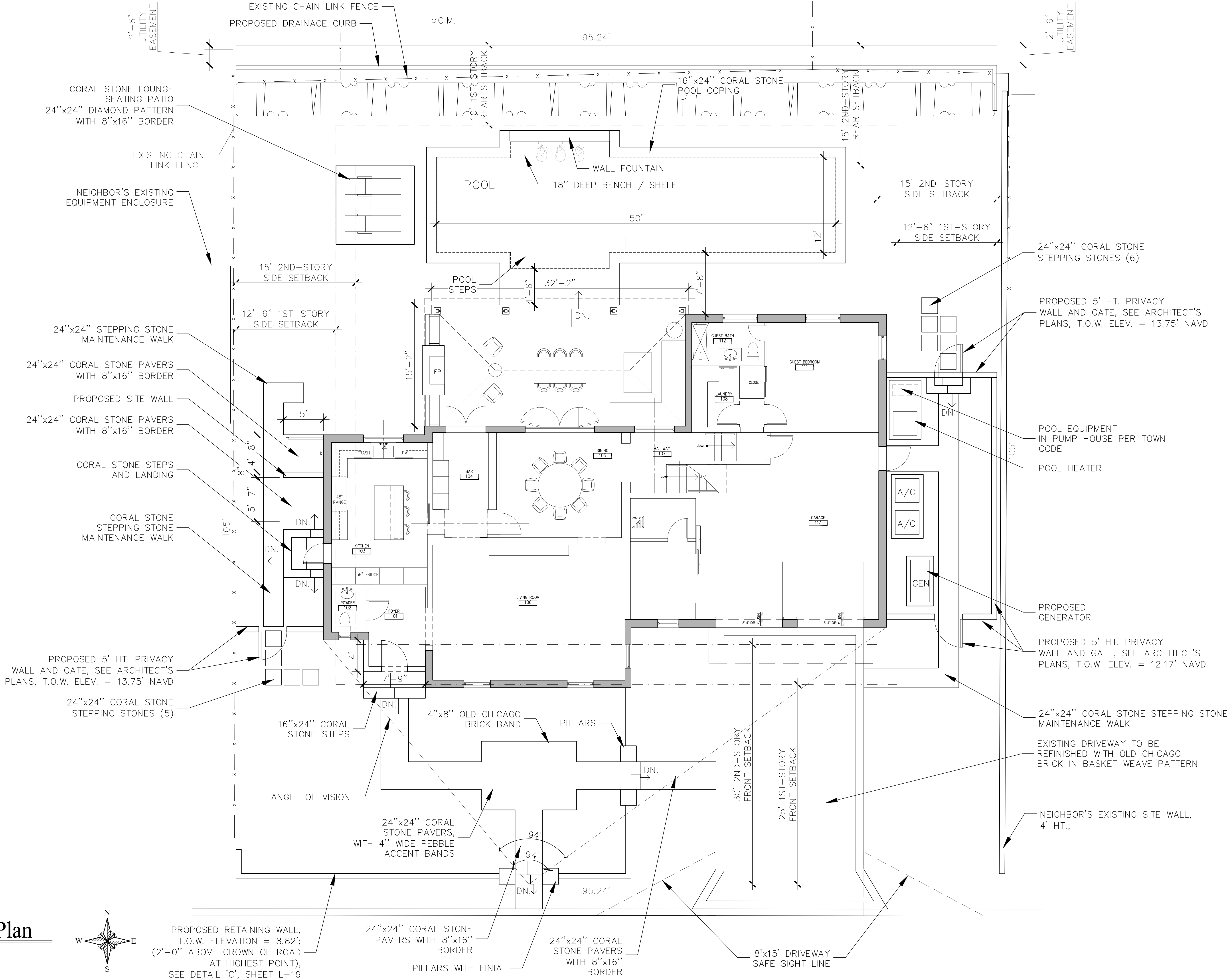
CCR			
MAX ALLOWABLE CCR:		3.5 + {[(60,000-10,000.2) / 50,000] X 0.5 } = 3.99 CCR	
MAX ALLOWABLE CUBIC FEET:		3.99 X 10,000.2 = 39,900 CU. FT.	
	MAX ALLOWABLE	EXISTING CUBIC FEET	PROPOSED CUBIC FEET
MAIN HOUSE / UNDER AIR	39,900 CU. FT.	29,303 CU. FT.	29,592 CU.FT.
COVERED LOGGIA	5% = 1,995 CU. FT.	4,158 CU.FT	4,697 CU.FT. - 1,995 CU.FT = 2,702 CU.FT.
COVERED ENTRY		539 CU.FT	4,535 CU.FT. - 1,995 CU.FT. = 2,540 CU.FT.
TOTAL CCR	C.C.R. = 3.99	C.C.R. = 3.2 (29,303 + 2,702 = 32,005 C.F. / 10,000.2 SQ. FT.)	C.C.R. = 3.21 (29,592 + 2,540 = 32,132 C.F. / 10,000.2 SQ. FT.)

Proposed Site Plan

Scale 3/16" = 1' - 0"



PROPOSED RETAINING WALL,
T.O.W. ELEVATION = 8.82';
(2'-0" ABOVE CROWN OF ROAD
AT HIGHEST POINT),
SEE DETAIL 'C', SHEET L-19



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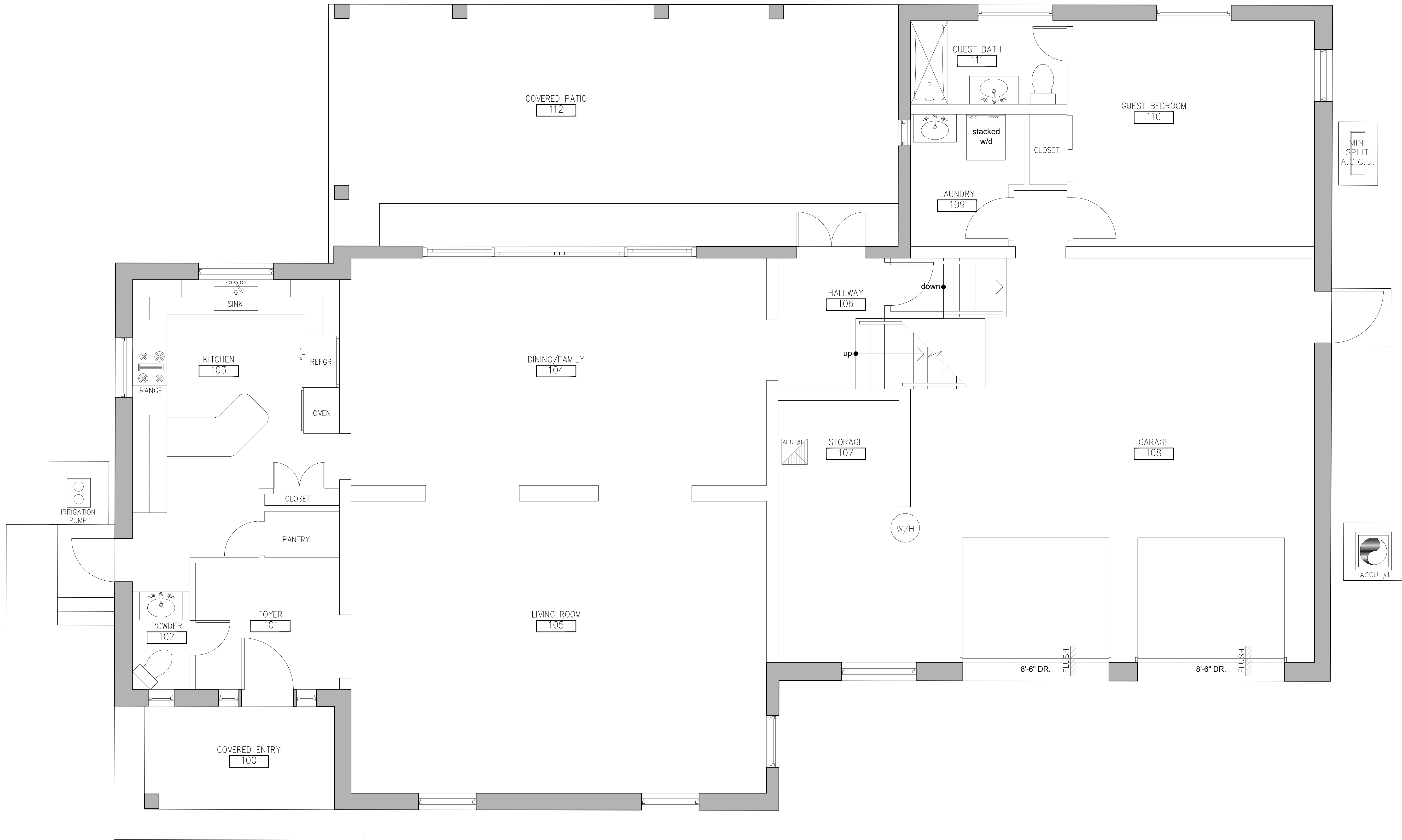
RENOVATIONS TO
111 REEF RD
PALM BEACH, FLORIDA

PROPOSED SITE PLAN



PAGE NO.

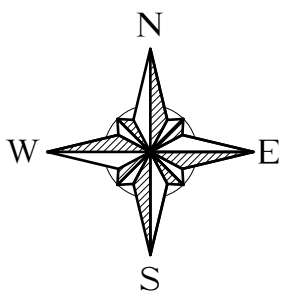
11



Existing 1st Floor Plan

Scale

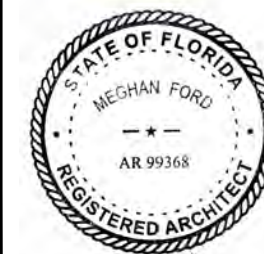
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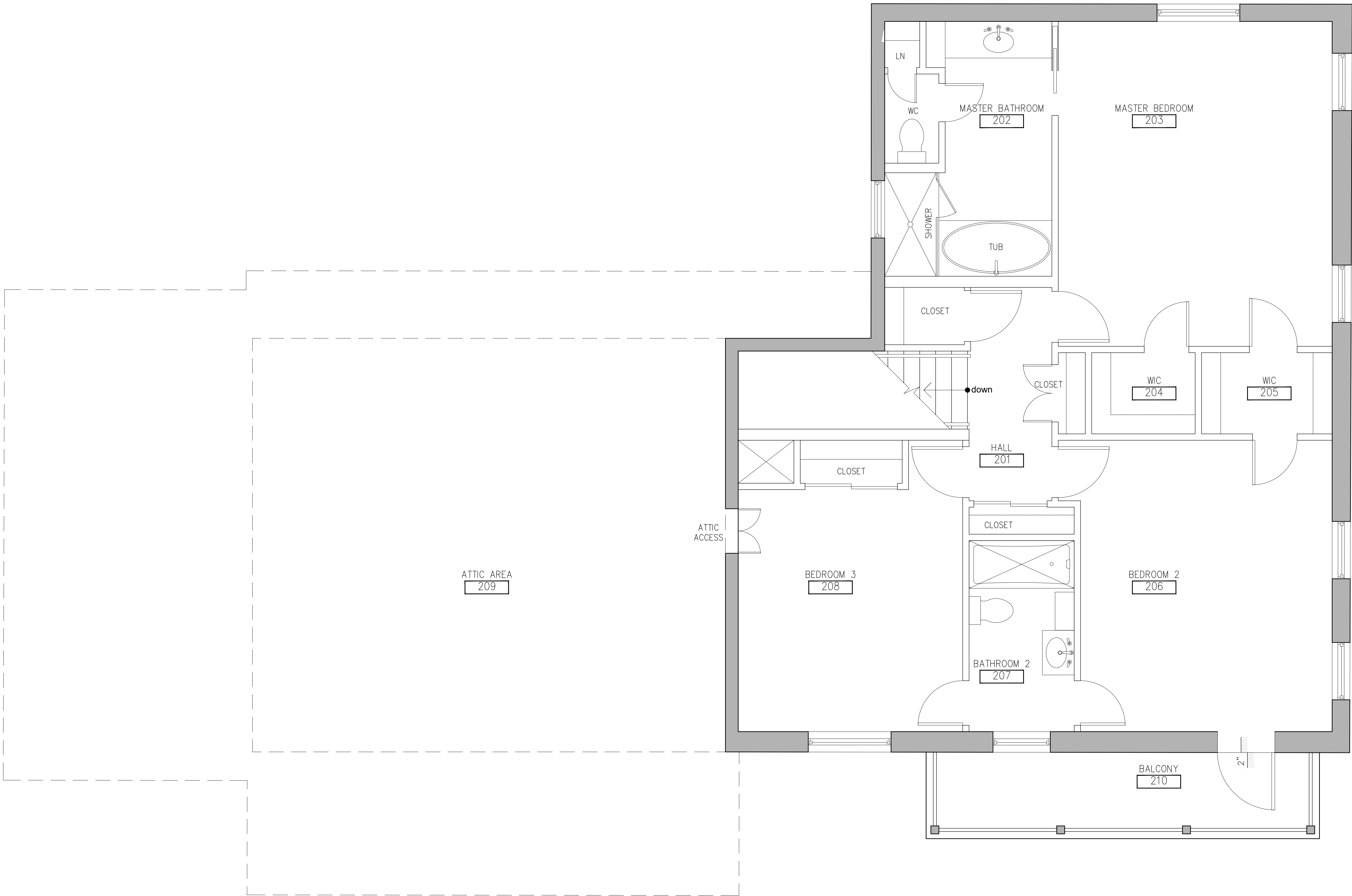
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WEST PALM BEACH, FLORIDA 33405

RENOVATIONS TO
111 REEF RD
PALM BEACH, FLORIDA

SHEET TITLE
EXISTING 1ST FLOOR PLAN
SCALE
AS NOTED
DATE
July 31, 2023
DRAWN BY
MEGHAN FORD



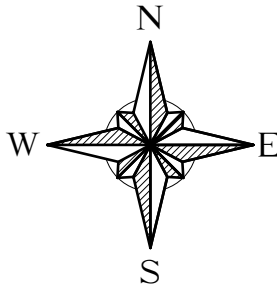
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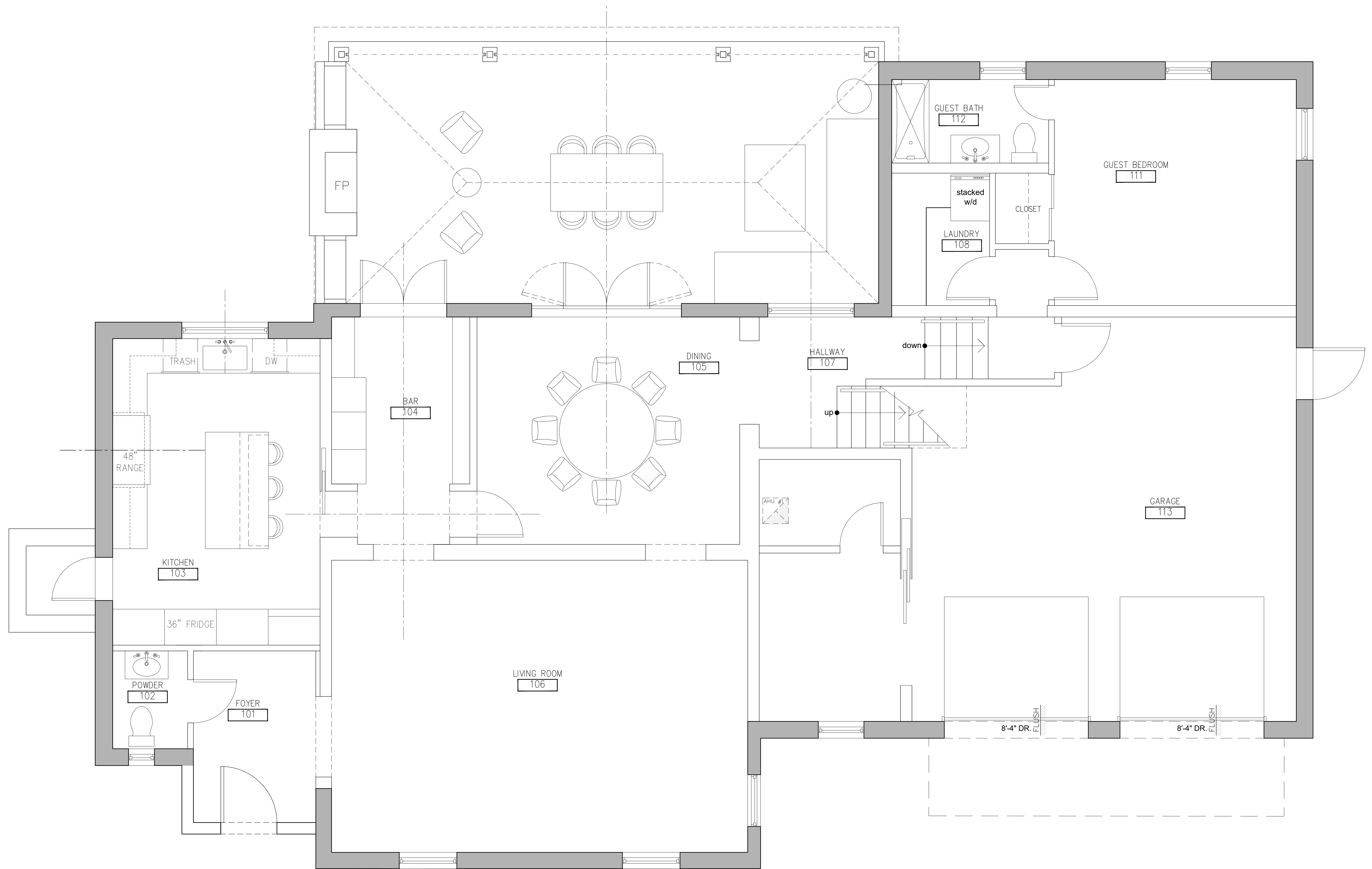
Existing 2nd Floor Plan

Scale

3/8" = 1' - 0"



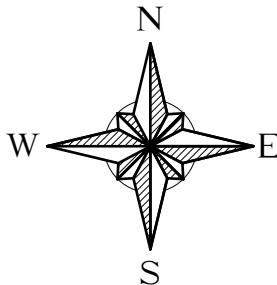
TRALONGO & TAYLOR 435 SOUTHERN BLVD. WEST PALM BEACH, FLORIDA 33405		RENOVATIONS TO 111 REEF RD PALM BEACH, FLORIDA	
SHEET TITLE EXISTING 2ND FLOOR PLAN		DATE July 31, 2023	DRAWN BY MEGHAN FORD
SEAL 		SCALE AS NOTED	PAGE NO. 13

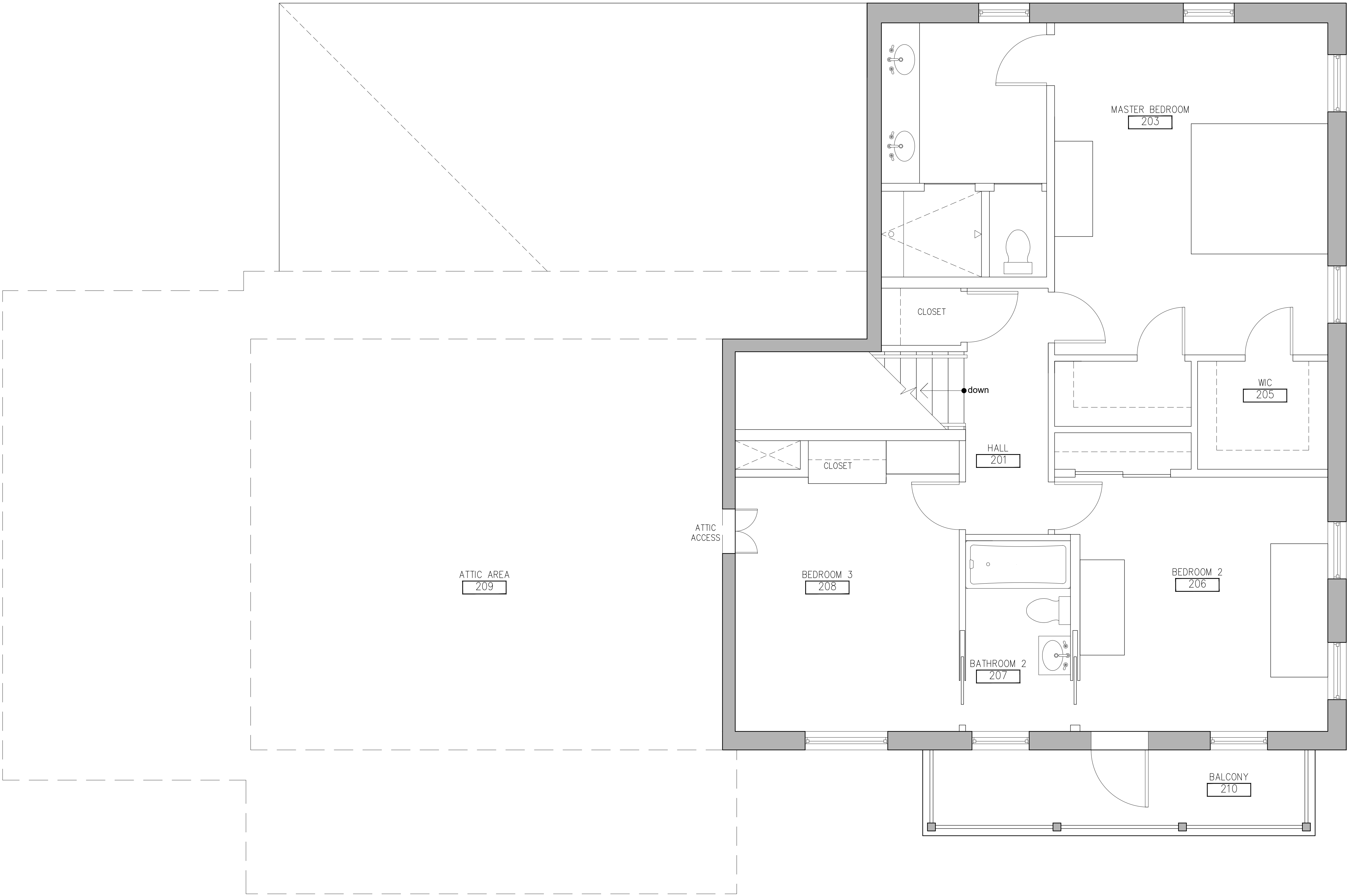


Proposed 1st Floor Plan

Scale

3/8" = 1' - 0"

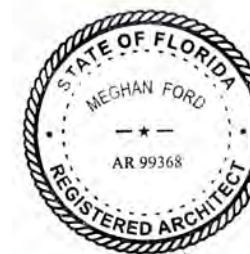
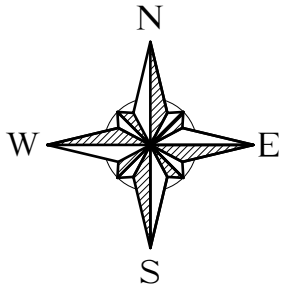


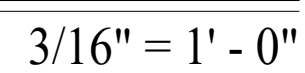


Proposed 2nd Floor Plan

Scale

3/8" = 1' - 0"





Scale



95.24'

95.24'

[illegible]

PROPOSED ROOF PLAN

SCALE	DATE	DRAWN BY
AS NOTED	July 31, 2023	MEGHAN FORD

DATE	July 31, 2023
------	---------------

DRAWN BY
MEGHAN P.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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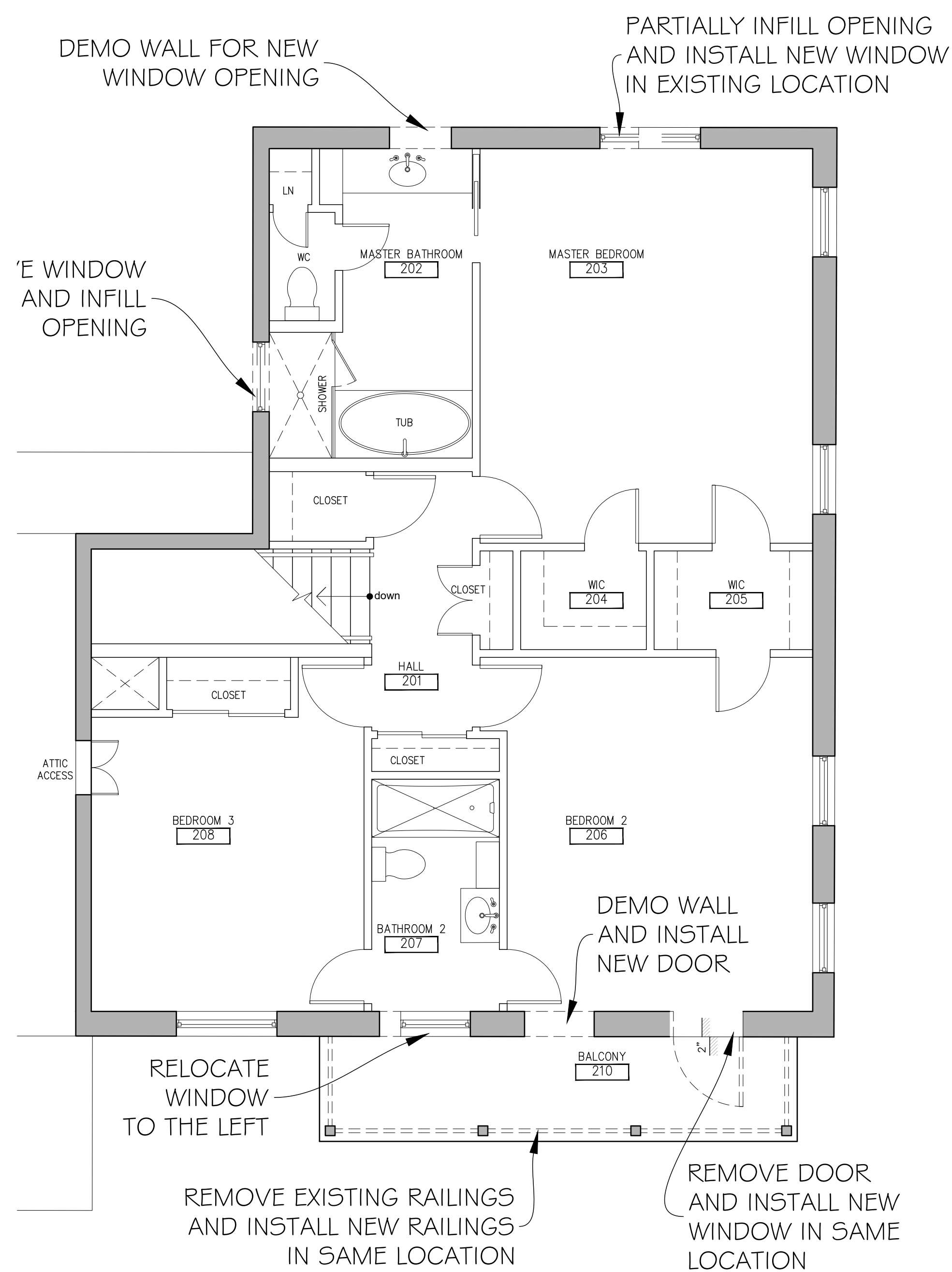
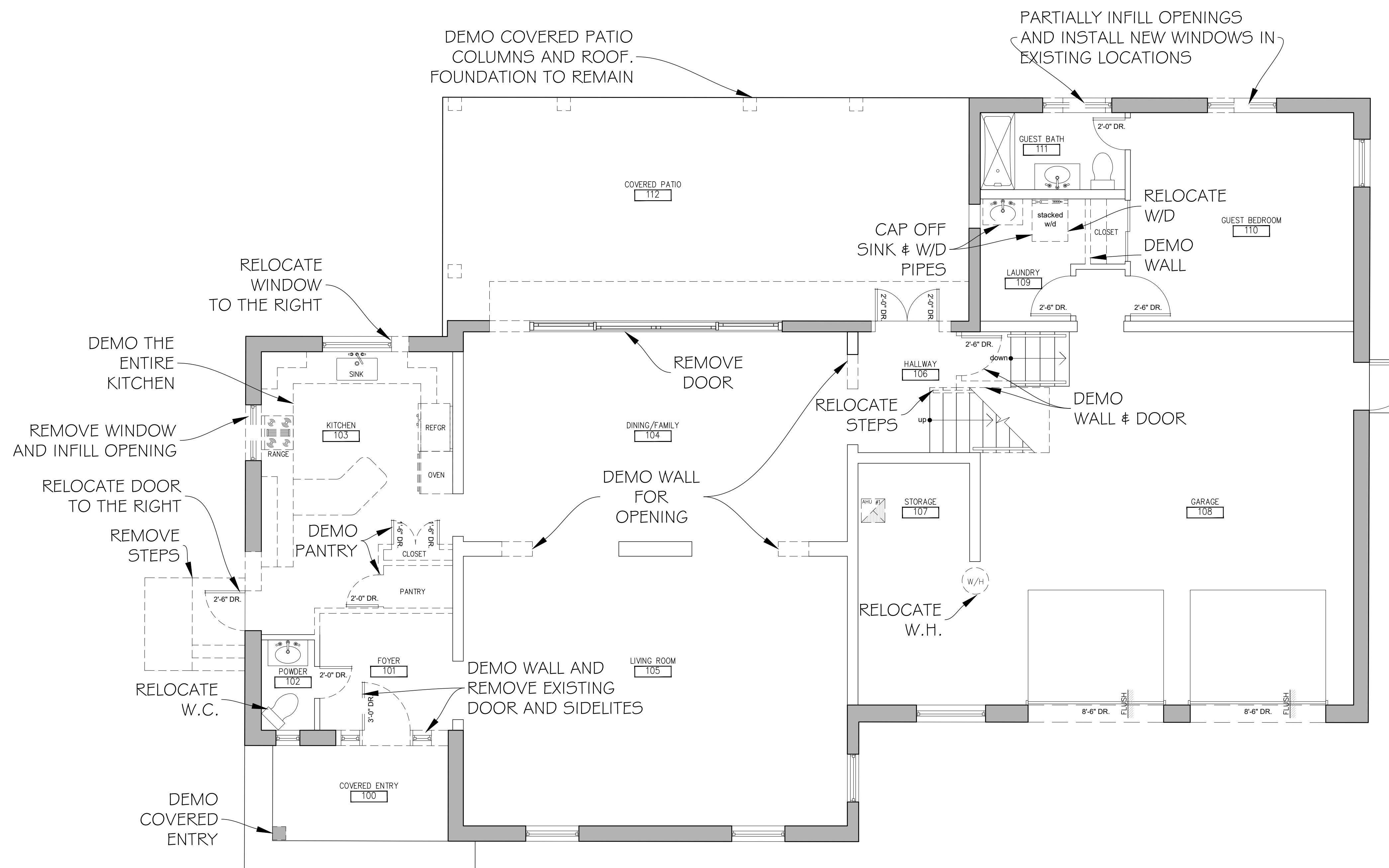


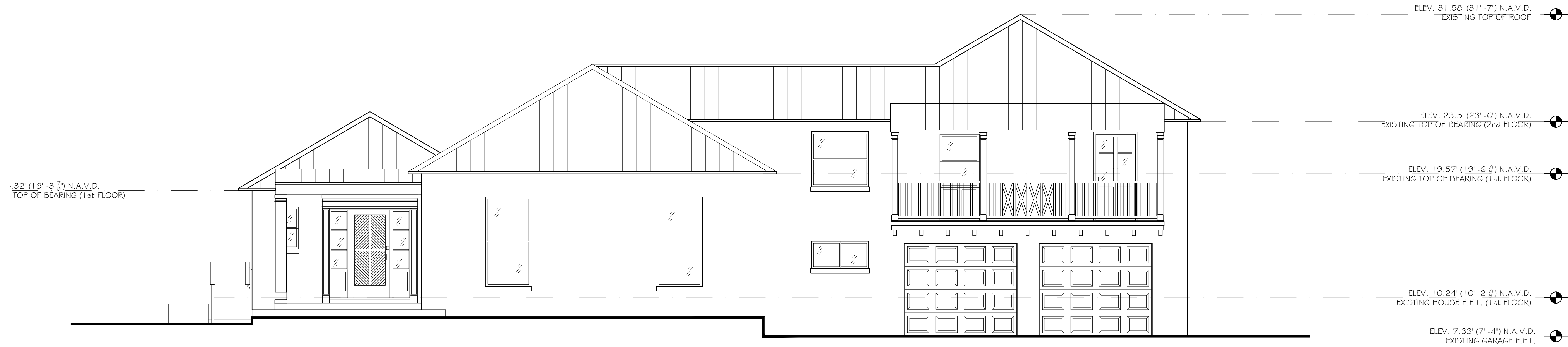
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RENOVATIONS TO
111 REEF RD
PALM BEACH, FLORIDA

TRALONGO & TAYLOR
435 SOUTHERN BLVD.
WEST PALM BEACH, FLORIDA 33405





Existing South Elevation

Scale

1/4" = 1' - 0



Proposed South Elevation

Scale

1/4" = 1' - 0



Existing North Elevation

Scale 1/4" = 1' - 0



Proposed North Elevation

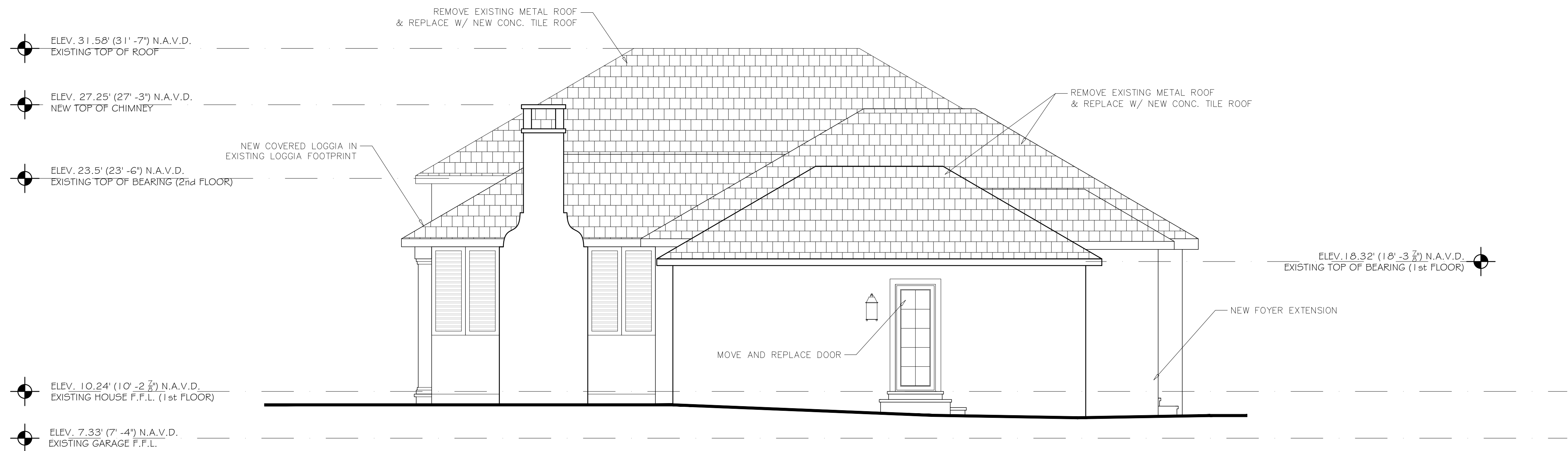
Scale 1/4" = 1' - 0



Existing West Elevation

Scale

1/4" = 1' - 0



Proposed West Elevation

Scale

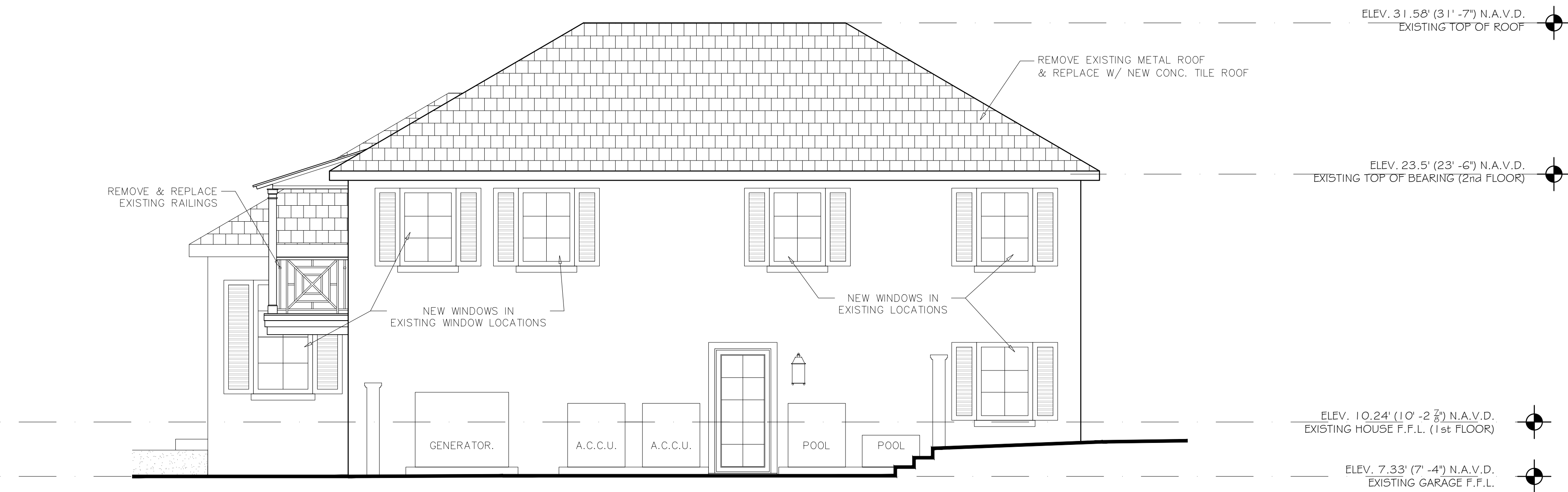
1/4" = 1' - 0



Existing East Elevation

Scale

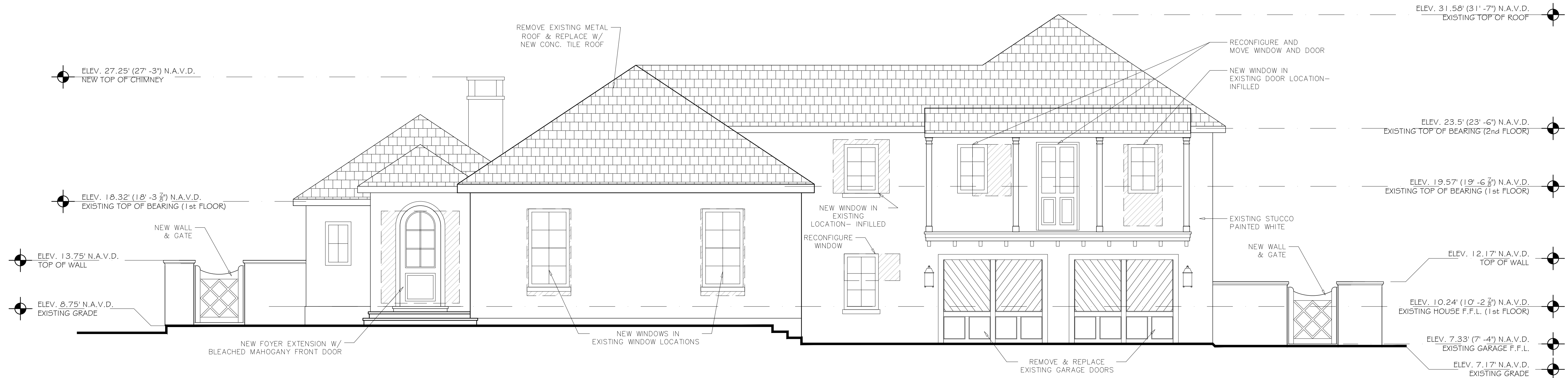
1/4" = 1' - 0



Proposed East Elevation

Scale

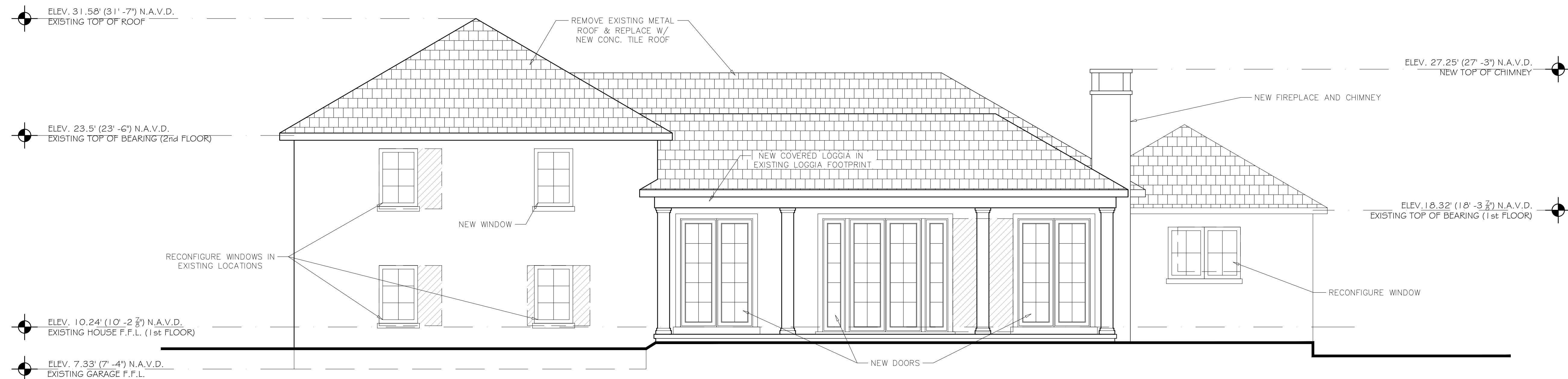
1/4" = 1' - 0



South Elevation Demolition

Scale

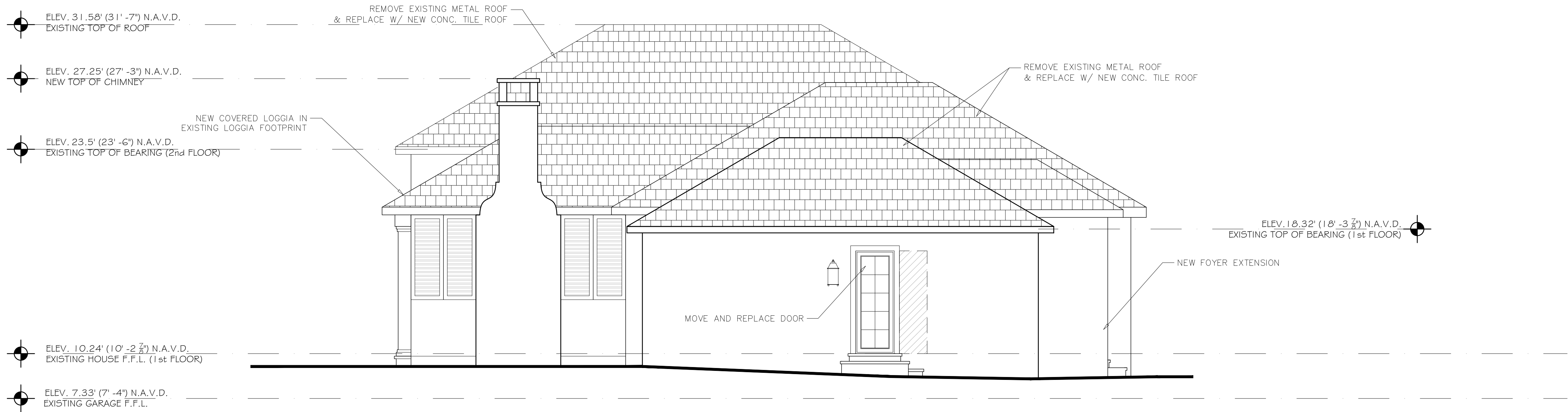
1/4" = 1' -0



North Elevation Demolition

Scale

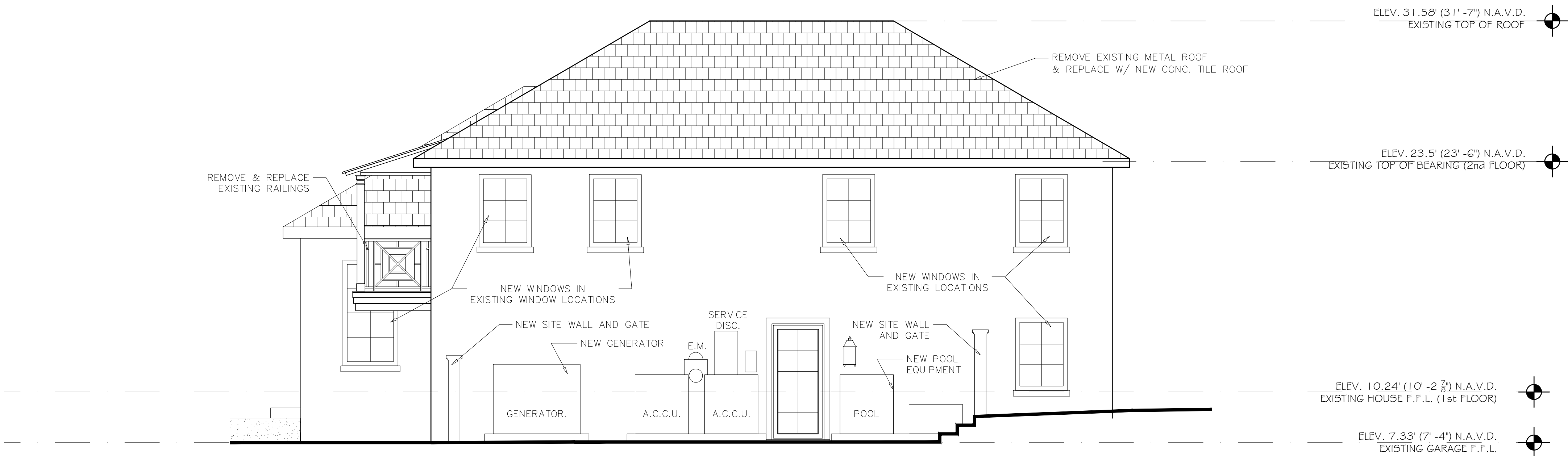
1/4" = 1' -0



West Elevation Demolition

Scale

1/4" = 1' -0



East Elevation Demolition

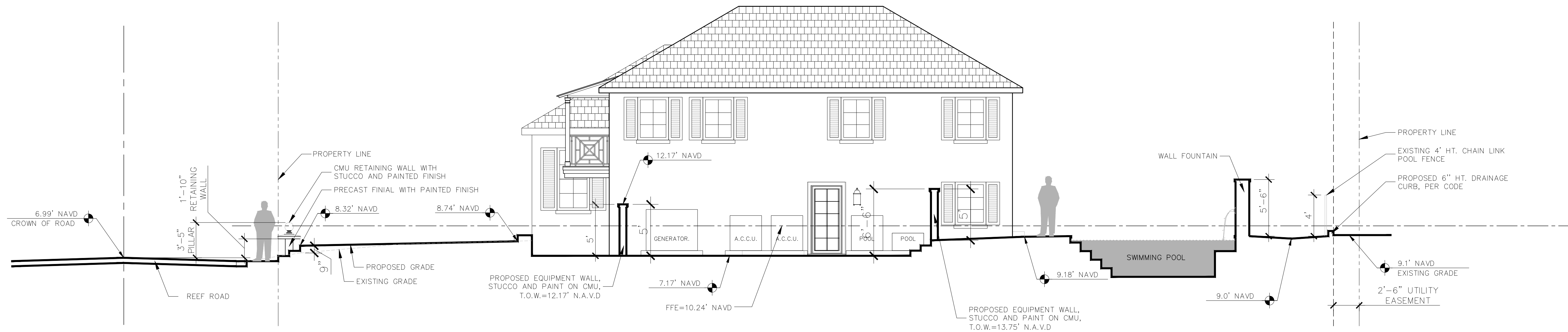
Scale

1/4" = 1' -0



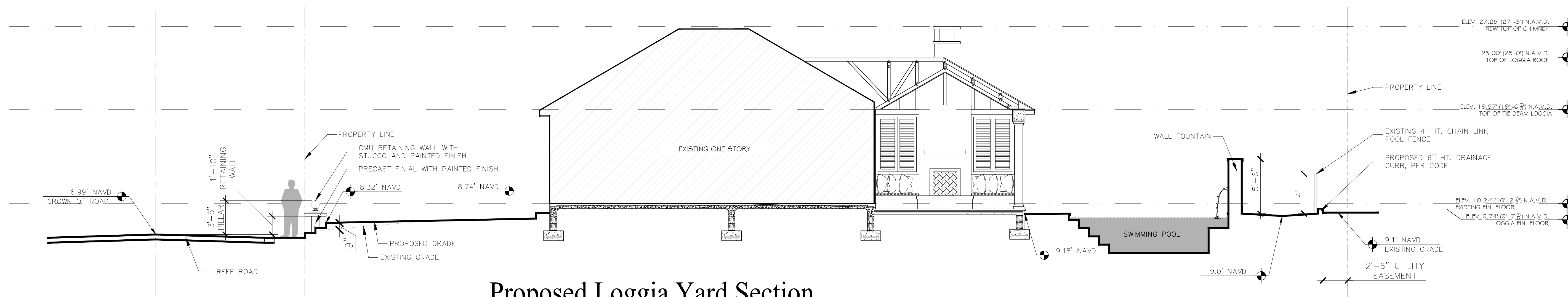
Front Yard Section

Scale 3/16" = 1'-0



East Utility Yard Section

Scale 3/16" = 1'-0



Proposed Loggia Yard Section

Scale 3/16" = 1'-0



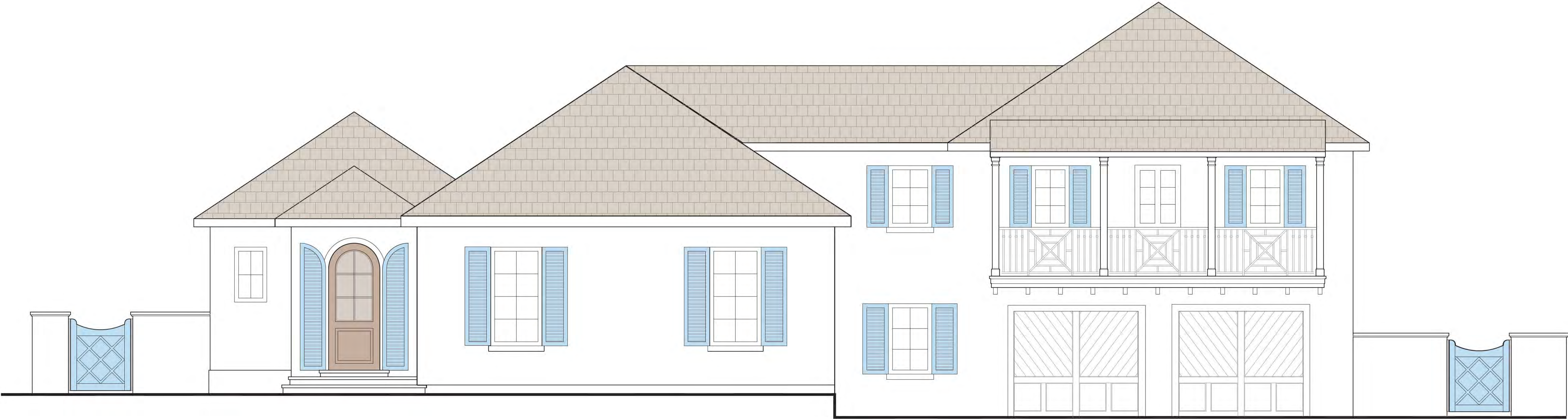
SOUTH RENDERING



NORTH RENDERING

PAINTED STUCCO HOUSE- CHANTILLY LACE

WARM GRAY CEMENT ROOF TILES



PAINTED WOOD GATES-
JAMES RIVER GRAY 50%

BLEACHED MAHOGANY
FRONT DOOR

PAINTED WOOD SHUTTERS-
JAMES RIVER GRAY 50%

PAINTED STUCCO SITE WALLS AND WALL CAPS
TO MATCH THE HOUSE- CHANTILLY LACE

MATERIAL AND FINISH SELECTIONS



BLEACHED MAHOGANY
FRONT DOOR FINISH



JAMES RIVER GRAY AC-23
LOUVERED SHUTTERS AND GATE FINISH

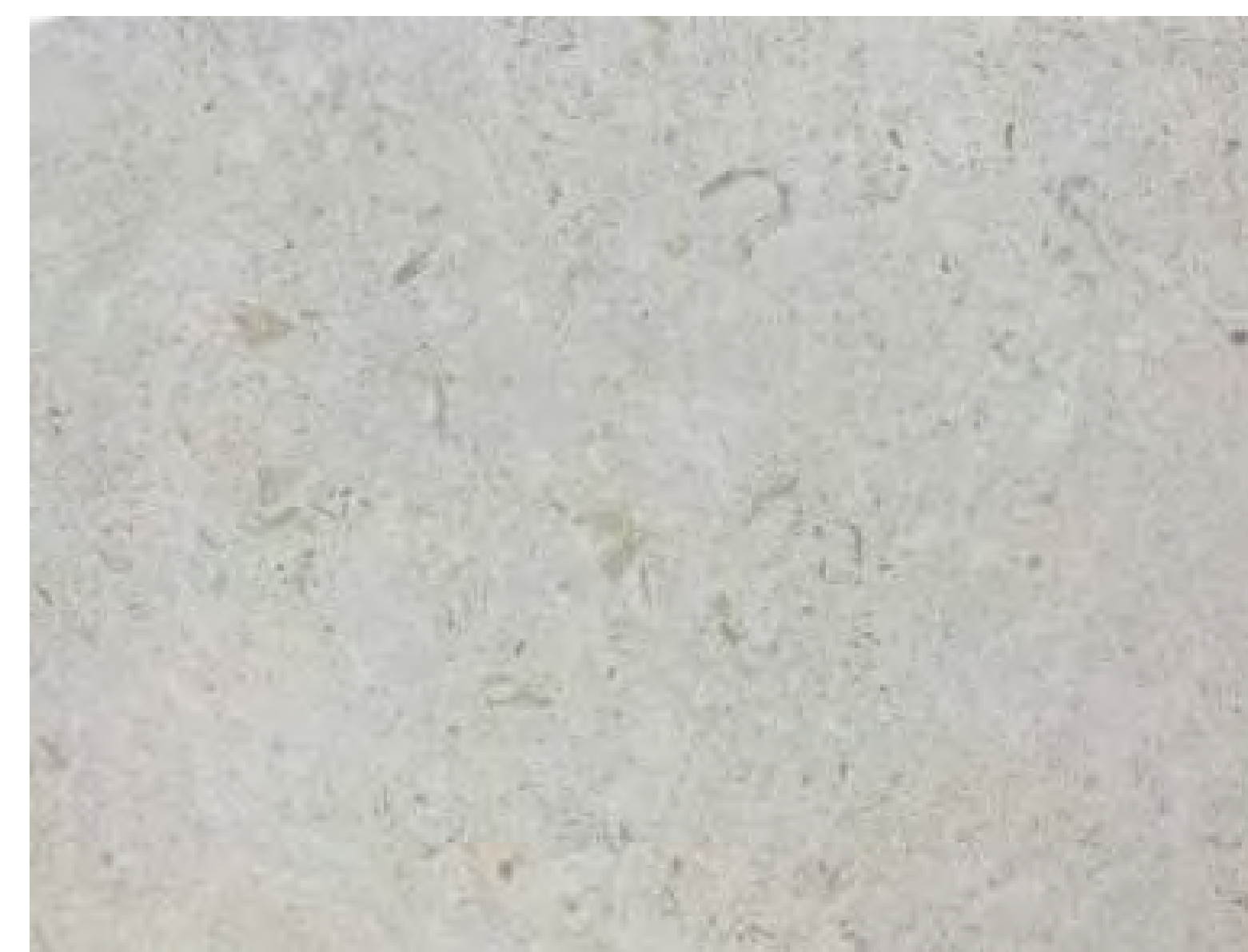


CORAL STONE PAVERS- HARDSCAPE



OLD CHICAGO BRICK PAVERS

DRIVEWAY FIELD AND ENTRY HARDSCAPE BORDER



ST. CROIX LIMESTONE PAVERS

LOGGIA FLOOR MATERIAL

MATERIAL AND FINISH SELECTIONS

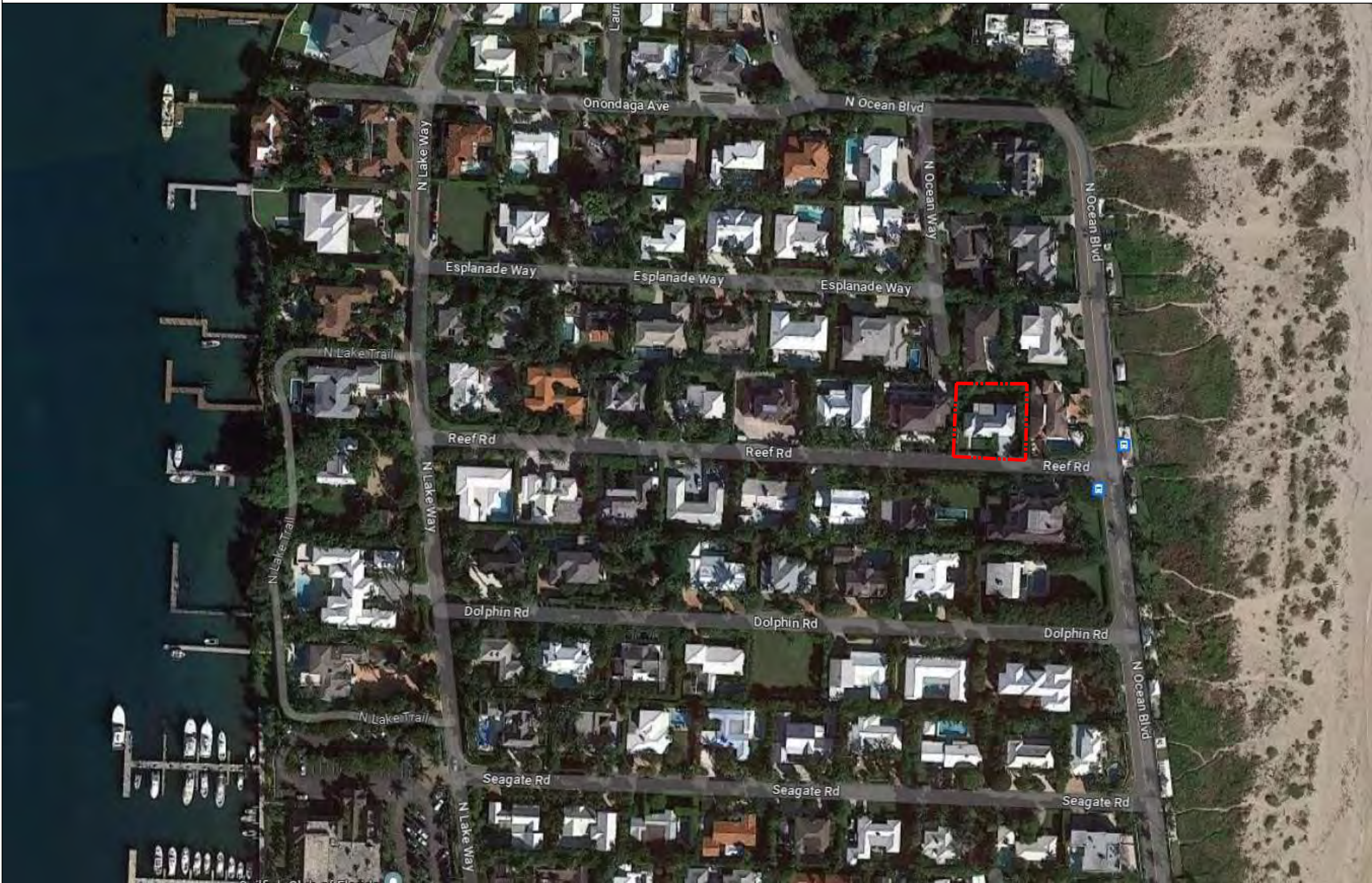
111 REEF ROAD
PALM BEACH, FLORIDA
ARC-23-124

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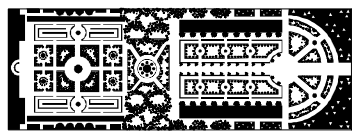
LANDSCAPE / HARDSCAPE / LIGHTING

L-1	LANDSCAPE/HARDSCAPE COVER SHEET
L-2	EXISTING CONDITIONS AND LANDSCAPE/HARDSCAPE DEMOLITION PLAN
L-3	EXISTING SITE PHOTOGRAPHS
L-4	EXISTING SITE PHOTOGRAPHS
L-5	EXISTING SITE PHOTOGRAPHS
L-6	CONSTRUCTION SCREENING PLAN
L-7	CONSTRUCTION STAGING PLAN
L-8	TRUCK LOGISTICS PLAN
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L-16	PLANT LIST
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L-18	HARDSCAPE PLAN
L-19	HARDSCAPE DETAILS
L-20	LANDSCAPE OPEN SPACE DIAGRAM

SITE LOCATION MAP



111 REEF ROAD
PALM BEACH, FL 33480



PARKER-YANNETTE
design group, inc.

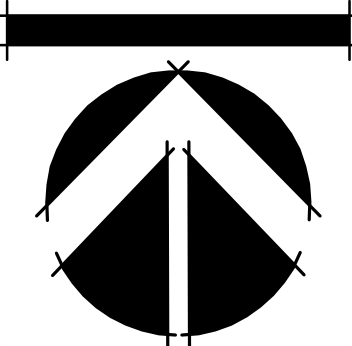
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
4425 Military Trail, Suite 202
Jupiter, Florida 33458

Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
LANDSCAPE/HARDSCAPE COVER PAGE

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
12/23 First Submittal
12/23 Second Submittal



SHEET:

L-1

ARC: 23-124

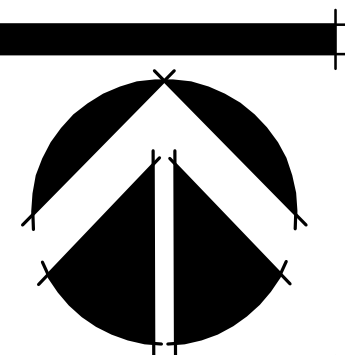


Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

RABIN-WINSLOW RESIDENCE
 1111 REEF ROAD
 PALM BEACH, FLORIDA

EXISTING CONDITIONS AND LANDSCAPE/HARDSCAPE DEMOLITION PLAN

REVISIONS:
1.13.23 First Submittal
1.31.23 Second Submittal



SHEET:

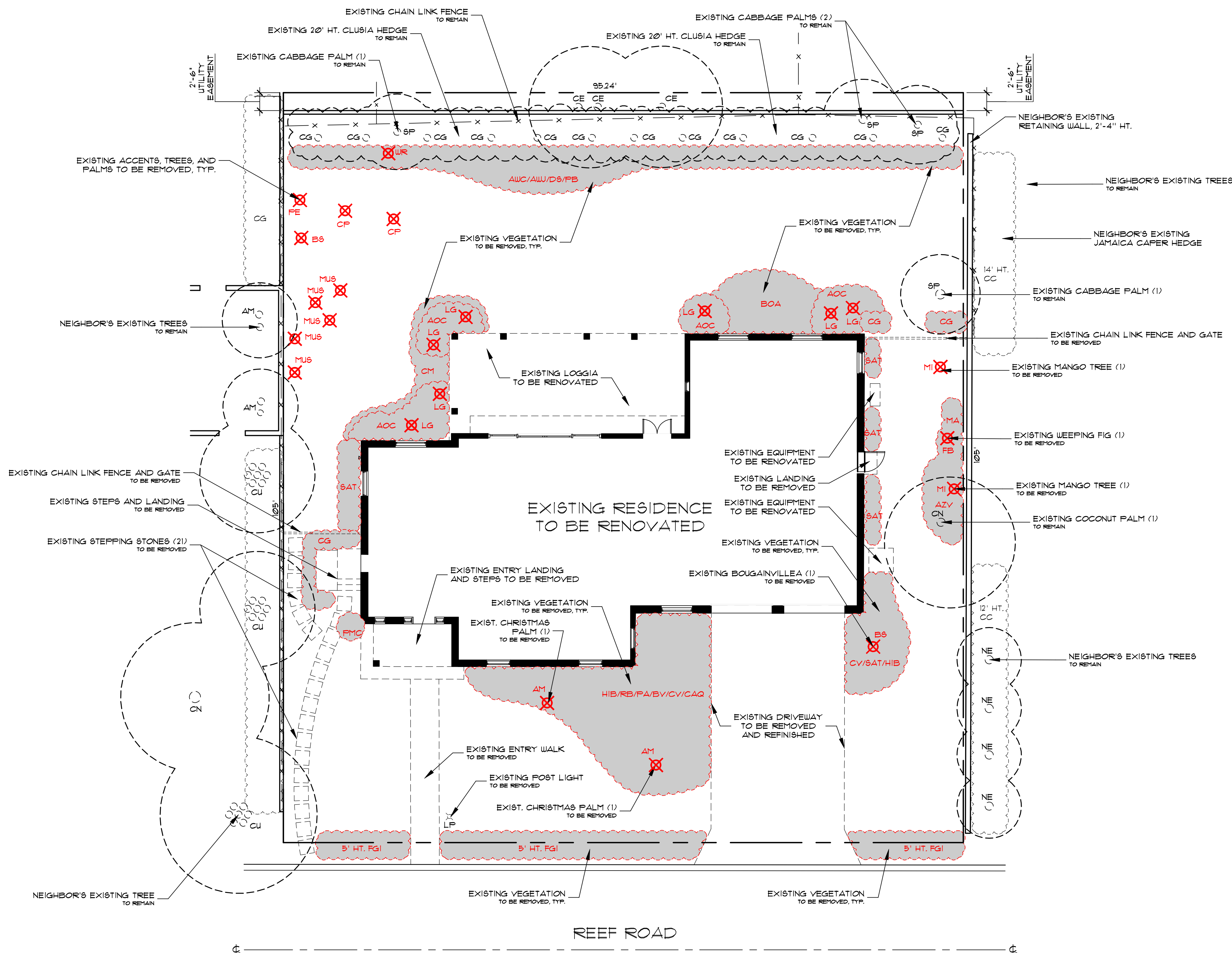
L-2

	Existing tree/palm to remain
	Existing tree/palm to be removed
	Existing vegetation to remain
	Existing vegetation to be removed

AM = *Azorella merrillii* / Christmas Palm
 AWC = *Acalypha wilkesiana* / 'Copperleaf'
 AWJ = *Acalypha wilkesiana* / 'Java White'
 AZV = *Alpinia zerumbet* 'Variegata' / Variegated Shell Ginger
 BOA = *Begonia odorata* 'Alba' / White Angel Wing Begonia
 BS = *Bougainvillea* standard
 BV = *Bougainvillea* shrub
 CAQ = *Crinum augustum* 'Queen Emma' / Queen Emma Crinum Lily
 CC = *Capparis cynophallophora* / Jamaica Caper
 CE = *Conocarpus erectus* / Green Buttonwood
 CG = *Clusia guttifera* / Small Leaf Clusia
 CM = *Carmona microphylla* / Fukien Tea
 CN = *Coccotheca nucifera* / Coconut Palm
 CV = *Codiaeum variegatum* / Croton
 DB = *Dombeya* 'Seminoles' / Dombeya
 FB = *Ficus benjamina* / Weeping Fig
 FGL = *Ficus* 'Green Island' / Green Island Ficus
 HB1 = *Hibiscus* / Hibiscus shrub
 HS = *Hibiscus rosa-sinensis* / Hibiscus Standard
 LC = *Licuala grandis* / Licuala Palm
 MA = *Musa acuminata* / Banana
 ME = *Mangifera indica* / Mango
 NI = *Noronia emarginata* / Madagascar Olive
 FA = *Flumbago articulata* / Flumbago
 FB = *Philodendron bipinnatifidum* / Selloum
 FE = *Ptychosperma elegans* / Alexander Palm
 FMC = *Fodocarpus macrophyllus* / Yew Column
 RB = *Ruellia brittoniana* / Mexican Bluebell
 SAT = *Schefflera arboricola* 'Trinetto' / Variegated Dwarf Schefflera
 SP = *Sabal palmetto* / Cabbage Palm
 WR = *Washingtonia robusta* / Mexican Fan Palm

SYM	QTY	NAME
AS	2	<i>Adonidia merrillii</i> / Christmas Palm
BM	2	<i>Bougainvillea</i> standard
CB	2	<i>Carica papaya</i> / Papaya Tree
FP	1	<i>Ficus benjamina</i> / Weeping Fig
LG	1	<i>Licuala grandis</i> / Licuala Palm
MJ	2	<i>Mangifera indica</i> / Mango
MUS	5+	<i>Musa species</i> / Banana
PE	1	<i>Rhynchospasma elegans</i> / Alexander Palm
WR	1	<i>Washingtonia robusta</i> / Washingtonia Palm

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.



ARC: 23-124

SHEET:



A EXISTING FRONT YARD - VIEW FROM REEF ROAD
L-3



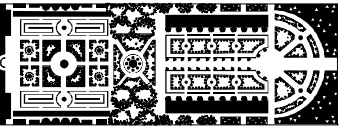
B EXISTING FRONT YARD - VIEW FROM REEF ROAD
L-3



C EXISTING DRIVEWAY - VIEW FROM REEF ROAD
L-3



D EXISTING FRONT YARD - VIEW FROM REEF ROAD
L-3



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RABIN-WINSLOW RESIDENCE
III REEF ROAD
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
T13.23 First Submittal
T3123 Second Submittal



SHEET:

L-3

ARC: 23-124



E
L-4
EXISTING SIDE YARD EAST



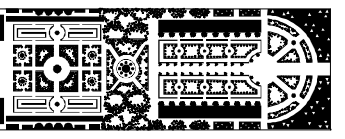
F
L-4
EXISTING SIDE YARD EAST INTERIOR



G
L-4
EXISTING SIDE YARD WEST



H
L-4
EXISTING SIDE YARD WEST INTERIOR



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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
T12/23 First Submittal
T3/23 Second Submittal



SHEET:

L-4

ARC: 23-124



1
L-5

EXISTING REAR YARD



J
L-5

EXISTING REAR YARD



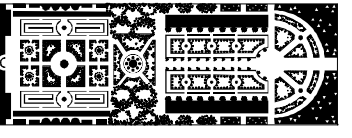
K
L-5

EXISTING REAR YARD



L
L-5

EXISTING REAR YARD LOGGIA



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III REEF ROAD
PALM BEACH, FLORIDA
EXISTING SITE PHOTOGRAPHS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

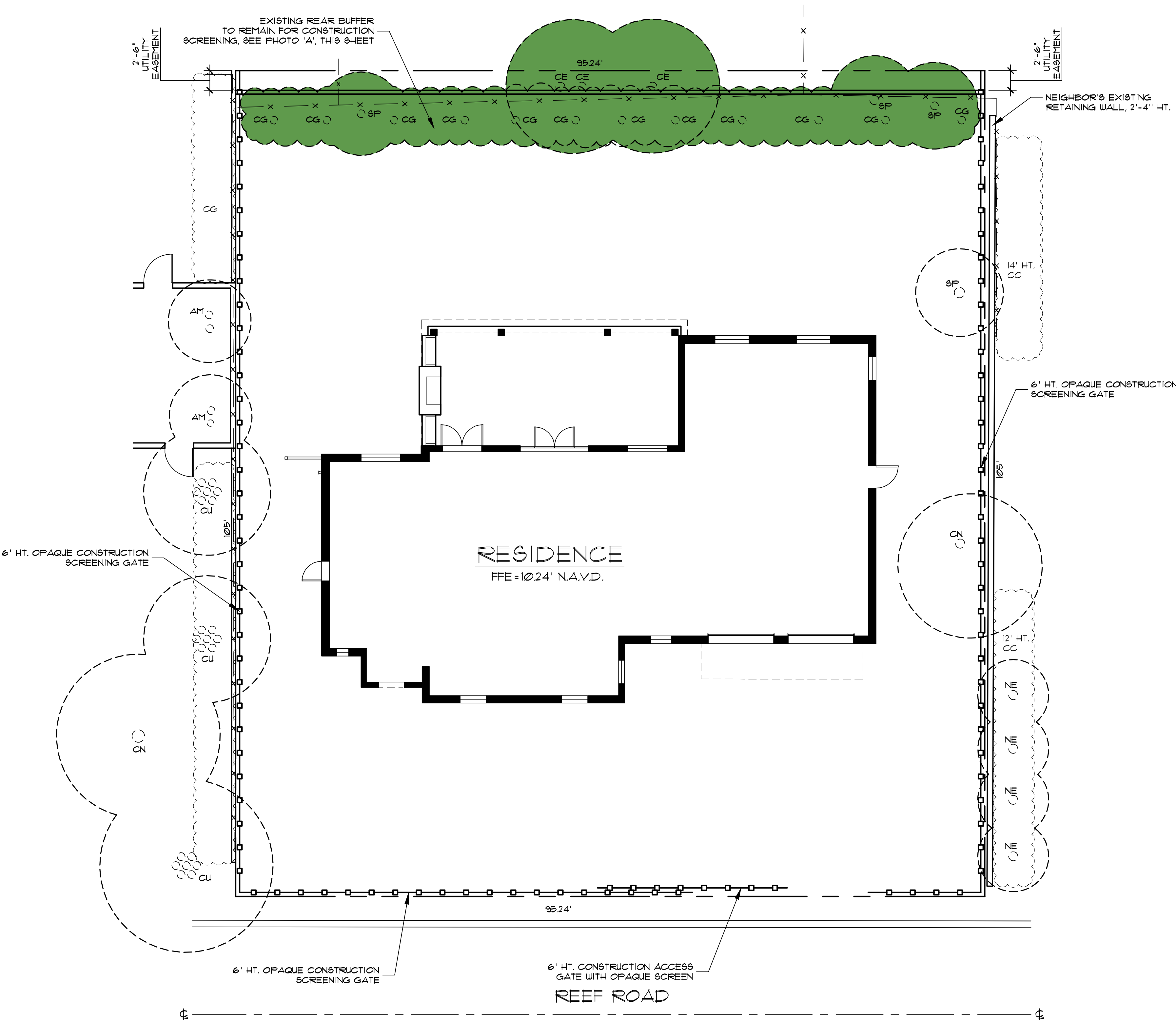
REVISIONS:
T12-23 First Submittal
T2123 Second Submittal



SHEET:

L-5

ARC: 23-124



Existing Plant Symbol Key

- Existing tree/palm to remain for const. buffering.
- Existing vegetation to remain for const. buffering.

Existing Plant Key

- AM = Adonidia merrillii / Christmas Palm
- * CC = Capparis cynophallophora / Jamaican Caper
- * CE = Conocarpus erectus / Green Buttonwood
- CG = Clusia guttifera / Small Leaf Clusia
- CN = Cocos nucifera / Coconut Palm
- * CU = Coccoloba uvifera / Sea Grape
- NE = Noronhia emarginata / Madagascar Olive
- * SP = Sabal palmetto / Cabbage Palm
- * Denotes Florida native plant material.

Note:

CONSTRUCTION ACTIVITY SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS THROUGH THE USE OF CONSTRUCTION SCREENS, FENCES, GATES AND/OR VEGETATION PER TOWN CODE. CONSTRUCTION SCREENING SHALL BE INSTALLED PRIOR TO DEMOLITION AND REMAIN FOR THE DURATION OF THE PROJECT. PORTIONS OF CONSTRUCTION SCREENING MAY BE REMOVED WHEN NECESSARY TO COMPLETE CONSTRUCTION ACTIVITIES AND NEW VEGETATION OR SCREENING IS INSTALLED IMMEDIATELY UPON COMPLETION OF SAID WORK.



A
L-6
EXISTING CONSTRUCTION SCREENING BUFFER ALONG NORTH (REAR) PROPERTY LINE

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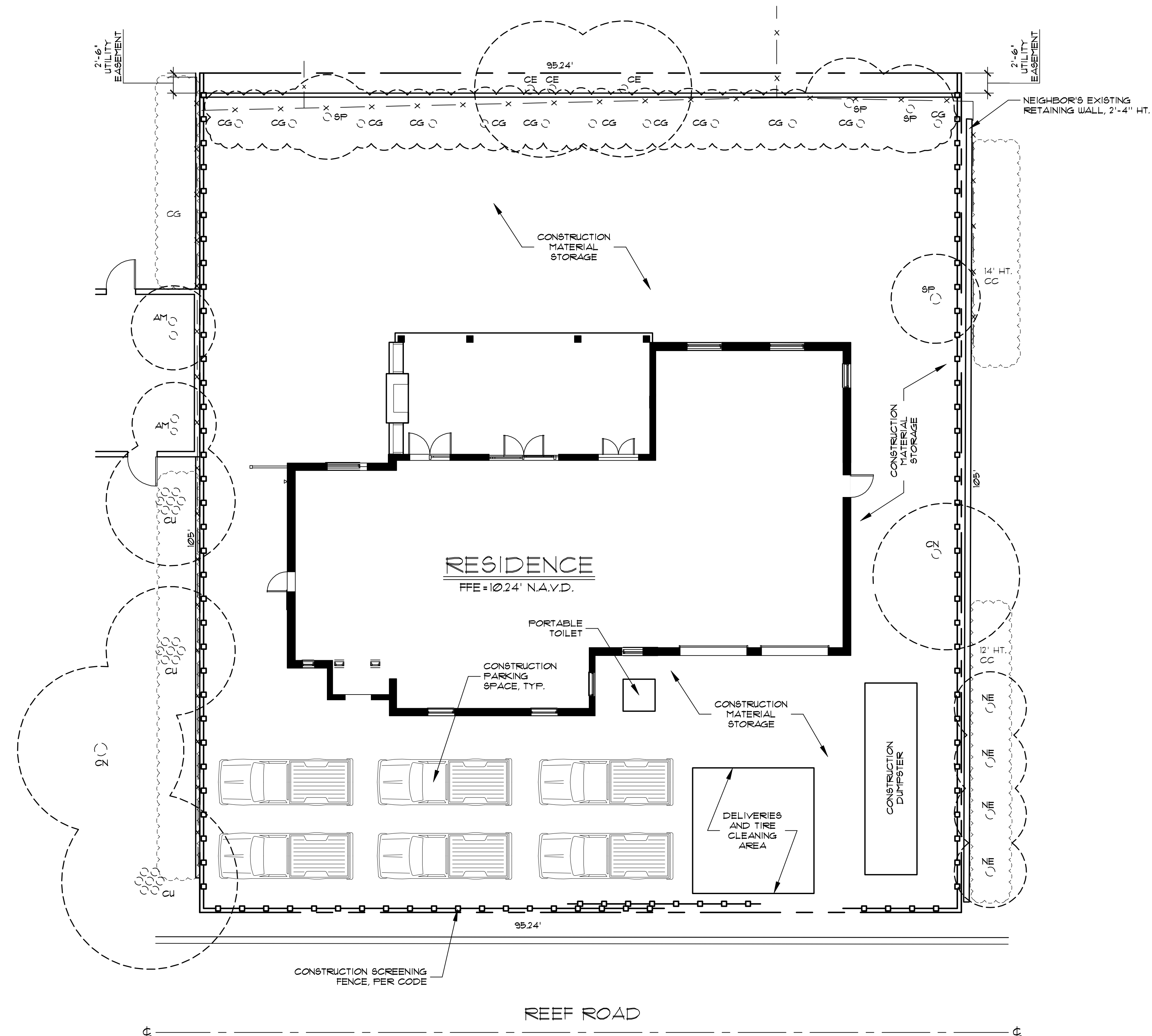
RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
CONSTRUCTION SCREENING PLAN

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

REVISIONS:
T1223 First Submittal
T3123 Second Submittal

SHEET:
L-6

ARC: 23-124



Existing Plant Symbol Key

Existing tree/palm to remain

Existing vegetation to remain

Existing Plant Key

AM = *Adonidia merrillii* / Christmas Palm

* CC = *Capparis cynophallophora* / Jamaican Caper

* CE = *Conocarpus erectus* / Green Buttonwood

CG = *Clusia guttifera* / Small Leaf Clusia

CN = *Cocos nucifera* / Coconut Palm

* CU = *Coccoloba uvifera* / Sea Grape

NE = *Noronhia emarginata* / Madagascar Olive

* SP = *Sabal palmetto* / Cabbage Palm

* Denotes Florida native plant material.

ARC: 23-124

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III REEF ROAD
PALM BEACH, FLORIDA

CONSTRUCTION STAGING PLAN

DATE: 05/25/2023

DRAWN BY: SW/JL

JOB NO.: 23-052

SCALE: 1/8"=1'-0"

FILENAME: Rabin 12

REVISIONS:

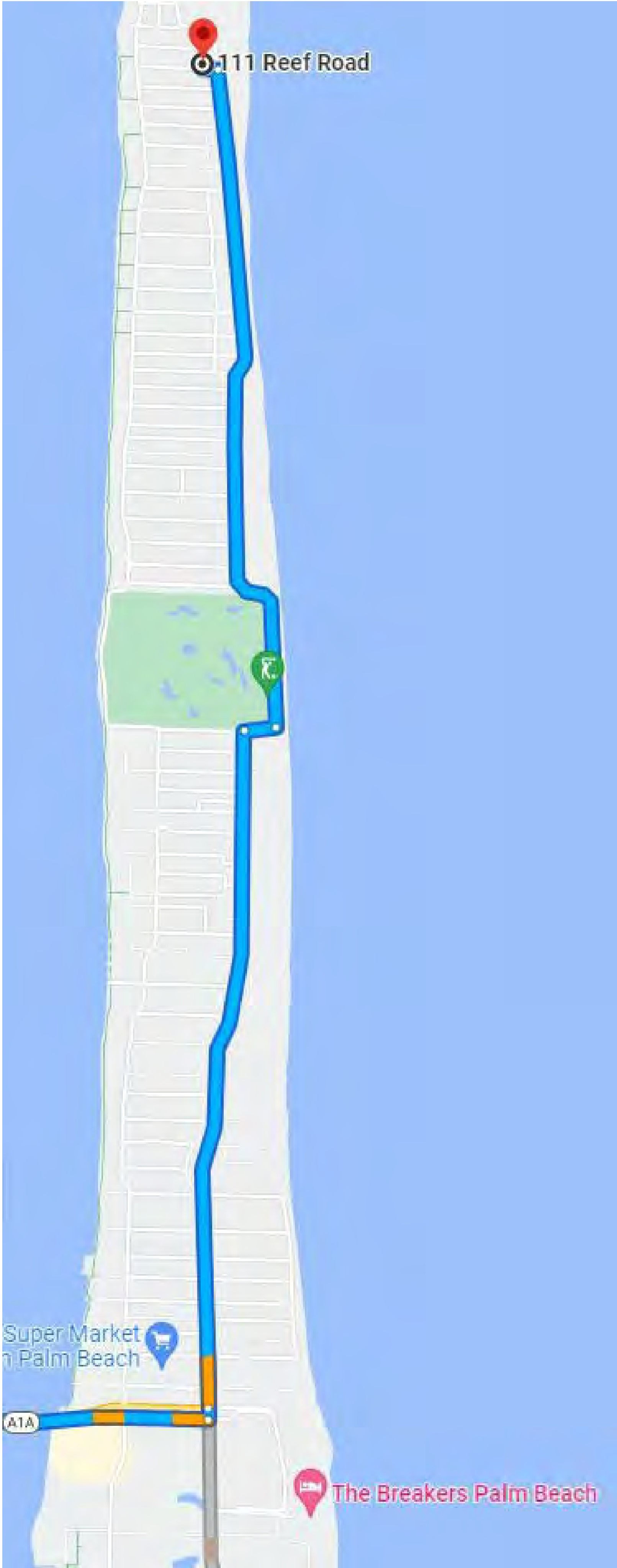
T1223 First Submittal

T3123 Second Submittal

JULY 31, 2023

SHEET:

L-7



111 reef road project schedule		111 reef road project schedule		
ID	Task Name	Duration	Start	Finish
1	111 Reef Road	256 days	Mon 1/1/24	Wed 12/25/24
2	Permit Issued	1 day	Mon 1/1/24	Mon 1/1/24
3	Demo	15 days	Tue 1/2/24	Mon 1/22/24
4	Existing House Structural Work	21 days	Tue 1/23/24	Tue 2/20/24
5	Loggia and Entry Structural	30 days	Wed 2/21/24	Tue 4/2/24
6	New Windows and Doors	14 days	Wed 4/3/24	Mon 4/22/24
7	Interior Framing	20 days	Tue 4/23/24	Mon 5/20/24
8	1st Floor MEP's	35 days	Tue 5/21/24	Tue 7/9/24
9	2nd Floor MEP's	20 days	Tue 7/9/24	Tue 8/6/24
10	1st Floor Drywall	16 days	Tue 7/9/24	Wed 7/31/24
11	2nd Floor Drywall	16 days	Tue 8/6/24	Wed 8/28/24
12	Wood Flooring 2nd Floor	15 days	Tue 8/6/24	Tue 8/27/24
13	Wood Flooring 1st Floor	15 days	Wed 8/28/24	Thu 9/19/24
14	Wood Flooring stairs	10 days	Tue 8/27/24	Wed 9/11/24
15	Prime walls and ceiling 2nd Floor	7 days	Tue 8/27/24	Fri 9/6/24
16	Prime walls and ceiling 1st Floor	3 days	Thu 9/19/24	Tue 9/24/24
17	Stone Bath walls and floors 2nd floor	20 days	Fri 9/6/24	Fri 10/4/24
18	Stone Bath walls and floors 1st floor	17 days	Tue 9/24/24	Thu 10/17/24
19	Cabinets	25 days	Tue 9/24/24	Tue 10/29/24
20	Millwork	10 days	Tue 10/29/24	Tue 11/12/24
21	Countertops	20 days	Tue 10/29/24	Tue 11/26/24
22	Painting Interior	20 days	Tue 11/26/24	Tue 12/24/24
23	MEP Trim 1st & 2nd Floor	20 days	Tue 11/12/24	Tue 12/10/24
24	Appliances	5 days	Tue 11/26/24	Tue 12/3/24
25	Final inspections	1 day	Tue 12/3/24	Wed 12/4/24
26	Final clean & punch out	15 days	Wed 12/4/24	Wed 12/25/24
27	Exterior	160 days	Wed 5/1/24	Thu 12/12/24
28	Retaining Walls and Site Walls	15 days	Wed 5/1/24	Tue 5/21/24
29	Pool Install	60 days	Wed 5/22/24	Wed 8/14/24
30	Hardscape Structural	15 days	Wed 8/14/24	Thu 9/5/24
31	Hardscape Install	40 days	Thu 9/5/24	Thu 10/31/24
32	Landscape Install	30 days	Thu 10/31/24	Thu 12/12/24

Truck Logistics

- A. Roadways: Deliveries and workers will access Palm Beach by heading east on Quadrille Boulevard over the Flagler Memorial Bridge. Then head north on North County Road until it turns into North Ocean Blvd and continue north. Turn west onto Reef Road and the subject property is the second home on the north side of the street.
- B. Maximum truck length = 30'
- C. Estimated number of deliveries generated by this project = 100

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RABIN-WINSLOW RESIDENCE

111 REEF ROAD
PALM BEACH, FLORIDA

TRUCK LOGISTICS PLAN

DATE: 05/25/2023
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JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

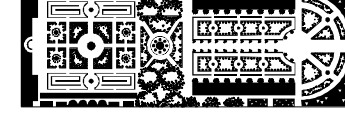
REVISIONS:
12/23 First Submittal
12/23 Second Submittal

ARC: 23-124

SHEET:
L-8



ARC: 23-124



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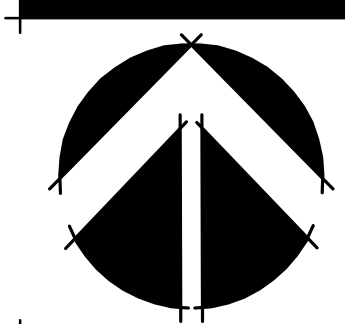
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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
LANDSCAPE PLAN RENDER

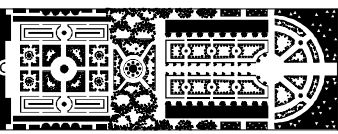
DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

REVISIONS:
11/23 First Submittal
12/23 Second Submittal





SHEET:
1-9



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Landscape Lighting Specifications

SYM	QTY	SPECIFICATION
A	18	CAST BRASS ACCENT LIGHT; WAC 5011-2TBBR 12V 4W LED, 60" WIDE FLOOD
B	6	CAST BRASS WELL LIGHT; WAC 5031-2TBBR 12V 4W LED, 60" WIDE FLOOD
C	10	CAST BRASS PATH LIGHT; WAC 6041-2TBBR 12V LED, TIKI PATH LIGHT

LANDSCAPE LIGHTING DATA:

TOTAL LOT AREA = 10,000 SQ. FT. (0.23 ACRES)

TOTAL LIGHT FIXTURES = 34
TOTAL FIXTURES PER ACRE: 148 (150 MAX.)

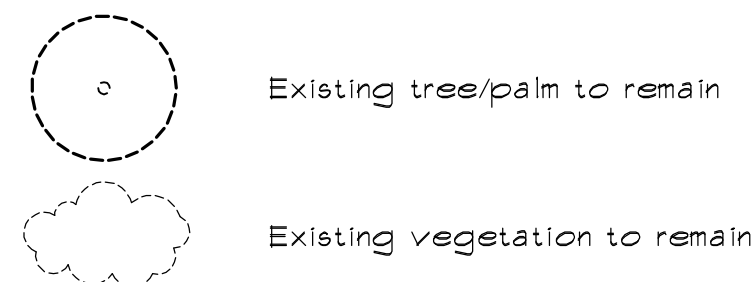
TOTAL WATTS PROPOSED (LED) = 136 WATTS
TOTAL WATTS PER ACRE (LED) = 591 WATTS/ACRE (5,000 WATTS/ACRE MAX.)
TOTAL WATTS PROPOSED (HALOGEN / INCANDESCENT EQUIVALENT) = 250 WATTS
TOTAL WATTS PER ACRE (HALOGEN / INCANDESCENT EQUIVALENT) = 3,636 WATTS/ACRE (5,000 WATTS/ACRE MAX.)

LANDSCAPE LIGHTING NOTES:

- MOUNT ALL ABOVE GROUND FIXTURES ON M6000-STAKE
- INSTALL ALL LOW VOLTAGE WIRING IN CONDUIT MINIMUM 12" BELOW GRADE
- ALL FIXTURES SHALL BE 6'-0" MINIMUM FROM SWIMMING POOL OR OTHER BODY OF WATER
- ALL FIXTURES WITHIN 10'-0" OF POOL SHALL HAVE A TRANSFORMER BASE AND GFCI PROTECTION
- NO FIXTURE SHALL EXCEED 80 WATTS
- NO LIGHT BULB OR FIXTURE SHALL BE VISIBLE FROM OUTSIDE OF THE PROPERTY
- NO MORE THAN 1/2 FOOT-CANDLE OF LIGHT SHALL BE REFLECTED OFF OF THE PROPERTY

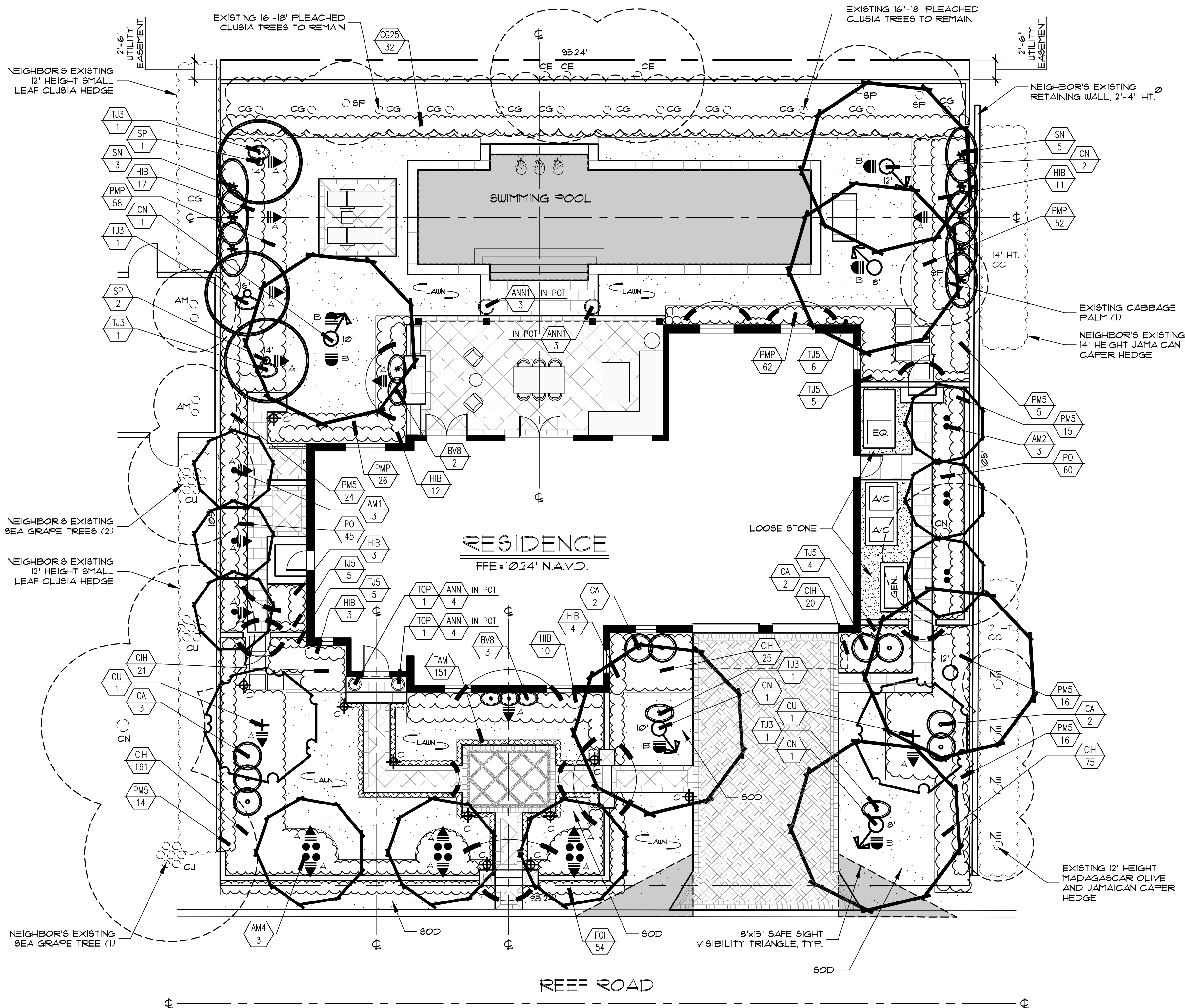


Existing Plant Symbol Key



Existing Plant Key

AM = Adonidia merrillii / Christmas Palm
AWC = Acalypha wilkesiana / 'Copperleaf'
AWJ = Acalypha wilkesiana / 'Java White'
AZV = Alpinia zerumbet 'Variegata' / Variegated Shell Ginger
BOA = Begonia odorata 'Alba' / White Angel Wing Begonia
BS = Bougainvillea standard
BV = Bougainvillea shrub
CAQ = Crinum augustum 'Queen Emma' / Queen Emma Crinum Lily
CC = Capparis cynophallophora / Jamaica Caper
CE = Conocarpus erectus / Green Buttonwood
CG = Clusia glutifera / Small Leaf Clusia
CM = Camellia microphylla / Fukien Tea
CN = Cocos nucifera / Coconut Palm
CV = Codium variegatum / Croton
DS = Dombeya 'Geminole' / Dombeya
FB = Ficus benjamina / Weeping Fig
FGI = Ficus 'Green Island' / Green Island Ficus
HIB = Hibiscus / Hibiscus shrub
HS = Hibiscus rosa-sinensis / Hibiscus Standard
LG = Licuala grandis / Licuala Palm
MA = Musa acuminata / Banana
MI = Mangifera indica / Mango
NE = Noronhia emarginata / Madagascar Olive
PA = Plumbago auriculata / Plumbago
PB = Philodendron bipinnatifidum / Selloum
PE = Ptychosperma elegans / Alexander Palm
PMC = Podocarpus macrophyllus / Yew Column
RB = Ruellia brittoniana / Mexican Bluebell
SAT = Schefflera arborescens 'Trinette' / Variegated Dwarf Schefflera
SF = Sabal palmetto / Cabbage Palm
UR = Washingtonia robusta / Mexican Fan Palm



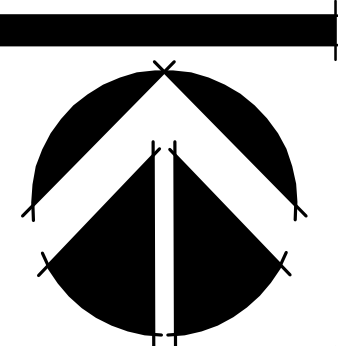
RABIN-WINSLOW RESIDENCE

III REEF ROAD
PALM BEACH, FLORIDA

LANDSCAPE AND LANDSCAPE LIGHTING PLAN

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

REVISIONS:
T13.23 First Submittal
T13.23 Second Submittal



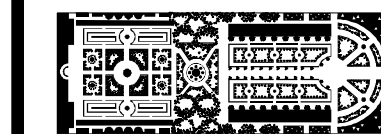
SHEET:

L-10

ARC: 23-124



Front Elevation - View From Reef Road



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RABIN-WINSLOW RESIDENCE

III REEF ROAD
PALM BEACH, FLORIDA

PROPOSED LANDSCAPE ELEVATIONS

DATE: 05/25/2023
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JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
T13/23 First Submittal
T31/23 Second Submittal



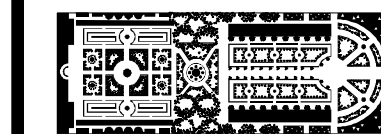
SHEET:

L-11

ARC: 23-124



Front Elevation - Interior View



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RABIN-WINSLOW RESIDENCE

111 REEF ROAD
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 05/25/2023
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JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
T13/23 First Submittal
T31/23 Second Submittal



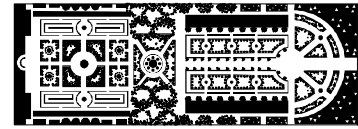
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ARC: 23-124



East Elevation



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PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
11/23 First Submittal
12/23 Second Submittal



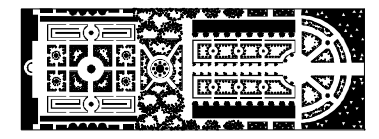
SHEET:

L-13

ARC: 23-124



Rear Elevation



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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
11/23 First Submittal
12/23 Second Submittal



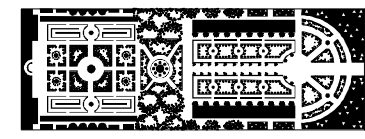
SHEET:

L-14

ARC: 23-124



West Elevation



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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
PROPOSED LANDSCAPE ELEVATIONS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
11/23 First Submittal
12/23 Second Submittal



JULY 31, 2023

SHEET:
L-15

ARC: 23-124

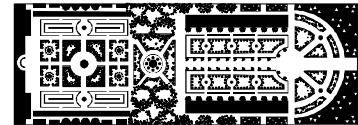
Existing Trees and Palms to be Preserved

SYM	QTY	NAME
PALMS		
CN	1	Cocos nucifera 'Green Malayan' / Coconut Palm
* SP	4	Sabal palmetto / Cabbage Palm
TREES		
* CE	3	Conocarpus erectus / Green Buttonwood
CG	12	Clusia guttifera / Small Leaf Clusia

Proposed Plant List

SYM	QTY	NAME	SPECIFICATIONS
PALMS			
AM1	3	Adonidia merrillii / Christmas Palm	10' ht., single stem, full frond, matching
AM2	3	Adonidia merrillii / Christmas Palm	10' ht., double stem, full frond, matching
AM4	3	Adonidia merrillii / Christmas Palm	12' ht., quadruple stem, full frond, matching
CN	5	Cocos nucifera 'Green Malayan' / Coconut Palm	2 at 8' g.w., 2 at 10' g.w., 1 at 12' g.w., heavy cal., slight curve, full frond
* SP	3	Sabal palmetto / Cabbage Palm	2 at 14' ht., 1 at 16' ht., straight/slick trunk, heights noted on plan
TREES			
* CU	2	Coccoloba uvifera / Sea Grape	16' x 12', 4'-5' c.t., multi-stem with character, full canopy
ACCENTS, SHRUBS and VINES			
BV8	5	Bougainvillea Vine	25 gal., 8' ht., full to base, fuchsia flower, espalier to wall
CA	9	Crinum asiaticum / Crinum Lily	10 gal., 34" x 32", multi-head, full
CG25	32	Clusia guttifera / Small Leaf Clusia	7' x 4', full to base
* CIH	302	Chrysobalanus icaco 'Horizontal' / Horizontal Cocoplum	3 gal., 16" x 18", full
FG1	54	Ficus 'Green Island' / Green Island Ficus	3 gal., 12" x 12", full
HIB	60	Hibiscus 'White Wings' / Hibiscus shrub	7 gal., 26" x 22", full to base, white flower with red throat
PM5	90	Podocarpus macrophyllus / Yew	15 gal., 5' x 24", full to base
FMP	198	Podocarpus macrophyllus 'Pringles' / Pringles Yew	3 gal., 14" x 14", full
SN	8	Strelitzia nicolai / White Bird of Paradise	10'-12' o.a., multi-stem, dense, full frond
TJ3	5	Trachelospermum jasminoides / Confederate Jasmine	3 gal., 3'-4' trellis, remove wood trellis and attach to Coconut Palm trunks
TJ5	25	Trachelospermum jasminoides / Confederate Jasmine	7 gal., 42" o.a., remove from wood trellis and espalier to wall
TOP	2	Syzigium paniculatum / Brush Cherry Topiary	36" ht., single 18" diameter sphere with 18" c.t., matching
GROUNDCOVERS			
ANN	8	Annuals - T.B.D.	4" pots, install in pots with w/ planting soil, drain rock and filter fabric
ANN1	6	Annuals - T.B.D.	1 gal., install in pots with w/ planting soil, drain rock and filter fabric
* PO	105	Peperomia obtusifolia / Baby Rubber Plant	1 gal., 8" x 8", full
TAM	151	Trachelospermum asiaticum 'Minima' / Jasmine 'Minima'	1 gal., 6" x 10", full
MISCELLANEOUS			
SOD		Zoysia, variety t.b.s.	Solid sod, laid tight, roll for compaction

 Town of Palm Beach Planning Zoning and Building 360 S County Rd Palm Beach, FL 33480 www.townofpalmbeach.com			
Line #	Landscape Legend		
1	Property Address:	111 REEF ROAD	
2	Lot Area (sq. ft.):	10,000 sq. ft.	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	4,500 sq. ft. / 45%	4,549 sq. ft. / 45.5%
5	LOS to be altered (Sq Ft and %)	N/A	5,656 sq. ft. / 90.1%
6	Perimeter LOS (Sq Ft and %)	2,250 sq. ft. / 50%	2,819sq. ft. / 62.6%
7	Front Yard LOS (Sq Ft and %)	952.40 sq. ft. / 40%	1,564 sq. ft. / 65.7%
8	Native Trees %	30% (number of trees)	100% (2)
9	Native Shrubs & Vines %	30% (number of shrubs & vines)	38.2% (302)
10	Native Groundcover %	30% (groundcover area)	56.6% (86 sq. ft.)
To determine qualifying native vegetation use either: the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List			



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LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS

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Fax: (561) 747-2041
Email: mail@pydg.com
License #LA0001347

RABIN-WINSLOW RESIDENCE

111 REEF ROAD
PALM BEACH, FLORIDA

PLANT LIST

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: N/A
FILENAME: Rabin 12

REVISIONS:
11023 First Submittal
13123 Second Submittal



STEPHEN J. WEST
LA 6667145
STATE OF
FLORIDA
JULY 31, 2023

SHEET:
L-16

ARC: 23-124

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I & II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Fancy or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that first appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS

All plants shall be freshly dug, sound, healthy, vigorous, well branched, and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting rows shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plant list, the plants furnished shall be normal for the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK

All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

MEASUREMENTS

- Trees:** Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally around the crown from the center of the trunk. Measurements are not to include any terminal growth. Single trunk trees shall be free of "V" crotches that could be points of weak limb structure or disease infestation.
- Shrubs:** Heights shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.
- Palms:** Clear Trunk (C.T.), shall be measured from the ground at the time of installation to the point where the mature aged trunk joins the immature or green portion of the trunk or the head.

Overall height (O.H.), shall be measured from the ground at the time of installation to a point three quarters the length of the unopened bud. Palms with marred or burned trunks will not be accepted.

SOIL

Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except Sabal palms which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses (such as Bermuda or nut grass) and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER

Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. This fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis, and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer ("Agriform" or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:

PLANT SIZE	16-17-12	'AGRIFORM' TABLET (21 Grams)
1 gal.	1/4 lb.	1
3 gal.	1/3 lb.	2
7-15 gal.	1/2 lb.	4
1'-6" caliper	2 lbs./1" caliper	2/1" caliper
6" and larger	3 lbs./1" caliper	2/1" caliper

"Florida East Coast Palm Special" will be applied to all palms at installation at a rate of 1/2 lb. per inch of trunk caliper unless otherwise specified.

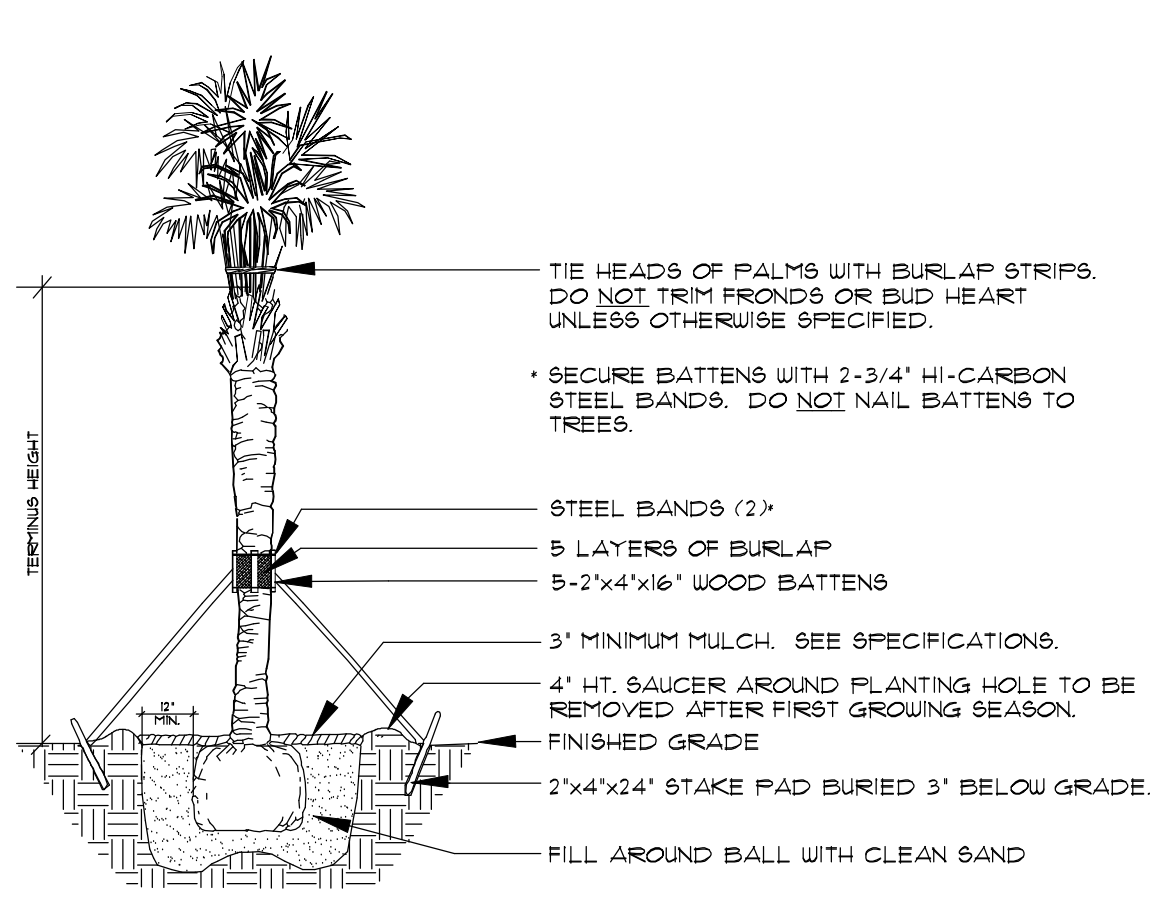
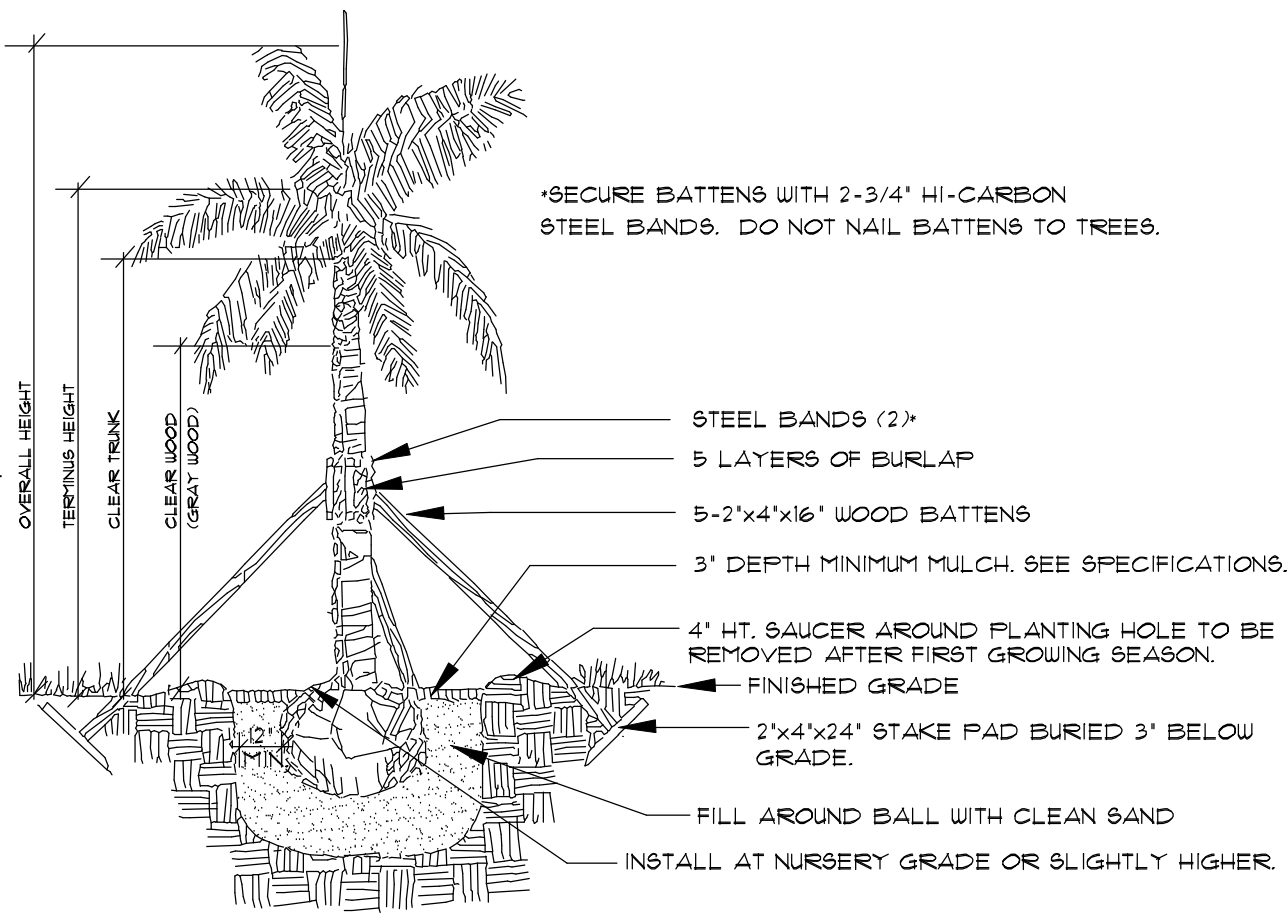
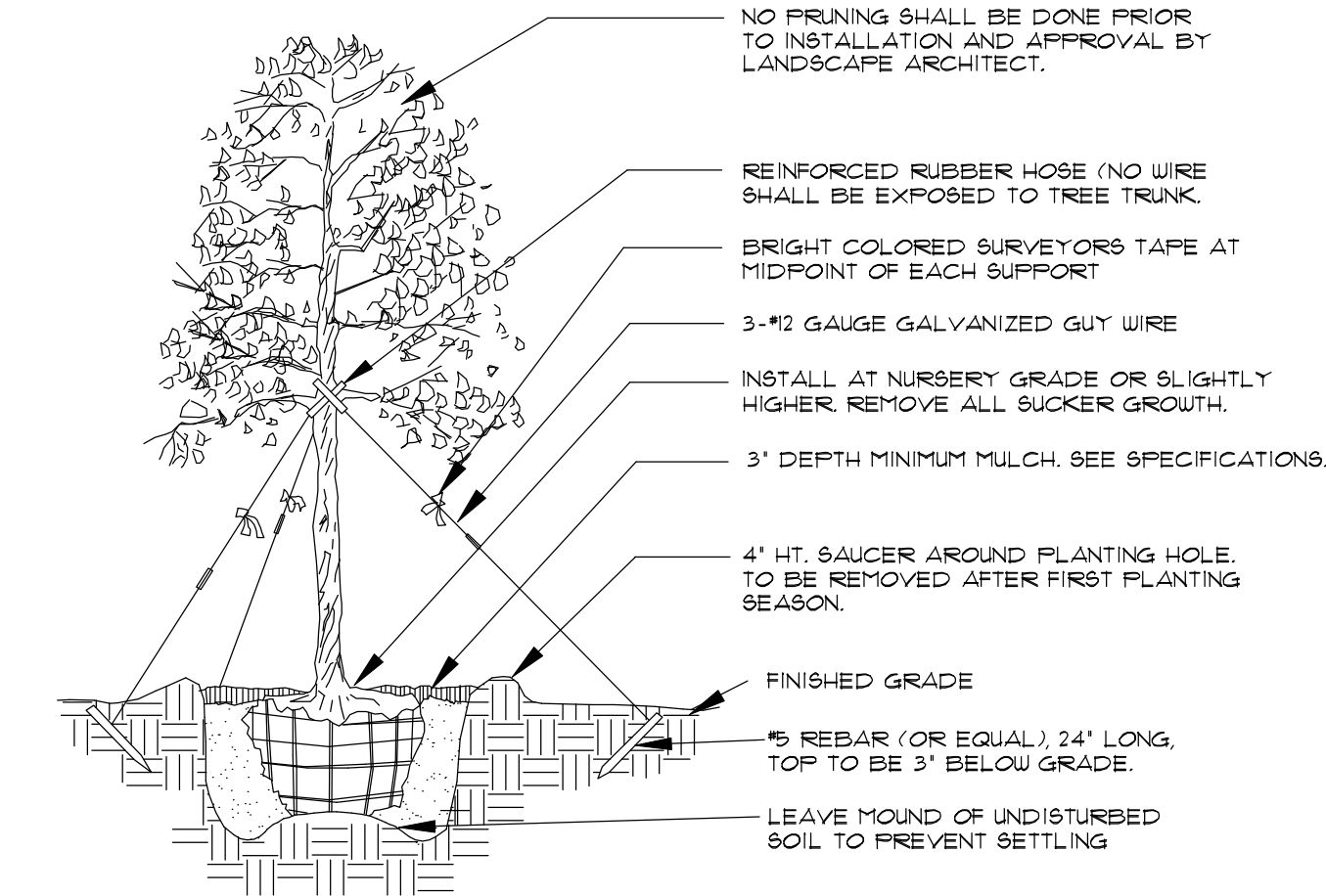
MULCH

Mulch material shall be three (3) inches of shredded melaleuca mulch (sterilized and free of seeds) or approved equal, moistened at the time of application to prevent wind displacement.

SUBSTITUTIONS

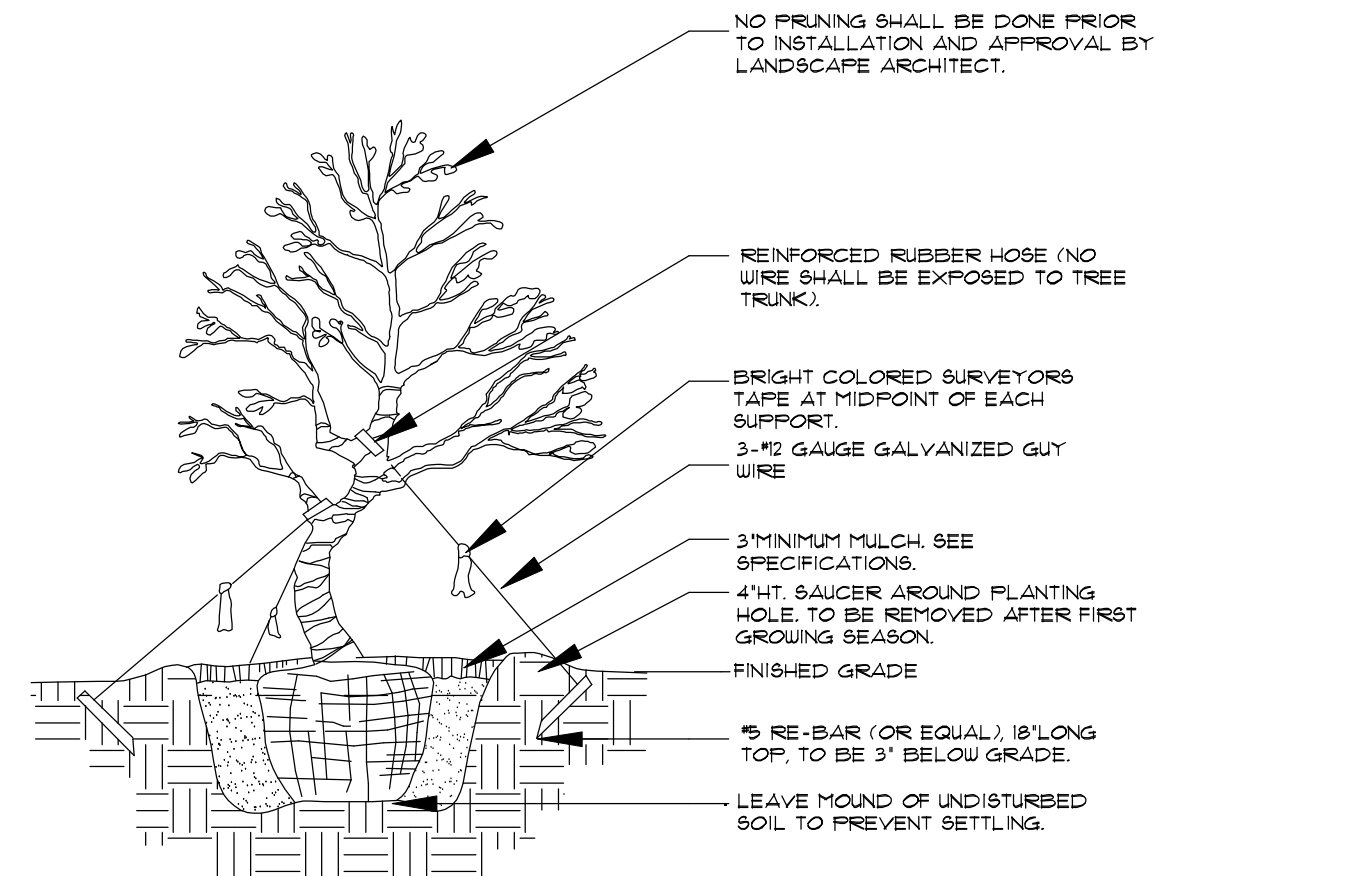
No substitutions of plant material types or size will be allowed without written consent of the Landscape Architect. B&B material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.

Planting Details



Tree Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.
- BRACING - SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT & MAINTAIN A VERTICAL POSITION.



Irregular & Multi-Stem Tree Planting

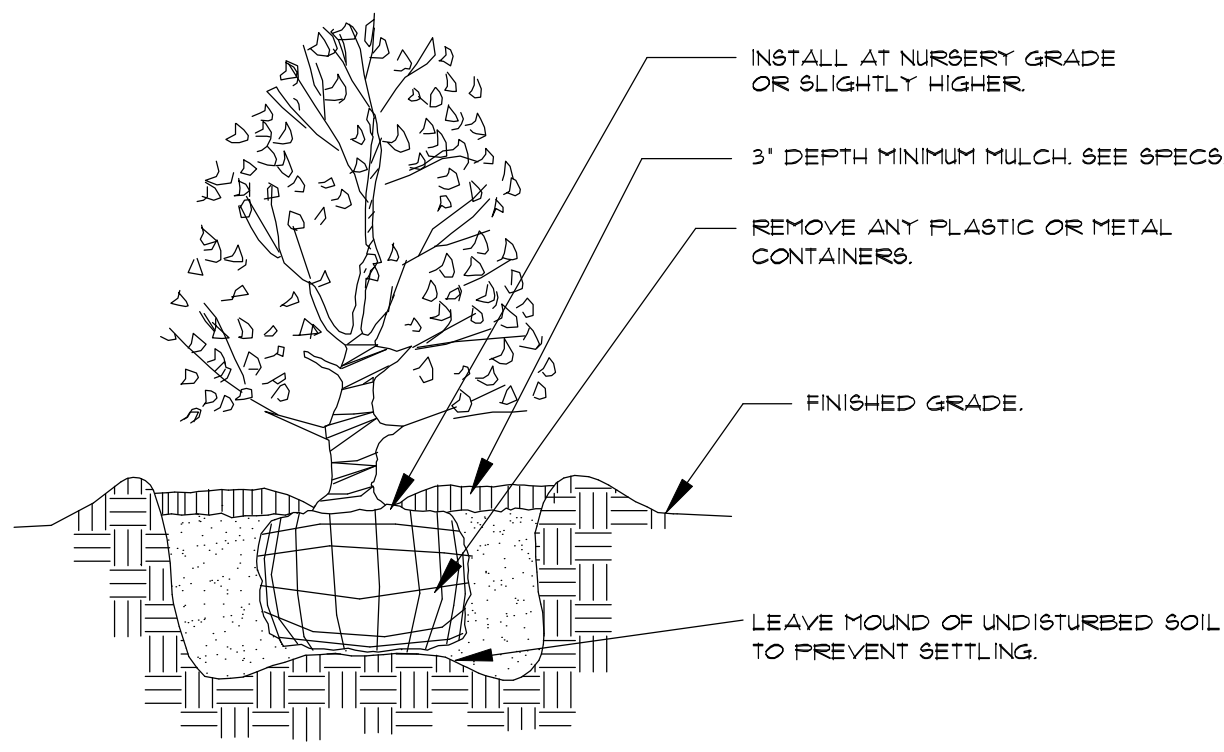
FOR TREES 6"-14" HT.
NOTES:
SEE SPECIFICATIONS FOR BACKFILL MIXTURES AND FERTILIZATION.
BRACING-SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE (OR WIRE) ALL TREES TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.

Palm Planting

APPLIES TO: ROYAL PALMS, QUEEN PALMS, ALEXANDER PALMS, MANILA PALMS.

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

• BRACING: SPECIAL SITE CONDITIONS MAY REQUIRE MODIFICATION TO BRACING TECHNIQUE. LANDSCAPE CONTRACTOR WILL ADEQUATELY BRACE ALL PALMS TO PREVENT EXCESSIVE MOVEMENT AND MAINTAIN A VERTICAL POSITION.



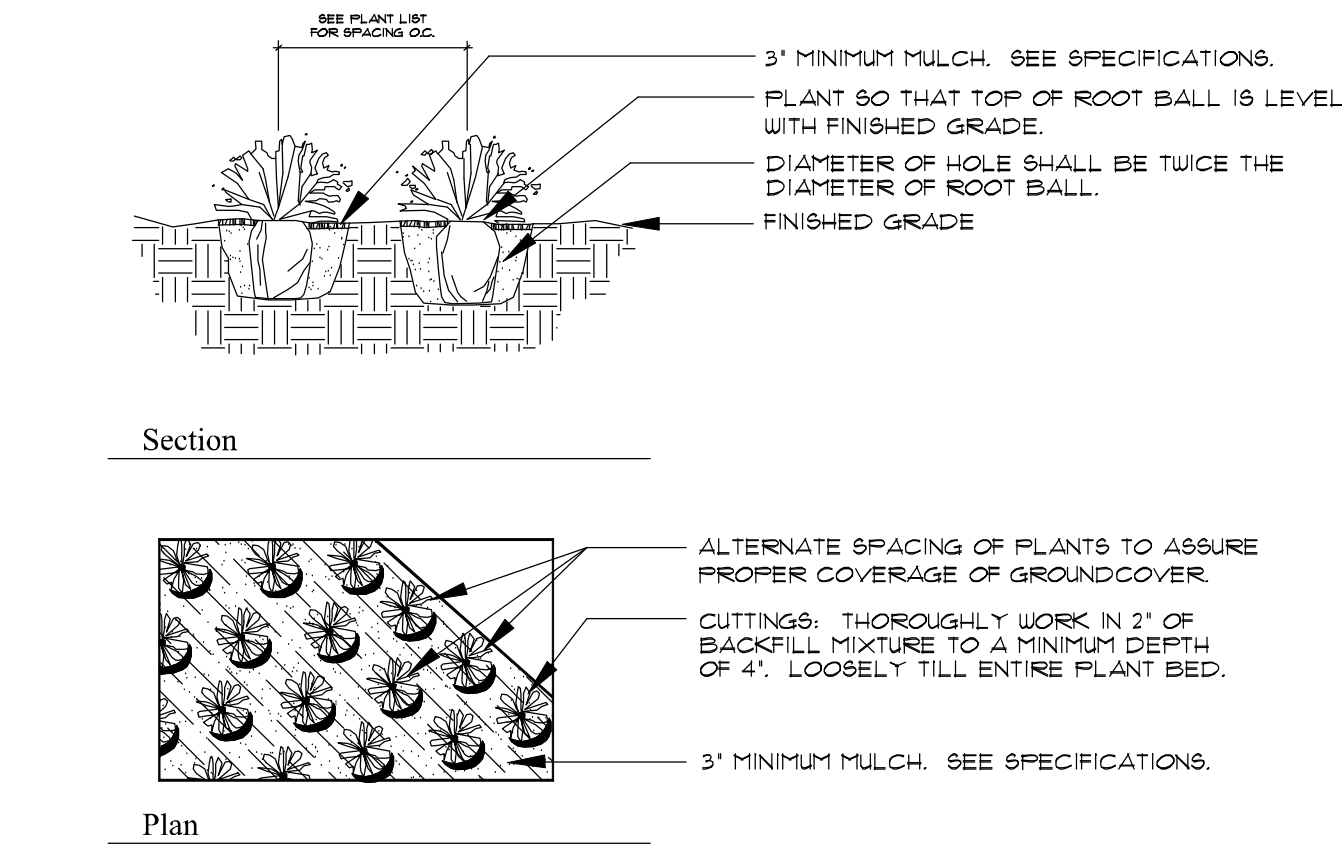
Shrub Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.

Palm Planting

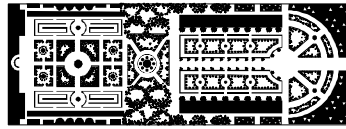
APPLIES TO: SABAL PALMS, WASHINGTON PALMS, CANARY ISLAND DATE PALMS, SENEGAL DATE PALMS

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



Groundcover Planting

- SEE SPECIFICATIONS FOR BACKFILL MIXTURE AND FERTILIZATION.



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LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS

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Email: mail@pydg.com

License #LA0001347

RABIN-WINSLOW RESIDENCE

III REEF ROAD
PALM BEACH, FLORIDA

PLANTING DETAILS AND SPECIFICATIONS

DATE: 05/25/2023

DRAWN BY: SW/JL

JOB NO.: 23-052

SCALE: N/A

FILENAME: Rabin 12

REVISIONS:

11/23 First Submittal

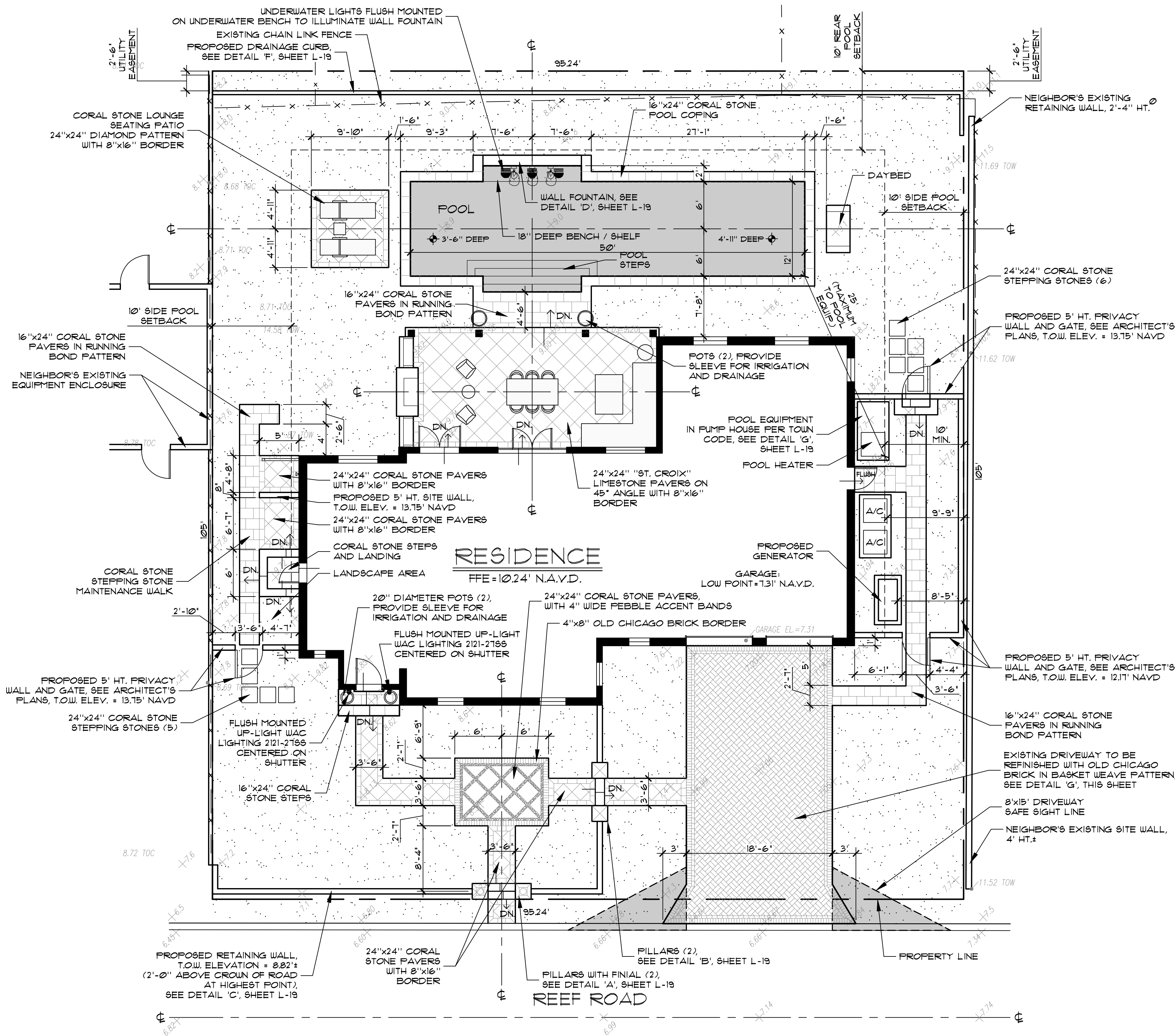
12/23 Second Submittal



SHEET:

L-17

ARC: 23-124



Layout Notes

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LAYOUT DIMENSIONS IN THE FIELD. REPORT ALL DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION BEFORE CONSTRUCTION.
2. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
3. CONTRACTOR SHALL VERIFY ALL EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE LANDSCAPE ARCHITECT FOR DECISION.
4. ALL FILL FOR BERMING AND PLANTING BROUGHT TO THE SITE SHALL BE CLEAN, FRIABLE SANDY LOAM OF SLIGHTLY ACID TO NEUTRAL PH. ALL FILL SHALL BE FREE FROM STICKS, ROCKS, MARL, SOD AND OTHER DEBRIS.
5. REMOVE ALL ROAD BASE, SHELLROCK, MARL, CORAL ROCK, AND RUBBLE 30" MIN. BELOW FINISH GRADE FROM ALL NEW PLANTING AREAS AND TREE PITS. BACKFILL WITH SUITABLE SOIL AS APPROVED BY LANDSCAPE ARCHITECT. MAINTAIN EXISTING GRADE AT EXISTING TREES.
6. NEW EARTHWORK SHALL BLEND SMOOTHLY INTO EXISTING GRADE.
7. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT MIN. OF 1/8" PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT PRIOR TO CONTINUING WORK.
8. CONTRACTOR SHALL PROVIDE IRRIGATION AND ELECTRIC SLEEVES TO ALL PLANTERS.

Fill Calculation

COR = 1.14' NAVD
FFE = 10.24' NAVD
 $(10.24 - 1.14) / 2 = 1.25'$ OF FILL (MAXIMUM)



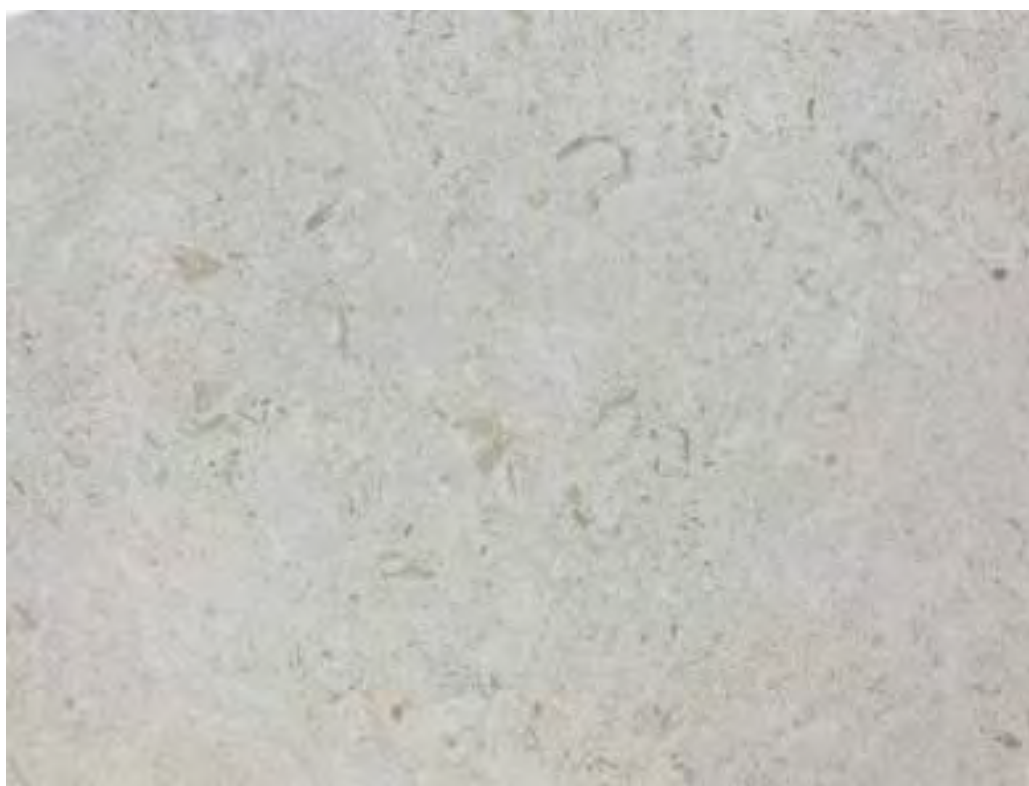
C CORAL STONE PAVERS



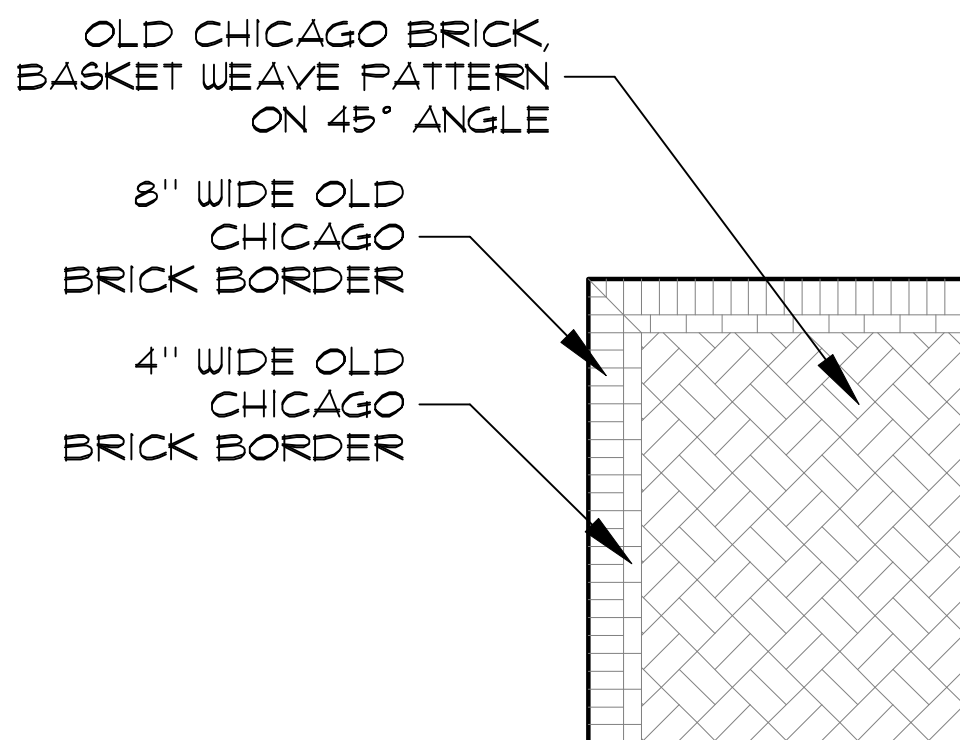
D OLD CHICAGO BRICK PAVERS



E PEBBLE ACCENT BANDING

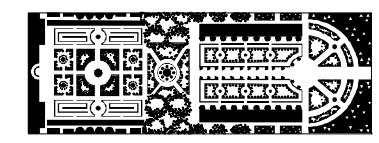


F "ST. CROIX" LIMESTONE PAVERS



G DRIVEWAY PAVING DETAIL

ARC: 23-124



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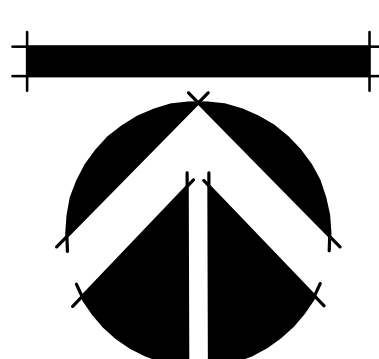
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Jupiter, Florida 33458

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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
HARDSCAPE PLAN

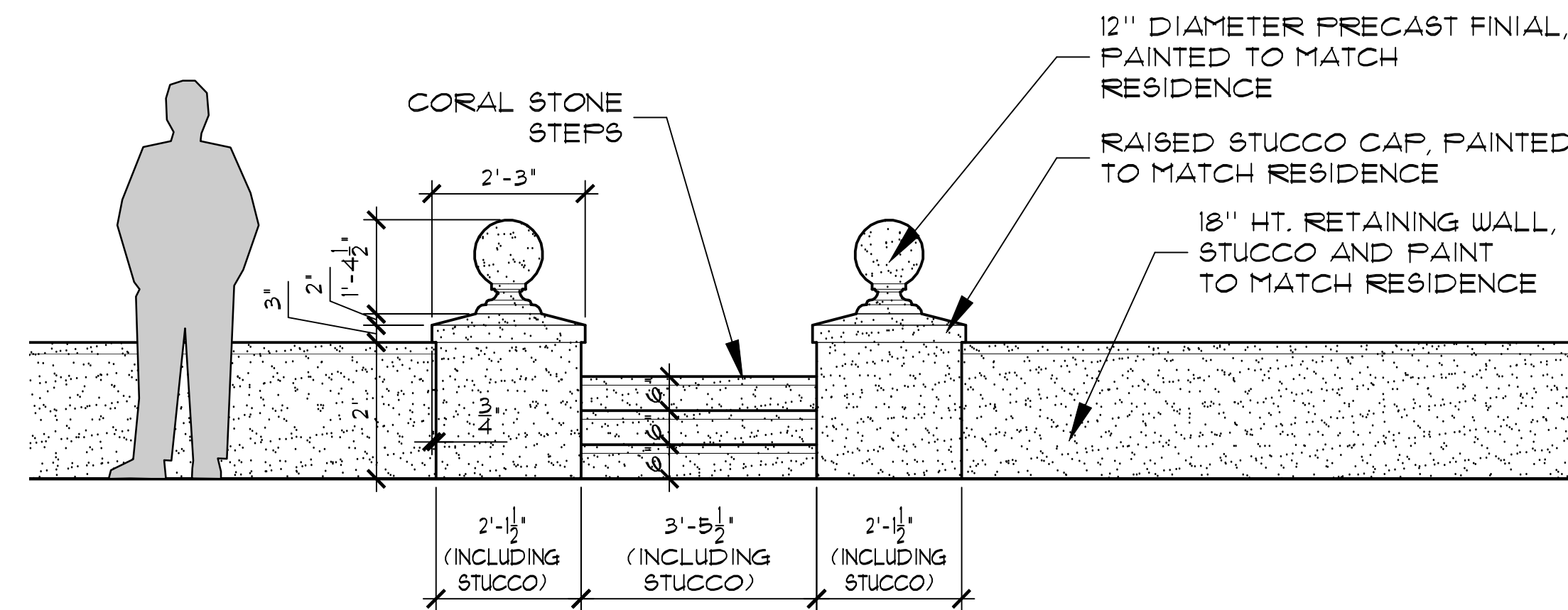
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DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

REVISIONS:
11/23 First Submittal
12/23 Second Submittal

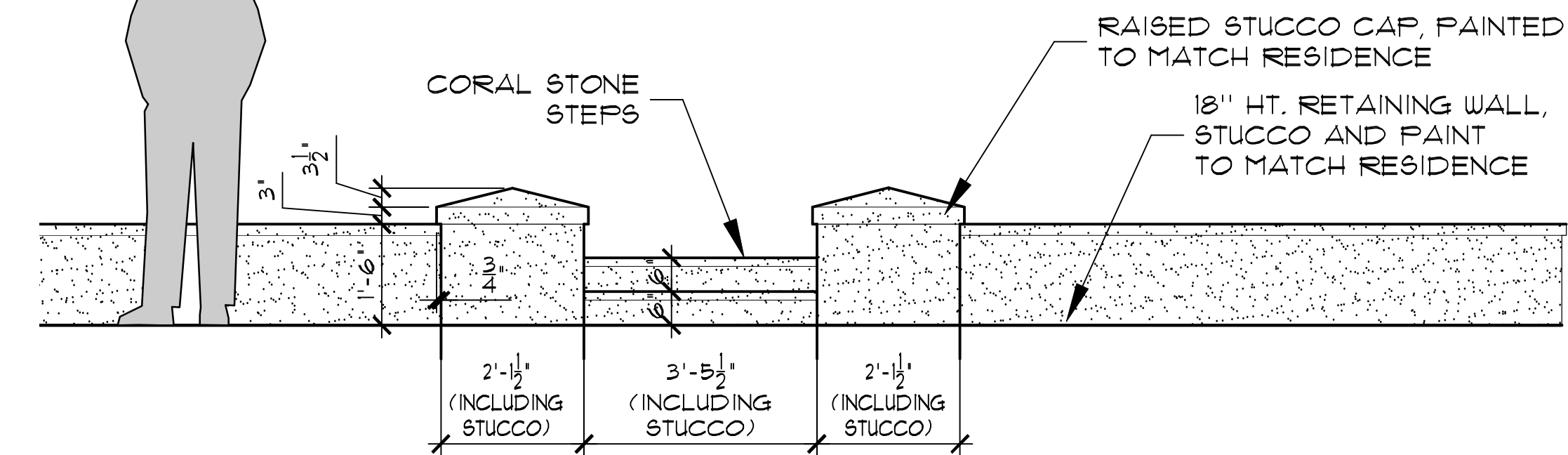


JULY 31, 2023
SHEET:

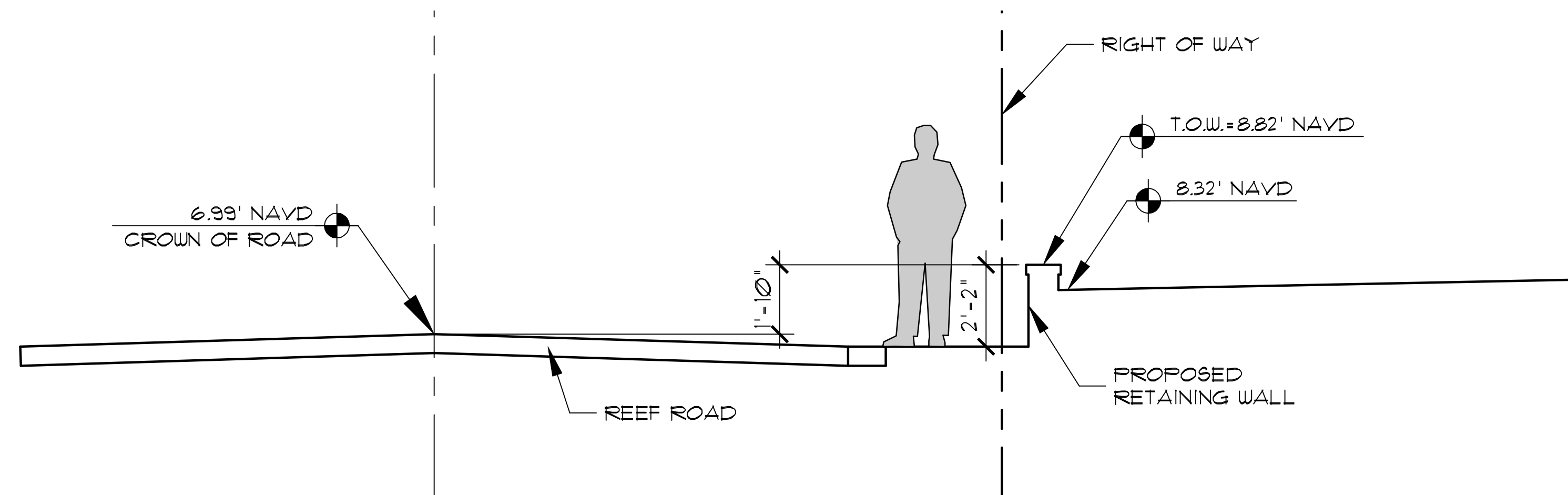
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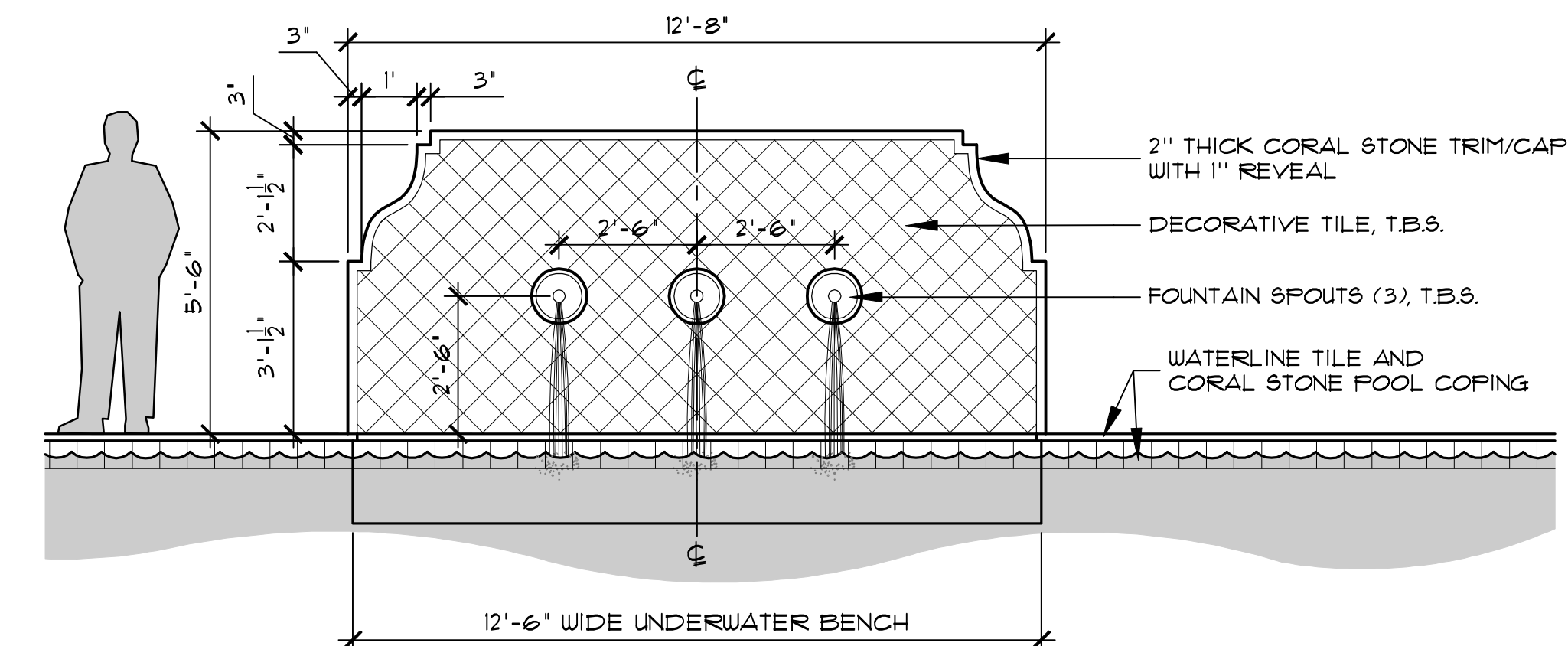
A FRONT YARD RETAINING WALL ELEVATION (SOUTH STAIR)



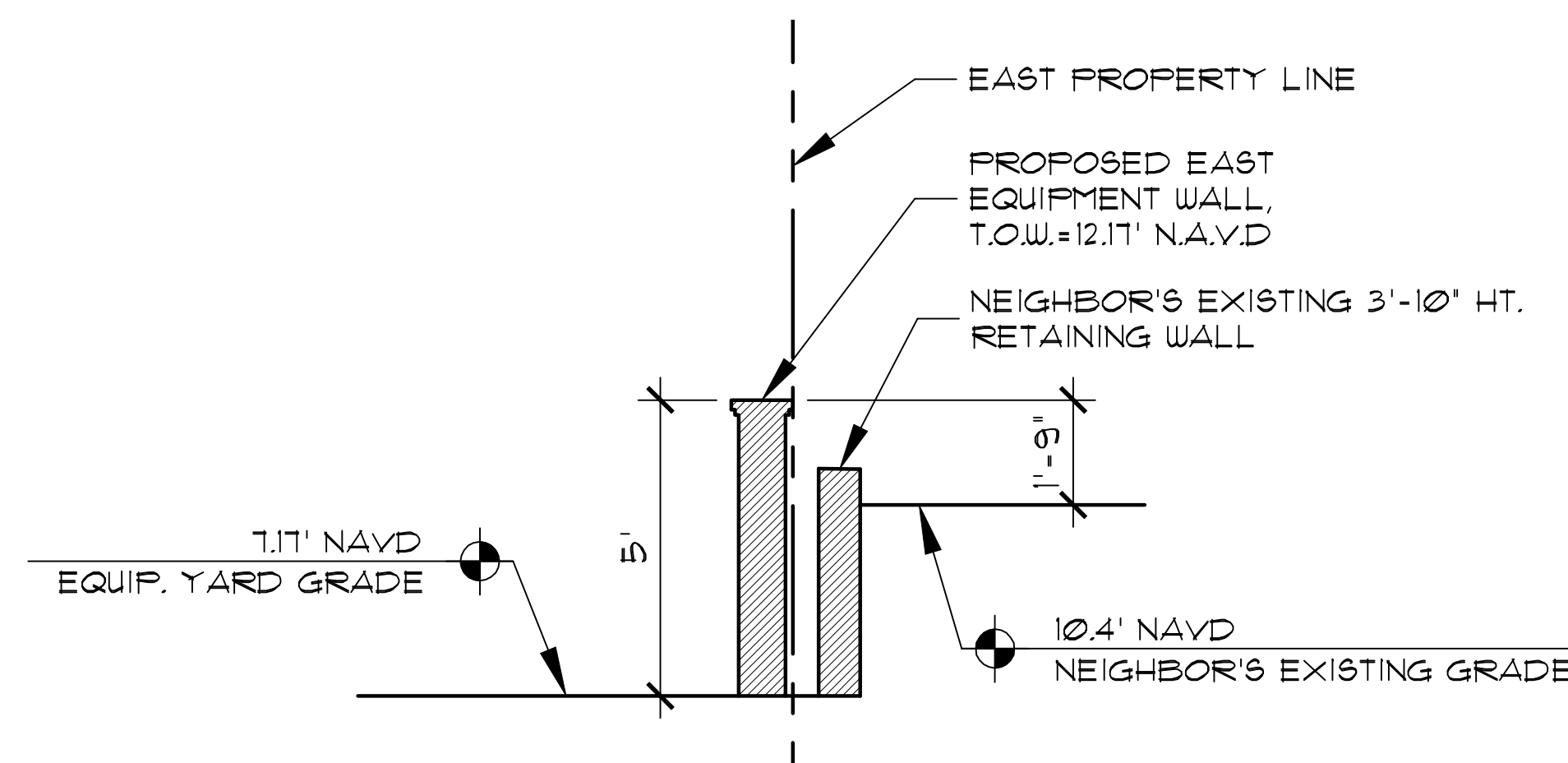
B FRONT YARD RETAINING WALL ELEVATION (EAST STAIR)



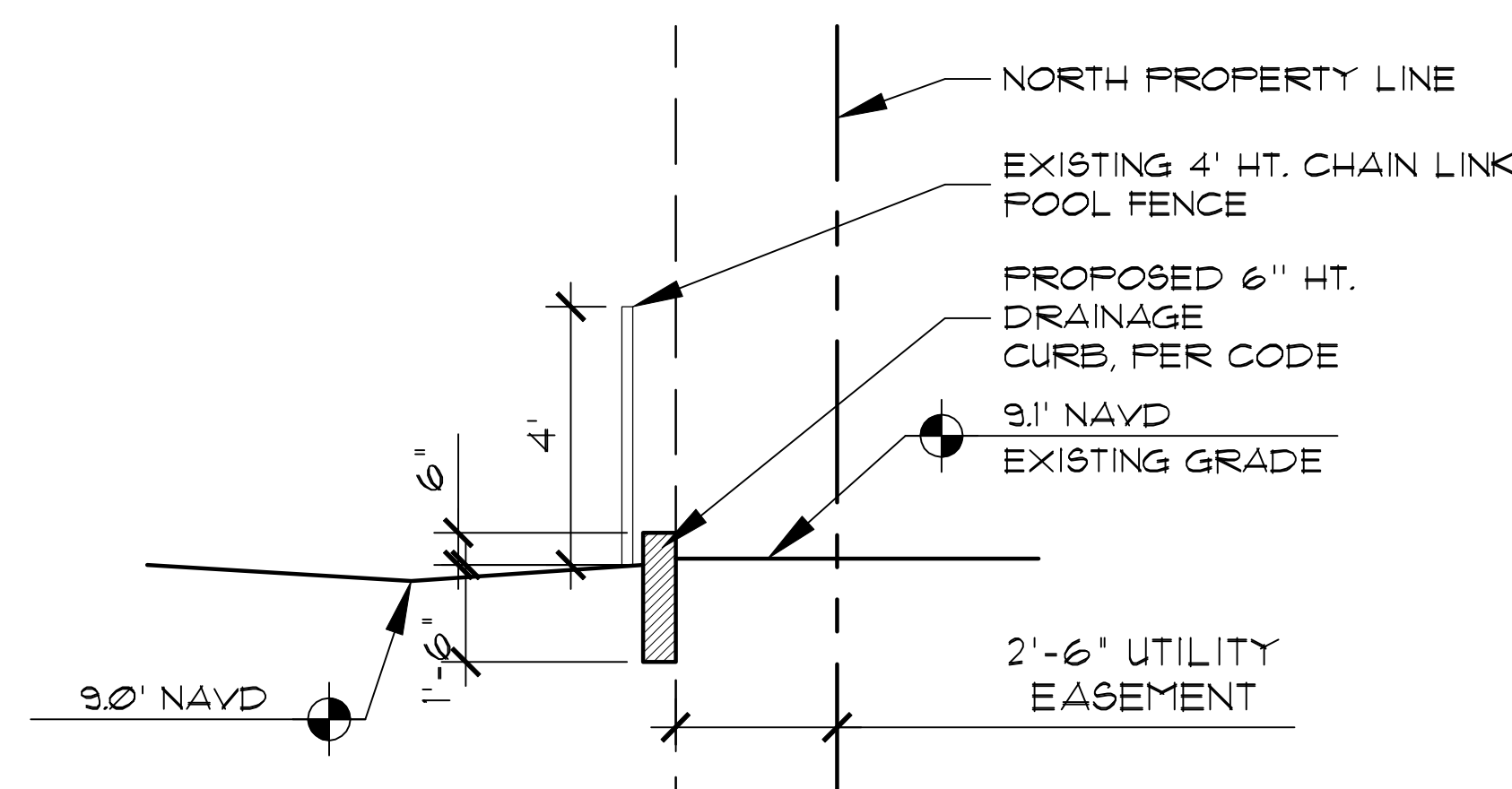
C FRONT YARD RETAINING WALL SECTION (SOUTH WALL)



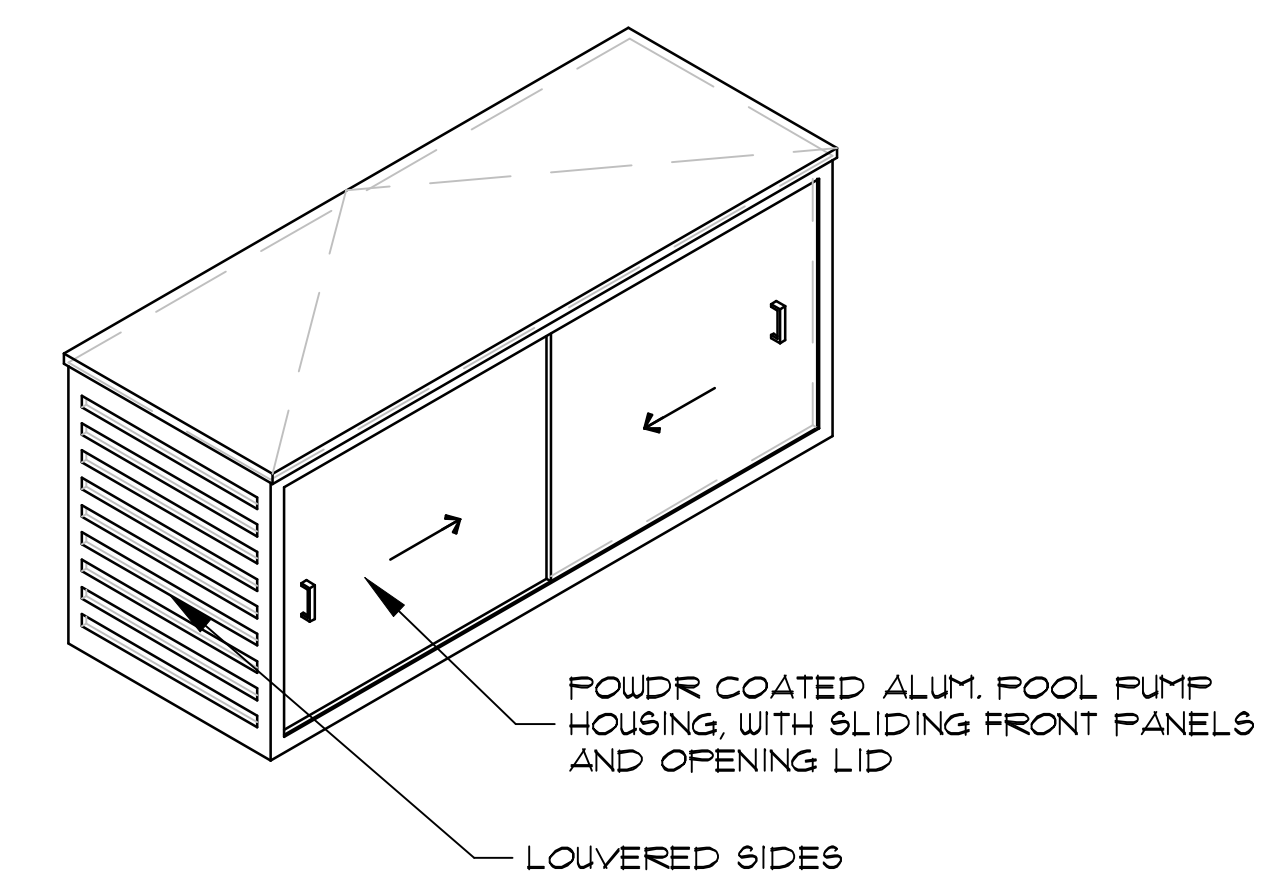
D WALL FOUNTAIN ELEVATION



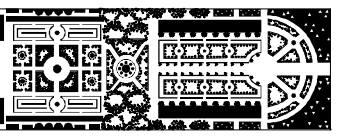
E EAST EQUIPMENT WALL SECTION



F NORTH DRAINAGE CURB SECTION



G POOL PUMP ENCLOSURE DETAIL



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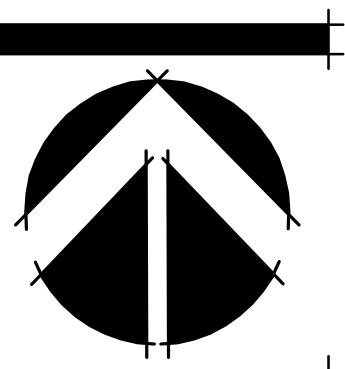
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PLANNING • GRAPHICS
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Jupiter, Florida 33458

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Fax: (561) 747-2041
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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
HARDSCAPE DETAILS

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

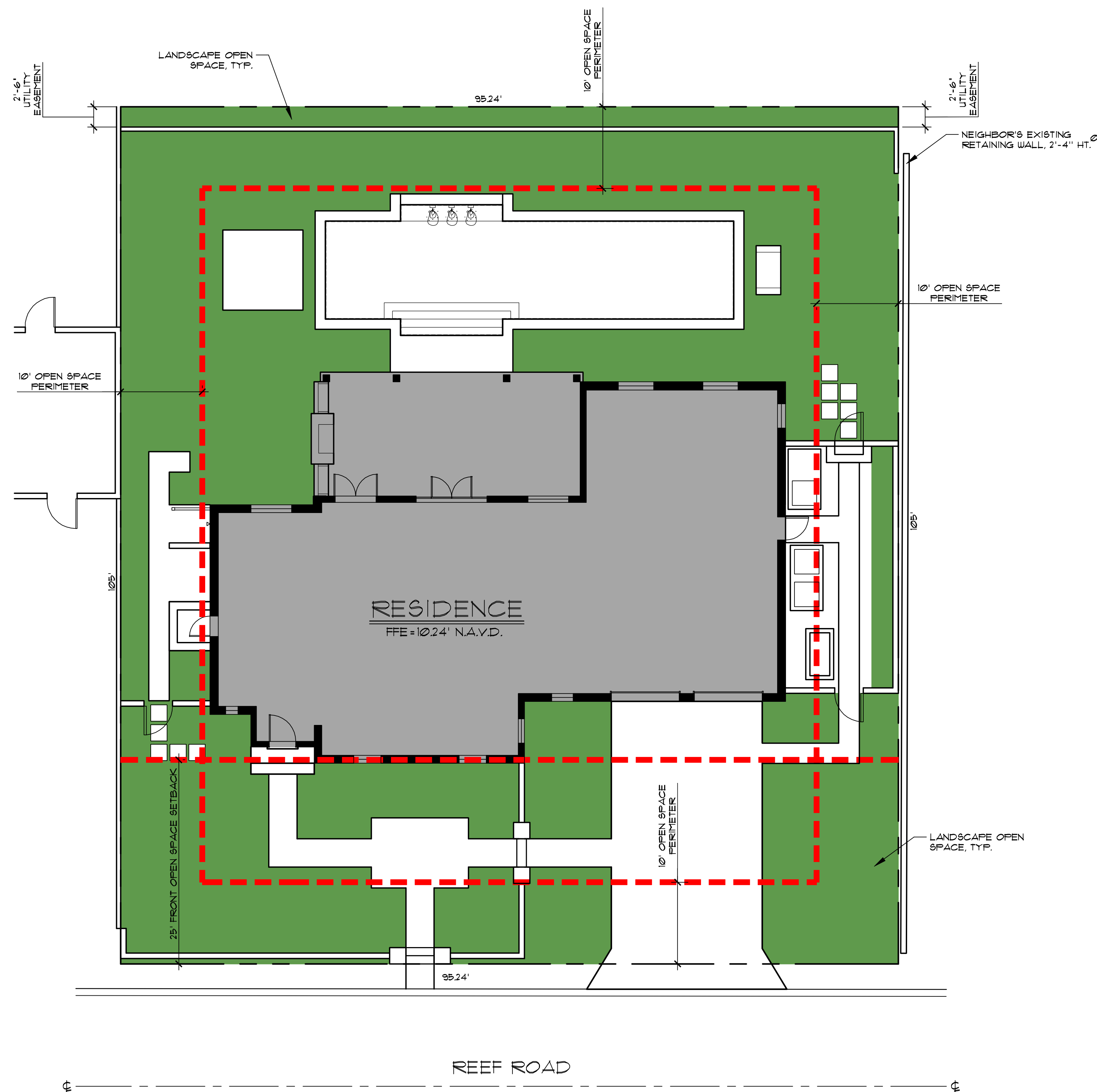
REVISIONS:
T1323 Final Submittal
T3123 Second Submittal



SHEET:

L-19

ARC: 23-124



Landscape Open Space Key



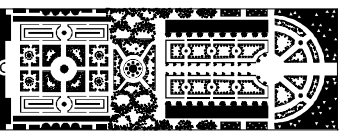
Town of Palm Beach

Planning Zoning and Building
360 S County Rd
Palm Beach, FL 33480
www.townofpalmbeach.com

Line #	Landscape Legend		
1	Property Address:	111 REEF ROAD	
2	Lot Area (sq. ft.):	10,000 sq. ft.	
3		REQUIRED	PROPOSED
4	Landscape Open Space (LOS) (Sq Ft and %)	4,500 sq. ft. / 45%	4,549 sq. ft. / 45.5%
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To determine qualifying native vegetation use either:

[the Institute for Regional Conservation Natives for Your Neighborhood FL Statewide Plant List](#)



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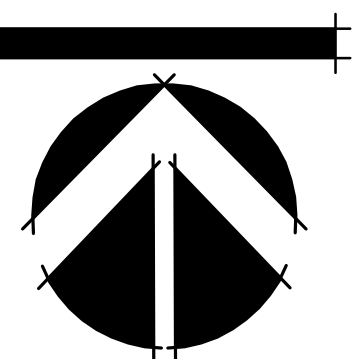
LANDSCAPE ARCHITECTURE
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Telephone: (561) 747-5069
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RABIN-WINSLOW RESIDENCE
111 REEF ROAD
PALM BEACH, FLORIDA
LANDSCAPE OPEN SPACE DIAGRAM

DATE: 05/25/2023
DRAWN BY: SW/JL
JOB NO.: 23-052
SCALE: 1/8"=1'-0"
FILENAME: Rabin 12

REVISIONS:
12/23 First Submittal
12/23 Second Submittal



SHEET:

L-20

ARC: 23-124